CITY OF FRANKLIN PLAN COMMISSION MEETING* FRANKLIN CITY HALL COUNCIL CHAMBERS 9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN AGENDA THURSDAY, OCTOBER 22, 2020, 7:00 P.M.

The Facebook page for the Economic Development Commission https://www.facebook.com/forwardfranklin/ will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

- A. Call to Order and Roll Call
- B. **Approval of Minutes**
 - 1. Approval of regular meeting of October 8, 2020.
- C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)
 - 1. HSA COMMERCIAL REAL ESTATE INDUSTRIAL BUILDINGS DEVELOPMENT IN THE PROPOSED BUSINESS PARK IN PLANNED DEVELOPMENT DISTRICT NO. 39 (MIXED USE BUSINESS PARK). Special Use and Site Plan applications by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate (JHB Properties, LLC, property owner), to allow for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (eCommerce/warehousing and distribution require a Special Use per Section 15-3.0444BB.3.a.e. of the Unified Development Ordinance) and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants have yet to be identified), with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building, along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street [the proposed buildings are essentially identical, roughly two-story industrial buildings with entrance features on the front, and loading areas at the rear], properties located at 3825 West Aspen Way and 3707 West Aspen Way, zoned Planned Development District No. 39 (Mixed Use Business Park); Requested Waivers of Planned Development District No. 39 (Mixed Use Business Park) Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards:

- a. 15-3.0444B.D.1.a.iv. Parking required and location regulated (parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard)-request for all employee and visitor parking in front of the buildings.
- b. 15-3.0444B.D.1.a.v.; 1.a.vi.; and 4.a.xi. Parking required and location regulated (loading and unloading areas shall be located to the side yard or rear-yard and screened so as to minimize their view from adjacent streets and sites) (all parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms and/or decorative fences) and Building Character and Design (outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative fencing, and/or landscaping)-request to waive requirement to screen the rear property line.
- c. 15-3.0444B.D.2.c.iii. Bicycle and pedestrian amenities ((sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds, and shall connect to existing or planned public sidewalks or pedestrian/bike facilities)-request to provide pedestrian facilities in the parking lot.
- d. 15-3.0444B.D.4.a.iii. and iv. Building Character and Design (brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions) (precast concrete, cast stone, plain/smooth concrete masonry units and EIFS are acceptable accent and secondary materials for the solid portion of new buildings or additions)-request to use articulated, painted precast concrete wall panels for the exterior walls.
- e. 15-3.0444B.D.7. Supplemental Design Guidelines (it is intended that the applicable design guidelines set forth in the South 27th Street Corridor Plan, and the applicable design standards in the South 27th Street Design Overlay District, be utilized as a supplemental guide to the mandatory design standards set forth elsewhere in this [Planned Development District 39] Ordinance-request certain waivers of the South 27th Street Design Overlay District (§15-3.03051):

Requested Waivers of South 27th Street Design Overlay District Standards:

- a. 15-3.0352A. Parking required and location regulated (not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street)-request for all employee and visitor parking in front of the buildings.
- b. 15-3.0353C.4. Pedestrian considerations (sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds)-request to provide pedestrian facilities in the parking lot.
- c. 15-3.0353C.7. Pedestrian considerations (the building shall provide awnings or or other weather protection features within 30 feet of all customer entrances along a building)-request for canopies or awnings only at tenant entrances.
- d. 15-3.0353E. Bicycle and pedestrian amenities required (the development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate

- quantities and location-request for waiver of this requirement.
- e. 15-3.0353G. Central Areas/Features (each development which contains a building over 50,000 square feet in area shall provide public central area(s)...-request for waiver of this requirement.
- f. 15-3.0355B.3.b. Building Materials and Colors (exterior building materials shall convey an impression of durability)-request to use precast concrete wall panels.
- g. 15-3.0355B.5.a. Building Facades (decorative devices are expected at the roofline)-request to use simple metal coping.
- h. 15-3.0355B.7.a. Windows (windows which allow views to the interior activity or display areas are excepted)-request for waiver of this requirement.
- 15-3.0355C.4. Building Materials (building materials such as glass, brick, decorative concrete block, or stucco shall be used)-request to use precast concrete wall panels.
- 15-3.0355C.5 Building Design (A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor façades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged-request: "The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building's perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west façades are within 100' of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west façade length for a combined total of 45.45%."

Tax Key Nos. 979-9002-000 and 979-9001-000 [the applicant seeks to obtain special use approval as a speculative industrial property]. A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER. [SUBJECT MATTER CONTINUED FROM THE OCTOBER 8, 2020 MEETING FOR BOTH THE SPECIAL USE AND THE SITE PLAN APPLICATIONS. THIS PUBLIC HEARING WAS PREVIOUSLY NOTICED FOR AND OPENED AT THE PLAN COMMISSION MEETING ON OCTOBER 8, 2020, AND THEN POSTPONED AND CONTINUED TO THE OCTOBER 22, 2020 PLAN

COMMISSION MEETING TO ALLOW FOR FURTHER PUBLIC INPUT.]

- 2. ANDREW M. STEVENS AND HEATHER M. STEVENS PERMANENT ABOVE GROUND SWIMMING POOL INSTALLATION [recommendation to Board of Zoning and Building Appeals]. Application by Andrew M. Stevens and Heather M. Stevens (Andrew M. Stevens and Heather M. Stevens, property owners) for an Area Exception from Table 15-3.0206 of the Unified Development Ordinance to allow for a maximum lot coverage of 21.7% (2,935 square feet), exceeding the R-5 Suburban Single-Family Residence District maximum lot coverage standard of 20% (2,700 square feet), for property located at 7752 West Briarwood Drive (Lot 16 in Stonewood Addition No. 1 Subdivision), for the installation of a permanent above ground swimming pool on the rear yard of the property, 10 feet from the back yard lot line and in excess of 10 feet from either side yard lot line (pool is approximately 346 square feet with a diameter of 21 feet), property zoned R-5 Suburban Single-Family Residence District; Tax Key No. 885-0052-000. A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.
- D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)
 - KIDS CONNECTION CHILDCARE CENTER DAYCARE FACILITY. 1. Site Plan application by Kristopher A. Kraussel/B & B Investments of Rawson, LLC (Kristopher A. Kraussel and Tina M. Kraussel, property owners) to allow for construction of a 10,509 square foot single-story building as well as an associated 3,419 square foot playground (aluminum fencing around the perimeter) on the east side of the building, 45 parking spaces, two driveways with connection to Rawson Avenue, landscaping, outdoor lighting and a bioretention basin on the west end of the property for onsite storm water management (a turn lane on Rawson Avenue, in the eastbound lane of traffic, will be constructed per Milwaukee County requirements), with hours of operation Monday through Friday [child daycare services under Standard Industrial Classification Code No. 8351 is a Permitted Use in the B-4 South 27th Street Mixed-Use Commercial District], upon property located at 3030-3130 West Rawson Avenue (northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard, approximately 2.21 acres of vacant land), zoned B-4 South 27th Street Mixed-Use Commercial District and FC Floodplain Conservancy District; Requested Waivers of South 27th Street Design Overlay District Standards:
 - a. 15-3.0353B. Coordination of site furnishings (lighting and site furnishings [benches, trash receptacles, bicycle racks, etc.])-request for waiver of this requirement.

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- b. 15-3.0353C.5. Pedestrian considerations (pedestrian walkways from building entrances to public sidewalks or pedestrian/bike facilities)-request for waiver of this requirement.
- c. 15-3.0354B.1. Required Trees for Parking Lot Perimeter and Interior Applications (shade or decorative trees are required within the vehicular use area at a ratio of one tree for every 15 parking spaces or fraction thereof)-request for waiver of this requirement.
- d. 15-3.0354C.1. Interior Landscaping for Off-street Parking Areas (a minimum of 20 square feet of interior landscaped island shall be provided per parking stall)-request for waiver of this requirement.
- e. 15-3.0355A.1. Building Character and Design (buildings located on prominent sites-such as key intersections, corners, terminations of street vistas, and on high points-shall be multi-story and exhibit quality architectural design to serve as landmarks)-request for waiver of this requirement.
- f. 15-3.0355B.8.d. Pedestrian Accessibility (buildings shall utilize a corner entrance to the building)-request for waiver of this requirement.
- g. 15-3.0355B.10.c. External Storage (all trash collection areas must be located withing the structure, or behind the building in an enclosure)-request for waiver of this requirement.

Tax Key No. 738-9991-001.

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: November 5, 2020

City of Franklin
Plan Commission Meeting
October 8, 2020
Minutes

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the October 8, 2020, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Adam Burchardt, Kevin Haley and Patricia Hogan, and City Engineer Glen Morrow. Alderman Mark Dandrea participated remotely. Also present were Planning Manager Heath Eddy, Principal Planner Planner Regulo Martinez-Montilva, City Attorney Jesse Wesolowski and Director of Administration Peggy Steeno.

B. Approval of Minutes

1. Regular Meeting of September 3, 2020.

Commissioner Hogan moved and Commissioner Haley seconded approval of the September 3, 2020 regular meeting minutes. On voice vote, all voted 'aye'. Motion carried (6-0-0).

C. Public Hearing Business Matters

HSA COMMERCIAL REAL ESTATE INDUSTRIAL BUILDINGS DEVELOPMENT IN THE PROPOSED BUSINESS PARK IN PLANNED DEVELOPMENT **DISTRICT NO. 39 (MIXED USE BUSINESS PARK).** Special Use and Site Plan applications by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate (JHB Properties, LLC, property owner), to allow for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (eCommerce/warehousing and distribution require a Special Use per Section 15-3.0444BB.3.a.e. of the Unified Development Ordinance) and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238)

Planning Manager Heath Eddy presented the request by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate (JHB Properties, LLC, property owner).

The Official Notice of Public hearing was read in to the record by Principal Planner Regulo Martinez-Montilva.

Commissioner Leon moved and Commissioner Haley seconded a motion to table and continue the Special Use request and public hearing to the October 22, 2020 Plan Commission meeting. On voice vote, all voted 'aye'. Motion carried (6-0-0).

Site Plan

Commissioner Hogan moved and Commissioner Leon seconded a motion to table the Site Plan application approving a Resolution for a Site Plan for the development of two approximately 150,000 square foot class a speculative industrial building with associated parking, loading areas, a driveway connection between the two buildings, sidewalks, crosswalks and a stormwater detention pond (3825 West Aspen Way and 3707 West Aspen Way). On voice vote, all voted 'aye'. Motion carried (6-0-0).

of the Unified Development Ordinance) (tenants have yet to be identified), with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building, along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street [the proposed buildings are essentially identical, roughly two-story industrial buildings with entrance features on the front, and loading areas at the rear], properties located at 3825 West Aspen Way and 3707 West Aspen Way, zoned Planned Development District No. 39 (Mixed Use Business Park); Requested Waivers of Planned Development District No. 39 (Mixed Use Business Park) Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards:

a. 15-3.0444B.D.1.a.iv. Parking required and location regulated (parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard)-request for all employee and visitor parking in front of the buildings.

b. 15-3.0444B.D.1.a.v.; 1.a.vi.; and 4.a.xi. Parking required and location regulated (loading and unloading areas shall be located to the side yard or rearyard and screened so as to minimize their view from adjacent streets and sites) (all parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms and/or decorative fences) and Building Character and Design (outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to table the requested waivers from the Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D. On voice vote, all voted 'aye'. Motion carried (6-0-0).

Commissioner Haley moved and Commissioner Hogan seconded a motion to table the requested waivers from the S. 27th Street Design Overlay District Standards waivers. On voice vote, all voted 'aye'. Motion carried (6-0-0).

fencing, and/or landscaping)-request to waive requirement to screen the rear property line.

c. 15-3.0444B.D.2.c.iii. Bicycle and pedestrian amenities ((sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds, and shall connect to existing or planned public sidewalks or pedestrian/bike facilities)-request to provide pedestrian facilities in the parking lot.

d. 15-3.0444B.D.4.a.iii. and iv. Building Character and Design (brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions) (precast concrete, cast stone, plain/smooth concrete masonry units and EIFS are acceptable accent and secondary materials for the solid portion of new buildings or additions)-request to use articulated, painted precast concrete wall panels for the exterior walls.

e. 15-3.0444B.D.7. Supplemental Design Guidelines (it is intended that the applicable design guidelines set forth in the South 27th Street Corridor Plan, and the applicable design standards in the South 27th Street Design Overlay District, be utilized - as a supplemental guide - to the mandatory design standards set forth elsewhere in this [Planned Development District 39] Ordinance-request certain waivers of the South 27th Street Design Overlay District (§15-3.03051):

Requested Waivers of South 27th Street Design Overlay District Standards: a. 15-3.0352.A. Parking required and location regulated (not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street)-request for all employee and visitor parking in front of the buildings.

b. 15-3.0353.C.4. Pedestrian considerations (sidewalks shall be provided along the entire length of any façade containing a public entrance,

leaving room for foundation planting beds)-request to provide pedestrian facilities in the parking lot.

- c. 15-3.0353.C.7. Pedestrian considerations (the building shall provide awnings or other weather protection features within 30 feet of all customer entrances along a building)-request for canopies or awnings only at tenant entrances.
- d. 15-3.0353.E. Bicycle and pedestrian amenities required (the development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate quantities and location-request for waiver of this requirement.
- e. 15-3.0353.G. Central Areas/Features (each development which contains a building over 50,000 square feet in area shall provide public central area(s)...-request for waiver of this requirement.
- f. 15-3.0355.B.3.b. Building Materials and Colors (exterior building materials shall convey an impression of durability)-request to use precast concrete wall panels.
- g. 15-3.0355.B.5.a. Building Facades (decorative devices are expected at the roofline)-request to use simple metal coping.
- h. 15-3.0355.B.7.a. Windows (windows which allow views to the interior activity or display areas are excepted)-request for waiver of this requirement.
- i. 15-3.0355.C.4. Building Materials (building materials such as glass, brick, decorative concrete block, or stucco shall be used)-request to use precast concrete wall panels.
- j. 15-3.0355.C.5 Building Design (A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor façades that face and are on properties that are in any part within 100

feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged-request: "The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building's perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west facades are within 100' of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west facade length for a combined total of 45.45%." Tax Key Nos. 979-9002-000 and 979-9001-000 [the applicant seeks to obtain special use approval as a speculative industrial property].

2. STRAUSS BRANDS LLC MEAT PROCESSING FACILITY

CONSTRUCTION. Special Use and Site Plan applications by Strauss Brands LLC, for the development of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces (this use is classified under Standard

Planning Manager Heath Eddy presented the request by Strauss Brands LLC, for the development of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces (this use is classified under Standard Industrial Classification No. 2011, Meat Packing Plants, which is a Special Use in the M-1 Zoning District), on approximately 30.2 acres; the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site

Industrial Classification No. 2011, Meat Packing Plants, which is a Special Use in the M-1 Zoning District), on approximately 30.2 acres; the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) [the site is designed to detain all stormwater onsite in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision), zoned M-1 Limited Industrial District; Tax Key No. 891-1083-000.

via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) [the site is designed to detain all stormwater on-site in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision), zoned M-1 Limited Industrial District; Tax Key No. 891-1083-000.

Commissioner Burckhardt left the room at 7:10 p.m. The Official Notice of Public hearing was read in to the record by Principal Planner Regulo Martinez-Montilva and the Public Hearing was opened at 7:28 p.m. and closed at 9:29 p.m.

Commissioner Hailey moved to recommend denial of the Special Use request. Motion not seconded; motion failed.

Commissioner Leon moved and City Engineer Morrow seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a meat processing facility use upon property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows subdivision). On voice vote, 4 voted 'aye' and 1 voted 'no'. Motion carried (4-1-1).

Site Plan

Commissioner Leon moved and Commissioner Hogan seconded a motion to approve a Resolution approving a Site Plan for construction of a meat processing facility with associated cattle pen, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces, associated mechanical support facilities and spaces, a future development area, stormwater ponds, parking lot and truck and employee vehicle entrance drives (the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows subdivision). On voice vote, 4 voted 'aye' and 1 voted 'no'. Motion carried (4-1-1).

Commissioner Burckhardt rejoined the meeting at 10:37 p.m. Alderman Dandrea left the meeting at 10:38 p.m.

Plan Commission members dismissed for recess at 10:38 p.m. The meeting was called back to order at 10:48 p.m.

D. Business Matters

1. LAND SALE FROM THE CITY OF FRANKLIN TO A PRIVATE

ENTITY. Miscellaneous application by the City of Franklin for the review and recommendation of a sale of an approximate 1,000 square foot parcel of land owned by the City (once used as a well site for the City of Franklin Water Utility, no longer in use; watermain piping has been removed and the well casing is still present, but the site has been abandoned per the Wisconsin Department of Natural Resources requirements), property located at 9619 South 60th Street, zoned M-1 Limited Industrial District; Tax Key No. 898-9991-001.

City Engineer Morrow presented the request by the City of Franklin for the review and recommendation of a sale of an approximate 1,000 square foot parcel of land owned by the City (once used as a well site for the City of Franklin Water Utility, no longer in use; watermain piping has been removed and the well casing is still present, but the site has been abandoned per the Wisconsin Department of Natural Resources requirements), property located at 9619 South 60th Street, zoned M-1 Limited Industrial District; Tax Key No. 898-9991-001.

Commissioner Burckhardt moved and Commissioner Leon seconded a motion to recommend approval of the land sale of the property located at 9619 South 60th Street. On voice vote, all voted 'aye'. Motion carried (5-0-1).

2. LAND SALE FROM A PRIVATE ENTITY TO THE CITY OF

FRANKLIN. Miscellaneous application by the City of Franklin for the review and recommendation of a purchase of four parcels of land from KM Franklin Land Investment LLC, property owner, totaling approximately 21.4 acres, for the potential location of a City of Franklin elevated water storage tower for the Franklin Water Utility and potential development of a new City park, with the balance of the four parcels containing wetland delineation, property located at approximately the 8100 block of South Lovers Lane Road, zoned R-8 Multiple-Family Residence District and C-1 Conservancy District; Tax Key Nos. 801-9984-000, 801-9985-000, 801-9986-000 and 801-9987-000.

City Engineer Morrow presented the request by the City of Franklin for the review and recommendation of a purchase of four parcels of land from KM Franklin Land Investment LLC, property owner, totaling approximately 21.4 acres, for the potential location of a City of Franklin elevated water storage tower for the Franklin Water Utility and potential development of a new City park, with the balance of the four parcels containing wetland delineation, property located at approximately the 8100 block of South Lovers Lane Road, zoned R-8 Multiple-Family Residence District and C-1 Conservancy District; Tax Key Nos. 801-9984-000, 801-9985-000, 801-9986-000 and 801-9987-000.

City Engineer Morrow moved and Commissioner Haley seconded a motion to recommend approval of the land sale to the City of Franklin of the property located approximately in the 8100 block of South Lovers Lane Road. On voice vote, all voted 'aye'. Motion carried (5-0-1).

E. Adjournment

Commissioner Hogan moved and Commissioner Leon seconded a motion to adjourn the Plan Commission meeting of October 8, 2020 at 10:58 p.m. On voice vote, all voted 'aye'; motion carried. (5-0-1).



REPORT TO THE PLAN COMMISSION

Meeting of October 22, 2020

Special Use and Site Plan

RECOMMENDATION: City Development Staff recommends approval of the Special Use and Site Plan, subject to the conditions in the draft Resolutions.

Project Name: HSA Franklin.

Project Address: 3825 & 3707 Aspen Way (Formerly 3617 W. Elm Road)

Property Owner: JHB Properties, LLC

Applicant: HSA Acquisitions, Inc.

Agent: Werner H. Brisske, Partners in Design

Zoning: PDD 39

Use of Surrounding Properties: PDD 39

Applicant Action Requested: Approval of Site Plan, recommendation to Common Council

regarding Special Use

• Staff recommendations are *underlined in italics* and included in the draft ordinance.

Staff suggestions are only underlined and are not included in the draft ordinance.

INTRODUCTION:

On July 17, 2020., the applicant submitted applications for a Site Plan and Special Use to develop two industrial buildings intended for flexible end users on two parcels located on the newly-created Aspen Way in Planned Development District (PDD) 39. The development does not currently have tenants. The applicants are seeking Special Use approval to accommodate likely future users in the areas of eCommerce, Distribution, and Warehousing, which requires Special Use approval.

A number of approval items are being deferred to future users. Signage is not currently proposed; future tenants will need to request sign approval. Trash enclosures will be designed to meet the needs of future users and will require updating the site plan. The applicant is also not able to specify the desired hours of operation for the development without tenants.

PROJECT DESCRIPTION AND ANALYSIS:

Special Use

This property is located in the "Business Park" area of PDD 39 and subject to the requirements of Section §15-3.0444B with regards to use. In general, the Business Park portion of the PDD is designed to accommodate industrial and other business uses. While specific tenants have not been identified, the applicants hope to attract a variety of possible users as a large, flexible industrial property. They wish to

ensure that future tenants have a smooth occupancy process. Special Use approvals have been requested for:

- eCommerce / Distribution, and Warehousing, which requires Special Use approval per the requirements of \$15-3.0444B.B.3
- Overnight parking for vehicles in excess of 8,000 pounds, which requires Special Use approval per §15-3.0444B.D

In addition to the requirements of PDD 39, Special Use applications are subject to §15-3.0701: General Standards for Special Uses. The applicant has provided responses to these standards detailed in the document provided: Special Use Standards and Regulations (Division 15-3.0700) and meets these standards in general.

Site Plan

The two buildings, located in the "Business Park" part of PDD 39, are designed to present a cohesive façade to Aspen Way. 3825 Aspen Way is 8.03 acres and 3707 Aspen Way is 9.2 acres, a combined total of 17.23 acres. While the proposed buildings are on separate lots, they are being developed jointly. Staff suggests that the applicant clarify the development timeline for each building.

The buildings are each 148,813 square feet large and essentially identical in design. Each building will have four potential primary business entrances on the northern façade, with corner features on the northeast and northwest corners. Business entrances will have canopies. 233 total parking spaces are provided for cars at the front of the building, including 10 total ADA spaces. The rear will include loading bays for delivery traffic for each tenant, and parking for trucks.

A driveway will go between the two buildings and connect to the rear parking area. PDD 39 (ORD2016-2238) requires cross-access for both pedestrian and vehicular circulation. Easements are shown on the proposed site plan. <u>Staff recommends that the applicant submit cross access easements for review and approval prior to the issuance of occupancy permits.</u>

The proposed driveway through Outlot 1 is subject to the approval of the Engineering Department, who note that all driveway cuts will need to meet City requirements, and elevations will need to correspond to the approved grading plans. <u>Staff recommends that the applicant obtain Engineering approval of this driveway prior to any land disturbing activities.</u>

Building materials consist of precast panels, glazing, and metal details such as coping and awnings. The applicant notes that these are typical materials for buildings of this type for the market they hope to attract, however these materials do not conform to the requirements of the PDD. §15-3.0444B.D.4.iii. requires brick, stone, tile, and custom architectural masonry as a preferred primary materials; precast concrete should only be used as a secondary material (§15-3.0444B.D.4.iv). <u>Staff recommends, at a minimum, that the lower third of the public facades reflect higher quality materials</u>. The applicant has requested a waiver of this standard, among those detailed below.

Staff notes that, as a condition of the CSM for these lots, City of Franklin DPW trucks must be allowed to turn around in the western driveway until such time as the road connection to the south is completed or a hammerhead installed.

The proposed site design meets requirements regarding the quantity and diversity of plantings for the PDD. <u>Staff suggests selection of a plant other than daylilies (Hemerocallis) among perennial ornamentals</u>, as these are listed as a "caution" plant on the WI Department of Natural Resources invasive species list. The Landscape Surface Ratio or LSR for the PDD is 0.25, meaning that 25% of any individual site must consist of greenspace. This site design for the combined sites provides an

LSR of 0.15. The applicants have provided Site Intensity calculations, and meet the requirement for building size for the site, however due to the quantity of paving for vehicles the greenspace ratio is not met. 3707 W. Aspen Way abuts a stormwater outlot which is a separate parcel and does provide additional greenspace; if the calculation were to include this outlot the LSR would be 0.21.

		Landscape Surface			
Area	Acres	Ratio			Acres
3825 Aspen Way	8.03	PDD 39	0.25	Area Needed	4.31
3707 Aspen Way	9.20	Provided	0.15	Area Provided	2.58
Total	17.23			Difference	1.72
		Landscape Surface			
Area	Acres	Ratio			Acres
Outlot	1.22			Need w Outlot	4.61
Total with Outlot	18.45			Provided w Outlot	3.80
				Difference	0.81
		LSR with Outlot	0.21		

The proposed buildings meet the dimensional standards of the PDD with regard to building height and size, setbacks, and general parking design. However, in a number of respects the applicants would like to request waivers of design standards. These properties are subject to the requirements of both the design standards of PDD 39, and additionally, the 27th St. Design Overlay.

Requested Waivers

The Applicant is requesting waivers of the following standards. Staff suggestions and recommendations are noted below.

PDD No. 39 Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards

- 1. 15-3.0444B.D.1.a.iv. Parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard.
 - a. The applicant requests this requirement be waived, so as to have all employee and visitor parking in front of the buildings. Staff concurs that separation of the public from heavy vehicles would be appropriate and <u>recommends approval of this waiver.</u>
- 2. 15-3.0444B.D.1a.v.; 1a,vi.; and 4a,xi. Loading and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms and/or decorative fences.
 - a. The applicant requests the requirement to screen the rear property line be waived. <u>Staff suggests</u> that the applicant provide additional landscaping on street to the building rear to compensate, and recommends approval of the requested waiver.
- 3. 15-3.0444B.D.2c.iii. Sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds, and shall connect to existing or planned public sidewalks or pedestrian/bike facilities.
 - a. The applicant requests to provide pedestrian facilities in the parking lot. <u>Staff recommends</u> <u>approval of this waiver</u>. However, staff notes the intent to provide a multi-use trail on Aspen Way, and <u>recommends that the applicant provide bicycle parking amenities</u>.
- 4. 15-3.0444B.D.4a.iii. and iv. Brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions. iv. Precast concrete, cast stone, plain/smooth concrete masonry units and EIFS are acceptable accent and secondary materials for the solid portion of any buildings or additions.

- a. The applicant requests to be permitted to use articulated, painted precast concrete wall panels for the exterior walls. <u>Staff recommends</u>, at a minimum, that the lower third of the public facades reflect higher quality materials.
- 5. 15-3.0444B.D.7. Supplemental Design Guidelines. It is intended that the applicable design guidelines set forth in South 27th Street Corridor Plan, and the applicable design standards in the South 27th Street Design Overlay District, be utilized as a supplemental guide to the mandatory design standards set forth elsewhere in this [PDD 39] Ordinance.
 - a. The applicant requests certain waivers of the 27th St. Design Overlay (§15-3.0350)
 - b. Specific 27th St. Design Overlay waiver requests are below:

UDO, Part 3, Division 15-3.0350, Section 15-3.0351 – South 27th Street Design Overlay District

The 27th St. Design Overlay ordinance states that the overlay's intent is for 27th street to "be a local, regional and statewide destination for people to work, live, shop, recreate, and interact with one another." While the standards of the overlay are entirely appropriate for retail or office users, the Business Park section of the PDD is intended for industrial users. Many of the standards are encourage design features geared towards an attractive commercial, public-facing aesthetic. They are not appropriate for industrial users, and staff believes it would be appropriate to waive several of them. *Staff recommends that Plan Commission waive the following:*

- 1. 15-3.0352.A. Parking required and Location Regulated. Not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street
 - a. The applicant requests to have all employee and visitor parking in front of the buildings. See also Item 1a.iv. in the PDD No. 39 above.
- 2. 15-3.0353.C.4. Sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds.
 - a. The applicant requests to provide pedestrian facilities in the parking lot. See also Item 2.c.iii. in the PDD No. 39 above.
- 3. 15-3.0353.C.7. The building shall provide awnings or other weather protection features within 30 feet of all customer entrances along a building.
 - a. The applicant requests to have canopies or awnings only at tenant entrances.
- 4. 15-3.0353.G. Central Areas/Features. Each development which contains a building over 50,000 square feet in area shall provide public central area(s)...
 - a. The applicant requests this requirement be waived.
- 5. 15-3.0355.B.5.a. Decorative devices at the roofline.
 - a. The applicant requests to use simple metal coping.
- 6. 15-3.0355.B.7.a. Windows which allow views to the interior activity or display areas
 - a. The applicant requests this requirement be waived.
- 7. 15-3.0355.C.5 Building Design. A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor facades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged.
 - a. The applicant requests: "The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building's perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are

used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west facades are within 100' of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west facade length for a combined total of 45.45%."

With regards to the following 27th St. Design Overlay items staff does not recommend a waiver. Specific recommendations are:

- 8. 15-3.0353.E. Bicycle and Pedestrian Amenities Required. The development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate quantities and location.
 - a. The applicant requests this requirement be waived. <u>Staff recommends that the applicant provide bicycle parking amenities</u>.
- 9. 15-3.0355.B.3.b. Exterior building materials shall convey an impression of durability.
 - a. The applicant requests to use precast concrete wall panels. See also Item 4a.iv. in the PDD No. 39. <u>Staff recommends</u>, at a minimum, that the lower third of the public facades reflect higher quality materials.
- 10. 15-3.0355.C.4. Building Materials.
 - a. The applicant requests to use precast wall panels. See also Item 4a.iv. in the PDD No. 39. <u>Staff recommends, at a minimum, that the lower third of the public facades reflect higher quality materials.</u>

Natural Resource Protection Plan

As part of the land division procedure (CSM) to create these parcels, a Natural Resource Protection Plan was submitted and approved. The proposed site plan does not contemplate additional impacts to natural resources which would alter that NRPP.

STAFF RECOMMENDATION:

The Department of City Development staff recommends approval of the Site Plan and Special Use, subject to the conditions in the draft resolutions.

STATE OF WISCONSIN CITY OF FRANKLIN

MILWAUKEE COUNTY

[Draft 9-21-20; Redraft 10-15-20]

RESOLUTION NO. 2020-____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR THE DEVELOPMENT
OF TWO APPROXIMATELY 150,000 SQUARE FOOT CLASS A SPECULATIVE
INDUSTRIAL BUILDINGS AND FOR THE APPROVAL OF A SPECIAL USE FOR
OVERNIGHT PARKING FOR VEHICLES EXCEEDING 8,000 POUNDS
MANUFACTURED GROSS VEHICLE WEIGHT UPON PROPERTIES
LOCATED AT 3825 WEST ASPEN WAY AND 3707 WEST ASPEN WAY
(BY HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL
ESTATE, APPLICANT, JHB PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, HSA Commercial, Inc., d/b/a HSA Commercial Real Estate having petitioned the City of Franklin for the approval of Special Uses within Planned Development District No. 39 (Mixed Use Business Park), to allow for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (eCommerce/warehousing and distribution require a Special Use per Section 15-3.0444BB.3.a.e. of the Unified Development Ordinance) and to allow for overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants have yet to be identified), upon properties located at 3825 West Aspen Way and 3707 West Aspen Way, zoned Planned Development District No. 39 (Mixed Use Business Park). The properties which are the subject of the application bear Tax Key Nos. 979-9002-000 and 979-9001-000 and are more particularly described as follows:

All of Lots 1 and 2 of Certified Survey Map No. 9243, being a part of the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows: Commencing at the northwest corner of the Southwest 1/4 of said Section 36; Thence South 00°21'57" East along the west line of said Southwest 1/4, 1322.10 feet to the south line of said Certified Survey Map; Thence North 88°35'41" East along said south line, 1109.89 feet to the east right of way line of South Birch Street, the southwest corner of said Lot 2 and the Point of Beginning; Thence North 00°21'34" West along said east right of way line, 524.67 feet; Thence North 44°07'02" East, 15.69 feet to the south right of way line of West Aspen Way; Thence North 88°35'37" East along said south right of way line, 1301.60 feet to the west line of Outlot 1 of said Certified Survey Map; Thence South 01°24'19" East along said west line, 444.63 feet; Thence South 33°35'37" West along said west line, 58.55 feet; Thence South 88°35'41" West along said west line, 144.41 feet; Thence South

HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE – SPECIAL USE RESOLUTION NO. 2020-____ Page 2

01°24'19" East along said west line, 43.00 feet to the aforesaid south line of said Certified Survey Map; Thence South 88°35'41" West along said south line, 1144.38 feet to the Point of Beginning; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 8th day of October, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Uses be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Uses upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Uses, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, for the approval of Special Uses for the properties particularly described in the preamble to this Resolution, be and the same are hereby approved, subject to the following conditions and restrictions:

- 1. That these Special Uses are approved only for the use of the subject property by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors and assigns, for two approximately 150,000 square foot Class A speculative industrial buildings, and for overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight use, which shall be developed in substantial compliance with, and operated and maintained by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, pursuant to those plans City file-stamped October 1, 2020 and annexed hereto and incorporated herein as Exhibit A.
- 2. HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including

HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE – SPECIAL USE RESOLUTION NO. 2020-____ Page 3

fees of consults to the City of Franklin, for the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate two approximately 150,000 square foot Class A speculative industrial buildings, and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight Special Uses, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate two approximately 150,000 square foot Class A speculative industrial buildings, and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight Special Uses for the properties located at 3825 West Aspen Way and 3707 West Aspen Way: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors or assigns, or any owner of the subject properties, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to \$15-9.0502 thereof and \$1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

HSA COMMERCIAL, INC., D/B/A HSA COMUSE	IMERCIAL REAL ESTATE – SPECIAL
RESOLUTION NO. 2020	
Page 4	
BE IT FURTHER RESOLVED, pu Development Ordinance, that the Special Use p be null and void upon the expiration of one year unless the Special Uses have been established by for such use.	from the date of adoption of this Resolution,
BE IT FINALLY RESOLVED, that the the recording of a certified copy of this Resolut Milwaukee County, Wisconsin.	City Clerk be and is hereby directed to obtain ion in the Office of the Register of Deeds for
Introduced at a regular meeting of the C, 2020.	Common Council of the City of Franklin this
Passed and adopted at a regular meeti Franklin this day of	ng of the Common Council of the City of, 2020.
	APPROVED:
	Stephen R. Olson, Mayor
ATTEST:	
Sandra L. Wesolowski, City Clerk	
AYES NOES ABSENT	-

CITY OF FRANKLIN MILWAUKEE COUNTY PLAN COMMISSION [Draft 10-1-20; Redraft 10-15-20]

STATE OF WISCONSIN

RESOLUTION NO. 2020-____

A RESOLUTION APPROVING A SITE PLAN FOR THE DEVELOPMENT OF TWO APPROXIMATELY 150,000 SQUARE FOOT CLASS A SPECULATIVE INDUSTRIAL BUILDINGS WITH ASSOCIATED PARKING, LOADING AREAS, A DRIVEWAY CONNECTION BETWEEN THE TWO BUILDINGS, SIDEWALKS, CROSSWALKS AND A STORMWATER DETENTION POND (3825 WEST ASPEN WAY AND 3707 WEST ASPEN WAY) (HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE, APPLICANT, JHB PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, HSA Commercial, Inc., d/b/a HSA Commercial Real Estate having applied for approval of a proposed site plan for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (tenants have yet to be identified), with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building (including overnight truck parking), along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street [the proposed buildings are essentially identical, roughly two-story industrial buildings with entrance features on the front, and loading areas at the rear], properties located at 3825 West Aspen Way and 3707 West Aspen Way; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road, with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building (including overnight truck parking), along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street, as depicted upon the plans dated October 1, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE – SITE PLAN RESOLUTION NO. 2020-____ Page 2

- 1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings dated October 1, 2020.
- 2. HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors and assigns, and any developer of the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
- 3. The approval granted hereunder is conditional upon the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project for the properties located at 3825 West Aspen Way and 3707 West Aspen Way: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 4. That the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
- 5. The applicant shall obtain a waiver from the Plan Commission of the Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.1.a.iv. (Parking required and location regulated).
- 6. The applicant shall obtain a waiver from the Plan Commission of the Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.1.a.v.; 1.a.vi.; and 4.a.xi. (Parking required and location regulated) (Building Character and Design regulated) provided that the applicant provide additional landscaping on streets adjacent to the rear of the building.
- 7. The applicant shall obtain a waiver from the Plan Commission of the Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section

HSA	COMME	RCIAL,	INC.,	D/B/A	HSA	COMM	ERCIAL	REAL	ESTATE	- SITE
PLAN	1									
RESC	DLUTION	NO. 202	20	_						
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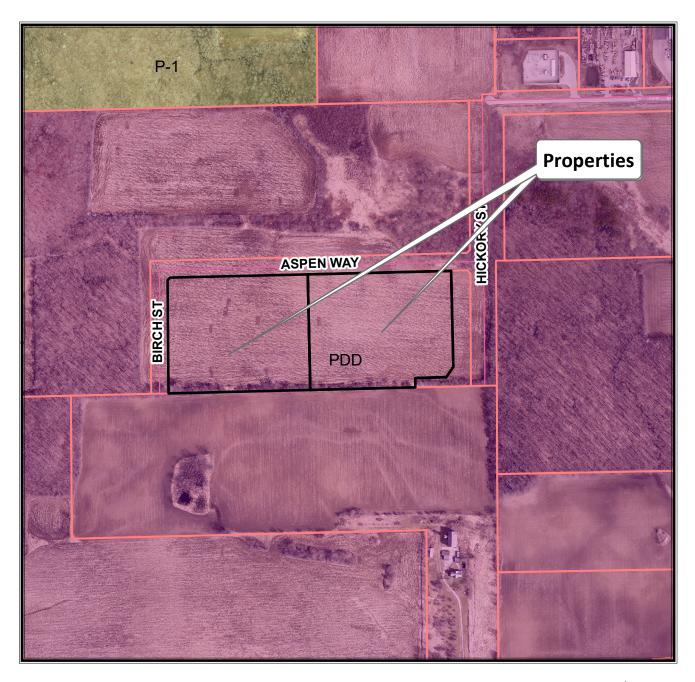
15-3.0444B.D.2.c.iii. (Bicycle and pedestrian amenities) provided that the applicant provide bicycle parking amenities.

- 8. The applicant shall obtain a waiver from the Plan Commission of the Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.4.a.iii. and iv. (Building Character and Design) provided that the applicant provide that the lower third of the public facades reflect higher quality materials.
- 9. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0352.A. (Parking required and location regulated).
- 10. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0353.C.4. (Pedestrian considerations).
- 11. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0353.C.7. (Pedestrian considerations) provided that the applicant include canopies at tenant entrances.
- 12. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0353.E. (Bicycle and pedestrian amenities required) provided that the applicant provide bicycle parking amenities.
- 13. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0353.G. (Central Areas/Features).
- 14. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355.B.3.b. (Building Materials and Colors) provided that the applicant provide that the lower third of the public facades reflect higher quality materials.
- 15. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355.B.5.a. (Building Façades).

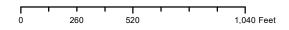
HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE — SITE PLAN RESOLUTION NO. 2020 Page 4
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16. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355.B.7.a. (Windows).
17. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355.C.4. (Building Materials provided that the applicant provide that the lower third of the public facades reflect higher quality materials.
18. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355.C.5 (Building Design).
19. The applicant shall submit cross access easements for approval and recording prior to the issuance of occupancy permits.
20. The applicant shall obtain Engineering approval of any driveway prior to any land disturbing activities.
Introduced at a regular meeting of the Plan Commission of the City of Franklin this day of, 2020.
Passed and adopted at a regular meeting of the Plan Commission of the City o Franklin this day of
APPROVED:
Stephen R. Olson, Chairman
ATTEST:
Sandra L. Wesolowski, City Clerk
AYES NOES ABSENT



3707 & 3825 W. Aspen Way TKNs: 979 9001 000 & 979 9002 000



Planning Department (414) 425-4024

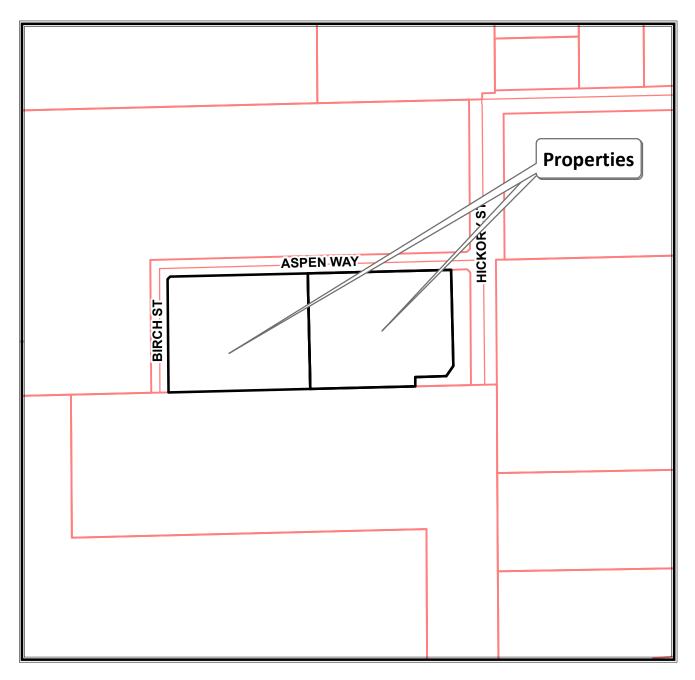


NORTH 2017 Aerial Photo

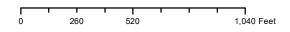
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



3707 & 3825 W. Aspen Way TKNs: 979 9001 000 & 979 9002 000



Planning Department (414) 425-4024





This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

City of Franklin Department of City Development

Date: September 14, 2020To: HSA Acquisitions, Inc.From: City Development Staff

RE: Special Use and Site Plan – 3825 & 3707 Aspen Way - Staff Comments

Please be advised that City Staff has reviewed the above application. Department comments are as follows for the Special Use and Site Plan applications submitted by HSA Acquisitions, Inc. and date stamped by the City of Franklin on July 17, 2020. Our responses are indicated in red below.

Department of City Development

The Proposed site plans and special use applications are for lots 1 and 2 of CSM 9243 in the Franklin Corporate Park. The property is zoned Planned Development District (PDD) 39.

Site Plan

This property is located in the *Business Park* area of PDD 39 and subject to the requirements of Section §15-3.0444B. In addition to the requirements of PDD 39, Site Plan applications are subject to the standards of §15-7.0100: Site Plan review and Division 15-3.0350: 27th St. Overlay Design Standards.

1) City Staff reviewed Site Plan information from sheets C-4/C-16 and C-3/C-16 of the Civil Set, and A1.1 of the Architectural Set (among others), to provide these comments. Please provide a single consolidated site plan submittal for the proposed development for Plan Commission review. A Additional Consolidated site plan information has been added to Sheet A1.1. Refer to civil and landscape drawings for specific and more detailed information as needed.

Planned Development District (PDD) 39 Requirements

- 2) Please verify that rear parking facilities meet the required 10' setback per table §15-3.0444B on a consolidated site plan. The setback is indicated on the architectural set but parking is not depicted; on the civil set the setback is not shown where parking is depicted. Confirmed. The consolidated site plan shows and notes a "10' parking setback" on the south property line.
- 3) Note that no parking will be permitted on any street, driveway, or any place in the District other than in approved parking spaces, and overnight parking of recreational vehicles is prohibited (§15-3.0444B.D.1.i. and ii.) A note has been added to the consolidated site plan.
- 4) Overnight parking of trucks and service vehicles under 8,000 pounds Gross Vehicle Weight shall be behind landscape screening so as to minimize visibility from adjacent roadways as required by §15-3.0444B.D A note has been added to the consolidated site plan.
- 5) Please provide sign information for Plan Commission review and approval, as required by §15-3.0444B.D.5. In addition to Plan Commission approval, signage requires permitting from Inspection Services. Note that wall signs are prohibited. Will there be any additional signage at building entrances? If multitenant monument signs are proposed, staff suggests that the applicant request

- approval of proposed monument signs now so that future refacings of signage may be evaluated by staff without requiring further Plan Commission review. Ownership has decided to defer the signage submittal and review for later, after a tenant is identified.
- 6) Note that screening is required for service, utility, and mechanical areas both on the roof, and on the ground. Please indicate screening on elevations and site plans. Notes have been added to the consolidated site plan and exterior elevations.
- 7) Requested waivers to PDD 39 Design Standards are noted and must be submitted to Plan Commission for review. Below are our requested waivers that have been previously submitted. Text in this response is in black for the standard, blue for the requested exceptions and green for areas where we exceed design standards as originally submitted.

PDD No. 39 Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards

Item 1a,iii. Overnight parking of trucks and service vehicles over 8,000 pounds manufactured Gross Vehicle Weight shall be allowed only with a Special Use. Overnight parking of trucks and service vehicles under 8.000 pounds Gross Vehicle Weight shall be behind landscape screening so as to minimize visibility from adjacent roadways.

Request: We are requesting a special use to allow trucks and service vehicles to park in the truck court overnight.

<u>Item 1a,iv</u>. Parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard.

Request: In the design of industrial buildings, the goal is to separate the car traffic from truck traffic for safety purposes. All of the employee and visitor car parking is located in parking lots on the north side of the buildings and any truck maneuvering being confined to the south sides of the buildings.

<u>Item 1a,v</u>. Loading and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms and/or decorative fences.

Provided: Although allowed in the side yard, loading and unloading areas are limited entirely to the rear yard and are well screened from views from the adjacent streets.

<u>Item 1a,vi.</u> All parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms, and/or decorative fences.

Request: The car parking and truck court (loading area) will be screened from the public streets via berms and landscaping. Screening to the south is not practical since there is a significant grade change and slope upward. Screening efforts in this location would not have any appreciable or useful effect.

<u>Item 2a,i.</u> Not less than one-half of the required building setback area from any dedicated street shall be devoted solely to lawns, trees, shrubs, and other landscaping.

Provided: The proposed plan provides for 60% of the building setback area to be devoted to lawns, trees, shrubs and other landscaping -a 20% improvement over the requirement. While

not included in this calculation because it is technically an outlot, the east wall of Building 1 is set back from S. Hickory Street no less than 111' and this entire area is dedicated to a stormwater pond, lawn, trees and other landscaping.

<u>Item 2c,iii.</u> Sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds, and shall connect to existing or planned public sidewalks or pedestrian/bike facilities.

Request: The proposed plan provides three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets in lieu of a continuous walk across the front of the buildings. We feel that this provides more direct pedestrian access between the building entrances and the public sidewalk. It also allows us to maintain a wider landscape strip between the building and the parking lot and have less total impervious area on the site.

<u>Item 4a,iii.</u> Brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions. <u>iv.</u> Precast concrete, cast stone, plain/smooth concrete masonry units and EIFS are acceptable accent and secondary materials for the solid portion of any buildings or additions.

Request: Articulated, painted precast concrete wall panels are utilized for the exterior walls of the building. This is the industry standard for a Class A building of this type. No concrete masonry units or EIFS is used in the buildings.

<u>Item 4a,xi</u>. Outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative fencing, and/or landscaping.

Provided: Similar to 1.a.v. above, although allowed in the side yard, loading docks are limited entirely to the rear yard and are well screened from views from the adjacent streets with berms and landscaping.

Item 7. Supplemental Design Guidelines. It is intended that the *applicable* design guidelines set forth in South 27th Street Corridor Plan, and the *applicable* design standards in the South 27th Street Design Overlay District, be utilized - *as a supplemental guide* - to the mandatory design standards set forth elsewhere in this Ordinance pertaining to the Business Park Area portion of the Planned Development District No. 39. The purpose of these supplemental guidelines are to serve as general recommendations to further encourage good quality design in new building and site design, which in turn will support an attractive, interesting, safe, and sustainable District. It is also intended that these supplemental guidelines serve as the supplemental design elements or improvements to be incorporated into any project which requires compensation for any waiver of the additional design standard as set forth in this Ordinance. In particular, it is *encouraged* that the design standards, set forth in Section 15-3.0355B and Section 15-3.0355C of South 27th Street Design Overlay District *be considered*.

Response: The intent as identified in bold text above is noted to encourage considering use of the Supplemental Design Guidelines where applicable, as a supplemental guide. In line with our intent to provide an industrial building which is aesthetically pleasing and appropriate for

its use and location in the business park, the following indicates how the proposed design relates to these encouraged guidelines. Per our discussions with the City, these guidelines are considerably less important for the site of these buildings than they are for more prominent locations.

a) §15-3.0444B.D.4.iii. requires brick, stone, tile, and custom architectural masonry as a preferred primary materials; precast concrete should only be used as a secondary material (§15-3.0444B.D.4.iv). Staff recommends, at a minimum, that the lower third of the public facades reflect higher quality materials. In addition to our previous submittal, we would like to add the following response. Brick, stone, tile and custom architectural masonry materials are not appropriate for a large warehouse facility. Load bearing precast wall panels are industry standard and provide an efficient and sustainable solution addressing enclosure and structure. Also, of this type due to the height of these buildings, and the material's thermal bowing, applied materials can be problematic. Additionally, based on market studies and previous projects, the industrial market does not support the additional cost to provide these materials.

Unified Development Ordinance (UDO) Requirements

- 8) Please provide Site Intensity and Site Capacity Calculations as required by §15-7.0100.C. Calculations may be completed using the procedure described by §15-3.0500. The worksheet calculation has been added.
- 9) §15-7.0100.G. requires Natural Resource Features Protection. This site plan must conform to the Natural Resource Protection Plan approved with CSM 9243. Should the site plan propose revisions to that NRPP, they are subject to technical review by staff, in accordance with §15-7.0103.Q Please verify that the proposed development is in conformance with that NRPP. Acknowledged and confirmed.
- 10) §15-7.0103.K. requires that the site plan depict the location and design of any waste disposal and/or loading facility. Please include the location of trash enclosures or indicate their access points if they are internal to buildings. A note has been added to the consolidated site plan explaining that this information shall be provided and reviewed under a separate future tenant build-out submittal, once specific needs are known.
- 11) Please indicate the owner's and/or developer's name and address on the Site Plan as required by §15-7.0103.B. The name has been added to the consolidated site plan. The Owner/Developer is Franklin WI Industrial, LLC identified as HSA Commercial in the submitted documents.
- 12) As required by §15-7.0103.H. please include the number of parking spaces provided, and the number of ADA parking spaces provided, on a consolidated site plan. A project summary table has been added to the consolidated site plan which includes this information.
- 13) Please include building height in both feet, and stories, on the site plan, as required by §15-7.0103.J A project summary table has been added to the consolidated site plan which includes this information.
- 14) Note that §15-7.0103.P requires that approval of stormwater plans are a condition of approval for any Site Plan. Please verify that stormwater requirements for the site have been met. The stormwater plans have been submitted and approved.

- 15) §15-7.0103X requires that the site plan depict the location of all existing and proposed easements on the site including natural resource protection and mitigation area easements, landscape easements, access easements, utility easements, and all other easements. Note that mid-block utility easements are required for this Site Plan. All existing easements and proposed easements have been added to the consolidated site plan.
- 16) Please indicate snow storage areas on the site plan, in accordance with §15-5.0210 The snow storage areas have been added to the consolidated site plan and the landscape plans.
- 17) Requested waivers to 27th St. Overlay Design Standards (Division 15-3.0350) are noted and must be submitted to Plan Commission for review. Below are our requested waivers that have been previously submitted. Text in this response is in black for the standard, blue for the requested exceptions and green for areas where we exceed design standards as originally submitted. It is our understanding that these standards were written for retail oriented developments and the Village is currently reviewing what requirements, if any, are relevant to our industrial project.

<u>Village of Franklin Zoning, Chapter UDO, Part 3, Division 15-3.0350, Section 15-3.0351 – South 27th Street Design Overlay District</u>

<u>15-3.0352.A.</u> Parking required and Location Regulated. Not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street, unless additional buildings in the overall development are or will be located between the main building and the public street. Such additional buildings must be sufficient in size, location, and number to provide an effective visual break between the public street and the parking lot.

Request: As also stated in response to Item 1a.iv. in the PDD No. 39 above, in the design of industrial buildings, the goal is to separate the car traffic from truck traffic for safety purposes. All of the employee and visitor car parking is located in parking lots on the north side of the buildings and any truck maneuvering being confined to the south sides of the buildings.

<u>15-3.0353.C.4.</u> Sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds.

Request: As also stated in response to Item 2.c.iii. in the PDD No. 39 above, the proposed plan provides three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets in lieu of a continuous walk across the front of the buildings. We feel that this provides more direct pedestrian access between the building entrances and the public sidewalk. It also allows us to maintain a wider landscape strip between the building and the parking lot and have less total impervious area on the site.

<u>15-3.0353.C.7.</u> The building shall provide awnings or other weather protection features within 30 feet of all customer entrances along a building.

Request: The proposed design provides canopies at each of the proposed tenant entrances to accent the entries and provide rain cover while the pedestrian enters the building. Canopies or awnings beyond this are not typical for buildings of this type.

<u>15-3.0353.E.</u> Bicycle and Pedestrian Amenities Required. The development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate quantities and location.

Request: The proposed design does not include bicycle racks or pedestrian furniture. These are not typical for buildings of this type. These amenities can be provided by the individual tenants if they choose to.

15-3.0353.G. Central Areas/Features. Each development which contains a building over 50,000 square feet in area shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground area, water feature, and/or other such deliberately designated areas or focal points that adequately enhance the development or community. All such areas shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the building and remainder of the site, and maintained over the life of the building and project.

Request: The proposed design does not include any central area/feature. These are not typical for buildings of this type.

<u>15-3.0355.B.3.b.</u> Exterior building materials shall convey an impression of durability. Materials such as masonry, stone, stucco, and wood are encouraged. Metal is not allowed as the primary exterior building material, though it may be used for accents including awnings.

Request: As also stated in response to Item 4a.iv. in the PDD No. 39 above, articulated, painted precast concrete wall panels are utilized for the exterior walls of the building. This is the industry standard for a Class A building of this type.

<u>15-3.0355.B.5.a.</u> Decorative devices – such as molding, entablature, and friezes – are expected at the roofline. Where such ornamentation is present in the form of a linear molding or board, the band must be at least eight inches wide.

Request: The proposed design includes a simple color coordinated metal coping at the top of the wall.

<u>15-3.0355.B.6.</u> Change in Relief of Building. Buildings must include changes in relief on at least 10% of their primary façade for pedestrian interest and scale. Relief changes include cornices, bases, fenestration, fluted masonry, or other treatments.

Provided: The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 35.67% of the building's north facade. In addition, there are grade level windows, clerestory windows and paint changes to provide further visual interest/relief.

<u>15-3.0355.B.7.a.</u> Windows which allow views to the interior activity or display areas are expected. Windows shall include sills at the bottom and pediments at the top. Glass curtain walls, reflective glass, and painted or darkly tinted glass shall not be used.

Request: The glazing at these buildings will typically be to office areas that are part of the overall function of the tenant's operations. These are not typically retail or showroom display areas as seem to be intended by the language in the standards. This requirement would appear to not be applicable in this location.

<u>15-3.0355.C.4.</u> Building Materials. Building materials shall be unified throughout the building, and shall complement other buildings in the vicinity. Exterior building materials shall be of high and

comparable aesthetic quality on all sides. Building materials such as glass, brick, decorative concrete block, or stucco shall be used. Decorative architectural metal with concealed fasteners may be approved if sensitively incorporated into the overall design of the building.

Request: As also stated in response to Item 4a.iv. in the PDD No. 39 above, articulated, painted precast concrete wall panels are utilized for the exterior walls of the building. This is the industry standard for a Class A building of this type.

15-3.0355.C.5 Building Design. The building exterior shall be unified in design throughout the structure, and shall complement other buildings in the vicinity. The building shall employ varying building setbacks, height, roof treatments, door and window openings, and other structural and decorative elements to reduce apparent size and scale. A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height, with such differences being six feet or more as measured eave to eave or parapet to parapet for buildings over 50,000 square feet. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor facades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged.

Request: The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building's perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west facades are within 100' of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west facade length for a combined total of 45.45%.

<u>15-3.0355.C.6</u> Building Entrances. Public building entryways shall be clearly defined and highly visible on the buildings exterior design, and shall be emphasized by on-site traffic flow patterns. Two or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details. Unless exempted by the Plan Commission all sides of the building that directly face or abut a public street or public parking area shall have at least one public entrance, except that the City shall not require building entrances on more than two sides of any building.

Request: The proposed design includes two primary corner entrances and two secondary entry features for each building. There are also additional windows provided to either side of the corner entrances. All entries include canopies, storefront glazing and distinct painting treatments.

B. Special Standards for Specified Special Uses. When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for

such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: The applicant is requesting that business classifications of eCommerce Fulfillment, Warehousing, and Distribution uses are considered Permitted Uses, which may be approved by the Zoning Administrator, and not subject to the requirements of Section 15-3.0702 and 15-3.0703.

- C. <u>Considerations</u>. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:
 - 1. **Public Benefit**. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The proposed Class A Industrial development will be attractive to many different types of industrial operations who will be looking to capitalize on the access that the newly constructed Elm Boulevard provides to Interstate 94. The development will lead to an immediate return on investment of the Elm Boulevard public infrastructure project as well as a catalyst project for TID 4 which will establish immediate assessed property value increment.

2. **Alternative Locations**. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: The proposed Class A Industrial development site presents an optimal site plan layout which is inclusive of all of the amenities that progressive industrial tenants are searching for. The site is located in the Business Park section of TID 4 which allows the community of Franklin to attract immediate investment and increment, while preserving future development sites closer to the 27th Street corridor for signature corporate headquarter developments.

3. **Mitigation of Adverse Impacts**. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The proposed Class A development promotes maximum density development which maximizes the Per Acre assessed value of land in the community. HSA Commercial was drawn to the pristine natural features of the community of Franklin and they have long been a proponent of creating sustainable long-term development that protects the environment. Maximum Per Acre development ensures that the community maximizes property value while also protecting its natural resources. The opportunity to leverage the natural environment surrounding the

development as part of necessary greenspace requirements will ensure that the community of Franklin will experience both a development that blends into the natural environment and a development that immediately provides a return on investment to the community in TID 4.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area**. Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The proposed development will be the first, Class A Industrial development in the Business Park and it will set the bar for the redevelopment of several outdated industrial properties along the Elm Boulevard corridor.

Special Use

This property is located in the *Business Park* area of PDD 39 and subject to the requirements of Section §15-3.0444B with regards to use. In addition to the requirements of PDD 39, Special Use applications are subject to §15-3.0701: General Standards for Special Uses.

- 18) Special Use requests are noted: Acknowledged.
 - a) eCommerce / Distribution, and Warehousing, requires Special Use approval per the requirements of §15-3.0444B.B.3
 - b) Overnight parking for vehicles in excess of 8,000 pounds, requires Special Use approval per §15-3.0444B.D
- 19) Please provide information about the desired hours of operation. Our project is a speculative industrial shell building. The hours of operation will be tenant specific and will be provided and reviewed under a separate future tenant build-out submittal.

Additional Planning Comments

- 20) Staff recommends buildings be setback a minimum of six (6) feet from any conservation easement boundary to allow construction of the building without disturbance or impact to the protected resource feature. Acknowledged. It is our understanding that a conservation easement boundary does not exist on this site per the approved NRPP.
- 21) Note that the proposed driveway through Outlot 1 is subject to the approval of the Engineering Department. Please verify that the driveway has obtained this approval. The proposed driveway access through Outlot 1 as shown on the civil plans is consistent with the approved NRPP.
- 22) Please note that as a condition of the CSM for these lots, City of Franklin DPW trucks are allowed to turn around in the western driveway until such time as the road connection to the south is completed or a hammerhead installed. Acknowledged.
- 23) Retaining wall on the eastern property edge is depicted as 6' high on the civil set for the site plan, but listed as both 4' high and 6' high on the architectural site plan. Please clarify which height is

proposed. The retaining wall label on the civil set for the site plan has been updated, and now reads "300 L.F. Retaining Wall Height Varies 4' - 6'."

24) PDD 39 (ORD2016-2238) requires cross-access for both pedestrian and vehicular circulation. Staff recommends that the applicant depict cross access on the site plan, and submit easements for review and approval. Proposed access easements have been added to the consolidated site plan.

Fire Department Comments

The fire department has no comment on the special use.

The fire department approves of the hydrant placement and vehicle access as proposed (must approve any future revisions or amendments). Acknowledged.

Legal Department Comments

Please provide the correct legal name for the business/applicant. HSA Acquisitions, Inc. is not listed by the WI Department of Financial Institutions. The Owner/Developer is Franklin WI Industrial, LLC identified as HSA Commercial in the submitted documents.

HSA FRANKLIN INDUSTRIAL – FRANKLIN CORPORATE PARK

PROJECT SUMMARY:

The project development will be located in the proposed Business Park district situated at the west end of Elm Road. Franklin WI Industrial, LLC (identified as HSA Commercial in these documents) will be developing two (2) Class A speculative industrial buildings in which tenants have not yet been identified. The proposed development will be a Class A industrial development that reflects best in class design standards for the asset class.

Each building will be approximately 149,400 square feet. The buildings will be constructed with load bearing precast concrete painted wall panels and interior steel columns and roof framing. The proposed design includes two primary corner entrances and two secondary entry features each with their own storefront and canopies. Additional windows and clerestory windows are provided. The car traffic has been separated from truck traffic for safety purposes. Car parking is in front of the building to the north with access from West Aspen Way. Truck loading is to the south with access from South Birch Street and South Hickory Street. A shared access drive will be located between the buildings. Three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets are provided for pedestrian and bike access. A stormwater detention pond will be located on the east side of the site in a newly created outlot between the building and South Hickory Street. The project is in accordance with the approved Natural Resources Protection Plan.

The estimated project value for the development of the two buildings and site work is \$18,000,000. The estimated project schedule is to break ground on Building I in the fourth quarter of 2020 for completion in the summer of 2021.

<u>DIVISION 15-3.0700</u> SPECIAL USE STANDARDS AND REGULATIONS SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

- **A.** <u>General Standards</u>. No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:
- 1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The development will be located in the proposed Business Park district situated at the west end of Elm Road. HSA Commercial will be developing two (2) Class A speculative Industrial buildings in which Tenants have not yet been identified. To ensure the success of the project in the COVID -19 era, in which businesses are making decisions on locations under rapidly accelerated time frames, the applicant is requesting additional uses to be considered as approved Permitted Uses for the development. The current Business Park area zoning approves several use classifications such as Light Industrial and Light Manufacturing as a Permitted Use. The applicant is requesting that business classifications of eCommerce Fulfillment, Warehousing, and Distribution uses are considered Permitted Uses. The proposed development will be a Class A Industrial development that reflects best in class design standards for the asset class. The additional approved permitted uses align with the types of businesses that are expanding in the area which will enhance long term property value and maximize assessed property increment to help support TID 4.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The proposed development site is situated on the far west end of Elm Road which is further highlighted in the attached Exhibit "D". To the west and east, the development will be bordered by a large wooded corridor that will likely never be developed. To the north, the development will overlook a future industrial site and a detention pond and environmental corridor. To the south, there will be future Industrial/Business Park development. All employee, vendor and logistics access will be directed to the newly constructed Elm Boulevard which will lead to a new diamond interchange at I-94 less than 1 mile away. The reconstruction of Elm Boulevard to a commercial grade road will ensure that unnecessary traffic does not flow through to sensitive residential areas such as Oakwood Road.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: Given the natural wooded screening to the west and east of the property, 50% of the development will not have immediate visibility. Future development to the North and South of the development will likely be Industrial/Business Park in nature. The development will also lead directly into the newly constructed commercial grade Elm Boulevard which will lead most traffic directly onto I-94.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The development will be serviced by all necessary public utilities, infrastructure, and services.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The newly constructed commercial grade Elm Boulevard and I-94 interchange, which is less than 1 mile away, will naturally attract the vast majority of traffic patterns. There should be no reason for traffic from the development to funnel into residential neighborhoods in the area.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed development will be located on an unimproved site that is bordered on the west and east by heavily wooded areas that will likely never be developed. Additionally, there will be a detention pond and additional environmental corridor directly north of the development. The proposed development blends into the natural environment and will offer prospective Tenants several nature-based amenities that will help attract growing businesses to the area.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

As part of our application and this submittal, we are requesting some exceptions to the applicable design standards. The requested exceptions are in blue text below. We are also identifying areas where we exceed the design standards – these are in green text.

