

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, OCTOBER 8, 2020, 7:00 P.M.

The Facebook page for the Economic Development Commission <https://www.facebook.com/forwardfranklin/> will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

It being anticipated that a large number of persons may be in attendance at this meeting to offer testimony at a public hearing, the time period during which a person may provide testimony during a public hearing shall not exceed three minutes.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of September 3, 2020.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **HSA COMMERCIAL REAL ESTATE INDUSTRIAL BUILDINGS DEVELOPMENT IN THE PROPOSED BUSINESS PARK IN PLANNED DEVELOPMENT DISTRICT NO. 39 (MIXED USE BUSINESS PARK).** Special Use and Site Plan applications by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate (JHB Properties, LLC, property owner), to allow for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (eCommerce/warehousing and distribution require a Special Use per Section 15-3.0444BB.3.a.e. of the Unified Development Ordinance) and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants have yet to be identified), with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building, along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street [the proposed buildings are essentially identical, roughly two-story industrial buildings with entrance features on the front, and loading areas at the rear], properties located at 3825 West Aspen Way and 3707 West Aspen Way, zoned

Planned Development District No. 39 (Mixed Use Business Park); Requested Waivers of Planned Development District No. 39 (Mixed Use Business Park) Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards:

- a. 15-3.0444B.D.1.a.iv. Parking required and location regulated (parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard)-**request for all employee and visitor parking in front of the buildings.**
- b. 15-3.0444B.D.1.a.v.; 1.a.vi.; and 4.a.xi. Parking required and location regulated (loading and unloading areas shall be located to the side yard or rear-yard and screened so as to minimize their view from adjacent streets and sites) (all parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms and/or decorative fences) and Building Character and Design (outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative fencing, and/or landscaping)-**request to waive requirement to screen the rear property line.**
- c. 15-3.0444B.D.2.c.iii. Bicycle and pedestrian amenities ((sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds, and shall connect to existing or planned public sidewalks or pedestrian/bike facilities)-**request to provide pedestrian facilities in the parking lot.**
- d. 15-3.0444B.D.4.a.iii. and iv. Building Character and Design (brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions) (precast concrete, cast stone, plain/smooth concrete masonry units and EIFS are acceptable accent and secondary materials for the solid portion of new buildings or additions)-**request to use articulated, painted precast concrete wall panels for the exterior walls.**
- e. 15-3.0444B.D.7. Supplemental Design Guidelines (it is intended that the applicable design guidelines set forth in the South 27th Street Corridor Plan, and the applicable design standards in the South 27th Street Design Overlay District, be utilized - as a supplemental guide - to the mandatory design standards set forth elsewhere in this [Planned Development District 39] Ordinance-**request certain waivers of the South 27th Street Design Overlay District (§15-3.03051):**

Requested Waivers of South 27th Street Design Overlay District Standards:

- a. 15-3.0352.A. Parking required and location regulated (not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street)-**request for all employee and visitor parking in front of the buildings.**
- b. 15-3.0353.C.4. Pedestrian considerations (sidewalks shall be provided along the entire length of any façade containing a public entrance, leaving room for foundation planting beds)-**request to provide pedestrian facilities in the parking lot.**
- c. 15-3.0353.C.7. Pedestrian considerations (the building shall provide awnings or

or other weather protection features within 30 feet of all customer entrances along a building)-**request for canopies or awnings only at tenant entrances.**

- d. 15-3.0353.E. Bicycle and pedestrian amenities required (the development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate quantities and location)-**request for waiver of this requirement.**
- e. 15-3.0353.G. Central Areas/Features (each development which contains a building over 50,000 square feet in area shall provide public central area(s)...-**request for waiver of this requirement.**
- f. 15-3.0355.B.3.b. Building Materials and Colors (exterior building materials shall convey an impression of durability)-**request to use precast concrete wall panels.**
- g. 15-3.0355.B.5.a. Building Facades (decorative devices are expected at the roofline)-**request to use simple metal coping.**
- h. 15-3.0355.B.7.a. Windows (windows which allow views to the interior activity or display areas are excepted)-**request for waiver of this requirement.**
- i. 15-3.0355.C.4. Building Materials (building materials such as glass, brick, decorative concrete block, or stucco shall be used)-**request to use precast concrete wall panels.**
- j. 15-3.0355.C.5 Building Design (A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor façades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged-**request: “The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building’s perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1’-2” to 5’-3”. An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west facades are within 100’ of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west facade length for a combined total of 45.45%.”**

Tax Key Nos. 979-9002-000 and 979-9001-000 [the applicant seeks to obtain special use approval as a speculative industrial property]. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**

2. **STRAUSS BRANDS LLC MEAT PROCESSING FACILITY CONSTRUCTION.** Special Use and Site Plan applications by Strauss Brands LLC, for the development of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces (this use is classified under Standard Industrial Classification No. 2011, Meat Packing Plants, which is a Special Use in the M-1 Zoning District), on approximately 30.2 acres; the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) [the site is designed to detain all stormwater on-site in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision), zoned M-1 Limited Industrial District; Tax Key No. 891-1083-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **LAND SALE FROM THE CITY OF FRANKLIN TO A PRIVATE ENTITY.** Miscellaneous application by the City of Franklin for the review and recommendation of a sale of an approximate 1,000 square foot parcel of land owned by the City (once used as a well site for the City of Franklin Water Utility, no longer in use; watermain piping has been removed and the well casing is still present, but the site has been abandoned per the Wisconsin Department of Natural Resources requirements), property located at 9619 South 60th Street, zoned M-1 Limited Industrial District; Tax Key No. 898-9991-001.
2. **LAND SALE FROM A PRIVATE ENTITY TO THE CITY OF FRANKLIN.** Miscellaneous application by the City of Franklin for the review and recommendation of a purchase of four parcels of land from KM Franklin Land Investment LLC, property owner, totaling approximately 21.4 acres, for the

potential location of a City of Franklin elevated water storage tower for the Franklin Water Utility and potential development of a new City park, with the balance of the four parcels containing wetland delineation, property located at approximately the 8100 block of South Lovers Lane Road, zoned R-8 Multiple-Family Residence District and C-1 Conservancy District; Tax Key Nos. 801-9984-000, 801-9985-000, 801-9986-000 and 801-9987-000.

E. Adjournment

*Supporting documentation and details of these agenda items are available in the Plan Commission Meeting Packet on the City of Franklin website www.franklinwi.gov.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: October 22, 2020

City of Franklin
Plan Commission Meeting
September 3, 2020
Minutes

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the September 3, 2020 regular Plan Commission meeting to order at 7:02 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Adam Burckhardt, Kevin Haley and Patricia Hogan, Alderman Mark Dandrea and City Engineer Glen Morrow. Also present were Alderman Mike Barber, Alderman John Nelson and Alderwoman Kristen Wilhelm, Planning Manager Heath Eddy and Associate Planner Regulo Martinez-Montilva.

B. Approval of Minutes

- 1. Regular Meeting of August 20, 2020.

Commissioner Haley moved and Commissioner Leon seconded approval of the August 20, 2020 regular meeting minutes, with corrections to item D.2. On voice vote, all voted 'aye'. Motion carried (6-0-0).

C. Public Hearing Business Matters

- 1. **ACCESSORY STRUCTURES GREATER THAN 1,200 FEET UNIFIED DEVELOPMENT ORDINANCE TEXT AMENDMENT.** Unified Development Ordinance Text Amendment application by the City of Franklin to amend Section 15-3.0702 “Detailed Standards for Special Uses in Residential Districts” to allow for accessory structures greater than 1,200 square feet subject to Special Use approval, City-wide and in the R-1 and R-2 zoning districts.

Planning Manager Heath Eddy presented the request by the City of Franklin to amend Section 15-3.0702 “Detailed Standards for Special Uses in Residential Districts” to allow for accessory structures greater than 1,200 square feet subject to Special Use approval, City-wide and in the R-1 and R-2 zoning districts.

The Official Notice of Public hearing was read in to the record by Associate Planner Regulo Martinez-Montilva and the Public Hearing was opened at 7:08 p.m. and closed at 7:15 p.m.

City Engineer Morrow moved and Commissioner Haley seconded a motion to recommend approval of an ordinance to amend the unified development ordinance text to amend section 15-3.0702 to allow for accessory structures greater than 1,200 square feet in floor area, subject to special use approval, with the addition to subsection D the R3 and R3-E districts, and add condition #5 “accessory structures shall not be used for commercial or residential use”. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

City Engineer Morrow moved and Commissioner Leon seconded a motion to reconsider the previous motion. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

City Engineer Morrow moved and Commissioner Haley seconded a motion to recommend approval of an ordinance to amend the unified development ordinance text to amend section 15-3.0702 to allow for accessory structures greater than 1,200 square feet in floor area, subject to special use approval, with the addition to subsection D, the agricultural zoning districts, R3 and R3-E, and add condition #5 “accessory structures shall not be used for commercial or residential use”. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

D. Business Matters

**1. PLEASANT VIEW
NEIGHBORHOOD PARK
CONCEPTUAL SITE**

PLAN UPDATE. At the direction of the City of Franklin Common Council and the Parks Commission, and with assistance from GRAEF (professional engineering, planning and design consulting firm), a new conceptual site plan is proposed for Pleasant View Park located at 4620 West Evergreen Street, property zoned P-1 Park District; Tax Key Nos. 788-9999-003 and 788-9999-002. The conceptual site plan includes proposed changes to landscaping, furniture, tennis and pickleball courts, and parking facilities. [The Plan Commission will be making a recommendation to the Common Council regarding this item.]

Planning Manager Heath Eddy presented the request by the City of Franklin Common Council and the Parks Commission, and with assistance from GRAEF (professional engineering, planning and design consulting firm), a new conceptual site plan is proposed for Pleasant View Park located at 4620 West Evergreen Street, property zoned P-1 Park District; Tax Key Nos. 788-9999-003 and 788-9999-002. The conceptual site plan includes proposed changes to landscaping, furniture, tennis and pickleball courts, and parking facilities. [The Plan Commission will be making a recommendation to the Common Council regarding this item.]

Commissioner Hogan moved and Alderman Dandrea seconded a motion to recommend approval of the conceptual site plan for Pleasant View Neighborhood Park, with the exception of striking 2 pickleball courts and moving the pathway to connect to the existing parking lot with the request that the existing pathways connect. On voice vote, all voted 'aye'. Motion carried (6-0-0).

E. Adjournment

Commissioner Hogan moved and Commissioner Haley seconded a motion to adjourn the Plan Commission meeting of September 3, 2020 at 8:15 p.m. On voice vote, all voted ‘aye’; motion carried. (6-0-0).

MEMORANDUM

Date: October 8, 2020

To: Plan Commission

From: Department of City Development

RE: Request to hold over Special Use and Site Plan for HSA Acquisitions, Inc. 3825 & 3707 Aspen Way (Previously addressed as 3617 Elm Rd.) to a future meeting.

The applicant, HSA Acquisitions, Inc., has applied for a special use permit for the property at 3825 & 3707 Aspen Way (Previously addressed as 3617 Elm Rd.), lots 1 and 2 of CSM 9243 in the Franklin Corporate Park. They have also submitted a site plan application. The properties are zoned Planned Development District (PDD) 39 and are currently undeveloped.

The proposed site will include two approximately 150,000 sq. ft. industrial buildings, parking for cars in front of the buildings on the future W. Aspen Way and loading areas for trucks at the rear. There will be a driveway connection to the rear between the two buildings, and street entrances from all future streets. The proposed buildings are essentially identical, roughly two-story industrial buildings with entrance features on the front. Building materials consist primarily of precast concrete and prefinished metal. The applicant seeks to obtain special use approval in the areas of eCommerce, Distribution, and Warehousing.

The applicant has requested that the Commission review the matter at a future meeting on October 22, 2020.

The Public Hearing for this item must be opened on the date of the notice; this October 8, 2020 meeting.

Marion Ecks
Associate Planner - Department of City Development

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR THE DEVELOPMENT
OF TWO APPROXIMATELY 150,000 SQUARE FOOT CLASS A SPECULATIVE
INDUSTRIAL BUILDINGS AND FOR THE APPROVAL OF A SPECIAL USE FOR
OVERNIGHT PARKING FOR VEHICLES EXCEEDING 8,000 POUNDS
MANUFACTURED GROSS VEHICLE WEIGHT UPON PROPERTIES
LOCATED AT 3825 WEST ASPEN WAY AND 3707 WEST ASPEN WAY
(BY HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL
ESTATE, APPLICANT, JHB PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, HSA Commercial, Inc., d/b/a HSA Commercial Real Estate having petitioned the City of Franklin for the approval of Special Uses within Planned Development District No. 39 (Mixed Use Business Park), to allow for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (eCommerce/warehousing and distribution require a Special Use per Section 15-3.0444BB.3.a.e. of the Unified Development Ordinance) and to allow for overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants have yet to be identified), upon properties located at 3825 West Aspen Way and 3707 West Aspen Way, zoned Planned Development District No. 39 (Mixed Use Business Park). The properties which are the subject of the application bear Tax Key Nos. 979-9002-000 and 979-9001-000 and are more particularly described as follows:

All of Lots 1 and 2 of Certified Survey Map No. 9243, being a part of the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows: Commencing at the northwest corner of the Southwest 1/4 of said Section 36; Thence South 00°21'57" East along the west line of said Southwest 1/4, 1322.10 feet to the south line of said Certified Survey Map; Thence North 88°35'41" East along said south line, 1109.89 feet to the east right of way line of South Birch Street, the southwest corner of said Lot 2 and the Point of Beginning; Thence North 00°21'34" West along said east right of way line, 524.67 feet; Thence North 44°07'02" East, 15.69 feet to the south right of way line of West Aspen Way; Thence North 88°35'37" East along said south right of way line, 1301.60 feet to the west line of Outlot 1 of said Certified Survey Map; Thence South 01°24'19" East along said west line, 444.63 feet; Thence South 33°35'37" West along said west line, 58.55 feet; Thence South 88°35'41" West along said west line, 144.41 feet; Thence South

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01°24'19" East along said west line, 43.00 feet to the aforesaid south line of said Certified Survey Map; Thence South 88°35'41" West along said south line, 1144.38 feet to the Point of Beginning; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 8th day of October, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Uses be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Uses upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Uses, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, for the approval of Special Uses for the properties particularly described in the preamble to this Resolution, be and the same are hereby approved, subject to the following conditions and restrictions:

1. That these Special Uses are approved only for the use of the subject property by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors and assigns, for two approximately 150,000 square foot Class A speculative industrial buildings, and for overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight use, which shall be developed in substantial compliance with, and operated and maintained by HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, pursuant to those plans City file-stamped _____, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including

HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE – SPECIAL USE

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fees of consults to the City of Franklin, for the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate two approximately 150,000 square foot Class A speculative industrial buildings, and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight Special Uses, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate two approximately 150,000 square foot Class A speculative industrial buildings, and overnight parking for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight Special Uses for the properties located at 3825 West Aspen Way and 3707 West Aspen Way: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. [other]

BE IT FURTHER RESOLVED, that in the event HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors or assigns, or any owner of the subject properties, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE – SPECIAL USE

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BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Uses have been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-_____

A RESOLUTION APPROVING A SITE PLAN FOR THE DEVELOPMENT OF TWO APPROXIMATELY 150,000 SQUARE FOOT CLASS A SPECULATIVE INDUSTRIAL BUILDINGS WITH ASSOCIATED PARKING, LOADING AREAS, A DRIVEWAY CONNECTION BETWEEN THE TWO BUILDINGS, SIDEWALKS, CROSSWALKS AND A STORMWATER DETENTION POND (3825 WEST ASPEN WAY AND 3707 WEST ASPEN WAY) (HSA COMMERCIAL, INC., D/B/A HSA COMMERCIAL REAL ESTATE, APPLICANT, JHB PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, HSA Commercial, Inc., d/b/a HSA Commercial Real Estate having applied for approval of a proposed site plan for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road (tenants have yet to be identified), with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building (including overnight truck parking), along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street [the proposed buildings are essentially identical, roughly two-story industrial buildings with entrance features on the front, and loading areas at the rear], properties located at 3825 West Aspen Way and 3707 West Aspen Way; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the development of two approximately 150,000 square foot Class A speculative industrial buildings at the west end of Elm Road, with parking for cars in front of the buildings on the future West Aspen Way and loading areas for trucks at the rear of the building (including overnight truck parking), along with a driveway connection to the rear between the two buildings, street entrances from all future streets, three sidewalks and crosswalks that connect the building entrances to the public sidewalks on the opposite sides of the adjacent streets for pedestrian and bike access, and a stormwater detention pond on the east side of the site in a newly created outlot between the building and South Hickory Street, as depicted upon the plans dated _____, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

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1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings dated _____, 2020.
2. HSA Commercial, Inc., d/b/a HSA Commercial Real Estate, successors and assigns, and any developer of the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project for the properties located at 3825 West Aspen Way and 3707 West Aspen Way: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the HSA Commercial, Inc., d/b/a HSA Commercial Real Estate industrial buildings development project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. Approval of the requested waiver from Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.1.a.iv. (Parking required and location regulated) provided that the applicant .
6. Approval of the requested waiver from Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.1.a.v.; 1.a.vi.; and 4.a.xi. (Parking required and location regulated) (Building Character and Design regulated) provided that the applicant .
7. Approval of the requested waiver from Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.2.c.iii. (Bicycle and pedestrian amenities) provided that the applicant .

8. Approval of the requested waiver from Planned Development District No. 39 (Mixed Use Business Park) Design Standards Section 15-3.0444B.D.4.a.iii. and iv. (Building Character and Design) provided that the applicant .
9. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0352.A. (Parking required and location regulated) provided that the applicant .
10. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0353.C.4. (Pedestrian considerations) provided that the applicant .
11. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0353.C.7. (Pedestrian considerations) provided that the applicant .
12. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0353.E. (Bicycle and pedestrian amenities required) provided that the applicant .
13. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0353.G. (Central Areas/Features) provided that the applicant .
14. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355.B.3.b. (Building Materials and Colors) provided that the applicant .
15. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355.B.5.a. (Building Façades) provided that the applicant .
16. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355.B.7.a. (Windows) provided that the applicant .
17. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355.C.4. (Building Materials) provided that the applicant .
18. Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355.C.5 (Building Design) provided that the applicant .

19. [other conditions, etc.]

Introduced at a regular meeting of the Plan Commission of the City of Franklin this
_____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of
Franklin this _____ day of _____, 2020.

APPROVED:

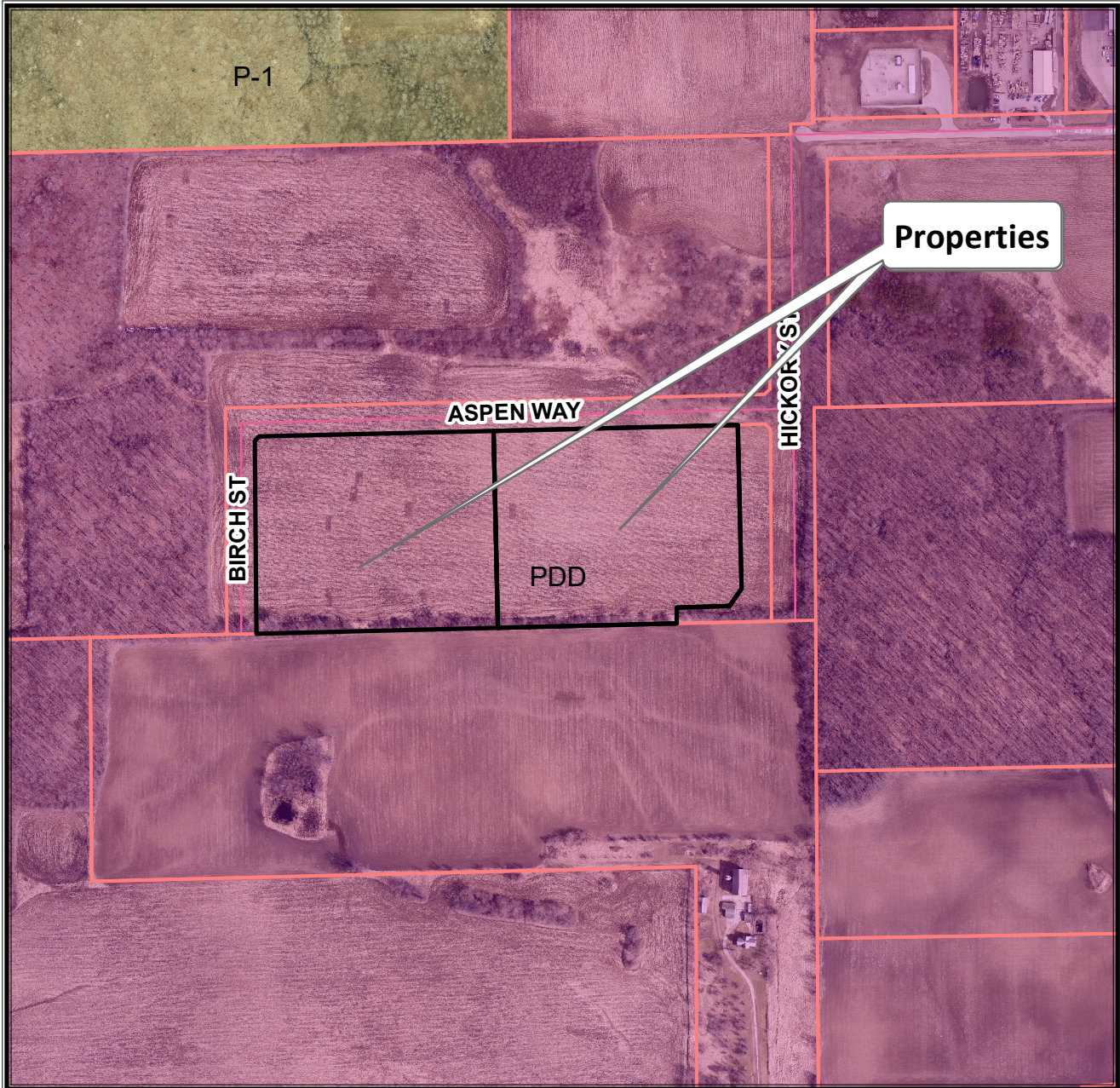
Stephen R. Olson, Chairman

ATTEST:

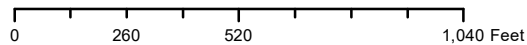
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

3707 & 3825 W. Aspen Way
TKNs: 979 9001 000 & 979 9002 000



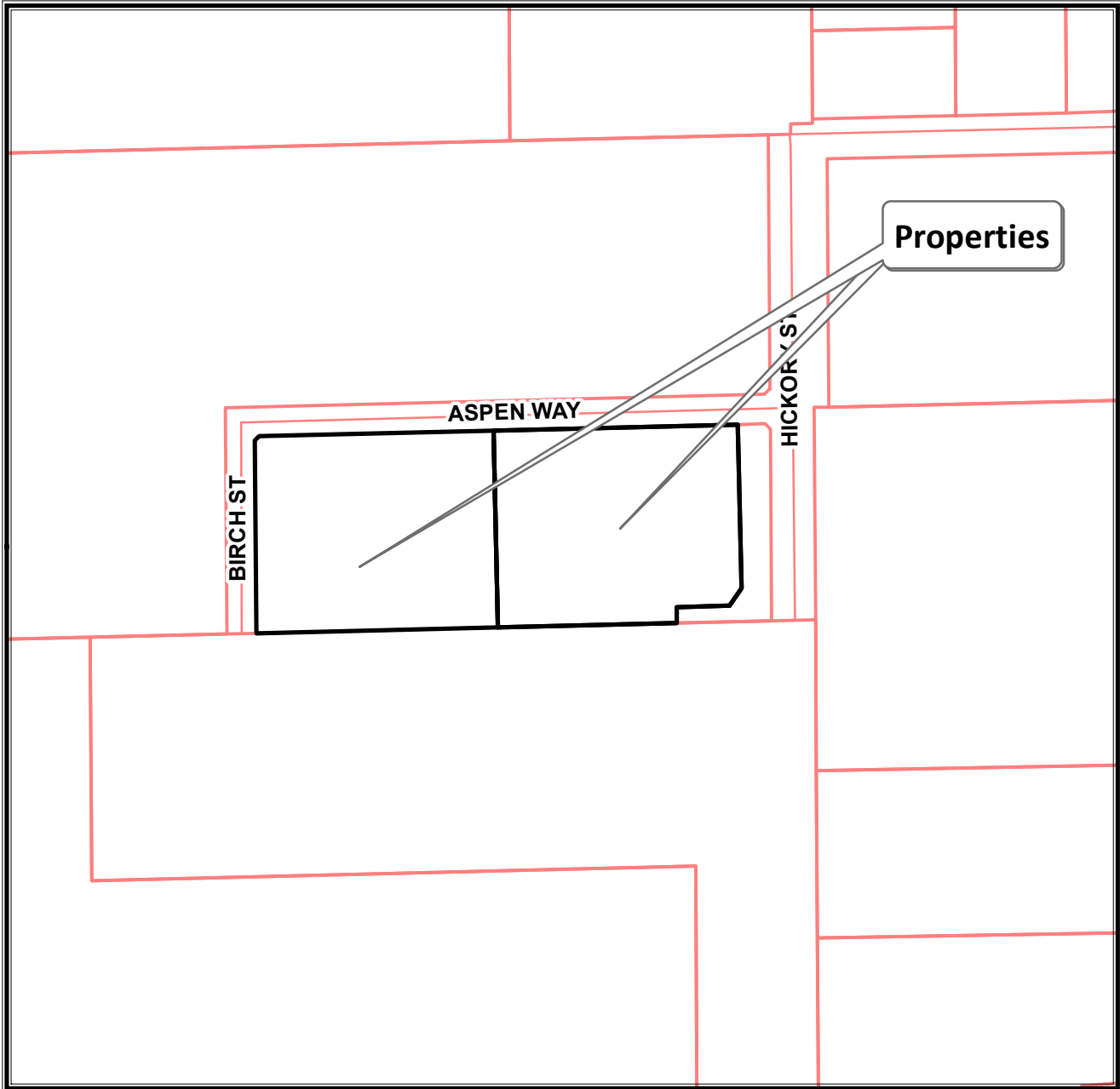
Planning Department
(414) 425-4024



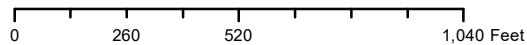
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



3707 & 3825 W. Aspen Way
TKNs: 979 9001 000 & 979 9002 000



Planning Department
(414) 425-4024



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REPORT TO THE PLAN COMMISSION

Meeting of October 8, 2020

Special Use and Site Plan

RECOMMENDATION: City Development staff recommends approval of the proposed Special Use and associated Site Plan for Strauss Brands meat processing facility upon property located on Lot 83 of Ryan Meadows subject to the conditions set forth in the draft Resolution.

Table with 2 columns: Label (Project Name, Project Address, Applicant, Property Owner, Current Zoning, 2025 Comprehensive Plan, Use of Surrounding Properties, Applicant Action Requested) and Value (Strauss Brands, Inc., Lot 83 of Ryan Meadows (Tax Key 891-1083-000), Jerald Bussen, Strauss Brands, LLC, M-1 Limited Industrial District, Business Park, Loomis Road to the north, future Monarch Drive and vacant land zoned industrial to the east, vacant land zoned industrial to the south (Copart site) and vacant land zoned residential to the west, Recommendation of approval for the proposed Special Use and associated Site Plan for the development of Strauss Brands meat processing facility).

INTRODUCTION

The site area is approximately 30.2 acres. The facility is designed to process 250 to 500 head of cattle per day, and includes cattle pens, kill floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces. This use is classified under Standard Industrial Classification No. 2011, Meat Packing Plants, which requires a Special Use in the M-1 Zoning District.

On April 15, 2020, the applicant submitted Site Plan and Special Use applications for the development of a 127,760 square foot meat processing facility. City staff sent memorandum dated May 18, 2020, with a total of 37 review comments.

On July 29, 2020, the applicant resubmitted with the following major changes: a building footprint increase from 127,760 sf to 152,035 sf, as well as an increase to the parking capacity from 234 spaces to 280 spaces. The applicant had addressed most of the review comments in this resubmittal. However, staff sent a second memorandum dated September 2, with 11 review comments including comments from the Mayor and the Alderman of the District.

PROJECT DESCRIPTION AND ANALYSIS

Special Use:

Strauss Brands, LLC submitted a substantially complete application for a special use permit, allowing for Section § 15-3.0701 of the Unified Development Ordinance sets out the General Standards for Special Uses. The applicant has submitted responses to each of those standards.

City Development staff has the following comments about the general standards for Special Uses:

1. Ordinance and Comprehensive Master Plan Purposes and Intent.

Staff comment: The development is compatible with the limited industrial zoning district (M-1) that provides for “manufacturing, industrial and warehousing uses” and the Business Park designation of the Comprehensive Plan.

2. No Undue Adverse Impact.

See Fire Department comments below.

With regards to obnoxious odors and noise. The applicant stated that “the wastewater treatment room is fitted with air scrubbers to eliminate odors. The cattle barns and harvest areas are ventilated with a high volume of outside air to dissipate buildup of odors. Trucks/trailers used to remove hides and inedible waste are kept in enclosed dock areas to eliminate spread of odors. All processes are performed within the building which will eliminate noise concerns. Noise generation will be limited to truck traffic of approximately 20 trucks per day”.

3. No Interference with Surrounding Development.

Staff comment: The properties to east and south are also zoned M-1. The adjacent property to the west is zoned residential but a landscape buffer is proposed along the western property line.

4. Adequate Public Facilities.

See Fire Department comments below.

5. No Traffic Congestion.

Staff comment: No expected truck traffic through residential streets.

6. No Destruction of Significant Features.

Staff comment: Conservation easements are recommended to protect existing on-site natural resources.

7. Compliance with Standards.

See site plan analysis presented further in this staff report.

The Fire Department has expressed the following:

- Significant concern with storage/use of large quantities of ammonia immediately adjacent to and upwind of planned residential, commercial, and multi-use

development. Asphyxiant, corrosive/irritant, and potential explosive properties will be present in the event of a release/leak or fire.

- Area is poorly served by existing fire station locations and staffing. Response times for Effective Response Force for fire and EMS calls-for-service, and emergency incident types will likely exceed accepted industry standards (possibly significantly) for the entire development.

The applicant stated that “the ammonia refrigeration system will meet all current codes and regulations. Due to the volume of ammonia on site a Process Safety Management (PSM) program will be in place. Furthermore, the system will be provided with an ammonia diffusion tank to allow for emergency evacuation and diffusion in a hazardous ammonia situation” per letter dated June 28, 2020.

Site Plan:

The proposed meat processing facility includes a 152,035 square foot building, oriented north-south and roughly centered on the property and facing east. The site will be accessed at two locations on the future Monarch Drive and will not have access from Loomis Road. The first access point on Monarch Drive, located roughly at the midpoint of the lot, will lead to an employee parking lot along the front (east) side of the building. The second access point, located at the southern end of the lot, will be for truck receiving and shipping. The access drive leads to a guardhouse located approximately 200 feet from the property line. The access drive continues past the guardhouse along the south, west, and north sides of the building. A future access drive would be located at the intersection of Chicory Street and Monarch Drive, a separate site plan amendment would be required for this future drive.

The building is a single-story structure, the processing area of the building will be 36 feet in height and the office/support areas of the building will be 18 feet in height. The building will be a steel framed and concrete slab-on-grade structure enclosed with insulated metal wall panels. The exterior of the office/ employee welfare will be a combination of masonry and architectural metal wall panels.

The site plan includes a future expansion area on the west side of the proposed building. This includes a roughly 112,000 square foot “building expansion area” and a roughly 47,000 square foot truck maintenance facility. The site plan also identifies areas for future truck dock parking north of the proposed meat processing facility. The future development would require review approval by the City before development.

Trucks containing cattle would be unloaded at docks located on the south side of the building. The floor plan includes indoor cattle holding pens and areas for various steps of meat processing, including preslaughter handling, stunning, and slaughtering. There are extensive coolers for chilling carcasses before fabrication (butchering) and a large area for the fabrication process. The floor plan also includes various employee breakrooms, office and conference spaces and restrooms.

This project complies with the development standards of the M-1 zoning district as shown below:

- Gross Floor Area Ratio (GFAR): 0.20 Maximum allowed: 0.42
- Net Floor Area Ration (NFAR): 0.33 Maximum allowed: 0.85
- Landscape Surface Ratio: 0.50 Minimum required: 0.40

Exterior trash compactors are proposed on the north and southwest sides of the building. Various pieces of mechanical equipment are located on the east and west sides of the building, which are to be concealed by screen walls.

Watermain easements are proposed on all sides of the site. Any future building expansions would need to be designed to avoid the easement.

Driveways

Proposed driveway openings are 28 feet wide for the employee parking lot and 48 feet wide for truck entrance. UDO 15-5.0207B limits width to 24 feet and 30 feet at roadway; however, it also states that the Plan Commission may approve openings for vehicular ingress and egress greater than 30 feet.

Staff has no objections to the request above. However, if the Plan Commission does not approve wider driveways, staff recommends that the applicant shall provide a revised Site Plan with driveway openings no wider than 24 feet and 30 feet at roadway, for Department of City Development review and approval, prior to issuance of a Building Permit.

Parking:

Table 15-5.0203 of the Unified Development Ordinance (UDO) requires two parking spaces per 1,000 square feet of Gross Floor Area for “Light Industry” land uses. Based on the overall square footage (162,830), 324 parking spaces are required.

The applicant is requesting a reduction of 13% (44 stalls) for a total of 280 parking stalls. The applicant stated that *“the overall number of employees is 272 with a maximum of 240 being onsite at the same time. Even with the reduction in parking there would still be 40 overflow spaces available”*.

The Plan Commission may approve (up to) a 25% parking reduction, provided that the applicant has submitted sufficient proof that the minimum number of required parking spaces would exceed the proposed use’s projected parking demand. Staff has no objection to the justification provided by the applicant. Additionally, the proposed 7 ADA parking spaces comply with Table 15-5.0202(I)(1).

Landscaping:

Landscape plantings are provided along the perimeter of the property and concentrated around the stormwater ponds. Bufferyards are required on the north and west sides of this property due to adjacent residential zoning.

The applicant has addressed staff comments regarding landscaping in communication dated June 28, 2020, page 4.

Fencing:

Much of the site, including truck traffic drives and the south, west, and north sides of the proposed building, is enclosed by an 8-foot high chain link fence.

According to UDO §15-3.0803(C)(2)(b), fences installed in nonresidential zoning districts shall not exceed six feet in height, except when required to enclose outside storage areas or when approved by the Plan Commission may be up to ten feet in height. The 8-ft high chain link and the 10-ft high masonry wall are subject to approval by the Plan Commission.

Lighting:

The applicant has provided a Lighting Plan with photometrics. The Lighting Plan includes 31 new light poles, 10 wall-mounted building lights, and 17 wall-mounted emergency egress fixtures. The light poles have an overall height of 30 feet, which is below the maximum permitted height of 50 feet.

The maximum illumination is 0.9 foot-candles and at the property lines, which meets the requirements of Table 15-5.0401(C) of the UDO, and the cutoff angle of fixtures is 90 degrees or less.

Architecture:

The exterior of the building will be enclosed with cream-colored insulated metal wall panels. The front façade includes a combination of dark grey masonry and dark brown (wood-like) architectural metal wall panels. The side and rear façades are predominately flat insulated metal wall panels with little to no façade articulation.

Natural Resource Protection Plan:

A natural resource investigation of the property was conducted by Pinnacle Engineering Group on September 12, 2019. There are wetlands at the northwest and southwest corners of the property. A small pond is located just west of the property line. The proposed development maintains all required setbacks and buffers from the wetlands and pond. Staff recommends that the applicant shall prepare a Conservation Easement for all protected natural resource features for staff review and Common Council approval, and recording with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.

Signage:

The applicant is aware that signs are subject to separate review and approval through the Architectural Review Board and Inspection Department.