PDD No. 39 Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards

Item 1a,iii. Overnight parking of trucks and service vehicles over 8,000 pounds manufactured Gross Vehicle Weight shall be allowed only with a Special Use. Overnight parking of trucks and service vehicles under 8.000 pounds Gross Vehicle Weight shall be behind landscape screening so as to minimize visibility from adjacent roadways.

Request: We are requesting a special use to allow trucks and service vehicles to park in the truck court overnight.

<u>Item 1a,iv</u>. Parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard.

Request: In the design of industrial buildings, the goal is to separate the car traffic from truck traffic for safety purposes. All of the employee and visitor car parking is located in parking lots on the north side of the buildings and any truck maneuvering being confined to the south sides of the buildings.

<u>Item 1a,v</u>. Loading and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms and/or decorative fences.

Provided: Although allowed in the side yard, loading and unloading areas are limited entirely to the rear yard and are well screened from views from the adjacent streets.

<u>Item 1a,vi.</u> All parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms, and/or decorative fences.

Request: The car parking and truck court (loading area) will be screened from the public streets via berms and landscaping. Screening to the south is not practical since there is a significant grade change and slope upward. Screening efforts in this location would not have any appreciable or useful effect.

<u>Item 2a,i.</u> Not less than one-half of the required building setback area from any dedicated street shall be devoted solely to lawns, trees, shrubs, and other landscaping.

Provided: The proposed plan provides for 60% of the building setback area to be devoted to lawns, trees, shrubs and other landscaping – a 20% improvement over the requirement. While not included in this calculation because it is technically an outlot, the east wall of Building 1 is set back from S. Hickory Street no less than 111' and this entire area is dedicated to a stormwater pond, lawn, trees and other landscaping.

<u>Item 2c,iii.</u> Sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds, and shall connect to existing or planned public sidewalks or pedestrian/bike facilities.

Request: The proposed plan provides three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets in lieu of a continuous walk across the front of the buildings. We feel that this provides more direct pedestrian access between the building entrances and the public sidewalk. It also allows us to maintain a wider landscape strip between the building and the parking lot and have less total impervious area on the site.

Item 4a,iii. Brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions. **iv.** Precast concrete, cast stone, plain/smooth concrete masonry units and EIFS are acceptable accent and secondary materials for the solid portion of any buildings or additions.

Request: Articulated, painted precast concrete wall panels are utilized for the exterior walls of the building. This is the industry standard for a Class A building of this type. No concrete masonry units or EIFS is used in the buildings.

<u>Item 4a,xi</u>. Outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative fencing, and/or landscaping.

Provided: Similar to 1.a.v. above, although allowed in the side yard, loading docks are limited entirely to the rear yard and are well screened from views from the adjacent streets with berms and landscaping.

Item 7. Supplemental Design Guidelines. It is intended that the *applicable* design guidelines set forth in South 27th Street Corridor Plan, and the *applicable* design standards in the South 27th Street Design Overlay District, be utilized - *as a supplemental guide* - to the mandatory design standards set forth elsewhere in this Ordinance pertaining to the Business Park Area portion of the Planned Development District No. 39. The purpose of these supplemental guidelines are to serve as general recommendations to further encourage good quality design in new building and site design, which in turn will support an attractive, interesting, safe, and sustainable District. It is also intended that these supplemental guidelines serve as the supplemental design elements or improvements to be incorporated into any project which requires compensation for any waiver of the additional design standard as set forth in this Ordinance. In particular, it is *encouraged* that the design standards, set forth in Section 15-3.0355B and Section 15-3.0355C of South 27th Street Design Overlay District *be considered*.

Response: The intent as identified in bold text above is noted to encourage considering use of the Supplemental Design Guidelines where applicable, as a supplemental guide. In line with our intent to provide an industrial building which is aesthetically pleasing and appropriate for its use and location in the business park, the following indicates how the proposed design relates to these encouraged guidelines. Per our discussions with the City, these guidelines are considerably less important for the site of these buildings than they are for more prominent locations.

<u>Village of Franklin Zoning, Chapter UDO, Part 3, Division 15-3.0350, Section 15-3.0351</u> – South 27th Street Design Overlay District

<u>15-3.0352.A.</u> Parking required and Location Regulated. Not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street, unless additional buildings in the overall development are or will be located between the main building and the public street. Such additional buildings must be sufficient in size, location, and number to provide an effective visual break between the public street and the parking lot.

Request: As also stated in response to Item 1a.iv. in the PDD No. 39 above, in the design of industrial buildings, the goal is to separate the car traffic from truck traffic for safety purposes. All of the employee and visitor car parking is located in parking lots on the north side of the buildings and any truck maneuvering being confined to the south sides of the buildings.

<u>15-3.0353.C.4.</u> Sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds.

Request: As also stated in response to Item 2.c.iii. in the PDD No. 39 above, the proposed plan provides three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets in lieu of a continuous walk across the front of the buildings. We feel that this provides more direct pedestrian access between the building entrances and the public sidewalk. It also allows us to maintain a wider landscape strip between the building and the parking lot and have less total impervious area on the site.

<u>15-3.0353.C.7.</u> The building shall provide awnings or other weather protection features within 30 feet of all customer entrances along a building.

Request: The proposed design provides canopies at each of the proposed tenant entrances to accent the entries and provide rain cover while the pedestrian enters the building. Canopies or awnings beyond this are not typical for buildings of this type.

<u>15-3.0353.E.</u> Bicycle and Pedestrian Amenities Required. The development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate quantities and location.

Request: The proposed design does not include bicycle racks or pedestrian furniture. These are not typical for buildings of this type. These amenities can be provided by the individual tenants if they choose to.

<u>15-3.0353.G.</u> Central Areas/Features. Each development which contains a building over 50,000 square feet in area shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground area, water feature, and/or other such deliberately designated areas or focal points that adequately enhance the development or community. All such areas shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the building and remainder of the site, and maintained over the life of the building and project.

Request: The proposed design does not include any central area/feature. These are not typical for buildings of this type.

<u>15-3.0355.B.3.b.</u> Exterior building materials shall convey an impression of durability. Materials such as masonry, stone, stucco, and wood are encouraged. Metal is not allowed as the primary exterior building material, though it may be used for accents including awnings.

Request: As also stated in response to Item 4a.iv. in the PDD No. 39 above, articulated, painted precast concrete wall panels are utilized for the exterior walls of the building. This is the industry standard for a Class A building of this type.

<u>15-3.0355.B.5.a.</u> Decorative devices – such as molding, entablature, and friezes – are expected at the roofline. Where such ornamentation is present in the form of a linear molding or board, the band must be at least eight inches wide.

Request: The proposed design includes a simple color coordinated metal coping at the top of the wall.

<u>15-3.0355.B.6.</u> Change in Relief of Building. Buildings must include changes in relief on at least 10% of their primary façade for pedestrian interest and scale. Relief changes include cornices, bases, fenestration, fluted masonry, or other treatments.

Provided: The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 35.67% of the building's north facade. In addition, there are grade level windows, clerestory windows and paint changes to provide further visual interest/relief.

<u>15-3.0355.B.7.a.</u> Windows which allow views to the interior activity or display areas are expected. Windows shall include sills at the bottom and pediments at the top. Glass curtain walls, reflective glass, and painted or darkly tinted glass shall not be used.

Request: The glazing at these buildings will typically be to office areas that are part of the overall function of the tenant's operations. These are not typically retail or showroom display areas as seem to be intended by the language in the standards. This requirement would appear to not be applicable in this location.

<u>15-3.0355.C.4.</u> Building Materials. Building materials shall be unified throughout the building, and shall complement other buildings in the vicinity. Exterior building materials shall be of high and comparable aesthetic quality on all sides. Building materials such as glass, brick, decorative concrete block, or stucco shall be used. Decorative architectural metal with concealed fasteners may be approved if sensitively incorporated into the overall design of the building.

Request: As also stated in response to Item 4a.iv. in the PDD No. 39 above, articulated, painted precast concrete wall panels are utilized for the exterior walls of the building. This is the industry standard for a Class A building of this type.

<u>15-3.0355.C.5</u> Building Design. The building exterior shall be unified in design throughout the structure, and shall complement other buildings in the vicinity. The building shall employ varying building setbacks, height, roof treatments, door and window openings, and other structural and decorative elements to reduce apparent size and scale. A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses.

A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height, with such differences being six feet or more as measured eave to eave or parapet to parapet for buildings over 50,000 square feet. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor facades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged.

Request: The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building's perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west facades are within 100' of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west facade length for a combined total of 45.45%.

<u>15-3.0355.C.6</u> Building Entrances. Public building entryways shall be clearly defined and highly visible on the buildings exterior design, and shall be emphasized by on-site traffic flow patterns. Two or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details. Unless exempted by the Plan Commission all sides of the building that directly face or abut a public street or public parking area shall have at least one public entrance, except that the City shall not require building entrances on more than two sides of any building.

Request: The proposed design includes two primary corner entrances and two secondary entry features for each building. There are also additional windows provided to either side of the corner entrances. All entries include canopies, storefront glazing and distinct painting treatments.

- **B.** <u>Special Standards for Specified Special Uses</u>. When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.
 - Response: The applicant is requesting that business classifications of eCommerce Fulfillment, Warehousing, and Distribution uses are considered Permitted Uses, which may be approved by the Zoning Administrator, and not subject to the requirements of Section 15-3.0702 and 15-3.0703.
- C. <u>Considerations</u>. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

- 1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.
 - Response: The proposed Class A Industrial development will be attractive to many different types of industrial operations who will be looking to capitalize on the access that the newly constructed Elm Boulevard provides to Interstate 94. The development will lead to an immediate return on investment of the Elm Boulevard public infrastructure project as well as a catalyst project for TID 4 which will establish immediate assessed property value increment.
- 2. **Alternative Locations**. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.
 - Response: The proposed Class A Industrial development site presents an optimal site plan layout which is inclusive of all of the amenities that progressive industrial tenants are searching for. The site is located in the Business Park section of TID 4 which allows the community of Franklin to attract immediate investment and increment, while preserving future development sites closer to the 27th Street corridor for signature corporate headquarter developments.
- 3. **Mitigation of Adverse Impacts**. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.
 - Response: The proposed Class A development promotes maximum density development which maximizes the Per Acre assessed value of land in the community. HSA Commercial was drawn to the pristine natural features of the community of Franklin and they have long been a proponent of creating sustainable long-term development that protects the environment. Maximum Per Acre development ensures that the community maximizes property value while also protecting its natural resources. The opportunity to leverage the natural environment surrounding the development as part of necessary greenspace requirements will ensure that the community of Franklin will experience both a development that blends into the natural environment and a development that immediately provides a return on investment to the community in TID 4.
- 4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area**. Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.
 - Response: The proposed development will be the first, Class A Industrial development in the Business Park and it will set the bar for the redevelopment of several outdated industrial properties along the Elm Boulevard corridor.

Table 15-3.0505

Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development 3825 & 3707 ASPEN WAY - PARCEL ONLY

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take Base Site Area (from Step 5 in Table 15-3.0502): 16.00 acres Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X 0.25 Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =	4.00 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take Base Site Area (from Step 5 in Table 15-3.0502): 16.00 acres Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: - 4.00 acres Equals NET BUILDABLE SITE AREA =	12.00 acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take Net Buildable Site Area (from Step 2 above): 12.00 acres Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X 0.85 Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =	10.20 acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take Base Site Area (from Step 5 of Table 15-3.0502): 16.00 acres Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X 0.55 Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =	8.80 acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):	8.80 acres
	(Multiple results by 43,560 for maximum floor area in square feet):	(383,328 square feet)

Table 15-3.0505

Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development 3825 & 3707 ASPEN WAY - PARCEL w/ OUTLOT

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take Base Site Area (from Step 5 in Table 15-3.0502): 17.22 acres Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X 0.25 Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =	4.30 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take Base Site Area (from Step 5 in Table 15-3.0502): 17.22 acres Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: - 4.00 acres Equals NET BUILDABLE SITE AREA =	12.92 acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take Net Buildable Site Area (from Step 2 above): 12.92 acres Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X 0.85 Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =	10.98 acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take Base Site Area (from Step 5 of Table 15-3.0502): 17.22 acres Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X 0.55 Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =	9.47 acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):	9.47 acres
	(Multiple results by 43,560 for maximum floor area in square feet):	(412,513 square feet)

LEGAL DESCRIPTION:

All of Lots 1 and 2 of Certified Survey Map No. ______, being a part of the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 36; Thence South 00°21'57" East along the west line of said Southwest 1/4, 1322.10 feet to the south line of said Certified Survey Map; Thence North 88°35'41" East along said south line, 1109.89 feet to the east right of way line of South Birch Street, the southwest corner of said Lot 2 and the Point of Beginning;

Thence North 00°21'34" West along said east right of way line, 524.67 feet; Thence North 44°07'02" East, 15.69 feet to the south right of way line of West Aspen Way; Thence North 88°35'37" East along said south right of way line, 1301.60 feet to the west line of Outlot 1 of said Certified Survey Map; Thence South 01°24'19" East along said west line, 444.63 feet; Thence South 33°35'37" West along said west line, 58.55 feet; Thence South 88°35'41" West along said west line, 144.41 feet; Thence South 01°24'19" East along said west line, 43.00 feet to the aforesaid south line of said Certified Survey Map; Thence South 88°35'41" West along said south line, 1144.38 feet to the Point of Beginning.



HSA III - OakView Parkway, Oak Creek

Dickman III - OakView Parkway, Oak Creek

AIRPORT SOUTH INDUSTRIAL SUBMARKET

MARKET STATISTICS – AS OF Q4 2019								
Industrial Submarket	# of Buildings	Inventory (SF)	Overall Vacancy Rate	YTD Net Overall Absorption (SF)				
Total Airport Industrial Park Submarket	263	17,957,647	3.9%	877,750				
Class A - Investor	32	4,499,137	8.3%	248,158				
Class B – Investor	74	5,844,041	3.4%	441,806				
Flex – Investor	24	776,619	10.9%	9,000				

DEVELOPER CONSTRUCTION ACTIVITY – LAST 12 MONTHS							
Project	Building SF	Completion	Comments				
COMPLETIONS							
HSA - 610 W Rawson Avenue, Oak Creek	180,178	Q4 2019	39% Leased				
Seefried Industrial Properties – Spec – 9705 S Oakwood, Oak Creek	88,309	Q4 2019	100% Vacant				
St. John Properties – 2 Spec Buildings – 140 E Rawson, Oak Creek	93,680	Q4 2019	Flex - 90% Vacant				
HSA -102 W OakView Parkway, Oak Creek	132,000	Q2 2019	100% Vacant				
UNDER CONSTRUCTION							
Amazon – Ryan Business Park, Oak Creek	2,600,000		2020 delivery				
PROPOSED							

155,000

100,000

LEASING ACTIVITY		
Address	Tenant	Leased SF
5150 International Drive, Cudahy	Rexnord	150,465 (Renewal)
5170-5250 S 6th Street, Milwaukee	Iron Mountain	110,000 (Renewal)
610 W Rawson Avenue, Oak Creek	Safer Mile	69,560
5110 S 6th Street, Milwaukee	Used Cardboard Boxes, Inc.	58,500 (Renewal)
130-150 W Edgerton Avenue, Milwaukee	SEKO/KAT Logistics	54,632
5120 S International Drive, Cudahy	XPO Last Mile	35,000
10861 S Howell Avenue, Oak Creek	Arena America	105,000
5235 International Drive, Cudahy	Jeff's Fast Freight	73,598
5315-5319 S 3rd Street, Milwaukee	First Jet/SkyWest Airlines, Inc.	56,000
7000 S 10th Street, Oak Creek	Airoldi Brothers	51,000
500 Opus Drive	FedEx Truck	126,100
5201 International Drive, Cudahy	RR Donnelley (Wetzel)	153,300
525 W Marquette Avenue, Oak Creek	Independence Corrugated	112,140
10651 S OakView Parkway	Wayfair	41,864
		Convrignt



RECENT SALE COMPS					
Address	Building SF	Sale Price	Price PSF	Date	Comments
5211 S 3 rd Street, Milwaukee	359,988	\$21,500,000	\$59.72	2/26/2020	Class B
5170 S 6th Street, Milwaukee	163,200	\$12,000,000	\$73.53	2/26/2020	Class B
5150 International Drive, Cudahy	150,465	\$12,650,000	\$84.07	2/26/2020	Class A
100 W Oakwood Drive, Oak Creek	139,095	\$12,000,000	\$86.27	2/26/2020	Class A
7624 S 10th Street, Oak Creek	100,240	\$5,600,000	\$55.87	2/26/2020	Class B
9905 S 13th Street, Oak Creek	82,950	\$6,600,000	\$79.57	2/26/2020	Class A
4700 Ironwood Drive, Franklin	123,200	\$8,530,000	\$69.24	12/3/2019	Class A
10000 S Franklin Drive, Franklin	246,187	\$17,750,000	\$72.10	10/31/2019	Class A
4700 Ironwood Drive, Franklin	123,200	\$8,530,000	\$69.24	12/3/2019	Class A
9909 S 57th Street, Franklin	76,505	\$5,250,000	\$68.62	8/19/2019	Class B
305 E Mahn Court and 7420 S Howell Avenue, Oak Creek	184,457	\$15,505,000	\$84.06	4/9/2019	Class A

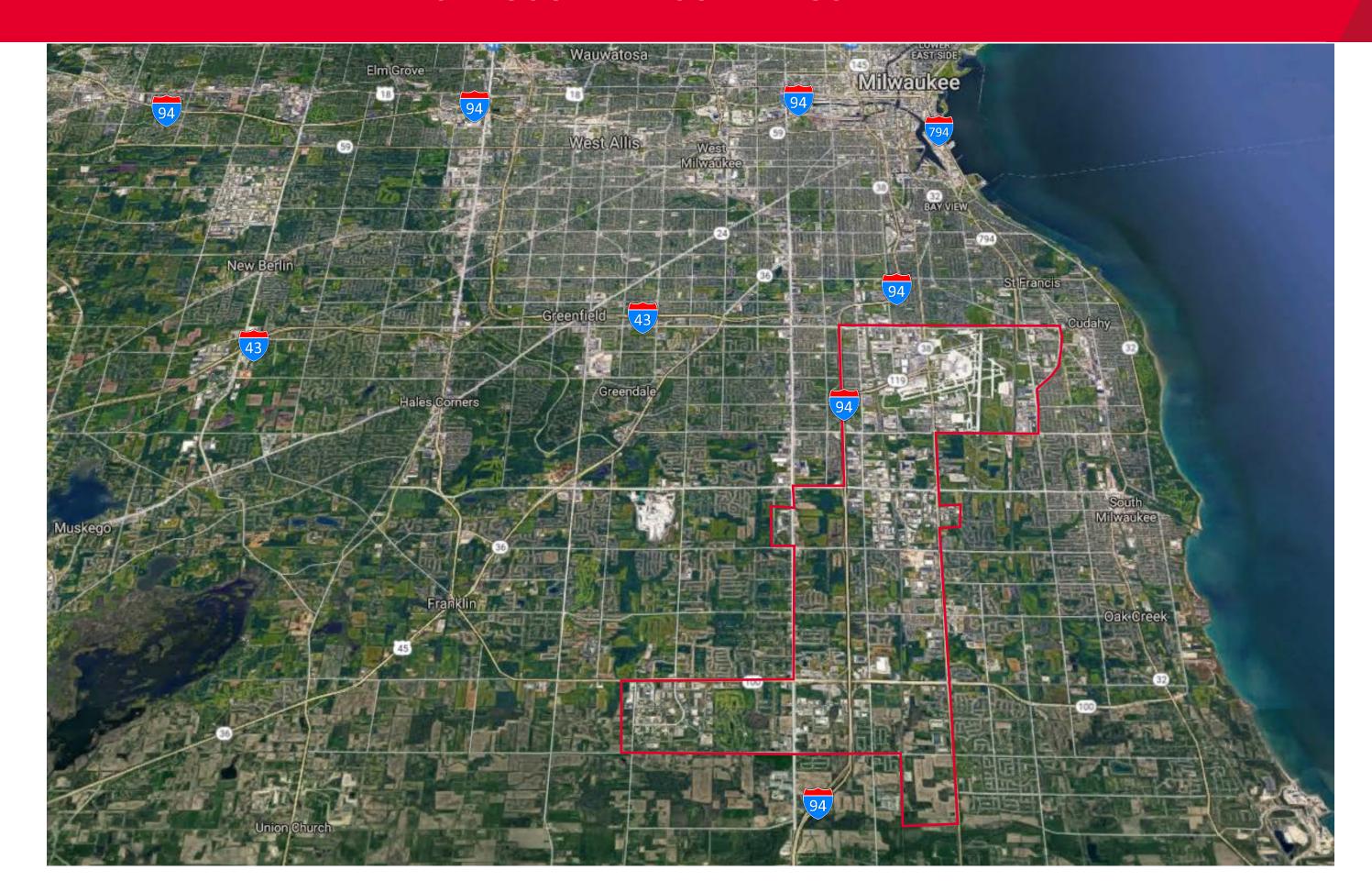
KEY VACANCIES				
Address	Building SF	Available SF	Asking Rate	Class
610 W Rawson Avenue, Oak Creek	180,178	110,618	\$5.50 NNN	Α
102 W OakView Parkway, Oak Creek	132,000	132,000	\$5.50 NNN	Α
9705 S Oakwood Park Drive, Franklin	88,309	88,309	\$5.50 NNN	А
9630-9644 S 54th Street, Franklin	80,150	61,550	\$5.75 NNN	В
4659-4859 W Basswood Drive, Franklin	126,000	42,000	\$4.95 NNN	Α
9720-9750 S Oakwood Park Drive, Franklin	108,870	73,200	\$4.85 - \$9.85 NNN	В

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Q4 2020 delivery

Q4 2020 delivery

AIRPORT SOUTH INDUSTRIAL SUBMARKET



MARKETBEAT **MILWAUKEE**

Industrial Q4 2019



4.3% Vacancy Rate





3.2M YTD Net Absorption, SF



YoY

Chg



\$4.47 Asking Rent. PSF



12-Mo.

Forecast

Overall, Net Asking Rent

ECONOMIC INDICATORS Q4 2019

885.4k













ECONOMY

Wisconsin's unemployment rate increased by 20 basis points (bps) to 3.3% in the fourth guarter 2019. Year-over-year, the unemployment rate increased 30 bps. Wisconsin continues to post an unemployment rate lower than the national average of 3.6%. The Marguette-Institute of Supply Management (ISM) Report on Manufacturing scored the Milwaukee area at 45.1 for December 2019, a decrease of 2.98 points from November 2019 and the sixth consecutive month of contraction. A reading below 50 demonstrates contraction as a measure of new orders, production, employment, supplier deliveries and inventories in the manufacturing industry.

MARKET OVERVIEW

The Metro Milwaukee industrial market finished 2019 with robust activity, showing no signs of slowdown in 2020. Leasing activity totaled 1.4 million square feet (msf) in fourth quarter 2019, up 141% guarter-over-quarter and finished the year at 4.4 msf. Overall vacancy increased 30 bps to 4.3%, largely due to a handful of vacancies that resulted in over 600,000 square feet (sf) of newly vacated space in Class B and C buildings. Net absorption however remained over 600,000 sf for the guarter overall, heavily impacted by two 3PL leases signed in Germantown and Milwaukee.

Construction activity continued its record setting pace in the fourth quarter of 2019, reflecting the highest level of construction deliveries since pre-recession times. Year-end, nearly 3.0 msf was delivered, of which 56%, or 1.6 msf is speculative development. Specifically, the I-41 North corridor in Washington County accounted for the largest velocity of new speculative deliveries with over 953,000 sf completed across six buildings, of which 35% is pre-leased. Additionally, the Airport-South region of Milwaukee County also remains a hot-bed of activity with nearly 500,000 sf completed across four buildings. The Metro Milwaukee region is showing no signs of slowing down. Currently, over 4.6 msf is currently under construction and set to deliver in 2020 and an additional 3.5 msf proposed to break ground in 2020.

OUTLOOK

While Milwaukee has long been known as a manufacturing city, the region is no longer as dependent on manufacturing. This was demonstrated by the extremely strong year of growth in 2019, while the manufacturing sector contracted. In 2020, expect to see a steady volume of leasing activity, with much of the newly delivered speculative development fully leasing up. Strong absorption figures will stay consistent during upcoming construction deliveries with strong pre-leasing activity. Anticipate average triple net asking rents to remain above \$4.50 per square foot (psf), with average asking rents for Class A product at \$5.50 psf NNN.

SPACE DEMAND / DELIVERIES



OVERALL VACANCY & ASKING RENT



MARKETBEAT

Industrial Q4 2019

MARKET STATISTICS

SUBMARKET	INVENTORY (SF)	OVERALL VACANT (SF)	OVERALL VACANCY RATE	CURRENT QTR OVERALL NET ABSORPTION(SF)	YTD OVERALL NET ABSORPTION (SF)	UNDER CNSTR (SF)	CONSTR COMPLETIONS (SF)	OVERALL WEIGHTEDAVG NET RENT (MF)*	OVERALL WEIGHTEDAVG NET RENT (OS)*	OVERALL WEIGHTED AVG NET RENT (W/D)*
Milwaukee County	98,045,791	6,664,162	6.8%	73,752	562,614	3,070,370	995,792	\$4.04	\$5.74	\$4.04
Ozaukee County	11,777,558	562,970	4.8%	39,744	95,600	0	0	\$4.22	\$5.22	NA
Washington County	20,997,822	451,776	2.2%	256,598	1,103,658	600,868	1,330,172	\$5.64	\$5.00	\$5.53
Waukesha County	73,745,607	1,094,665	1.5%	239,198	1,396,901	956,845	615,546	\$5.32	\$6.15	\$6.75
MILWAUKEE TOTALS	204,566,778	8,773,573	4.3%	609,292	3,158,773	4,628,083	2,941,510	\$4.28	\$5.80	\$4.20

^{*}Rental rates reflect weighted net asking \$psf/year

MF = Manufacturing OS = Office Service/Flex W/D = Warehouse/Distribution

WAKEFIELD BOERKE

CLASSES	INVENTORY (SF)	OVERALL VACANT (SF)	OVERALL VACANCY RATE	CURRENT QTR OVERALL NET ABSORPTION(SF)	YTD OVERALL NET ABSORPTION (SF)	UNDER CNSTR (SF)	CONSTR COMPLETIONS (SF)	OVERALL WEIGHTED AVG NET RENT
Manufacturing	110,105,466	2,891,337	2.6%	-119,473	936,699	1,392,210	1,371,295	\$4.28
Office Service / Flex	37,748,481	1,105,688	2.9%	98,948	363,449	0	258,000	\$5.80
Warehouse / Distribution	56,712,831	4,776,548	8.4%	629,817	1,858,625	3,235,873	1,312,215	\$4.20

KEY LEASE TRANSACTIONS 2019

PROPERTY	SUBMARKET	TENANT	SF	TYPE
11800 W Burleigh Street, Wauwatosa	Milwaukee County	Undisclosed	289,940	New
7025 W Parkland Court, Milwaukee	Milwaukee County	Wacker Neuson SE	230,751	New
W210N12800 Gateway Crossing, Germantown	Washington County	Smart Warehousing	198,648	New
16595 W Stratton Drive, New Berlin	Waukesha County	Christopher Morgan Fulfillment Services	171,000	Renewal
5150 International Drive, Cudahy	Milwaukee County	Rexnord	150,465	Renewal

KEY SALES TRANSACTIONS 2019

PROPERTY	SUBMARKET	BUYER/SELLER	SF	PRICE/\$ PSF
W.P. Carey Acquisition, Hartford & Milwaukee	Milwaukee and Washington County	W.P. Carey, Inc. / Cod Real Estate Holdings, LLC	466,197	\$30.1M / \$65
4143 N 27 th Street, Milwaukee	Milwaukee County	Century City Industrial LLC / Phoenix Investors, LLC	283,769	\$6.1M / \$22
10000 S Franklin Drive, Franklin	Milwaukee County	Exeter 10000 S Franklin, LLC / TI Investors of Franklin, LLC	246,187	\$17.8M / \$72

KEY CONSTRUCTION COMPLETIONS 2019

PROPERTY	SUBMARKET	MAJOR TENANT	SF	OWNER/DEVELOPER
W210N12800 Holy Hill Road, Germantown	Washington County	Briggs & Stratton	706,044	Zilber
W210N12800 Gateway Crossing I & II, Germantown	Washington County	Speculative	403,048 Combined	Zilber

KATIE GREMBAN

Director of Research +1 414 203 3045 / kgremban@boerke.com

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cushmanwakefield.com



HSA FRANKLIN INDUSTRIAL

FRANKLIN CORPORATE PARK FRANKLIN, WI



PROJECT DATA

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE - 2015 AS MODIFIED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362.

BUILDING CLASSIFICATION:

MIXED USE NON-SEPARATED, UNLIMITED AREA BUILDING

S-I (MODERATE-HAZARD STORAGE) F-I (MODERATE-HAZARD FACTORY) B (BUSINESS)

CONSTRUCTION CLASSIFICATION:

TYPE 2B - UNPROTECTED WITH AUTOMATIC SPRINKLER SYSTEM

BUILDING AREA:

PHASE II 149,4Ø8 S.F.

GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS.
- . CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.
- 3. EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
- 4. ALL WORK SHALL BE IN COMPLINCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

SHEET INDEX

TI TITLE SHEET

- CIVIL C-Ø COVER SHEET C-1 EXISTING CONDITIONS
- C-2 SITE OVERVIEW C-3 SITE PLAN
- C-4 SITE PLAN C-5 GRADING OVERVIEW C-6 GRADING PLAN
- C-7 GRADING PLAN
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- C-10 UTILITY PLAN
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- C-13 SITE STABILIZATION PLAN C-14 CONSTRUCTION DETAILS
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- L-1 LANDSCAPE CONTEXT PLAN L-2 LANDSCAPE ENLARGEMENT
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- L-5 LANDSCAPE ENLARGEMENT L-6 LANDSCAPE DETAILS L-7 LANDSCAPE NOTES & PLANT SCHEDULE

SITE LIGHTING

EI.I SITE LIGHTING PLAN

ARCHITECTURAL ALI SITE PLAN

- A3.1 PHASE I PARTIAL BUILDING FLOOR PLAN A32 PHASE I - PARTIAL BUILDING FLOOR PLAN
- A4.1 PHASE I BUILDING ELEVATIONS

ABBREVIATIONS ARCHITECT/ENGINEER ABOVE FINISH FLOOR

ALUM	ALUMINUM
BD	BOARD
B/0	BOTTOM OF
CPT	CARPET
¢	CENTER LINE
CLG	CEILING
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
co	CLEAN OUT
CW	COLD WATER
CT	CERAMIC TILE
DBL	DOUBLE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR

DS DTL DWG EA EIFS DOWNSPOUT DETAIL DRAWING

EXTERIOR INSULATION AND FINISH SYSTEM ELEVATION EXPANSION JOINT EQUIPMENT EXIST EXISTING EXTERIOR ELECTRIC WATER COOLER FIRE EXTINGUISHER CABINET

GYPSUM BOARD

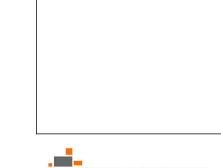
SIMILAR STD TEMP T/O TOP OF TYP TYPICAL UNO VCT WOOD WELDED WIRE FABRIC

HSA FRANKLÍN ÍNDUSTRÍAL, LLC 100 S. WACKER DRIVE, SUITE 950 CHICAGO, ILLINOIS 60606 PHONE: 312.683.7242 ATTN: ERIC OGDEN



PARTNERS IN DESIGN ARCHITECTS 2610 LAKE COOK ROAD, SUITE 280

RIVERWOODS, ILLINOIS 60015 PHONE: 847.940.0300 ATTN: WERNER BRISSKE, AIA CHAD SILVESTER, AIA



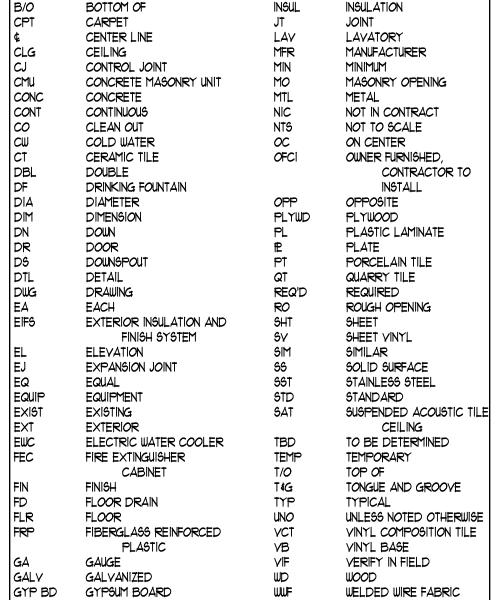
CIVIL & LANDSCAPE ENGINEER:

PINNACLE ENGINEERING GROUP 20125 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 PHONE: 262.754.8888 FAX: 262.754.885Ø ATTN: AARON KOCH, P.E.



SITE LIGHTING: ENTERPRISE LIGHTING & CONTROL 2001 PEWAUKEE ROAD

WAUKESHA, WI 53188 PHONE: 262.953.6826 FAX: 262.953.6776 ATTN: JASON STERNS



HDWR HM

HARDWARE

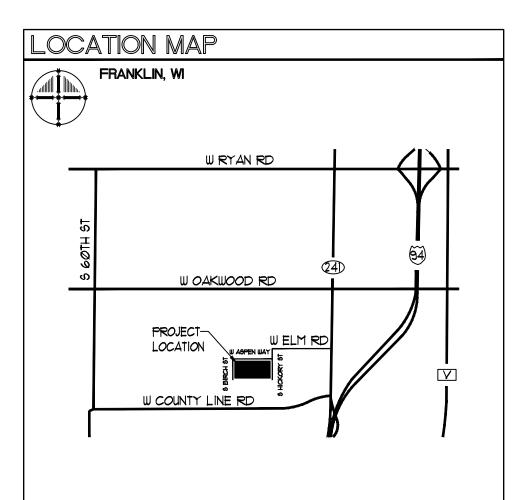
HOLLOW METAL HEIGHT HOT WATER INTERIOR

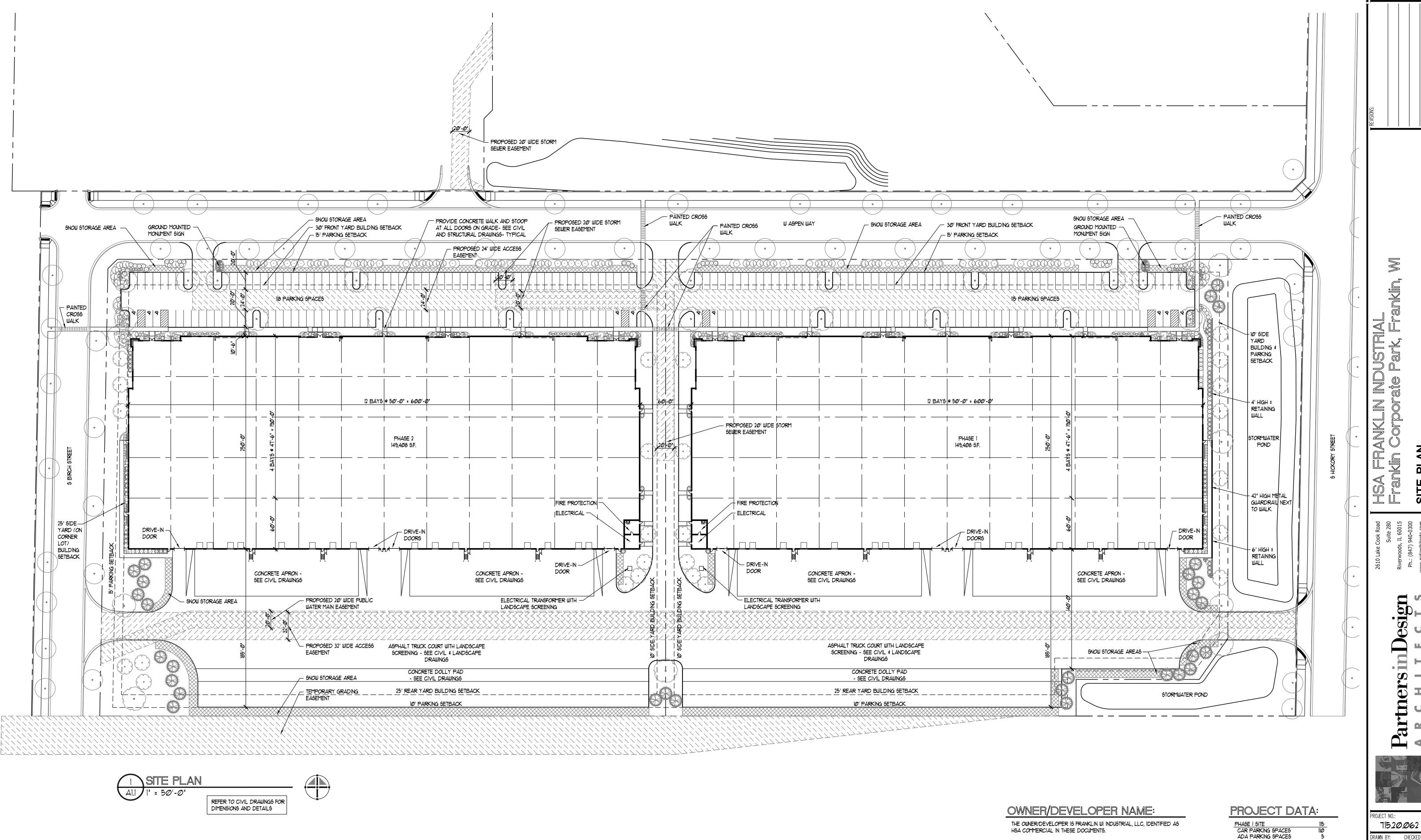


HSA FRANKLIN INDUSTRIAL PROJECT NUMBER: 715.20.062

SITE PLAN REVIEW

ISSUE DATE: 06.24.20 REVISION DATE: 09.28.20





PHASE II SITE

CAR PARKING SPACES ADA PARKING SPACES

GENERAL NOTES:

AND MECHANICAL LOCATIONS.

IF REQUIRED AT THAT POINT IN TIME.

I. NO PARKING WILL BE PERMITTED ON ANY STREET, DRIVEWAY, OR ANY PLACE IN THE DISTRICT OTHER THAN IN APPROVED PARKING SPACES,

AND OVERNIGHT PARKING OF RECREATIONAL VEHICLES IN PROHIBITED. 2. LANDSCAPE SCREENING TO BE PROVIDED AT ALL SERVICE, UTILITY

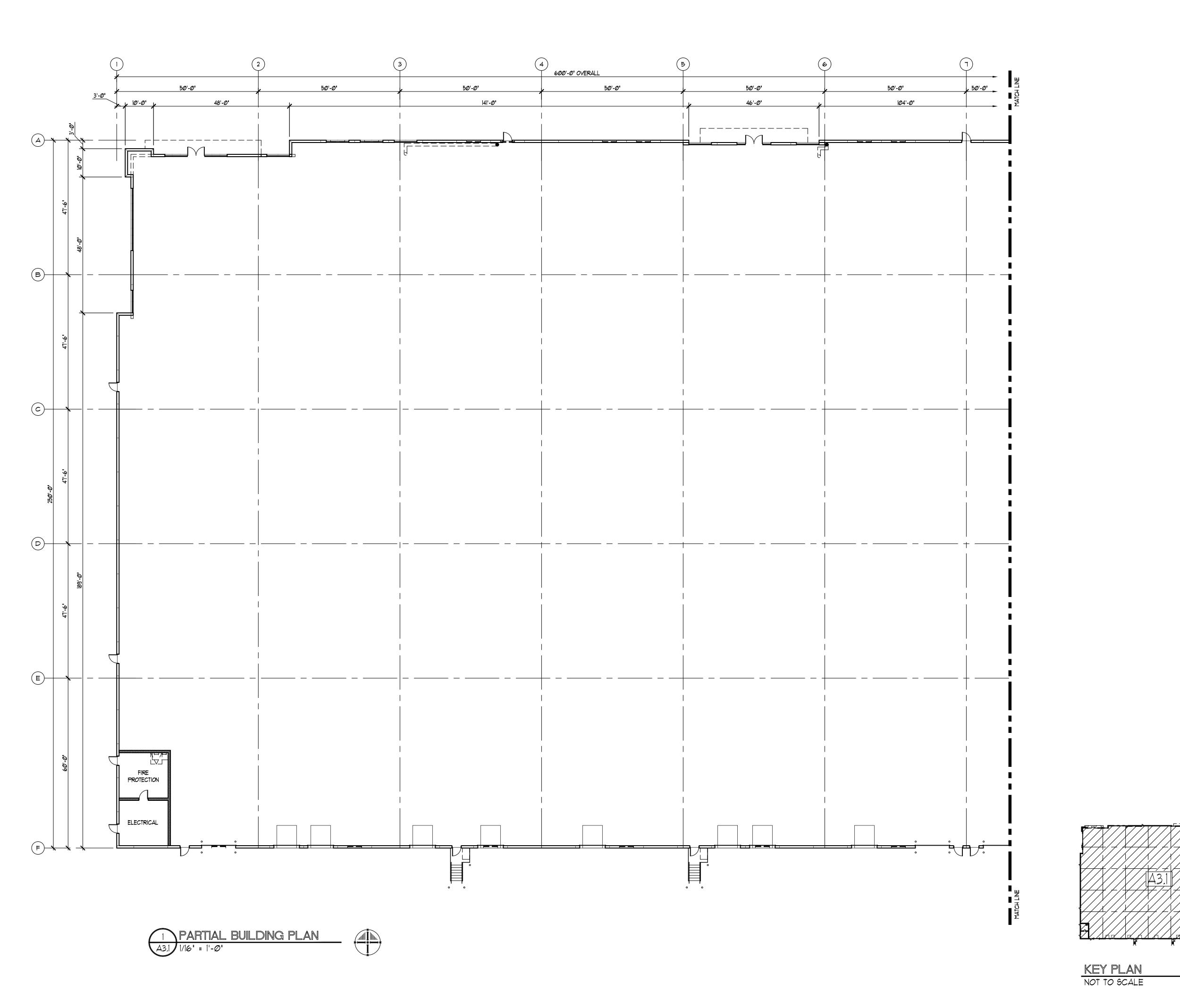
3. WAREHOUSE TENANTS TYPICALLY MANAGE THEIR WASTE INTERNALLY WITHIN THE BUILDING OR WITHIN AN ENCLOSED TRASH COMPACTOR IN A

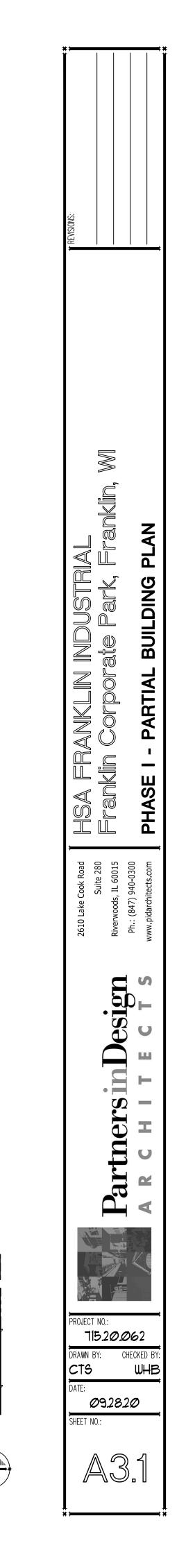
DOCK POSITION. FUTURE TENANT BUILD-OUTS UNDER A SEPARATE PERMIT SUBMITTAL WILL PROVIDE THEIR PLAN FOR TRASH MANAGEMENT FOR REVIEW AND APPROVAL. TRASH ENCLOSURES WILL BE PROVIDED PHASE II BUILDING BUILDING HEIGHT

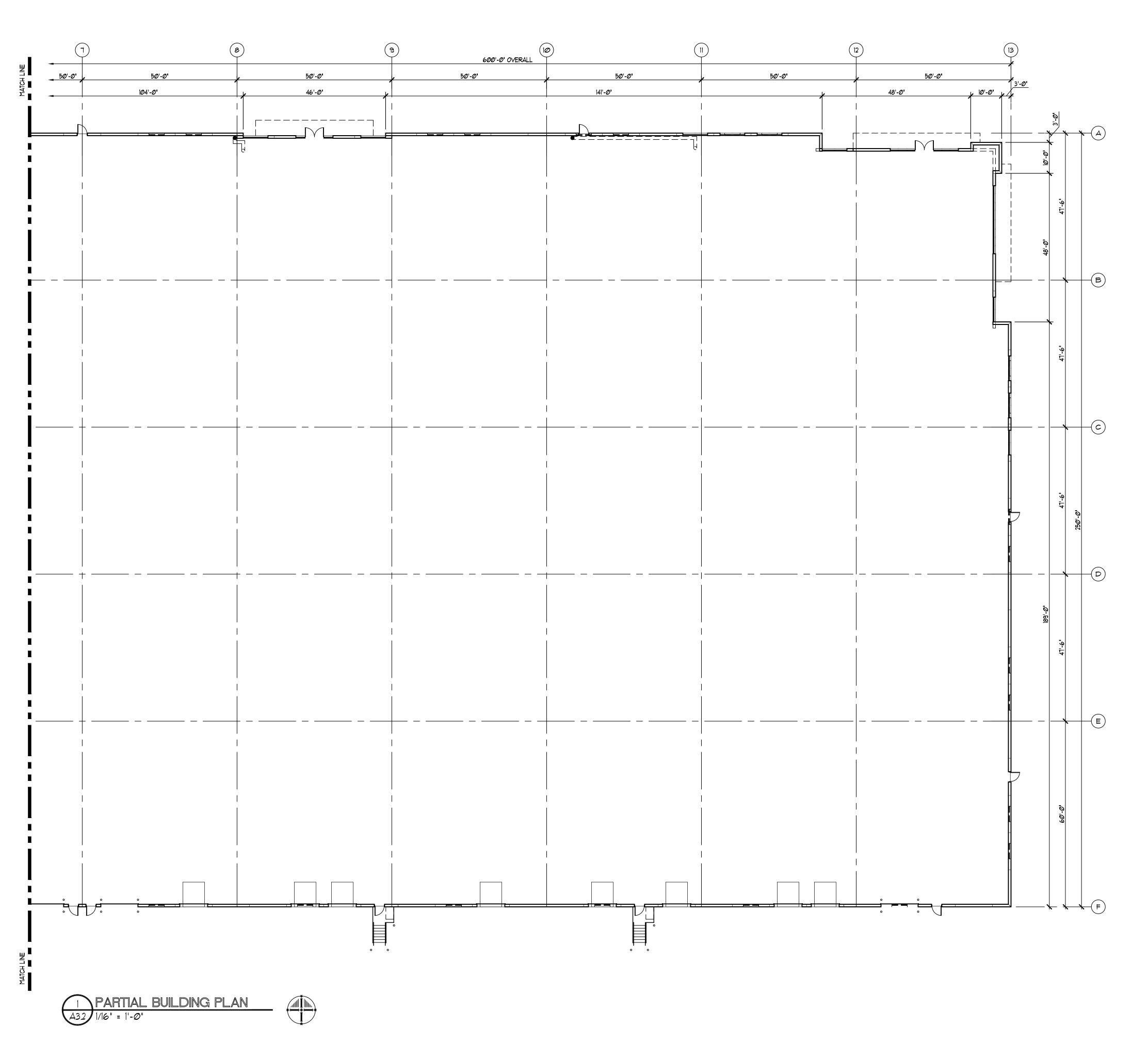
TOTAL CAR PARKING SPACES 233

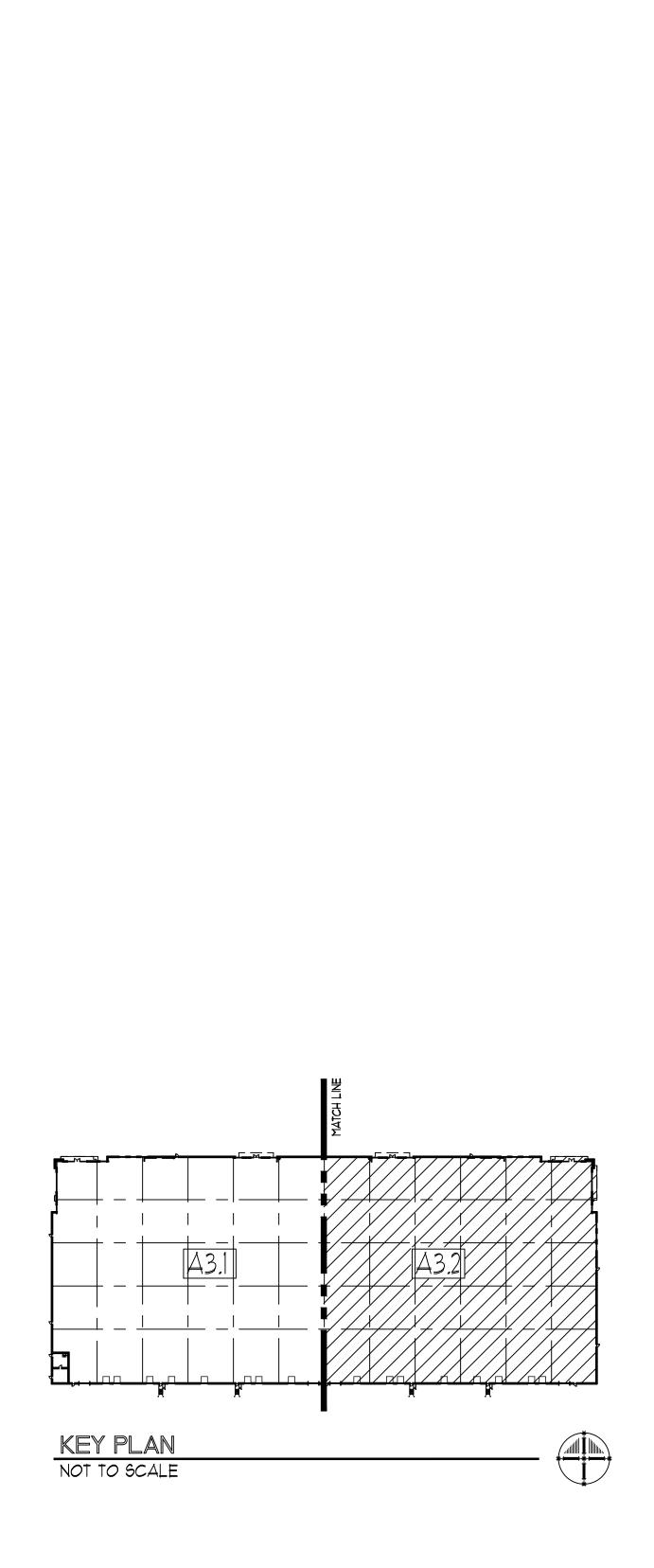
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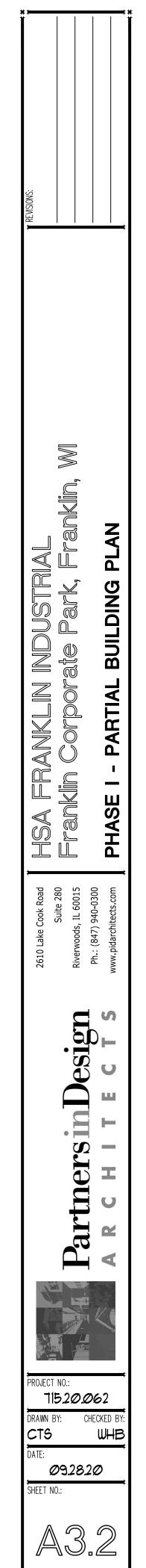
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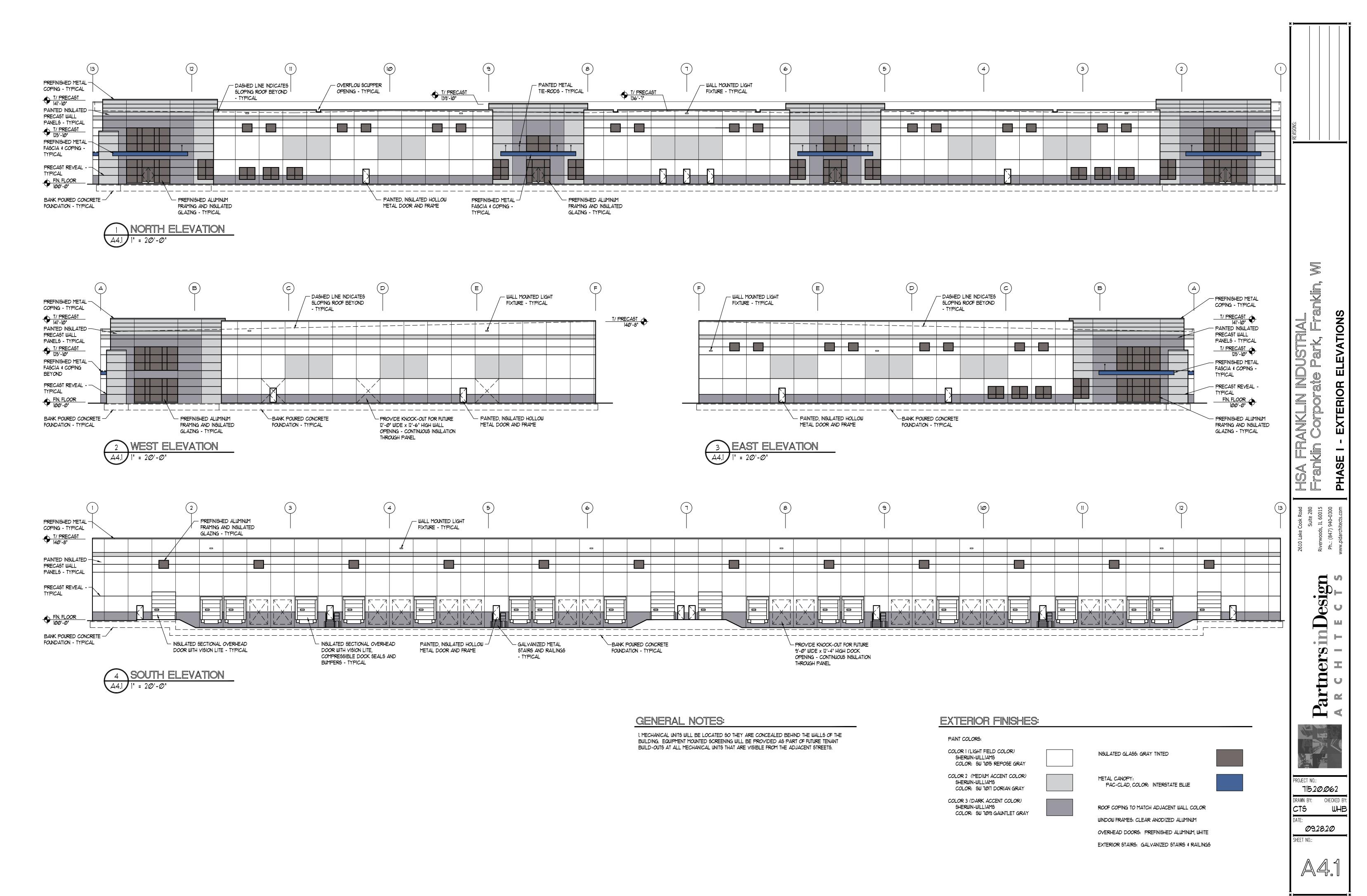












OVERFLOW RELIEF ROUTING

TREE WITH TRUNK SIZE SOIL BORING TOPSOIL PROBE

FENCE LINE, WIRE FENCE LINE, CHAIN LINK OR IRON FENCE LINE, WOOD OR PLASTIC

FENCE LINE, TEMPORARY SILT

CONCRETE SIDEWALK CURB AND GUTTER DEPRESSED CURB

REVERSE PITCH CURB & GUTTER

EASEMENT LINE

ABBREVIATIONS

INTERSECTION ANGLE

BL	BASE LINE	NWL	NORMAL WATER LEVEL
С	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	Τ	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

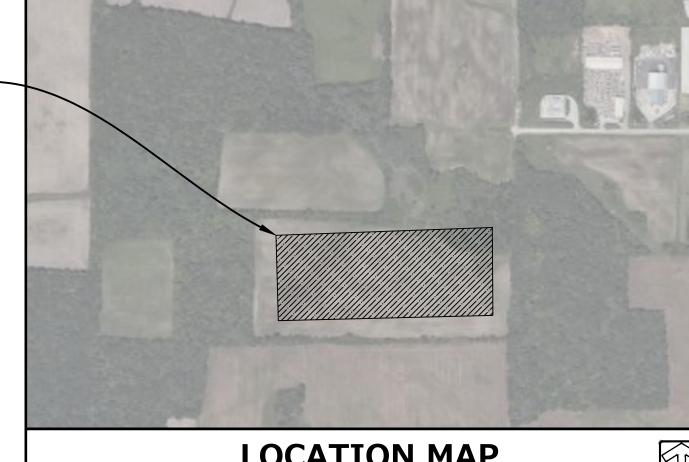
HSA FRANKLIN INDUSTRIAL, LLC

FRANKLIN, WISCONSIN

PLANS PREPARED FOR







LOCATION MAP SCALE: 1" = =600"

JOHN P. KONOPACKI, P.L.S.

BROOKFIELD, WI 53186

(262) 754-8888

REFERENCE BENCHMARKS:

BENCHMARK 1 = NORTHING = 316875.32.64

EASTING= 2517400.79

VERTICAL DATUM: CITY OF FRANKLIN DATUM (NGVD29 - 580.56)

ELEVATION = 146.93

HORIZONTAL DATUM: STATE PLANE NAD 83 SEWRPC

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD, SUITE 100

PROJECT TEAM CONTACTS

BENCHMARKS

- FEDERAL OR OTHER GOVERNING AGENCY'S LAWS. REGULATIONS.
- SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS
- REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK
- : CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

GENERAL NOTES

- SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND
- REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT. WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- . THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY

SITE OVERVIEW C-2 **SITE PLAN** C-3-C-4 C-5 **GRADING OVERVIEW GRADING PLAN** C-6-C-7 **UTILITY OVERVIEW** C-9-C-10 **UTILITY PLAN** C-11 SITE STABILIZATION OVERVIEW C-12-C-13 SITE STABILIZATION PLAN

CONSTRUCTION DETAILS

LANDSCAPE CONTEXT SHEET

EXISTING CONDITIONS

INDEX OF SHEETS

COVER SHEET

L-2-L-5 LANDSCAPE ENLARGEMENT L-6 LANDSCAPE DETAILS LANDSCAPE NOTES AND PLANT SCHEDULE

REQUIRED SUBMITTALS FOR **APPROVAL**

- 1. HOT MIX ASPHALT- MIX DESIGN
- 2. CONCRETE PAVEMENTS (EXTERIOR) MIX DESIGN & JOINT PLAN
- 3. PAVEMENT STONE BASE COURSE GRADATION
- 4. PIPE BEDDING & TRENCH BACKFILL GRADATION
- 5. MANHOLE BACKFILL GRADATION
- 6. PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS

- 1. WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
- SANITARY SEWER PIPE & FITTINGS
- 3. STORM SEWER PIPE, STRUCTURES, & FITTINGS
- 4. TRACER WIRE

C-0

C-1

C-14-C-16

L-1

- UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
- ADA SIGN & TRUNCATED DOMES, PAINT & STENCILS
- CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)



Milwaukee Area (414) 259-1181 Hearing Impaired TDD (800) 542-2289 www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2020

PINNACLE ENGINEERING GROUP, LLC

ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF



MANHOLE

PLAN I DESIGN I DELIVER

SCALE: 1" = 1000"

CIVIL ENGINEER:

BROOKFIELD, WI 53186

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD, SUITE 100

AARON KOCH, P.E.