Public input:

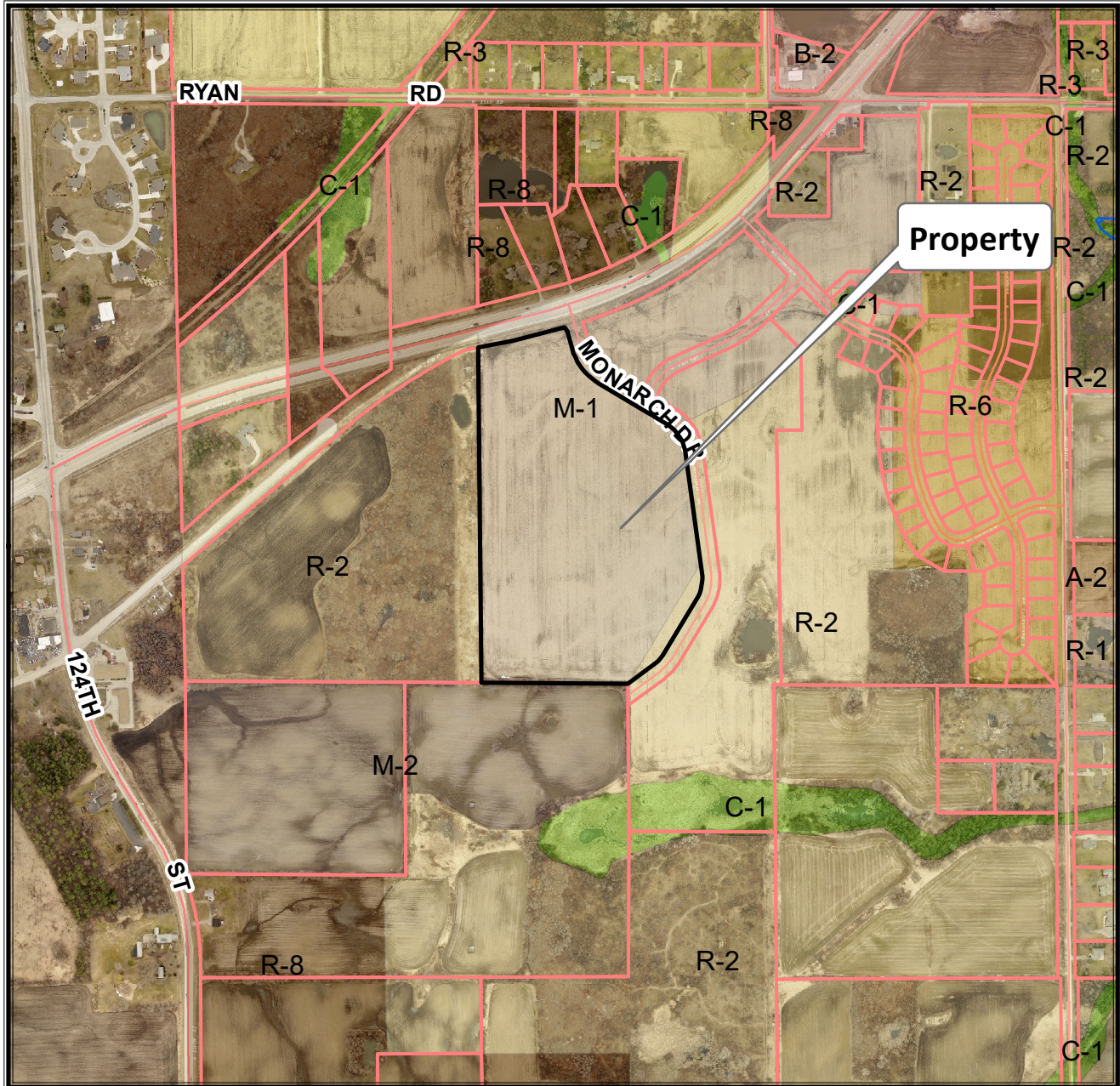
Public comments are attached to the meeting packet.

STAFF RECOMMENDATION

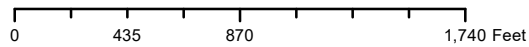
City Development staff recommends approval of the proposed Special Use and associated Site Plan for Strauss Brands meat processing facility upon property located on Lot 83 of Ryan Meadows, subject to the conditions set forth in the draft Resolution.

The applicant is also requesting approval of the items below:

- A 13% reduction of required parking for a total of 280 parking stalls while 324 are required per Table 15-5.0203 of the Unified Development Ordinance (UDO). The Plan Commission may approve up to a 25% parking reduction.
- 28 feet wide driveway for the employee parking lot and 48 feet wide for truck entrance while UDO §15-5.0207.B limits width to 24 feet and 30 feet at roadway. The Plan Commission may approve openings for vehicular ingress and egress greater than 30 feet.
- 8 feet high chain link fence and 10 feet high masonry wall while fences installed in nonresidential zoning districts shall not exceed six feet in height per UDO §15-3.0803.C.2.b, except when required to enclose outside storage areas or when approved by the Plan Commission may be up to ten feet in height.

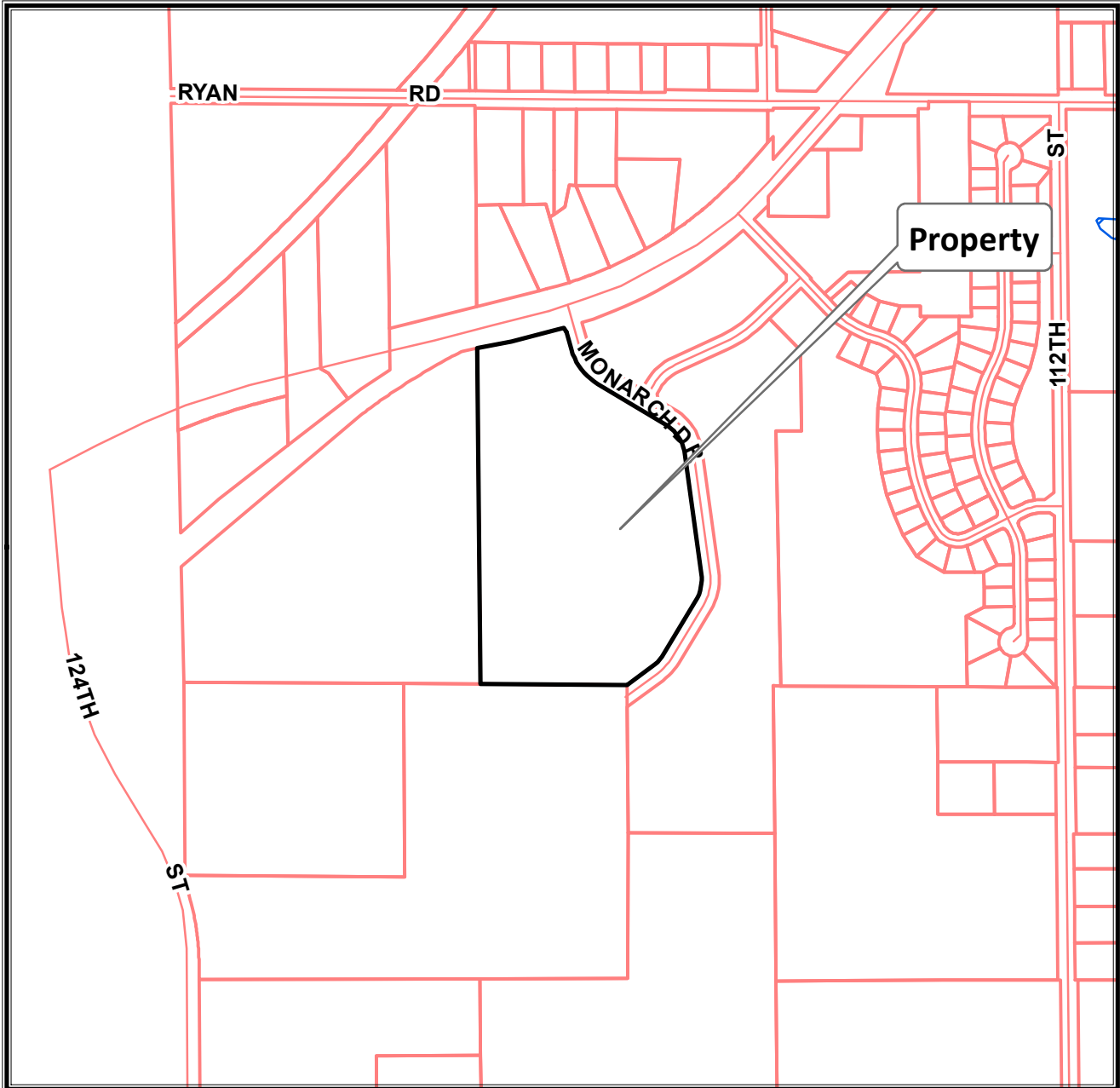


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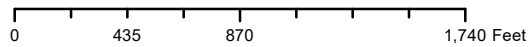


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TKN: 891 1083 000



Planning Department
(414) 425-4024



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RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE FOR A MEAT PROCESSING FACILITY
USE UPON PROPERTY LOCATED AT THE SOUTHWEST CORNER OF THE
INTERSECTION OF WEST LOOMIS ROAD AND THE NEW MONARCH DRIVE
(LOT 83 OF RYAN MEADOWS SUBDIVISION)
(STRAUSS BRANDS LLC, APPLICANT)

WHEREAS, Strauss Brands LLC having petitioned the City of Franklin for the approval of a Special Use within an M-1 Limited Industrial District under Standard Industrial Classification Title No. 2011 "Meat Packing Plants" to allow for construction of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, which will include cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces, upon property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision, approximately 30.2 acres), bearing Tax Key No. 891-1083-000, more particularly described as follows:

Parts of Lot 1 and Outlot 1, of Certified Survey Map No. 9095 as recorded in the register of deeds office for Milwaukee County as Document No. 10830741, being a part of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows: Commencing at the southwest corner of the Northwest 1/4 of said Section 30; thence South 89°39'32" East along the south line of said Northwest 1/4, 1345.74 feet to the southwest corner of Lot 1 Certified Survey Map No. 9095 and the Point of Beginning; Thence North 00°34'12" West, along the west line of said Lot 1, 1523.10 feet to the southerly line of said right-of-way of West Loomis Road; thence North 79°00'41" East along the southerly line of said right-of-way, 156.97 feet; thence North 75°45'51" East along the southerly line of said right-of-way, 215.80 feet to a point of curvature; thence northeasterly along the southerly line of said right-of-way, 30.51 feet along the arc of said curve to the left, whose radius is 1979.86 feet and whose chord bears North 75°19'22" East, 30.51 feet; thence South 29°08'47" East, 22.47 feet; thence South 16°09'38" East, 83.27 feet to a point of curvature; thence southeasterly 198.68 feet along the arc of said curve to the left, whose radius is 265.00 feet and whose chord bears South 37°38'23" East, 194.06 feet; thence South 59°07'06" East, 356.12 feet to a point of curvature; thence southeasterly 170.14 feet along the arc of

STRAUSS BRANDS LLC – SPECIAL USE
RESOLUTION NO. 2020-_____

Page 2

said curve to the right, whose radius is 190.00 feet and whose chord bears South 33°27'51" East, 164.52 feet; thence South 07°48'36" East, 543.63 feet to a point of curvature; thence southwesterly 128.99 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears South 11°38'18" West, 126.52 feet; thence South 31°05'13" West, 282.33 feet to a point of curvature; thence southwesterly 75.12 feet along said curve to the right, whose radius is 190.00 feet and whose chord bears South 42°24'51" West, 74.64 feet; thence South 53°44'29" West, 143.69 feet to the south line of said Northwest 1/4; thence North 89°39'32" West along said south line, 662.99 feet to the Point of Beginning. Containing 1,316,168 square feet (30.2151 acres) of land, more or less; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 17th day of September, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Strauss Brands LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Strauss Brands LLC, successors and assigns, as a meat processing facility use, which shall be developed in substantial compliance with, and operated and maintained by Strauss Brands LLC, pursuant to those plans City file-stamped September 28, 2020 and annexed hereto and incorporated herein as Exhibit A.

STRAUSS BRANDS LLC – SPECIAL USE
RESOLUTION NO. 2020-_____

Page 3

2. Strauss Brands LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Strauss Brands LLC meat processing facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Strauss Brands LLC and the meat processing facility use for the property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision): (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Hours of livestock deliveries shall be from 4:00am to 1:00pm Monday thru Friday. Hours of operation for harvest, fabrication and grinding shall be from 6:00am to 4:30pm Monday thru Friday. This condition shall not apply to maintenance, sanitation and administration activities.
5. No outside storage of supplies and/or equipment shall be permitted.
6. No livestock shall be kept outside the buildings.
7. No livestock shall be kept on the premise overnight except when requested by state or federal inspector.
8. A maximum of 14 empty livestock trucks shall be permitted to park on the premise overnight.
9. No livestock trucks shall be washed or cleaned on the premise.
10. All processing waste shall be removed from the premise daily.
11. Removal of snow from private parking lots, walks and access drives shall be the responsibility of the owner.
12. This Special Use does not include future building expansion areas, future truck maintenance facility, future parking nor future driveways.
13. This Special Use is not approving any signs, signage requires a separate permit from the Inspection Services Department prior to installation.

14. The applicant shall prepare conservation easements for all protected natural resource features for staff review and Common Council approval, and recording with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.
15. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.
16. The minimum required off-street parking is 280 parking stalls.
17. The maximum driveway width is 28 feet for the employee parking lot and 48 feet for the truck entrance.
18. The maximum height is 8 feet for chain link fences and 10 feet for masonry walls, measured from grade.
19. The cattle barns and harvest areas shall be ventilated with a high volume of outside air to dissipate buildup of odors. Trucks and trailers used to remove hides and inedible waste shall be kept in enclosed dock areas to eliminate spread of odors.

BE IT FURTHER RESOLVED, that in the event Strauss Brands LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of a building permit for such use.

STRAUSS BRANDS LLC – SPECIAL USE
RESOLUTION NO. 2020-_____
PAGE 5

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-____

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION OF A MEAT PROCESSING FACILITY WITH ASSOCIATED CATTLE PEN, A HARVEST FLOOR, CARCASS COOLERS, FABRICATION AREAS, PACKAGING AREAS, WAREHOUSE AREAS, SHIPPING DOCKS, OPERATIONS OFFICES, EMPLOYEE WELFARE SPACES, ASSOCIATED MECHANICAL SUPPORT FACILITIES AND SPACES, A FUTURE DEVELOPMENT AREA, STORMWATER PONDS, PARKING LOT AND TRUCK AND EMPLOYEE VEHICLE ENTRANCE DRIVES
(THE SOUTHWEST CORNER OF THE INTERSECTION OF WEST LOOMIS ROAD AND THE NEW MONARCH DRIVE (LOT 83 OF RYAN MEADOWS SUBDIVISION)
(STRAUSS BRANDS LLC, APPLICANT)

WHEREAS, Strauss Brands LLC having applied for approval of a proposed site plan for construction of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces, associated mechanical support facilities and spaces [the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) (the site is designed to detain all stormwater on-site in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings)], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision (approximately 30.2 acres)); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 152,035 square foot meat processing facility designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces, associated mechanical support

STRAUSS BRANDS LLC – SITE PLAN
RESOLUTION NO. 2020-_____

Page 2

facilities and spaces [the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) (the site is designed to detain all stormwater on-site in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings)], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision (approximately 30.2 acres)) as depicted upon the plans dated September 28, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Strauss Brands LLC meat processing facility dated September 28, 2020.
2. Strauss Brands LLC, successors and assigns, and any developer of the Strauss Brands LLC meat processing facility construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Strauss Brands LLC meat processing facility construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Strauss Brands LLC meat processing facility construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Strauss Brands LLC meat processing facility construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. This Site Plan is conditioned upon the approval of a Special Use to allow for meat packing plants.

STRAUSS BRANDS LLC – SITE PLAN
RESOLUTION NO. 2020-_____

Page 3

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



September 24, 2020

Régulo Martínez-Montilva, AICP
Associate Planner - Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Project: **Strauss Brands, LLC - New Meat Processing Facility**
West Loomis Road & Monarch Drive
Franklin, Wisconsin

Subject: **City Development Department Review Comment Responses**
ESIDS Project No.: 20-1257-01

Dear Régulo:

Below please find our responses to the Application for Special Use and Site Plan review comments made by the City Development Department, Engineering Department, and Fire Department, dated September 2, 2020.

DEPARTMENT OF CITY DEVELOPMENT

Site Plan

1. Per Unified Development Ordinance (UDO) §15-4.0102(E), shore buffers shall remain as undisturbed land and undisturbed natural vegetation. Therefore, grading and landscape plantings are not allowed within the shore buffer located on the west side of the property. Please revise grading plan and landscape plan accordingly.

Response: *Civil Drawings have been updated to eliminate work within the shore buffer. See attached updated drawings C401 and L400.*

2. Pursuant to UDO §15-5.0210, the minimum snow storage area is 10% of the total pavement areas (391,687 sf per site data table in sheet C300). Please revise the snow storage plan (sheet L401) to meet this requirement.

Response: *Drawing L401 has been updated to show the required snow storage.*

3. According to UDO §15-3.0803(C)(2)(b), fences installed in nonresidential zoning districts shall not exceed six feet in height, except when required to enclose outside storage areas or when approved by the Plan Commission may be up to ten feet in height. Note that the 8-ft high chain link and the 10-ft high masonry wall are subject to approval by the Plan Commission.

Response: *Strauss LLC understands the approval for the request must be approved by the Planning Commission.*

4. With regards to previous staff comments dated May 18, 2020, please note that the parking reduction request (#26) and the driveway width increase (#11) are subject to approval by the Plan Commission.

Response: *Strauss LLC understands the approval for the request must be approved by the Planning Commission.*

Engineering Department Comments

5. Engineering have no comments for the Special Use application. The site plan is still under review by the Engineering Department.

Response: *Site drawings have been revised to comply with the Engineering Departments final review comments and were resubmitted to the Engineering Department on 9-24-2020*

Fire Department Comments

6. Previous comments/concerns still apply.

Response: *Strauss, LLC understands the concerns raised from the Fire Department.*

Mayor's Comments

7. Would have preferred semi parking away from Loomis but... if that's the worst thing I can find then we're doing pretty well.

Response: *The semi parking area is shielded from Loomis Road by a 6'-7' high landscaped berm that will limit the view of the trucks.*

Alderman John Nelson Comments

8. What measures are proposed to mitigate odor and noise?

Response: *The wastewater treatment room is fitted with air scrubbers to eliminate odors. The cattle barns and harvest areas are ventilated with a high volume of outside air to dissipate build up of odors. Trucks/trailers used to remove hides and inedible waste are kept in enclosed dock areas to eliminate spread of odors.*

All processes are performed within the building which will eliminate noise concerns. Noise generation will be limited to truck traffic of approximately 20 trucks per day.

9. What is the expected truck delivery schedule for 250-500 head of cattle per day? Any overnight truck parking on the property?

Response: *Delivery of animals to the site will be from 4:00AM to 1:00PM Monday thru Friday.*

10. Ensure no animals will EVER be kept outside.

Response: *No animals will be kept outside. All animals will be delivered directly from the trucks to the barns.*

Date: September 24, 2020
Project: **Strauss Brands, LLC - New Meat Processing Facility**
Franklin, Wisconsin
Subject: **City Development Department Review Comment Responses**
Page 3 of 3

11. How will the residents be guaranteed their water wells will not be contaminated?

Response: *All process areas including the cattle barns have sanitary drains that feed directly into the wastewater pre-treatment system which then discharges to the municipal sewer system. There are no exterior wastewater settling ponds of any kind on the project.*

We believe all of your comments have been addressed. If you have any questions or need further clarification, please contact us at your earliest convenience.