(262) 754-8888

OWNER:

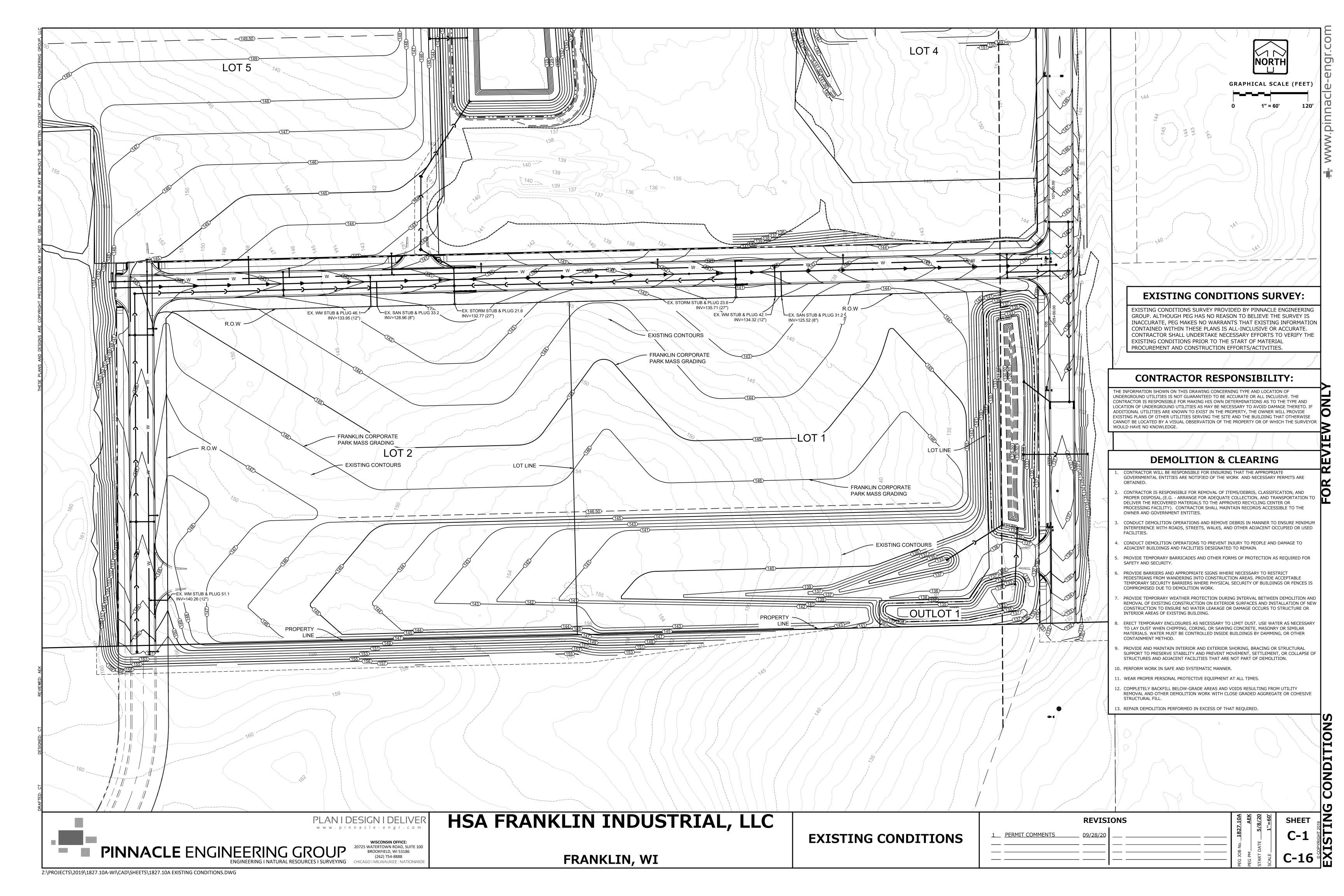
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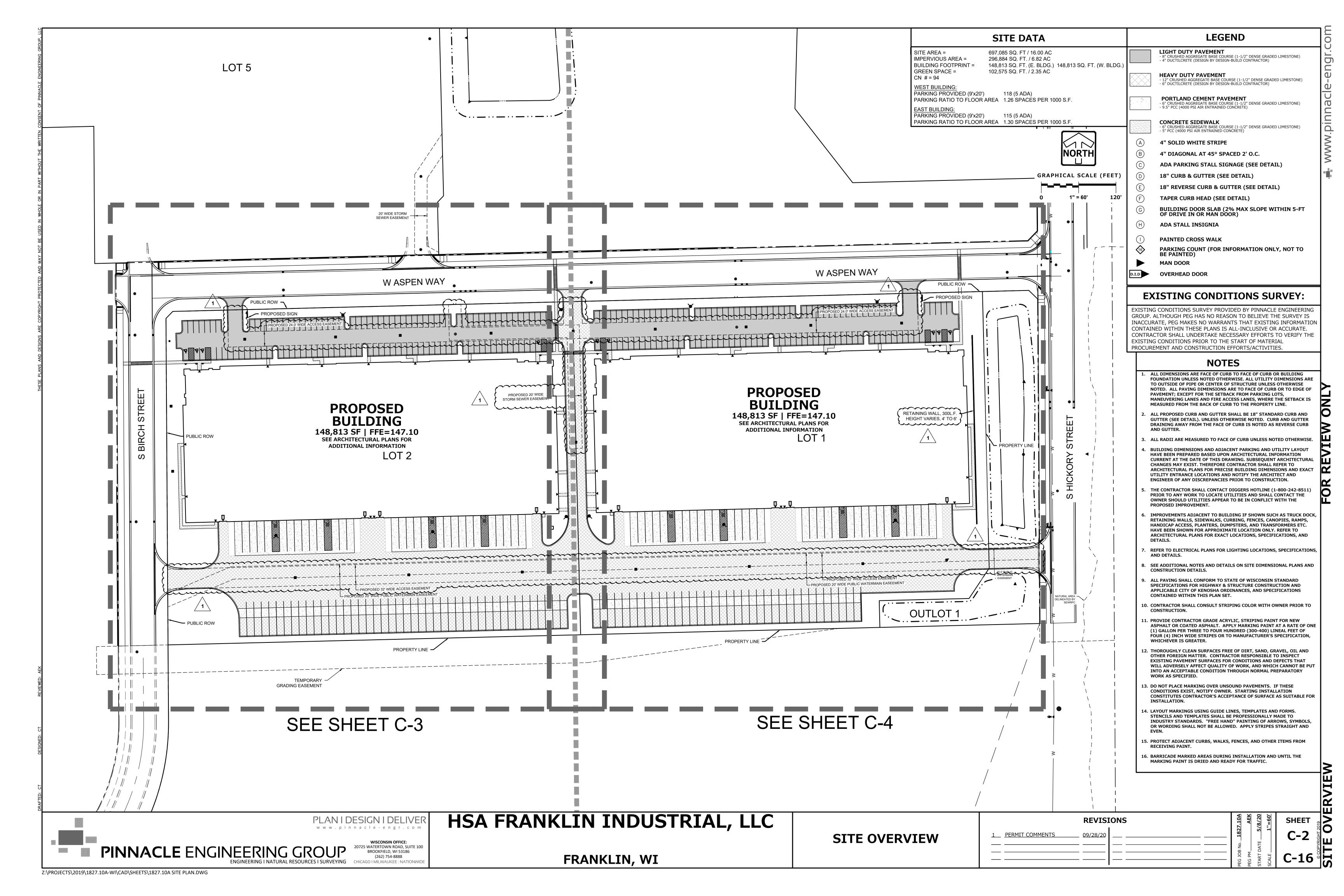
COVER SHEET

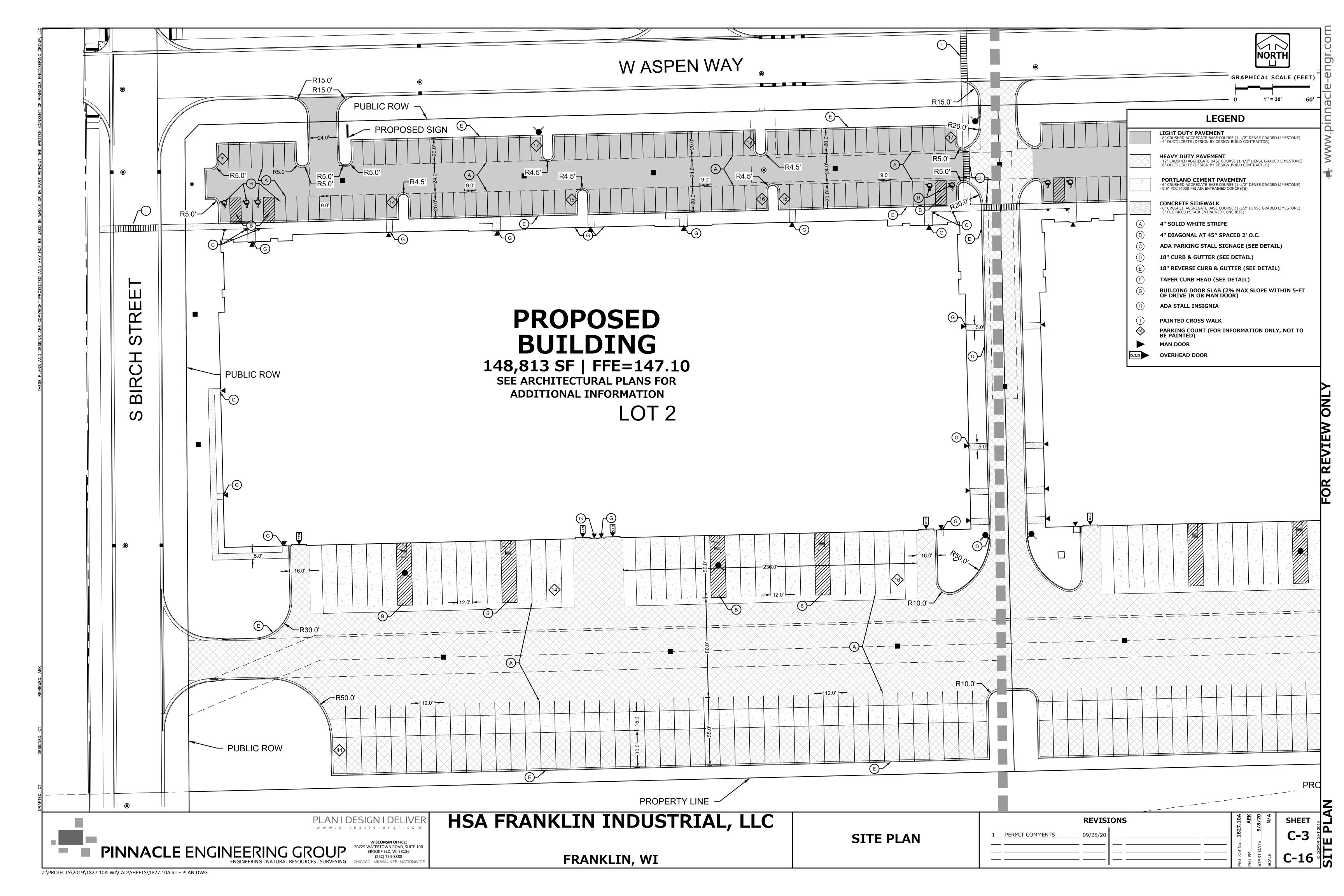
REVISIONS

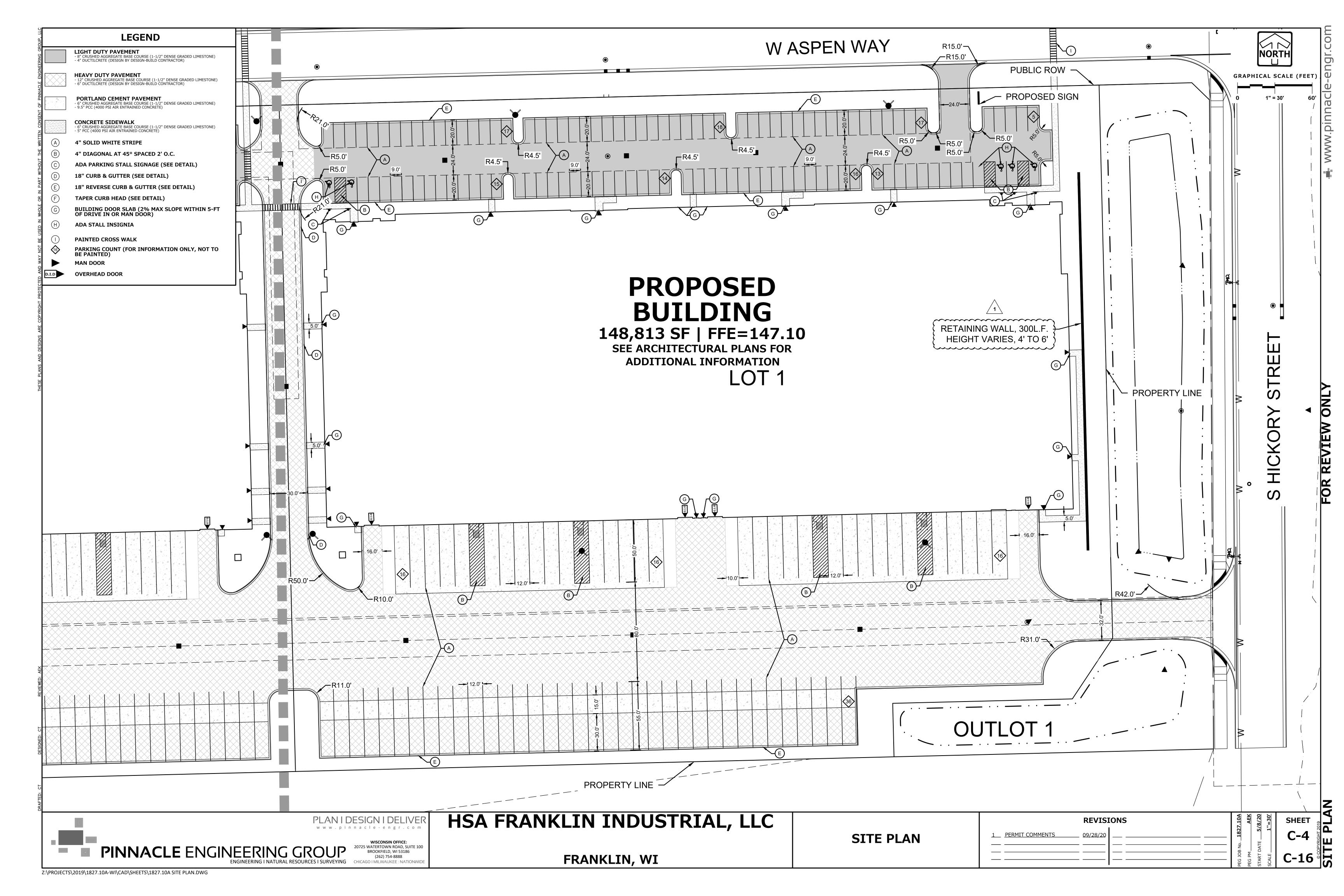
C-0

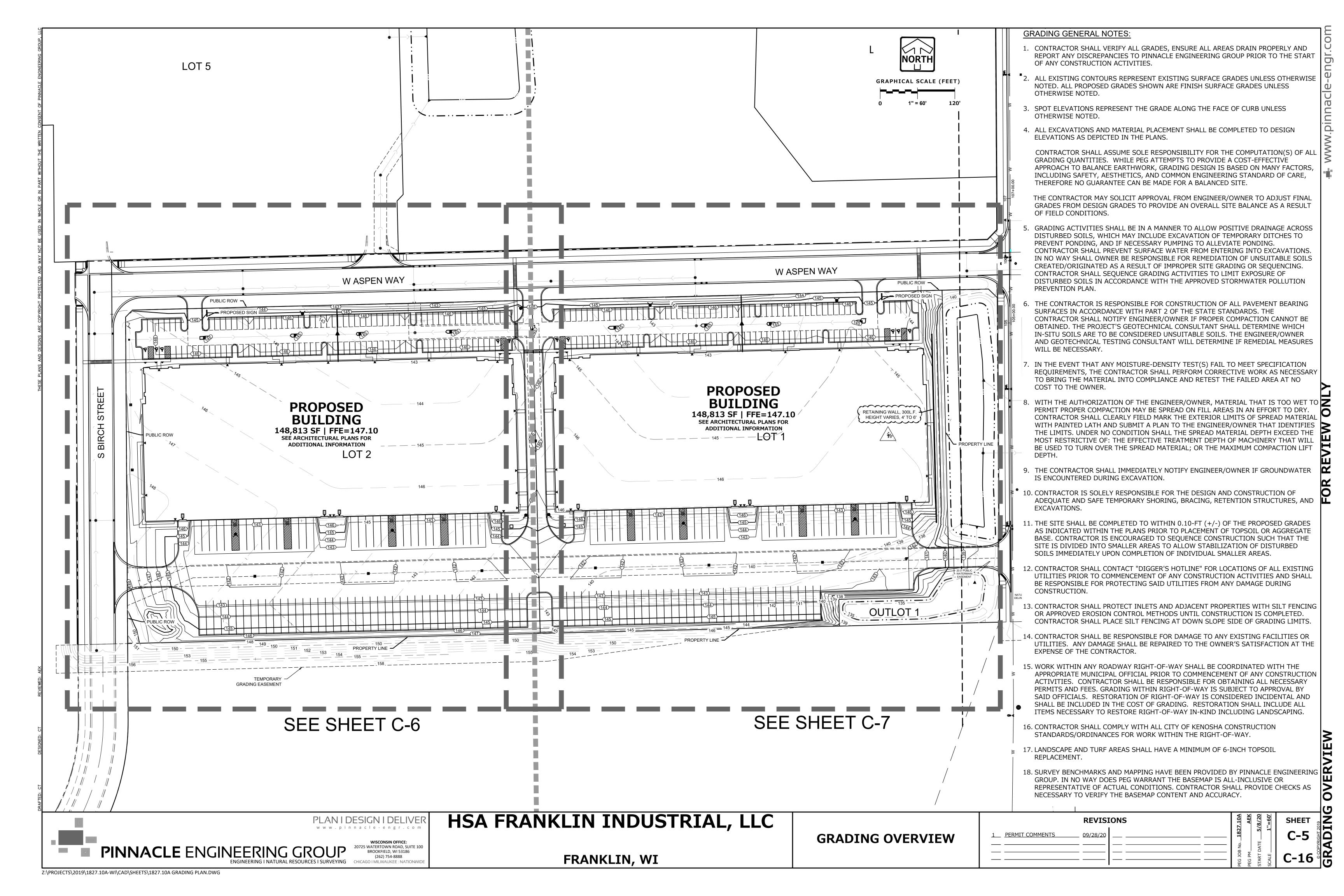
FRANKLIN, WI

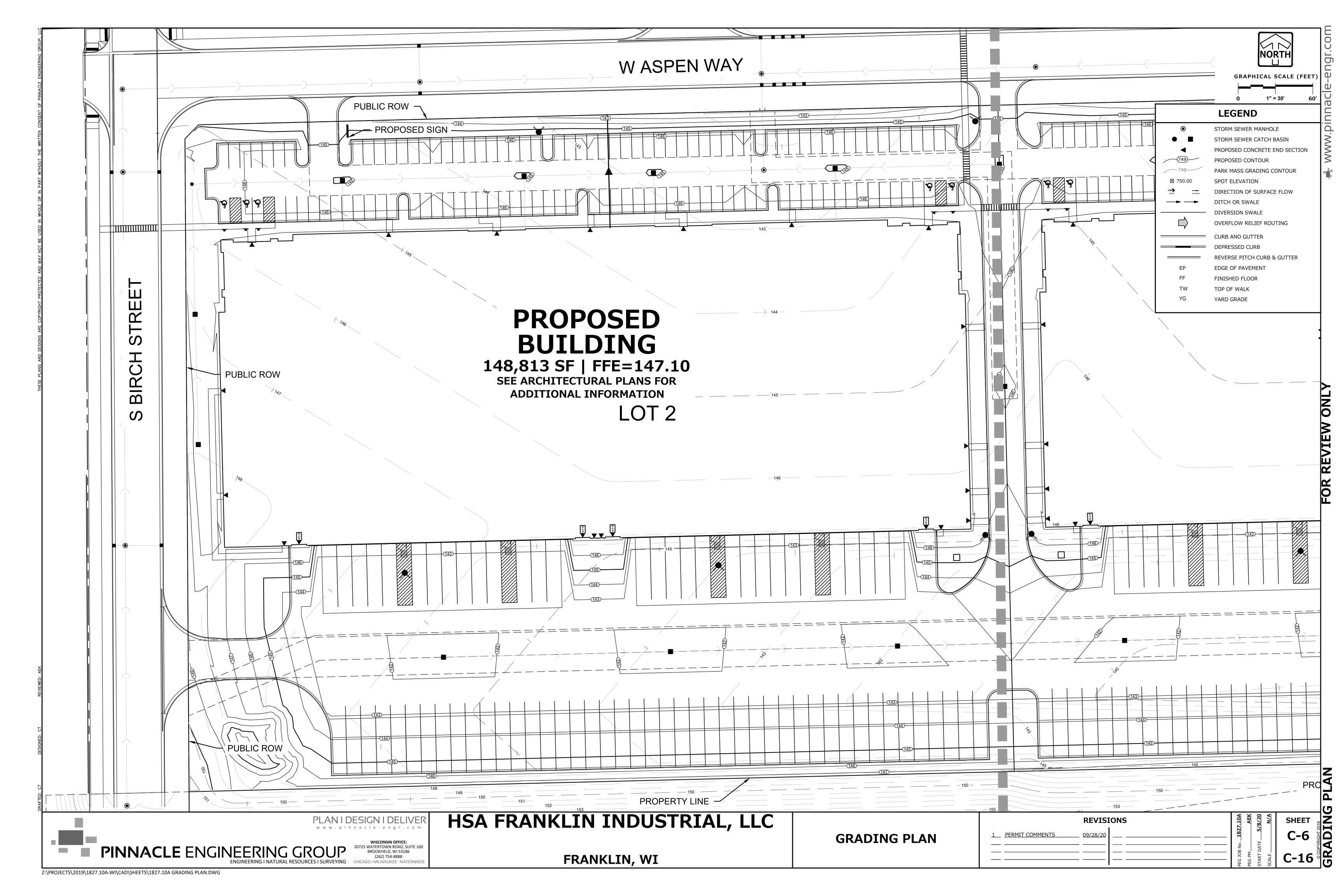


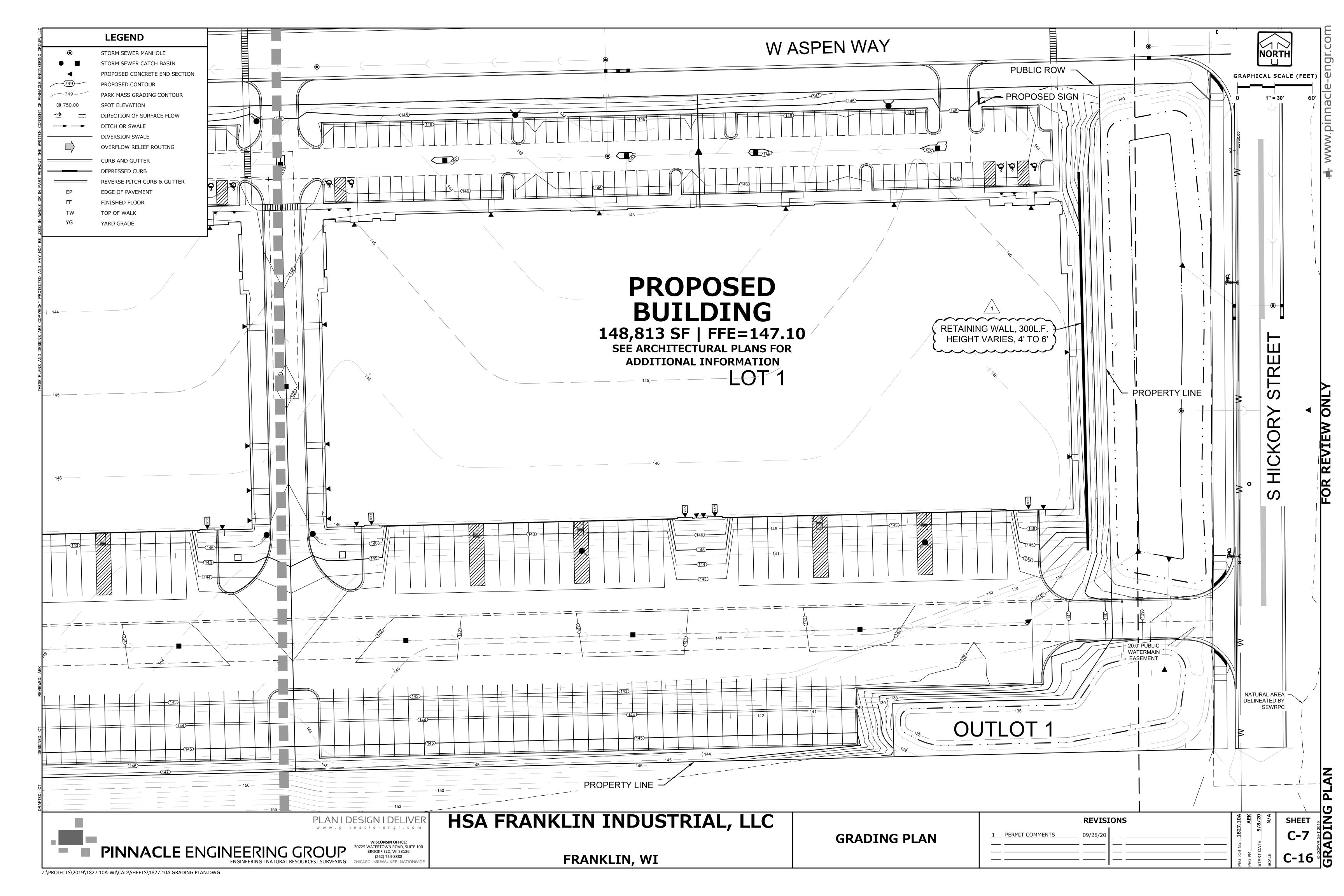






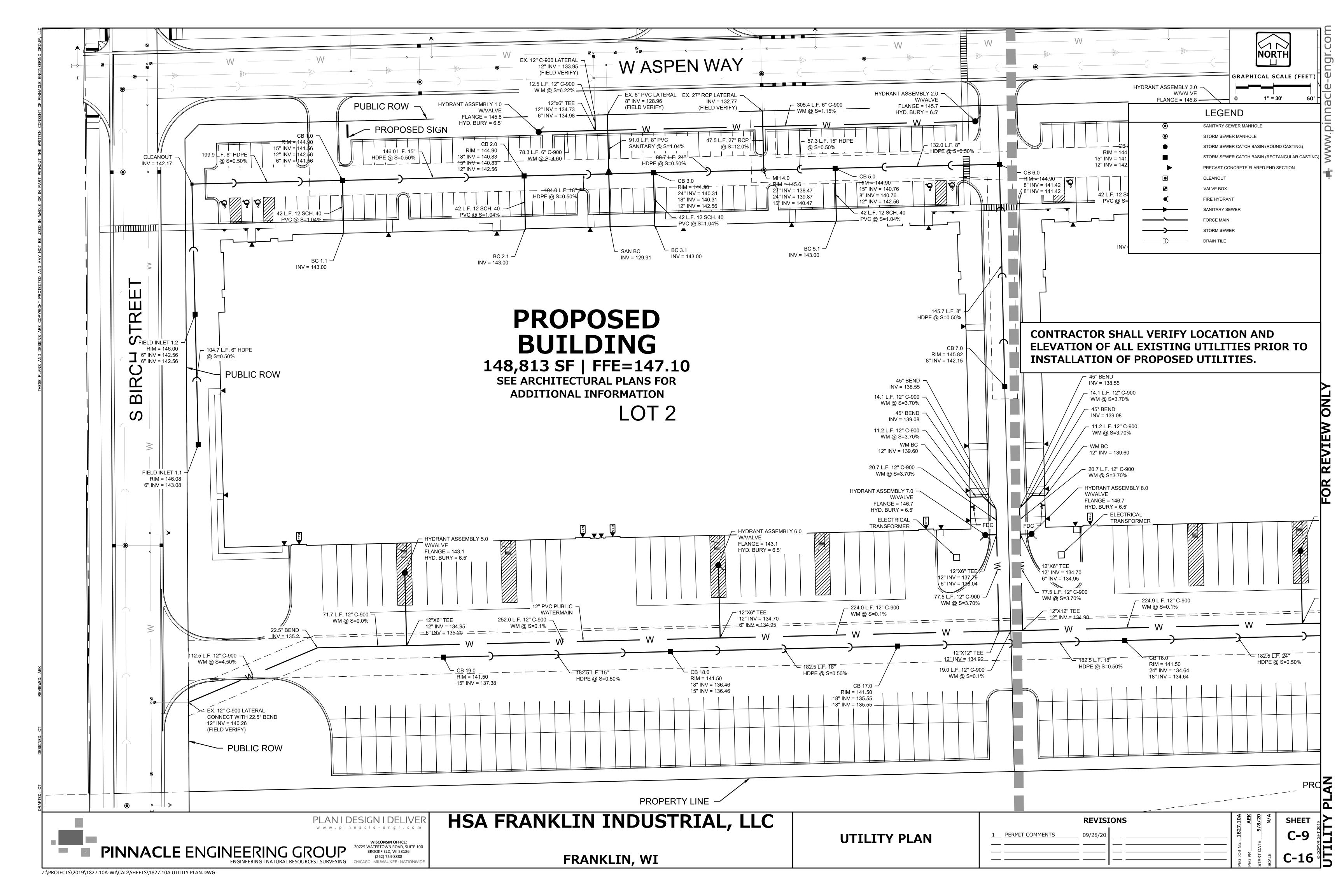


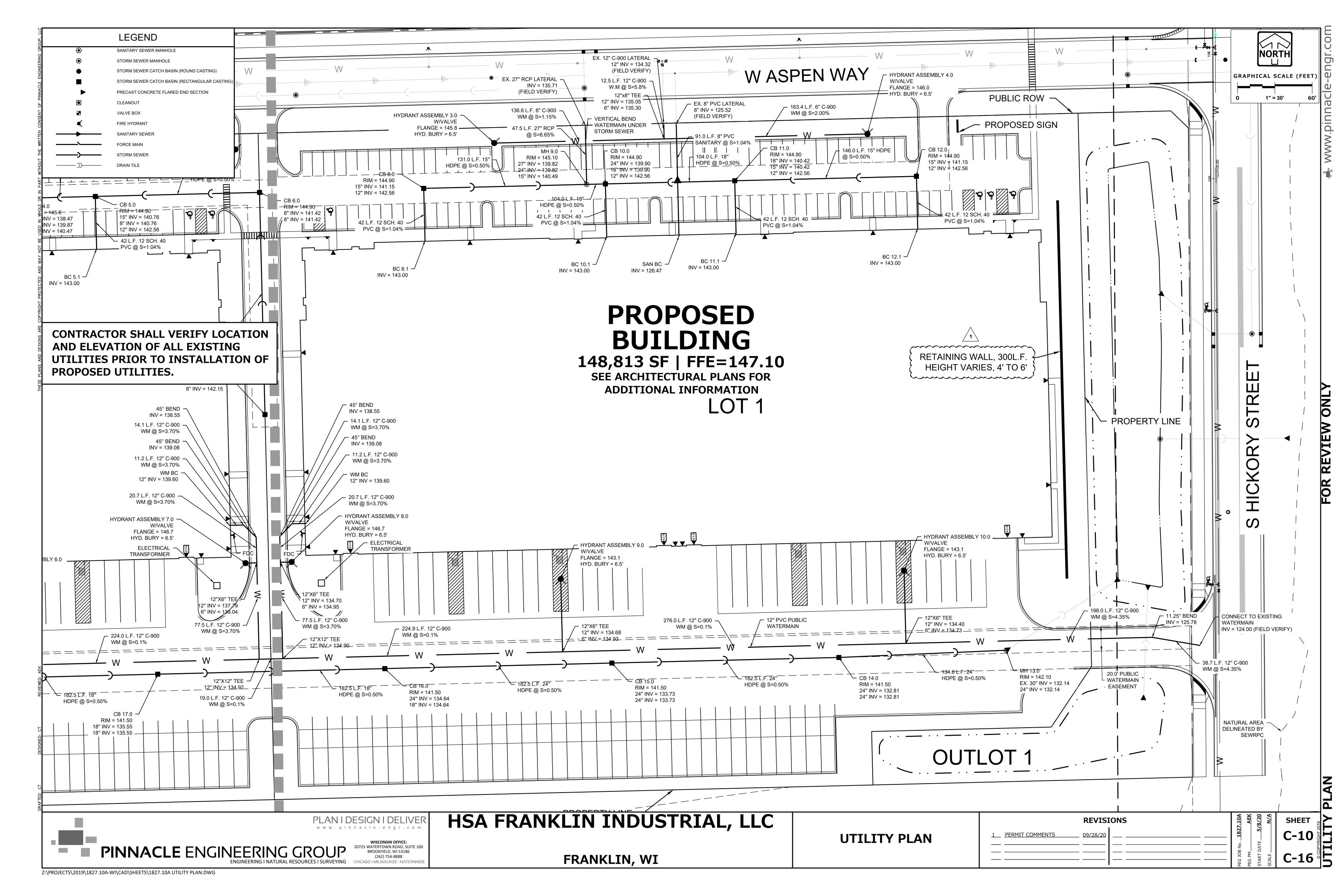


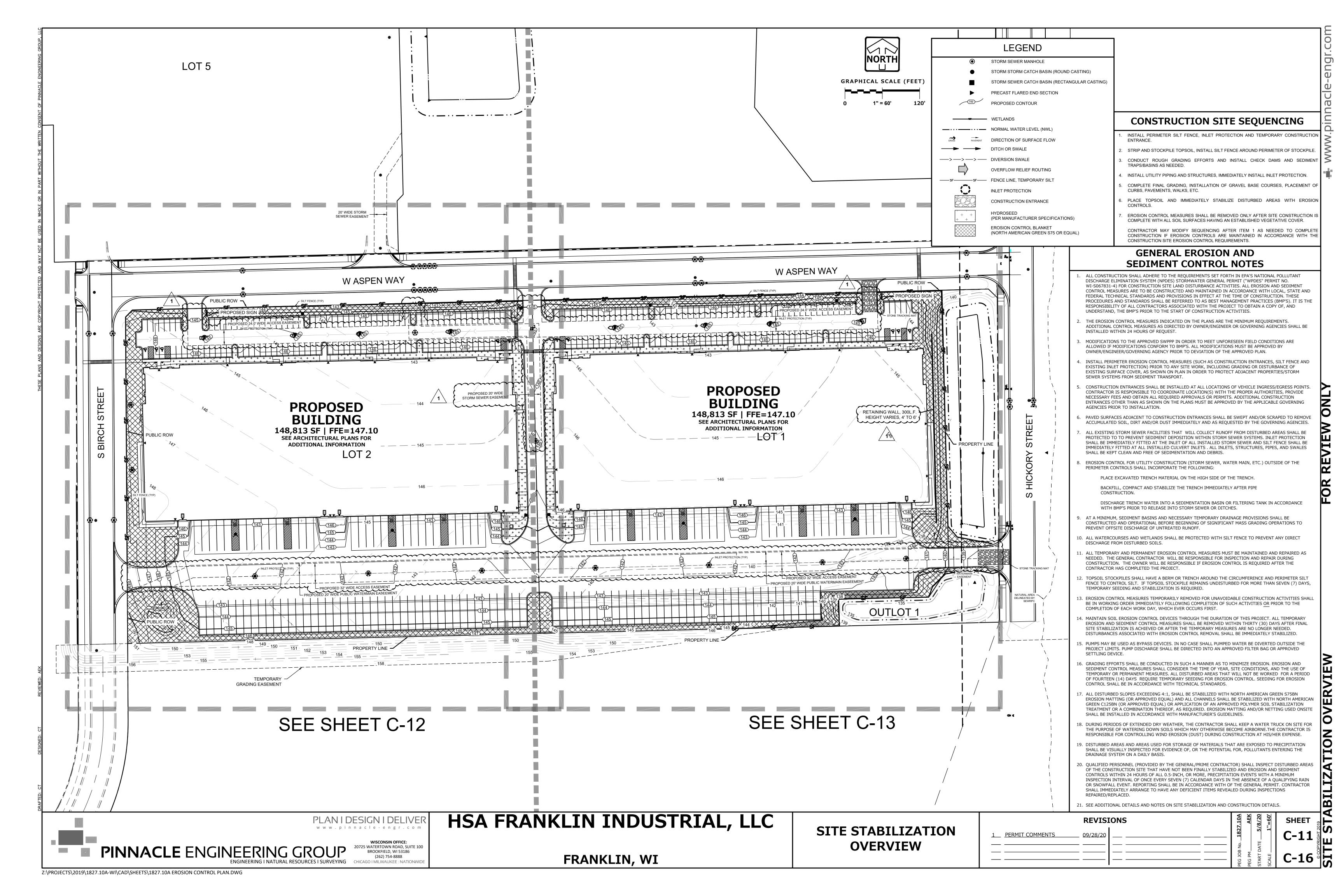


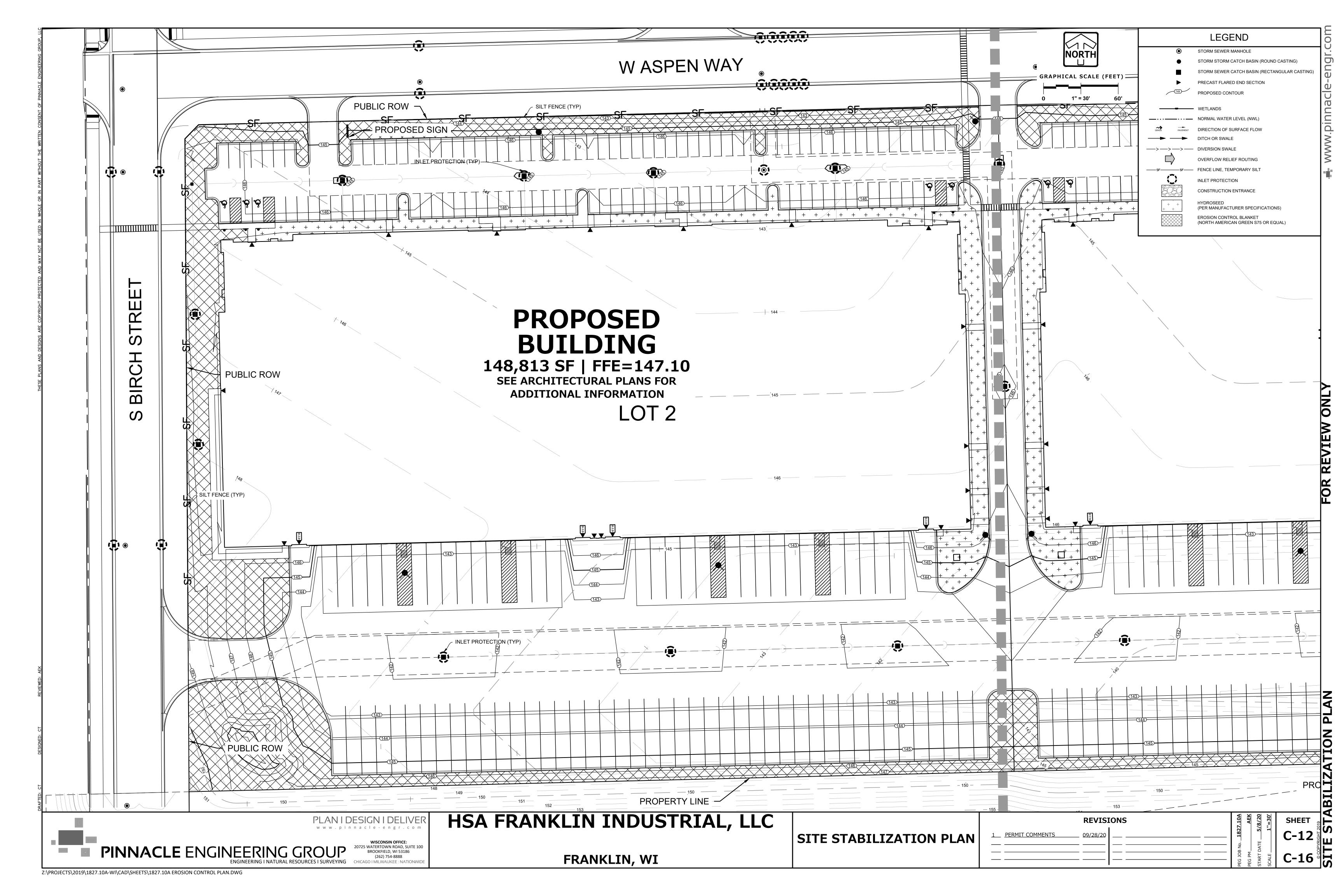
ALL BOXES SHALL BE EQUIPPED WITH A DEBRIS COVER EQUIVALENT TO SW SERVICES, MODEL DC-457 WITH LD-4 LOCKING DEVICE. VALVE BOX ADAPTERS ARE TO BE UTILIZED TO PREVENT SETTLING OR SHIFTING DURING

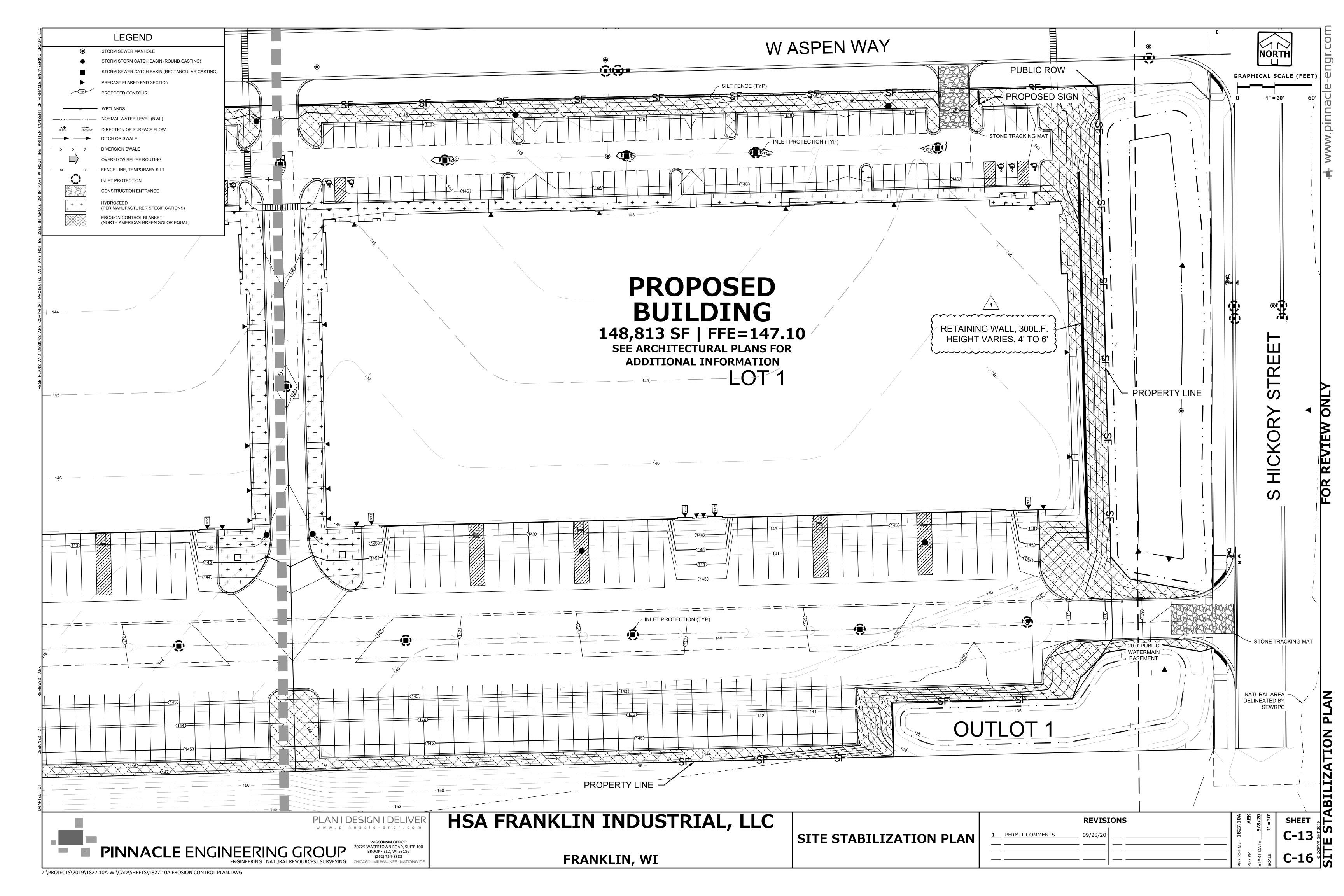
JTILITY GENERAL NOTES:











1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION; REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND DUST; REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- 1. INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
- 2. INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- 3. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- 4. STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- 5. CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- 6. FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING
- 7. FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF
- 8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PRETECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)

HYDRO-MULCHING WITH A TACKIFIER GEOTEXTILE EROSION MATTING

ROAD WAY SHALL BE REMOVED IMMEDIATELY.

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS. SUCH

PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERM/SWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES ROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

IVERSION BERM/SWALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER ONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING

SEDIMENT TRAPS/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/SWALES

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

<u>OUTLET SCOUR PROTECTION</u> SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPAULIN TO PREVENT BLOWING DEBRIS.

<u>DUST CONTROL</u> SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT. FREQUENT WATERING OF EXCAVATION AND FILL AREAS.

PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS. <u>STREET SWEEPIN</u>G SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND

CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT

<u>EROSION CONTROL MATTING</u> - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

<u>DIVERSION BERM/SWALE</u> - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

SEDIMENT TRAP - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.

INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF

OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT. SEDIMENT BASIN - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP, RAINFALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT. ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE. IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURERS' RECOMMENDED METHODS.
- PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT. IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR. NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. WI-S067831-4) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT. AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED. THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST

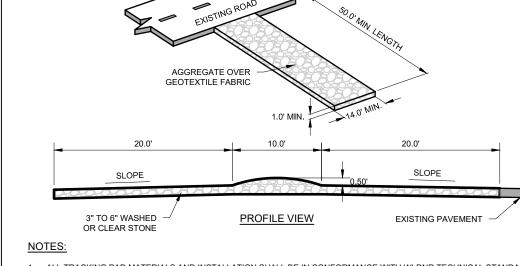
CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
SOIL • COVER	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
SOIL COVER	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
TILILING .	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
DUST	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
CONTROL	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
STABILIZATION TIPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			Ą	*	*	*	*	*	* \			
TENWIN WEIGHT GEEDING			•									
DORMANT SEEDING	В										В	
BOTTOM WAT GEEDING	•										•	
TEMPORARY SEEDING			Ç	*	*	* \	D *	*	<u>\</u> *			
TEINI ORART GEEDING			•				•					
SODDING			E	*	*	*	*	*	* \			
00001110			•									

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45
- LBS/ACRE + 2 TONS STRAW MULCH/ACRE. C. SPRING OATS 100 LBS/ACRE.
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE
- F. STRAW MULCH 2 TONS/ACRE. * IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

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CTURE.		
ND IN		
	J	
DEC.		-



CENTERED IN CHANN

(EXTEND 1.0' MIN UP SIDE SLOPES)

PLAN VIEW

STAKES DRIVEN FLUSH

WHEN SOIL CONDITIONS

RUNOFF WATER '

MIN. 6" DEPTH

WOOD 2"x4" STAKES AND CROSS BRACING

GEOTEXTILE FABRIC SHALL BE SECURED TO THE STAKES

> RUNOFF FROM ENTERING INTO THE INLET

SHALL COMPLETELY

SURROUND INLET TO PREVENT SEDIMENT LADEN

AND CROSS BRACING, FABRIC

INLET PROTECTION - TYPE "A"

aaaaaaa

UNDERMINING OF THE

INLET PROTECTION- TYPES A AND B

INLET PROTECTION

FOR SCOUR PROTECTION USI

UNDER UPSTREAM BALES AND SECURE FABRIC WITH WOOL

STAKES, AT 3 FOOT INTERVALS

BOTTOM ELEVATION OF END

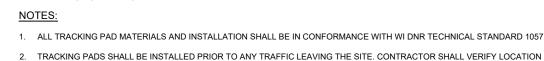
OR GREATER THAN TOP O LOWEST MIDDLE BALE

WOOD 2"x4" STAKES

DITCH CHECK WITH STRAW BALES

WITH A DOUBLE

EROSION CONTROL MATTING FOR CHANNEL LINING. LAP MAT



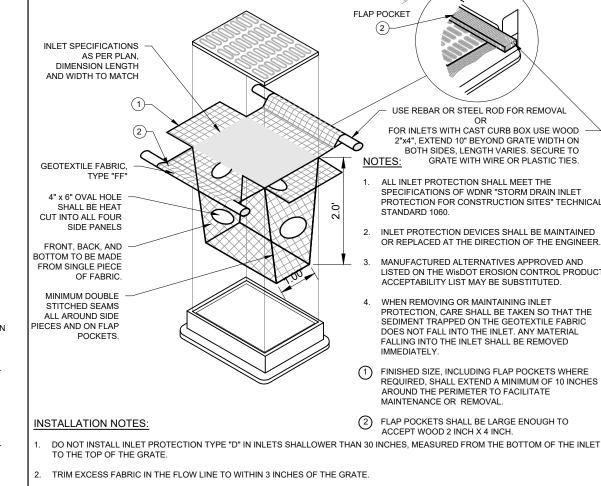
THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON

. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC

AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD

TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT

- 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE
- SHALL BE A MINIMUM 50-FEET LONG. . ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY
- 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.



NOMINAL 2" X 2" X 30" MIN. LENGTH

1. ALL DITCH CHECKS SHALL MEET THE SPECIFICATIONS OF WDNR DITCH CHECK (STRAW BALE) TECHNICAL

3. DITCH CHECK MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A WEIR.

DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY

8. EROSION CONTROL MATTING FOR CHANNELS SHALL BE NORTH AMERICAN GREEN C125BN OR EQUAL.

PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD

6. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.

7. DITCH CHECK SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND

1. ALL INLET PROTECTION SHALL MEET THE SPECIFICATIONS OF WDNR "STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES" TECHNICAL STANDARD 1060.

2. TYPE A INLET PROTECTION SHOULD BE USED ON PROPOSED INLETS UNTIL PAVEMENTS

AND CURB/GUTTER ARE INSTALLED. ONCE INSTALLED, THE INLET PROTECTION

3. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION

4 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO

(2) FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX). AN ADDITIONAL 18 INCHES OF

SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

INLET PROTECTION - TYPE "B"
(WITHOUT CURB BOX)

(3) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

592 GEOTEXTILE TABLE 1 OR 2, CLASS I, WITH AN EOS OF AT LEAST 30 FOR NONWOVEN

THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE

INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1) FINISHED SIZE, INCLUDING FLAP POCKET WHERE REQUIRED, SHALL EXTEND A MINIMUM

OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD

TYPE "B" INSTALLATION NOTES

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF

MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT

SHOULD SWITCH TO TYPE D (SEE DETAIL BELOW).

4. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO-FEET OF DROP IN THE CHANNEL.

2. INSTALLED, THE MINIMUM HEIGHT OF DITCH CHECK SHALL BE 10-INCHES AND SHALL NOT EXCEED A MAXIMUM

SECTION "A-A"

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE. BETWEEN THE INLET WALLS AND THE BAG. MEASURED AT THE BOTTOM CONSTRUCTION ENTRANCE

OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TI ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG. TYPE D INLET PROTECTION

PINNACLE ENGINEERING GROUP

PLAN I DESIGN I DELIVER

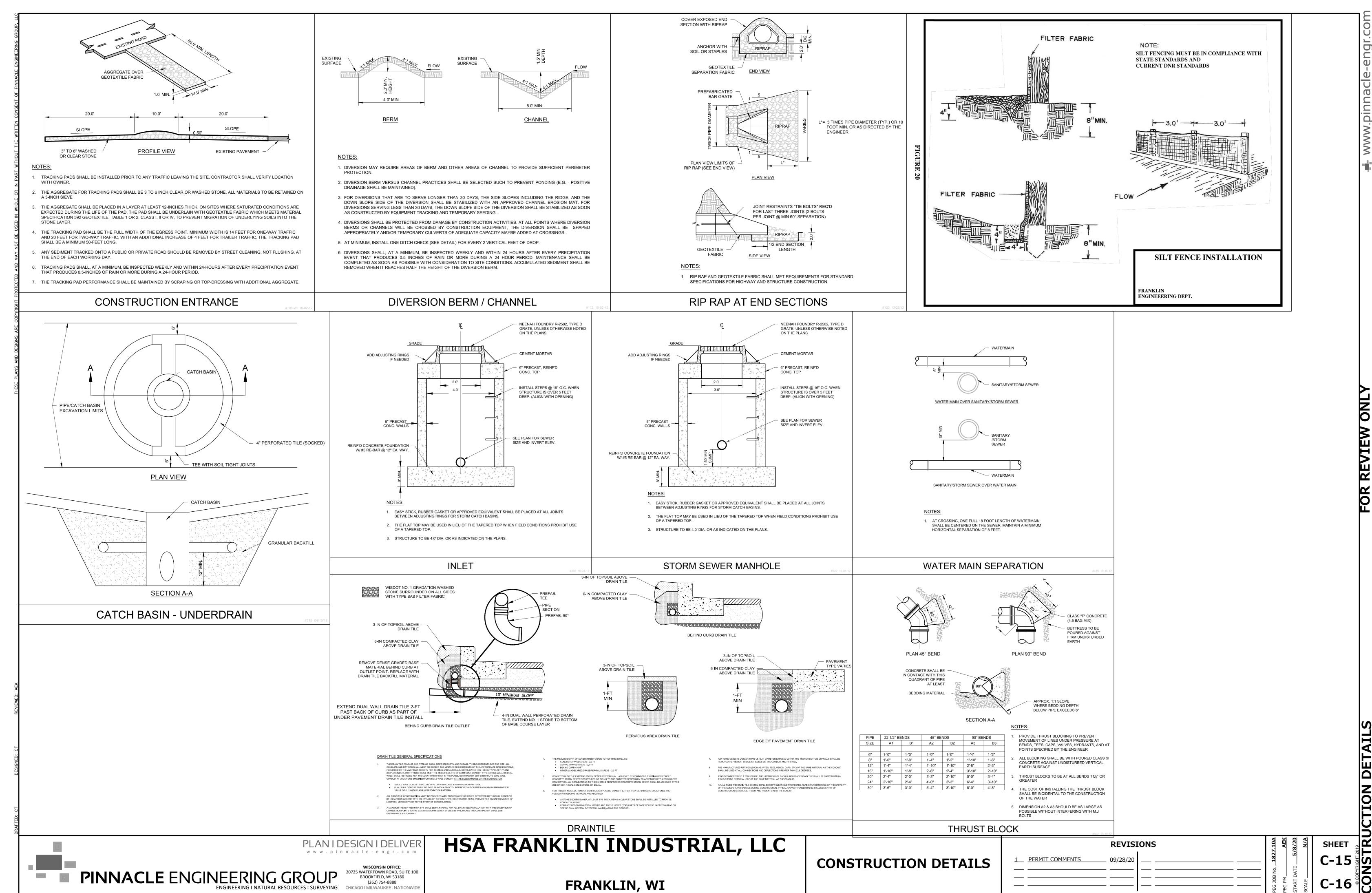
20725 WATERTOWN ROAD, SUITE 10

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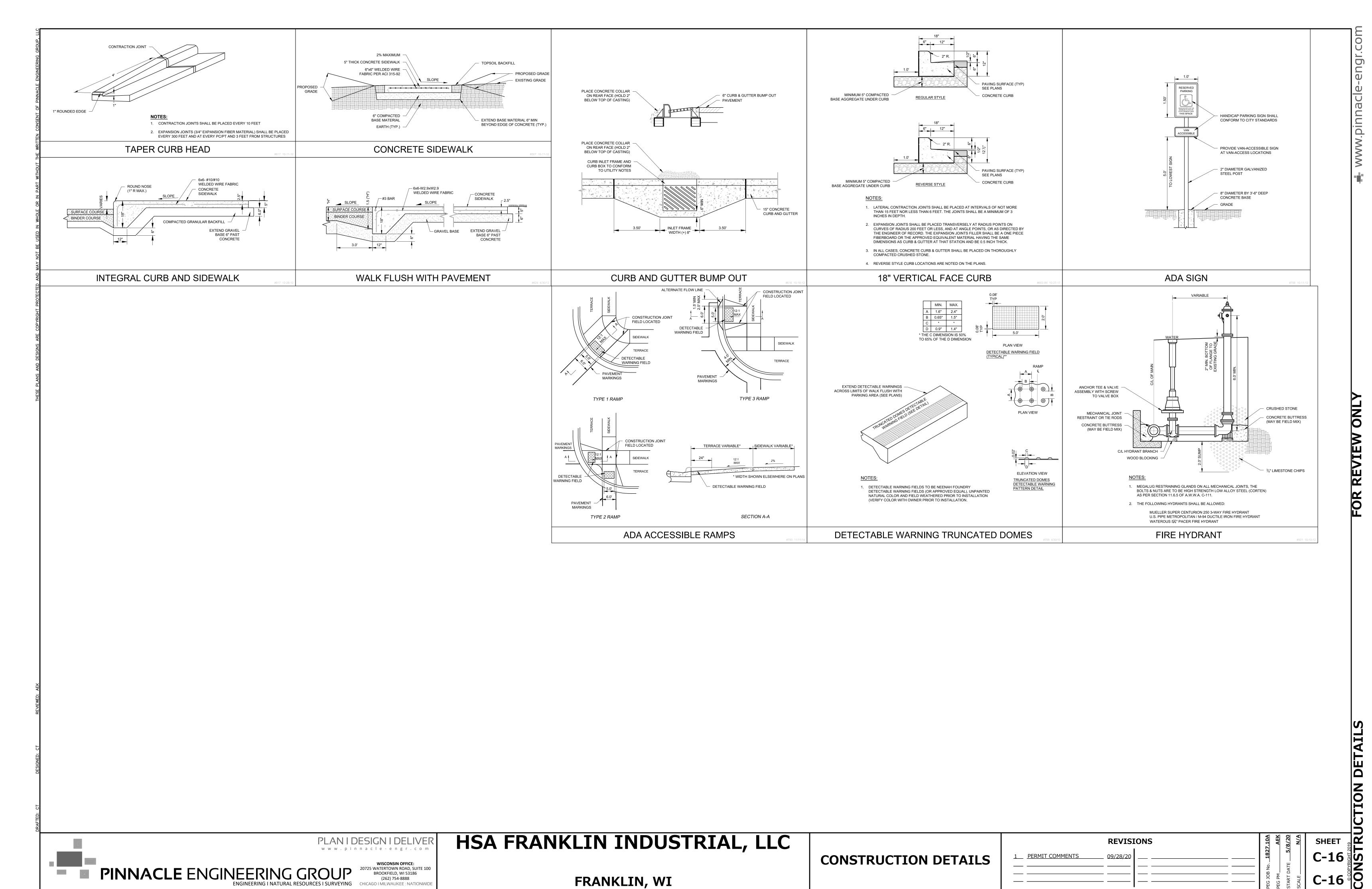
CONSTRUCTION DETAILS

REVISIONS

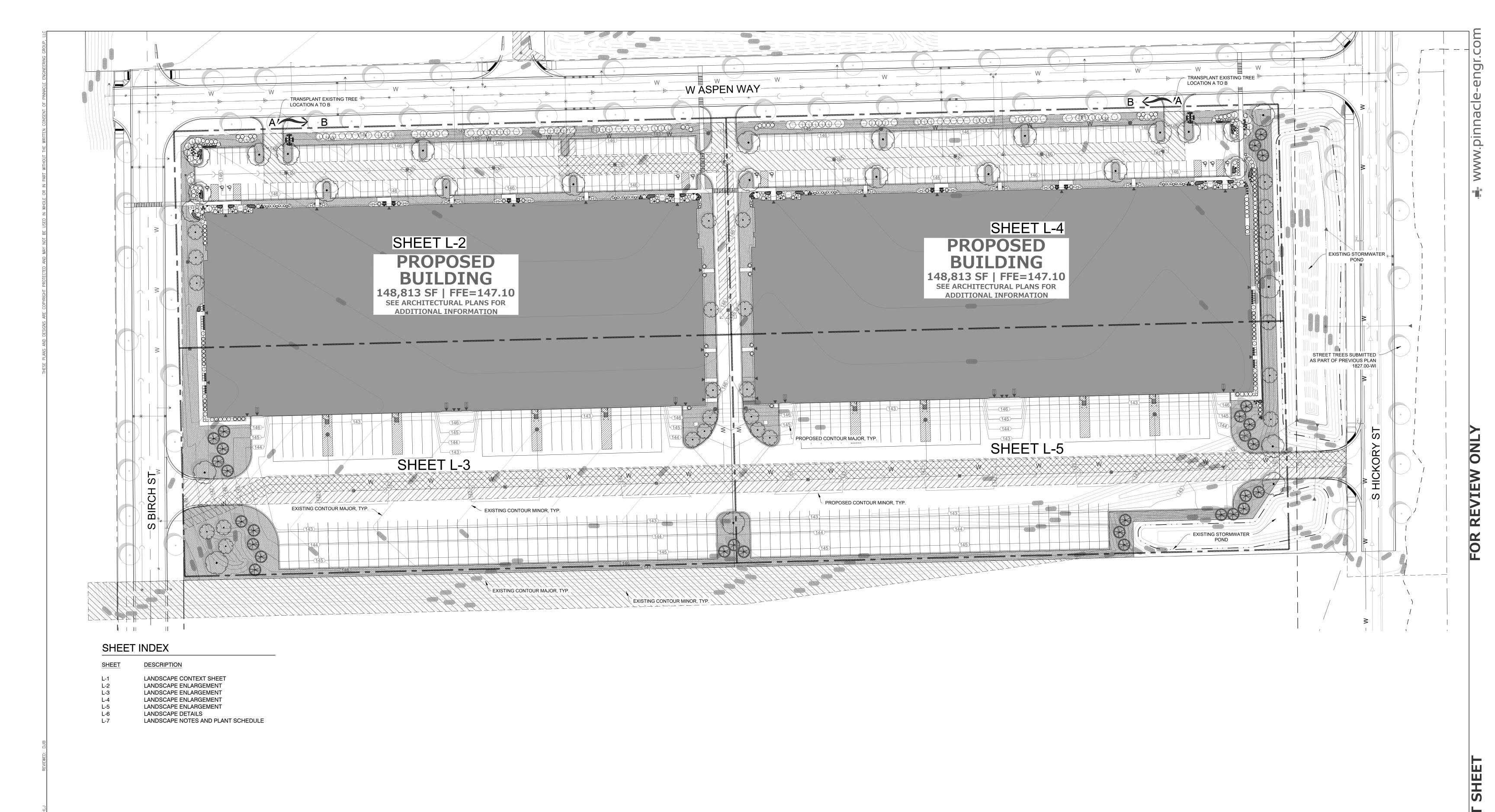
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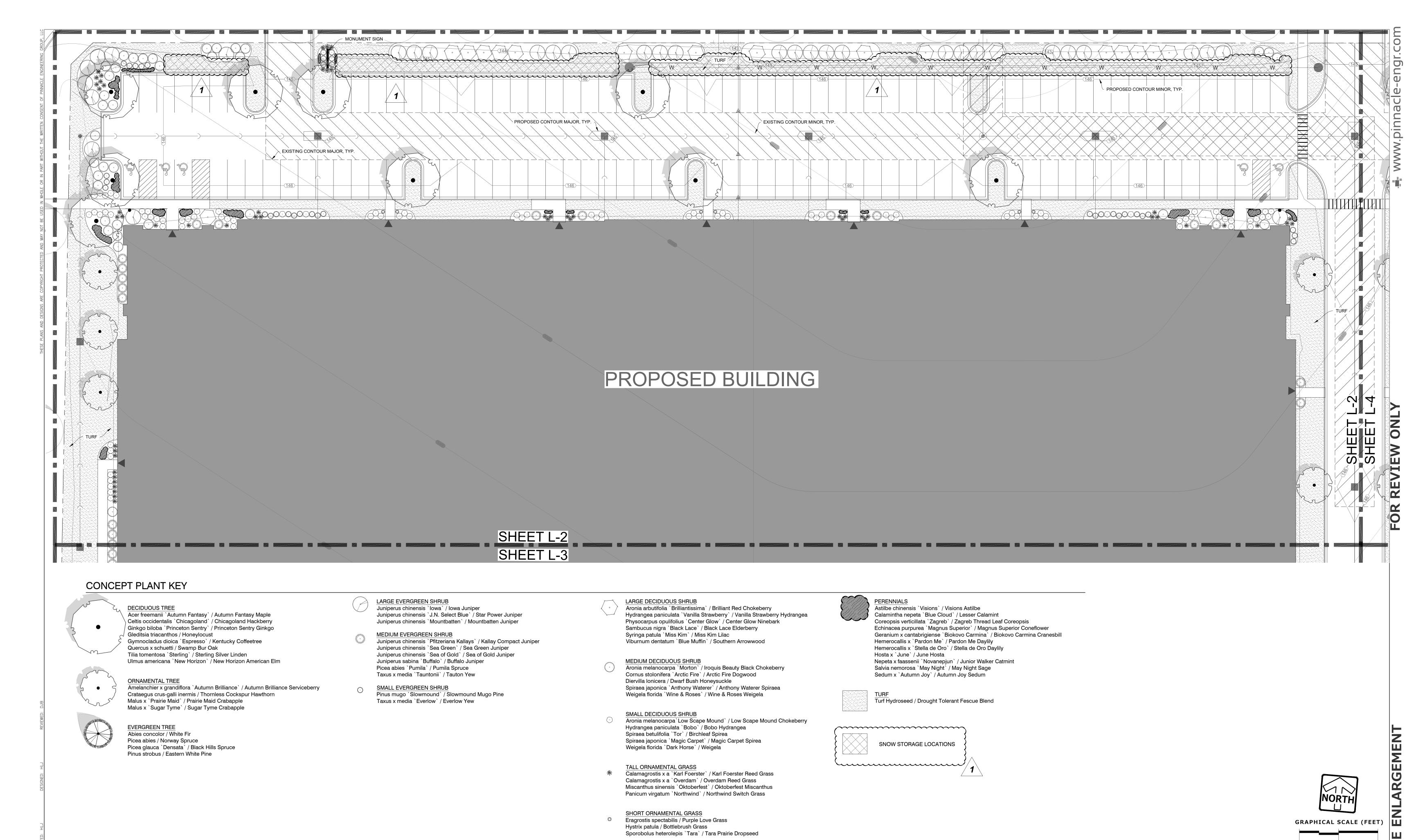
HSA FRANKLIN INDUSTRIAL, LLC

LANDSCAPE CONTEXT SHEET PEG JOB NO. 1827.10A
PEG PM AEK
START DATE 5/8/20
SCALE 1" = 50'

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FRANKLIN, WI

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PINNACLE ENGINEERING GROUP

ENGINEERING I NATURAL RESOURCES I SURVEYING

PLANI DESIGN I DELIVER

20725 WATERTOWN ROAD, SUITE 100

HSA FRANKLIN INDUSTRIAL, LLC

LANDSCAPE ENLARGEMENT

PERMIT COMMENTS 09/28/20 _____

EG JOB NO. 1827.10A

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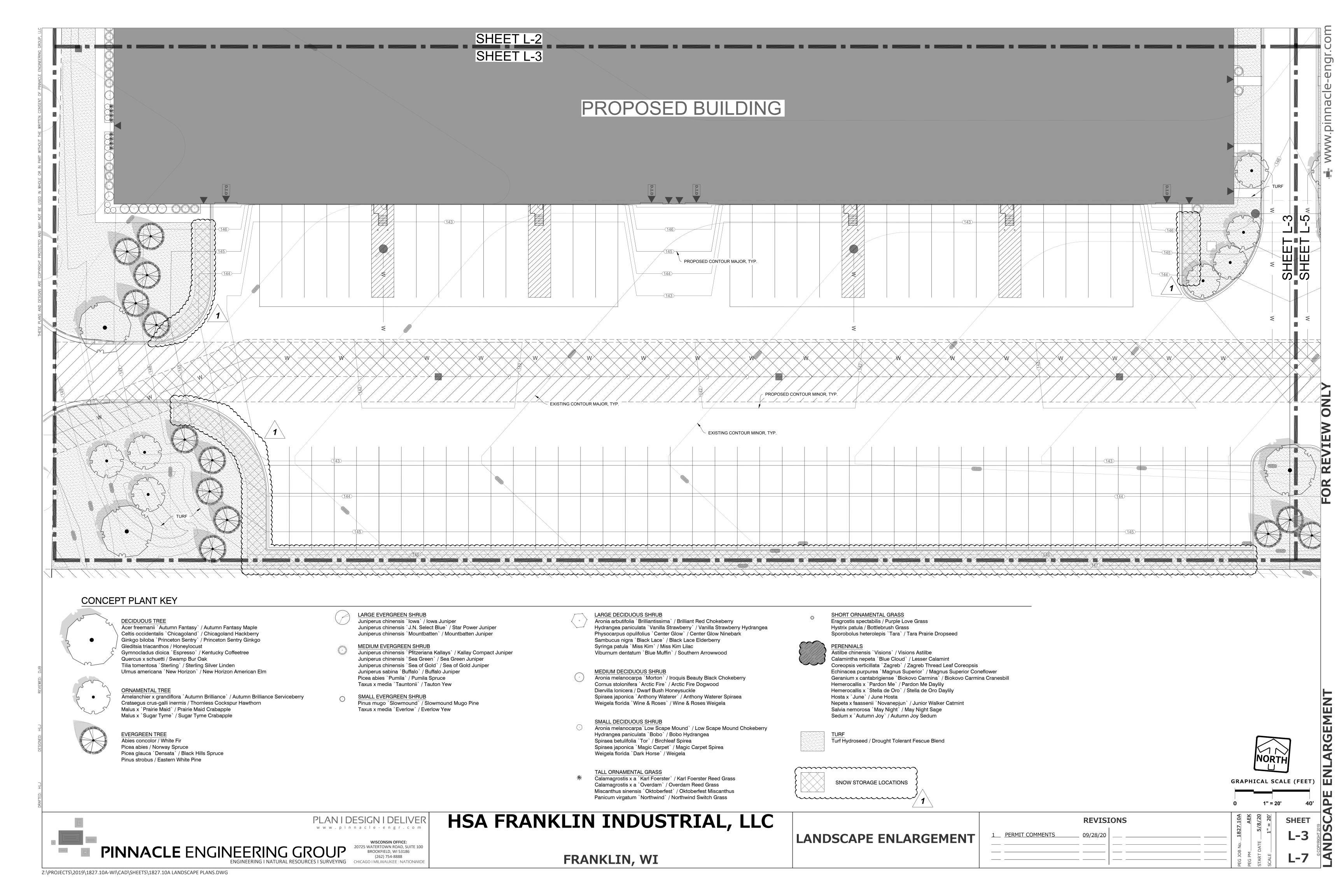
START DATE 5/8/20

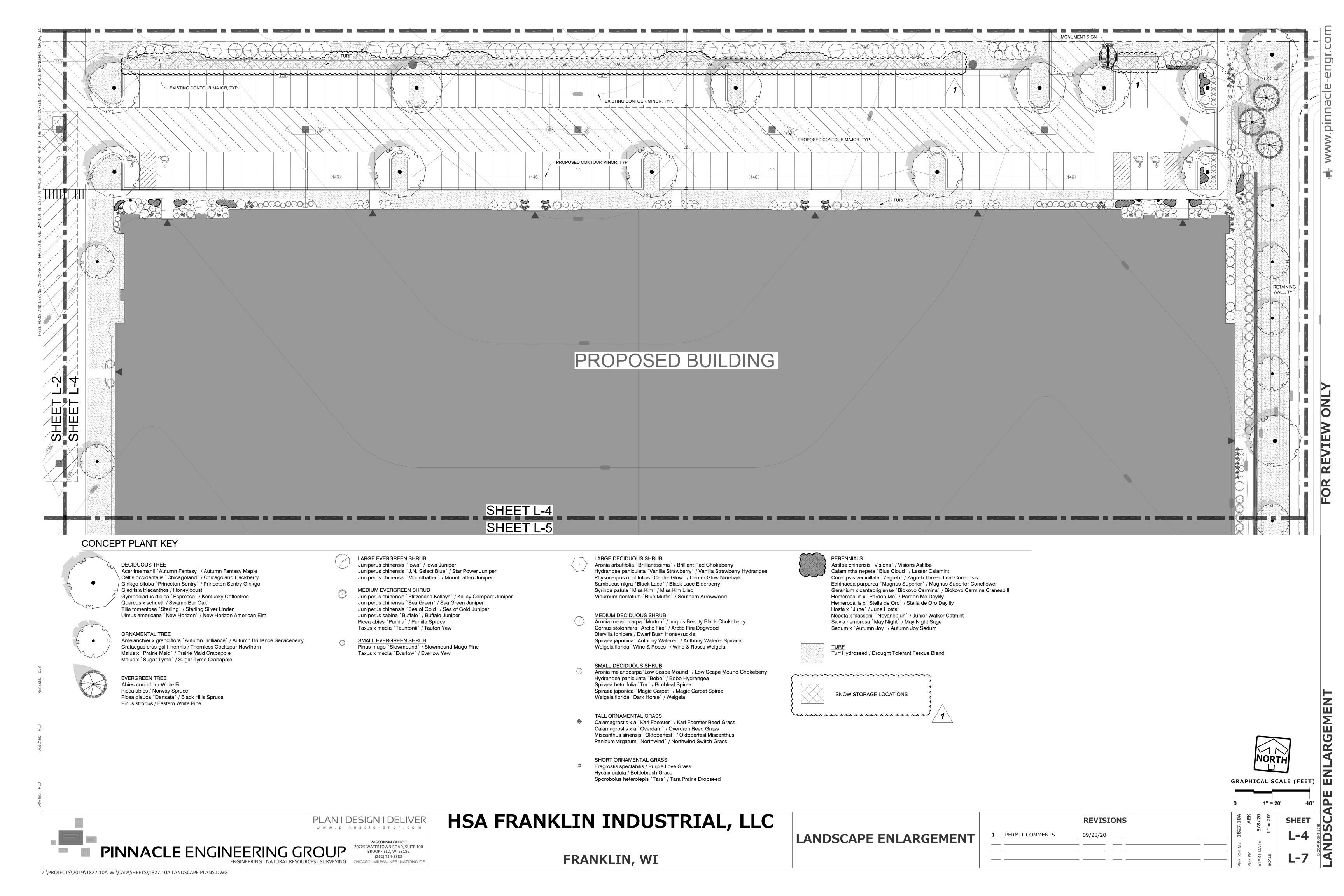
SCALE 1" = 20'

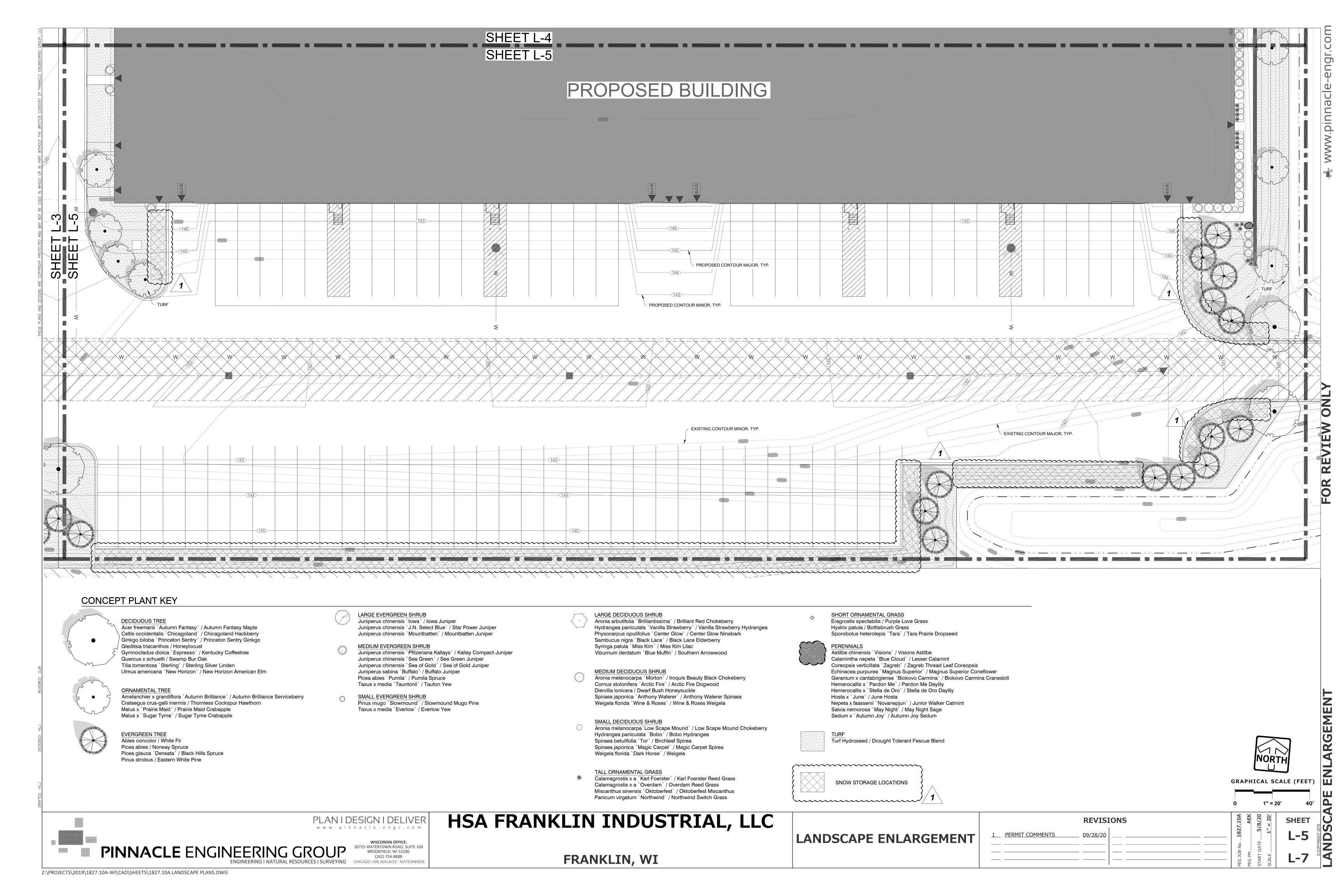
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FRANKLIN, WI

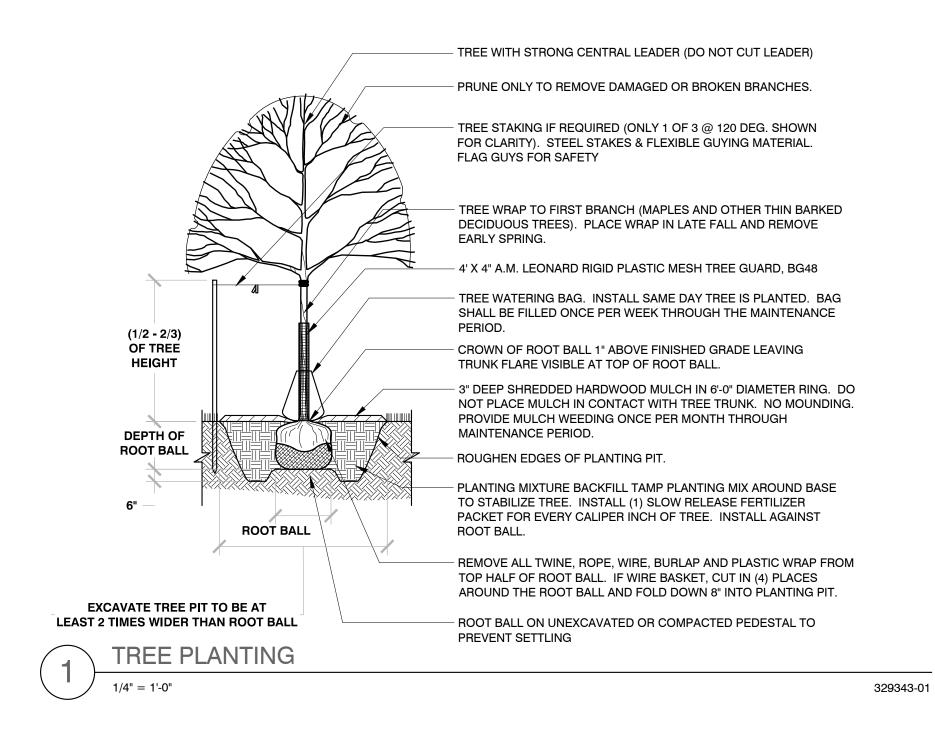






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3293-03



COMPACTED TOPSOIL SAUCER, DO NOT EXCEED ANGLE OF REPOSE - SET ROOT COLLAR FLUSH WITH SLOPE GRADE - 3" DEEP SHREDDED HARDWOOD MULCH — PLANTING MIXTURE - ROOT BALL SEE PLANTING DETAIL 12" MIN. (TREES) 6" MIN. (SHRUB)

IF NEEDED, PRUNE TO REMOVE DAMAGED, BROKEN, OR OVERLAPPING BRANCHES ONLY AFTER PLANTING. PRUNING IS SUBJECT TO TIME OF YEAR FOR EACH INDIVIDUAL SPECIES. TREE STAKING (ONLY 1 OF 3 @ 120 DEG. SHOWN FOR CLARITY). 3" DIAMETER CEDAR WOOD STAKES & FLEXIBLE GUYING MATERIAL. FLAG GUYS FOR SAFETY. STAKES SHALL NOT TOUCH THE SIDES OF ROOT BALL WHEN INSTALLED. - CROWN OF ROOT BALL 2" ABOVE FINISHED GRADE LEAVING TRUNK FLARE VISIBLE AT TOP OF ROOT BALL. 3" DEEP SHREDDED HARDWOOD MULCH IN 6'-0" DIAMETER RING. DO HEIGHT NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. NO MOUNDING. PROVIDE MULCH WEEDING ONCE PER MONTH THROUGH MAINTENANCE PERIOD. ROUGHEN EDGES OF PLANTING PIT. **DEPTH OF** PLANTING MIXTURE BACKFILL. TAMP PLANTING MIX AROUND BASE TO STABILIZE TREE. INSTALL (1) SLOW RELEASE FERTILIZER PACKET FOR EVERY 24" OF TREE HEIGHT. INSTALL PACKET AGAINST ROOT BALL. ROOT BALL REMOVE ALL TWINE, ROPE, WIRE, BURLAP AND PLASTIC WRAP FROM TOP HALF OF ROOT BALL. IF WIRE BASKET, CUT IN (4) PLACES AROUND THE ROOT BALL AND FOLD DOWN 8" INTO ROOT BALL ON UNEXCAVATED OR COMPACTED PEDESTAL TO EXCAVATE TREE PIT TO BE AT PREVENT SETTLING LEAST 2 TIMES WIDER THAN ROOT BALL

TREE PLANTING ON SLOPE

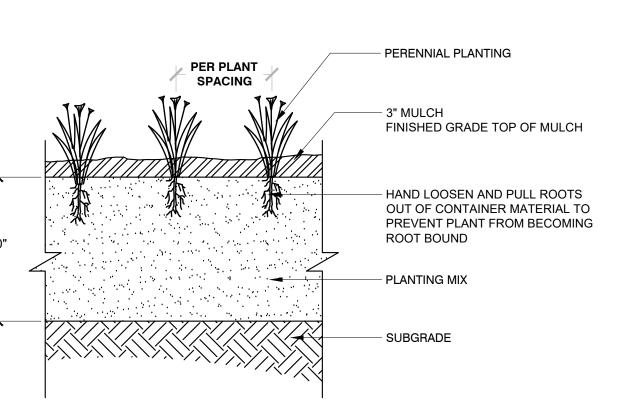
EVERGREEN TREE PLANTING

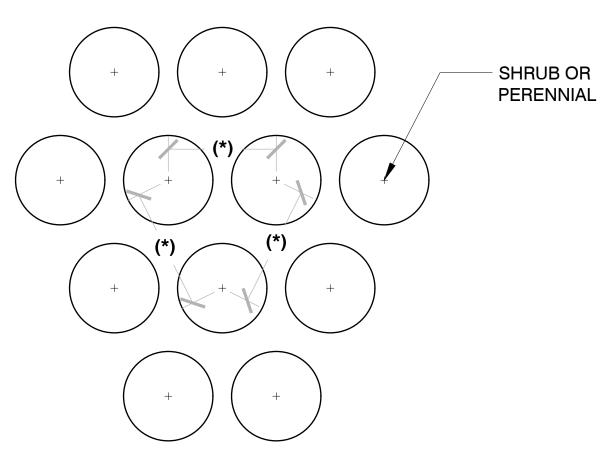
SHRUB PLANTING PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES BOTTOM OF ROOT FLARE FLUSH WITH FINISHED GRADE HAND LOOSEN AND PULL ROOTS OUT OF CONTAINER MATERIAL TO PREVENT PLANT FROM BECOMING ROOT BOUND REMOVE ALL TWINE, ROPE, WIRE, BURLAP AND PLASTIC WRAP FROM TOP HALF OF ROOT BALL BARE ROOT CONTAINER SCARIFY 4" AND RECOMPACT SUBGRADE

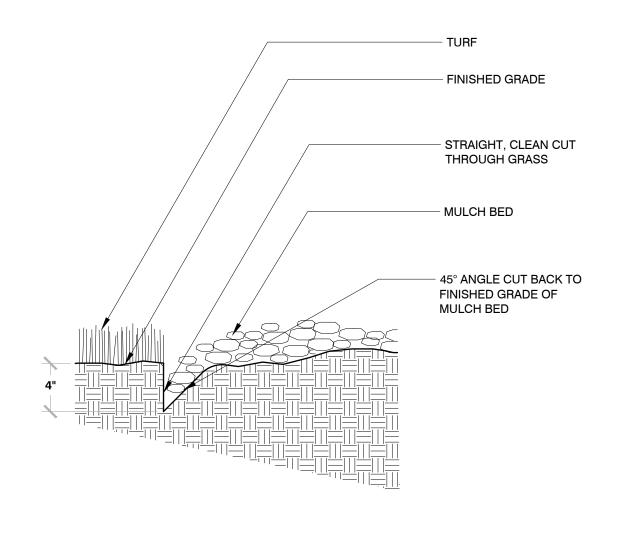
BAREROOT PLANTING NOTES:

- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING. SCARIFY SIDES AND BOTTOMS OF HOLE. PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
- TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
- . WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS. BACKFILL VOIDS AND WATER SECOND TIME.

PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.







329343-03

(*) = SPECIFIED PLANT SPACING PER PLANTING LIST

329343-02

PERENNIAL PLANTING

PLANT SPACING

TRENCHED BED EDGE

SHRUB PLANTING

329333-02

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HSA FRANKLIN INDUSTRIAL, LLC

LANDSCAPE DETAILS

- 1. THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- 3. NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- 4. ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- 5. ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- 6. ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- 7. TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- 8. ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- 9. BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- 10. ALL SPRING TREES MUST BE FRESHLY DUG IN THE SPRING OF 2020.
- 11. ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE AUTUMN OF 2019.
- 12. TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY.
- 13. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- 14. ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- 15. WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- 16. THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- 17. OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- 18. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- 19. ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- 20. ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 3" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- 21. FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- 22. THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- 23. ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- 24. ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- 25. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER
- 26. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- 27. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- 28. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- 29. THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- 30. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- 31. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- 32. THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES
 MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. INTERNAL PARKING ISLANDS SHALL BE
 LOOSENED TO A DEPTH OF 30".
- 2. THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- 3. TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- 4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- 5. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- 6. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- 7. FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE
- 8. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- 9. RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

CONCEPT PLANT SCHEDULE

	PLANT SCHEDULE						
W \ \				Journey .	LARGE EVERGREEN SHRUB	60	
√ DE	ECIDUOUS TREE	27			Juniperus chinensis `lowa` / Iowa Juniper		4` Ht.
\bullet) \overline{Ac}	cer freemanii `Autumn Fantasy` / Autumn Fantasy Maple		2.5" Cal.	grande,	Juniperus chinensis `J.N. Select Blue` / Star Power Juniper		4` Ht.
			2.5" Cal.		Juniperus chinensis `Mountbatten` / Mountbatten Juniper		4` Ht.
Celtis occidentalis `Chicagoland` / Chicagoland Hackberry					Juniperus chinerisis Mountbatteri / Mountbatteri Juniper		4 116
	inkgo biloba `Princeton Sentry` / Princeton Sentry Ginkgo		2.5" Cal.				
	leditsia triacanthos / Honeylocust		2.5" Cal.				
Gy	ymnocladus dioica `Espresso` / Kentucky Coffeetree		2.5" Cal.		LARGE DECIDUOUS SHRUB	33	
Qι	uercus x schuetti / Swamp Bur Oak		2.5" Cal.	(•)	Aronia arbutifolia `Brilliantissima` / Brilliant Red Chokeberry		5 gal.
	lia tomentosa `Sterling` / Sterling Silver Linden		2.5" Cal.		Hydrangea paniculata `Vanilla Strawberry` / Vanilla Strawberry Hydrangea		5 gal.
	mus americana `New Horizon` / New Horizon American Elm		2.5" Cal.		Physocarpus opulifolius `Center Glow` / Center Glow Ninebark		3 gal.
UII	mus americana New Honzon / New Honzon American Emi		2.5 Cal.				
20					Sambucus nigra `Black Lace` / Black Lace Elderberry		3 gal.
\sim					Syringa patula `Miss Kim` / Miss Kim Lilac		5 gal.
\ OF	RNAMENTAL TREE	25			Viburnum dentatum `Blue Muffin` / Southern Arrowwood		5 gal.
● < An	melanchier x grandiflora `Autumn Brilliance` / Autumn Brilliance Serviceberry		6` Ht.		·		Ŭ
	rataegus crus-galli inermis / Thornless Cockspur Hawthorn		1.5" Cal.				
					MEDIUM DECIDUOUS SUIDUB	00	
11 /	alus x `Prairie Maid` / Prairie Maid Crabapple		1.5" Cal.	krunnd	MEDIUM DECIDUOUS SHRUB	99	
Ma	alus x `Sugar Tyme` / Sugar Tyme Crabapple		1.5" Cal.	Ę. •	Aronia melanocarpa `Morton` / Iroquis Beauty Black Chokeberry		3 gal.
_				•	Cornus stolonifera `Arctic Fire` / Arctic Fire Dogwood		2 gal.
ANLIVINOVICE					Diervilla Ionicera / Dwarf Bush Honeysuckle		2 gal.
EV.	/EDODEEN TREE	00					
\\ / =	/ERGREEN TREE	29	.		Spiraea japonica `Anthony Waterer` / Anthony Waterer Spiraea		2 gal.
// / =	pies concolor / White Fir		5` Ht.		Weigela florida `Wine & Roses` / Wine & Roses Weigela		5 gal.
/ M Pic	cea abies / Norway Spruce		5` Ht.		-		
	cea glauca `Densata` / Black Hills Spruce		5` Ht.				
	nus strobus / Eastern White Pine		5`Ht.		SMALL EVERGREEN SHRUB	gΛ	
Pir	HUS SHODUS / EASIEHT WITHE FINE		ວ ⊓ເ.	MANANANANANANANANANANANANANANANANANANAN		80	
				MAN NAME OF THE PROPERTY OF THE PARTY OF THE	Pinus mugo `Slowmound` / Slowmound Mugo Pine		3 gal.
					Taxus x media `Everlow` / Everlow Yew		3 gal.
					MEDIUM EVED ODEEN OUDUD		
					MEDIUM EVERGREEN SHRUB	76	
					Juniperus chinensis `Pfitzeriana Kallays` / Kallay Compact Juniper		3 gal.
LANDSCAPE IMPROVEMENT TABLE				Wille	Juniperus chinensis `Sea Green` / Sea Green Juniper		3 gal.
LAI	NDSOAFE IMPROVEMENT TABLE				Juniperus chinensis `Sea of Gold` / Sea of Gold Juniper		3 gal.
ARKING STALLS	S PROVIDED - 232 STALLS						
					Juniperus sabina `Buffalo` / Buffalo Juniper		3 gal.
ITERIOR LANDS	CAPE ISLAND GREENSPACE REQ 4,640 sf				Picea abies `Pumila` / Pumila Spruce		3 gal.
NTERIOR LANDS	CAPE ISLANDS GREENSPACE PROVIDED - 3,925 sf				Taxus x media `Tauntonii` / Tauton Yew		3 gal.
- PLANTING REC	QUIREMENTS REQUIRED PROVIDED						
CANOPY/S	SHADE TREES (1/10 STALLS) - 24 - 27				SMALL DECIDUOUS SHRUB	178	
EVERGRE	EN TREES (1/10 STALLS) - 24 - 29			(•)	Aronia melanocarpa`Low Scape Mound` / Low Scape Mound Chokeberry		3 gal.
DECORAT	FIVE TREES (1/10 STALLS) - 24 - 25				Hydrangea paniculata `Bobo` / Bobo Hydrangea		2 gal.
	(1/10 STALLS) - 24 - 526				Spiraea betulifolia `Tor` / Birchleaf Spirea		2 gal.
	(1/10 0111=0)						
TE LSR	- 0.15				Spiraea japonica `Magic Carpet` / Magic Carpet Spirea		2 gal.
TE EOIT	- 0.10				Weigela florida `Dark Horse` / Weigela		3 gal.
				~11/~	TALL ORNAMENTAL GRASS	132	
					Calamagrostis x a `Karl Foerster` / Karl Foerster Reed Grass		1 gal.
				000	<u> </u>		1 gal.
					Calamagrostis x a `Overdam` / Overdam Reed Grass		_
					Miscanthus sinensis `Oktoberfest` / Oktoberfest Miscanthus		1 gal.
					Panicum virgatum `Northwind` / Northwind Switch Grass		1 gal.
					SHORT ORNAMENTAL GRASS	12	
				.M.	Eragrostis spectabilis / Purple Love Grass		1 gal.
				ZWE ZWE			1 gal.
					Hystrix patula / Bottlebrush Grass		1 (12)
				M			
				W	Sporobolus heterolepis `Tara` / Tara Prairie Dropseed		1 gal.
				M	Sporobolus heterolepis `Tara` / Tara Prairie Dropseed		
				m m	Sporobolus heterolepis `Tara` / Tara Prairie Dropseed PERENNIALS	624 sf	
					PERENNIALS	624 sf 25	1 gal.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe	25	1 gal. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint	25 25	1 gal. 4.5" Cont. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis	25	1 gal. 4.5" Cont. 4.5" Cont. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint	25 25	1 gal. 4.5" Cont. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis Echinacea purpurea `Magnus Superior` / Magnus Superior Coneflower	25 25 14 25	1 gal. 4.5" Cont. 4.5" Cont. 4.5" Cont. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis Echinacea purpurea `Magnus Superior` / Magnus Superior Coneflower Geranium x cantabrigiense `Biokovo Carmina` / Biokovo Carmina Cranesbill	25 25 14 25 14	1 gal. 4.5" Cont. 4.5" Cont. 4.5" Cont. 4.5" Cont. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis Echinacea purpurea `Magnus Superior` / Magnus Superior Coneflower Geranium x cantabrigiense `Biokovo Carmina` / Biokovo Carmina Cranesbill Hemerocallis x `Pardon Me` / Pardon Me Daylily	25 25 14 25 14 25	1 gal. 4.5" Cont. 4.5" Cont. 4.5" Cont. 4.5" Cont. 4.5" Cont. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis Echinacea purpurea `Magnus Superior` / Magnus Superior Coneflower Geranium x cantabrigiense `Biokovo Carmina` / Biokovo Carmina Cranesbill Hemerocallis x `Pardon Me` / Pardon Me Daylily Hemerocallis x `Stella de Oro` / Stella de Oro Daylily	25 25 14 25 14	1 gal. 4.5" Cont.
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					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis Echinacea purpurea `Magnus Superior` / Magnus Superior Coneflower Geranium x cantabrigiense `Biokovo Carmina` / Biokovo Carmina Cranesbill Hemerocallis x `Pardon Me` / Pardon Me Daylily Hemerocallis x `Stella de Oro` / Stella de Oro Daylily Hosta x `June` / June Hosta Nepeta x faassenii `Novanepjun` / Junior Walker Catmint	25 25 14 25 14 25 14 4	1 gal. 4.5" Cont.
					PERENNIALS Astilbe chinensis `Visions` / Visions Astilbe Calamintha nepeta `Blue Cloud` / Lesser Calamint Coreopsis verticillata `Zagreb` / Zagreb Thread Leaf Coreopsis Echinacea purpurea `Magnus Superior` / Magnus Superior Coneflower Geranium x cantabrigiense `Biokovo Carmina` / Biokovo Carmina Cranesbill Hemerocallis x `Pardon Me` / Pardon Me Daylily Hemerocallis x `Stella de Oro` / Stella de Oro Daylily Hosta x `June` / June Hosta	25 25 14 25 14 25 14	1 gal. 4.5" Cont.



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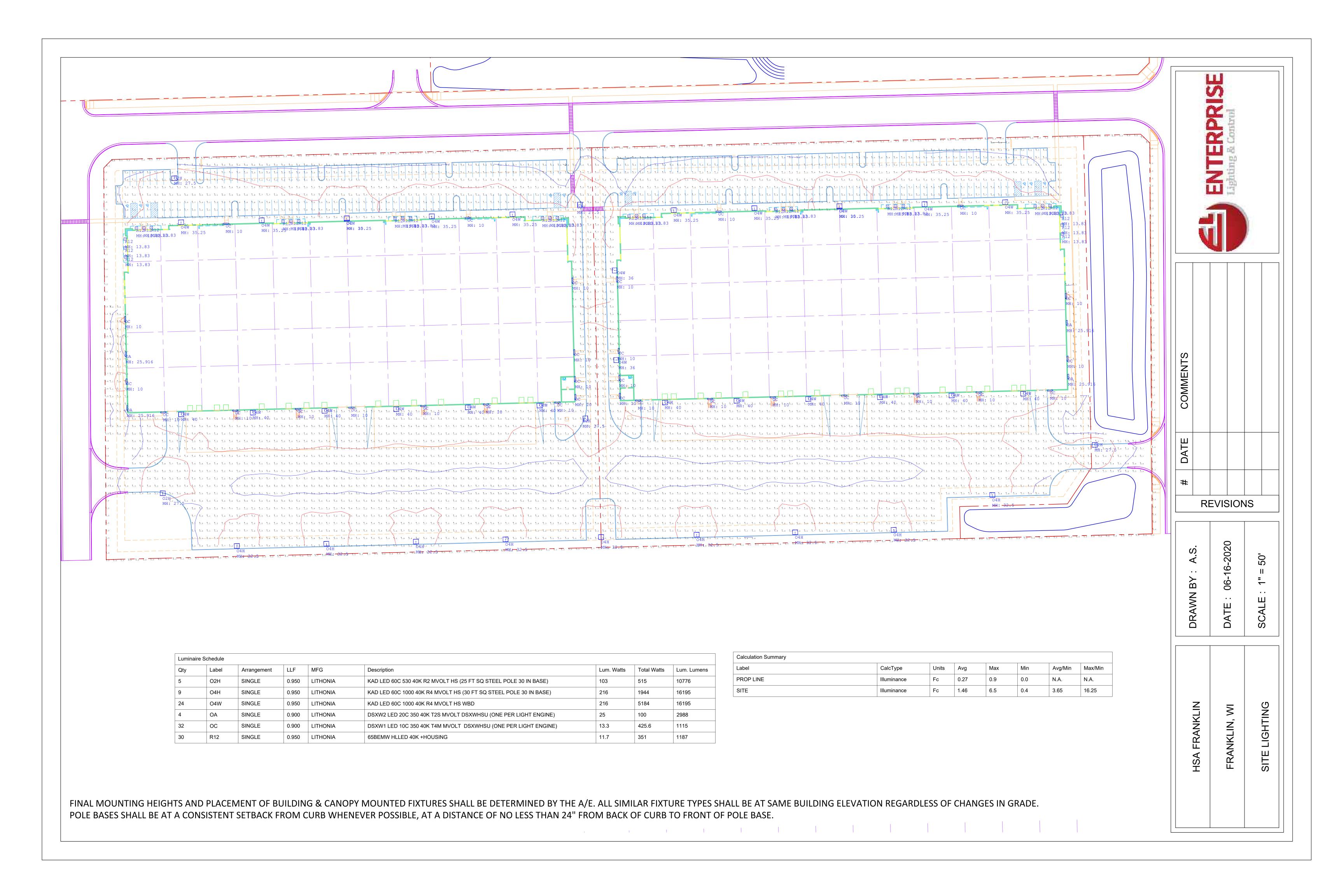
LANDSCAPE NOTES AND PLANT SCHEDULE

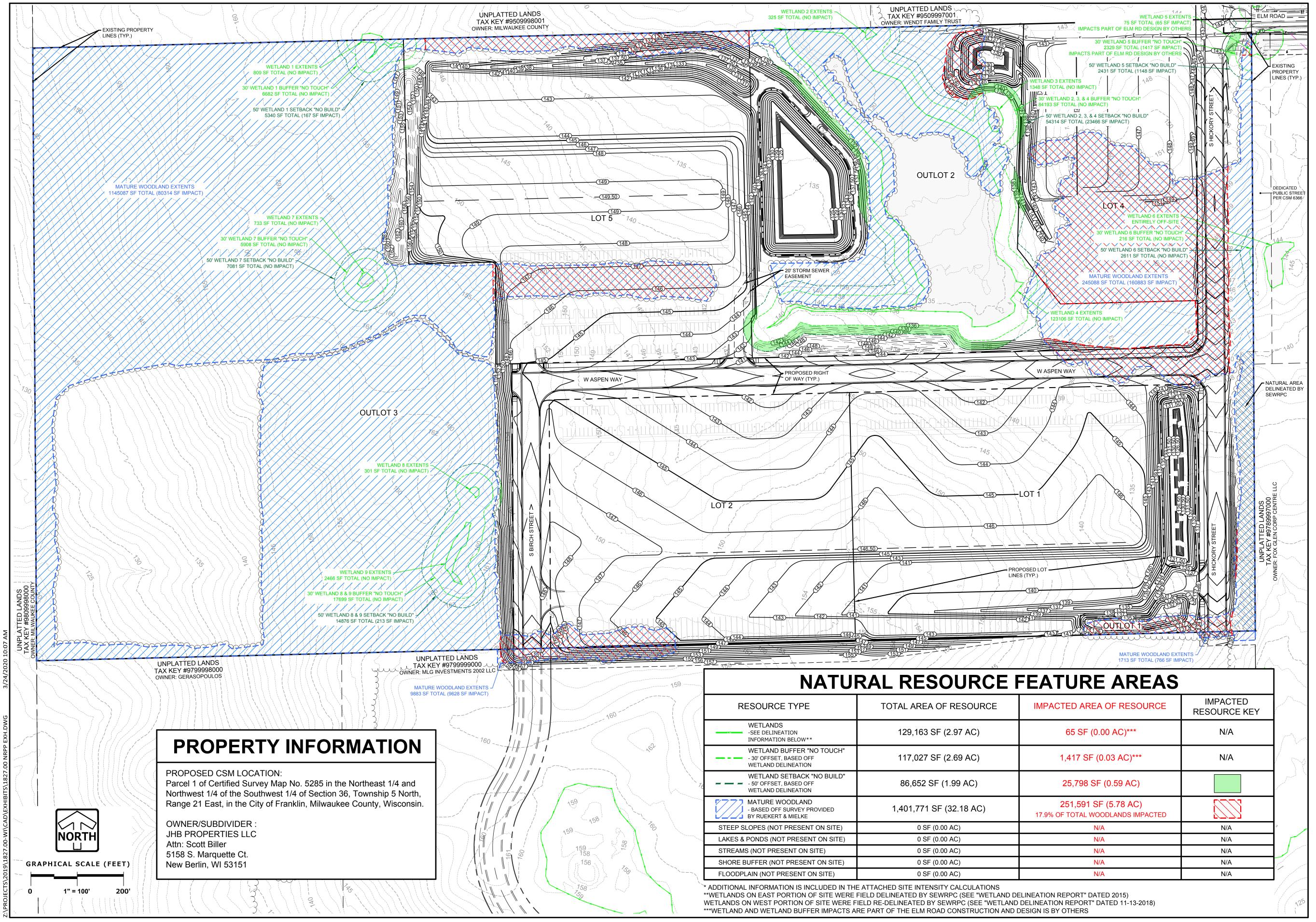
PERMIT COMMENTS 09/28/2

Turf Hydroseed / Drought Tolerant Fescue Blend

REVISIONS

73,419 sf





FRANKLIN CORPORATE PARK - NATURAL RESOURCES PROTECTION PLAN

03/24/20



REPORT TO THE PLAN COMMISSION

Meeting of October 22, 2020

Area Exception

RECOMMENDATION: City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant's recommended findings and consideration of any comments provided at the public hearing.

Project Name: Stevens Area Exception – Above-ground swimming pool

Project Address: 7752 W Briarwood Dr

Applicant: Andrew M. and Heather M. Stevens **Property Owner:** Andrew M. and Heather M. Stevens

Zoning: R-5 Suburban single-family residence district

Use of Surrounding Properties: Single-family residential

Applicant's Action Requested: Approval of the Area Exception to allow for a lot coverage

of 21.7 % while the maximum lot coverage is 20% for the

installation of an above-ground swimming pool.

INTRODUCTION:

On August 19, 2020, the applicant has submitted an Area Exception to allow for a lot coverage of 21.7% (2,935 square feet), exceeding the R-5 Suburban/Estate Single-Family Residence District maximum lot coverage standard of 20% (2,700 square feet). The area of the subject property is 13,500 square feet.

According to the applicant, the current lot coverage of the existing dwelling and garage is approximately 19% (2,589 square feet). The applicant is proposing a permanent above-ground pool on the rear yard, the pool area would be approximately 346 square feet with a diameter of 21 feet.

PROJECT ANALYSIS:

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage of a property by no more than 20%. Area Exceptions require approval by the Board of Zoning and Building Appeals, upon review and recommendation of the Plan Commission. Section 15-10.0209.G. of the UDO specifically lists Standards to be reviewed to grant or deny an Area Exception. The standards are attached as completed by the applicant.

Maximum Lot Coverage Calculation:

- The subject property area is 13,500 square feet.
- With the R-5 20% lot coverage, the home and any accessory structures may not exceed **2,700** square feet.
- The existing single-family home, attached garage and shed encompass about 2,732 square feet, and existing lot coverage is approximately 20.2%.

- With the addition of the proposed above-ground swimming pool, the resulting lot coverage would be approximately **22.8%** (3,078 square feet).
- With approval of an Area Exception, the maximum lot coverage is 20% lot coverage plus an additional 20% increase, resulting in a maximum lot coverage of **24%**.
- Therefore, as the applicant's request of **22.8%** (3,078 square feet) falls within the maximum allowed lot coverage of 24%, the Area Exception could be approved.

The proposed pool location complies with the minimum required setbacks, 10 feet from the rear property line and 4 feet from other structures (shed).

STANDARDS IN THE REVIEW OF AREA EXCEPTIONS:

Section 15-10.0209G of the City of Franklin Unified Development Ordinance specifically lists Standards to be reviewed by the Board of Zoning and Building Appeals to grant or deny an Area Exception. City Development staff has the following comments for the consideration of the Plan Commission:

- 2. That the uses, values and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or diminished by the area exception.
 - <u>Staff comment</u>: Above-ground swimming pools may have an impact on other properties. For example, the City Development Department has received 2 minor variances applications in 2020 requesting higher privacy fences to block views to above-ground swimming pools on adjacent properties, see September 30, 2020, Board of Zoning and Buildings Appeals (BZBA) agenda.
- 5. That the area exception shall be in harmony with the general purpose and intent of this Unified Development Ordinance.
 - <u>Staff comment</u>: Adjacent property owners may have the necessity of request variances from the Unified Development Ordinance for higher fences.

PRECEDENTS:

City Development staff did not find any precedent of Area Exceptions requesting an increase of the maximum lot coverage for the installation of above-ground swimming pools in the agendas of the Board of Zoning and Buildings Appeals from 2000 to present day.

STAFF RECOMMENDATION

City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant's recommended findings and consideration of any comments provided at the public hearing.

CITY OF FRANKLIN BOARD OF ZONING AND BUILDING APPEALS* FRANKLIN CITY HALL, COUNCIL CHAMBERS 9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN SPECIAL MEETING AGENDA WEDNESDAY, SEPTEMBER 30, 2020, 6:30 P.M.

- A. Call to Order and Roll Call
- **B.** Approval of Minutes
 - 1. Approval of regular meeting minutes of August 19, 2020.
- C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon).
 - 1. **HEARING NO. 2020-04: SUNNY SCOTT, MINOR VARIANCE FOR A FENCE WITH A HEIGHT OF EIGHT (8) FEET.** Application by Sunny Scott, 9029 W
 Hawthorne Lane, Franklin, Wisconsin 53132, for a Minor Variance for property located at 9029 W Hawthorne Lane, Franklin, Wisconsin 53132, being Lot 2 in Block 1 in the Tess Acres subdivision. The subject property is zoned R-2 Estate Single Family Residence District. The application requests a Variance from Section 92-6(C)(1) of the Municipal Code and Section 15-3.0802(E)(2)(a) of the Unified Development Ordinance to allow installation of a fence approximately 8 feet above grade, opposed to the permitted fence height of six feet or less in residential districts. The fence is proposed along the rear property line.
 - 2. **HEARING NO. 2020-05: ANDREW AND SCHAIANE RODRIGUEZ, MINOR VARIANCE FOR A FENCE WITH A HEIGHT OF EIGHT (8) FEET.** Application by Andrew and Schaiane Rodriguez, 4115 W Southwood Drive, Franklin, Wisconsin 53132, for a Minor Variance for property located at 4115 W Southwood Drive, Franklin. The subject property is zoned R-6 Suburban Single-Family Residence District. The application requests a Variance from Section 92-6(C)(1) of the Municipal Code and Section 15-3.0802(E)(2)(a) of the Unified Development Ordinance to allow installation of a fence approximately 8 feet above grade, opposed to the permitted fence height of six feet or less in residential districts. The fence is proposed to enclose the rear yard.
- D. **Announcement:** Next meeting date
- E. Adjournment

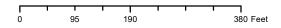
*Notice is given that a majority of the Common Council may attend this meeting to gather information about an Agenda item over which they have decision making responsibility. This may constitute a meeting of the Council per State ex rel. Badke v. Greendale Village Board even though the Council will not take formal action at this meeting.



7752 W. Briarwood Dr. TKN: 885 0052 000



Planning Department (414) 425-4024

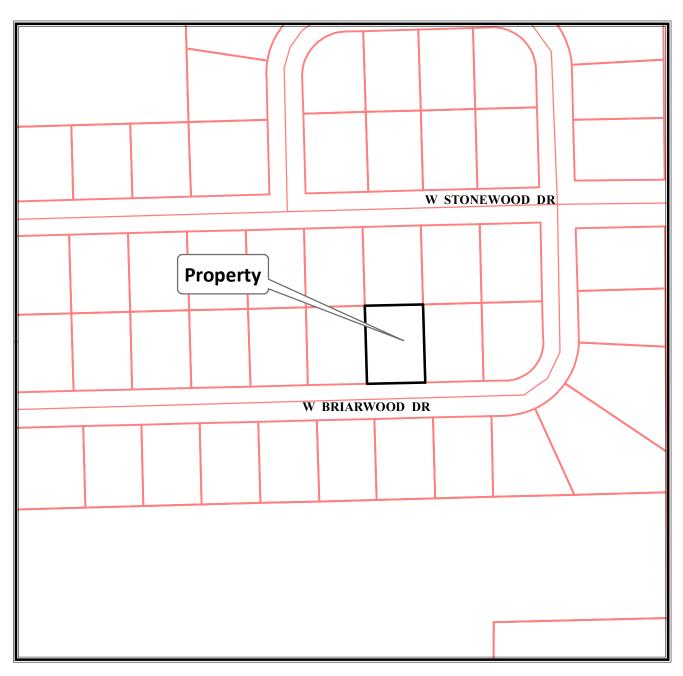


NORTH 2017 Aerial Photo

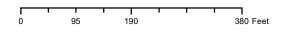
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



7752 W. Briarwood Dr. TKN: 885 0052 000



Planning Department (414) 425-4024



NORTH 2017 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

MEMORANDUM

Date:

September 18, 2020

To:

Andrew and Heather Stevens

From:

Department of City Development

RE:

Area Exception application – 7752 W Briarwood Drive

Please be advised that the Department of City Development has reviewed the above application. This area exception is sought to allow for an increased lot coverage for the installation of a permanent above-ground swimming pool. Staff comments are as follows for the application submitted by Andrew and Heather Stevens, and date stamped by the City of Franklin on August 19, 2020.

Department of City Development Staff Comments

1. Is the shed included in the lot coverage calculations? Accessory structures like sheds count towards lot coverage. If not included, please revise lot coverage calculations.

[Stevens] The shed calculations were not included. The Plat of Survey has been updated with the correct lot coverage calculations to include the shed.

2. What is the height of the proposed pool?

[Stevens] The minimum height of the pool will be 42". This is reflected in the Plat of Survey.

Inspection Services Department comments

3. Inspection Services has no comments on the subject "Area Exception" proposal. [Stevens] Reviewed.

Police Department comments

4. The Police Department has no issues with this request. [Stevens] Reviewed.

Fire Department comments

5. The fire department has no comments. [Stevens] Reviewed.

Question sent by Regulo Martinez-Montilva under separate cover on 9/23/2020.

No comments for the Area Exception lot coverage, except for the proposed above-ground pole, should not create drainage issues to the adjoining property. The existing drainage swale should not be disturbed.

[Stevens] Agree, there will be no drainage issues to the adjoining property. Please refer to the Plat of Survey which details the pool distance from lot lines.

Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132
Email: generalplanning@franklinwi.gov

City of Franklin

Phone: (414) 425-4024 Fax: (414) 427-7691 Site: www.franklinwi.gov

Web Site: www.franklinwi.gov

Date of Application:

AREA EXCEPTION APPLICATION

Complete, accurate and specific information must be entered. Please Print.

complete, accurate una specific injul	nation must be emered. Please Print.
Applicant (Full Legal Name[s]): Name: Award McLiswell Stevens Heather Mar Steven	Applicant is Represented by (contact person) (Full Legal Name[s]): Name:
Company:	Company:
Mailing Address: 2752 By arwood Dr.	Mailing Address:
City/State: FanUm, WI Zip: 53132	City / State: Zip:
Phone: 414 (614 4220	Phone:
Email Address: Machine Mare. Stavene hotman. Com	Email Address:
Project Property Information: Property Address: 152 Brun Wood Dr Franklin W Property Owner(s): ANDROW + Houther Stevens	Tax Key Nos:
	Existing Zoning:
Mailing Address: 1752 Breatwood Dr.	Existing Use:
City/State: Franklyn W Zip: 53132	Proposed Use:
Email Address: heltherman Stevens Thormand. Com	Future Land Use Identification:
*The 2025 Comprehensive Master Plan <u>Future Land Use Map</u> is available	eat: http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm
Area Exception Application submittals for review must include and be accomp	
This Application form accurately completed with original signature(s). Facs	imiles and copies will not be accepted.
Application Filing Fee, payable to City of Franklin: \$300	
Legal Description for the subject property (WORD.doc or compatible electrons)	onic format).
Seven (7) complete <u>collated</u> sets of Application materials to include:	*
The state of the s	ing 1) Current use and improvements on the property; 2) Ordinance standard
from which Area Exception is being sought (section number and text): 3	3) Description of the Area Exception, giving distances and dimensions where
appropriate; 4) Statement of reason(s) for the request; and 5) Description	
Seven (7) copies of the Plat of Survey, Site Plan, Building Elevations, and	
documents, which illustrate the Area Exception request. ALL plans mus	
Two photographs of the subject structure from different views (when applied	
Completed 'Standards in the Review of Area Exceptions' form (from Section	
Three (3) Affidavit forms with original and notarized signatures (facsimiles a	
Email (or CD ROM) with all plans/submittal materials. Plans must be submitt	ed in both Adobe PDF or compatible format (where applicable).
 Upon receipt of a complete submittal, staff review will be conducted wit All Area Exceptions require a public hearing at Plan Commission, Plan Co If a building permit is not issued within twelve (12) months of approval, 	ommission recommendation to BZBA, and BZBA review and approval. the Area Exception will be null and void.
The applicant and property owner(s) hereby certify that: (1) all statements and other of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) agree that any approvals based on representaissued building permits or other type of permits, may be revoked without notice in execution of this application, the property owner(s) authorize the City of Franklin and a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under the posted against trespassing pursuant to Wis. Stat. §943.13.	wner(s) has/have read and understand all information in this application; and (3) ations made by them in this Application and its submittal, and any subsequently if there is a breach of such representation(s) or any condition(s) of approval. By id/or its agents to enter upon the subject property(ies) between the hours of 7:00 or review. The property owner(s) grant this authorization even if the property has
(The applicant's signature must be from a Managing Member if the business is an signed applicant's authorization letter may be provided in lieu of the applicant's provided in lieu of the property owner's signature[s] below. If more than one, all of	s signature below, and a signed property owner's authorization letter may be
Grand Country	
Signature - Property Owner ANDREW M STEVENS	Signature - Applicant
Name & Title (PRINT)	Name & Title (PRINT)
Date: 011100	Date:
H LOSKIMY PLLYN	
Signature - Property Owner HIATHER M (12 VIN)	Signature - Applicant's Representative
Name & Title (PRINT)	Name & Title (PRINT)
Date: 8 17 20	Date:

City of Franklin

Area of Exception Application

Legal Description - request for variance to install a permanent 21ft above ground pool at the Stevens residence of 7752 Briarwood Dr., Franklin, WI 53132. We are long-time residents of Franklin. We have resided at this residence since November, 2005. Previously owned a condo in Legend Park from 2002 - 2005.

Current use and improvements of the property - At the residence of 7752 Briarwood Dr., Franklin, WI 53132, we are looking to install a permanent 21ft above ground pool. We have 3 beautiful daughters, ages 13, almost 11 and 4, who of course love to swim and we love family time.

Over the past year, we have made some major improvements to our home. We have attached some pictures of what our home used to look like and what we have done to improve it. We expanded our home from a 3-bedroom ranch to a 4-bedroom ranch with a den. From the outside, one would never know an addition was put on our home as it looks seamless as if the additional space was always there. This was our vision and our dream. We continually receive compliments from our neighbors and those that pass by. We immediately completed the project with professional landscaping by Johnson's Nursery and we take pride in a well-kept yard.

We understand with the addition we placed on our home this put us at a 20% square footage rate. We know this as we consulted the City of Franklin regarding obtaining a permit for the pool. It was determined over the phone/email with Gail Olsen and Regulo Martinez we are at the point of 20%. It was suggested we seek the route of requesting a variance. We kindly ask you to grant us this variance. We believe adding the pool will be a nice addition to our home based on appearance and good old family fun. Based on calculation, we are estimating the pool addition will put us at 22% square footage.

We have consulted our neighbors to see if they would have any concerns with us adding the pool and there are none. In fact, please find included a letter from one of our neighbors.

Our goal would be to install the pool in Spring 2021.

Description of the Area Exception, Dimension and Distances-

- The installed pool would be 21ft, round.
- The pool will be 10+ feet from the backlot line.
- The pool will be 4+ feet from our shed.
- The pool will be well more 10+ feet from either side lot line.
 - A drafted drawing has been included.

We have included pictures of the yard as it currently stands. In these pictures you will see there is currently a removable Intext 15ft round pool by 48inches tall. The permanent pool would go in this area. This Intext pool is put up each Spring and taken down each Fall. You can see the security measures we have put in place with the ladder. Per the City of Franklin code and regulations, we have met each of these with the Intext pool. Having children, safety is number one.

Reason for the Request - Our family is outgrowing the Intext pool and it has been our dream to install a permanent pool. We take pride in our home appearance and believe adding a pool will only enhance the beauty of our home and more importantly give us more quality family time. Family time is precious to us.

We hope and kindly ask that you will consider granting us with this variance. From what we have presented, we hope that you can see we only do things to our home to improve and make things look presentable and appealing. We thank you for your time and your consideration.

The Stevens Family

Andrew, Heather, Ava, Victoria and Faith

Carly See Huthunishum Ava

Our home before ...



Our home after...



Dear City of Franklin,

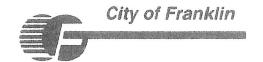
We have been neighbors with Andrew and Heather Stevens for over 15 years. They have spoken to us regarding the variance needed to be able to install a pool for their family to enjoy. Everything that the Stevens create including the new addition to their house is of top quality and done beautifully. We are in full support and have no objections for the approval of a variance for their swimming pool. We are confident it will be done in the same excellent manner.

Thank you for the consideration.

Erik and Nicole Wildes

7732 W. Briarwood Dr. Franklin, WI 53132

Planning Department 1229 West Loomis Road ranklin, Wisconsin 53132 Email: generalplanning@franklinwi.gov



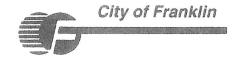
Phone: (414) 425-4024 Fax: (414) 427-7691

Web Site: www.franklinwi.gov

Affidavit

I hereby depose and say that all the stat- true.	. /		
Signature of Property Owner 1:	W. M Jun Signature of Pro	perty Owner 2: 1	umbluer
Name and Title: ANDREW M STEVEN	Name and Title	: Huther m Ster	1105
STATE OF WISCONSIN) () SS MILWAUKEE COUNTY) SUBSCRIBED AND SWORN TO BEIL NOTA MILW My Co	FORE ME THIS TODAY OF ACCEPTAGE S. Level S. Revision Expires: 12 11 20	20 <u>2</u> 0	
Application Received (Date):	OSITION BY BOARD OF ZONING Case N	o	300 F 300 W
Property Owner(s) Name:			
roperty Address:			
3ZBA Meeting Date:	Approved		Denied
Signature of Board Members	Yes	No Abstain	Dagmag
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Planning Department 9229 West Loomis Road Franklin, Wisconsin 53132 Email: generalplanning a franklinwi.gov

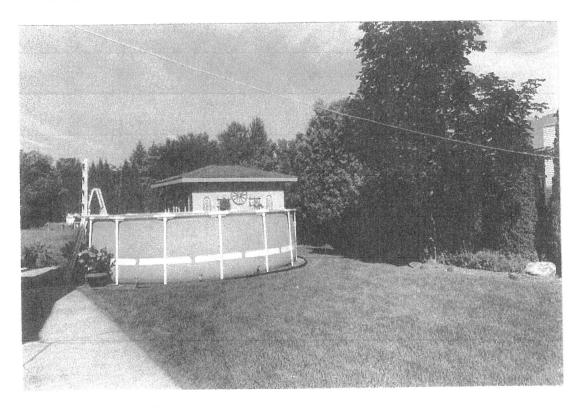


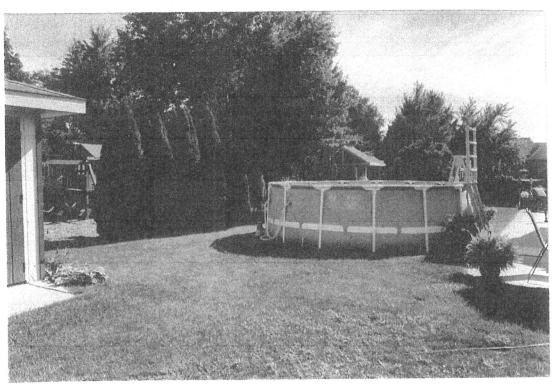
Phone: (414) 425-4024 Fax: (414) 427-7691 Web Site: <u>www.franklinwi.gov</u>

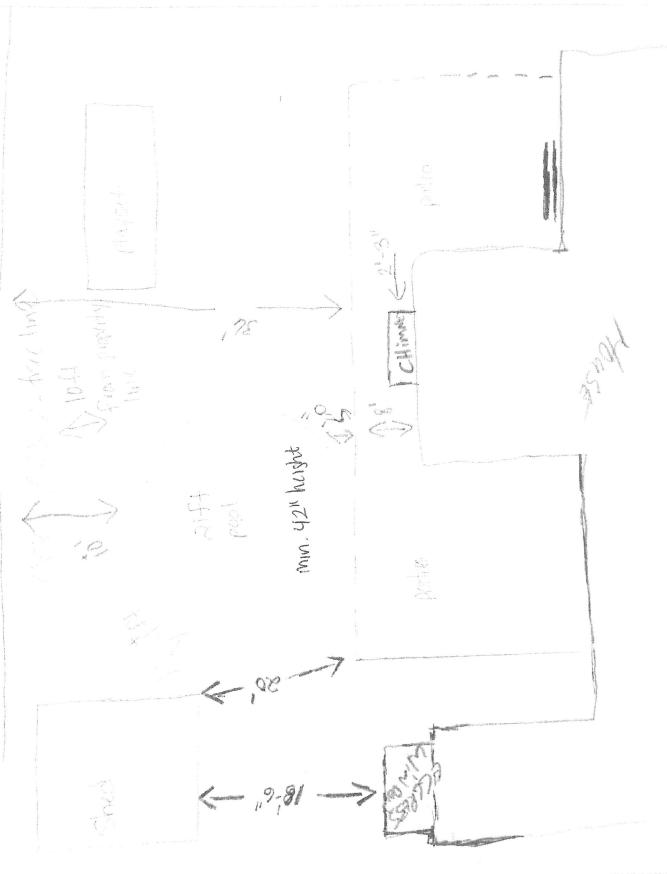
Standards in the Review of Area Exceptions

Date: 8 17 20	Case No.
Property Owner: AMICW & Heather Sta	evins
Property Address: 1952 Branward DC.	
Section 15-10.0209G of the City of Franklin Unified Dereviewed by the Board of Zoning and Building Appearare:	evelopment Ordinance specifically lists Standards to be ls to grant or deny an Area Exception. The Standards
wel fare	or endanger the public health, safety, comfort or general by detrimental or endanger the public of them.
2. That the uses, values and enjoyment of other proper shall be in no foreseeable manner substantially impaired to accurate of the property will be	
3. That the area exception will not impede the norm surrounding property for uses permitted in the district. The area exception will not unpede the norm will not impede t	the development and improvement of the
4. That the area exception will not impair an adeq substantially increase the congestion in the public neighborhood.	uate supply of light and air to adjacent property, or streets, or increase the danger of fire within the
5. That the area exception shall be in harmony volume. Agall.	vith the general purpose and intent of this Unified

Distred location of the new pool



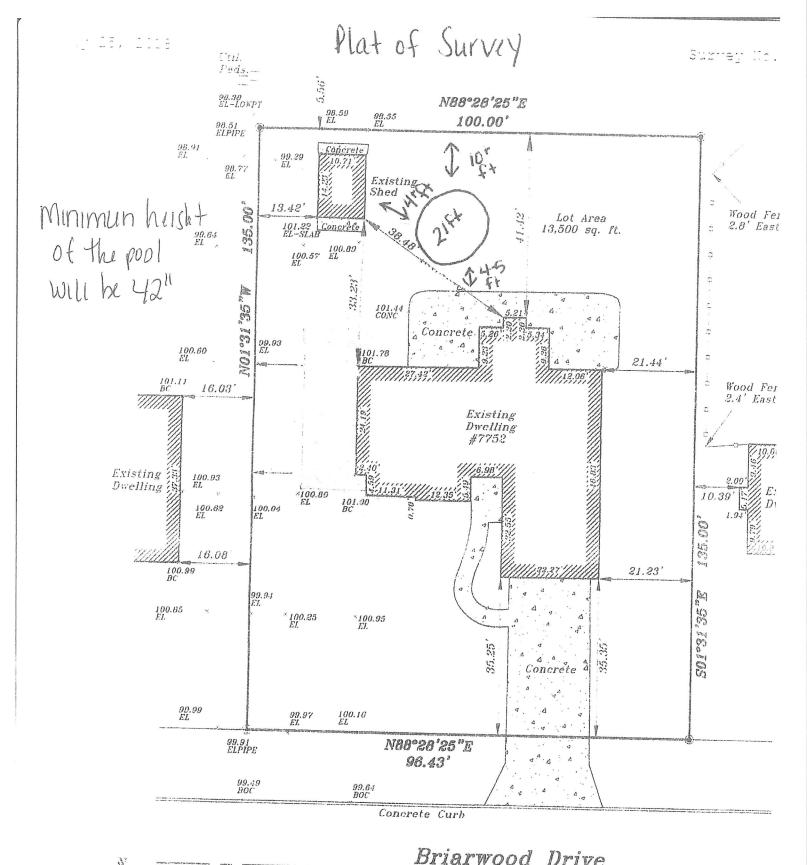




入川 7年12分月

ERANKLIN, WI 53132 1125 BRIVEWOOD DRIVE PROCRESS SET 7/31/2018 2 PROPOSED PARTIAL REAR (NORTH) ELEVATION Site Plan and Building Elevations 3 PROPOSED SIDE (WEST) ELEVATION PROPOSED FRONT (SOUTH) ELEVATION SCALE WYTHON #2

Sheet Filts PROPOSED BASEMENT PLAN ALA MA Kotcieloiak Ala ALA Sures 1216 West Weterled Avenue BSSES cisnoselly Welensel ERANKLIN, WI 53132 7/31/2018 1125 BRIVE MOOD DEILE a lifecture SNOITARATJA AOIRATNI ***** NOITIQAA QNA PROCRESS SET 7/31/2018 SIte Plan and Building Elevorions PROPOSED BASEMENT PLAN
SCALL LYT - 1-0" EXISTAND BASEMENT 1,589 5Q. FT.
BASEMENT RODITION. 498 5Q. FT.
SCALL LYT - 1-0" 1010. 2,027 5Q FT. 1700 1001 Demaspents

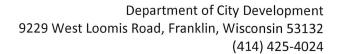


Priarwood Drive

(60° R.O.W.)

Total Squara footage with 21 st pool 4 Shed

= 3,078.36





CITY OF FRANKLIN NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT THE PLAN COMMISSION OF THE CITY OF FRANKLIN will conduct a public hearing on Thursday, October 22, 2020, at 7:00 p.m., or as soon thereafter as the matter may be heard, in the Common Council Chambers at the Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin 53132, to hear public comment regarding an application by Andrew M. Stevens and Heather M. Stevens (Andrew M. Stevens and Heather M. Stevens, property owners), for an Area Exception for the property located at 7752 West Briarwood Drive, Tax Key No. 885-0052-000, Block 4, Lot 16 in Stonewood Addition No. 1, being a subdivision of a part of the Northwest 1/4 and the Northeast 1/4, of the Southeast 1/4 of Section 21, Town 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin. The subject property is zoned R-5 Suburban Single-Family Residence District. The application requests an Area Exception from Table 15-3.0206 of the Unified Development Ordinance to allow for a maximum lot coverage of 21.7% (2,935 square feet), exceeding the R-5 Suburban Single-Family Residence District maximum lot coverage standard of 20% (2,700 square feet), for the installation of a permanent above ground swimming pool on the rear yard of the property, 10 feet from the back yard lot line and in excess of 10 feet from either side yard lot line (pool is approximately 346 square feet with a diameter of 21 feet). This public hearing is being held pursuant to the requirements and standards of §15-10.0209 of the City of Franklin Unified Development Ordinance. The public is invited to attend the public hearing and to provide input.

Dated this 28th day of September, 2020.

Sandra L. Wesolowski City Clerk

N.B. Class I

*TKN 885 0035 000

BORELLI JAMES M & KARN M 7731 W BRIARWOOD DR FRANKLIN, WI 53132



REPORT TO THE PLAN COMMISSION

Meeting of October 22, 2020

Site Plan

RECOMMENDATION: Department of City Development staff recommends to table this Site Plan if the Plan Commission denies the requested waivers, especially c, d, e and f regarding landscaping and architectural requirements.

Project Name: Kids Connection, child day care

General Project Location: 3030-3130 W. Rawson Ave **Property Owner:** Kristopher & Tina Kraussel

Applicant: Kristopher Kraussel / B&B Investments of Rawson LLC

Agent: Rob Sterr. Anderson Ashton, Inc

Current Zoning: B-4 South 27th Street Mixed Use Commercial District

2025 Comprehensive Plan: Mixed use

Use of Surrounding Properties: Multifamily to the north, vacant land and floodplain to

west, commercial to the east and south.

Applicant's Action Requested: Approval of Site Plan amendment

INTRODUCTION:

On September 4, 2020, the applicant submitted a Site Plan for Kids Connection, a new child day care facility to be located on the northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard. Child day care services under Standard Industrial Classification No. 8351 is a permitted as of right use in the B-4 South 27th Street Mixed use Commercial District.