Sincerely

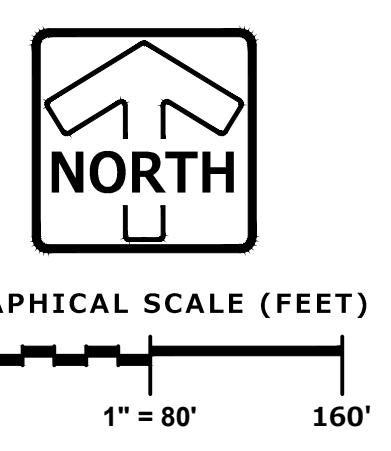
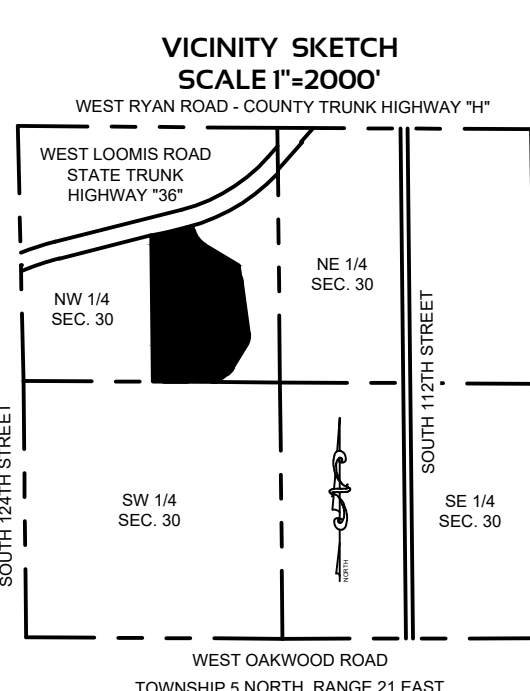


Donald A. Olsen, AIA, CSI
Vice President of Design/Operations
262-369-3535 Main Line
262-369-3577 Direct Line
262-391-1436 Cell
262-369-3592 Fax
dolsen@esigroupusa.com

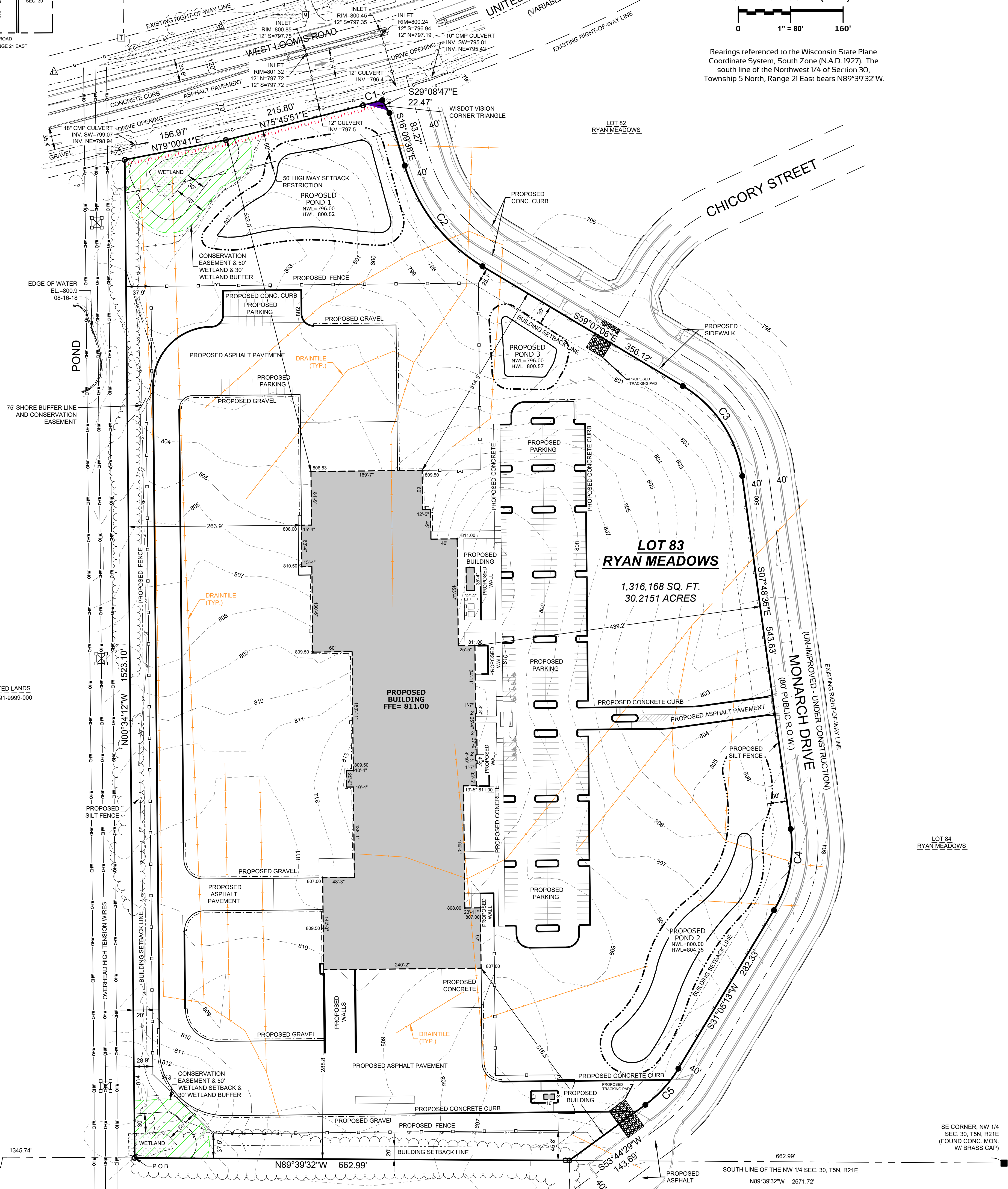
cc: John Dohogne, President - ESI Design Services, Inc.
Timothy P. Gibbons, V.P. Design/Business Development - ESI Design Services, Inc.
File: M:\ESI DS Jobs\2020\20-1257-01 Strauss Franklin WI\03-Agency\20-1257-01 City of Franklin -Staff Comment Response LTR-02.doc

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

www.pinnacle-engr.com



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The south line of the Northwest 1/4 of Section 30, Township 5 North, Range 21 East bears N89°39'32\"/>



LEGEND OF SYMBOLS & ABBREVIATIONS

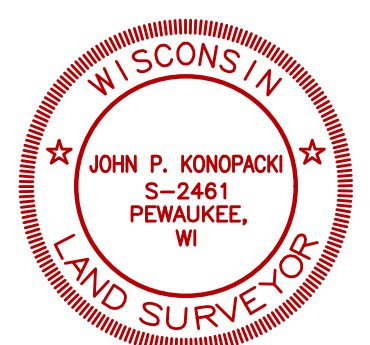
- SANITARY MANHOLE
- ⊙ STORM MANHOLE
- CLEANOUT
- CATCH BASIN
- ⊞ LATERAL
- ⊞ UNKNOWN MANHOLE
- ⊞ WELL
- ⊞ HYDRANT
- ⊞ WATER VALVE
- ⊞ DOWN SPOUT
- ⊞ SPRINKLER VALVE
- ⊞ WATER SHUT OFF
- ⊞ STANDPIPE
- ⊞ WATER MANHOLE
- ⊞ FLOOD LIGHT
- ⊞ LIGHT POLE
- ⊞ TRAFFIC SIGNAL
- ⊞ UTILITY POLE
- ⊞ GUY WIRE
- ⊞ SANITARY SEWER
- ⊞ STORM SEWER
- ⊞ W WATER MAIN
- ⊞ FO FIBER OPTIC LINE
- ⊞ T TELEPHONE LINE
- ⊞ E ELECTRIC LINE
- ⊞ OHW OVERHEAD WIRES
- ⊞ CATV CABLE TELEVISION
- ⊞ G GAS MAIN
- ⊞ W WETLANDS
- ⊞ TREE LINE
- ⊞ NO ACCESS
- ▲ FIBER OPTIC MARKER
- ⊞ FIBER OPTIC MANHOLE/VAULT
- ⊞ TELEPHONE PEDESTAL
- ⊞ TELEPHONE MANHOLE/VAULT
- ⊞ TELEPHONE MARKER
- ⊞ TRANSFORMER
- ⊞ ELECTRIC METER/PEDESTAL
- ⊞ ELECTRIC MANHOLE/VAULT
- ⊞ CABLE TV RISER/BOX
- ⊞ CABLE TV MANHOLE/VAULT
- ⊞ GAS VALVE
- ⊞ GAS METER
- ⊞ GAS MARKER
- ⊞ AIR CONDITIONING UNIT
- ⊞ VENT
- ⊞ DIRECTIONAL ARROW
- ⊞ DUMPSTER
- ⊞ HANDICAP STALL
- ⊞ SPOT ELEVATION
- ⊞ SIGN
- ⊞ MAIL BOX
- ⊞ FLAG POLE
- ⊞ BASKETBALL HOOP
- ⊞ BOLLARD
- ⊞ CROSS CUT
- ⊞ FOUND 1\"/>

LEGAL DESCRIPTION:

Lot 83 of Ryan Meadows, being a part of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 Section 30, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

I, John P. Konopacki, Professional Land Surveyor, hereby certify that this survey map is correct to the best of my knowledge and belief with the information provided and complies with requirements of Chapter A-E 7 s.35.93 of the Wisconsin State Statutes.

SIGNED: *John P. Konopacki*
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461



NOTES

- Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55079C0206E AND 55079C0205E dated SEPTEMBER 26, 2008. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Underground utility locations shown are based on field location markings by Digger's Hotline. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
- Wetlands delineated by Heartland Ecological Group, Inc. on September 6, 2018.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the Northwest corner of the Northeast 1/4 Section 30, Town 5 North, Range 21 East, Elevation = 803.18.
- PROPOSED GRADING PLAN SEE: New Facility For Strauss Brands, Inc., Grading Plan, Sheets C401 & C402, prepared by: Pinnacle Engineering Group, dated 5/01/20, revised 7/28/20.

CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	30.51'	1976.86'	N75°19'22"E	30.51'
C2	198.68'	265.00'	S37°38'22"E	194.06'
C3	170.14'	190.00'	S33°27'51"E	164.52'
C4	128.99'	190.00'	S11°38'18"W	126.52'
C5	75.12'	190.00'	S42°24'51"W	74.64'

11908 WEST LOOMIS ROAD
LOT 83 OF RYAN MEADOWS, BEING PART OF THE NE 1/4 AND SE 1/4 OF THE NW 1/4 OF SEC. 30, T5N, R21E, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING
WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD, BROOKFIELD, WI 53005 (262) 754-8888

PLAT OF SURVEY

REVISIONS

NO.	DATE	DESCRIPTION

PEG JOB No. 899.20A
PEG PM: 09/22/2020
DATE: 09/22/2020
SCALE: 1"=80'
SHEET: 1 of 1
SURVEY

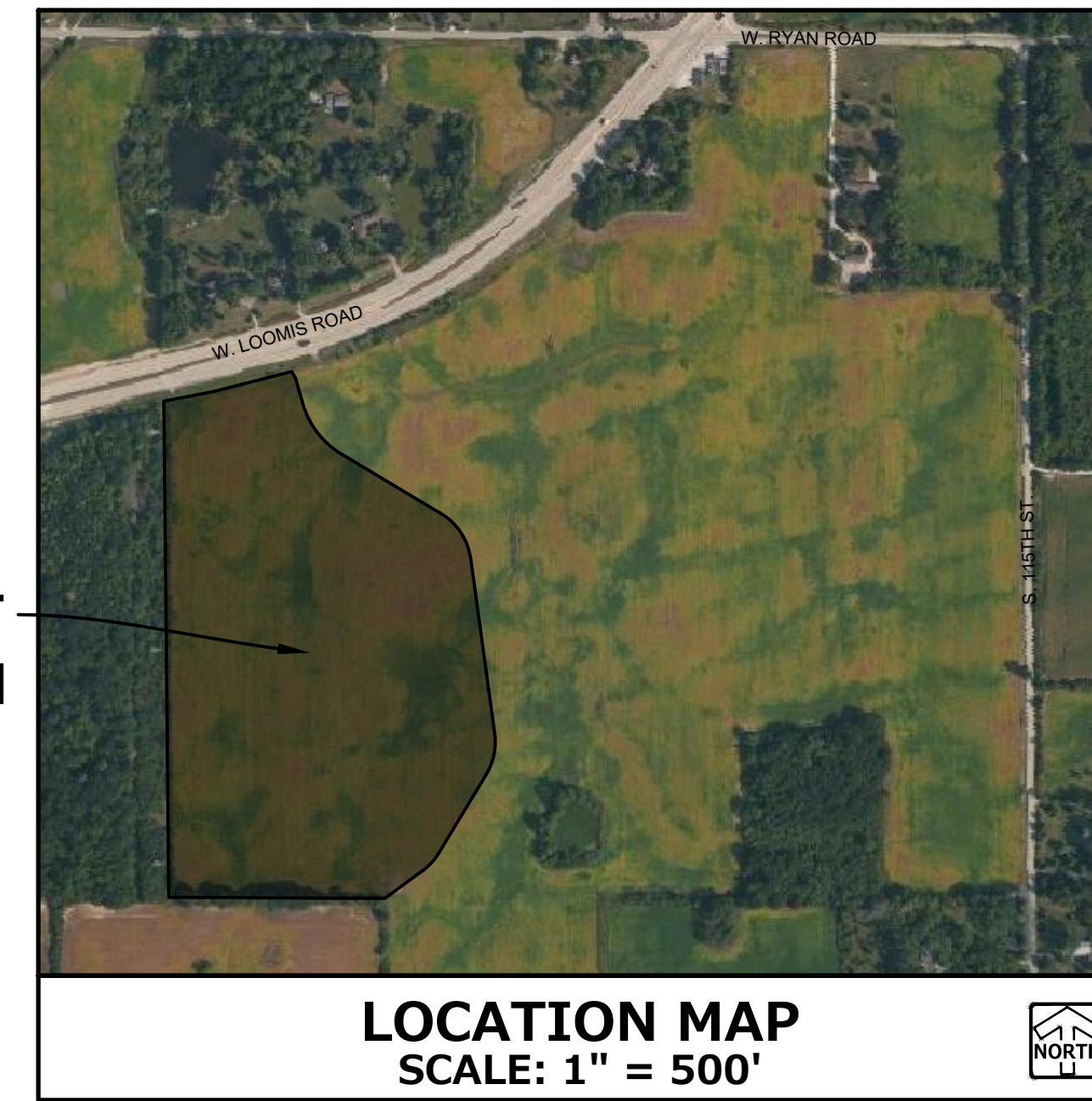
ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

PROPOSED NEW FACILITY FOR STRAUSS BRANDS, INC.

LOOMIS ROAD FRANKLIN, WI 53132

PLANS PREPARED
FOR
ESI DESIGN SERVICES, INC.
950 WALNUT RIDGE DRIVE
HARTLAND, WI 53029



PROJECT
LOCATION

LOCATION MAP
SCALE: 1" = 500'

PROJECT TEAM CONTACTS

<p>CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 WEST BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888</p>	<p>APPLICANT: JERALD BUSSEN STRAUSS BRANDS INCORPORATED 5129 FRANKLIN DRIVE FRANKLIN, WI 53132 (800) 562-7775</p>
<p>SURVEYOR: JOHN KONOPACKI, PLS PINNACLE ENGINEERING GROUP 15850 WEST BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888</p>	

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED BY TERRACON CONSULTANTS, INC. DATED APRIL 4TH, 2018, FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL ARE NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

INDEX OF SHEETS

C100	COVER SHEET
C200	EXISTING CONDITIONS
C300 - C302	SITE DIMENSIONAL & PAVING PLAN
C400 - C402	GRADING PLAN
C403 - C405	INTERIM GRADING PLAN
C500 - C502	UTILITY PLAN
C600 - C604	WATER MAIN PLAN & PROFILE
C700 - C702	SITE STABILIZATION PLAN
C800 - C804	CONSTRUCTION DETAILS
L100 - L500	LANDSCAPE PLANS

REQUIRED SUBMITTALS FOR APPROVAL

- HOT MIX ASPHALT- MIX DESIGN
- CONCRETE PAVEMENTS (EXTERIOR)
- STONE BASE COURSE
- TRENCH BACKFILL
- PIPE BEDDING
- TRUNCATED DOMES

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPE FITTINGS
- SANITARY SEWER
- STORM SEWER
- LIME MIX DESIGN (IF APPLICABLE)



Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

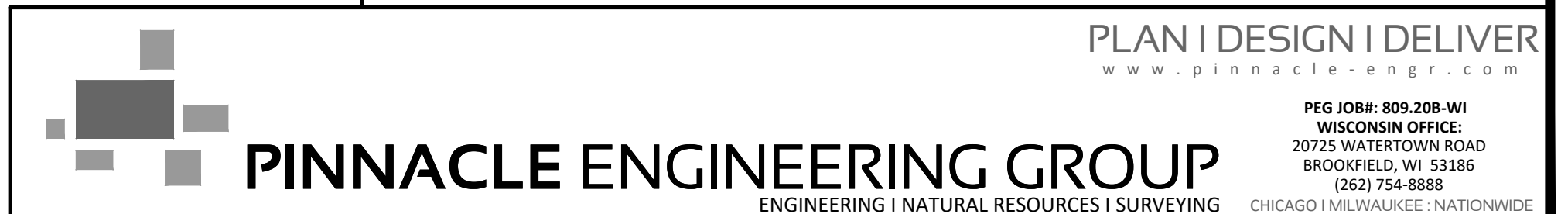
EXPIRATION DATE: JULY 31, 2020

PINNACLE ENGINEERING GROUP, LLC ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PLAN I DESIGN I DELIVER
www.pinnacle-engr.com



LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN		▬
STORM SEWER INLET (ROUND CASTING)	○	●
STORM SEWER INLET (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▽
CONCRETE HEADWALL	∩	∩
AIR RELEASE ASSEMBLY	⊗	⊗
VALVE BOX	⊞	⊞
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING		⊗
LIGHTING	⊙	⊙
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY		⚠
ELECTRICAL TRANSFORMER OR PEDESTAL	⊞	⊞
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	749	749
SPOT ELEVATION	x(750.00)	x750.00
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	∆	INTERSECTION ANGLE