The site area is 2.21 acres. The project consists of a single story building with a footprint of 10,509 square feet, a playground with aluminum fencing, 45 parking spaces, 2 driveways connections to Rawson Avenue, landscaping and outdoor lighting.

PROJECT ANALYSIS:

Even though the proposed use is permitted as of right in the B-4 zoning district, the property is designated as mixed use in the Future Land Use Map of the Comprehensive Plan. Approval of a site plan does not need to be consistent with the local comprehensive plan, ordinances subject to the consistency requirement are specifically listed in Wisconsin Statutes §66.1001(3).

City Development staff has reviewed this project and sent comments to the applicant on September 24, 2020. The applicant has addressed most of the review comments with the exception of the 27th Street Overlay Designed Standards. Additionally, the proposed parking does not meet the minimum required parking.

South 27th Street Overlay Design Standards

The intent of referenced design standards is to further the implementation of the South 27th Street Corridor Master Plan amendment adopted by the City of Franklin on January 20, 2005. The applicant has submitted a letter requesting waivers of these standards for consideration of the Plan Commission (attached to the meeting packet). This project does not comply with the design standards listed below:

Landscape and site design general standards

- a. 15-3.0353B. Coordination of Site Furnishings. Lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk.
 - <u>Staff comment:</u> the project does not meet the minimum parking requirement as discussed further in this staff report, the vehicle parking deficit may be compensated with bicycle parking, <u>staff recommends racks for at least 7 bicycles</u>.
- b. 15-3.0353C.5. Pedestrian considerations. Pedestrian walkways shall be provided from all building entrances to existing or planned public sidewalks or pedestrian/bike facilities.
 - <u>Staff comment:</u> Taking into account the adjacent Indian Creek Condominiums within a walking distance from the proposed child day care, <u>staff recommends a pedestrian</u> connection to the existing public sidewalk along Rawson Ave.

Landscaping requirements for off-street parking areas

- c. 15-3.0354B.1. Required Trees for Parking Lot Perimeter and Interior Applications. Shade or decorative trees are required within the vehicular use area at a ratio of one tree for every 15 parking spaces or fraction thereof, unless the Plan Commission grants an exception. The trees must be evenly distributed throughout the vehicular use area.
 - <u>Staff comment:</u> Only 1 tree (Autumn Blaze Maple ABM) is proposed within the vehicular use area while the minimum requirement is 3 trees. 1 tree for every 15 parking spaces per UDO §15-3.0354(B)(1).
- d. 15-3.0354C.1. Interior Landscaping for Off-street Parking Areas. A minimum of 20 square feet of interior landscaped island shall be provided per parking stall.

 Staff comment: The total area required for landscape islands is 900 square feet, the area of the proposed landscape island is approximately 320 square feet.

Architectural requirements

- e. 15-3.0355A.1. Building Character and Design. Buildings located on prominent sites
 - such as key intersections, corners, terminations of street vistas, and on high points
 - shall be multi-story and exhibit quality architectural design to serve as landmarks.

<u>Staff comment:</u> No objections to this waiver request as the intersection of Riverwood Boulevard and Rawson Avenue is not a corridor gateway in the attached corridor future land use plan.

- f. 15-3.0355B.8d. Pedestrian Accessibility. Buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.
 - <u>Staff comment:</u> The corner entrance may not be practical for this building as the strip of land adjacent to Riverwood Boulevard is not part of the subject property. See attached corner building illustration, page 29 of the South 27th Street Corridor Master Plan.
- g. 15-3.0355B.10c. External storage. All trash collection areas must be located within the structure, or behind the building in an enclosure.
 Staff comment: The dumpster would be enclosed by 6-foot walls but the gate would be visible from West Rawson Avenue.

Parking

Table 15-5.0203 of the Unified Development Ordinance (UDO) requires 0.3 parking space per person of the enrollment capacity, which is 156. Therefore, the minimum parking required for this project is 52 spaces while the proposed parking is 45 spaces.

The Plan Commission may approve (up to) a 25% parking reduction, provided that the applicant has submitted sufficient proof that the minimum number of required parking spaces would exceed the proposed use's projected parking demand.

Staff recommends bicycle parking as compensation for the 7 missing vehicular parking stalls.

STAFF RECOMMENDATION

Department of City Development staff recommends to table this Site Plan if the Plan Commission denies the requested waivers, especially c, d, e and f, regarding landscaping and architectural requirements.

Staff recommends bicycle parking as compensation for the 7 missing vehicular parking stalls and a walkway connection to the existing public sidewalk, conditions #5 and #6.

CITY OF FRANKLIN PLAN COMMISSION

MILWAUKEE COUNTY [Draft 10-15-20]

RESOLUTION NO. 2020-____

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION OF A DAYCARE BUILDING, PLAYGROUND, PARKING LOT, DRIVEWAYS AND STORMWATER BASIN WITH ASSOCIATED LANDSCAPING, FENCING AND LIGHTING (3030-3130 WEST RAWSON AVENUE)

(KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF RAWSON, LLC, APPLICANT, KRISTOPHER A. KRAUSSEL AND TINA M. KRAUSSEL, PROPERTY OWNERS)

WHEREAS, Kristopher A. Kraussel/B & B Investments of Rawson, LLC having applied for approval of a proposed site plan for construction of a 10,509 square foot single-story building (Kids Connection Childcare Center), 3,419 square foot playground (aluminum fencing around the perimeter) on the east side of the building, 45 parking spaces, two driveways with connection to Rawson Avenue, as well as associated landscaping, outdoor lighting and a bioretention basin on the west end of the property for onsite storm water management, with hours of operation Monday through Friday, upon property located at 3030-3130 West Rawson Avenue (northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard, approximately 2.21 acres of vacant land); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 10,509 square foot single-story building (Kids Connection Childcare Center), 3,419 square foot playground, parking lot, driveways and stormwater basin with associated landscaping, fencing and lighting at 3030-3130 West Rawson Avenue (northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard, approximately 2.21 acres of vacant land), as depicted upon the plans date-stamped September 12, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

- 1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Kristopher A. Kraussel/B & B Investments of Rawson, LLC "Kids Connection Childcare Center" daycare facility date-stamped September 12, 2020.
- 2. Kristopher A. Kraussel/B & B Investments of Rawson, LLC, successors and assigns,

KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF RAWSON, LLC – SITE PLAN RESOLUTION NO. 2020-____ Page 2

and any developer of the Kristopher A. Kraussel/B & B Investments of Rawson, LLC "Kids Connection Childcare Center" daycare facility construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Kristopher A. Kraussel/B & B Investments of Rawson, LLC "Kids Connection Childcare Center" daycare facility construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

- 3. The approval granted hereunder is conditional upon the Kristopher A. Kraussel/B & B Investments of Rawson, LLC "Kids Connection Childcare Center" daycare facility construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 4. That the Kristopher A. Kraussel/B & B Investments of Rawson, LLC "Kids Connection Childcare Center" daycare facility construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
- 5. Approval of parking reduction from 52 parking stalls to 45 parking stalls provided that the applicant submits a revised site plan with the addition of 7 bicycle parking spaces for review and approval by the Department of City Development, prior to the issuance of building permits.
- 6. The applicant shall submit a revised site plan depicting a walkway connection from the building entrance to the existing public sidewalk for review and approval by the Department of City Development, prior to the issuance of building permits.
- 7. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0353B. (Coordination of Site Furnishings), prior to the issuance of any building permit.
- 8. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0354B.1. (Required Trees for Parking Lot Perimeter and Interior Applications), prior to the issuance of any building permit.

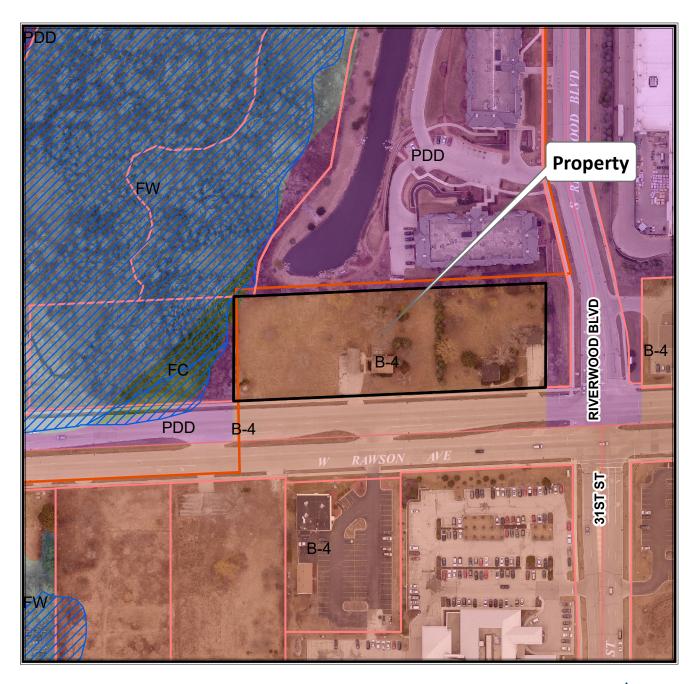
KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF RAWSON, LLC – SITE PLA
RESOLUTION NO. 2020-
Page 3

- 9. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0354C.1. (Interior Landscaping for Off-street Parking Areas), prior to the issuance of any building permit.
- 10. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355A.1. (Building Character and Design), prior to the issuance of any building permit.
- 11. The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355B.8.d. (Pedestrian Accessibility, corner entrance), prior to the issuance of any building permit.
- 12. The applicant shall obtain a waiver from the Plan Commission Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355B.10.c. (External storage), prior to the issuance of any building permit.
- 13. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.

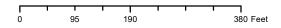
	at a regular me	ting of the Plan Commission of the City of Franklin this, 2020.
	*	egular meeting of the Plan Commission of the City of , 2020.
		APPROVED:
ATTEST:		Stephen R. Olson, Chairman
Sandra L. Wesolo AYES NO	wski, City Clerk DES ABS	ENT



3030 & 3130 W. Rawson Ave. TKN: 738 9991 001



Planning Department (414) 425-4024

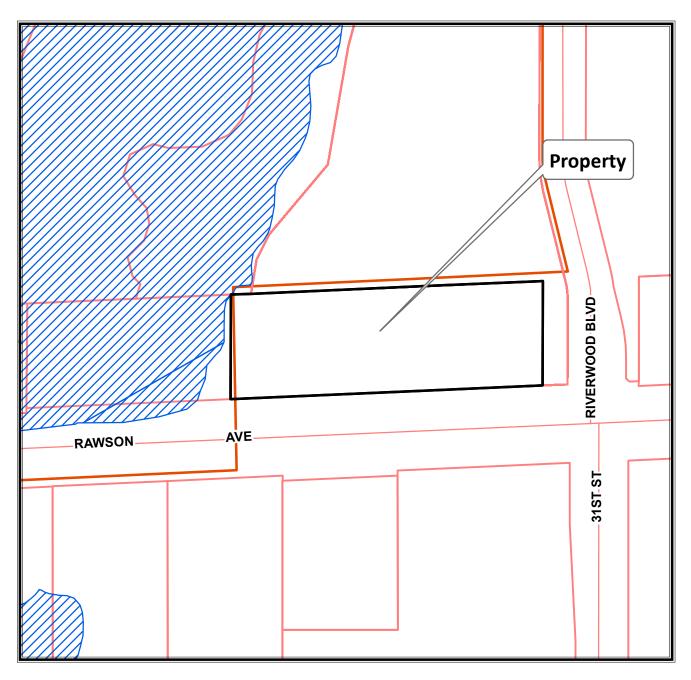


NORTH 2017 Aerial Photo

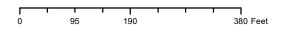
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



3030 & 3130 W. Rawson Ave. TKN: 738 9991 001

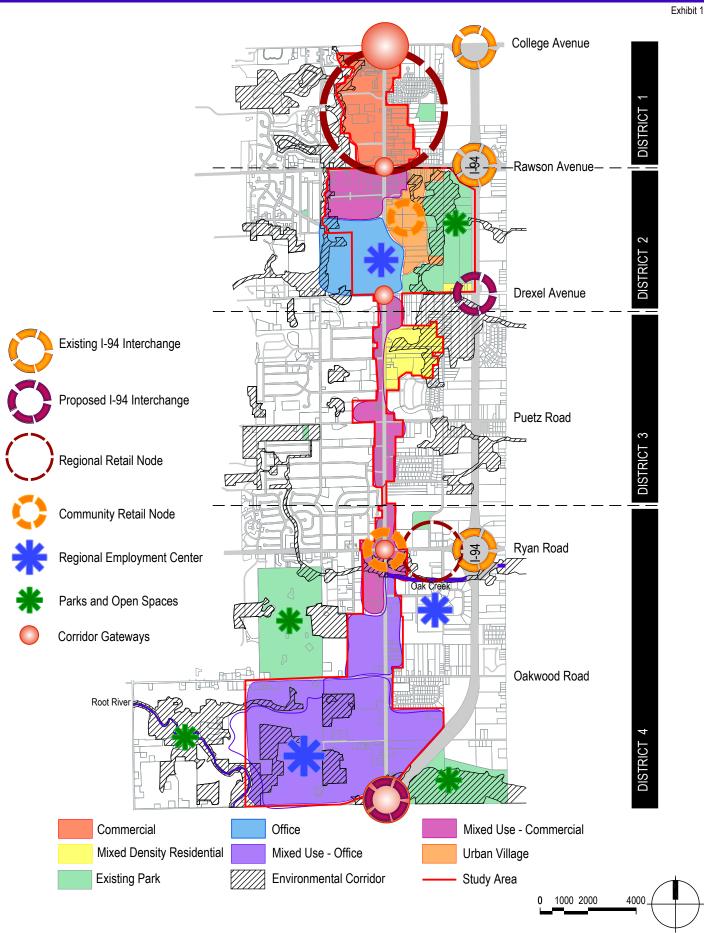


Planning Department (414) 425-4024



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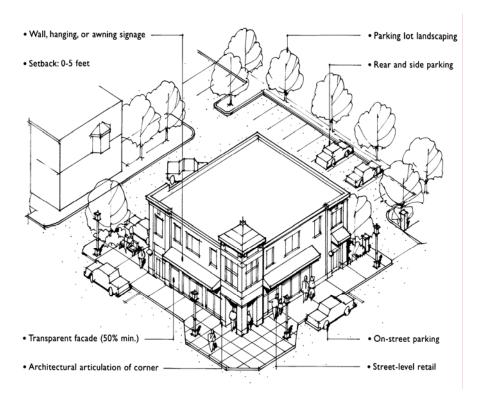
6 DESIGN GUIDELINES BY LAND USE AREA

The design guidelines in this section refer to the distinct land use areas found along the 27th Street Corridor. It is important to consider the land use in each district and refer to these design guidelines when developing those areas.

6.1 Regional Retail/Community Retail

The regional retail/community retail design guidelines apply to retail, hospitality, and entertainment uses.

- a. If the commercial development consists of a mix of structures of different sizes, larger buildings should be located behind smaller structures.
- b. Sidewalks and tree planting along the front of small commercial buildings should be provided as they promote pedestrian activities and help define the streetscape, unless the buildings are located within an Urban Village-type of development with a mix of uses, narrow streets, etc.
- c. Long, monotonous, uninterrupted walls should be discouraged on the primary facades of commercial buildings. Building wall offsets, including projections, recesses, and changes in floor level, should be used to add architectural interest and variety.
- d. Buildings on corners that have at least two (2) facades exposed to public streets should be considered significant structures. These buildings should be designated with additional height and architectural detail, such as corner towers to reinforce their location.



Corner buildings should help define intersections with distinctive architectural character.



2746 South 166th Street New Berlin, WI 53151 262.786.4640 P 262.786.4675 F

andersonashton.com

Kids Connection (3030-3130 W. Rawson Ave) – Cover Letter

This cover letter is to explain the order of what is contained in this packet:

- 1. Legal description of project site
- 2. Project summary
- 3. Staff comments dated September 24,2020 with responses to the comments
- 4. Letter addressing additional information
- 5. Letter requesting waivers of certain standards of the 27th Street Overlay District
- 6. Letter from Milwaukee County dated April 28, 2020, for doing work in the right of way of Rawson Avenue and also for the driveway openings.
- 7. Cut sheet for LED pole light OA
- 8. Updated plan sheets and elevations



Legal Description of Property located at 3130 W. Rawson Avenue

Lot 1 of Certified Survey Map N. 8419, Part of the SouthEast ¼ and the SouthWest ¼ of the SouthEast ¼ of the SouthEast ¼ of Section 1, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin





Project Summary

The proposed project consists of a single story, wood framed, 10,509 square foot building, located at 3130 W. Rawson Avenue. On the East side of the building there will be a 3,419 square foot playground, that will have an aluminum fence around the perimeter. All 4 elevations of the building will have fiber cement siding with a wainscot masonry veneer. The hip style roof system will have a gable style dormer for the front entrance on the South side. The main entrance on the South elevation will also have a stone venner around the entrance doors. The roof will be a be asphalt shingles. The West end of the property will have a bioretention basin constructed to have onsite storm water management. The parking lot will be constructed of asphalt pavement with curb and gutter. The building will be a day care facility for children, and operate Monday thru Friday.

In addition to the project, a turn lane in the Eastbound lane of traffic will be constructed per Milwaukee County requirements. The building will be a day care facility for children, and operate Monday thru Friday.

MEMORANDUM

Date: September 24, 2020

To: Rob Sterr. Anderson Ashton, Inc. From: Department of City Development.

RE: Application for Site Plan. Kids Connection – 3030-3130 W Rawson Avenue

Please be advised that City Staff has reviewed the above application received on September 4, 2020, for a child day care facility to be located at 3030-3130 W Rawson Avenue. Department comments are as follows:

Department of City Development

Site Plan

- 1. Per Unified Development Ordinance (UDO) §15-7.0103, please provide the following information:
- 2. Architect and/or Engineer's Name and Address. Architect and/or engineer's name, address, and seal noted. -Refer to updated Civil plans
 - G. Soils Data. The characteristics and types of soils related to contemplated specific uses. Soil borings may be required by the City Engineer, Zoning Administrator, and/or Plan Commission. Will be completed prior to Construction Permit Application
 - H. If the proposed development abuts an existing or planned collector or arterial street or highway, as identified on the City of Franklin Comprehensive Master Plan or component thereof, all driveway locations of all adjoining properties within 200 feet of the site shall be graphically indicated and dimensioned (with distances and widths noted) on the Site Plan. ---Refer to updated Civil plans
 - I. Details of the dumpster enclosure and aluminum fence, such as elevations or renderings.
 -Refer to updated Architectural Site Plan
 - Y. Access. Copies of any letters of review or permits granted by Milwaukee County regarding access to Rawson Avenue.
 - BB. Financial Plan for Project Implementation to be Provided. A financial plan for project implementation, acceptable to the Plan Commission. See attached response
 - CC. Project Summary. Please add building schedule and estimate of project value and including all site improvement costs. -See attached in formal response
 - DD. Additional data:
 - Enrollment capacity. 156
 - Specific hours of operation. 6a to 6p M-F

South 27th Street Design Overlay Design Standards

Parking

- 3. The site plan as presented does not comply with the parking location standard set forth in UDO §15-3.0352(A), not more than 50% of the off-street parking spaces shall be located directly between the front facade of the building and the public street. Please revise accordingly.
 - This may have been a situation of miss-interpretation of UDO 15-3.0352(A). It was interpreted that 21 stalls of the 45 are "located directly between the front façade of the building and the public street" therefore meeting the standard set forth in UDO15-3.0352(A). The current design, as submitted to Franklin on Sept 4 would be preferred by the building operator so that daily pick-up / drop-off operations are executed efficiently and safely.

Landscape and site design general standards

- 4. Pursuant to UDO §15-3.0353(B), site furnishings such as benches, trash receptacles and bicycle racks are required. Staff recommends 4 bicycle racks, 2 benches and 2 trash receptacles.
 - Upon prior approval of the Plan Commission and Common Council, streetscape items may be placed within the public right-of-way. Operator is requesting a waiver for this item
- 5. Per UDO §15-3.0353(C), please add pedestrian walkways connecting building entrances to existing public sidewalk. Pedestrian walkways shall be designed with amenities such as special paving treatments (colored paver blocks or textured concrete) and distinguished from driving surfaces.—

 Operator is requesting a waiver for this item

Landscaping requirements for off-street parking areas

- 6. Even though the overall quantity of plantings meets UDO requirements, only 1 tree (Autumn Blaze Maple ABM) is proposed within the vehicular use area while the minimum requirement is 3 trees. 1 tree for every 15 parking spaces per UDO §15-3.0354(B)(1). See §15-3.0354(B)(3) for reductions of this requirement. In the interest of safety, the daycare operator would prefer to maintain clear site lines through-out the site, for this reason, limited landscaping within the parking area is preferred.
- 7. The parking lot does not comply with the total area required for landscape islands of 900 square feet, 20 square feet per parking stall set forth in UDO §15-3.0354(C)(1-2). Landscape islands shall not be less than 250 square feet. In the interest of safety, the daycare operator would prefer to maintain clear site lines through-out the site, for this reason, limited landscaping within the parking area is preferred.

Architectural requirements

8. Per UDO §15-3.0355(A)(1), buildings located on prominent sites — such as corners — shall be multi-story. – This property is located on the corner of S Riverwood Blvd and W Rawson Ave, which is one block off of the prominent corner of 27th St and Rawson. S Riverwood Blvd serves the loading area for Lowe's, the building supply store across the street and a residential development, the property immediately to the north of the proposed Kids Connection Daycare Center. Although this site could be considered not prominent for many reasons including severe site grade differential of approx. 25' East to West, efforts were made to increase the building volume to imply a second

- story with the inclusion of a roof volume of 28' to the ridge and dormers which imply an occupiable level above the first floor.
- 9. Per UDO §15-3.0355(A)(10), multi-story buildings that allow for a mix of retail, office or residential uses are preferred. -For security, noise, safe traffic flow needs, childcare center uses do not lend themselves well to a mixed-use development.
- 10. Per UDO §15-3.0355(B)(8)(d), buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.
 - In the interest of safety and security, the daycare operator would prefer to maintain a centrally located main entry for families. The internal operations of a daycare operate most optimally with a central entry that equally serves both wings of the building.
- 11. The preferred location for the dumpster enclosure is behind the building per UDO §15-3.0355(B)(10)(c). In the interest of safety, the daycare operator would actually prefer a dumpster location nearer the road than what we are showing in order to reduce the travel distance of the garbage truck. However, the compromise was to locate the dumpster enclosure behind the rear façade line of the building but retain a straight-on pick with their garbage truck so that the truck operator is not required to roll dumpsters into position prior to the pick.

Note: The Plan Commission has the authority to waive any of the South 27th Street Design Overlay District Standards by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested. UDO §15-3.0351(A)(5)

Landscape

- 1. Please illustrate areas for snow storage on the Landscape Plan in compliance with Section 15-5.0210 of the Unified Development Ordinance. The minimum snow storage area is 10% of the total pavement areas. -Refer to updated Architectural Site Plan
- 2. A two-year planting guaranty on the Landscape Plan is required per UDO §15-5.0303(G)(3). Please revise note 16 of sheet L1.2.
- 3. Please provide irrigation plans per UDO §15-5.0303(D). noted hose bib locations on landscape plan

Lighting

1. For LED pole lights "OA", please provide a graphic depiction of the luminaire lamp concealment, light cut-off angle and photometric data test report per UDO §15-5.0402(B). Refer to updated cut-sheet for formal submittal

Signage

1. Signage will require separate review and approval by the Architectural Review Board and a Sign Permit from the Inspection Department. Please provide a note on the plans that states signs are shown for reference only and require separate review and approval. - Refer to updated Architectural Site Plan

Additional comments

2. Please add ADA parking signage and curb cuts. UDO §15-5.0202(J)(3) - Refer to updated Architectural Site Plan

Engineering Department Comments

- 2. The proposed location of the driveway opening must be reviewed and approved by Milwaukee County (a permit may be required). -see letter from Milwaukee County
- 3. Working on the County's right of way must be permitted by the Milwaukee County.
- 4. The abandoning of the water laterals at the main and the proposed wet tap connection must be inspected by the City of Franklin Water & Sewer Dept.
- 5. Submission of the Plat of Survey is required for a building permit (see website for plat of survey requirements). -Survey will be provided at formal submittal
- 6. Specific Engineering and Utility comments in regard to the construction plans are forthcoming and must be addressed prior to approval.

Fire Department Comments

7. The fire department has no concerns with the proposed site amendment. State DSPS requirements regarding fire protection systems apply.

Inspection Services Department Comments

8. Inspection Services has no comments on the subject proposal at this time.

Police Department Comments

9. The police department has no objections to this application.



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Kids Connection (3030-3130 W. Rawson Ave) – Additional Information

BB. Financial Plan

The estimated completion of the project is October 2021. Overall estimated project costs total \$1,720,000.00 and it is unknown what the future assessed value will be.

CC. Project Summary

Construction of an approximately 10,509 square foot commercial child care facility. The facility will have a fenced in outdoor playground area with multiple structures. A biorention basin will be constructed on the west side of the property for stormwater management. There will be a 100' long, eastbound turn lane, constructed in the median of Rawson Avenue, per the request of Milwaukee County. The facility capacity is anticipated to 156 children. Hours of operation will be 6:00am to 6:00pm Monday thru Friday. The estimated start of construction is anticipated to be November 2020 and completion October of 2021. Estimated cost of the entire project is \$1,720,000.





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Kids Connection (3030-3130 W. Rawson Ave) – Waiver Requests

South 27th Street Design Overlay Design Standards

Landscape and site design general standards

- 1. Pursuant to UDO §15-3.0353(B), site furnishings such as benches, trash receptacles and bicycle racks are required. Staff recommends 4 bicycle racks, 2 benches and 2 trash receptacles.
 - Upon prior approval of the Plan Commission and Common Council, streetscape items may be placed within the public right-of-way. Operator is requesting a waiver for this item. Most children are dropped off and picked up by motorized vehicles, the isn't a need for benches or seating outside, and trash receptacles attract bees.
- 2. Per UDO §15-3.0353(C), please add pedestrian walkways connecting building entrances to existing public sidewalk. Pedestrian walkways shall be designed with amenities such as special paving treatments (colored paver blocks or textured concrete) and distinguished from driving surfaces. In the interest of safety for the children during drop off and pick up, there isn't a desire to have a pedestrian walk way to the public sidewalk`

Landscaping requirements for off-street parking areas

- 3. Even though the overall quantity of plantings meets UDO requirements, only 1 tree (Autumn Blaze Maple ABM) is proposed within the vehicular use area while the minimum requirement is 3 trees. 1 tree for every 15 parking spaces per UDO §15-3.0354(B)(1). See §15-3.0354(B)(3) for reductions of this requirement. In the interest of safety, the daycare operator would prefer to maintain clear site lines through-out the site, for this reason, limited landscaping within the parking area is preferred.
- 4. The parking lot does not comply with the total area required for landscape islands of 900 square feet, 20 square feet per parking stall set forth in UDO §15-3.0354(C)(1-2). Landscape islands shall not be less than 250 square feet. In the interest of safety, the daycare operator would prefer to maintain clear site lines through-out the site, for this reason, limited landscaping within the parking area is preferred.

Architectural requirements

5. Per UDO §15-3.0355(A)(1), buildings located on prominent sites — such as corners — shall be multi-story. — This property is located on the corner of S Riverwood Blvd and W Rawson Ave, which is one block off of the prominent corner of 27th St and Rawson. S Riverwood Blvd serves the loading area for Lowe's, the building supply store across the street and a residential development, the property immediately to the north of the proposed Kids Connection Daycare Center. Although this site could be considered not prominent for many reasons including severe



- site grade differential of approx. 25' East to West, efforts were made to increase the building volume to imply a second story with the inclusion of a roof volume of 28' to the ridge and dormers which imply an occupiable level above the first floor.
- 6. Per UDO §15-3.0355(A)(10), multi-story buildings that allow for a mix of retail, office or residential uses are preferred. -For security, noise, safe traffic flow needs, childcare center uses do not lend themselves well to a mixed-use development.
- 7. Per UDO §15-3.0355(B)(8)(d), buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.
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DEPARTMENT OF TRANSPORTATION

Mílwaukee County

Donna Brown-Martin, Director and Highway Commissioner

April 28, 2020

Mr. Rob Sterr Anderson Ashton 2746 S. 166th St. New Berlin, WI 53151

Subject: Kid's Connection, 3130 W. Rawson Ave. (CTH BB) - Franklin, WI

Dear Mr. Sterr,

We have reviewed the traffic impact analysis (TIA) submitted April 16, 2020 for the subject development. Per Milwaukee County policy, an Access Review Fee is required for this development. An invoice is enclosed with this letter.

Milwaukee County agrees with the findings of the report, the developer shall construct the following. At the West development driveway:

- 1. Construct an eastbound left turn lane 100 feet in length.
- 2. Provide "Do Not Exit" signage at the driveway facing into the site.

At the east development driveway:

1. Provide "Exit Only", "STOP" and "Do Not Enter" signage at the driveway facing out Rawson. The "STOP" and "Do Not Enter" signage shall meet the requirements of the Manual on Uniform Traffic Control Devices.

Any changes to site access or proposed development uses after this point will require a revision to the TIA to be reviewed again by Milwaukee County which may require additional review fees and may change the requirements of this letter. For permitting the contact will be Vernon Singleton, 414-257-5947, Vernon.Singleton@milwaukeecountywi.gov.

We look forward to continuing to work with you on this development.

Sincerely,

Daniel Murphy

Managing Engineer - Traffic

CC: Vernon Singleton, Milwaukee County

Andrea Weddle - Henning, Milwaukee County

Glen Morrow, City of Franklin

Don Lee, TADI



DEPARTMENT OF TRANSPORTATION

Milwaukee County

Donna Brown-Martin, Director and Highway Commissioner

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Managing Engineer - Traffic

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Glen Morrow, City of Franklin

Don Lee, TADI



Project Name:	
Catalog Number:	
Type:	

With six interchangeable caps and spun shade styles, the **Oden - LED** offers architects, designers and engineers endless possibilities for a custom fixture to fit their unique application.

The **Oden - LED Array**'s high-quality, durable construction makes it an ideal fixture for any application.

Ordering Information

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	CAP/SHADE	OPTIONS	OPTIONS
ODN-1-L	T1 Type 1	16LC	3 350mA	3K 3000K	UNV 120-277V	YM Yoke Mount	BZ Bronze	C1	PC-120 PC-208	DIM 0-10v Dimming
	T2 Type 2	32LC	5 530mA	4K 4000K	8 347V	*Slips over 3"ØD tenon × 4" tall	WB Weathered	C2	PC-240 PC-277	Driver
	T3 Type 3	48LC	7 700mA	5K 5000K	5 480V	with special threaded mounting	Brown BK	C3 C4	Photocell & Receptacle	VWC Visionaire Wireless Controls
ODN-2-L	T4	48LC	7001114	300010	4001	plate.	Black SBK	C5	WSC-8 Motion Sensor 8' Mounting	*Consult Factory
	Type 4 T5	64LC 80LC				Arm Mount *Decorative arm not	Smooth Black WH	C6	Height WSC-20	IR-R Illuminated Rings Red
	Type 5 T5W	96LC				included See decorative	White	H1	Motion Sensor 9-20'	IR-B Illuminated
ODN-3-L	Type 5 Wide T5WR	96LC				arm section for arm mount options	Smooth White	H2	Mounting Height	Rings Blue
	Type 5 Wide Round	128LC				ODN uses small arm. ODN-2 &	GP Graphite	<mark>Н3</mark> Н4	WSC-40 Motion Sensor 21-40'	Illuminated Rings Green
						ODN-3 uses large arm	GY Grey	H5	Mounting Height	CLS Cutoff Louver Shield
							SL Silver Metallic	Н6	*The WSC option will require (1) FSIR 100	Louvoi oriioid
							FG Forest Green		remote for programing	
							VD Verdigris			
							CC Custom Color			

Features & Specifications



Housing

- · High-quality, one-piece spun aluminum shade and durable cast aluminum top cap; available in three housing sizes.
- · All external hardware is stainless steel.
- · One-piece spun aluminum removable door assembly..

Thermal Management

 The Oden - LED provides excellent overall thermal management by maximizing the efficiency of the heat sink in the fixture. This enables the Oden - LED to withstand higher ambient temperatures and higher drive currents without degrading LED life.

Optical System

- The highest lumen output LEDs are utilized. Estimated life of the LEDs is 100,000+ hours. Available with 6 IES distribution patterns. Available with up to 96 LED. The optical system qualifies as IES full cutoff to restrict light trespass, glare and light pollution for neighborhood—friendly lighting.
- · CRI values are 70

Quali-Guard® Finish

- Fixture components are chemically pretreated through a multiple-stage washer and finished with an electrostatically-applied, thermoset polyester powder coat textured paint with a 3 to 5 mils thickness. Finish is oven-baked at 400 °F for maximum adherence and finish hardness.
- · Available in standard and custom colors.

Mounting

- The Oden LED Array mounts to a wide selection of decorative and custom Visionaire mounting arms. Visionaire decorative mounting arm required. See Visionaire Mounting Arms section of the catalog.
- · Oden 1 requires small decorative arm
- · Oden 2 & Oden 3 requires large decorative arm

Electrical Assembly

- The Oden LED is supplied with a high-performance LED driver, located in its cap, that accepts 120 V thru 277 V, and 480 V, 50 Hz to 60 Hz input. Power factor is 90%.
- · Rated for -40 of operation.
- · 10 kV surge protector supplied as standard.

Warranty

• Five (5) year Limited Warranty on entire system, including finish. For full warranty information, please visit www.visionairelighting.com.

Options

- · Button type photocell
- · Watt Stopper FSP-211
- · 0-10 V dimming driver
- Wireless Controls
- · Illuminated Rings
- · Cutoff louver system

Listings

- · Oden is cUL listed, suitable for wet locations.
- · IP65 Rated
- · DLC Listed
- · IDA Certification
- ·LM79
- ·LM80
- · Powder Coated ToughTM









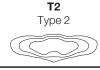


DesignLights Consortium (DLC) qualified Product. Some configurations of this product family may not be DesignLights Consortium (DLC) listed, please refer to the DLC qualified products list to confirm listed configurations. http://www.designlights.org/ 3000K must be selected for IDA certification.

Fixed mount must be selected for IDA dark sky certification

Photometric Optical Summary















EPA Data

Fixture	Fixture Only	Fixture with VA110-S1	2 Fixtures with VA110-D2	Fixture with VA107-S1	2 Fixtures with VA107-D2
ODN-1	1.2	2.2	4.1	3.5	5.6
ODN-2	2.6	3.6	6.6	4.9	8.3
ODN-3	3.5	4.5	8.6	5.8	9.8

Dimensions

Size 1

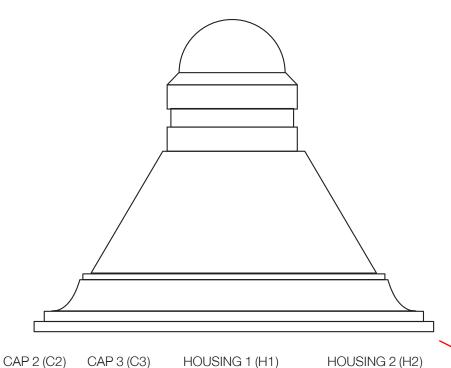
Width:	ODN-1 20"
Height:	ODN-1 19.5"
Weight:	40 LBS

Size 2

Width:	ODN-2 25"
Height:	ODN-2 22.5"
Weight:	53 LBS

Size 3

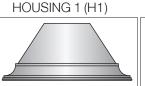
Width:	ODN-3 30"
Height:	ODN-3 24"
Weight:	74 LBS



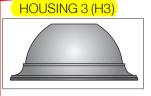








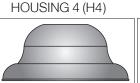


















															<u> </u>	EN	DAT/																
	#				_		<u> </u>		_	_			Туре	_		_		Туре	_	_	_	1	Туре				ı	Туре	_				1
	LEDs	mA	Type 1	В	U	⊢	_	Type 2	_	U	G	LPW	3	В	U	-	LPW	4	В	U	⊢	LPW	5	В	U	G	LPW	5W	В	U		_	Watts
		350	2561	1	0	1	142	2399	1	0	1	133	2443	1	0	1	136	2288	1	0	1	127	2568	1	0	1	143	2486	2	0	1	138	18
	16	530	3665	2	0	2	134	3433	1	0	1	126	3496	1	0	1	128	3275	1	0	1	120	3675	2		1	134	3558	2	<u> </u>	1	130	27
		700	4572	2	0	2	124	4283	1	0	2	116	4361	1	0	1	118	4085	1	0	1	110	4585	2	0	1	124	4438	2	0	1	120	37
		350	4875	2	0	2	135	4566	1	0	2	127	4649	1	0	1	129	4355	1	0	1	121	4888	2	\vdash	1	136	4732	3	0	1	131	36
ODN-1	32	530	7225	3	0	3	132	6767	2	0	2	124	6891	1	0	1	126	6455	1	0	2	118	7245	3		1	133	7013	3	0	1	128	55
		700	9013	3	0	3	129	8442	2	0	2	121	8596	1	0	2	123	8053	2	0	2	115	9037	3	0	1	129	8748	3	0	2	125	70
		350	7701	3	0	3	144	7213	2	0	2	135	7345	1	0	1	137	6880	1	0	2	129	7722	3	_	1	144	7474	3	0	1	140	54
	48	530	11414	3	0	3	139	10690	μ-	0	3	130	10886	2	0	2	133	10198	2	0	2	124	11445	3		1	140	11078	3	0	2	135	82
		700	14237	3	0	3	133	13335	ļ.	0	3	125	13580	2	0	2	127	12721	2	0	2	119	14276	3	0	2	133	13819	4	0	2	129	107
		350	7701	3	0	3	144	7213	2	0	2	135	7345	1	0	1	137	6880	1	0	2	129	7722	3	0	1	144	7474	3	⊢	1	140	54
	48	530	11414	3	0	3	139	10690	⊢	0	3	130	10886	2	0	2	133	10198	2	0	2	124	11445	3	0	1	140	11078	3	0	2	135	82
		700	14237	3	0	3	133	13335	Ľ	0	3	125	13580	2	0	2	127	12721	2	0	2	119	14276	3	\vdash	2	133	13819	4	0	2	129	107
		350		3	0	3	140	9421	2	0	3	131	9593	2	0	2	133	8986	2	⊢	2	125	10085	_		1	140	9763	3	0	2	136	72
	64	530	14224	3	0	3	135	13323	1	0	3	127	13567	2	0	2	129	12709		0	2	121	14263	3	0	2	136	13807	4	0	2	131	105
ODN-2		700	17919	4	0	4	128	16784	Ť	0	3	120	17091	2	0	2	122	16011	3	0	3	114	17969	4	0	2	128	17393	4	0	2	124	140
		350		3	0	3	_	_	⊢	0	3	129	11726	2	0	2	132	10984	2	0	2	123	12328	3		2	139	11933	4	0	2	134	89
	80	530	17187	3	0	3	132	16098	ļ.	0	3	124	16393	2	0	2	126	15356	3	0	3	118	17234	4	0	2	133	16683	4	0	2	128	130
		700	21635	4	0	4	122	20265	Ļ	0	4	114	20636	3	0	3	117	19331	3	<u> </u>	3	109	21695	4	0	2	123	21000	4	0	2	119	177
		350	14832	3	0	3	136	13892	Ľ	0	3	127	14146	2	0	2	130	13252	2	0	2	122	14872	3	0	2	136	14396	4	0	2	132	109
	96	530	21334	4	0	4	133	19982	Ļ	0	3	125	20348	-	0	3	127	19061	3	0	3	-	21392	4	0	2	134	20707	4	0	2	129	160
		700	26644	4	0	4	127	24956	ļ.	0	4	119	25412	<u> </u>	0	3	121	23805	3	0	3	113	26717	4	0	2	127	25861	5	0	3	123	210
		350	14832	3	0	3	136	13892	Ť	0	3	127	14146	2	0	2	130	13252	2	0	2	122	14872	3	0	2	136	14396	4	0	2	132	109
	96	530	21334	4	0	4	133	19982	Ť	0	3	125	20348	_	0	3	127	19061	3	<u> </u>	3	119	21392	4	0	2	134	20707	4	0	2	129	160
ODN-3		700	26644	4	0	4	127	24956	ļ.	0	4	119	25412	3	0	3	121	23805	3	0	3	<u> </u>	26717	4	Ť	2	127	25861	5	_	3	123	210
		350	18258	4	0	4	127	17101	ļ.	0	3	119	17415	┞	0	2	121	16313	Ľ	<u> </u>	3	113	18308	4	0	2	127	17722	4	0	2	123	144
	128	530	25821	4	0	4	123	24186	Ļ	0	4	115	24628	3	0	3	117	23071	3	 	3	110	25892	4	0	2	123	25063	5	0	3	119	210
$oxed{oxed}$		700	32530	5	0	4	119	30469	4	0	5	111	31026	3	0	4	113	29064	3	0	4	106	29064	5	0	3	119	31837	5	0	3	115	274
		V	isit www	v.Vi	sion	airel	Lightin	ig.com t	for u	p-to	the-	minute	e chart i	nfor	mat	ion,	includ	ing type	es no	ot lis	ted	here.*	Multiply	4K	valu	es b	y0.96	5K/0.9	5 3k				

			ODEN C	LS - 3K LUME	N DATA				
# Leds	Current (mA)	T1	T2	T 3	T4	T5	T5W	T5WR	Watts
	350	1776	1664	1694	1587	1781	1724	1738	18
16	530	2542	2381	2425	2271	2549	2467	2488	27
	700								37
									36
32									55
									70
	_								54
48									82
									107
									54
48									82
10					•				107
									72
64									105
04					_				
									140
20									89
80									130
									177
00									109
96								-	160
									210
					<u> </u>				109
96									160
									210
									144
128	530	17907	16773		16000	17956	17381	17526	210
	700	22559	21130	21517	20156	22621	21897	22080	274
					N DATA				
# Leds									Watts
					•				18
16					i e				27
						3347		3267	37
						3568		3483	36
<mark>32</mark>	-	5274			4712	5289			55
	700	6579	6162		5878	6597	6386	6439	70
	350	5621	5265	5362	5023	5637	5456	5502	54
48	=							0455	
	530	8332	7804	7947	7444	8355	8087	8155	82
	700	8332 10393	7804 9735	7947 9913	7444 9286	8355 10422	8087 10088	10172	82 107
48	700	10393	9735	9913	9286	10422	10088	10172	107
48	700 350	10393 5621	9735 5265	9913 5362	9286 5023	10422 5637	10088 5456	10172 5502	107 54
48	700 350 530	10393 5621 8332	9735 5265 7804	9913 5362 7947	9286 5023 7444	10422 5637 8355	10088 5456 8087	10172 5502 8155	107 54 82
48	700 350 530 700	10393 5621 8332 10393	9735 5265 7804 9735	9913 5362 7947 9913	9286 5023 7444 9286	10422 5637 8355 10422	10088 5456 8087 10088	10172 5502 8155 10172	107 54 82 107
	700 350 530 700 350	10393 5621 8332 10393 7342	9735 5265 7804 9735 6877	9913 5362 7947 9913 7003	9286 5023 7444 9286 6560	10422 5637 8355 10422 7362	10088 5456 8087 10088 7127	10172 5502 8155 10172 7186	107 54 82 107 72
	700 350 530 700 350 530	10393 5621 8332 10393 7342 10384	9735 5265 7804 9735 6877 9726	9913 5362 7947 9913 7003 9904	9286 5023 7444 9286 6560 9277	10422 5637 8355 10422 7362 10412	10088 5456 8087 10088 7127 10079	10172 5502 8155 10172 7186 10163	107 54 82 107 72 105
	700 350 530 700 350 530 700	10393 5621 8332 10393 7342 10384 13081	9735 5265 7804 9735 6877 9726 12252	9913 5362 7947 9913 7003 9904 12477	9286 5023 7444 9286 6560 9277 11688	10422 5637 8355 10422 7362 10412 13117	10088 5456 8087 10088 7127 10079 12697	10172 5502 8155 10172 7186 10163 12803	107 54 82 107 72 105 140
64	700 350 530 700 350 530 700 350	10393 5621 8332 10393 7342 10384 13081 8975	9735 5265 7804 9735 6877 9726 12252 8406	9913 5362 7947 9913 7003 9904 12477 8560	9286 5023 7444 9286 6560 9277 11688 8019	10422 5637 8355 10422 7362 10412 13117 8999	10088 5456 8087 10088 7127 10079 12697 8711	10172 5502 8155 10172 7186 10163 12803 8784	107 54 82 107 72 105 140
64	700 350 530 700 350 530 700 350 530	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793	9913 5362 7947 9913 7003 9904 12477 8560 11967	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111	10422 5637 8355 10422 7362 10412 13117 8999 12581	10088 5456 8087 10088 7127 10079 12697 8711 12178	10172 5502 8155 10172 7186 10163 12803 8784 12280	107 54 82 107 72 105 140 89
64	700 350 530 700 350 530 700 350 530 700 350	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597	107 54 82 107 72 105 140 89 130
64 80	700 350 530 700 350 530 700 350 530 700 350 530	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827 15574	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793 10141 14587	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327 14854	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674 13915	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857 15616	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509 15116	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597 15242	107 54 82 107 72 105 140 89 130 177 109
64 80	700 350 530 700 350 530 700 350 530 700 350 530 700	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827 15574 19450	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793 10141 14587 18218	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327 14854 18551	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674 13915 17378	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857 15616 19503	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509 15116 18879	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597 15242 19036	107 54 82 107 72 105 140 89 130 177 109 160 210
64 80 96	700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827 15574 19450 10827	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793 10141 14587 18218 10141	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327 14854 18551	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674 13915 17378 9674	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857 15616 19503 10857	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509 15116 18879 10509	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597 15242 19036 10597	107 54 82 107 72 105 140 89 130 177 109 160 210
64 80	700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827 15574 19450 10827 15574	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793 10141 14587 18218 10141 14587	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327 14854 18551 10327	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674 13915 17378 9674 13915	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857 15616 19503 10857 15616	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509 15116 18879 10509 15116	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597 15242 19036 10597 15242	107 54 82 107 72 105 140 89 130 177 109 160 210 109
64 80 96	700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827 15574 19450 10827 15574	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793 10141 14587 18218 10141 14587	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327 14854 18551 10327 14854	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674 13915 17378 9674 13915 17378	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857 15616 19503 10857 15616 19503	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509 15116 18879 10509 15116 18879	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597 15242 19036 10597 15242 19036	107 54 82 107 72 105 140 89 130 177 109 160 210 109 160 210
64 80 96	700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530	10393 5621 8332 10393 7342 10384 13081 8975 12547 15794 10827 15574 19450 10827 15574	9735 5265 7804 9735 6877 9726 12252 8406 11752 14793 10141 14587 18218 10141 14587	9913 5362 7947 9913 7003 9904 12477 8560 11967 15064 10327 14854 18551 10327	9286 5023 7444 9286 6560 9277 11688 8019 11210 14111 9674 13915 17378 9674 13915	10422 5637 8355 10422 7362 10412 13117 8999 12581 15837 10857 15616 19503 10857 15616	10088 5456 8087 10088 7127 10079 12697 8711 12178 15330 10509 15116 18879 10509 15116	10172 5502 8155 10172 7186 10163 12803 8784 12280 15458 10597 15242 19036 10597 15242	107 54 82 107 72 105 140 89 130 177 109 160 210 109 160
	16 32 48 48 64 80 96 128 # Leds 16 32	350 32 32 350 30 30 30 30 30 30 30 30 30 30 30 30 30	350	# Leds	# Leds	350	#Leds Current (mA)	# Leds Current (mA) T1 T2 T3 T4 T5 T5W 350	# Leds



				ODEN C	CLS - 5K LUME	N DATA				
	# Leds	Current (mA)	T1	T2	Т3	T4	T5	T5W	T5WR	Watts
		350	1794	1680	1711	1603	1799	1742	1743	18
ODN-1-L	16	530	2567	2405	2449	2294	2575	2492	2494	27
		700	3203	3000	3055	2862	3212	3109	3111	37
		350	3415	3198	3257	3051	3424	3314	3317	36
ODN-1-L	32	530	5061	4741	4827	4522	5075	4913	4917	55
		700	6314	5914	6022	5641	6331	6128	6133	70
		350	5394	5052	5145	4819	5409	5236	5240	54
ODN-1-L	48	530	7995	7489	7626	7144	8017	7761	7766	82
		700	9973	9342	9513	8911	10001	9681	9688	107
		350	5394	5052	5145	4819	5409	5236	5240	54
ODN-2-L	48	530	7995	7489	7626	7144	8017	7761	7766	82
		700	9973	9342	9513	8911	10001	9681	9688	107
		350	7045	6599	6720	6295	7065	6839	6844	72
ODN-2-L	64	530	9964	9333	9504	8902	9992	9672	9679	105
		700	12552	11757	11973	11216	12587	12184	12193	140
		350	8612	8067	8214	7695	8636	8359	8366	89
ODN-2-L	80	530	12040	11277	11484	10757	12073	11687	11695	130
		700	15156	14196	14455	13541	15197	14711	14722	177
		350	10389	9732	9910	9283	10418	10084	10092	109
ODN-2-L	96	530	14945	13998	14254	13352	14985	14506	14517	160
		700	18664	17481	17802	17227	18715	18116	18130	210
		350	10389	9732	9910	9283	10418	10084	10092	109
ODN-3-L	96	530	14945	13998	14254	13352	14985	14506	14517	160
		700	18664	17481	17802	17227	18715	18116	18130	210
		350	12790	11980	12199	11427	12825	12414	12424	144
ODN-3-L	128	530	18088	16942	17252	16161	18138	17557	17570	210
		700	22787	21344	21734	20360	22850	22118	22134	274

				ODEN CLS -	3K LUMEN PE	R WATT DATA	١			
	# Leds	Current (mA)	T1	T2	Т3	T4	T5	T5W	T5WR	Watts
		350	99	92	94	88	99	96	97	18
ODN-1-L	16	530	93	87	89	83	93	90	91	27
		700	86	80	82	77	86	83	84	37
		350	94	88	90	84	94	91	92	36
ODN-1-L	32	530	92	86	87	82	92	89	90	55
ODN-1-L	32	\vdash			+				+	
		700	89	84	85	80	90	87	87	70
	l	350	100	93	95	89	100	97	98	54
ODN-1-L	48	530	97	90	92	86	97	94	94	82
		700	92	86	88	82	93	90	90	107
		350	100	93	95	89	100	97	98	54
ODN-2-L	48	530	97	90	92	86	97	94	94	82
		700	92	86	88	82	93	90	90	107
		350	97	91	92	87	97	94	95	72
ODN-2-L	64	530	94	88	90	84	94	91	92	105
		700	89	83	85	79	89	86	87	140
		350	96	90	91	86	96	93	94	89
ODN-2-L	80	530	92	86	87	82	92	89	90	130
JDIT-Z-L	"	700	85	79	81	76	85	82	83	177
			94	88	90	84	95	92	92	109
ODN-2-L	96	350 530	92	87	88	83	93	90	91	160
ODN-2-L	96								+	
		700	88	82	84	79	88	85	86	210
		350	94	88	90	84	95	92	92	109
ODN-3-L	96	530	92	87	88	83	93	90	91	160
		700	88	82	84	79	88	85	86	210
			88	82	84	79	88	85	86	144
		350		02	0 1					
ODN-3-L	128	350 530	85	80	81	76	86	83	83	210
ODN-3-L	128						86 83	83 80	83 81	210 274
ODN-3-L	128	530	85	80 77	81	76 74	83			
ODN-3-L	128 # Leds	530 700	85	80 77	81 79	76 74	83	80		
ODN-3-L		530 700 Current (mA)	85 82 T1	80 77 ODEN CLS -	81 79 4K LUMEN PE T3	76 74 R WATT DAT <i>A</i>	83 A T5	80 T5W	81 T5WR	274 Watts
ODN-3-L		530 700 Current (mA) 350	85 82 T1 104	80 77 ODEN CLS - T2 97	81 79 4K LUMEN PE T3 99	76 74 R WATT DATA T4 93	83 T5 104	80 T5W 101	81 T5WR 102	274 Watts 18
	# Leds	530 700 Current (mA) 350 530	85 82 T1 104 98	80 77 ODEN CLS - T2 97 92	81 79 4K LUMEN PE T3 99 93	76 74 R WATT DATA T4 93 87	83 T5 104 98	T5W 101 95	81 T5WR 102 96	274 Watts 18 27
	# Leds	530 700 Current (mA) 350 530 700	85 82 T1 104 98 90	80 77 ODEN CLS - T2 97 92 84	81 79 4K LUMEN PE T3 99 93 86	76 74 R WATT DATA T4 93 87 81	83 T5 104 98 90	75W 101 95 88	75WR 102 96 88	274 Watts 18 27 37
ODN-1-L	# Leds	530 700 Current (mA) 350 530 700 350	85 82 T1 104 98 90 99	80 77 ODEN CLS - T2 97 92 84 93	81 79 4K LUMEN PE T3 99 93 86 94	76 74 R WATT DATA T4 93 87 81 88	83 T5 104 98 90 99	75W 101 95 88 96	75WR 102 96 88 97	274 Watts 18 27 37 36
	# Leds	530 700 Current (mA) 350 530 700 350 530	85 82 T1 104 98 90 99	80 77 ODEN CLS - T2 97 92 84 93 90	81 79 4K LUMEN PE T3 99 93 86 94 92	76 74 R WATT DATA T4 93 87 81 88 86	83 T5 104 98 90 99 97	75W 101 95 88 96 94	81 T5WR 102 96 88 97 94	274 Watts 18 27 37 36 55
ODN-1-L	# Leds	530 700 Current (mA) 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94	80 77 ODEN CLS - T2 97 92 84 93 90 88	81 79 4K LUMEN PE T3 99 93 86 94 92 90	76 74 R WATT DATA 93 87 81 88 86 84	83 T5 104 98 90 99 97 94	80 T5W 101 95 88 96 94 91	81 T5WR 102 96 88 97 94 92	274 Watts 18 27 37 36 55 70
ODN-1-L	# Leds 16	530 700 Current (mA) 350 530 700 350 530 700 350	85 82 T1 104 98 90 99 96 94 105	80 77 ODEN CLS - T2 97 92 84 93 90 88 98	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100	76 74 R WATT DATA 93 87 81 88 86 84	83 T5 104 98 90 99 97 94 105	80 T5W 101 95 88 96 94 91 102	81 T5WR 102 96 88 97 94 92 103	274 Watts 18 27 37 36 55 70 54
ODN-1-L	# Leds	530 700 Current (mA) 350 530 700 350 530 700 350 530	85 82 T1 104 98 90 99 96 94 105 102	80 77 ODEN CLS - T2 97 92 84 93 90 88 98	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97	76 74 R WATT DATA 93 87 81 88 86 84 94	83 T5 104 98 90 99 97 94 105 102	80 T5W 101 95 88 96 94 91 102 99	81 T5WR 102 96 88 97 94 92 103 99	274 Watts 18 27 37 36 55 70 54 82
ODN-1-L	# Leds 16	530 700 Current (mA) 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87	83 T5 104 98 90 99 97 94 105 102 97	80 T5W 101 95 88 96 94 91 102 99 94	81 T5WR 102 96 88 97 94 92 103 99 95	274 Watts 18 27 37 36 55 70 54 82 107
ODN-1-L	# Leds 16	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350	85 82 T1 104 98 90 99 96 94 105 102 97	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94	83 T5 104 98 90 99 97 94 105 102 97 105	80 T5W 101 95 88 96 94 91 102 99 94 102	81 T5WR 102 96 88 97 94 92 103 99 95 103	274 Watts 18 27 37 36 55 70 54 82 107 54
ODN-1-L	# Leds 16	530 700 Current (mA) 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97	80 77 ODEN CLS - T2 97 92 84 93 90 88 95 91 98	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87	83 T5 104 98 90 99 97 94 105 102 97	80 T5W 101 95 88 96 94 91 102 99 94	81 T5WR 102 96 88 97 94 92 103 99 95	274 Watts 18 27 37 36 55 70 54 82 107
ODN-1-L ODN-1-L	# Leds 16 32 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350	85 82 T1 104 98 90 99 96 94 105 102 97	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94	83 T5 104 98 90 99 97 94 105 102 97 105	80 T5W 101 95 88 96 94 91 102 99 94 102	81 T5WR 102 96 88 97 94 92 103 99 95 103	274 Watts 18 27 37 36 55 70 54 82 107 54
ODN-1-L ODN-1-L	# Leds 16 32 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530	85 82 T1 104 98 90 99 96 94 105 102 97 105 102	80 77 ODEN CLS - T2 97 92 84 93 90 88 95 91 98	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91	83 T5 104 98 90 99 97 94 105 102 97 105 102	80 T5W 101 95 88 96 94 91 102 99 94 102 99	81 T5WR 102 96 88 97 94 92 103 99 95 103 99	274 Watts 18 27 37 36 55 70 54 82 107 54 82
ODN-1-L ODN-1-L	# Leds 16 32 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97	80 77 ODEN CLS - T2 97 92 84 93 90 88 95 91 98 95	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87	83 T5 104 98 90 99 97 94 105 102 97 105 102 97	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107
ODN-1-L ODN-1-L ODN-2-L	# Leds 16 32 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 91 87 91	83 T5 104 98 90 99 97 94 105 102 97 102 97 102	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72
ODN-1-L ODN-1-L ODN-2-L	# Leds 16 32 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 700 350 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 88	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 102 97 104	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 102 99 94 90 91	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105
ODN-1-L ODN-1-L ODN-2-L	# Leds 16 32 48 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 91 87 91 88 88 83	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 102 99 94 101	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 102 99 94 102 99 91 98	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105 140 89
ODN-1-L ODN-1-L ODN-2-L	# Leds 16 32 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 93 101	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 88 83 90 86	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 105 102 97 101 97	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 102 99 91 98 94	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99 94	274 Watts 18 27 37 36 55 70 54 82 107 54 82 105 140 89 130
ODN-1-L ODN-1-L ODN-2-L	# Leds 16 32 48 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 93 101 97 89	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 83 90 86 80	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 101 97 89	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 94 99 94 87	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99 94 87	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105 140 89 130 177
ODN-1-L ODN-1-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 93 101 97 89	80 77 ODEN CLS - T2 97 92 84 93 90 88 95 91 98 95 91 96 93 88 94 90 84	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 83 90 86 80 89	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 100 99 94 101 97 89 100	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 94 87 96	81 T5WR 102 96 88 97 94 92 103 99 95 100 97 91 99 94 87 97	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105 140 89 130 177 109
ODN-1-L ODN-1-L ODN-2-L	# Leds 16 32 48 48	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 99 99 99 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 83 90 86 80 89	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 1009 99 94 101 97 89 100 98	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 94 87 96 94	81 T5WR 102 96 88 97 94 92 103 99 95 100 97 91 99 94 87 97 95	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105 140 89 130 177 109 160
ODN-1-L ODN-1-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 99 99 99 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93 88	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 91 87 91 88 88 83 90 86 80 89 87	83 T5 104 98 90 99 97 94 105 102 97 102 97 102 99 94 101 97 89 100 98 93	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 96 91 98 94 87 96 94 90	81 T5WR 102 96 88 97 94 92 103 99 95 100 97 91 99 94 87 97 95 91	274 Watts 18 27 37 36 55 70 54 82 107 72 105 140 89 130 177 109 160 210
ODN-1-L ODN-1-L ODN-2-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64 80 96	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 71 104 98 90 99 96 94 105 102 97 105 102 97 102 99 99 93 101 97 89 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93 94 90 87 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93 88	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 83 90 86 80 89 87	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 100 98 90 99 94 101 97 89 100 98 93 100	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 96 91 98 94 87 96 94 90 96	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99 94 87 97 95 91 97	274 Watts 18 27 37 36 55 70 54 82 107 72 105 140 89 130 177 109 160 210 109
ODN-1-L ODN-1-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 102 99 99 99 99 99	80 77 ODEN CLS T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93 91 87 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93 88	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 91 87 91 88 88 83 90 86 80 89 87	83 T5 104 98 90 99 97 94 105 102 97 102 97 102 99 94 101 97 89 100 98 93	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 96 91 98 94 87 96 94 90	81 T5WR 102 96 88 97 94 92 103 99 95 100 97 91 99 94 87 97 95 91	274 Watts 18 27 37 36 55 70 54 82 107 72 105 140 89 130 177 109 160 210
ODN-1-L ODN-1-L ODN-2-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64 80 96	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 71 104 98 90 99 96 94 105 102 97 105 102 97 102 99 99 93 101 97 89 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93 94 90 87 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93 88	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 83 90 86 80 89 87	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 100 98 90 99 94 101 97 89 100 98 93 100	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 99 96 91 98 94 87 96 94 90 96	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99 94 87 97 95 91 97	274 Watts 18 27 37 36 55 70 54 82 107 72 105 140 89 130 177 109 160 210 109
ODN-1-L ODN-1-L ODN-2-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64 80 96	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 105 102 99 93 101 97 89 99 99	80 77 ODEN CLS T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93 91 87 93	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93 88 95 93	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 94 91 87 91 88 83 90 86 80 89 87 83 89 87	83 T5 104 98 90 99 97 94 105 102 97 102 97 102 99 94 101 97 89 100 98 93 100 98	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 102 99 94 90 96 94 90 96	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99 94 87 97 95 91 97 95	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105 140 89 130 177 109 160 210 109 160
ODN-1-L ODN-1-L ODN-2-L ODN-2-L ODN-2-L	# Leds 16 32 48 48 64 80 96	530 700 Current (mA) 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700 350 530 700	85 82 T1 104 98 90 99 96 94 105 102 97 105 102 97 105 102 97 107 99 99 93 101 97 89 99 99	80 77 ODEN CLS - T2 97 92 84 93 90 88 98 95 91 98 95 91 96 93 88 94 90 84 93 91 87	81 79 4K LUMEN PE T3 99 93 86 94 92 90 100 97 93 100 97 93 97 94 89 96 92 85 95 93 88 95 93 88	76 74 R WATT DATA T4 93 87 81 88 86 84 94 91 87 91 87 91 88 83 90 86 80 89 87 83 89 87	83 T5 104 98 90 99 97 94 105 102 97 105 102 97 105 1002 97 1000 98 93 1000 98 93	80 T5W 101 95 88 96 94 91 102 99 94 102 99 94 102 99 94 90 96 91 98 94 87 96 94 90 96	81 T5WR 102 96 88 97 94 92 103 99 95 103 99 95 100 97 91 99 94 87 97 95 91 97 95 91	274 Watts 18 27 37 36 55 70 54 82 107 54 82 107 72 105 140 89 130 177 109 160 210 160 210



				ODEN CLS - 5	K LUMEN PE	R WATT DATA	1			
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
		350	100	93	95	89	100	97	97	18
ODN-1-L	16	530	94	88	90	84	94	91	91	27
		700	87	81	83	77	87	84	84	37
		350	95	89	90	85	95	92	92	36
ODN-1-L	32	530	93	87	88	83	93	90	90	55
		700	90	84	86	81	90	88	88	70
		350	101	94	96	90	101	98	98	54
ODN-1-L	48	530	97	91	93	87	98	95	95	82
		700	93	87	89	83	93	90	91	107
		350	101	94	96	90	101	98	98	54
ODN-2-L	48	530	97	91	93	87	98	95	95	82
		700	93	87	89	83	93	90	91	107
		350	98	92	93	87	98	95	95	72
ODN-2-L	64	530	95	89	91	85	95	92	92	105
		700	90	84	86	80	90	87	87	140
		350	97	91	92	86	97	94	94	89
ODN-2-L	80	530	93	87	88	83	93	90	90	130
		700	86	80	82	77	86	83	83	177
		350	95	89	91	85	96	93	93	109
ODN-2-L	96	530	93	87	89	83	94	91	91	160
		700	89	83	85	82	89	86	86	210
		350	95	89	91	85	96	93	93	109
ODN-3-L	96	530	93	87	89	83	94	91	91	160
		700	89	83	85	82	89	86	86	210
		350	89	83	85	79	89	86	86	144
ODN-3-L	128	530	86	81	82	77	86	84	84	210
		700	83	78	79	74	83	81	81	274

					OD	EN	CLS	- 3l	K LU	MEI	N PE	R V	VAT	ΓDA	TA									
	# Leds	Current (mA)	<u> </u>	T1		$ldsymbol{ldsymbol{ldsymbol{eta}}}$	T2			Т3			T4			T 5		-	T5W	_	_	T5W	_	Watts
	50.6		В	U	G	В	U	G	В	J	G	В	U	G	В	U	G	В	υ	G	В	U	G	
		350	1	0	1	0	0	1	0	0	1	0	0	1	1	0	1	1	0	1	1	0	1	18
ODN-1-L	16	530	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	27
		700	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	37
		350	1	0	1	1	0	2	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	36
ODN-1-L	32	530	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	55
		700	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	70
		350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54
ODN-1-L	48	530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	1	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107
		350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54
ODN-2-L	48	530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	1	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107
		350	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	72
ODN-2-L	64	530	3	0	3	1	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	105
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	140
		350	2	0	2	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	89
ODN-2-L	80	530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	130
		700	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	177
		350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
ODN-2-L	96	530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	210
		350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
ODN-3-L	96	530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	210
		350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	144
ODN-3-L	128	530	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	210
		700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	3	3	0	4	3	0	4	274
					00	EN		- 41	K LU		N PE	R۷		T DA	TA									
	# Leds	Current (mA)		T1			T2			ТЗ			T4			T5		-	T5W		-	T5W		Watts
	# Leds	Current (mA)	В	U	G	В	T2 U	G	В	T3 U	G	В	T4 U	G	В	U	G	В	U	G	В	U	G	Watts
		350	B	0	G	B	T2 U 0	G	B	T3 U 0	G	B	T4 U 0	G	B	0	1	B	0	G	B	0	G	18
ODN-1-L	# Leds	350 530	1 1	U 0	G 1	B 0	T2 U 0 0	G 1	B 1	T3 U 0	G 1	B 0	T4 U 0 0	G 1	B 1	0	1	B 1	U 0	G 1	B 1	U 0	G 1	18 27
ODN-1-L		350 530 700	1 1 1	0 0 0	G 1 1	B 0 1	T2 U 0 0 0	G 1 1 2	B 1 1 1	T3 U 0 0 0	G 1 1 1	B 0 1	T4 U 0 0 0	G 1 1 1	B 1 1 1	0 0	1 1	1 1	U 0 0	1 1 1	1 1 1	0 0 0	1 1 1	18 27 37
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ODEN CLS - 5K LUMEN PER WATT DATA																									
	# Leds	0	T1		T2		Т3		T4		T5		T5W		T5WR			Watts							
	# Leus	Current (mA)	В	U	G	В	U	G	В	U	G	В	U	G	В	J	G	В	U	G	В	U	G	watts	
ODN-1-L		350	1	0	1	0	0	1	0	0	1	0	0	1	1	0	1	1	0	1	1	0	1	18	
	16	530	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	27	
		700	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	37	
ODN-1-L		350	1	0	1	1	0	2	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	36	
	32	530	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	55	
	1	700	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	70	
		350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54	
ODN-1-L	48	530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82	
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107	
ODN-2-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54	
		530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82	
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107	
ODN-2-L	64	350	2	0	2	1	0	2	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	72	
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	105	
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	140	
ODN-2-L	80	350	2	0	2	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	89	
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	130	
		700	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	177	
	96		350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
ODN-2-L		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160	
		700	3	0	3	2	0	4	3	0	3	3	0	3	3	0	3	3	0	4	3	0	3	210	
ODN-3-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109	
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		700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	3	3	0	4	3	0	4	274	



9205 W. Center St., Suite 214 Milwaukee, WI 53222

Ph: (414) 443-1312

City Review Response Memorandum:

To: Sara Arnold, P.E., City of Franklin

For: Kids Connection

Comments Dated: September 25, 2020

Date: October 12, 2020

RE: We have received and are providing response to the City comments dated September 25, 2020 for the

proposed Kids Connection Development.

Storm Water Management Review:

- 1. Response: Soil investigation is currently under way. Once completed, the data will be reviewed and analyzed with respect to infiltration, groundwater and seasonal groundwater and adjustments will be made to the bio-basin, if necessary. Any changes to the design will be forwarded to Engineering for review and approval.
- 2. Response: Soil investigation is currently under way. Once completed, the data will be reviewed and analyzed with respect to infiltration, groundwater and seasonal groundwater and adjustments will be made to the bio-basin, if necessary. Any changes to the design will be forwarded to Engineering for review and approval.
- 3. Response: References to the drainage area maps have been added to the SWMP narrative.
- 4. Response: Outlet structure has been revised so that the interior baffle is now 6" concrete in lieu of wooden planks, channels, etc. This change will eliminate seepage along the sides and provide a near maintenance free long term solution for the outlet control manhole. A HAALA angle grate screen has been added to the detail to reduce clogging.
- 5. Response: Level spreader and detail added to the plans.
- 6. Response: We have verified that the peak flow results are consistent between the modeling and the narrative
- 7. Response: Revised basin breadth to 10' in HydroCAD to match WinSLAMM
- 8. Response: Spillway rip rap has been added to the grading plan along with a x-section view to indicate how far down the rip rap should extend.
- 9. Response: Spillway rip rap has been added to the grading plan along with a x-section view to indicate how far down the rip rap should extend.
- 10. Response: Level spreader has been added to the plans along with a detail.

- 11. Response: Storm Sewer calculations added to the Storm Water Management Plan.
- 12. Response: Maintenance suggestions are included in the SWMP and a City of Franklin Maintenance Agreement has been submitted for review and comment.
- 13. Response: Once approved, all plans will be stamped and signed by a PE.

Erosion Control Review:

- 1. Response: General Note #1 has been revised per comment.
- 2. Response: Inlet protection has been added on the inlet with rim el. of 172.18 in Rawson Ave.
- 3. Response: Construction Exit was previously shown at the proposed west driveway. After consideration, Construction Exits have been shown on each of the existing drive approaches for access to the site.
- 4. Item A. Response: NOI submittal is being worked on and will be forwarded as soon as we receive it. Item B. Response: Soil Loss Worksheets are being created and will be forwarded as soon as they are completed.
 - Item C. Response: Sediment Basin calculations will be forwarded as soon as they are completed.
 - Item D. Response: Wetland limits (all wetlands are located offsite) have been delineated and shown on the Erosion Control Plan. There are no impacts on the adjacent wetlands from this development.
 - Item E. Response: Construction Exit was previously shown at the proposed west driveway. After consideration, Construction Exits have been shown on each of the existing drive approaches for access to the site.
 - Item E. Response: Concrete Washout location and detail added to the plans.
 - Item F. Response: Inlet protection shown on plans. Additional items added to the detail to differentiate between different types of inlet protection.
 - Item G. Response: Ditch checks are not required for this project.
 - Item H. Response: Topsoil stockpile location shown.
 - Item I. Response: Clean water diversion not required for this project.
 - Item J. Response: Rip rap on fabric shown on plans and on detail sheet.
 - Item K. Response: See detail sheet C4.0.
 - Item L. Response: As seen on the Utility Plan, proposed building is internally drained.
 - Item M. Response: Site dewatering provisions and detail added to the plans.
 - Item N. Response: This has been included and can be found under "Maintenance Plan" on the Erosion Control Plan.
 - Item O. Response: Dust control has been added to the plans.
 - Item P. Response: Note #3 added to the Erosion Control Plan general notes.

NOTES:

1. LEGAL DESCRIPTION FROM CSM 8419.

2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

3. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0162E, WITH A DATE OF IDENTIFICATION OF 9/26/2008, IN COMMUNITY NO. 550273, THE CITY OF FRANKLIN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

4. PROJECT BENCHMARK - NORTH RIM OF CATCH BASIN FOUND TO THE WEST OF SUBJECT PROPERTY AT FLOW LINE AS SHOWN EL = 172.13
5. ELEVATIONS BASED ON INFORMATION FROM INFORMATION FROM CLIENT AND ARE AT CITY OF FRANKLIN DATUM.

6. SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM
(WCCS), MILWAUKEE COUNTY. NORTH AMERICAN DATUM OF 1983, 2011
ADJUSTMENT (NAD83(2011)).

LEGAL DESCRIPTIONS:

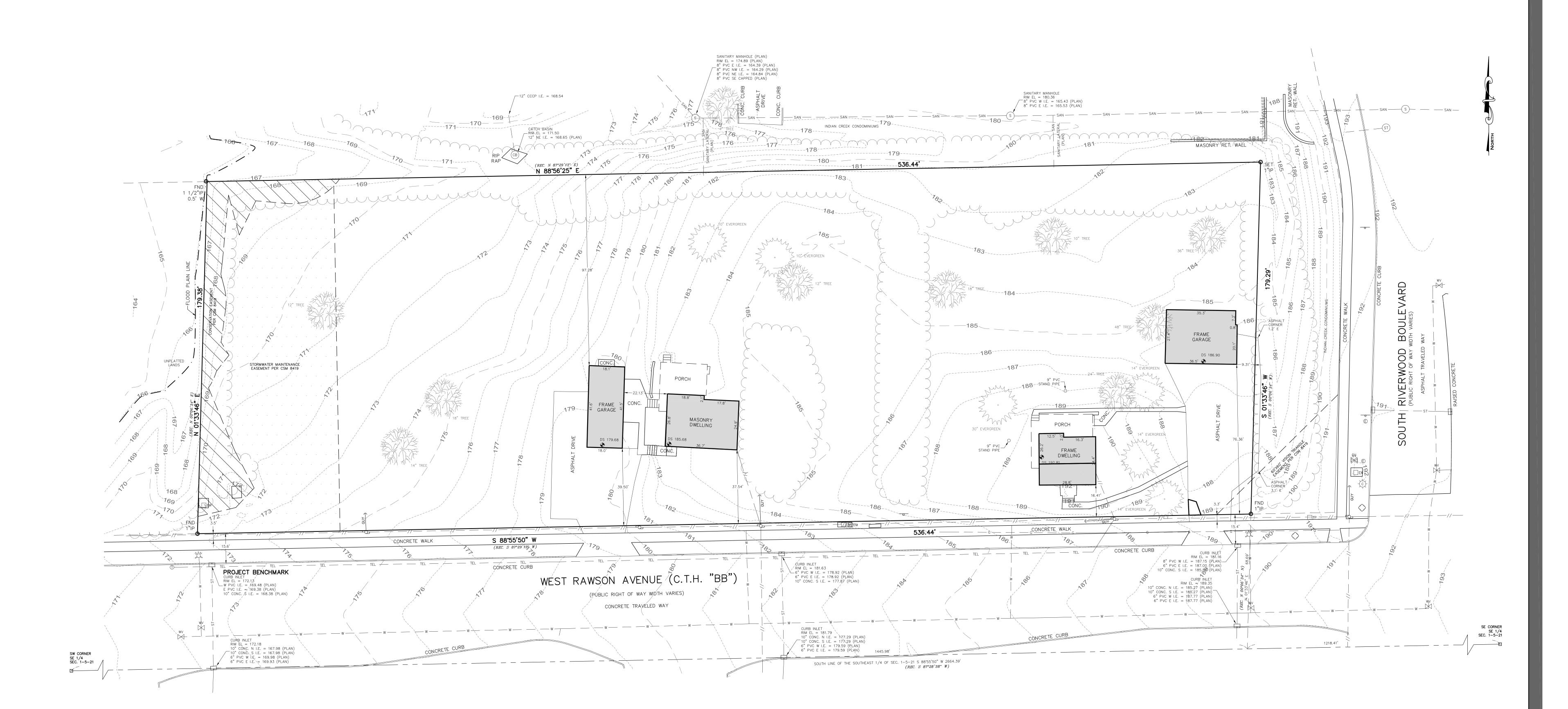
LOT 1 OF CERTIFIED SURVEY MAP NO. 8419, PART OF THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

CONTAINING: 96,101 SQUARE FEET OR 2.2062 FEET

civil design and consulting 9205 W. Center Street Suite 214 Milwaukee, WI 53222 PH. (414) 443-1312 www.cj-engineering.com

CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (414) 786-6608

WWW.CAPITOLSURVEY.COM



I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

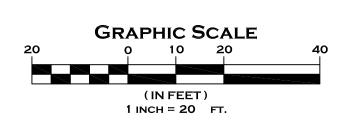
DEC. 6, 2019

DATE

MICHAEL J. BERRY, R.L.S.





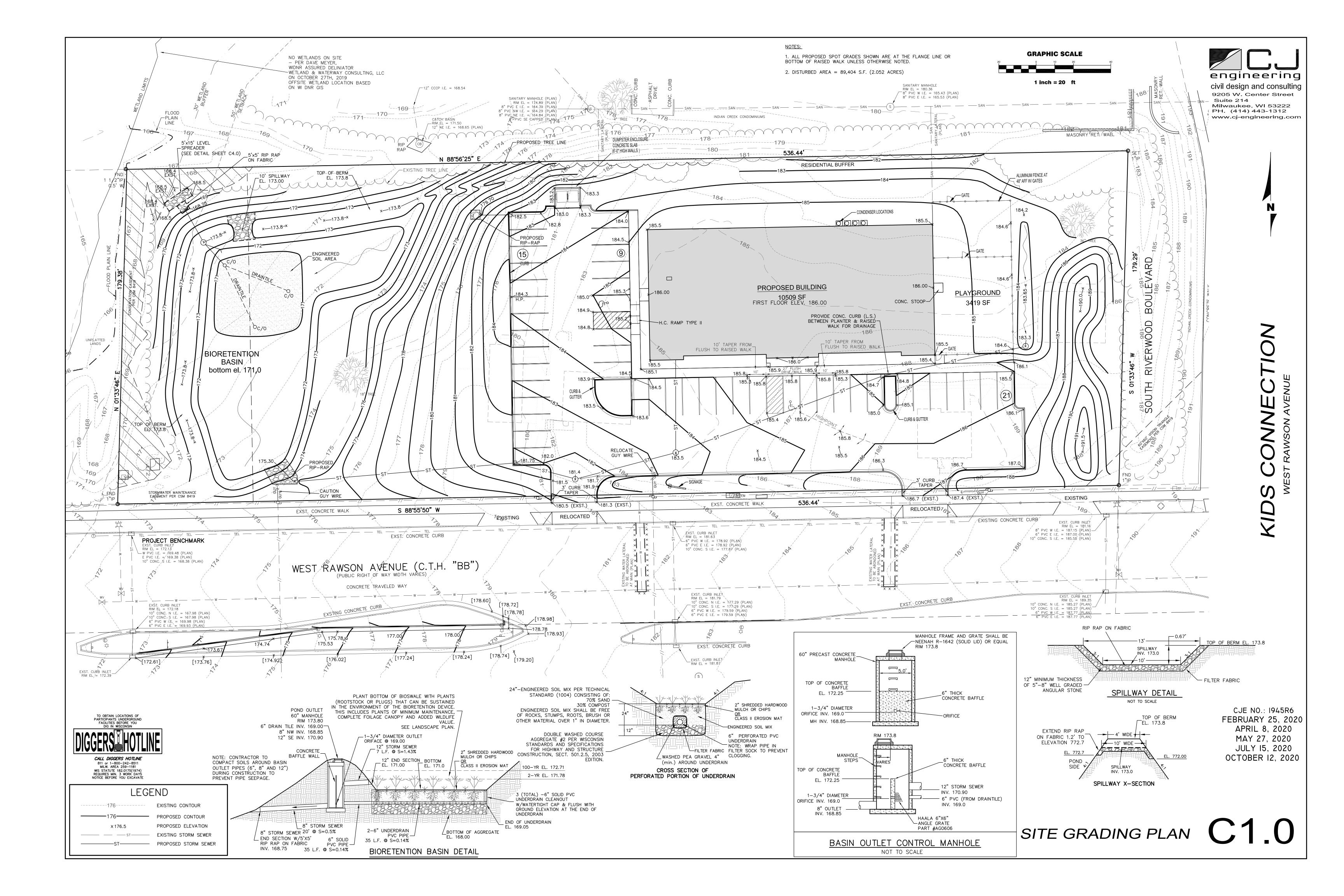


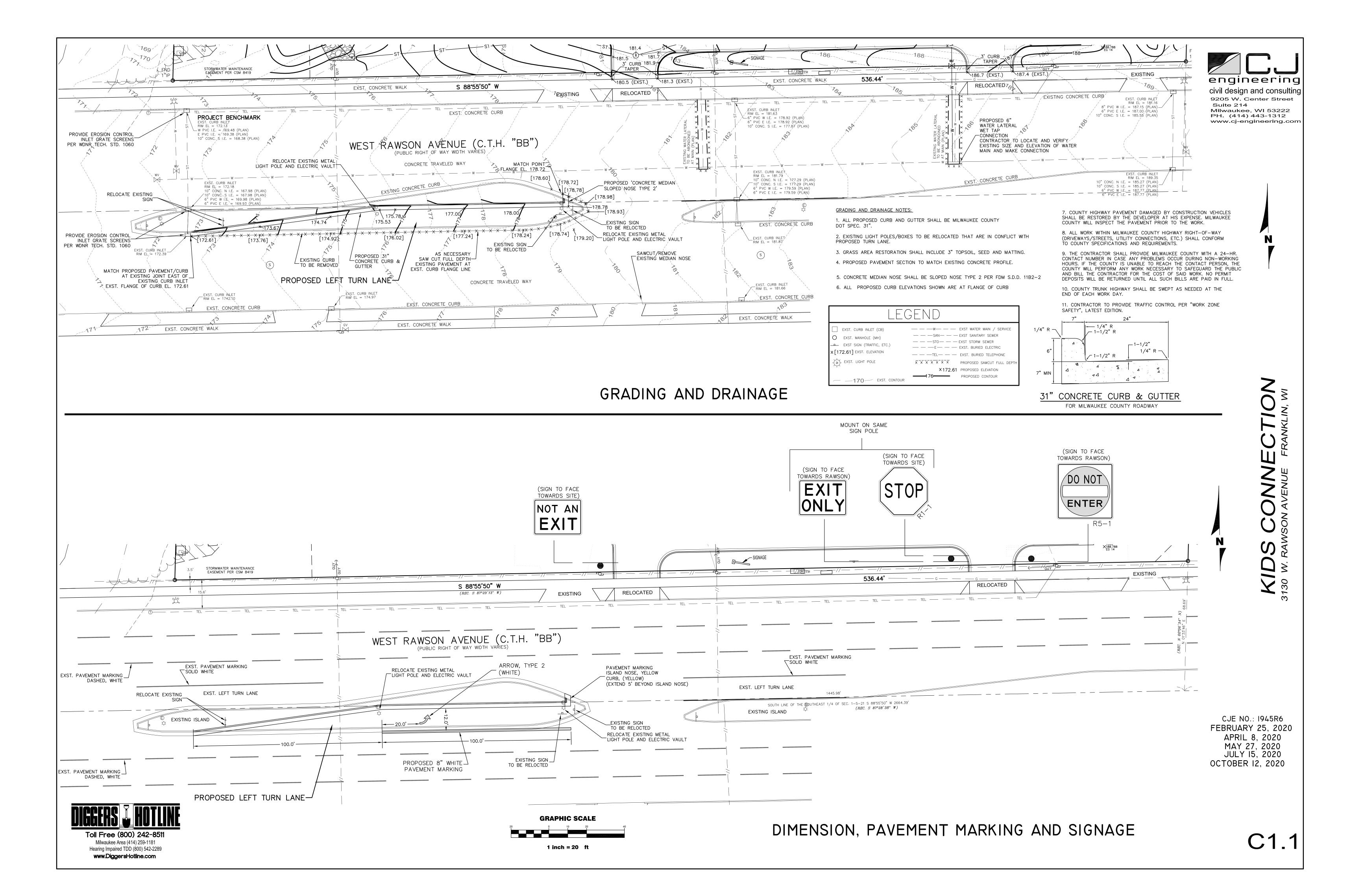
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SAN	SANITARY SEWER	□ EP	ELECTRIC PEDESTAL	\bowtie	WATER VALVE
	STORM SEWER	ПЕВ	ELECTRIC BOX AT GRADE	GV	GAS VALVE
	WATER MAIN	□тв	TELEPHONE BOX AT GRADE	(MH)	MANHOLE
	BURIED GAS LINE	☐ TP	TELEPHONE PEDESTAL	\simeq	
— TEL ——	BURIED TELEPHONE LINE	□tv	TV PEDESTAL	(ST)	STORM MANHOLE
— E —	BURIED ELECTRIC LINE	GM	GAS METER	(CB)	CATCH BASIN
— FO ——	BURIED FIBER OPTIC LINE	Α	AIR CONDITIONER		CURB INLET
— // ——	OVERHEAD UTILITY LINES	Q	UTILITY POLE	<u> </u>	CORD INLE!
— CATV—	BURIED CABLE TELEVISION LINES		WOOD SIGN	-	METAL LIGHT POLE
—СОМВ—	COMBINATION SEWER	-0-	METAL SIGN	(c)-	CONCRETE LIGHT POLE
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192.81 DS 💠	DOOR SILL ELEVATION	F	YARD LIGHT	OF	FIBER OPTIC MARKER
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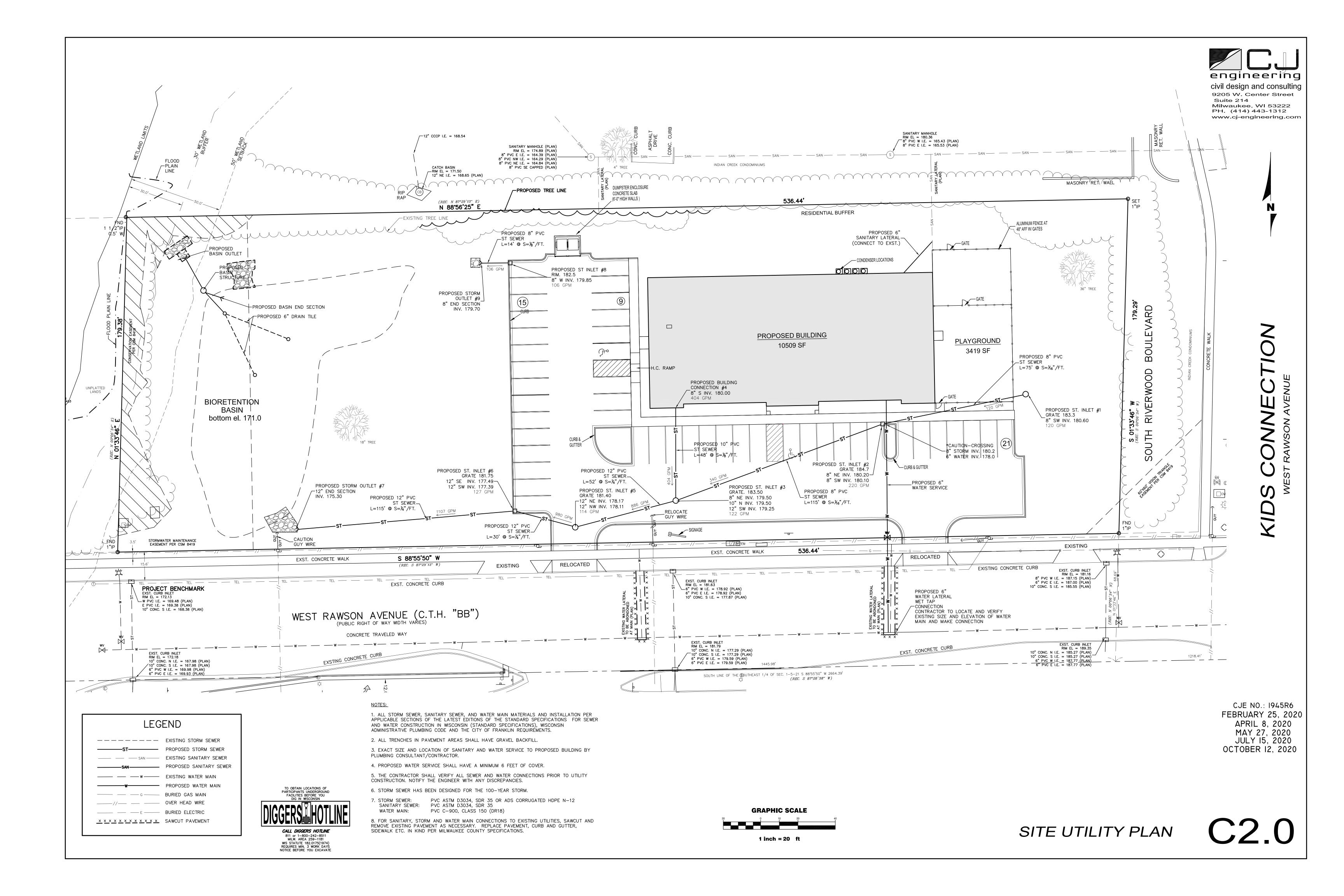
PLAT OF SURVEY WITH TOPOGRAPHY

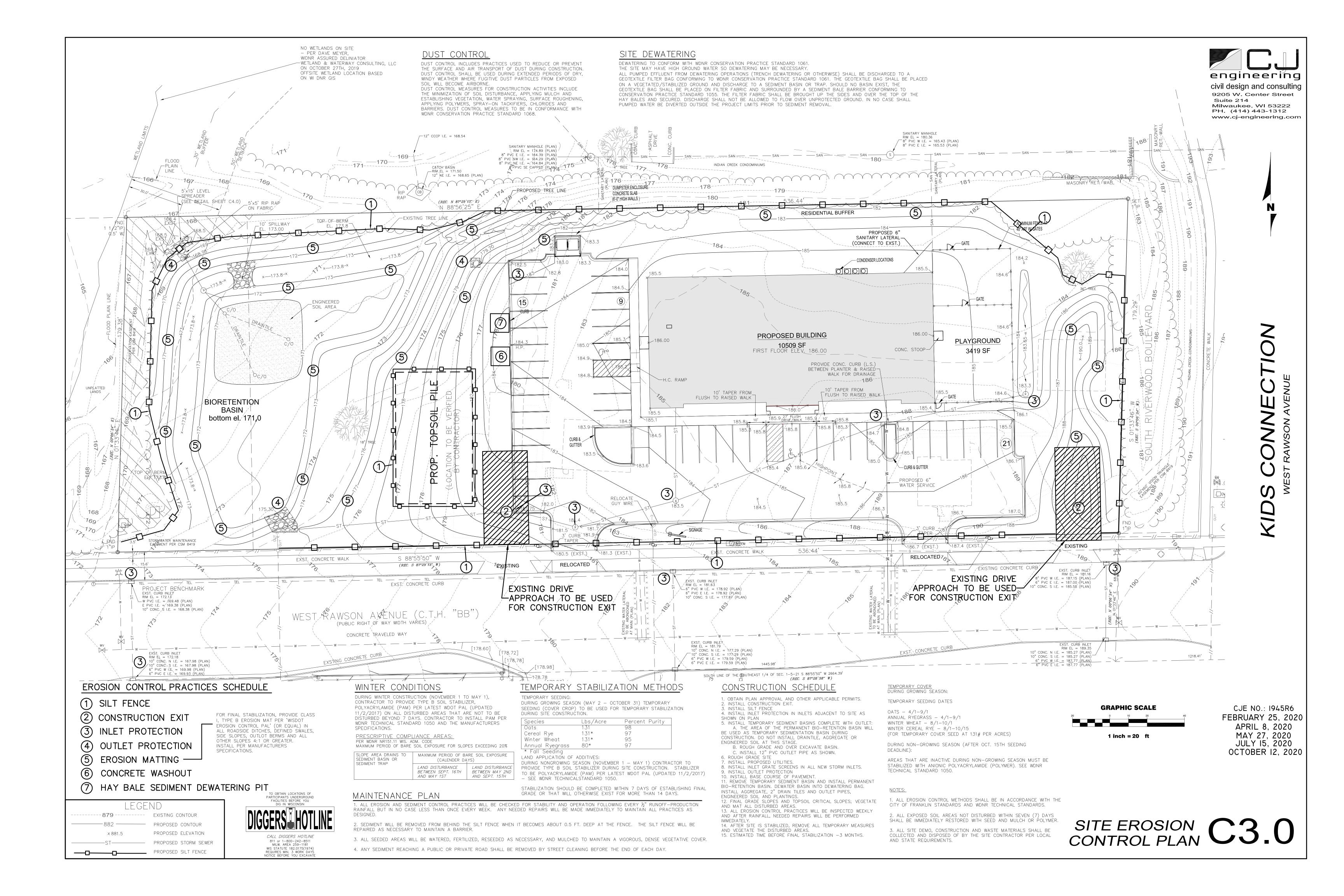
3030 & 3130 RAWSON AVENUE FRANKLIN WISCONSIN

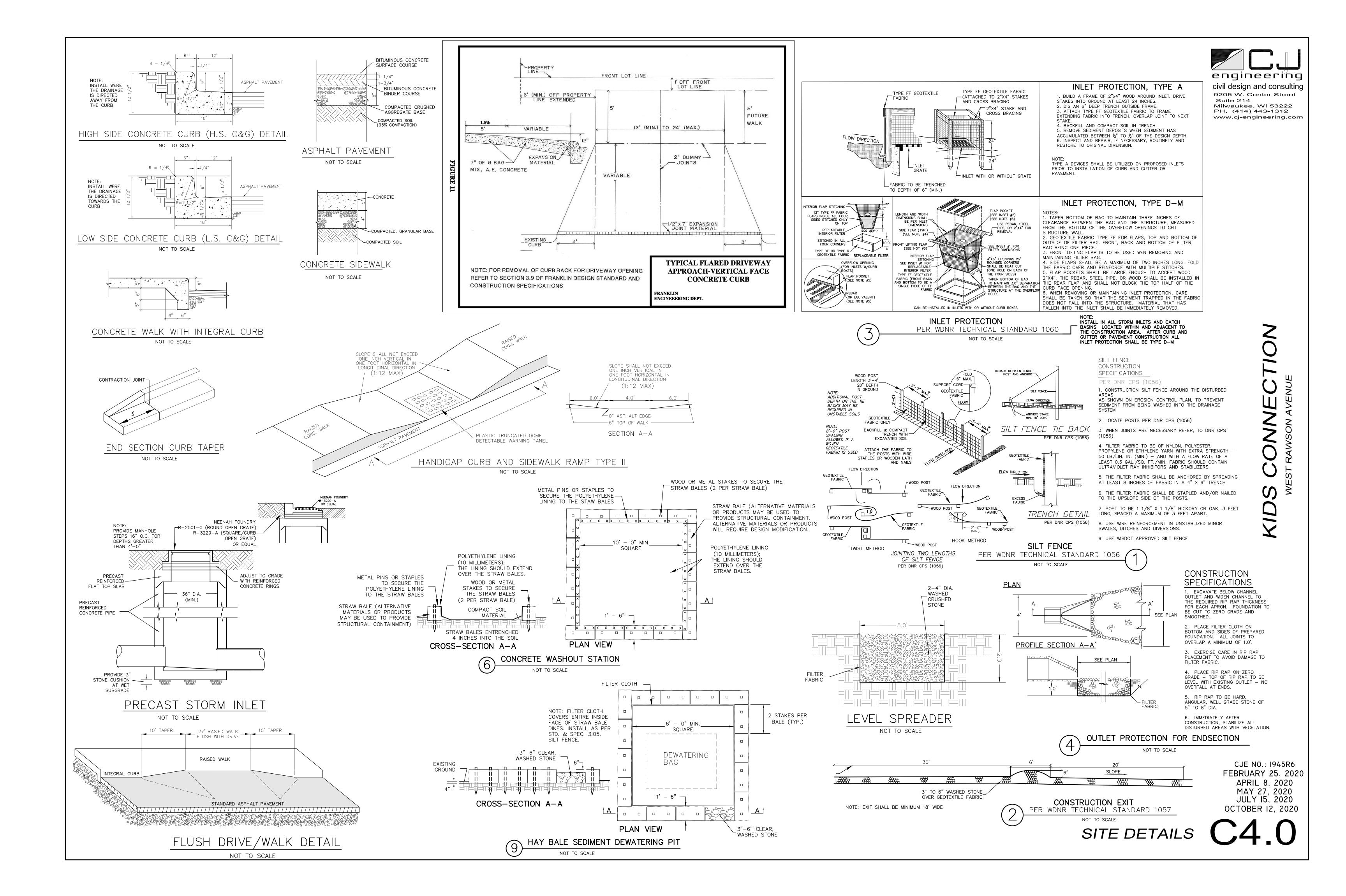
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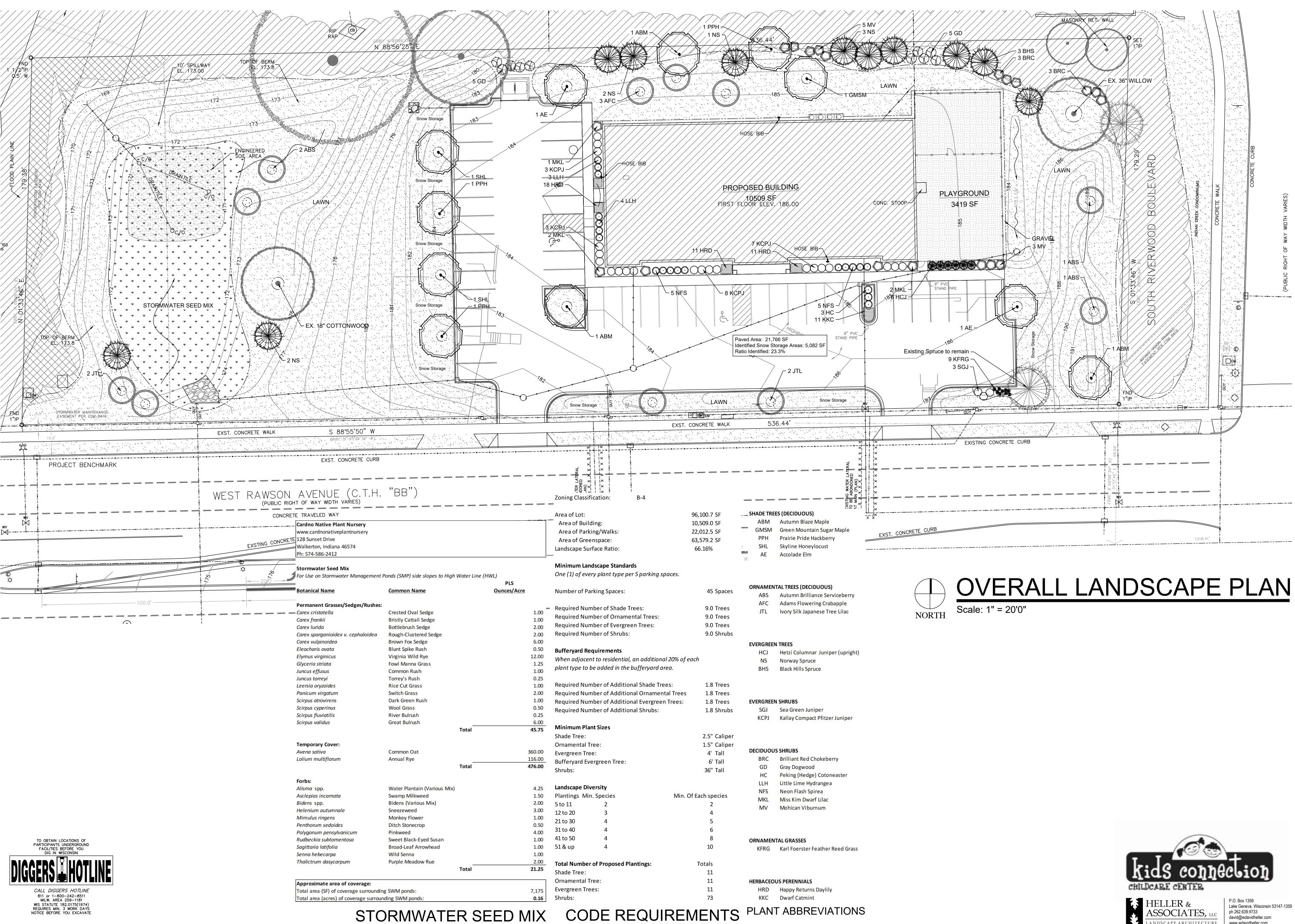












KID'S CONNECTION

West Rawson Ave Franklin, Wisconsin

ISSUANCE AND REVISIONS

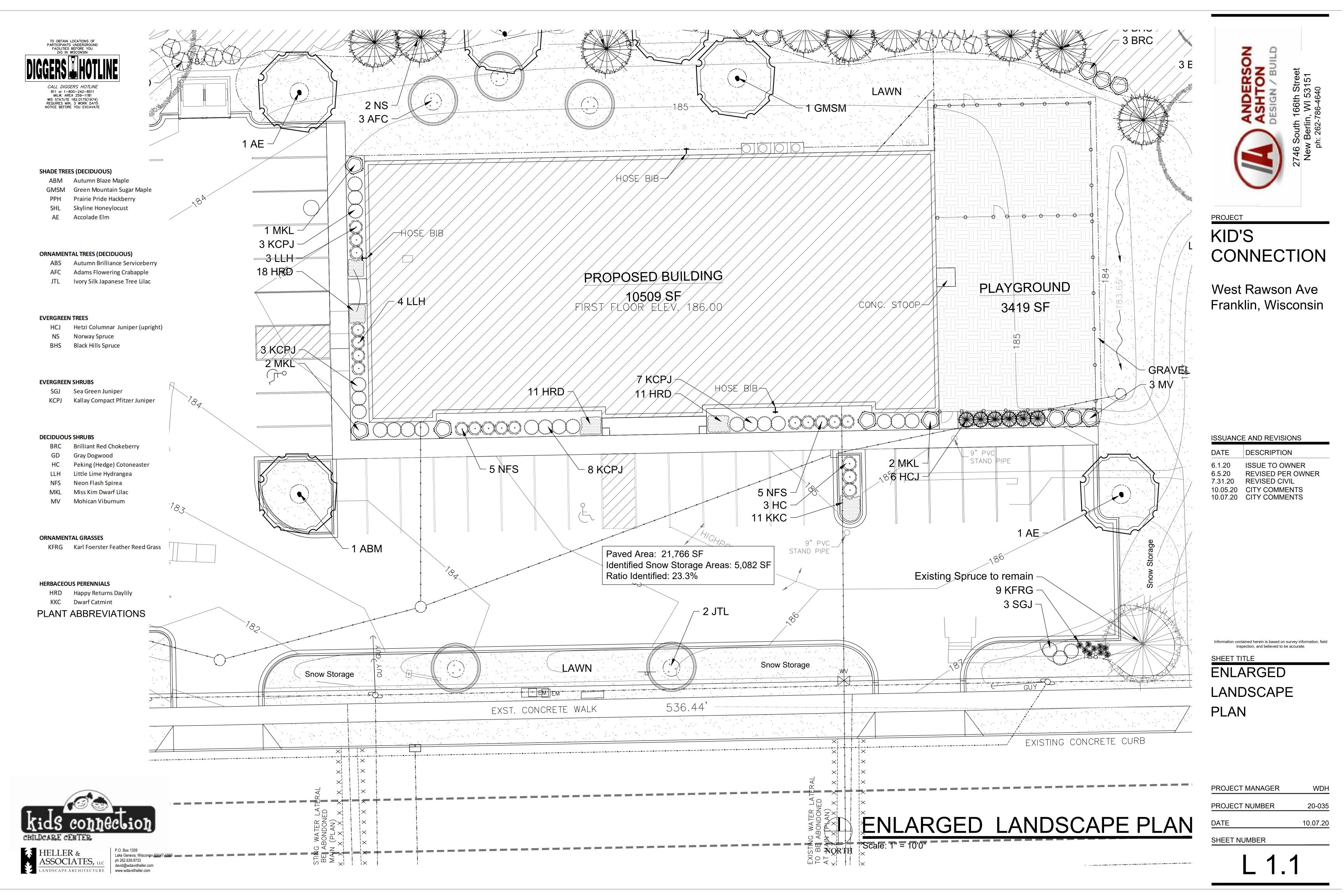
D	ATE	DESCRIPTION
6. 7. 10	.1.20 .5.20 .31.20 0.05.20 0.07.20	ISSUE TO OWNER REVISED PER OWNER REVISED CIVIL CITY COMMENTS CITY COMMENTS

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE **OVERALL** LANDSCAPE PLAN

PROJECT MANAGER WDH PROJECT NUMBER 20-035 DATE 10.07.20 SHEET NUMBER

david@wdavidheller.com www.wdavidheller.com



1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.

2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or

3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as

4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to

5. Topspoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.

6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{3}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{2}{3}$ of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.

7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{2}{3}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.

8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{1}{3}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diamter of shrub at planting.

perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All

11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp,

smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place

depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition): 3/4 CY Peat Moss or Mushroom Compost

3/4 CY blended/pulverized Topsoil 1/4 CY composted manure

In roto-tilled beds only, also include in above mixture:

12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones ½" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this

13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having: No bare spots larger than one (1) square foot

No more than 10% of the total area with bare areas larger than one (1) square foot A uniform coverage through all turf areas

14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.

15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.

16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of two (2) years from the date of project completion. Perennials, groundcovers, and ornamental grasses shall also be guaranteed for a minimum of two (2) growing season. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and

18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all

COMMON NAME SPECIFICATION / NOTES SPACING Proposed Landscape Materials SHADE TREES (DECIDUOUS) Acer xfreemanii 'Autumn Blaze' Autumn Blaze Maple 2.5" Straight central leader, full and even crown. Prune only after planting 2.5" Straight central leader, full and even crown. Prune only after planting **GMSM** Acer saccharum 'Green Mountain Green Mountain Sugar Maple Straight central leader, full and even crown. Prune only after planting PPH Celtis occidentalis 'Prairie Pride' Prairie Pride Hackberry Straight central leader, full and even crown. Prune only after planting Gleditsia triacanthos 'Skyline' 2.5" Skyline Honeylocust Ulumus 'Morton' Accolade Accolade Elm 2.5" B&B Straight central leader, full and even crown. Prune only after planting **PLANT** PLANT MATERIAL PROPOSED PLANT CALIPER or KEY QUANTITY | BOTANICAL NAME HEIGHT SPECIFICATION / NOTES SPACING COMMON NAME ORNAMENTAL TREES (DECIDUOUS) ABS Amelanchier xgrandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry 7' H B&B Well balanced multi-stemmed tree with minimum four canes, and full appearance AFC Malus x 'Adams' Adams Flowering Crabapple 7' H Well balanced multi-stemmed tree with minimum four canes, and full appearance JTL Syringa reticulata 'Ivory Silk' Ivory Silk Japanese Tree Lilac Well balanced multi-stemmed tree with minimum four canes, and full appearance PLANT PLANT MATERIAL PROPOSED **PLANT** KEY QUANTITY BOTANICAL NAME SIZE **ROOT** SPECIFICATION / NOTES SPACING COMMON NAME **EVERGREEN TREES** HCJ Juniperus chinensis 'Hetzii Columnaris' Hetzi Columnar Juniper (upright) B&B Evenly shaped tree with branching to the ground NS Picea abies Norway Spruce 6' H B&B Evenly shaped tree with branching to the ground BHS Black Hills Spruce B&B Evenly shaped tree with branching to the ground Picea glauca 'densata' PLANT MATERIAL PROPOSED PLANT SHRUB KEY QUANTITY BOTANICAL NAME **COMMON NAME** SIZE (HEIGHT) CONT. SPECIFICATION / NOTES SPACING EVERGREEN SHRUBS Cont. Full rounded well branched shrub SGJ 24"w Juniperus chinensis 'Sea Green Sea Green Juniper 48" **KCPJ** Juniperus chinensis 'Kallay' Kallay Compact Pfitzer Juniper 24"w Cont. Full rounded well branched shrub PLANT MATERIAL PROPOSED PLANT CONT. SPECIFICATION / NOTES SPACING KEY QUANTITY SIZE (HEIGHT) BOTANICAL NAME COMMON NAME **DECIDUOUS SHRUBS** Aronia arbutifolia 'Brilliantissima' **Brilliant Red Chokeberry** Cont. Full, well rooted plant, evenly shaped Cont. Full, well rooted plant, evenly shaped Cornus racemosa **Gray Dogwood** Peking (Hedge) Cotoneaster B&B Full, well rounded plant with moist rootball and healthy appearance 30-42" Cotoneaster acutifolia Cont. Full, well rooted plant, evenly shaped Hydrangea paniculata 'Jane' Little Lime Hydrangea NFS Spirea xbumalda 'Neon Flash' Neon Flash Spirea Cont. Full, well rooted plant, evenly shaped MKL Syringa patula 'Miss Kim' Miss Kim Dwarf Lilac Cont. Full, well rooted plant, evenly shaped Viburnum lantana 'Mohican' Mohican Viburnum B&B Full, well rounded plant with moist rootball and healthy appearance PLANT PLANT MATERIAL PROPOSED CONTAINER KEY QUANTITY BOTANICAL NAME SPECIFICATION / NOTES SPACING **COMMON NAME** ORNAMENTAL GRASSE 15-18" Calamagrostis acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass Cont. Full, well rooted plant PLANT PLANT MATERIAL PROPOSED PLANT CONTAINER KEY QUANTITY BOTANICAL NAME SPECIFICATION / NOTES **COMMON NAME** SPACING HERBACEOUS PERENNIALS Hemerocallis 'Happy Returns' Happy Returns Daylily Cont. Full, well rooted plant, evenly shaped Nepeta faassenii 'Kit Cat' **Dwarf Catmint** Pot Full, well rooted plant, evenly shaped PLANT MATERIAL PROPOSED **PLANT** KEY QUANTITY SPECIFIED SEED MIX / SOD SPECIFICATION / NOTES SPACING LAWN 45180 Lawn Establishment Area / Grading Area SF Reinder's Deluxe 50 Seed Mix (800-785-3301) SF Cardno Native Plant Nursery (574-586-2412) Stormwater Seed Mix see plan for area delineation Erosion Matting for sloped seeded areas see plan for area delineation SF EroTex DS75 Erosion Control Blanket (or approved equal) Heritage River Gravel Mulch (1.0-1.5" pieces) Area: 430 SF Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish Aluminum Edge Restraint (gravel areas)

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape

installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan- including the graphics

ISSUANCE AND REVISIONS

CONNECTION

West Rawson Ave

Franklin, Wisconsin

PROJECT

DESCRIPTION 6.1.20 ISSUE TO OWNER REVISED PER OWNER 7.31.20 REVISED CIVIL 10.05.20 CITY COMMENTS

10.07.20 CITY COMMENTS

Seed at rate of 150-200# per acre

Reinder's Deluxe 50 Seed Mix (800-785-3301): 20% Kentucky Bluegrass (Sod Quality) 10% Fiesta III Perennial Ryegrass 15% Newport Kentucky Bluegrass 15% Ken Blue Kentucky Bluegrass

15% Quebec Perennial Ryegrass

Area: 2,925 SF

Area: 52,355 SF

Area: 2,925 SF

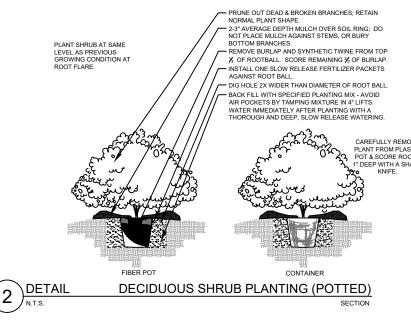
PLANT & MATERIAL SCHEDULE

Bark Mulch; apply Preemergent after installation of mulch

PLANT TREE AT SAME LEVEL AS PREVIOUS GROWING CONDITION AT ROOT FLARE. PLANT SLIGHTLY HIGHER THAN SURROUNDING FINISHED GRADE. PRUNE PLANTS (IF NEEDED) ONLY AFTER PLANTING PRUNING IS SUBJECT TO TIME OF YEAR, AND SPECIFIC TREE SPECIES. REMOVE BURLAP, SYNTHETIC TWINE, AND - INSTALL ONE (1) SLOW RELEASE FERTILIZ DIG HOLE 2X WIDER THAN DIAMETER OF

LANDSCAPE GENERAL NOTES

TOP OF GRAVEL SHOULD BE APPROXIMATELY 1/2 BELOW THE TOP LIP OF THE EDGE RESTRAINT. - ¼" x 4" ALUMINUM EDGE RESTRAINT; MILL FINISH STAKED EVERY 24". PLANT TREE AT SAME LEVEL AS PREVIOUS GROWING CONDITION AT ROOT FLARE. PLANT SLIGHTLY HIGHER THAN SURROUNDING FINISHED GRADE. REMOVE STUBS, AND OVERLAPPING, BROKE OR RUBBING BRANCHES. PRUNE PLANTS (II NEEDED) ONLY AFTER PLANTING. PRUNING IS SUBJECT TO TIME OF YEAR, AND SPECIFIC TREE SPECIES. REMOVE BURLAP, SYNTHETIC TWINE, AND WIRE CAGE FROM TOP % OF ROOTBALL. SCORE REMAINING % OF BURLAP ONCE TREE IS IN PLACE, AND STRAIGHTENED. CAREFULLY BEND REMAINING CAGE DOWN TO BOTTOM OF HOLE.



455

Landscape Fabric

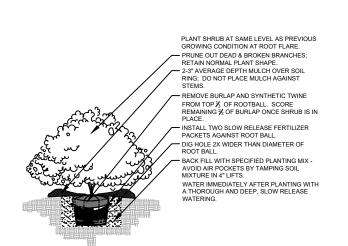
Shredded Hardwood Mulch (3" depth)

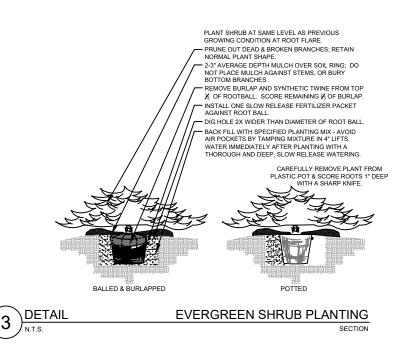
Pulverized Topsoil (2" over bed areas)

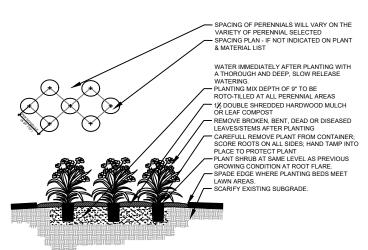
Soil Amendments (2" depth)

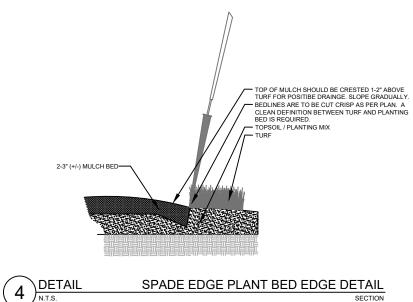
25% Creeping Red Fescue

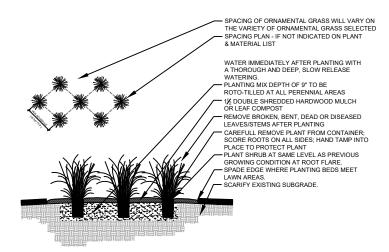
Pulverized Topsoil (Lawn Area)











inspection, and believed to be accurate. SHEET TITLE

LANDSCAPE DETAIL, NOTES, & SCHEDULES

Information contained herein is based on survey information, field

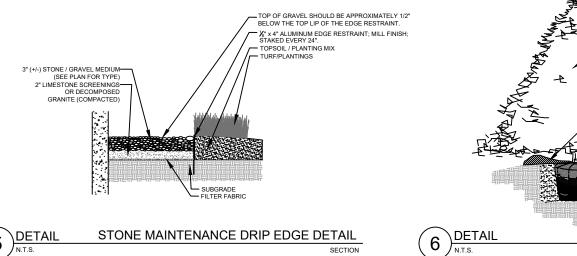
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PROJECT NUMBER	20-035
DATE	10.07.20
SHEET NUMBER	

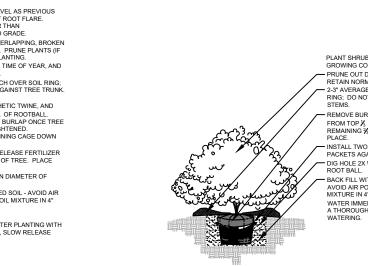
ASSOCIATES, LLC

P.O. Box 1359

david@wdavidheller.con www.wdavidheller.com

Lake Geneva, Wisconsin 53147-1359





PLANTING & HARDSCAPE DETAILS

ADA PARKING SIGN

GENERAL SITE NOTES:

1. VISIT JOB SITE TO VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. MEET WITH GENERAL CONTRACTOR PRIOR TO STARTING.

2. REMOVE EXISTING TREES ALONG WITH ROOTS AS REQUIRED @ PROPOSED BUILDING AND PAVING AREAS.

3. STRIP AND REMOVE ALL REMAINDER VEGETATION & X"+/- TOP SOIL FROM WITHIN THE BUILDING AND PAVING AREAS. STOCKPILE REUSABLE, UNCOTAMINATED TOPSOIL AND PROVIDE FOR ALL EXCESS MATERIAL TO BE TRUCKED OFF SITE. RESPREAD SALVAGED TOPSOIL OVER DISTURBED AREAS TO APPROX. 4" DEPTH AFTER CONSTRUCTION IS FINISHED.

4. CUT (OR FILL) THE BUILDING AREA +5.0' BEYOND PERIMETER OF THE BUILDING

5. CUT THE FLOOR AREA TO THE SUB-GRADE ELEVATION. (THE PERIMETER FOUNDATION FOOTINGS TO BE EXCAVATED BY CONC. CONTR. TO THE REQUIRED DEPTHS PER THE FOUNDATION PLAN). BENCH GRADE BACK PER CURRENT OSHA CODE STANDARDS PART #1926 IF REQ'D BY THE G.C. FOR THE PROJECT

6. PROOF ROLL BUILDING AREA FOR ANY SOFT MATERIALS. REPORT ANY SOFT SPOTS TO THE GENERAL CONTRACTOR.

7. ALL FILL MATERIAL FOR BRINGING GRADES UP TO SUB-GRADE ELEVATIONS SHALL BE GRANULAR OR CLEAN COMPACTABLE CLAY AND APPROVED BY ANDERSON-ASHTON.

8. ALL EXTERIOR BACKFILL MATERIAL FOR STANDARD FROST FOUNDATION WALLS SHALL BE CLEAN COMPACTABLE CLAY. INTERIOR BACKFILL MATERIAL SHALL BE 3/4" CLEAR STONE.

9. ALL BACKFILL & FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY ANDERSON-ASHTON PRIOR TO PLACEMENT. ALL FILL MATERIALS SHALL BE COMPACTED IN 8" MAX. LIFTS @ 95% MODIFIED PROCTOR.

10. PREPARE THE PAVING AREA AS SHOWN ON THE CONSTRUCTION DOCUMENTS to +/- 0.10'

11. PREPARE ALL SWALES AS SHOWN ON PLAN TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION.

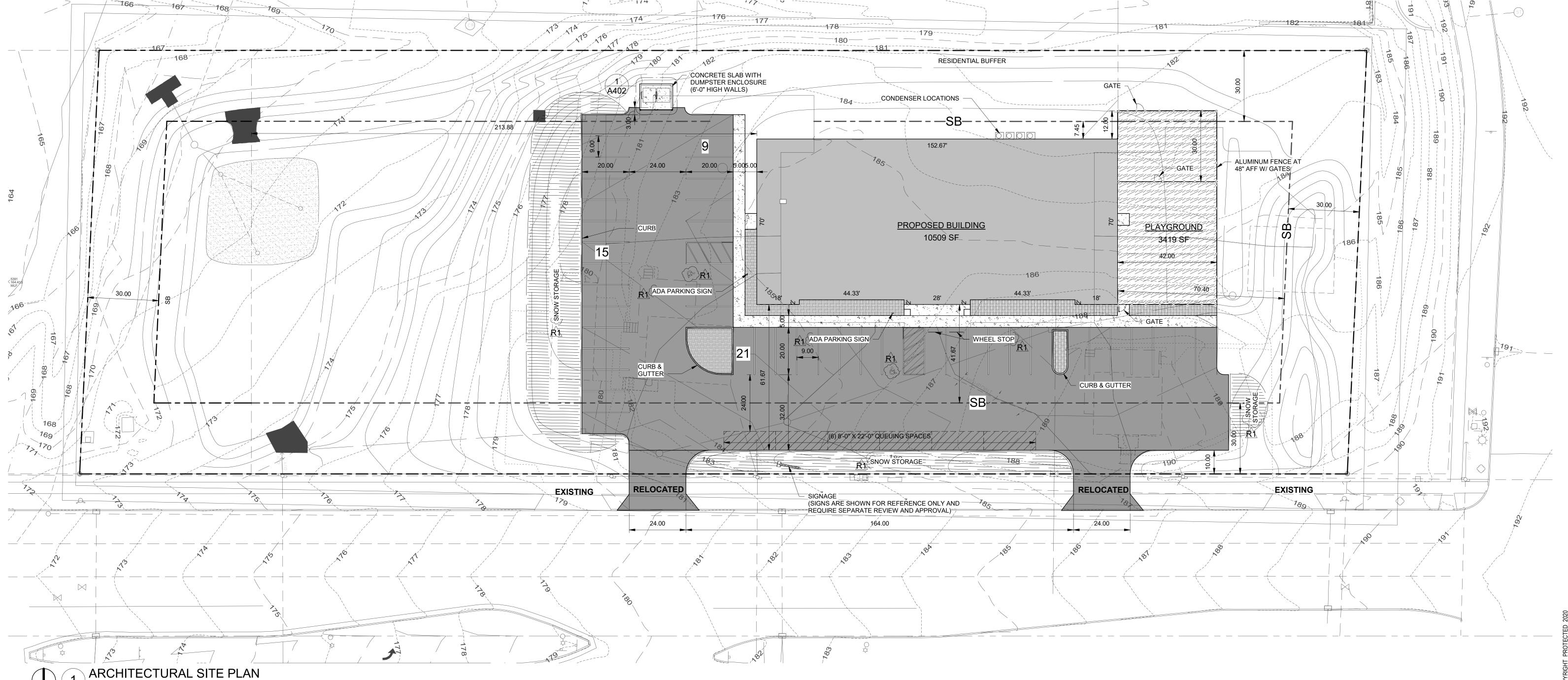
12. RETURN AFTER THE BUILDING IS ENCLOSED & FINISH GRADE AND TOPSOIL AROUND PERIMETER OF BUILDING. ALSO, FINISH GRADE AROUND ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND UTILITY TRENCHES.

13. GRADING CONTRACTOR SHALL FIX AND REPAIR PARKING AREA AND DRIVES AS REQUIRED AFTER UTILITY AND OTHER WORK THAT MAY DISTURB THE SOIL AND/OR GRAVEL BASE BEOFRE PAVING BEGINS. GRADING CONTRACTOR SHALL SMOOTH DRUM ROLL ALL PARKING AREAS AND DRIVES BEFORE PAVING BEGINS.

14. GRADING CONTRACTOR SHALL BE PREPARRED TO HANDLE ALL SPOILS WHICH MAY INCLUDE ON SITE STORAGE AND TRUCKING OFF SITE. GRADER TO GET PRIOR APPROVAL FROM G.C. FOR PLACEMENT OF STOCKPILE SITES PRIOR TO STARTING STRIPPING OF TOPSOIL.

15. AWARDED GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE LABOR AND MATERIAL NEEDED FOR SUPPLYING ANY TRAFFIC CONTROL BARRIERS OR SIGNS AS NEEDED PER LOCAL OR D.O.T. CODES & REGULATIONS DUE TO ANY ROAD WORK OUTSIDE OF PROPERTY LINES

16. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MIN DISTANCE OF 10' MEASURED PERP. TO THE FACE OF THE FOUNDATION WALL.