950 Walnut Ridge Drive Hartland, WI 53029 262.369.3333 T 262.369.3392 F

PROPOSED NEW FACILITY FOR
STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

Revision No.	
05.08.20	ADDRESS CITY COMMENTS
06.12.20	PROGRESS SET
07.28.20	ADDRESS CITY COMMENTS
09.24.20	ADDRESS CITY COMMENTS
-	

Job No.
20-1257-01

CAD/CHKD By:
DCC / MAC

Date
05.01.20

Sheet Title
COVER SHEET

Sheet No.
C100
CIVIL

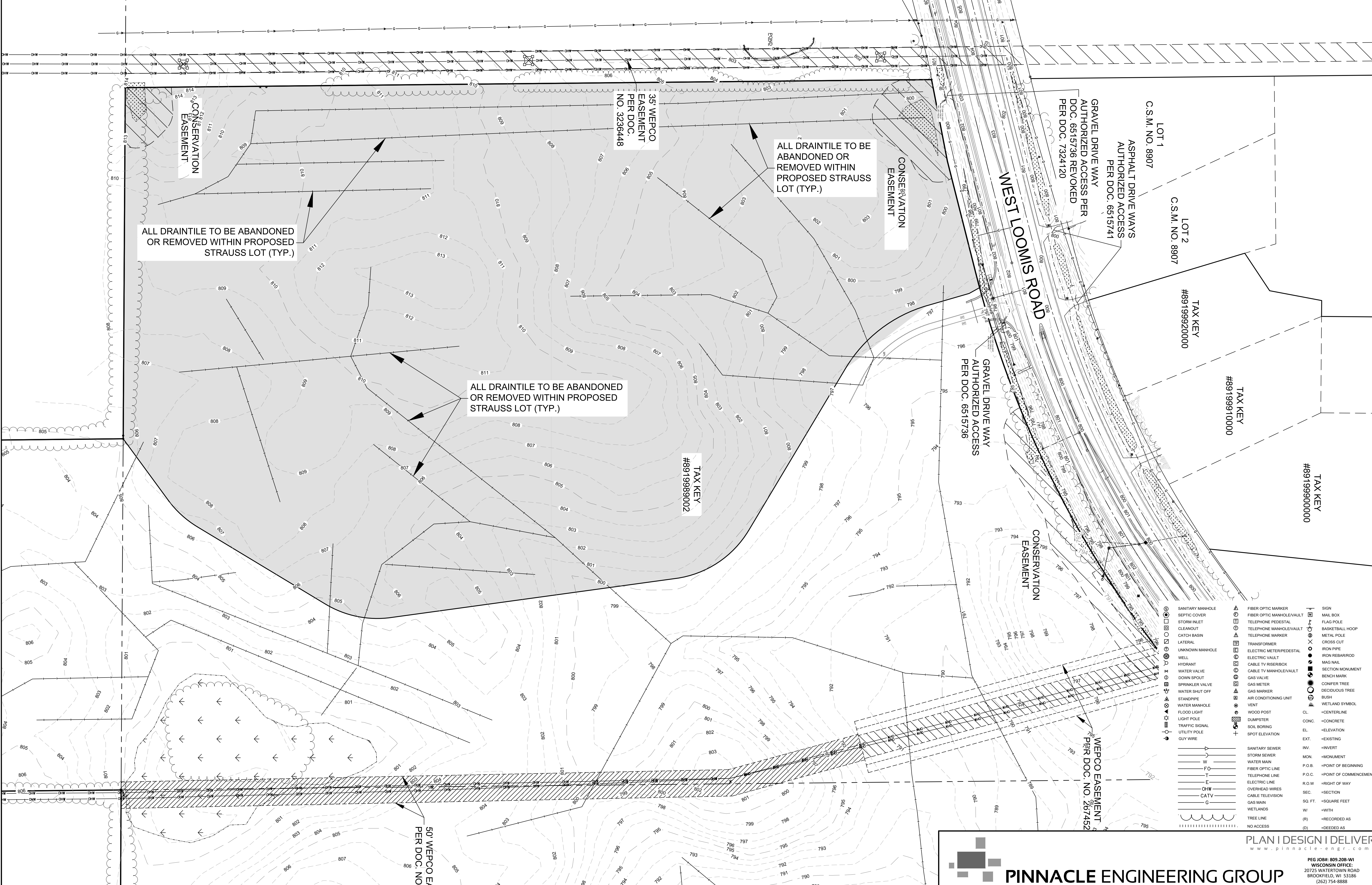
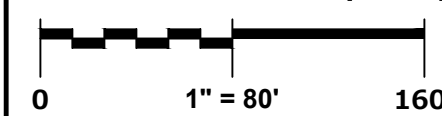
PRELIMINARY NOT FOR CONSTRUCTION



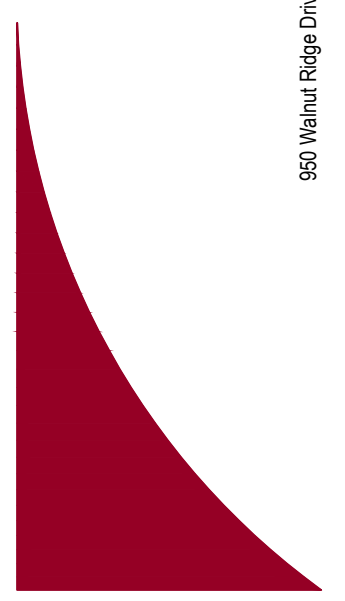
EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

GRAPHICAL SCALE (FEET)



<ul style="list-style-type: none"> SANITARY MANHOLE SEPTIC COVER STORM INLET CLEANOUT CATCH BASIN LATERAL UNKNOWN MANHOLE WELL HYDRANT WATER VALVE DOWN SPOUT SPRINKLER VALVE WATER SHUT OFF STANDPIPE WATER MANHOLE FLOOD LIGHT LIGHT POLE TRAFFIC SIGNAL UTILITY POLE GUY WIRE 	<ul style="list-style-type: none"> FIBER OPTIC MARKER FIBER OPTIC MANHOLE/VAULT TELEPHONE PEDESTAL TELEPHONE MANHOLE/VAULT TELEPHONE MARKER TRANSFORMER ELECTRIC METER/PEDESTAL ELECTRIC VAULT CABLE TV RISER/BOX CABLE TV MANHOLE/VAULT GAS VALVE GAS METER GAS MARKER AIR CONDITIONING UNIT VENT WOOD POST DUMPSTER SOIL BORING SPOT ELEVATION 	<ul style="list-style-type: none"> SIGN MAIL BOX FLAG POLE BASKETBALL HOOP METAL POLE CROSS CUT IRON PIPE IRON REBAR/ROD MANHOLE SECTION MONUMENT BENCH MARK CONIFER TREE DECIDUOUS TREE BUSH WETLAND SYMBOL
<ul style="list-style-type: none"> SANITARY SEWER STORM SEWER WATER MAIN FIBER OPTIC LINE TELEPHONE LINE ELECTRIC LINE OVERHEAD WIRING CABLE TELEVISION GAS MAIN WETLANDS TREE LINE NO ACCESS 	<ul style="list-style-type: none"> CL - CENTERLINE CONC. - CONCRETE EL. - ELEVATION EXT. - EXISTING INV. - INVERT MON. - MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT R.O.W. - RIGHT OF WAY SEC. - SECTION SQ. FT. - SQUARE FEET WI - WITH (R) - RECORDED AS (D) - DECEDED AS 	



PROPOSED NEW FACILITY FOR STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

Revision No.

05.08.20	- ADDRESS CITY COMMENTS
06.12.20	- PROGRESS SET
07.28.20	- ADDRESS CITY COMMENTS
09.24.20	- ADDRESS CITY COMMENTS
	-

Job No.
20-1257-01
CAD/CHKD By:
DCC / MAC
Date
05.01.20

Sheet Title
EXISTING CONDITIONS
Sheet No.
C200
CIVIL

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PEG JOB#: 809.208-WI
WISCONSIN OFFICE:
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SITE DATA	
BASE SITE AREA:	30.22 AC
BUILDING FOOTPRINT AREA:	3.49 AC (152,035 S.F.)
FUTURE BUILDING FOOTPRINT AREA:	2.58 AC (112,307 S.F.)
GROSS FLOOR AREA RATIO:	0.20
NET FLOOR AREA RATIO:	0.33
CAR PARKING:	280 SPACES (7 A.D.A.)
MOTORCYCLE PARKING:	18 SPACES
TRACTOR PARKING:	10 SPACES
TRAILER PARKING:	10 SPACES
FUTURE TRAILER PARKING:	31 SPACES
PAVEMENT AREA:	8.99 AC (391,687 S.F.)
GREEN SPACE/ LANDSCAPE SURFACE AREA:	15.16 AC (50.2%)
LANDSCAPE SURFACE RATIO (LSR):	0.50
ZONING DISTRICT:	M-1, LIMITED INDUSTRIAL

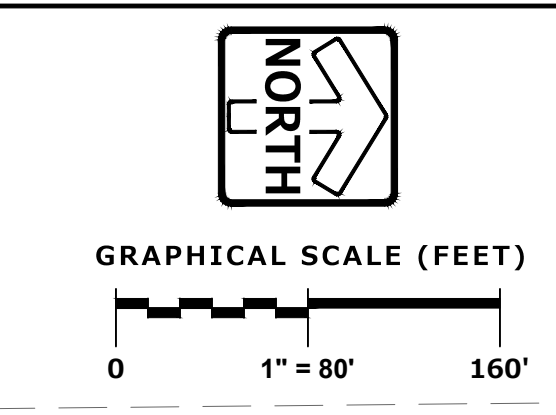
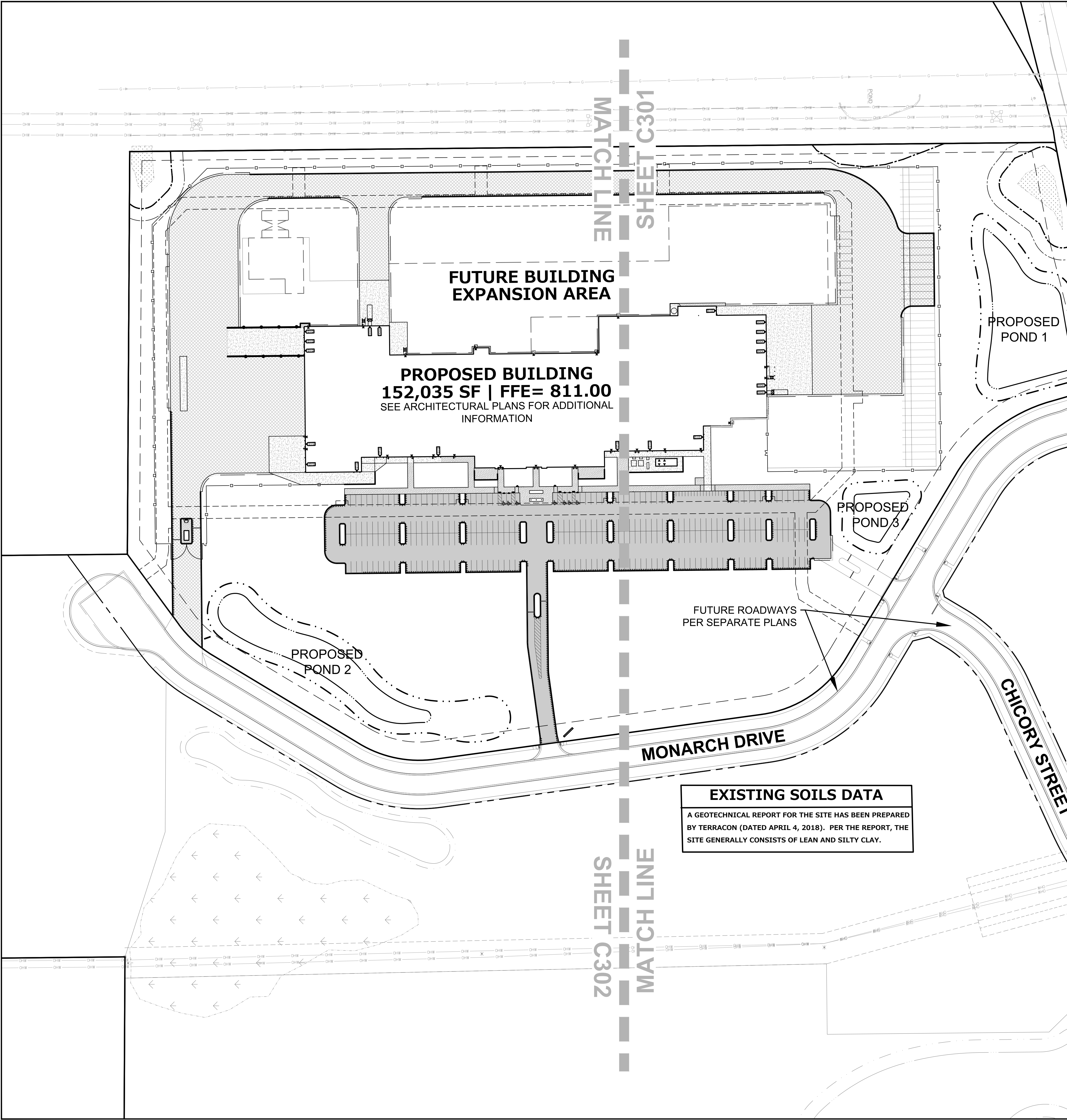
LEGEND	
	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 3-1/2" ASPHALTIC CONC. (2 LIFTS) LOWER LAYER (2-1/2", 5 LT 58-28 S) UPPER LAYER (1-1/2", 5 LT 58-28 S)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 5" ASPHALTIC CONC. (2 LIFTS) LOWER LAYER (3", 3 MT 58-28 S) UPPER LAYER (2", 4 MT 58-28 S)
	CONCRETE PAVEMENT (TRUCK DOCK AND EQUIPMENT AREAS) - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6x6 GAUGE STEEL MESH)
	CONCRETE SIDEWALK - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 5" PCC (6x6 WELDED WIRE FABRIC PER RAC3 315-92)
	GRAVEL EDGE - 1-1/2" DENSE GRADED LIMESTONE
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2" O.C.
	R7-8 HANDICAP PARKING SIGN (SEE DETAIL) BOLLARD TO BE USED WHEN PLACED IN PAVEMENT
	ADA STALL INSIGNIA
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	INTEGRAL CURB AND SIDEWALK (SEE DETAIL)
	BOLLARD
	STEEL STAIRS (SEE ARCHITECTURAL PLANS)
	5.0' x 5.0' CONCRETE STOOP (2% MAX SLOPE)
	WALK FLUSH WITH PAVEMENT (SEE DETAIL)
	RODENT STRIP (SEE DETAIL IN ARCHITECTURAL PLANS)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)

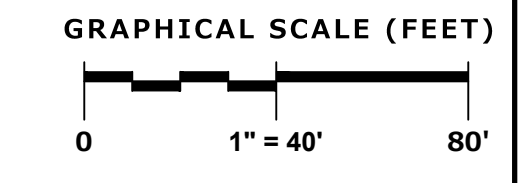
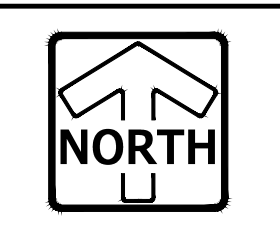
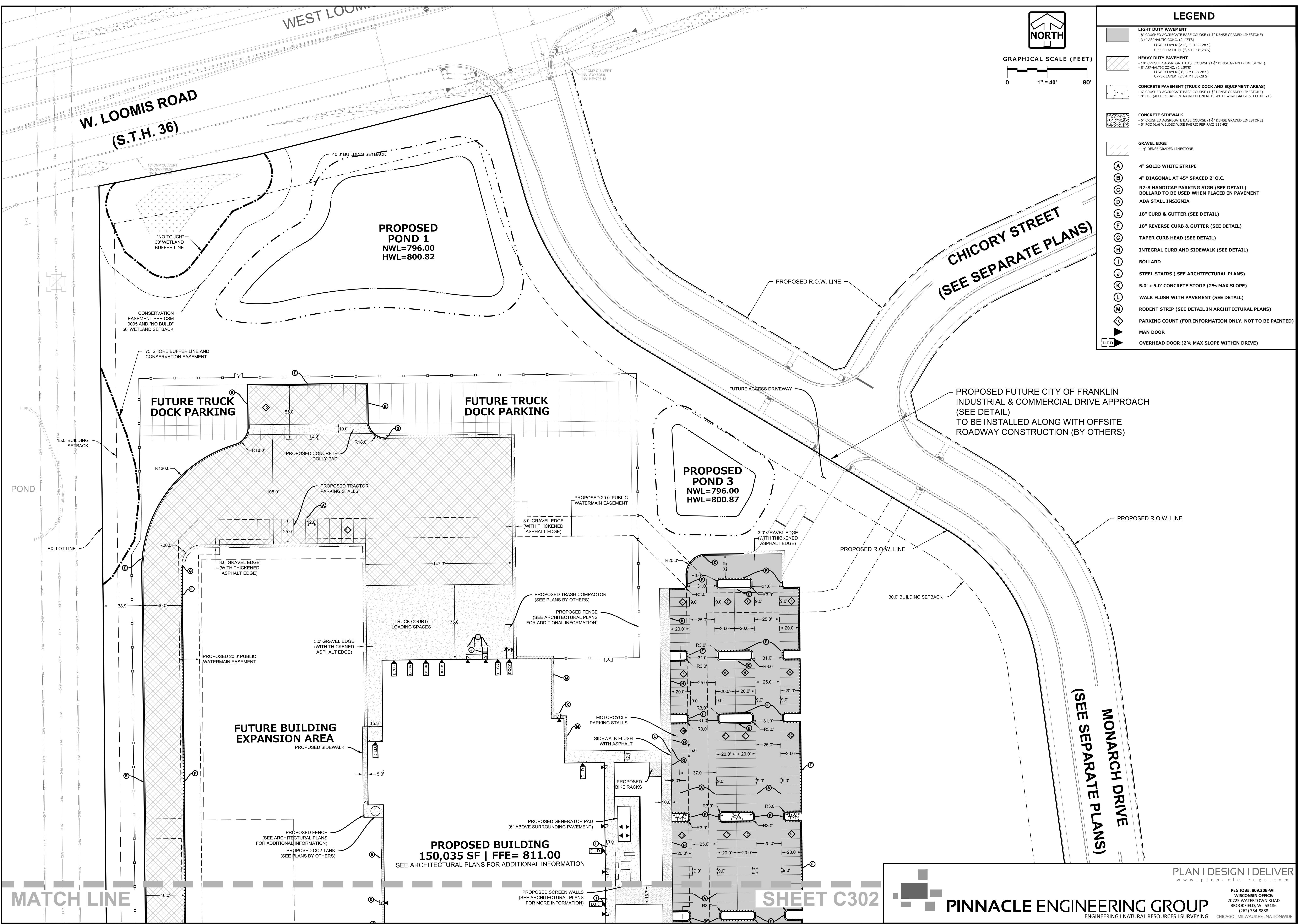
- NOTES**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
 - ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS, ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
 - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
 - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
 - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
 - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
 - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
 - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
 - BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
 - ASPHALTIC CONCRETE PAVING SPECIFICATIONS:
CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