REVISIONS

R1 10/2/2020 RELOCATE
ADA STALL - WHEEL
STOP - ADA SIGN PEDESTRIAN WALKWAY

- SNOW STORAGE

ASHTON ASHTON DESIGN / B 2746 South 166th S New Berlin, WI 5316 Phone: (262) 786-46 www.ANDERSONASI

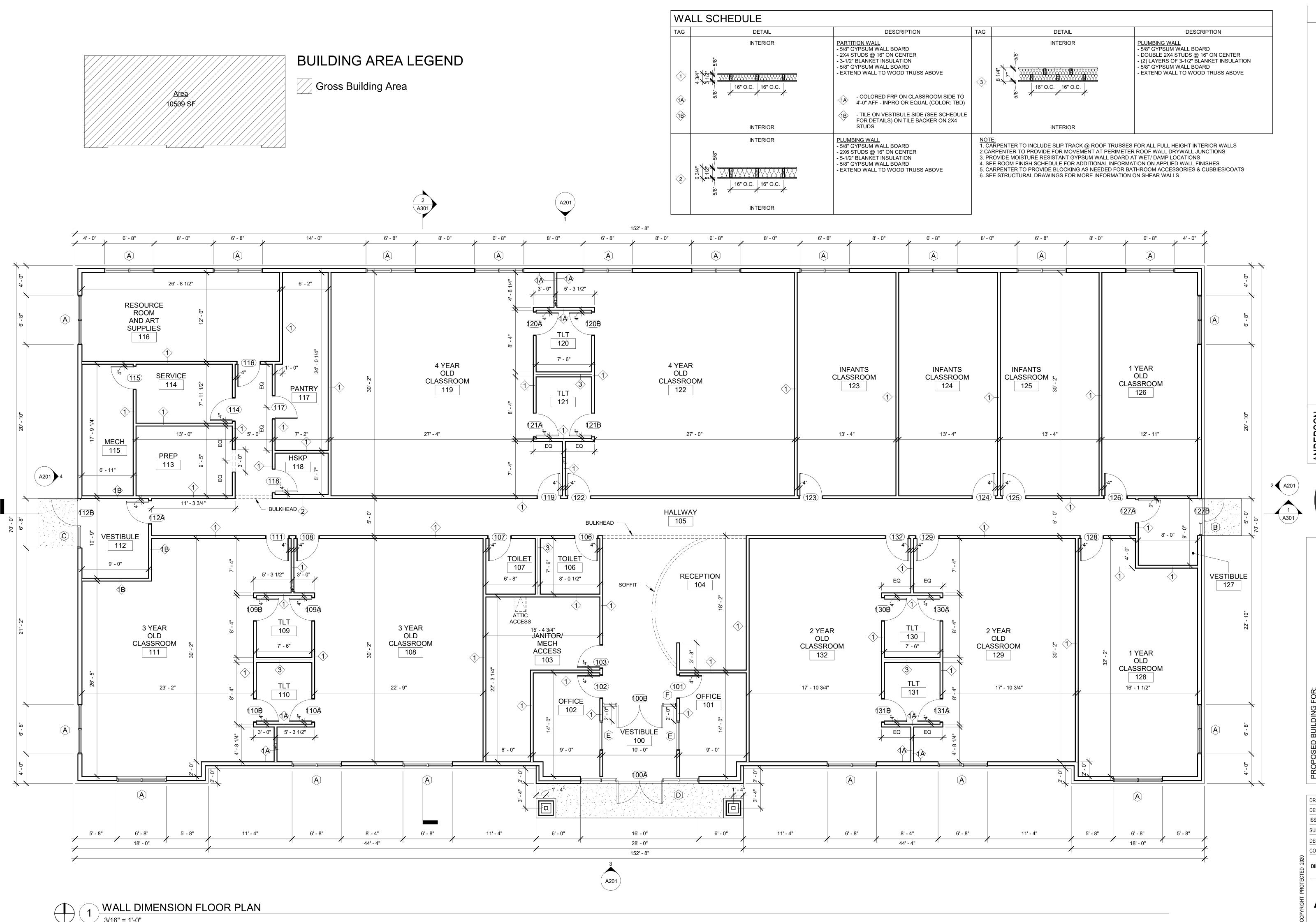
NECTION

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SIGNER: SLV
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DRAFTED BY: UH
DESIGNER: SLW
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SUBMITTAL DATE: 9-4-2020
DESIGN NO. -CONSTRUCTION NO. 3859

ARCHITECTURAL SITE PLAN

AS01



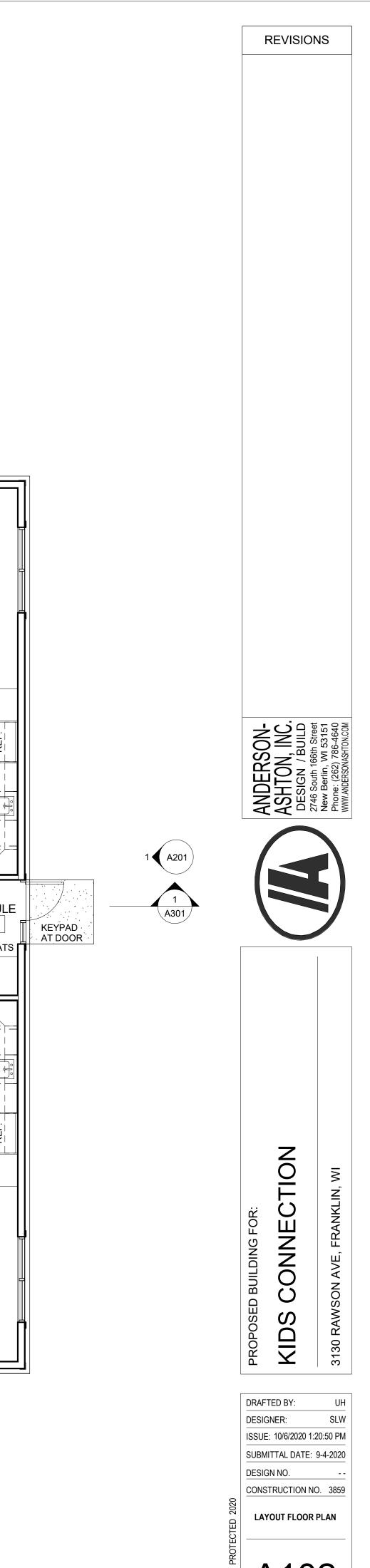
ANDERSON-ASHTON, INC. DESIGN / BUILD 2746 South 166th Street New Berlin, WI 53151 Phone: (262) 786-4640

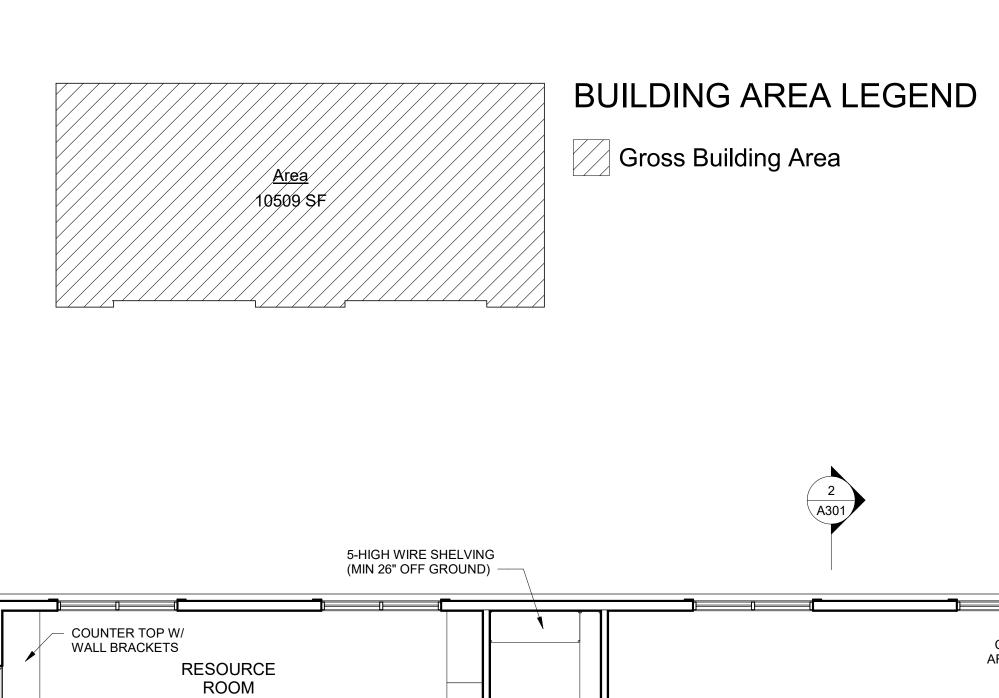


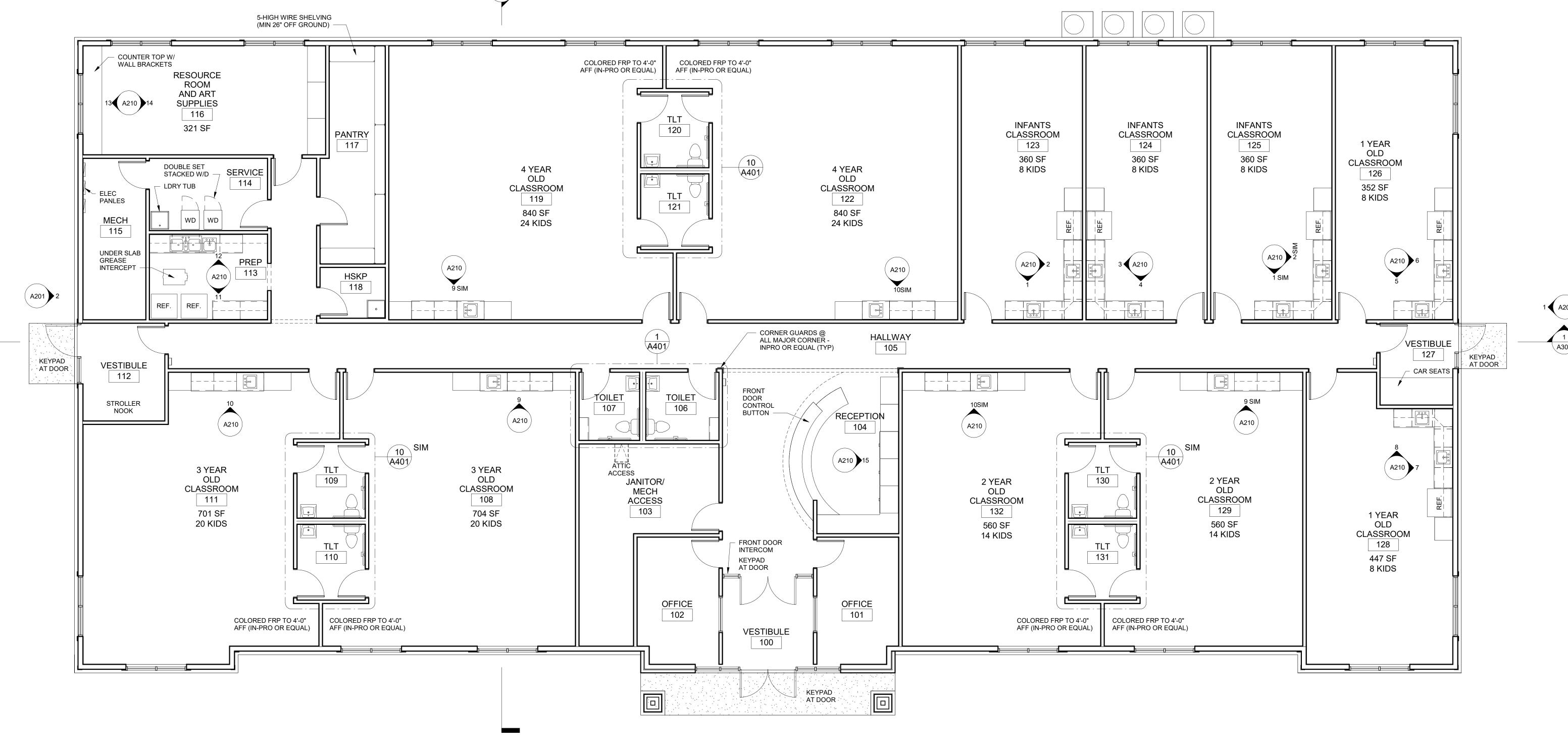
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ISSUE: 8/28/2020 5:03:09 PM
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DIMENSION FLOOR PLAN



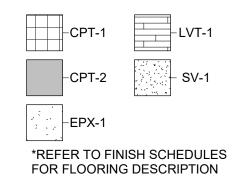


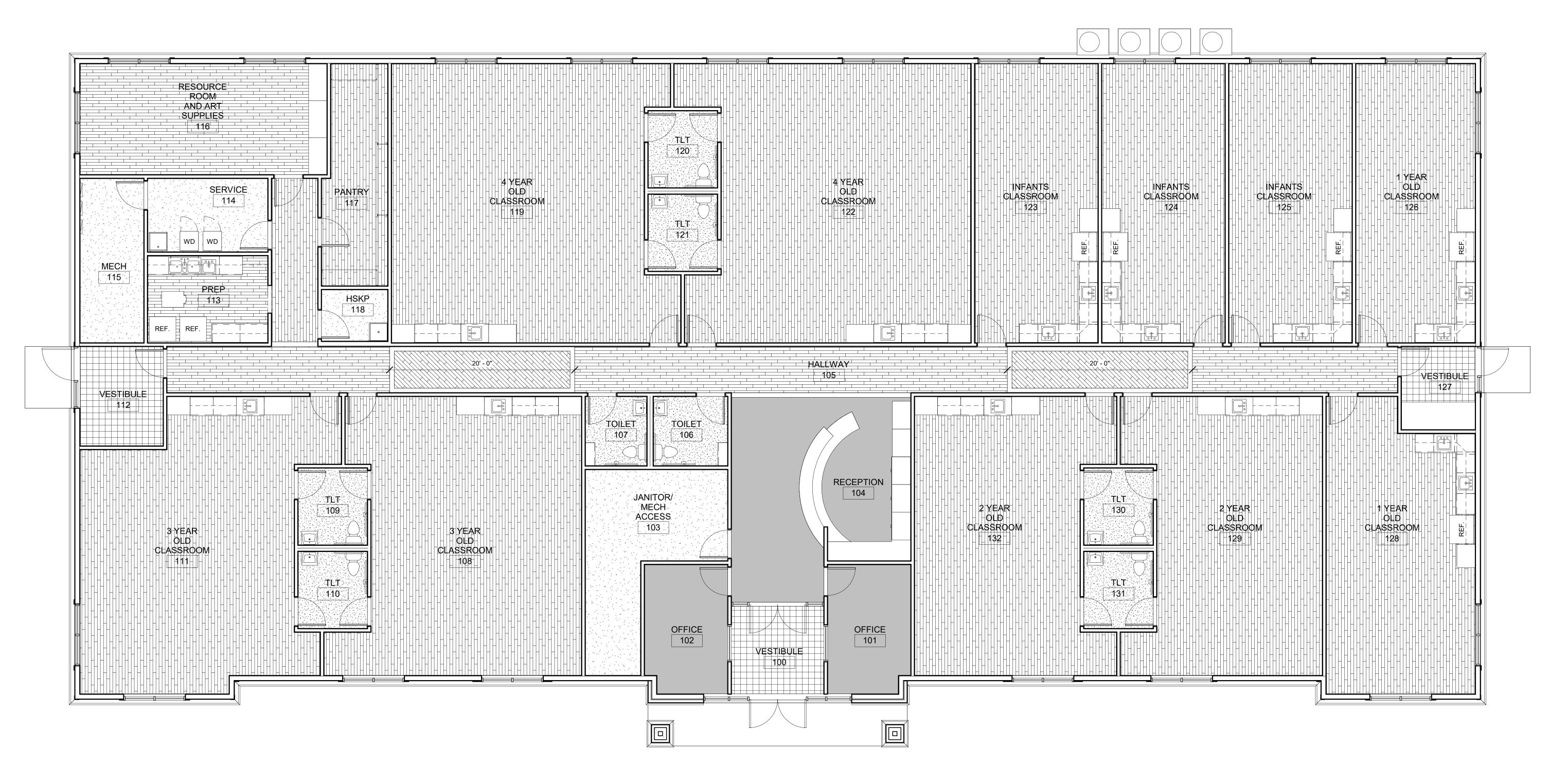


(A201)

1 LAYOUT FLOOR PLAN
3/16" = 1'-0"

FLOOR FINISH LEGEND





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REVISIONS





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SUBMITTAL DATEXX-XX-XX
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FLOOR FINISH PLAN

A103

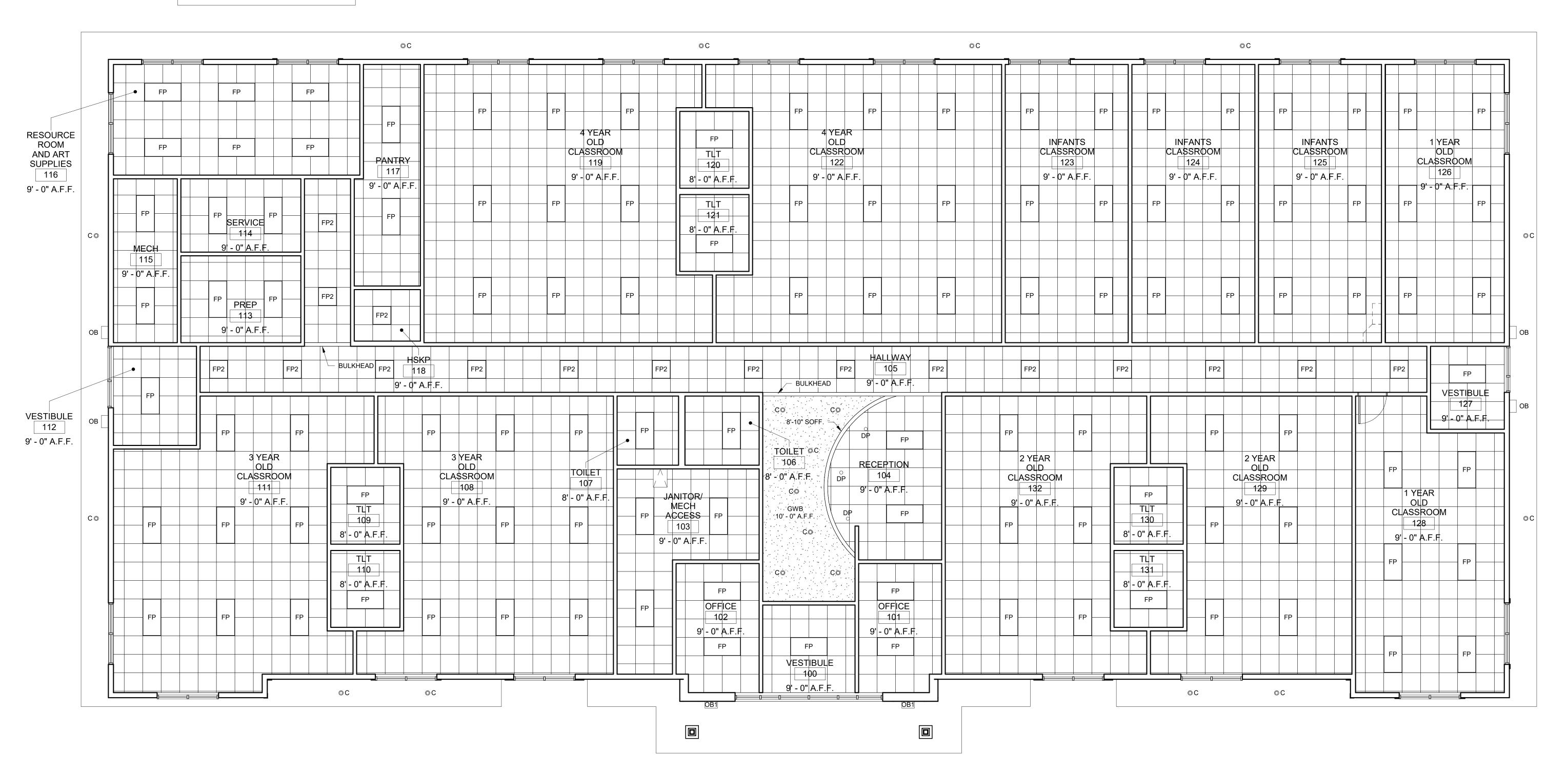
1 FLOOR FINISH PLAN
3/16" = 1'-0"

	LUMINARE SCHEDULE								
QTY	TYPE	DESCRIPTION	COMMENTS						
19	С	RECESSED DOWNLIGHT							
3	DP	PENDANT LIGHT							
111	FP	2X4 FLAT PANEL							
17	FP2	2X2 FLAT PANEL							
1	ОВ	DOWN WALL - SCONCE							
2	OB1	WESTOVER OUTDOOR LANTERN							

SCHEMATIC LIGHTING FLOOR PLAN FOR REFERENCE ONLY.

CEILING NOTES

1. REFER TO ROOM FINISH SCHEDULE FOR CEILING MATERIALS AND FINISHES



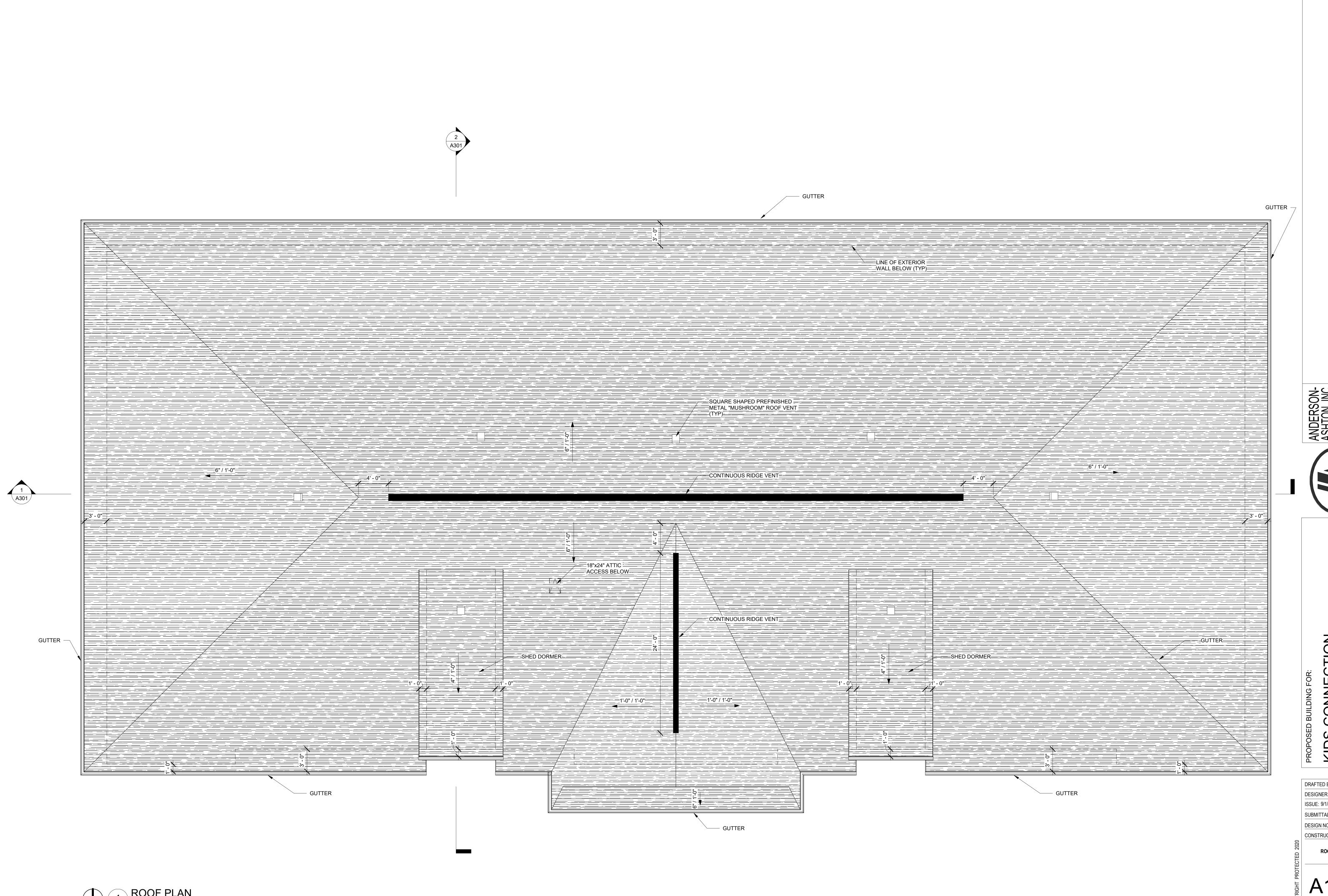
PROPOSED BUILDING FOR:

KIDS CONNECTION

3130 RAWSON AVE, FRANKLIN, WI

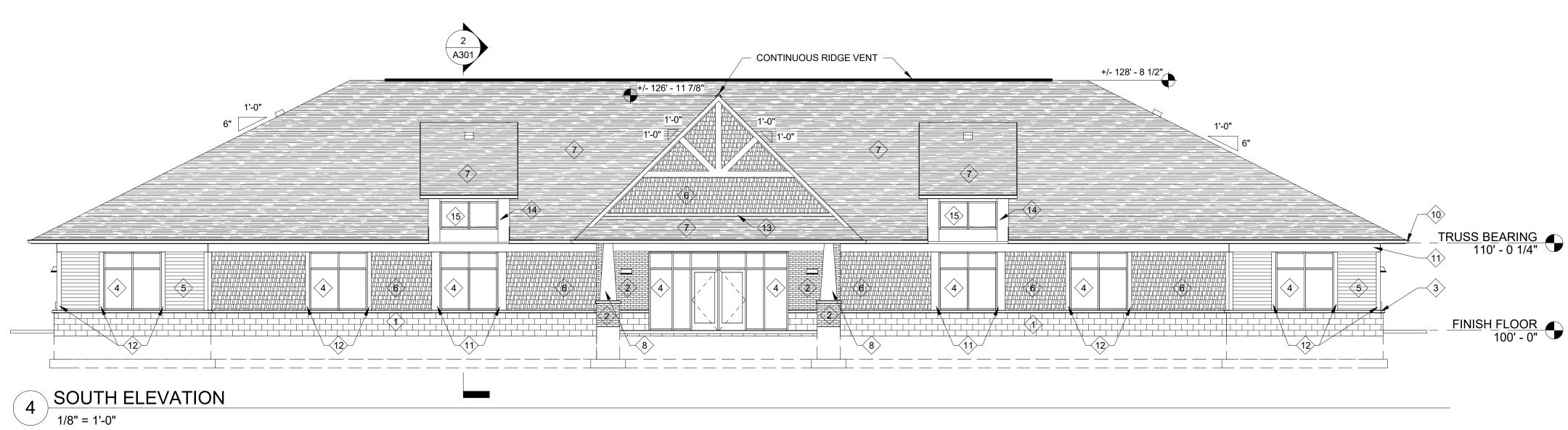
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SUBMITTAL DATEXX-XX-XX
DESIGN NO. --CONSTRUCTION NO. 3859

REFLECTED CEILING PLAN

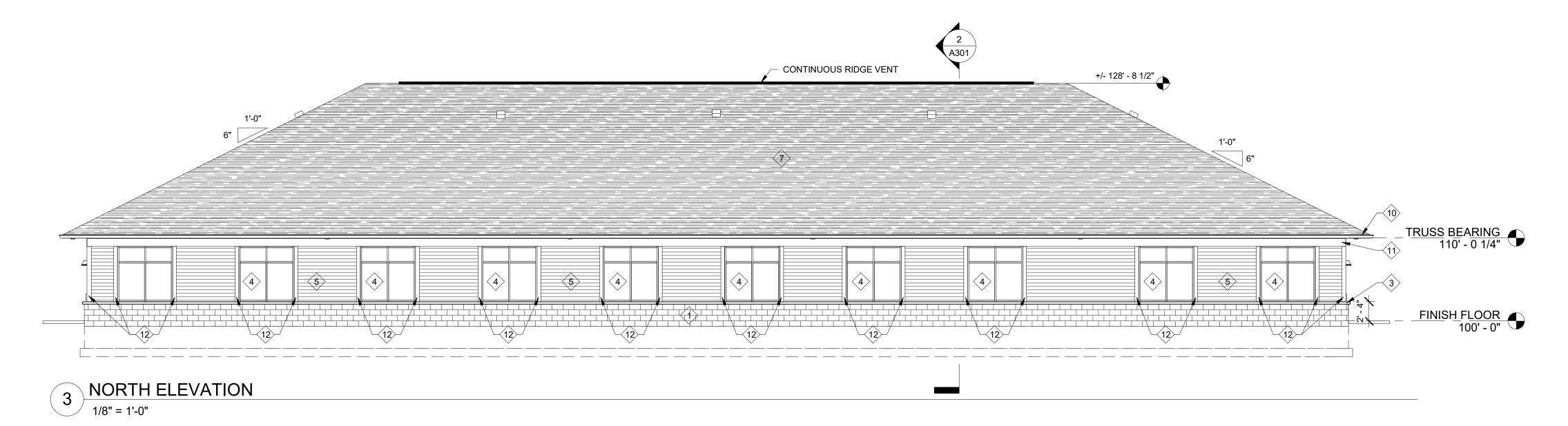


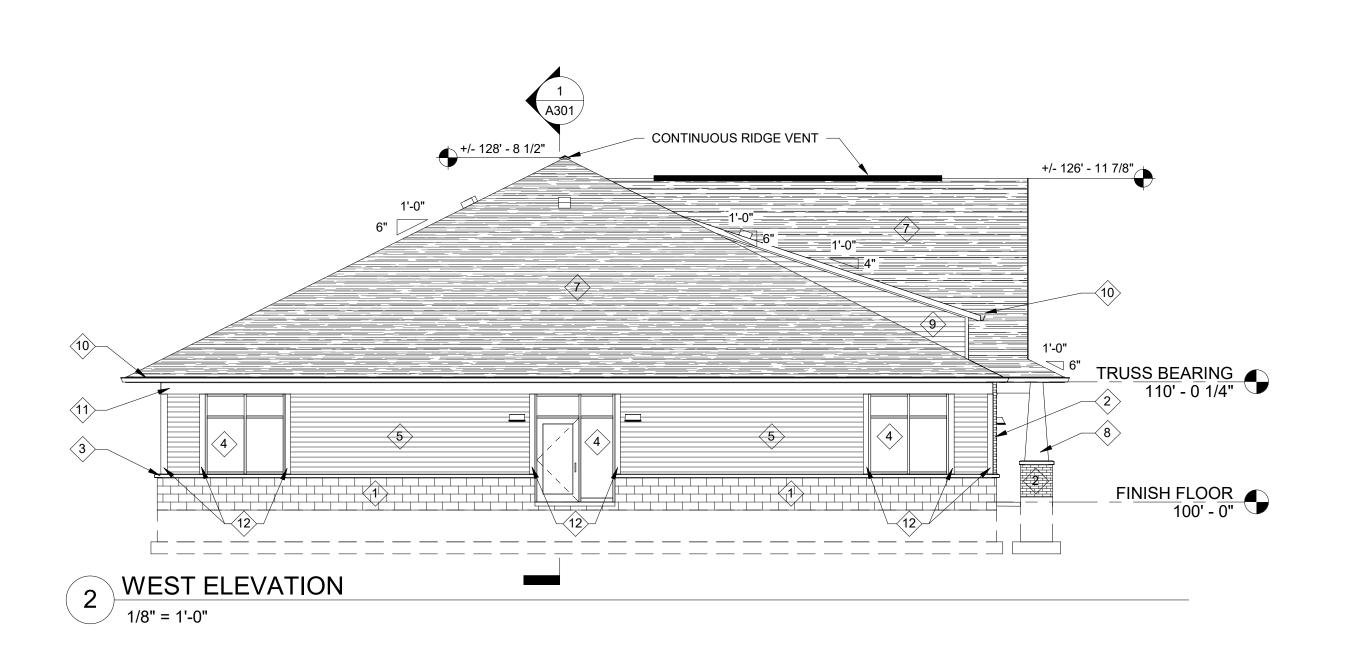


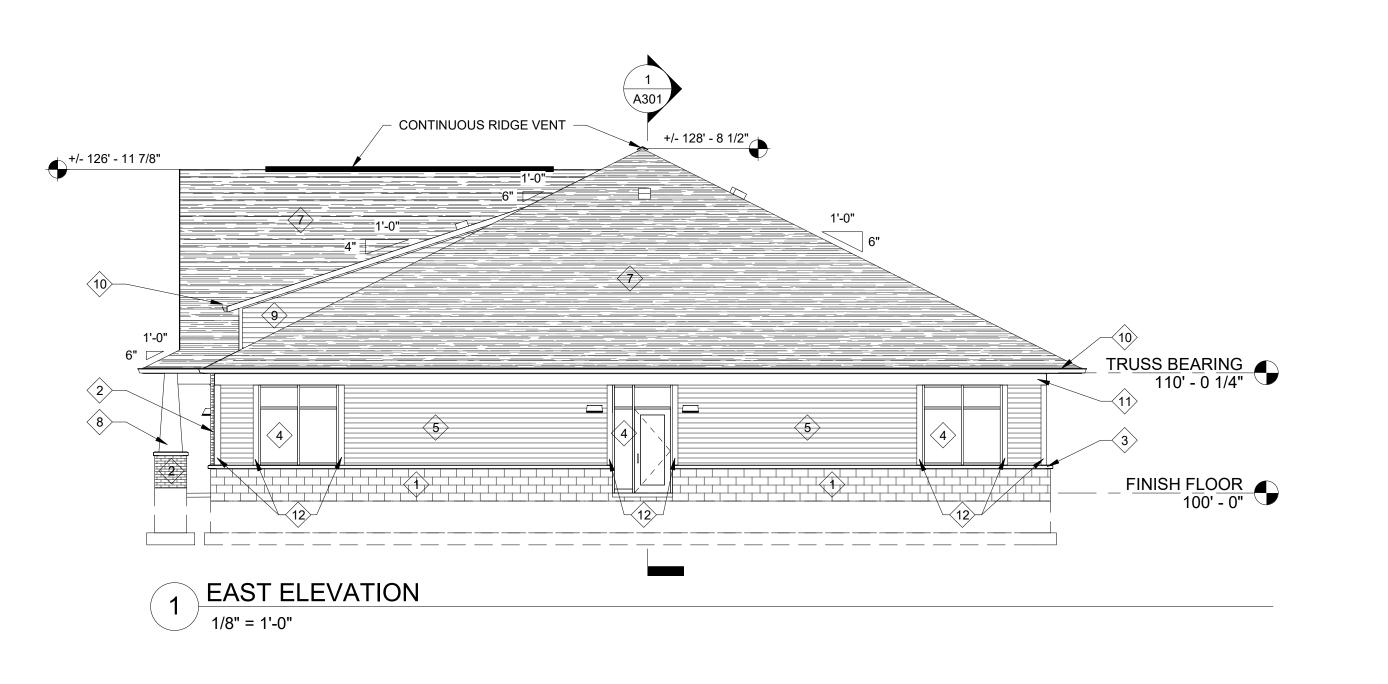
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ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V
1 4" LIGHT COLORED MASONRY VENEER		NATURAL
2 4" LIGHT COLORED STONE VENEER		TBD
3 CAST STONE SILL/LINTEL		LIMESTONE
PREFINISHED ALUMINUM FRAMED WINDOW W/ CLEAR LOW-E 1" INSULATED GLAZING		DARK BRONZE
5 LP SMARTSIDE PREFINISHED LAP SIDING		PELICAN
6 LP SMARTSIDE PREFINISHED CEDAR TEXTURE SHAKE SIDING (STAGGERED)		PELICAN
7 GAF ELK ASPHALT SHINGLES		PEWTER GRAY
WOOD BEAMS CLAD IN LP SMARTSIDE PREFINISHED PANELS		MAHOGANY
9 LP SMARTSIDE HORIZONTAL LAP SIDING (CEDAR TEXTURE)		MAHOGANY
10 PREFINISHED GUTTER AND DOWNSPOUT		FROST
(11) LP 540 (11.21" X 0.910")		
(12) LP 540 (5.5" X 0.910")		
(13) LP 540 (3.5" X 0.910")		
LP VERTICAL SIDING (ORIENT TO LONG DIMENSION) (15.94" X 0.315")		
15 PREFINISHED ALUMINUM FRAMED SPANDREL GLAZING		







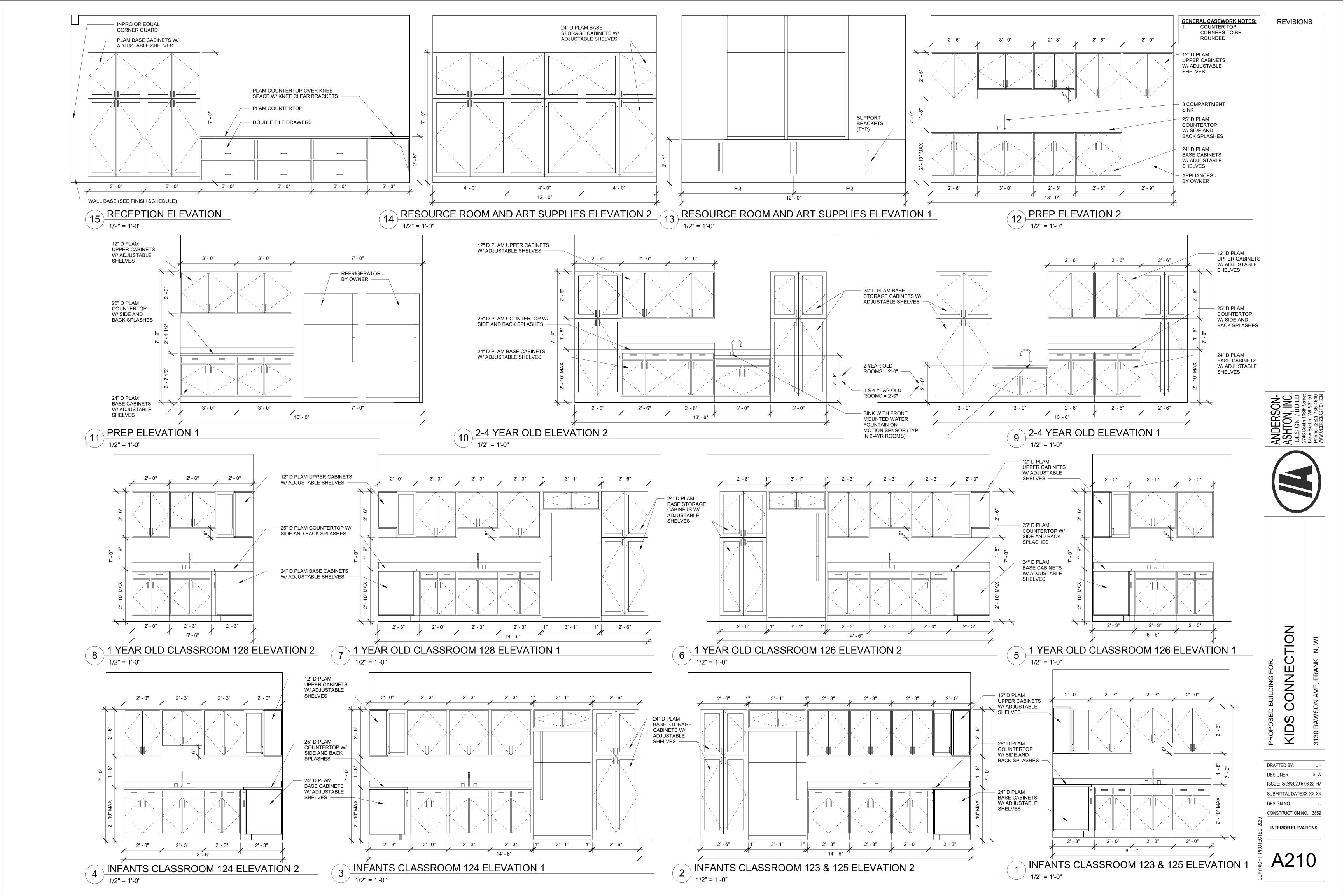


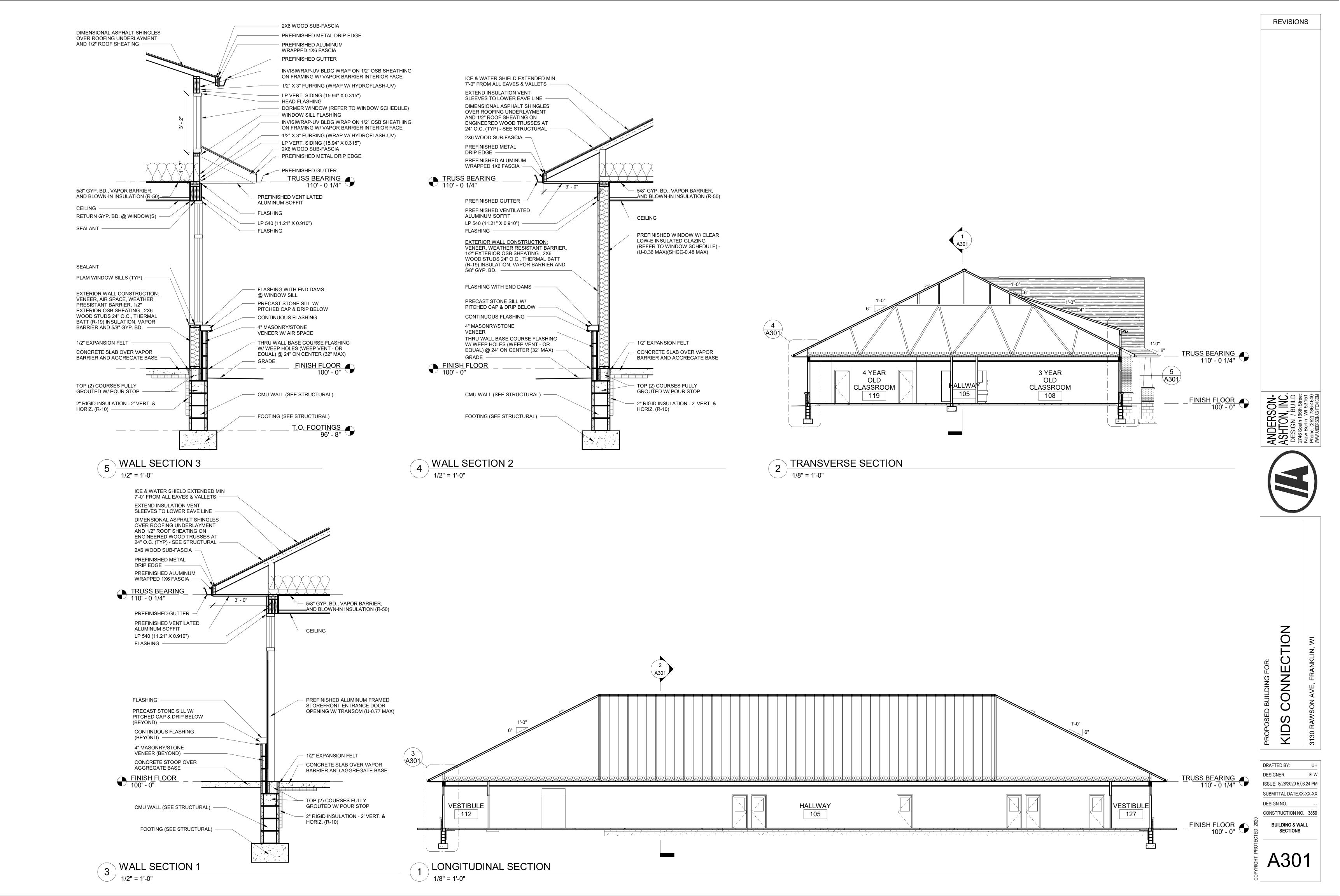


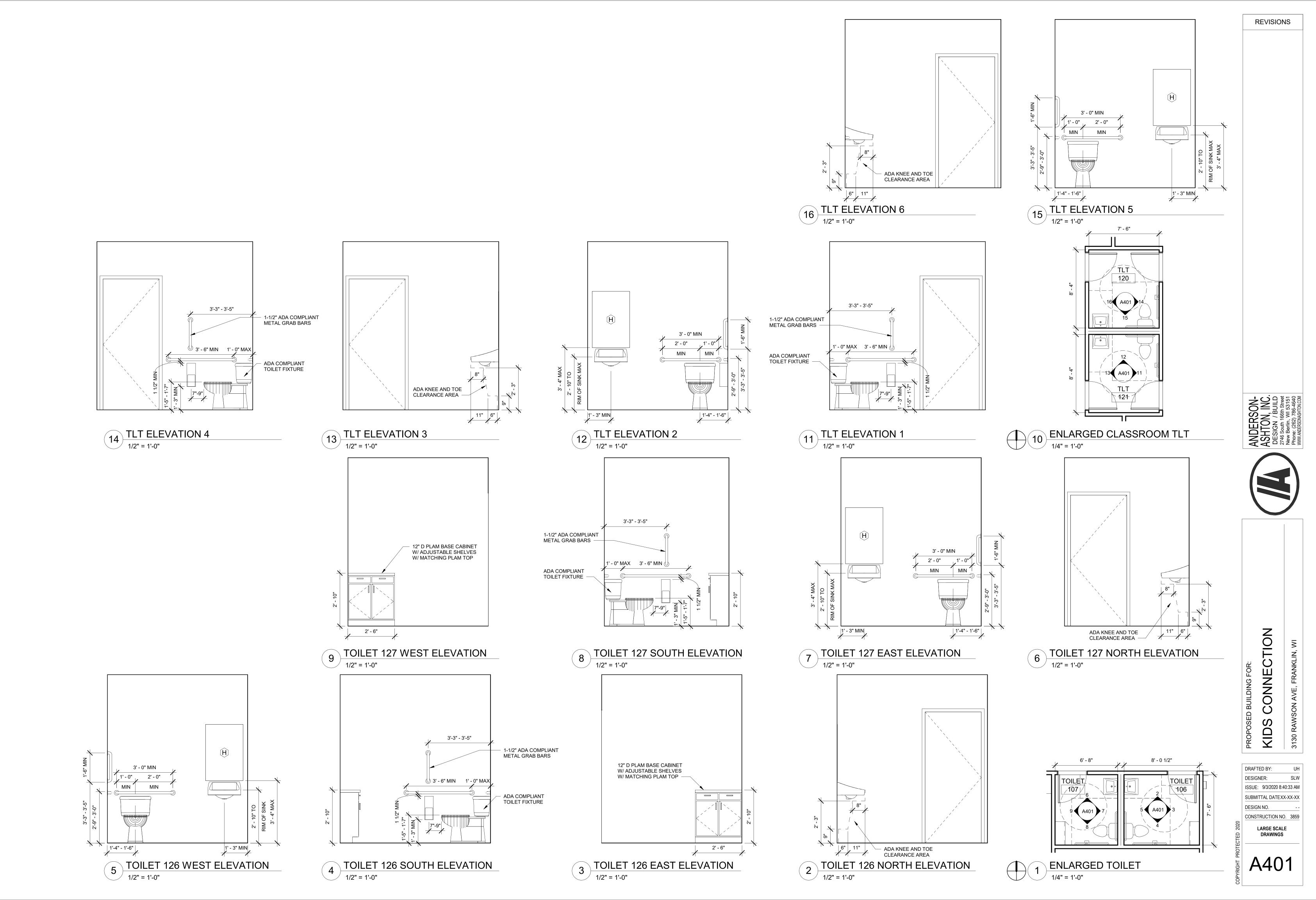
KIDS CONNECTION

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SUBMITTAL DATE: 9-4-2020
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EXTERIOR ELEVATIONS







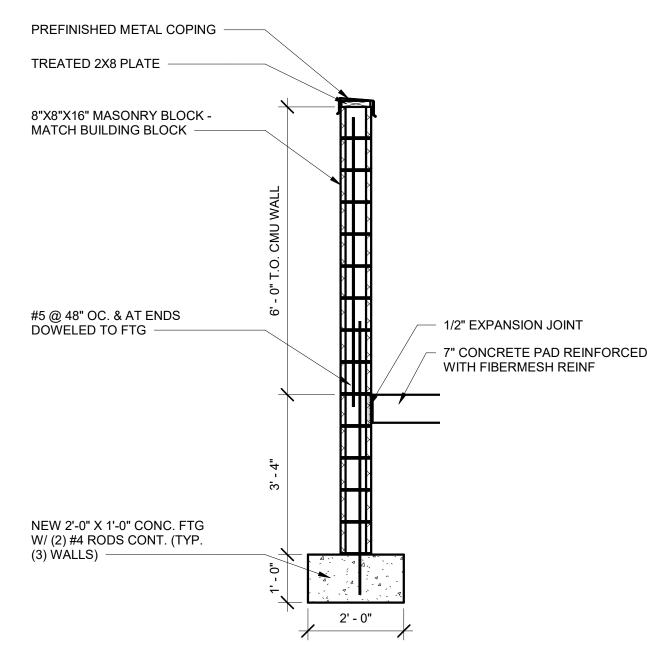
DESIGN NO. CONSTRUCTION NO. 3859

DUMPSTER ENCLOSURE & MONUMENT SIGN DRAWINGS

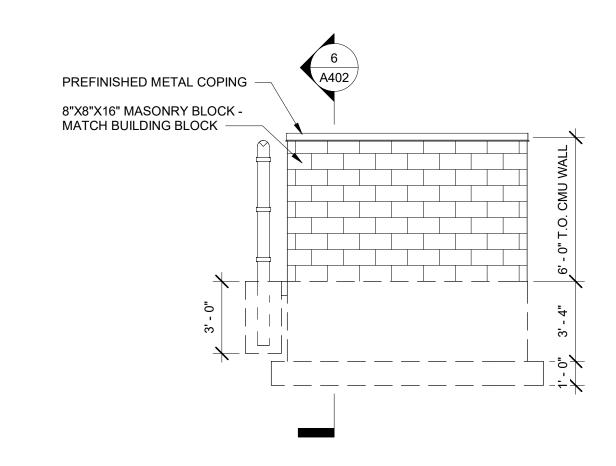
A402

MAVER CK[™]- I (Industrial) Aberdeen 2 Horizontal Rails 4 Horizontal Rails 4 & 9 inch diamonds

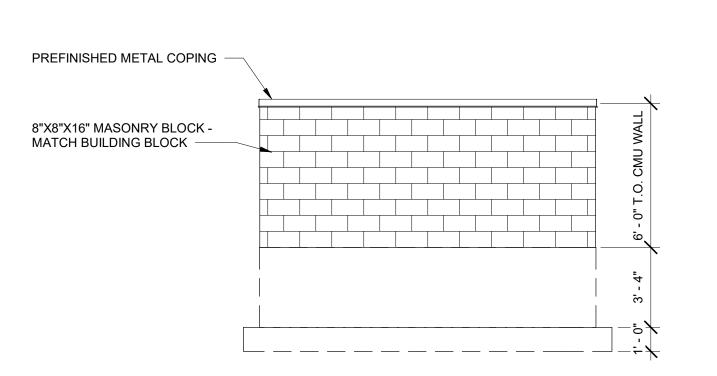
DECORATIVE FENCE



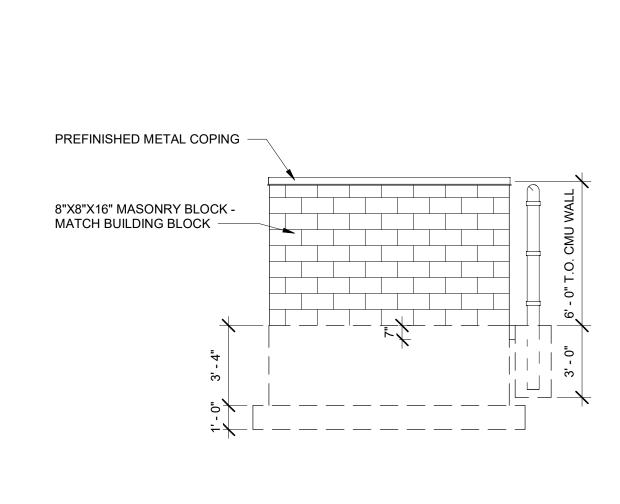
DUMPSTER WALL SECTION



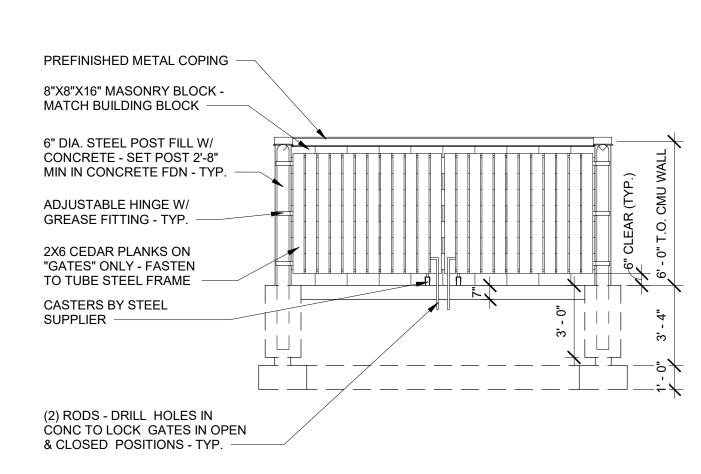
DUMPSTER ENCLOSURE EAST ELEVATION



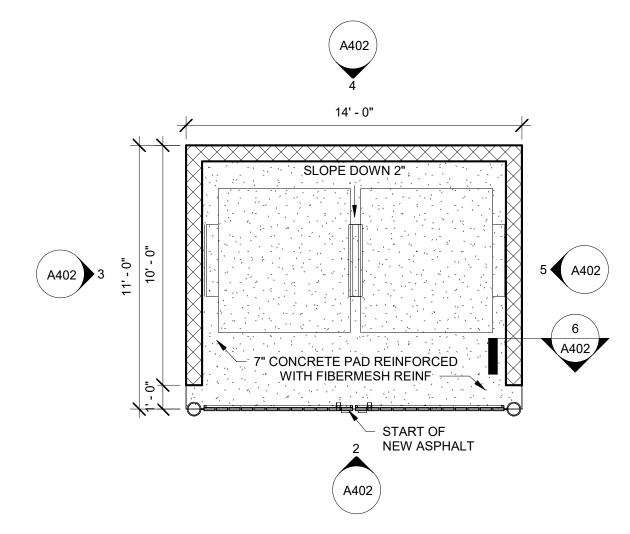
DUMPSTER ENCLOSURE NORTH ELEVATION



DUMPSTER ENCLOSURE WEST ELEVATION



DUMPSTER ENCLOSURE SOUTH ELEVATION



DUMPSTER ENCLOSURE PLAN

			DOOR S	CHEDUL	E				
	NUMBER LOCATION SIDE DATING DOOR DOOR FRAME HARDWARE Comments								
NUMBER	LOCATION	FIRE RATING	SIZE	STYLE	FINISH	STYLE	FINISH	GROUP	Comments
FINISH FLOO	OR .	-	1						
100A	VESTIBULE		6' - 2" X 7' - 0"	DA1-2	PF	F-A2	PF	3	
100B	VESTIBULE		6' - 2" X 7' - 0"	DA1-2	PF	F-A2	PF	4	
101	OFFICE		3' - 0" X 7' - 0"	DW4	PF	F-HM1	PF	5	
102	OFFICE		3' - 0" X 7' - 0"	DW4	PF	F-HM1	PF	5	
103	JANITOR/ MECH ACCESS		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	2	
106	TOILET		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	7	
107	TOILET		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	7	
108	3 YEAR OLD CLASSROOM		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
109A	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
109B	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
110A	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
110B	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
111	3 YEAR OLD CLASSROOM		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
112A	VESTIBULE		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	6	
112B	VESTIBULE		3' - 6" X 7' - 0"	DA1	PF	F-A1	PF	4	
114	SERVICE		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	2	
115	MECH		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	2	
116	RESOURCE ROOM AND ART SUPPLIES		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
117	PANTRY		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
118	HSKP		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	2	
119	HALLWAY		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
120A	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
120B	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
121A	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
121B	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
122	HALLWAY		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
123	HALLWAY		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
124	HALLWAY		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
125	HALLWAY		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
126	1 YEAR OLD CLASSROOM		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
127A	VESTIBULE		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	6	
127B	VESTIBULE		3' - 0" X 7' - 0"	DA1	PF	F-A1	PF	4	
128	1 YEAR OLD CLASSROOM		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
129	2 YEAR OLD CLASSROOM		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	
130A	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
130B	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
131A	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
131B	TLT		3' - 0" X 7' - 0"	DW1	PF	F-HM1	PF	1	
132	2 YEAR OLD CLASSROOM		3' - 0" X 7' - 0"	DW3	PF	F-HM1	PF	1	

DOOR HARDWARE KEY

- HINGES, PASSAGE LOCKSET HINGES, STOREROOM LOCKSET HINGES, FLUID CLOSER W/ HOLD OPEN, THRESHOLD,
- WEATHER STRIPPING, SWEEPS (INT & EXT), DRIP CAP, PANIC HARDWARE, PUSH/PULL LOCKSET HINGES, FLUID CLOSER W/ HOLD OPEN, THRESHOLD, WEATHER STRIPPING, SWEEPS (INT & EXT), DRIP CAP, PANIC HARDWARE, ELECTRIC STRIKE, PUSH/PULL LOCKSET
- HINGES, OFFICE LOCKSET, DOOR STOP HINGES, PROTECTION PLATE, PASSAGE SET HINGES, PRIVACY LOCKSET, DOOR STOP

KEY NAM	DESCRIPTION
FLOOR FII	NISH
CPT-1	QUADRUS ALTITUDE WALK-OFF CARPET TILE-ALT5-27 BAUNDARY
CPT-2	CANOPY II CARPET/ MODULAR - LONDON (13299)
EPX-1	EPOXY FINISH
LVT-1	LUXURY VINYL TILE - LOFT WOOD-ALTO
SV-1	ALTRO OPERETTA "CANON-OP2129"
WALL BAS	E
VB-1	DC-XX-2.5' HT JOHNSONITE VINYL BASE - 32 PEBBLE (VINYL BASE TO MATCH TRANSITION)
WALL FINI	SH
GWB	5/8" GYPSUM WALL BOARD
GWB-MR	5/8" MOISTURE RESISTANT GYPSUM WALL BOARD
APPLIED F	INISHES
FRP-1	PEBBLED FIBER REINFORCED PANEL -WHITE
PT-1	PAINT - SATIN FINISH - PAVESTONE SW7642
PT-2	PAINT - EGGSHELL FINISH - BONE BLACK CW-715
PT-3	PAINT - EGGSHELL FINISH - WHITE DOVE PM-19
PT-4	PAINT - EPOXY EGGSHELL FINISH - BONE BLACK CW-715
T-1	TILE
MILLWOR	ζ
PLAM-1	756-58 WILSONART PLASTIC LAMINATE - NATURAL MAPLE
PLAM-2	GESSO TRACERY WILSONART PLASTIC LAMINATE - 4962-38
QZ-1	AVONITE QUARTZ COUNTERTOP
CEILING F	INISHES

VERIFY FINAL FINISHES WITH CLIENT

VINYL FACED DRYWALL TILE IN 2X2 WHITE METALL GRID

5/8" USG 2110 RADAR (OR EQUAL) ACOUSTICAL CEILING TILE IN 2X2 WHITE METAL GRID

DOOR NOTES

5/8" GYPSUM BOARD

1. ALUMINUM D<u>OORS & HARDWARE</u> -ALUMINUM DOORS TO BE MEDIUM STILE WITH ANODIZED FINISH -PANIC HARDWARE TO BE ADAMS-RITE OR EQUAL -DOOR CLOSERS TO BE LCN 4041 OR EQUAL -PROVIDE ADA COMPLIANT THRESHOLD AT EXTERIOR DOORS -PROVIDE WEATHER STRIP AT EXTERIOR DOORS -PROVIDE INTERIOR & EXTERIOR SWEEP AT EXTERIOR DOORS

2. WOOD DOORS & HARDWARE -PREMACHINED AND PREFINISHED WOOD DOORS TO BE PLAIN SLICED WOOD VENEER TYPE -SEE SCHEDULE FOR VISION LITE TYPE, SIZE AND LOCATION -PANIC HARDWARE TO BE VON DUPRIN

-DOOR CLOSERS TO BE LCN 4041 (NO SUBSTITUTES) W/SPRAYED FINISH (SEE NOTE BELOW) -DOOR MANUFACTURER TO INSTALL VISION LITES ON ALL PREMACHINED & PREFINISHED WOOD DOORS -DOOR MANUFACTURER TO INSTALL VISION LITES ON ALL FIRE RATED WOOD DOORS -DOORS & GLAZING BY DOOR SUPPLIER

-ON CARPENTER SUPPLIED DOORS (NOT PREMACHINED & PREFINISHED) CARPENTER SHALL CUT-IN AND INSTALL GLAZING PER SCHEDULE EXCEPT AT FIRE RATED DOORS

-DOORS AND FRAMES TO BE FACTORY PRIMED, THEN PAINTED ON SITE BY PAINTING CONTRACTOR -FRAMES TO BE TO BE 16 GA STEEL -DOOR LEAVES TO BE 18 GA STEEL

-PANIC HARDWARE TO BE VON DUPRIN, FIRST CHOICE OR EQUAL -DOOR CLOSERS TO BE LCN 4040 OR EQUAL

-EXTERIOR DOOR TO HAVE INSULATED GLASS

-EXTERIOR LOCKSETS, PRIVACY & PASSAGE SETS TO BE SCHLAGE HEAVY DUTY "D" SERIES -INTERIOR LOCKSETS, PRIVACY & PASSAGE SETS TO BE SCHLAGE HEAVY DUTY "AL" SERIES -HANDLES TO BE LEVER STYLE PER ADA REQUIREMENTS AT ALL DOORS

-ALL HARDWARE TO BE BRUSHED CHROME FINISH -DOOR CLOSERS TO BE PAINTED BY PAINTING CONTRACTOR TO MATCH BRUSHED CHROME FINISH -EXTERIOR RAIN DRIPS TO BE ALUMINUM -THRESHOLD TO BE REESE S256A

-WEATHER STRIP TO BE REESE 756A -SWEEP TO BE REESE 967C (PROVIDE INTERIOR AND EXTERIOR SWEEPS)

-EXTERIOR DOORS WITH 1-1/2 HOUR RATING OR GREATER ARE NOT PERMITED TO HAVE WIRED GLASS -IN 20 MINUTE LABELED DOORS THE AMOUNT OF WIRED GLASS IS UNLIMITED

GENERAL PAINT NOTES

FINISHED WALLS AND INSPECT FOR IMPERFECTIONS AFTER DRYWALL CONTRACTOR APPLIES PRIME COAT. PATCH & REPAIR IMPERFECTIONS AS REQUIRED BEFORE PAINTING BY PAINT CONTRACTOR BEGINS.

- MASON TO REVIEW MASONRY SPECIFICATIONS ON SHEET S1.0 FOR FINISH SPECIFICATIONS ON NON-PAINTED CMU UNITS OR BRICK

PAINTING & FINISHING

BY PAINTING CONTRACTOR

<u>1. CONCRETE BLOCK (PAINTED)</u> INSPECT ALL MORTAR JOINTS TO ENSURE THEY HAVE NO HOLES, GAPS, OR VOIDS. CHECK MORTAR TO ENSURE THE PH IS NEUTRAL. REMOVE ALL CONTAMINATION ON THE SUBSTRATE. CAULK ALL INSIDE CORNERS, CRACKS AND HOLES W/ TREMCO DYMONIC CAULK PRIOR TO PAINTING.

2. SPLIT-FACE AND SMOOTH FACE BLOCK

- APPLY ONE (1) FILL COAT AND ONE (1) FINISH COAT OF SHERWIN WILLIAMS ELASTOMERIC, APPLY TO ACHIEVE A MONOLITHIC COATING MEMBRANE PER MANUFACTURER RECOMMENDATIONS (COATING MAY BE SPRAYED, BUT MUST BE BACKROLLED.)

3. CONTROL JOINTS

- DYMONIC CAULK OVER POLY. ROPE BACK-UP (INTERIOR AND EXTERIOR) JOINTS MUST BE PRIMED ACCORDING TO TREMCO (1-800-852-9068) NOTE: EXTERIOR CAULK COLOR TO MATCH MASONRY COLOR.

4. HOLLOW METAL DOORS AND FRAMES (PREPRIMED)

- TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. DRY FILM THICKNESS (D.F.T.) (CAULK INTERIOR AND EXTERIOR SIDE OF FRAME TO CONCRETE BLOCK W/ DYMONIC CAULK)

5. STEEL LINTELS (PRE-PRIMED)
- TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. DRY FILM THICKNESS (D.F.T.) (FINISH TO MATCH ADJACENT WALL COLOR).

ONE (1) COAT OF METAL PRIMER, APPLY TO ACHIEVE 2.0 MILS. D.F.T. AND TWO (2) FINISH

COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. D.F.T.

7. METAL DOWNSPOUTS AND GUTTERS
- MANUFACTURER PREFINISHED COLOR TO MATCH EXISTING.

I. CONC. BLOCK (GENERAL AREAS)

ONE (1) FILL COAT OF LATEX BLOCK FILLER APPLY AT 75 S.F./GAL. AND TWO (2) FINISH COATS OF LATEX EGGSHELL ENAMEL, APPLY AT 200 S.F./GAL.

2. CONC. BLOCK (AT TOILETS)
- ONE (1) FILL COAT OF LATEX BLOCK FILLER APPLY AT 75 S.F./GAL. AND TWO (2) FULL AND SEPARATE FINISH COATS OF LATEX SEMI-GLOSS, APPLY AT 200 S.F./GAL.

3. HOLLOW METAL DOORS AND FRAMES SAME AS EXTERIOR HOLLOW METAL DOORS.

ONE (1) PRIME COAT OF LATEX PRIMER AND (2) TWO FINISH COATS OF LATEX SEMI-GLOSS ENAMEL. APPLY AT 200 S.F./GAL. (OVER SMOOTH FINISHED DRYWALL).

ONE (1) PRIME COAT OF LATEX PRIMER AND (2) TWO FINISH COATS OF LATEX SEMI-GLOSS ENAMEL. APPLY AT 200 S.F./GAL. (OVER SMOOTH FINISHED DRYWALL).

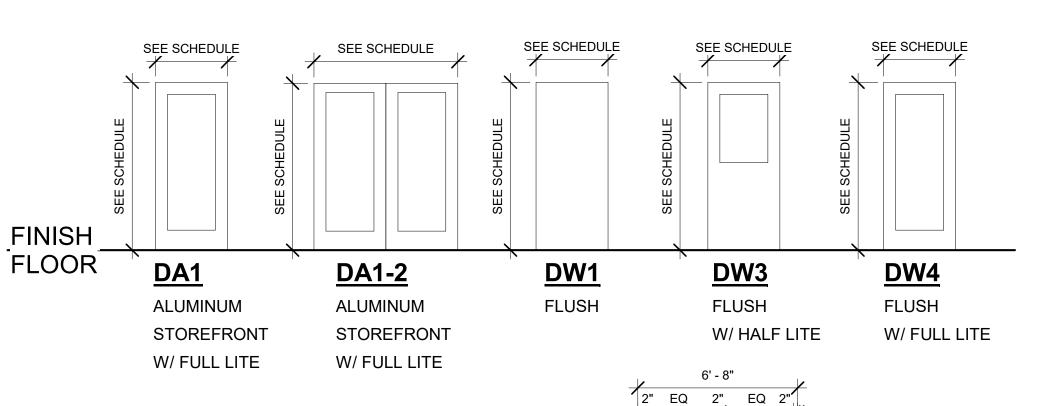
ONE (1) COAT OF STAIN AND SEALER TO MATCH EXISTING, SAND THIS APPLICATION SMOOTH, AND APPLY TWO (2) FINISH COATS OF VARNISH (SAND BETWEEN COATS). CARPENTER TO SINK ALL NAILS. PAINTER TO FILL ALL NAIL HOLES W/ MATCHING COLORED PUTTY.

7. STEEL STAIR STRINGERS, RISERS, AND RAILINGS

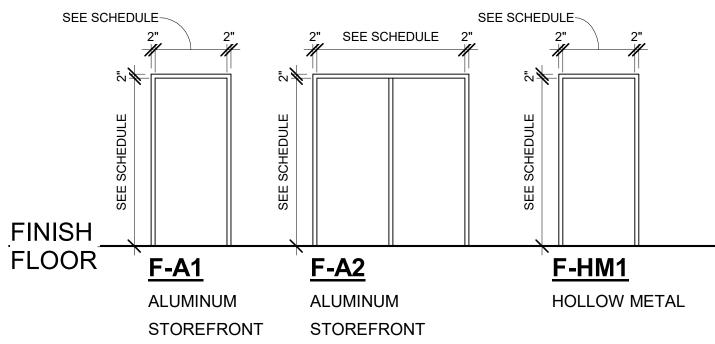
- ONE (1) COAT OF METAL PRIMER, APPLY TO ACHIEVE 2.0 MILS. D.F.T. AND TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. D.F.T.

REVISIONS

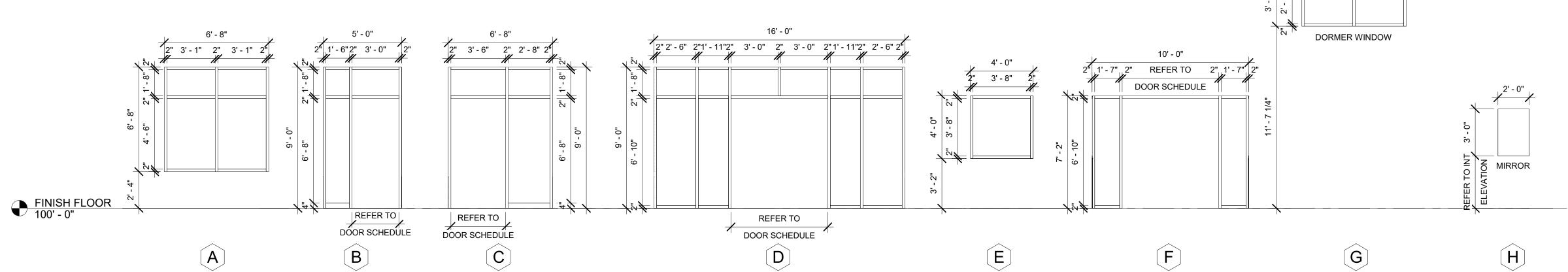
DOOR TYPE DETAILS



FRAME TYPE DETAILS



WINDOW TYP DETAILS



WINDOW NOTES

- PROVIDE THERMALLY BROKEN FRAMES ON ALL EXTERIOR WINDOWS PROVIDE TREMCO DYMONIC CAULKING @ INTERIOR & EXTERIOR

	PERIMETER OF WINDOW FRAMES
3.	ALL WINDOW SILLS TO BE PLAM & HAVE RADIUS CORNERS
4.	GLASS CONTRACTOR TO CAULK DRYWALL TO ALUMINUM FRAMES - TY

	WINDOW SCHEDULE								
MADIC	GLASS	FF	RAME	COMMENTS					
MARK	TYPE	COLOR	MATERIAL	FINISH	COMMENTS				
Α	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE					
В	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE					
С	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE					
D	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE					
E	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE					
F	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE					
G	1" LOW-E INSULATING GLASS	CLEAR	ALUMINUM	DARK BRONZE	DORMER WINDOW TO BE ACID-ETCHED GLASS				
Н	MIRROR GLASS	CLEAR	FRAMELESS	PF	BEVELLED EDGE				

DRAFTED BY: DESIGNER: ISSUE: 8/28/2020 5:03:28 PM SUBMITTAL DATEXX-XX-XX DESIGN NO. CONSTRUCTION NO. 385

A601

SCHEDULES

SEISMIC LOADS

OCCUPANCY CATEGORY IMPORTANCE FACTOR 1.2 SITE CLASS MAPPED SPECTRAL RESPONSE.. 0.09 0.048 g SPECTRAL RESPONSE COEFFICIENTS. 0.076 g SEISMIC DESIGN CATEGORY SEISMIC FORCE RESIST. SYSTEM **WOOD SHEAR WALLS** RESPONSE FACTOR, R RESPONSE COEFFICIENT, Cs DESIGN BASE SHEAR ANALYSIS PROCEDURE **EQUIVALENT LATERAL FORCE** SOIL DESIGN VALUES

NO REFERENCED GEOTECHNICAL REPORT SILTY CLAYEY SAND/GRAVEL SOIL TYPE

ALL VALUES ARE ASSUMED UNLESS REFERENCED IN GEOTECHNICAL REPORT

SOIL UNIT WEIGHT 120 PCF LATERAL EARTH PRESSURE ACTIVE (RETAINING WALLS) 45 PSF/F1 AT-REST (BASEMENT WALLS) 60 PSF/F1 PASSIVE / ALLOWABLE LAT. 300 PSF/F1 ASSUMED ALLOWABLE SOIL BEARING PRESSURES 2,000 PSF LATERAL SLIDING RESISTANCE COEFF. OF SLIDING FRICTION N/A COHESION N/A PSF SUBGRADE MODULUS 100 PCI WATER TABLE ELEVATION

GENERAL REQUIREMENTS

THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INCLUDE THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO: BRACING SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK. OBSERVATION VISITS TO THE SITE BY STRUCTURAL

ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS. THE ARCHITECT AND/OR ENGINEER OF RECORD SHALL NOT HAVE CONTROL OVER OR BE IN CHARGE OF, AND SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

SUBMITTALS PREPARED BY SUBCONTRACTORS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO SUBMITTING TO ARCHITECT/ENGINEER CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES BETWEEN THE CONDITIONS FOUND AND THOSE INDICATED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT

PRIOR TO PROCEEDING WITH THE WORK. SEE DOCUMENTS FROM OTHER DISCIPLINES FOR FLOOR, WALL, AND ROOF OPENINGS,

TRENCHES, PITS, PIPE SLEEVES, EQUIPMENT PADS, METAL PAN STAIRS, MISCELLANEOUS IRON, ETC. DO NOT PLACE PIPES, DUCTS, CHASES, ETC. IN STRUCTURAL BEAM AND COLUMN

MEMBERS. DO NOT CUT ANY STRUCTURAL MEMBER FOR PIPES, DUCTS,, ETC., UNLESS NOTED OTHERWISE. NOTIFY STRUCTURAL ENGINEER WHEN DOCUMENTS BY OTHER DISCIPLINES SHOW OPENINGS, POCKETS, ETC. NOT INDICATED IN THE STRUCTURAL DRAWINGS BUT ARE LOCATED IN THE STRUCTURAL MEMBERS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM STRUCTURAL ENGINEER FOR INSTALLATION OF SUCH PIPES, DUCTS, CHASES, ETC.

DETAILS LABELED "TYPICAL" ON THE STRUCTURAL DRAWINGS APPLY TO ALL SITUATIONS OCCURRING ON PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE LOCATIONS SPECIFICALLY INDICATED. WHERE A DETAIL IS NOT INDICATED THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR CONDITIONS

CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY LICENSED PROFESSIONAL ENGINEERS REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, DESIGN LOAD DATA, SUPPORT REACTIONS, AND CERTIFICATION THAT ELEMENTS WERE DESIGNED FOR LOADS SPECIFIED IN THE CONTRACT DOCUMENTS OR IN THE BUILDING CODE. ALL DOCUMENTS NOTED SHALL BE SEALED BY THE LICENSED ENGINEER. IF CRITERIA INDICATED ARE NOT SUFFICIENT, SUBMIT A WRITTEN REQUEST FOR ADDITIONAL INFORMATION TO THE ARCHITECT. THE FOLLOWING ELEMENTS AND THEIR CONNECTIONS SHALL BE CONTRACTOR DESIGNED:

> WOOD TRUSS GIRDERS & PREFABRICATED WOOD TRUSSES AS COMPONENT SUBMITTAL

MASONRY VENEERS

ALL VENEER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:

A. ACI 530.1/ ASCE 6 /TMS 602 "SPECIFICATION FOR MASONRY STRUCTURES"

B. ACI 530 /ASCE 5 / TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES"

SEE ACI 530.1 / ASCE 6 /TMS 602-05 TABLES C-4 AND C-5 FOR ASTM SPECIFICATION

MORTAR SHALL BE TYPE N OR S, CONFORMING TO ASTM C270.

THE AIR SPACE BETWEEN THE VENEER AND THE BUILDING WALL IS TO BE NO LESS THAN 1" AND NO GREATER THAN 4 1/2".

WICK AND TUBE WEEP SPACING SHALL NOT BE GREATER THAN 16" O.C., OPEN HEAD JOINT WEEPS SHALL NOT BE SPACED GREATER THAN 24" O.C.

VENEER ANCHORS SHALL BE A MINIMUM W1.7 ADJUSTABLE WIRE ANCHORS, HOT DIPPED GALVANIZED, TWO PIECE PER ASTM A 153 CLASS B-2. THE HORIZONTAL SPACING SHALL BE 32" O.C. MAX.. THE VERTICAL SPACING SHALL BE 18" O.C. MAX. THE MAXIMUM WALL AREA THAT ONE ANCHOR MAY TIE SHALL BE LESS THAN 2 SQFT

VENEER ANCHORS SHALL BE SECURED:

A. TO STEEL STUDS THRU SHEETING WITH A MINIMUM OF (2) - #10 (.190 IN. DIA.) SELF-TAPPING SCREWS.

B. TO WOOD STUDS THRU SHEETING WITH A MINIMUM OF (2) - 8d (.131 IN DIA.) GALVANIZED NAILS.

C. TO STRUCTURAL MASONRY WALL WITH A MINIMUM OF (2) - 3/16" DIA. MASONRY SCREWS.

VERTICAL EXPANSION JOINTS SHALL BE PLACED AS FOLLOWS:

A. MAXIMUM OF 25' O.C.

B. AT ALL CORNERS, OFFSETS, INTERSECTIONS, OR SETBACKS.

C. AT CHANGES IN WALL HEIGHT.

D. AT ONE END OF ALL LINTELS.

HORIZONTAL EXPANSION JOINTS SHALL BE PLACED AS FOLLOWS:

A. LOCATE IMMEDIATELY BELOW SHELF ANGLES.

BEARING LENGTH OPENING WIDTH L3 1/2 X 3 1/2 X 5/16" 4'-0 L4 X 3 1/2 X 5/16" (LLV) 5'-0 L4 X 3 1/2 X 5/16" (LLV) L5 X 3 1/2 X 5/16" (LLV) 6'-0 7'-0 L6 X 3 1/2 X 5/16" (LLV)

10. VENEER LINTELS UNLESS NOTED ON THE DRAWINGS SHALL BE AS FOLLOWS:

SPREAD FOUNDATIONS

ALL FOUNDATIONS SHALL BE SUPPORTED ON APPROVED EXISTING SUBGRADE OR APPROVED COMPACTED STRUCTURAL FILL HAVING A MINIMUM ALLOWABLE BEARING CAPACITY AS INDICATED IN THE SOIL DESIGN VALUES. SUBSURFACE CONDITIONS SHALL BE IMPROVED TO MEET CAPACITY WHEN REQUIRED, AS RECOMMENDED IN GEOTECHNICAL REPORT.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE TEST BORINGS OR GEOTECHNICAL REPORTS. THIS DATA IS INCLUDED TO ASSIST THE CONTRACTOR DURING BIDDING AND SUBSEQUENT CONSTRUCTION, AND TO REPRESENT CONDITIONS ONLY AT SPECIFIC

LOCATIONS AT THE PARTICULAR TIME THE OBSERVATIONS WERE MADE. ALL EXTERIOR FOUNDATIONS SHALL BEAR ON APPROVED SUBGRADE AT MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.

FOOTING ELEVATIONS SHOWN ON THE DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS IN ALL

EXCAVATIONS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT OF SURROUNDING SOIL AND/OR PROPERTY WHICH WILL ENDANGER LIVES OR PROPERTY.

THE CONTRACTOR SHALL PROVIDE CONTROL OF SURFACE AND SUBSURFACE WATER PROMPTLY TO ENSURE THAT ALL FOUNDATION WORK IS PERFORMED IN A DRY CONDITION. FOUNDATIONS SHALL NOT BE PLACED ON FROZEN SUBGRADE

THE CONTRACTOR SHALL PROTECT IN-PLACE FOUNDATIONS AND SLABS-ON-GRADE FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE. 10. FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND COMPACTION OPERATIONS. BRACING SHALL BE LEFT IN PLACE UNTIL

PERMANENT STRUCTURAL SUPPORT SYSTEM IS INSTALLED AND APPROVED

BY THE ENGINEER. WHERE FOUNDATION WALLS HAVE FILL ON BOTH SIDES, BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF THE WALL

REINFORCED MASONRY

ACI 530.1/ASCE 6/TMS602	SPECIFICATION FOR	R MASONRY STRUCTURES
ACI 530/ASCE 5/TMS 402	BUILDING CODE RE	QUIREMENTS FOR
	MASONRY STRUCTI	URES
MATERIALS:		
CONCRETE MASONRY BLOCK	ASTM C-90	2,800 PSI
TYPE M/S MORTAR	ASTM C270	
GROUT (28 DAY STRENGTH)	ASTM C476	2,000 PSI
REINFORCING BARS	ASTM A615 Gr 60	Fy=60 KSI
·		· · · · · · · · · · · · · · · · · · ·

THE REQUIRED MINIMUM 28 DAY COMPRESSIVE STRENGTH OF THE COMBINATION OF CONCRETE BLOCK, GROUT AND MORTAR ON THE NET AREA OF THE CONSTRUCTION (fm) SHALL BE A MINIMUM OF 2,000 PSI. ALL CONCRETE BLOCK MASONRY UNITS SHALL BE LAID IN RUNNING BOND, U.N.O.

MASONRY BLOCK CELLS CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID. FILLING CELLS WITH MORTAR IS UNACCEPTABLE. THE BASE OF EACH CELL IN WHICH REINFORCING BAR IS PLACED MUST

HAVE A CLEAN OUT HOLE.

VERICAL REINFORCING BARS SHALL BE LAPPED PER SCHEDULE. MECHANICAL SPLICES MAY BE USED IN LIEU OF LAP SPLICES. PROVIDE CONTINUOUS REINFORCED BON-BEAMS IN ALL REINFORCED

MASONRY WALLS AT THE TOP, AND AS REQUIRED IN THE CONTRACT DRAWINGS. BOND-BEAMS AT THE TOP OF THE WALL SHALL BE CONTINUOUS AT MASONRY CONTROL JOINTS. ALL OTHER BOND-BEAMS SHALL NOT BE CONTINUOUS AT MASONRY CONTROL JOINTS. BOND-BEAM REINFORCING SHALL EXTEND INTO AND BE CONTINUOUS WITH ALL INTERSECTING BOND BEAMS.

REINFORCED MASONRY WALLS SHALL HAVE #9 GAUGE (LADDER TYPE) HORIZONTAL REINFORCING AT SPACING AS NOTED ON CONTRACT DRAWINGS, BUT AT A MAXIMUM OF 16" O.C. VERTICALLY.

FILL CORES OF MASONRY UNDER ALL BEARING PLATES. THE MINIMUM WIDTH SHALL BE 3 TIMES THE BEARING PLATE LENGTH FOR THREE COURSES BELOW BEARING, U.N.O.

CONCRETE REINFORCING

WELDED WIRE FABRIC

ACI 315 DETAIL AND DETAILING OF CONCRETE REINFORCING ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE MSP2 CRSI MANUAL OF STANDARD PRACTICE AWS D1.4 STRUCTURAL WELDING CORE - REINFORCING STEEL WELDED WIRE FABRIC MANUAL OF STANDARD FABRIC

MATERIALS: REINFORCING BARS ASTM A615 Gr 60 FY=60 KSI

THE REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.

ASTM A185

THE REQUIRED CLEARANCE FOR REINFORCEMENT (UNO) SHALL BE 3" FOR CONCRETE PLACED DIRECTLY AGAINST EARTH, 2" (#6 OR LARGER) AND 1-1/2" (#5 & SMALLER) FOR CONCRETE EXPOSED TO EARTH OR WEATHER. 1-1/2" (#14 & LARGER) AND 3/4" (#11 & SMALLER) FOR CONCRETE NOT EXPOSED TO EARTH OR WEATHER.

THE CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON THE CONTRACT DRAWINGS FOR ADDITIONAL REINFORCING REQUIREMENTS. WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS

CONSIDERED TYPICAL WHEREVER THE SECTION APPLIES. WELDED WIRE FABRIC SHALL HAVE A MINIMUM OF 6" LAP AND BE TIED

TOGETHER. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF COMPLETION OF REINFORCEMENT INSTALLATION AND ALLOW AT LEAST 24 HOURS BEFORE SCHEDULED CONCRETE PLACEMENT FOR THE ARCHITECT TO INSPECT

CONCRETE SPECIFICATIONS

REINFORCEMENT.

**CONCRETE CONTRACTOR TO WORK OUT WITH ELECTRICIAN OR CONSTRUCTION MANAGER A LOCATION NEAR THE ELECTRICAL SERVICE TO PROVIDE A GROUNDING REBAR FOR THE ELECTRICIAN TO CONNECT TO

1. INTERIOR CONCRETE FLOORS TO BE 4" THICK AT ALL AREAS AND REINFORCED WITH "FIBERMESH" AT A RATE 1 1/2#/C.Y. OR PER PLANT'S AND/OR MANUFACTURER'S RECOMMENDATIONS. THE CONCRETE CONTRACTOR MAY ALSO \mid PROVIDE WELDED WIRE MESH REINFORCING 6x6- $^{6}\!\!\!/_{6}$ OR EQUIVALENT IF APPROVED BY GENERAL CONTRACTOR.

THE FLOOR IS TO RECEIVE ONE COAT OF LIQUID CURING FLOOR TREATMENT. (SPECIAL SEALER SPECIFIED ON ARCHITECTURAL ROOM SCHEDULES IF REQUIRED)

3. 4" THICK COMPACTED GRANULAR LIFT SHALL BE INCLUDED UNDER THE FLOOR SLAB.

4. EXTERIOR CONCRETE SIDEWALKS SHALL BE 5" THICK, AIR-ENTRAINED AND REINFORCED WITH "FIBERMESH" AT A RATE 1#/C.Y. OR PER PLANT'S AND/OR MANFACTURER'S RECOMMENDATIONS.THE CONCRETE CONTRACTOR MAY ALSO PROVIDE WELDED WIRE MESH REINFORCING 6X6-% OR EQUIVALENT IF APPROVED BY GENERAL CONTRACTOR.

5. CONCRETE FLOORS SHALL BE SAW CUT WITH A "SOFT CUT" SAW TO THE DEPTH AND SPACING PROPORTIONATE TO THE FLOOR THICKNESS IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE'S RECOMMENDATIONS

6. A VAPOR BARRIER SHALL BE INSTALLED BETWEEN THE SUBGRADE AND CONCRETE FLOOR SLAB

STRUCTURAL FOUNDATION / FRAMING PLANS ARE BASED ON THE FOLLOWING FINISH CONCRETE FLOOR ELEVATION = 00.0' SUB-GRADE ELEVATION (-0'-8" B.F.F.)

STRUCTURAL STEEL

MATERIALS:

HEADED STUD ANCHORS

SPECIFICATIONS FOR DESIGN, FABRICATION AND AISC ERECTION OF STEEL BUILDINGS CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AWS D1.1 STRUCTURAL WELDING CODE - STEEL

STRUCTURAL STEEL DETAILING MANUA

HOT ROLLED W & WT SHAPES ASTM A992 Fy=50 KSI ANGLES, CHANNELS & PLATES ASTM A36 Fv=36 KSI ASTM A36 Fy=36 KSI S, M & HP SHAPES STEEL PIPE ASTM A53 Gr B Fy=35 KSI ASTM A500 Gr B Fy=46 KSI RECTANGULAR HSS ASTM A500 Gr B Fy=46 KSI ROUND HSS HIGH STRENGTH BOLTS ASTM A325 **HEAVY HEX NUTS** ASTM A563 HARDENED STEEL WASHERS ASTM A436 **ANCHOR RODS** ASTM F1554 Gr 36 Fy=36 KSI THREADED RODS ASTM A36 Fy=36 KSI

PROVIDE 2 MIL. THICKNESS GRAY OXIDE PRIMER ON ALL STEEL

SURFACES (U.N.O.). ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED PER ASTM A123 AND FASTENERS HOT DIPPED GALVANIZED PER ASTM A153.

ASTM A108

ANCHOR RODS SHALL BE PRESET WITH TEMPLATES. LEVELING PLATES AND BEARING PLATES SHALL BE SET IN A FULL BED OF NON-SHRINK GROUT.

CONNECTIONS MAY BE BOLTED OR WELDED AT THE FABRICATORS OPTION. BOLTED CONNECTIONS SHALL BE A MINIMUM BOLT DIAMETER OF 3/4" U.N.O., HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR U.N.O. AND SIMPLE SHEAR CONNECTIONS SHALL BE CAPABLE OF END ROTATION PER AISC

REQUIREMENTS FOR UNRESTRAINED MEMBERS. THE MINIMUM FILLET WED SIZE SHALL NOT BE LESS THAN 3/16" U.N.O. ALL WELDS SHALL USE WELD METAL CONFORMING TO E70XX AND CONFORMING TO AWS WELDING PROCEDURES AND STANDARDS.

ALL WELDS SHALL BE MADE BY AWS CERTIFIED WELDERS CERTIFIED IN THE POSITION IN WHICH THE WELD IS TO BE MADE. THE ERECTION OF ANY STRUCTURAL STEEL MEMBERS SHALL NOT COMMENCE UNTIL ALL SUPPORTING CONCRETE/MASONRY ELEMENTS HAVE ATTAINED AT LEAST 75% OF THEIR INTENDED MINIMUM COMPRESSIVE

STRENGTH. 10. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS AS REQUIRED FOR THE SAFE ERECTION OF ALL STEEL. TEMPORARY BRACING SHALL REMAIN IN PLACE UNTIL PERMANENT BRACING HAS BEEN INSTALLED AND FLOOR SLAB CONCRETE HAS

ATTAINED 75% OF ITS REQUIRED STRENGTH. 11. STRUCTURAL STEEL SHALL BE TRUE AND PLUMB BEFORE FINAL BOLTING OR WELDING OF CONNECTIONS.

12. THE CONTRACTOR SHALL NOT MODIFY OR CUT ANY STRUCTURAL STEEL WITHOUT WRITTEN APPROVAL FROM THE EOR

13. THE CONTRACTOR SHALL FIELD TOUCH UP ALL ABRASIONS, BURNS, AND SIMILAR DEFECTS IN PAINT OF STRUCTURAL STEEL

POST-INSTALLED ANCHORS

THE DIAMETER, EMBEDMENT LENGTH AND TYPE OF ADHESIVE ANCHORS, EXPANSION ANCHORS, AND SCREW ANCHORS SHALL BE SPECIFIED ON THE

THE SUBSTITUTION OF OTHER MANUFACTURER'S SIMILAR PRODUCTS IS ALLOWED, PROVIDED THAT THE SIZE IS EQUAL TO, AND CAPACITY IN SHEAR AND UPLIFT ARE EQUAL TO OR GREATER THAN WHAT IS SPECIFIED ON THE DRAWINGS. THE COST OF REDESIGN OF SUCH SUBSTITUTIONS SHALL BE BORE BY THE CONTRACTOR.

INSTALLATION OF ANCHORS SHALL STRICTLY FOLLOW ALL MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS. ALL DRILL HOLE PREPARATIONS SHALL BE FOLLOWED.

NO LOAD SHALL BE APPLIED TO ADHESIVE ANCHORS PRIOR TO THE FULL CURE

TIME AS SPECIFIED BY THE MANUFACTURER TESTING OF 10% OF ALL INSTALLED ANCHORS IS REQUIRED. TESTED ANCHORS SHALL MEET THE MANUFACTURER'S PROOF LOAD REQUIREMENTS AND/OR INSTALLATION TORQUE REQUIREMENTS. MALFUNCTIONING FASTENERS SHALL

PREFABRICATED WOOD TRUSSES

WOOD TRUSSES SHALL CONFORM TO THE LATEST EDITION OF THE "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES", PUBLISHED BY THE TRUSS PLATE INSTITUTE

THE WOOD TRUSS FABRICATOR SHALL SUBMIT CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE CALCULATIONS MUST BE STAMPED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE LOCAL JURISDICTION

THE WOOD TRUSSES SHALL BE ERECTED AND BRACED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN "BRACING OF WOOD TRUSSES: COMMENTARY AND

ALL WOOD TRUSSES SHALL BE SUPPORTED BY DIRECT END BEARING ON WALLS,

DESIGN LOADS FOR TRUSSES SHALL BE AS NOTED ON DRAWINGS.

BEAMS, COLUMNS, OR JOIST HANGERS.

DESIGN TRUSS MEMBERS FOR CONCENTRATED LOADS OF SPRINKLER PIPING AND OTHER MECHANICAL LOADS.

LOADING : TCLL 30 PSF 10 PSF TCDL BCLL 0 PSF BCDL SPACING: 24" OC 3'-0" OVERHANG FROM BEARING STUD WALL HEEL HEIGHT: 1'-11 1/8"

CONCRETE

CODES: ACI 301 SPECIFICATION FOR STRUCTURAL CONCRETE ACI MCP MANUAL OF CONCRETE PRACTICE ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE

MATERIALS (28 DAY COMPRESSIVE STRENGTH): FOOTINGS f'c=3,000 PSI SLAB ON GRADE f'c=4,000 PSI WALLS/GRADE BEAMS f'c=4,000 PSI BEAMS/COLUMNS f'c=4,000 PSI CONCRETE ON METAL DECK f'c=4,000 PSI

CONCRETE MIX DESIGN (INCLUDING AGGREGATE SIZE, WATER CEMENT RATIO, AIR ENTRAINMENT, ADMIXTURES, SLUMP AND HISTORY OF BREAK TESTS) SHALL BE SUBMITTED TO THE EOR FOR APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK.

MAXIMUM WATER/CEMENT RATIO PERMITTED SHALL BE 0.50 FOR SLABS ON GRADE, 0.54 FOR BELOW GRADE CONCRETE AND 0.45 FOR EXPOSED CONCRETE. CONCRETE WHICH WILL BE EXPOSED TO THE WEATHER SHALL HAVE AIR-

ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT MAXIMUM AGGREGATE SIZE SHALL BE 3/4" FOR SLABS ON GRADE, WALLS, BEAMS & COLUMNS, 1" FOR FOOTINGS AND 3/8" FOR TOPPING SLABS. CONCRETE SHALL BE EVALUATED ACCORDING TO METHOD 1 OR METHOD

2 AS DESCRIBED IN ACI 301. THE RESULTS OF THESES ANALYSES SHALL BE SUBMITTED TO THE EOR FOR APPROVAL PRIOR TO ANY WORK. AT THE OWNERS OPTION, THE CONTRACTOR SHALL MAKE PROVISIONS TO ALLOW AN INDEPENDENT TESTING FACILITY, HIRED BY THE OWNER, TO CAST 4 TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED, OR FOR ANY DAY'S OPERATION. THE TESTING AGENCY SHALL BE

RESPONSIBLE FOR CASTING AND CURING SPECIMENS IN COMPLIANCE TO ASTM C31 AND CASTING TESTING SPECIMENS IN COMPLIANCE TO ASTM C39. CONSTRUCTION JOINTS SHOWN ON THE CONTRACT DRAWINGS SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT DRAWINGS SHOWING THE LOCATION OF CONSTRUCTION JOINTS, CONTROL JOINTS, AND PLACING SEQUENCE SHALL BE SUBMITTED TO THE

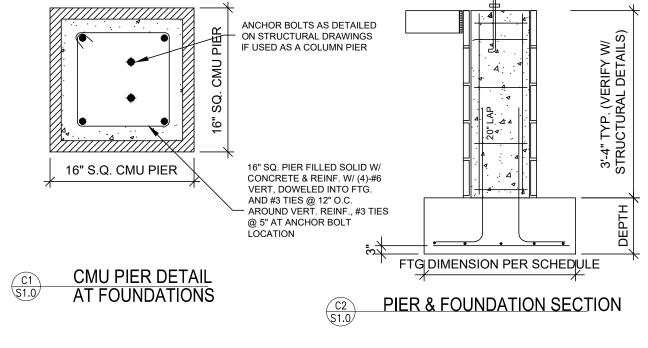
SHOP DRAWINGS. GROUT USED TO SET PLATES SHALL BE NON-SHRINK AND NON-METALLIC THE CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE

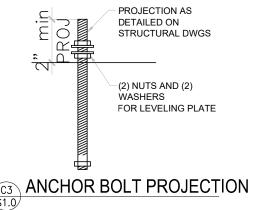
ENGINEER FOR APPROVAL PRIOR TO THE PREPARATION OF REINFORCING

SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN. PROVIDE A MINIMUM OF 6" OF COMPACTED GRANULAR FILL UNDER ALL

SLABS ON GRADE.

FLOOR FLATNESS AND LEVELNESS OF SLAB ON GRADE CONCRETE SHALL HAVE THE FOLLOWING TOLERANCES, AS RECOGNIZED BY THE MOST CURRENT VERSION OF ASTM E 1155 AND ACI 302.1. SEE SPECIFICATION FOR FURTHER REQUIREMENTS (F(F) SPECIFIED OVERALL VALUE (SOV) OF 50. MINIMUM LOCALIZED VALUE (MLV) OF 25 AND F(L) SPECIFIED OVERALL ALUE (SOV) OF 33. MINIMUM LOCALIZED VALUE (MLV) OF 17).





REVISIONS

CAR CONNECTION CHILD

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NTL-F PROJECT DESIGNER: N T L -SUBMITTAL DATE: XX/XX/202 DESIGN NO.

MASONRY PIER SCHEDULE							
MARK WIDTH LENGTH VERTICAL REINFORCING TIES REMARKS							
P1	0' - 11 5/8"	1' - 4"	(2) - #5	#3 @ 8" OC	EXTERIOR WALL AREA		
P2	0' - 7 5/8"	1' - 4"	(3) -# 5	#3 @ 8" OC	INTERIOR WALL AREA		
P3	1' - 4"	1' - 4"	(4) -# 5	#3 @ 12" OC	ENTRANCE PIERS		

2'-8"

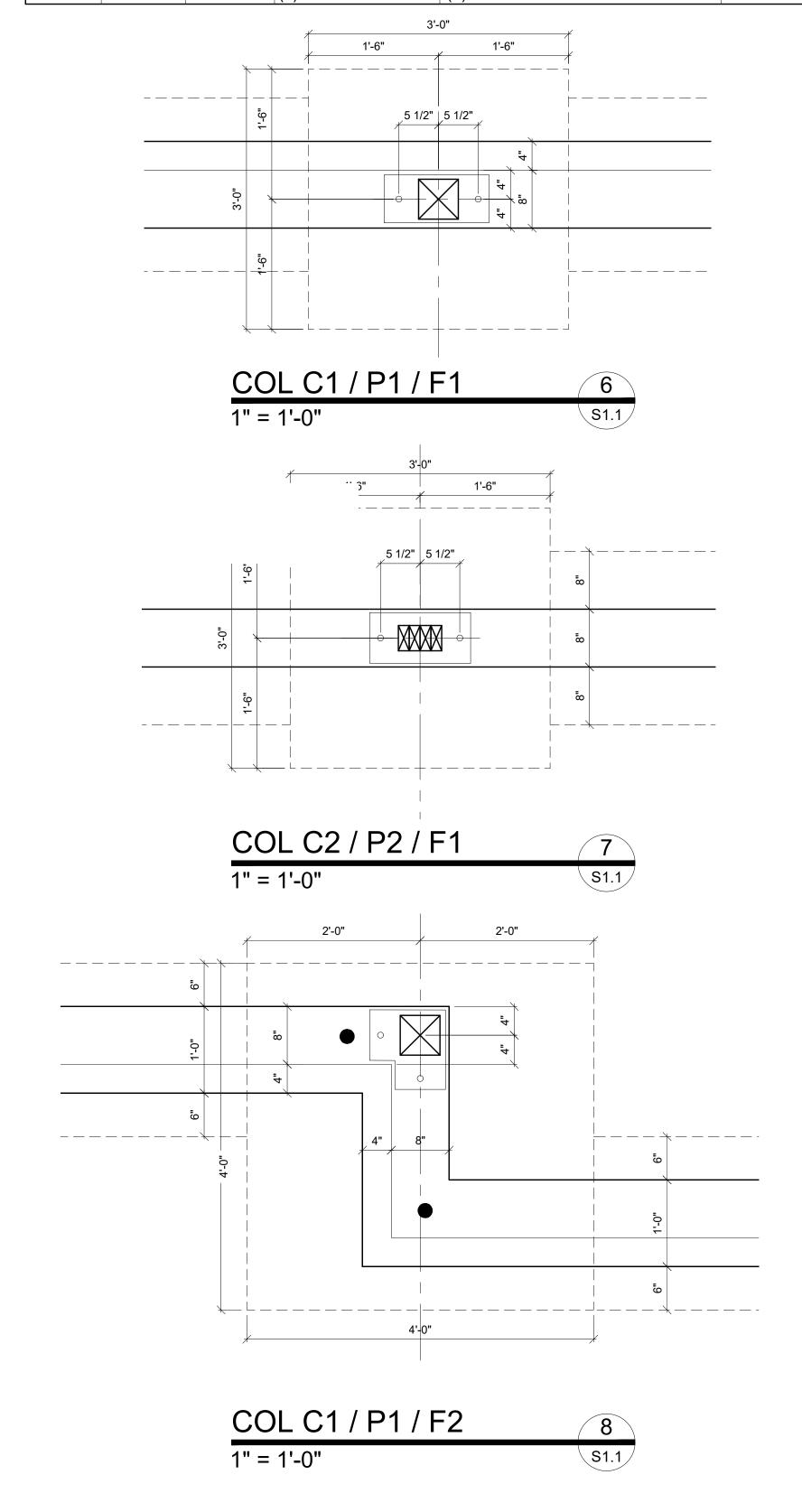
1'-4 3/4"

-+-----

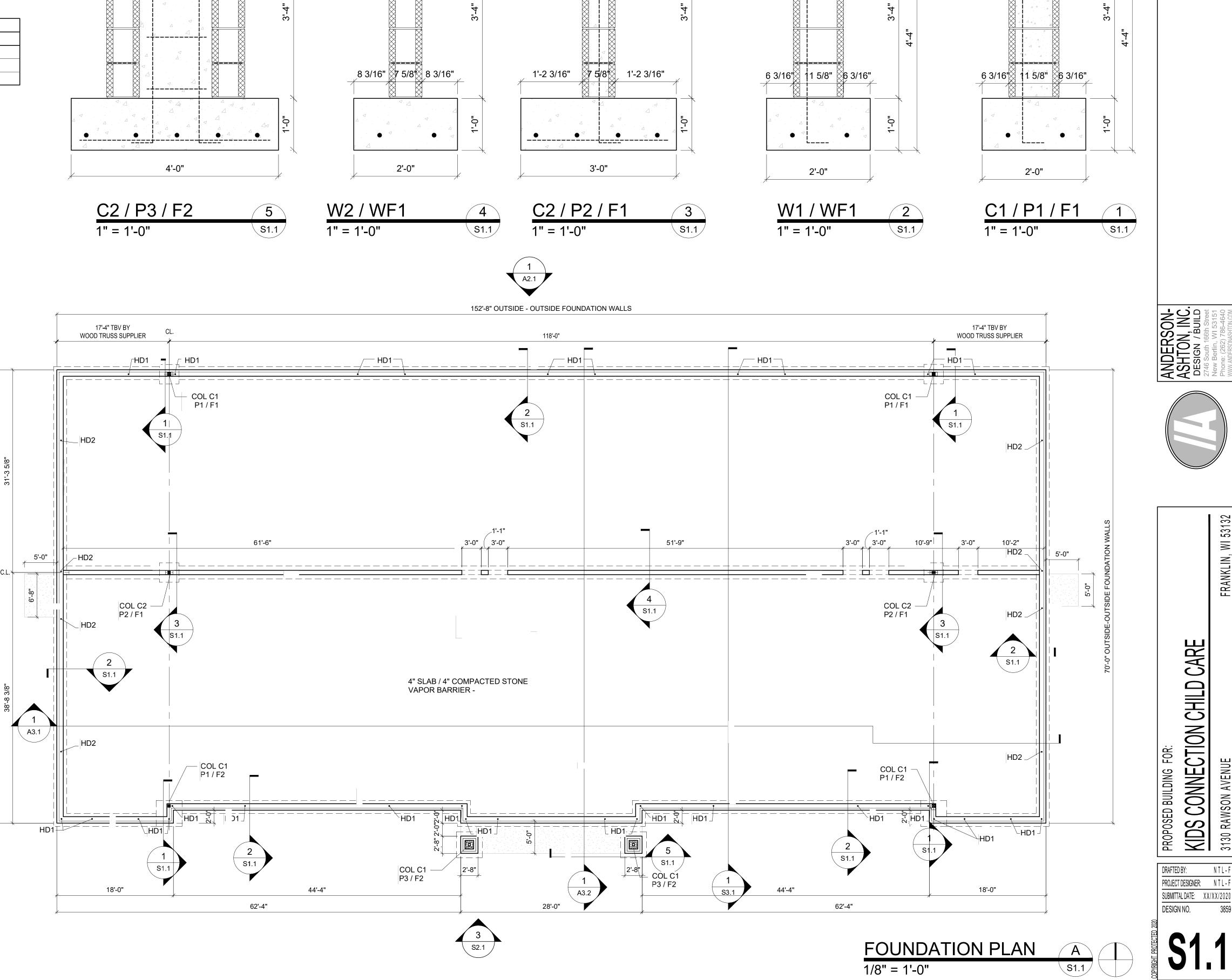
	STEEL COLUMN SCHEDULE								
,	MARK	SIZE	BOTTOM CONNECTION	TOP CONNECTION	REMARKS				
	C1	DFL 5x5 STRUCT	SEE DETAIL S3.2	SEE DETAIL S3.2	BUILT-UP COL - 3/4" DIA. A36 ANCHOR BOLT X 12" LONG 4" PROJ				
	C2	DFL 6x4 STRUCT	SEE DETAIL S3.2	SEE DETAIL S3.2	BUILT-UP COL - 3/4" DIA. A36 ANCHOR BOLT X 12" LONG 4" PROJ				

	WALL SCHEDULE						
MARK	WALL TYPE	REMARKS					
W1	12" STD CMU	SEE ARCHITECTURAL SECTIONS FOR FOUNDATION INSULATION REQUIREMENTS					
W2	8" STD CMU	SEE ARCHITECTURAL SECTIONS FOR FOUNDATION INSULATION REQUIREMENTS					

	FOOTING SCHEDULE								
MARK	WIDTH	THK	REBAR	DOWELS	REMARKS				
WF1	2' - 0"	1' - 0"	(2) #4 CONT		WALL FOOTING				
F1	3' - 0" SQ	1' - 0"	(4) #6 BOTH WAYS	(3) #5 VERT - BENT INTO FTG	COLUMN FOOTING				
F2	4' - 0" SQ	1' - 0"	(5) #6 BOTH WAYS	(4) #5 VERT - BENT INTO FTG	COLUMN FOOTING				



4 A2.1 OILY



OUTSIDE OF FOUNDATION

DIM ON PLANS

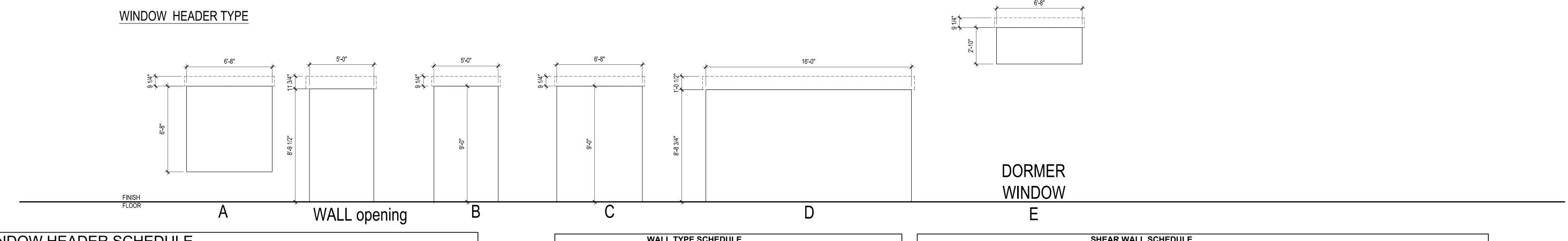
1 1/8" | 5 1/2"

REVISIONS

KIDS CONNECTION CHILD CARE

OUTSIDE OF FOUNDATION

DIM ON PLANS

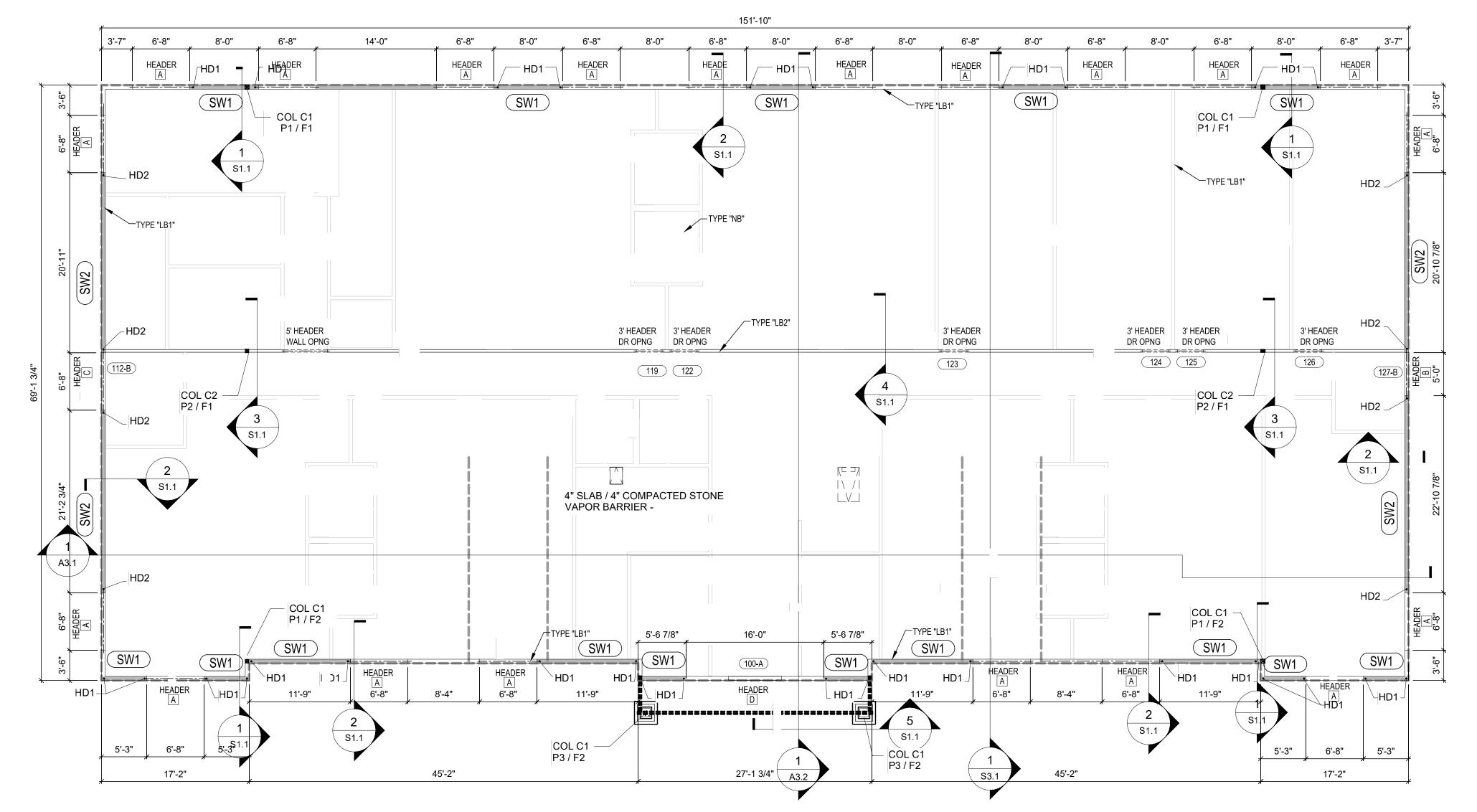


	HEADER SPAN			HEADER TYPE		FRAMING					
MARK	QTY	Width	Height	Туре	PLIES	SHOULDER STUD	QTY	BRG LENGTH	KING STUD	QTY	REMARKS
HD-A	20	6'-8"	6'-8"	2x10	3	2x6	1	1 1/2 "	2x6	2	LOAD BEARING WALL
HD-5' WALL OPI	NG ¹	5'-0"	8'-9 1/2"	11 ⁷ / ₈ " LVL	3	2x4	3	1 1/2 "	2x4	2	LOAD BEARING WALL
HD-B	1	5'-0"	9'-0"	2x10	3	2x6	1	1 1/2 "	2x6	2	LOAD BEARING WALL
HD-C	1	6'-8"	9'-0"	2x10	3	2x6	1	1 1/2 "	2x6	2	LOAD BEARING WALL
HD-D	1	16'-0"	9'-0"	12 ½" LVL	3	2x6	3	1 1/2 "	2x6	2	LOAD BEARING WALL
HD-E	2	6'-8"	2'-8"	2x10	3	2x6	1	1 1/2 "	2x6	2	DORMER WALL
HD-E	2	6'-8"	2'-8"	2x10	3	2x6	1	1 1/2 "	2x6	2	DORMER WALL

DOO	R HEADER SCHEDULE	
DOOR		

DOOR NUMBER	LOCATION	HEADER REQ'D	HEADER SPAN	LOAD BEARING WALL	REMARKS		
100A	VESTIBULE	HD-D	16'-0" 6'-2" X 7'-0" + W/ "D"	YES	EXTERIOR WALL - FRONT ENTRANCE		
112B	VESTIBULE	HD-C	3'-0" X 7'-0"	YES	EXTERIOR WALL		
119	ROOM	(2) 2x8	3'-0" X 7'-0"	YES	INT LOAD BRG		
122	ROOM	(2) 2x8	3'-0" X 7'-0"	YES	INT LOAD BRG		
123	ROOM	(2) 2x8	3'-0" X 7'-0"	YES	INT LOAD BRG		
124	ROOM	(2) 2x8	3'-0" X 7'-0"	YES	INT LOAD BRG		
125	ROOM	(2) 2x8	3'-0" X 7'-0"	YES	INT LOAD BRG		
126	ROOM	(2) 2x8	3'-0" X 7'-0"	YES	INT LOAD BRG		
127B	VESTIBULE	HD-B	3'-0" X 7'-0"	YES	EXTERIOR WALL		

WALL TYPE SCHEDULE				SHEAR WALL SCHEDULE									
MARK	FRAMING/ SPACING	TYPE	NOTES	MARK	BLOCKED/ UNBLOCKED		IOR SHEATHING FASTENING		IOR SHEATHING	HOLD DOWNS	HOLD DOWN ANCHORS	END POST	SILL PLATE ANCHORS
LB1	2x6 @ 16" OC	LOAD BEARING 1	 5/8" GYPSUM WALL BOARD THERMAL BATT (R-19) INSULATION 1/2" SHEATING / AIR SPACE 2x6 STUDS AT 16" ON CENTER MASONRY/STONE VENEER EXTEND STUDS TO WOOD TRUSS ABOVE 	SW1	BLOCKED	15/32" APA RATED	8d COMMON (1 ³ / ₈ " PEN MIN) @ 6/12	-	-	HD1 SIMPSON HDU4-SDS2.5	5/8" DIA. THREADED ROD, EMBED 7 ½" USING HILTI HIT-RE 500 V3 EPOXY	(2) 2X	5 / 8" TITEN HD @ 24" OC (2 ³ / ₄ " EMBED)
LB2	2x4 @ 16" OC	LOAD BEARING 2	 5/8" GYPSUM WALL BOARD 2X4 STUDS AT 16" ON CENTER 5-1/2" BLANKET INSULATION 5/8" GYPSUM WALL BOARD EXTEND WALL TO WOOD TRUSS ABOVE 	SW2	BLOCKED	15/32" APA RATED	8d COMMON (1 ³ ₈ " PEN MIN) @ 6/12	-	-	HD2 SIMPSON HDU8-SDS2.5	7/8" DIA. THREADED ROD, EMBED 10 ½" USING HILTI HIT-RE 500 V3 EPOXY	(3) 2X	5 / 8" TITEN HD @ 24" OC (2 ³ / ₄ " EMBED)
NB	2x4 @ 16" OC	DEVDIEN	- SEE ARCHITECTURAL PLANS FOR MORE INFORMATION ON NON-LOAD BEARING WALL CONSTRUCTION										

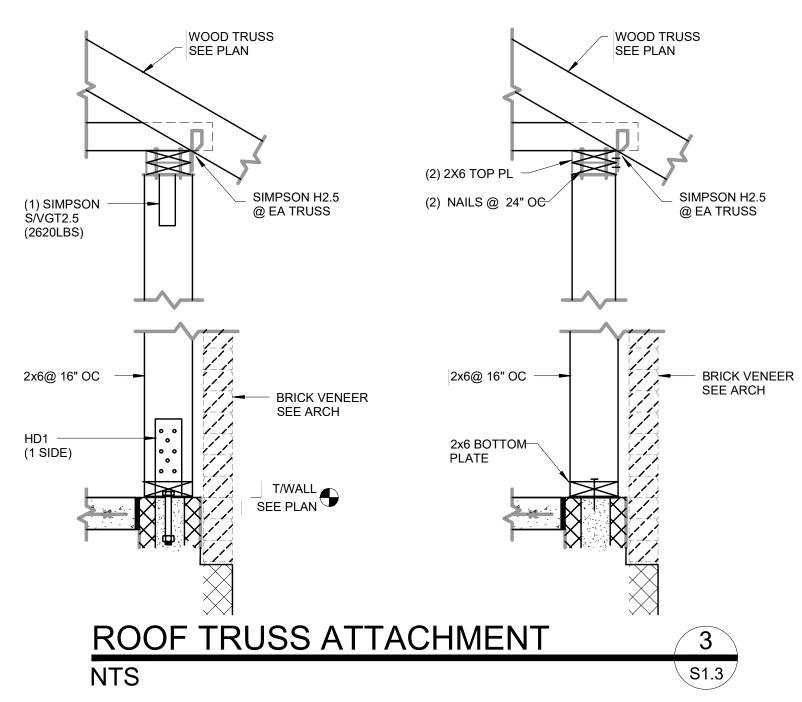


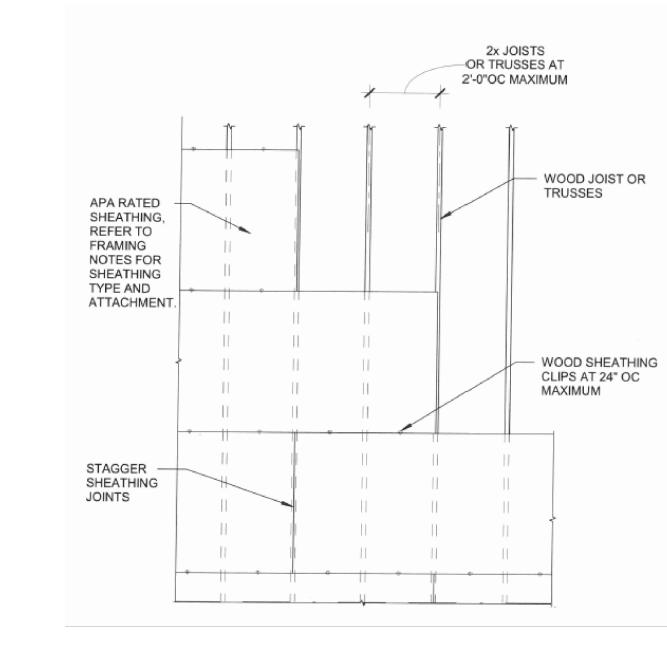




KIDS CONNECTION CHILD CARE

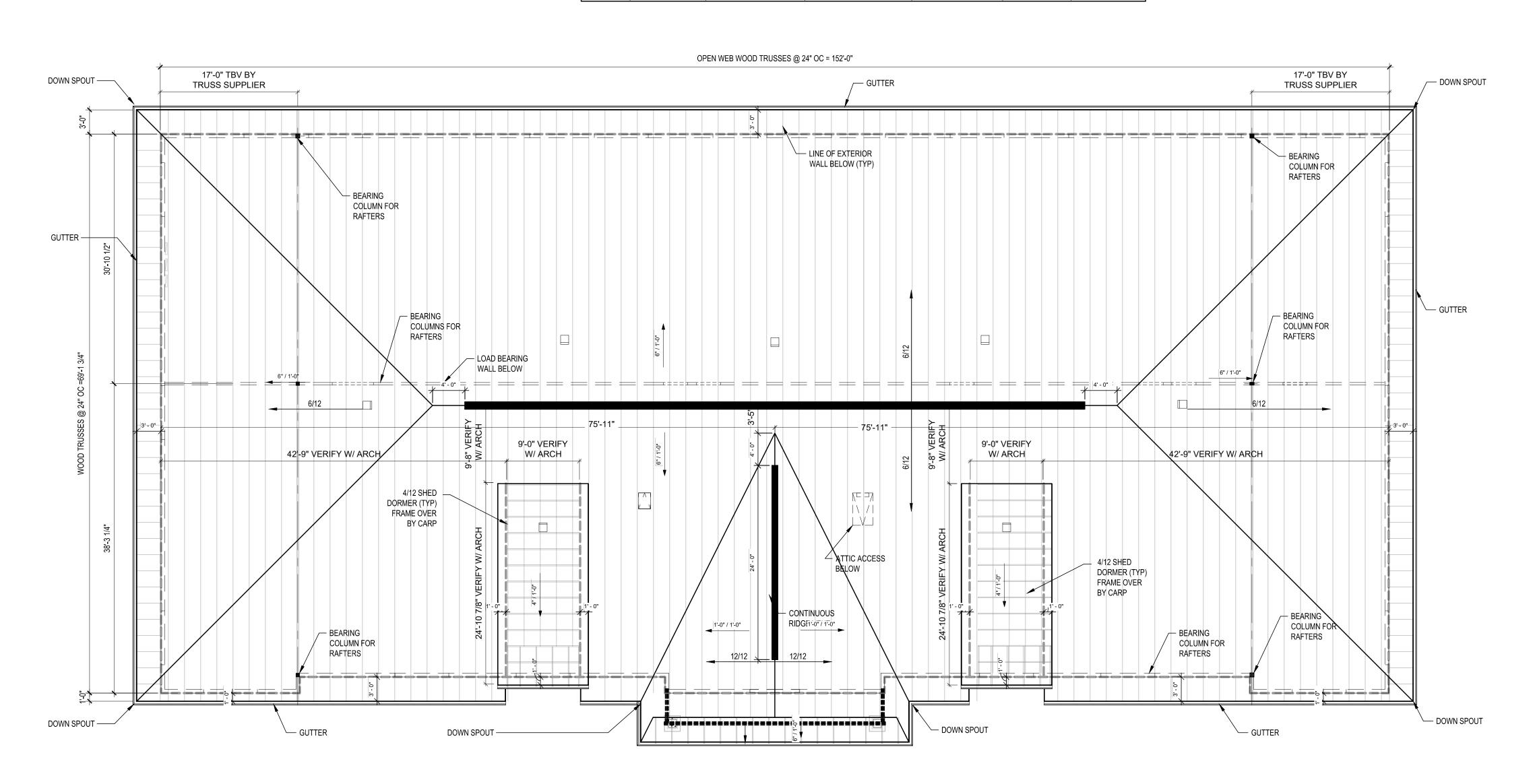
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PROJECT DESIGNER: N T L - F SUBMITTAL DATE: XX/XX/2020
DESIGN NO. 3859





ROOF SHEATHING ATTACHMENT	2
NTS	S1.3

	ROOF SHEATHING SCHEDULE											
TYPE	BLOCKED/ UNBLOCKED	FASTENING TYPE	SPACING @ PANEL BOUNDARY EDGE		FRAMING	NOTES						
15/32" APA RATED	BLOCKED	10d COMMON (2 1/2" PEN MIN)	6" OC	6" OC	WOOD TRUSSES @ 24" OC	SAME SHEATHING ON DORMERS						







KIDS CONNECTION CHILD CARE

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SUBMITTAL DATE:

XX/XX/2020

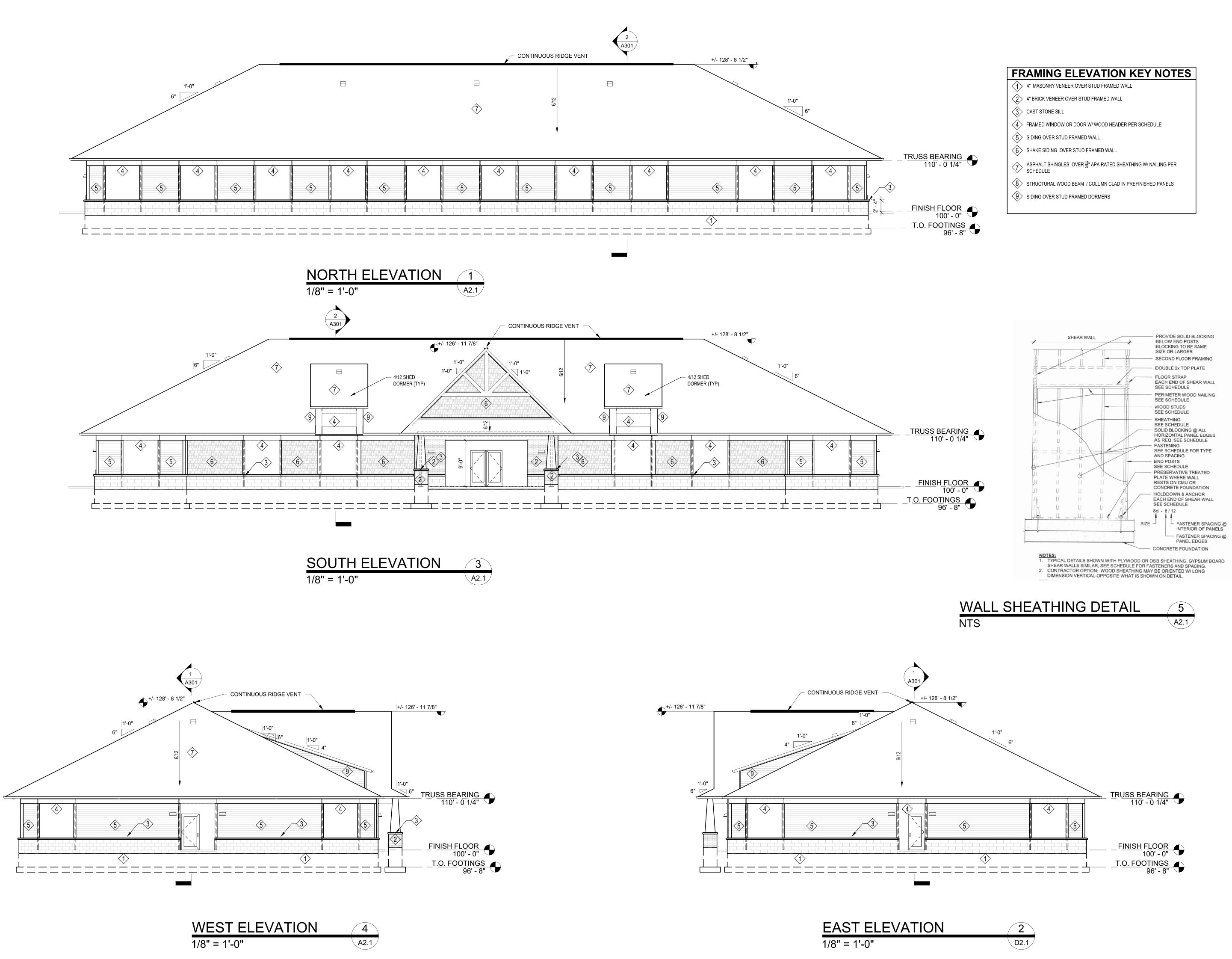
DESIGN NO.

3859

ROOF FRAMING PLAN

1/8" = 1'-0"

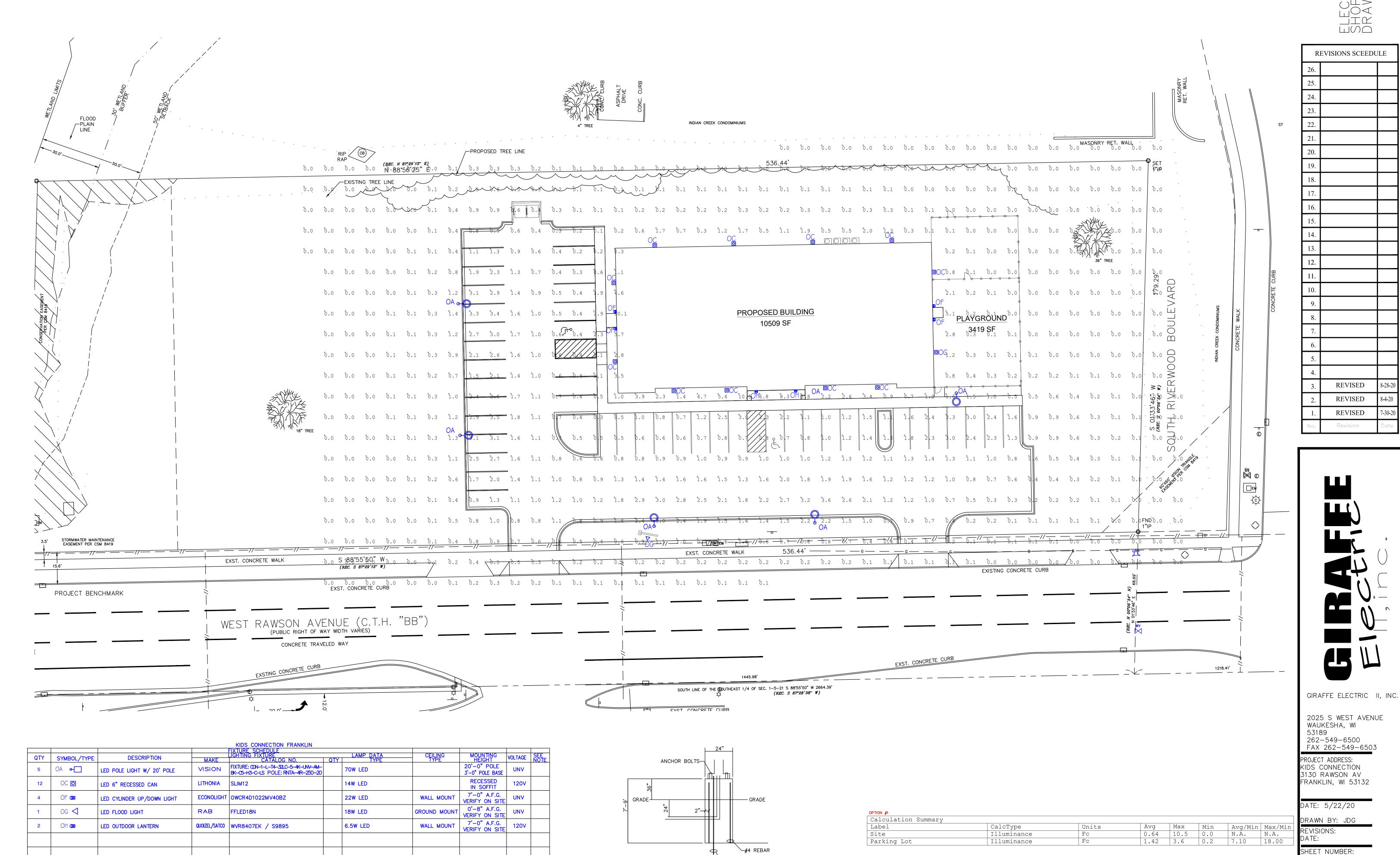
S1.3





KIDS CONNECTION CHILD CARE

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<u>√3/4" X 8' COPPER</u>

GROUND ROD

TYPICALLY 24" LIGHT

POLE BASE

LIGHTING NOTES: 1. MULTIPLE PARTS ARE NEEDED TO ASSEMBLE AS A COMPLETE FIXTURE. SEE INSTALLATION INSTRUCTIONS DISCLAIMER: CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IESNA & CIE STANDARDS AND GOOD PRACTICE.

SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS,

REAL ENVIRONMENT CONDITIONS DO NOT MATCH THE INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN MEASURED VALUES AND CALCULATED VALUES.

TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND FIELD CONDITIONS SUCH AS VOLTAGE AND TEMPERATURE VARIATIONS. INPUT DATA USED TO GENERATE THE ATTACHED CALCULATIONS SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE AND ARCHITECTURAL ELEMENTS SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE

PROJECT NUMBER: SCALE:

SITE POINT BY POINT PLAN

-5-0

SHEET TITLE:

OPTION #1

"=20'-0"