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LEGEND

- LIGHT DUTY PAVEMENT**
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 3-1/2" ASPHALTIC CONC. (2 LIFTS)
 LOWER LAYER (2-1/2" 3 LT 58-28.5)
 UPPER LAYER (1-1/2" 5 LT 58-28.5)
- HEAVY DUTY PAVEMENT**
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 5" ASPHALTIC CONC. (2 LIFTS)
 LOWER LAYER (3" 3 MT 58-28.5)
 UPPER LAYER (2" 4 MT 58-28.5)
- CONCRETE PAVEMENT (TRUCK DOCK AND EQUIPMENT AREAS)**
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6066 GAUGE STEEL MESH)
- CONCRETE SIDEWALK**
 - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 5" PCC (646 WELDED WIRE FABRIC PER RAC3 315-92)
- GRAVEL EDGE**
 - 1-1/2" DENSE GRADED LIMESTONE
- 4" SOLID WHITE STRIPE**
- 4" DIAGONAL AT 45° SPACED 2" O.C.**
- 7-8 HANDICAP PARKING SIGN (SEE DETAIL)**
 BOLLARD TO BE USED WHEN PLACED IN PAVEMENT
- ADA STALL INSIGNIA**
- 18" CURB & GUTTER (SEE DETAIL)**
- 18" REVERSE CURB & GUTTER (SEE DETAIL)**
- TAPER CURB HEAD (SEE DETAIL)**
- INTEGRAL CURB AND SIDEWALK (SEE DETAIL)**
- BOLLARD**
- STEEL STAIRS (SEE ARCHITECTURAL PLANS)**
- 5.0' x 5.0' CONCRETE STOOP (2% MAX SLOPE)**
- WALK FLUSH WITH PAVEMENT (SEE DETAIL)**
- RODENT STRIP (SEE DETAIL IN ARCHITECTURAL PLANS)**
- PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)**
- MAN DOOR**
- OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)**



PROPOSED NEW FACILITY FOR
STRAUSS BRANDS, INC.
 LOOMIS ROAD
 FRANKLIN, WI 53132

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Job No.
 20-1257-01

CAD/CHKD By:
 DCC / MAC

Date
 05.01.20

Sheet Title

SITE DIMENSIONAL & PAVING PLAN

Sheet No.

C301

CIVIL

PRELIMINARY NOT FOR CONSTRUCTION

MATCH LINE

SHEET C302

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Z:\PROJECTS\2016\809.208-WI\CAD\SHEETS\809.208-WI SITE PLAN.DWG

MATCH LINE

SHEET C301

PROPOSED BUILDING
150,035 SF | FFE= 811.00
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

FUTURE BUILDING
EXPANSION AREA

PROPOSED BUILDING
152,035 SF | FFE= 811.00
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

PROPOSED
POND 2
NWL=800.00
HWL=804.35

PROPOSED CITY OF FRANKLIN
INDUSTRIAL DRIVE APPROACH
(SEE DETAIL)
TO BE INSTALLED ALONG WITH
OFFSITE ROADWAY
CONSTRUCTION (BY OTHERS)

MONARCH DRIVE
(SEE SEPARATE PLANS)

PROPOSED CITY OF FRANKLIN INDUSTRIAL
DRIVE APPROACH (SEE DETAIL)
TO BE INSTALLED ALONG WITH OFFSITE
ROADWAY CONSTRUCTION (BY OTHERS)



GRAPHICAL SCALE (FEET)
0 1" = 30' 60'

LEGEND

- LIGHT DUTY PAVEMENT**
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 3/4" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (2-1/2", 3 LT 58-28.5)
 - UPPER LAYER (1-1/2", 5 LT 58-28.5)
- HEAVY DUTY PAVEMENT**
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 5" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (2", 3 MT 58-28.5)
 - UPPER LAYER (2", 4 MT 58-28.5)
- CONCRETE PAVEMENT (TRUCK DOCK AND EQUIPMENT AREAS)**
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6x6 GAUGE STEEL MESH)
- CONCRETE SIDEWALK**
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 5" PCC (6x6 WELDED WIRE FABRIC PER RACI 315-92)
- GRAVEL EDGE**
 - 1-1/2" DENSE GRADED LIMESTONE
- 4" SOLID WHITE STRIPE**
- 4" DIAGONAL AT 45° SPACED 2" O.C.**
- R7-8 HANDICAP PARKING SIGN (SEE DETAIL)**
BOLLARD TO BE USED WHEN PLACED IN PAVEMENT
ADA STALL INSIGNIA
- 18" CURB & GUTTER (SEE DETAIL)**
- 18" REVERSE CURB & GUTTER (SEE DETAIL)**
- TAPER CURB HEAD (SEE DETAIL)**
- INTEGRAL CURB AND SIDEWALK (SEE DETAIL)**
- BOLLARD**
- STEEL STAIRS (SEE ARCHITECTURAL PLANS)**
- 5.0' x 5.0' CONCRETE STOOP (2% MAX SLOPE)**
- WALK FLUSH WITH PAVEMENT (SEE DETAIL)**
- RODENT STRIP (SEE DETAIL IN ARCHITECTURAL PLANS)**
- PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)**
- MAN DOOR**
- OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)**



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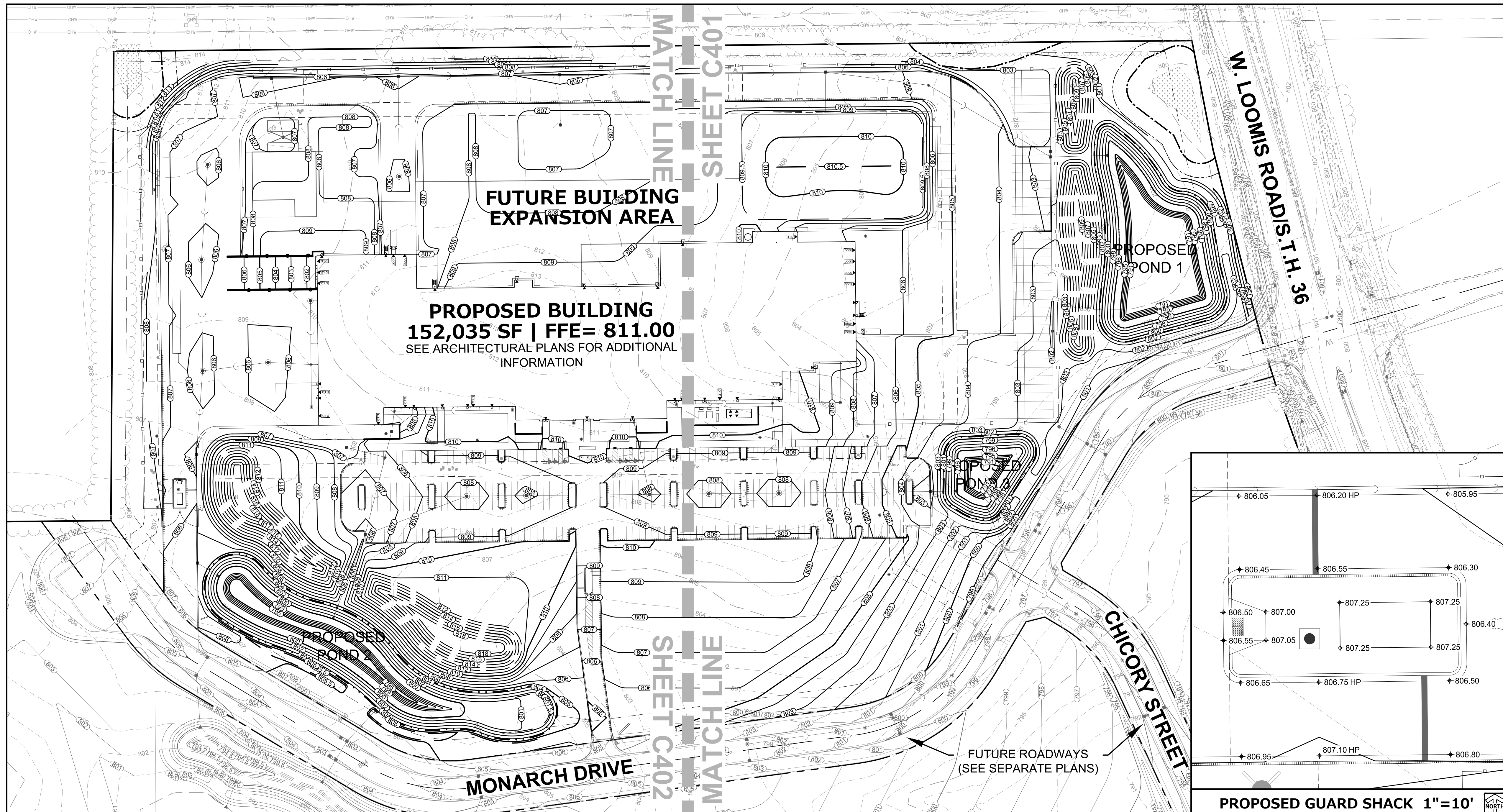
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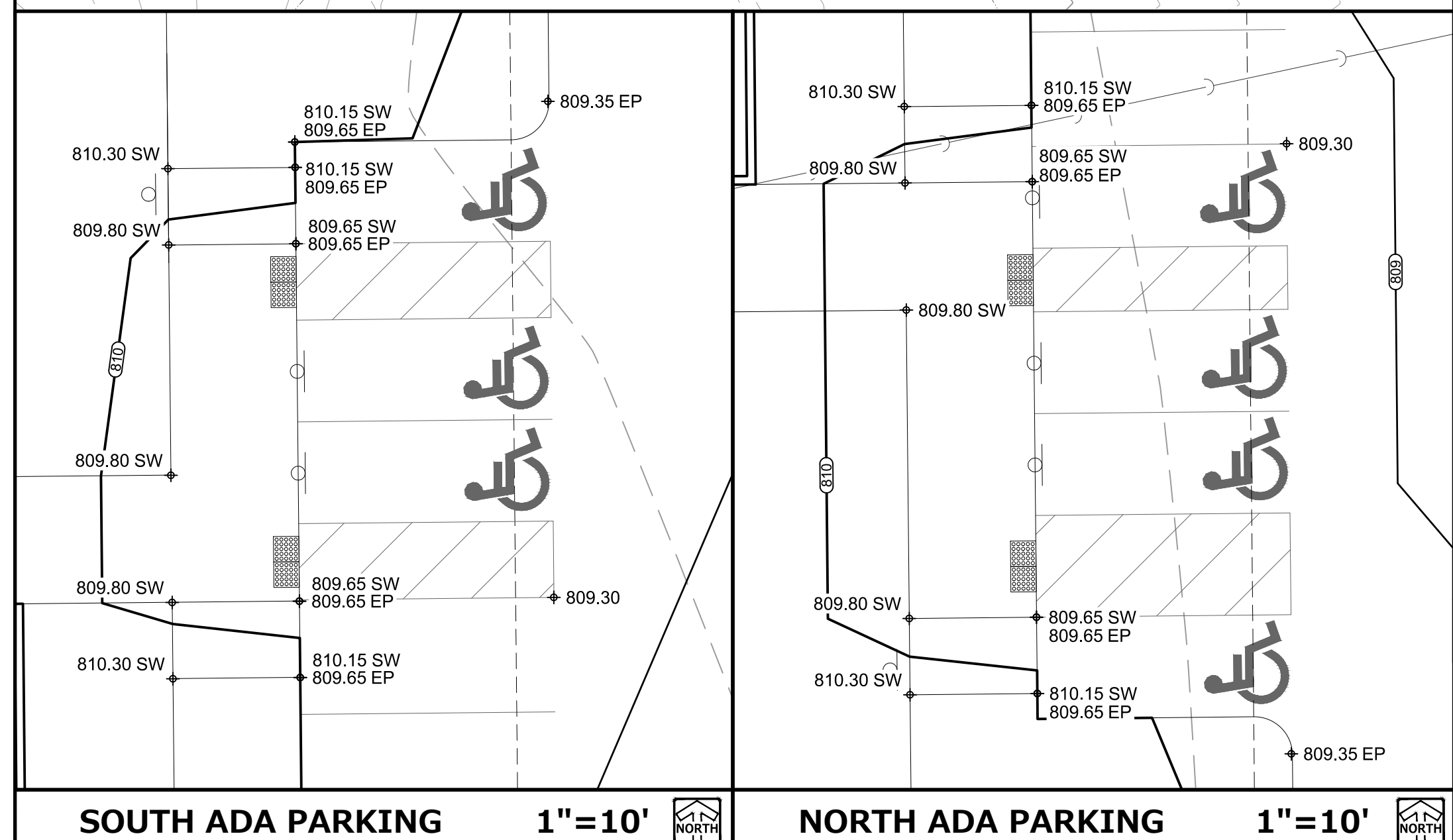
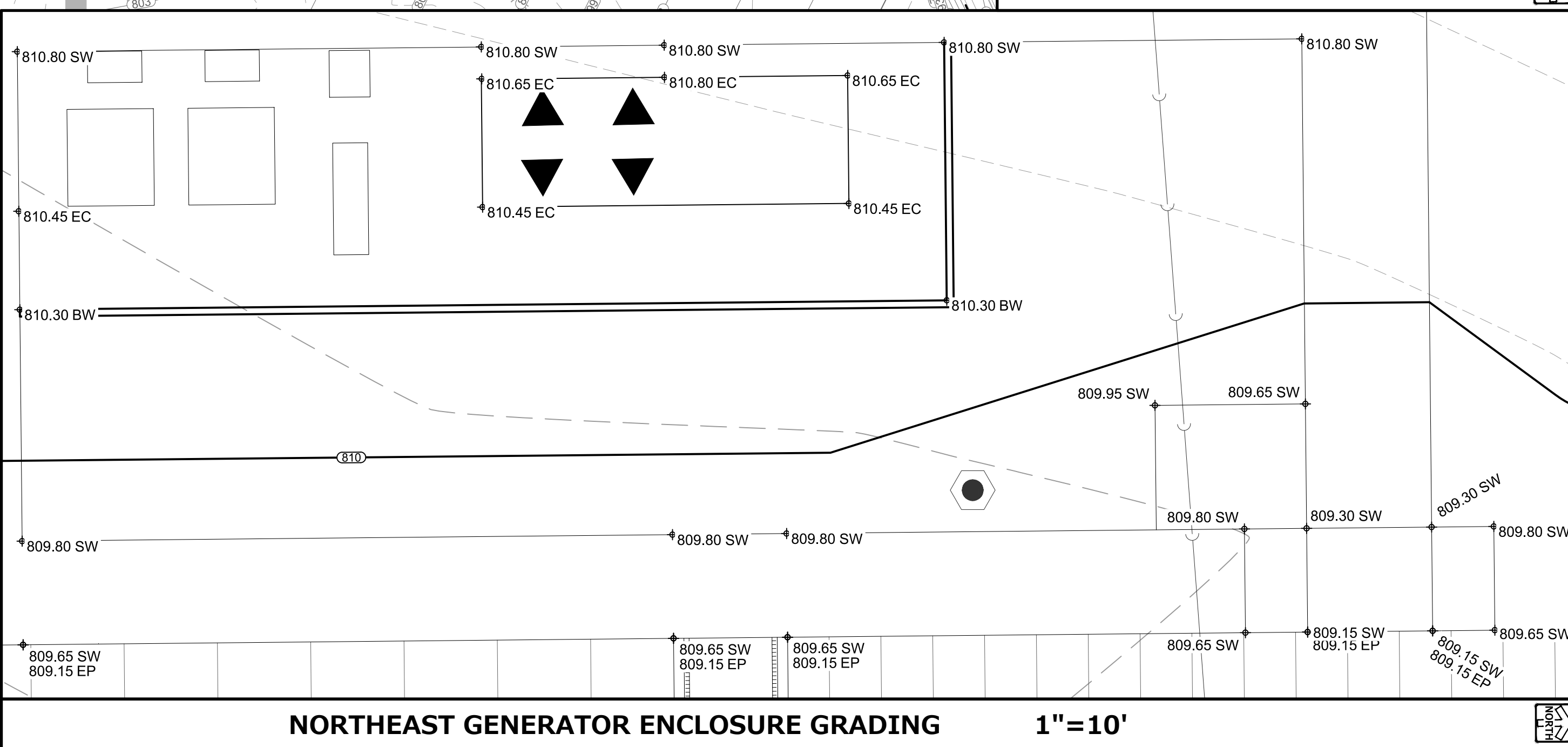
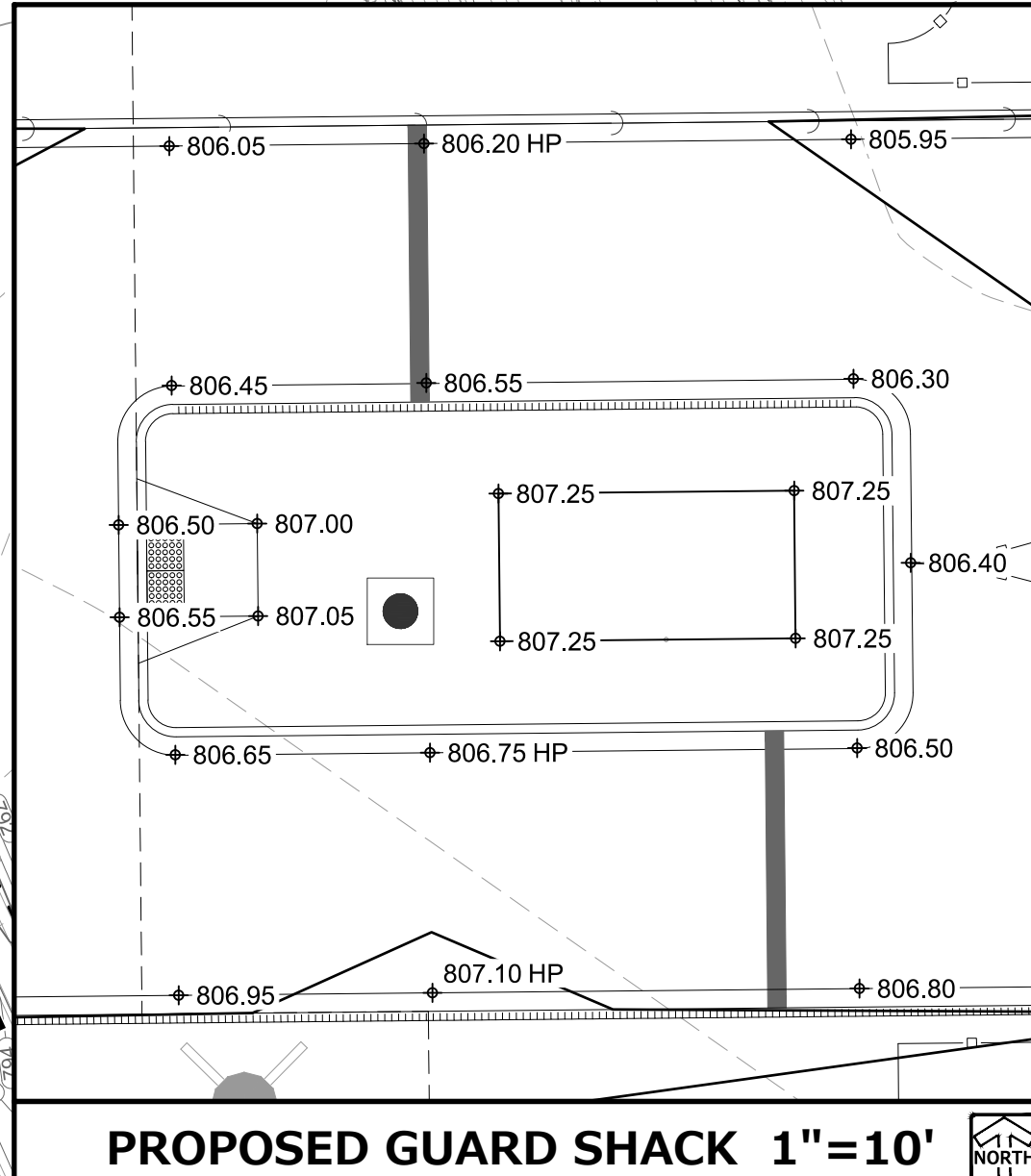
LEGEND

	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER
	EP/EC
	FF
	SW
	YG
	TW/BW

- ### NOTES
- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
 - SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.

CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PER ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
 - GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
 - THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
 - IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
 - WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
 - THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
 - CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
 - WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
 - CONTRACTOR SHALL COMPLY WITH ALL CITY OF FRANKLIN CONSTRUCTION STANDARDS/ORDINANCES.
 - LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
 - TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
 - SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.



PROPOSED NEW FACILITY FOR
STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

Revision No.

05.08.20	- ADDRESS CITY COMMENTS
06.12.20	- PROGRESS SET
07.28.20	- ADDRESS CITY COMMENTS
09.24.20	- ADDRESS CITY COMMENTS

Job No.
20-1257-01

CAD/CHKD By:
DCC / MAC

Date
05.01.20

Sheet Title
GRADING PLAN OVERVIEW

Sheet No.
C400

CIVIL

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(262) 754-8888

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING CHICAGO | MILWAUKEE - NATIONWIDE

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W. LOOMIS ROAD S.T.H. 36



GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

LEGEND

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ▴ PROPOSED CONCRETE FLARED END SECTION
- PROPOSED CONTOUR
- + 750.00 SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- - - DITCH OR SWALE
- - - DIVERSION SWALE
- OVERFLOW RELIEF ROUTING
- ▬ CONCRETE SIDEWALK
- ▬ CURB AND GUTTER
- ▬ DEPRESSED CURB
- ▬ REVERSE PITCH CURB & GUTTER
- ▬ EP/EC EDGE OF PAVEMENT/EDGE OF CONCRETE
- ▬ FF FINISHED FLOOR
- ▬ SW SIDE WALK
- ▬ YG YARD GRADE
- ▬ TW/BW TOP OF WALL/BOTTOM OF WALL

PROPOSED POND 1
NWL=796.00
HWL=800.82

PROPOSED POND 2
NWL=796.00
HWL=800.82

FUTURE TRUCK DOCK PARKING

FUTURE TRUCK DOCK PARKING

FUTURE BUILDING EXPANSION AREA
CONTRACTOR TO MATCH PROPOSED BUILDING SUBGRADE ELEVATIONS IN FUTURE EXPANSION AREAS. FILL ABOVE SUBGRADE ELEVATION TO BE TOPSOIL.

PROPOSED BUILDING
150,035 SF | FFE= 811.00
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

CHICORY STREET
(SEE SEPARATE PLANS)

MONARCH DRIVE
(SEE SEPARATE PLANS)

MATCH LINE

SHEET C402

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LOOMIS ROAD
FRANKLIN, WI 53132

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△	06.12.20 - PROGRESS SET
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△	
Job No.	20-1257-01
CAD/CHKD By:	DCC / MAC
Date	05.01.20
Sheet Title	GRADING PLAN
Sheet No.	C401
	CIVIL

PRELIMINARY NOT FOR CONSTRUCTION

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MATCH LINE

SHEET C401

SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

FUTURE BUILDING EXPANSION AREA
CONTRACTOR TO MATCH PROPOSED BUILDING SUBGRADE ELEVATIONS IN FUTURE EXPANSION AREAS. FILL ABOVE SUBGRADE ELEVATION TO BE TOPSOIL.

SEE SHEET ##### FOR NORTH ADA GRADING DETAIL

SEE SHEET ##### FOR SOUTH ADA GRADING DETAIL

PROPOSED BUILDING
152,035 SF | FFE= 811.00
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

SIDEWALK TO BE SLOPED TO DIRECT FLOW AWAY FROM DOOR TOWARDS TRENCH DRAIN

PROPOSED POND 2
HWL=800.00
HWL=804.35

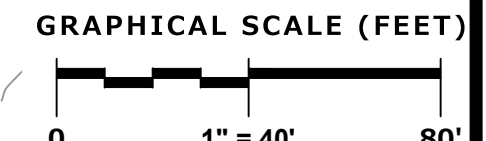
SEE SHEET ##### FOR PROPOSED GUARD SHACK DETAIL

FUTURE TMF

"NO TOUCH" 30' WETLAND BUFFER LINE
CONSERVATION EASEMENT PER CSM 9095 AND "NO BUILD" 50' WETLAND SETBACK

LEGEND

	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER
	EDGE OF PAVEMENT/EDGE OF CONCRETE
	FINISHED FLOOR
	SIDE WALK
	YARD GRADE
	TOP OF WALL/BOTTOM OF WALL
	EP/EC
	FF
	SW
	YG
	TW/BW



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STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

Revision No.

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20-1257-01

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Date
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Sheet Title
GRADING PLAN

Sheet No.

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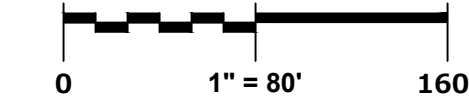
CHICAGO | MILWAUKEE | NATIONWIDE

C402
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GRAPHICAL SCALE (FEET)



950 Walnut Ridge Drive Franklin, WI 53129 262.369.3535 T 262.369.3562 F

PROPOSED NEW FACILITY FOR STRAUSS BRANDS, INC. LOOMIS ROAD FRANKLIN, WI 53132

Revision No.

△	05.08.20	- ADDRESS CITY COMMENTS
△	06.12.20	- PROGRESS SET
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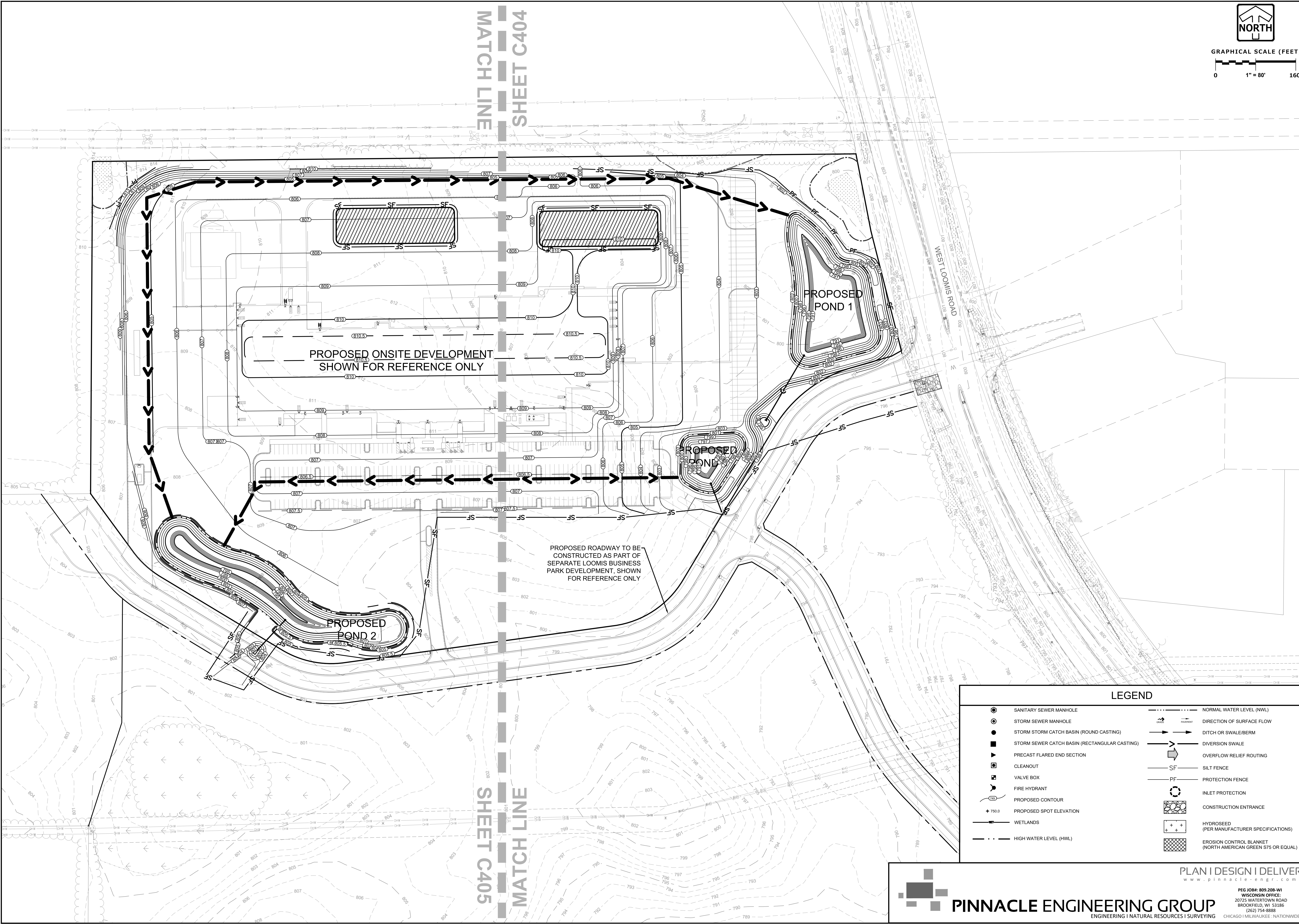
Sheet Title

INTERIM GRADING PLAN OVERVIEW

Sheet No.
C403

CIVIL

PRELIMINARY NOT FOR CONSTRUCTION



LEGEND

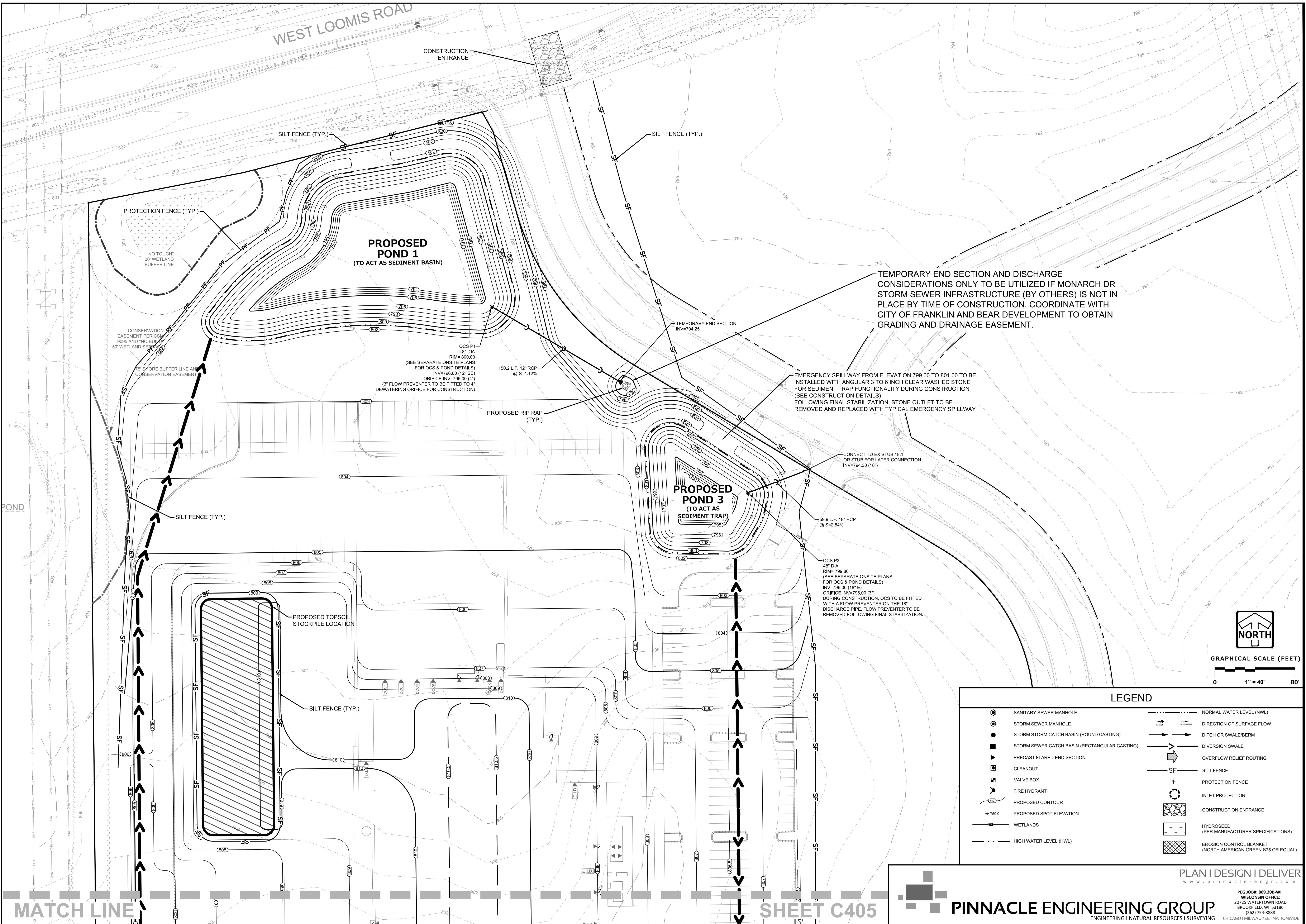
	SANITARY SEWER MANHOLE		NORMAL WATER LEVEL (NWL)
	STORM SEWER MANHOLE		DIRECTION OF SURFACE FLOW
	STORM STORM CATCH BASIN (ROUND CASTING)		DITCH OR SWALE/BERM
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		DIVERSION SWALE
	PRECAST FLARED END SECTION		OVERFLOW RELIEF ROUTING
	CLEANOUT		INLET PROTECTION
	VALVE BOX		CONSTRUCTION ENTRANCE
	FIRE HYDRANT		HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
	PROPOSED CONTOUR		EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)
	PROPOSED SPOT ELEVATION		
	WETLANDS		
	HIGH WATER LEVEL (HWL)		

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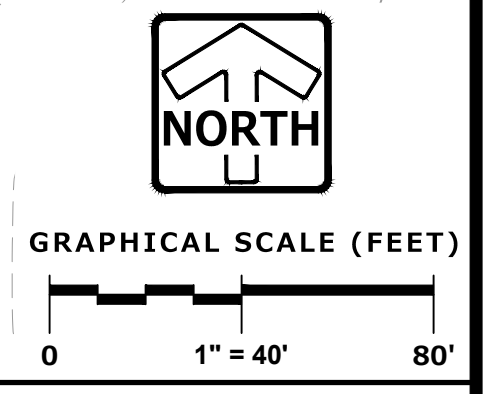
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MATCH LINE

SHEET C405



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM CATCH BASIN (ROUND CASTING)
	STORM CATCH BASIN (RECTANGULAR CASTING)
	PRECAST FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	WETLANDS
	HIGH WATER LEVEL (HWL)
	NORMAL WATER LEVEL (NWL)
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE/BERM
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	SILT FENCE
	PROTECTION FENCE
	INLET PROTECTION
	CONSTRUCTION ENTRANCE
	HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
	EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)

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PROPOSED NEW FACILITY FOR
STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

Revision No.	Description
05.08.20	ADDRESS CITY COMMENTS
06.12.20	PROGRESS SET
07.28.20	ADDRESS CITY COMMENTS
09.24.20	ADDRESS CITY COMMENTS

Job No.
20-1257-01

CAD/CHKD By:
DCC / MAC

Date
05.01.20

Sheet Title
INTERIM GRADING PLAN

Sheet No.
C404

CIVIL

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MATCH LINE

SHEET C404

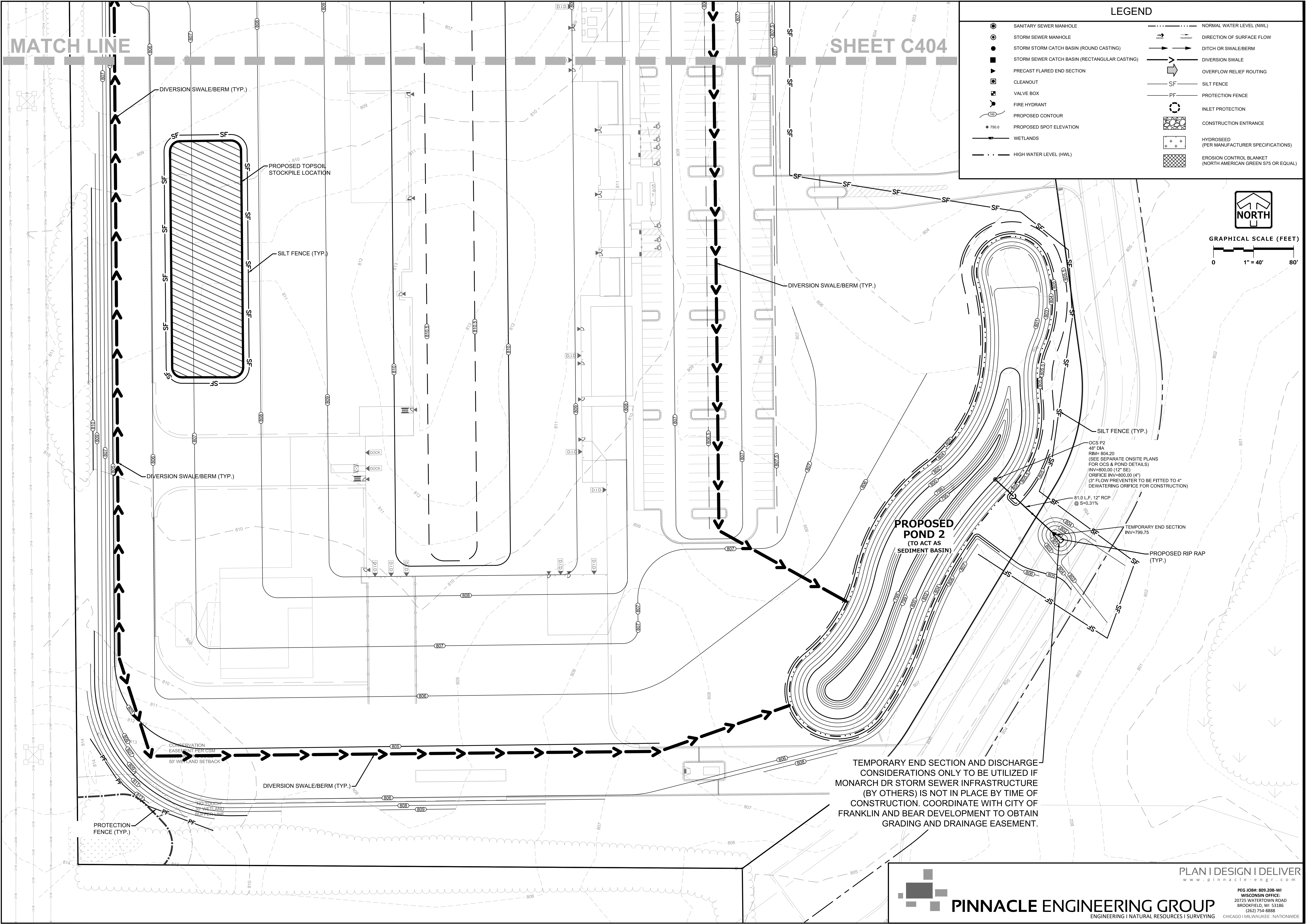
LEGEND

	SANITARY SEWER MANHOLE		NORMAL WATER LEVEL (NWL)
	STORM SEWER MANHOLE		DIRECTION OF SURFACE FLOW
	STORM SEWER CATCH BASIN (ROUND CASTING)		DITCH OR SWALE/BERM
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		DIVERSION SWALE
	PRECAST FLARED END SECTION		OVERFLOW RELIEF ROUTING
	CLEANOUT		SILT FENCE
	VALVE BOX		PROTECTION FENCE
	FIRE HYDRANT		INLET PROTECTION
	PROPOSED CONTOUR		CONSTRUCTION ENTRANCE
	PROPOSED SPOT ELEVATION		HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
	WETLANDS		EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)
	HIGH WATER LEVEL (HWL)		



GRAPHICAL SCALE (FEET)

0 1" = 40' 80'



PROPOSED NEW FACILITY FOR
 STRAUSS BRANDS, INC.
 LOOMIS ROAD
 FRANKLIN, WI 53132

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 20-1257-01

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Date
 05.01.20

Sheet Title
 INTERIM GRADING PLAN

Sheet No.
C405

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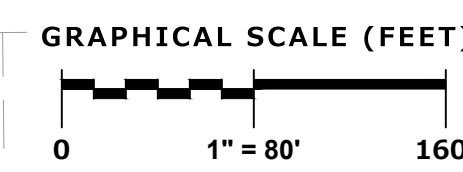
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PROPOSED NEW FACILITY FOR STRAUSS BRANDS, INC. LOOMIS ROAD FRANKLIN, WI 53123

Revision No.	
05.08.20	ADDRESS CITY COMMENTS
06.12.20	PROGRESS SET
07.28.20	ADDRESS CITY COMMENTS
09.24.20	ADDRESS CITY COMMENTS
Job No.	20-1257-01
CAD/CHKD By:	DCC / MAC
Date	05.01.20
Sheet Title	UTILITY PLAN OVERVIEW
Sheet No.	C500
	CIVIL

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NOTES

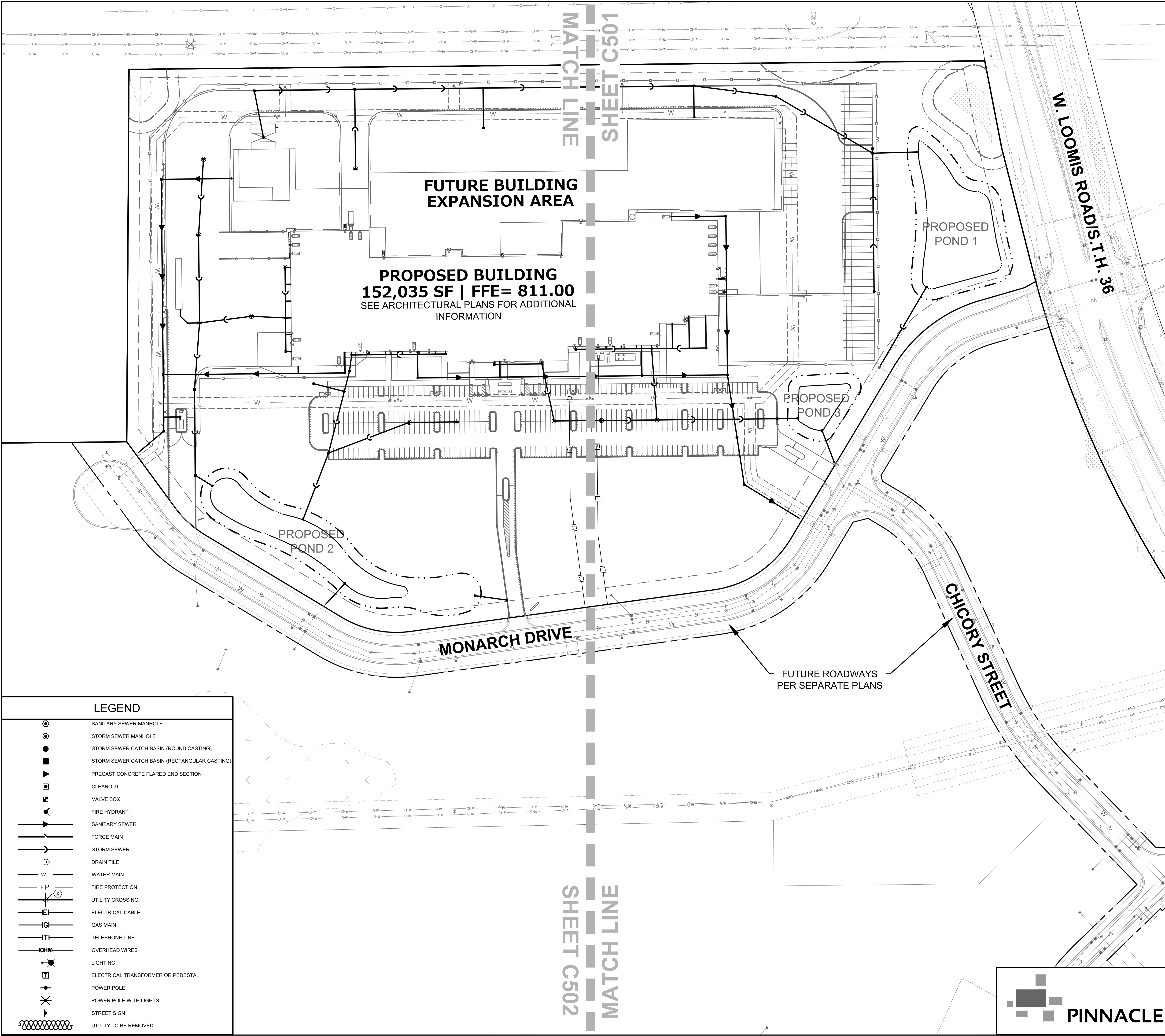
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF FRANKLIN SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 382.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE CITY OF FRANKLIN PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE C GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF FRANKLIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE IN A 1/2" DIA. PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

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FUTURE BUILDING EXPANSION AREA

PROPOSED BUILDING
152,035 SF | FFE= 811.00
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

PROPOSED POND 1

PROPOSED POND 3

PROPOSED POND 2

MONARCH DRIVE

CHICORY STREET

FUTURE ROADWAYS PER SEPARATE PLANS

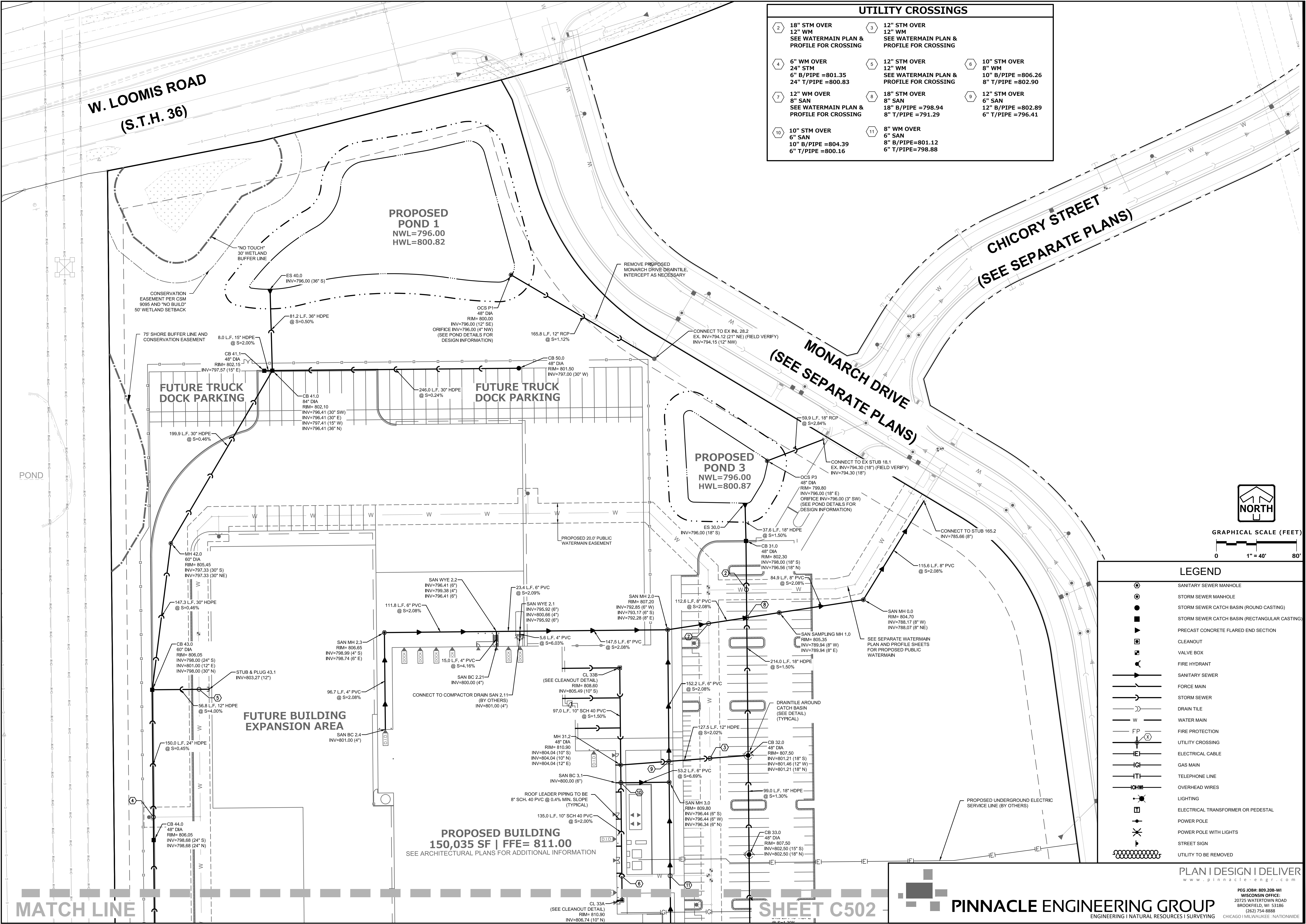
MATCH LINE
SHEET C501

MATCH LINE
SHEET C502

LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- WATER MAIN
- FIRE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE
- POWER POLE WITH LIGHTS
- STREET SIGN
- UTILITY TO BE REMOVED

UTILITY CROSSINGS			
2	18" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING	3	12" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
4	6" WM OVER 24" STM 6" B/PIPE = 801.35 24" T/PIPE = 800.83	5	12" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
7	12" WM OVER 8" SAN SEE WATERMAIN PLAN & PROFILE FOR CROSSING	8	18" STM OVER 8" SAN 18" B/PIPE = 798.94 8" T/PIPE = 791.29
10	10" STM OVER 6" SAN 10" B/PIPE = 804.39 6" T/PIPE = 800.16	11	8" WM OVER 6" SAN 8" B/PIPE = 801.12 6" T/PIPE = 798.88
		6	10" STM OVER 8" WM 10" B/PIPE = 806.26 8" T/PIPE = 802.90
		9	12" STM OVER 6" SAN 12" B/PIPE = 802.89 6" T/PIPE = 796.41



MATCH LINE

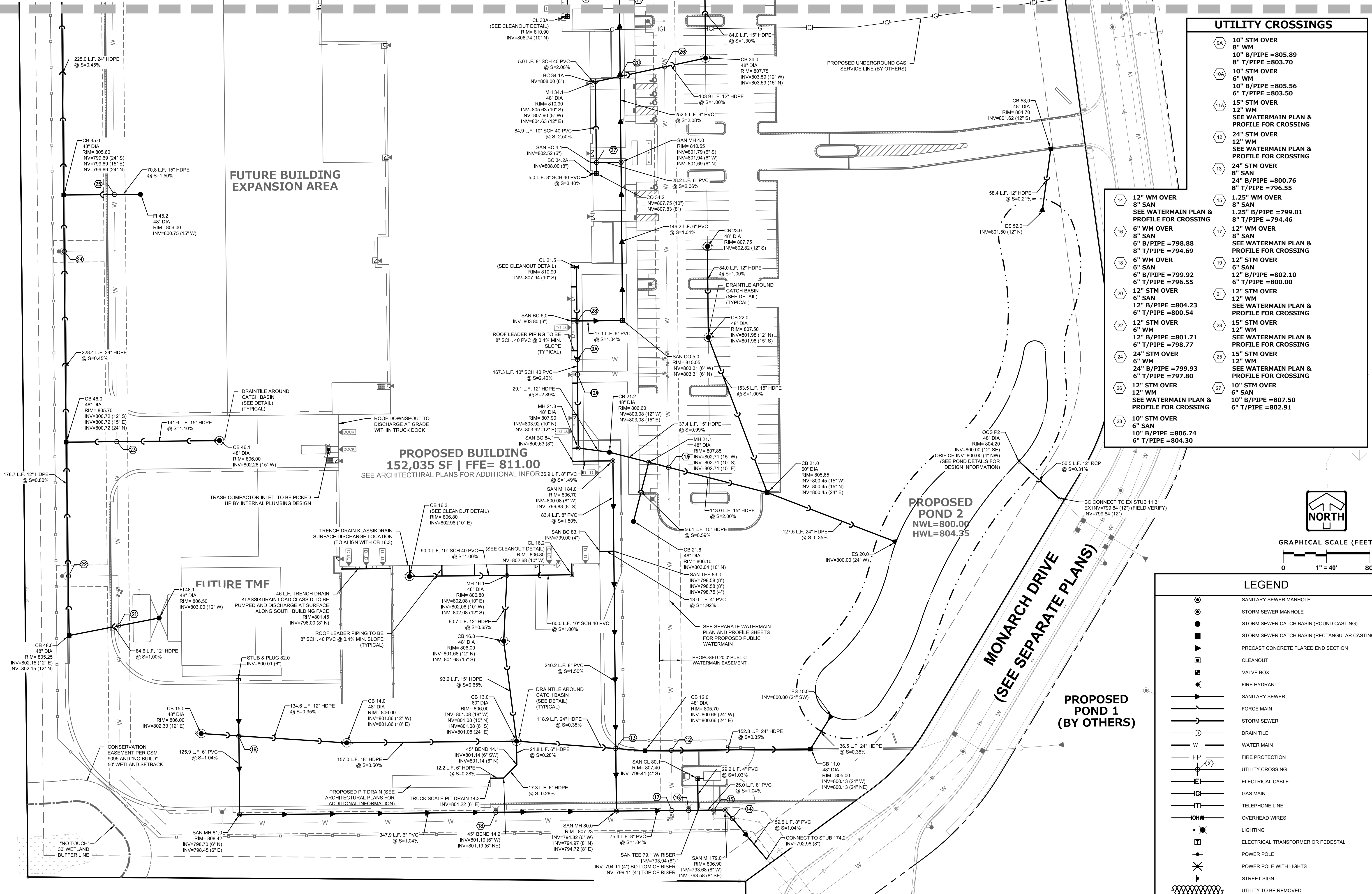
SHEET C502

PINNACLE ENGINEERING GROUP



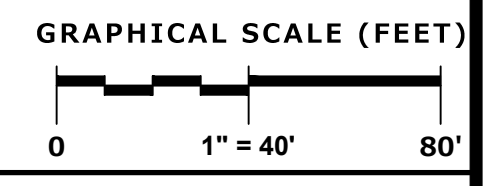
PROPOSED NEW FACILITY FOR STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

PRELIMINARY NOT FOR CONSTRUCTION



UTILITY CROSSINGS

9A	10" STM OVER 8" WM 10" B/PIPE = 805.89 8" T/PIPE = 803.70
10A	10" STM OVER 6" WM 10" B/PIPE = 805.56 6" T/PIPE = 803.50
11A	15" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
12	24" STM OVER 8" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
13	24" STM OVER 8" SAN 24" B/PIPE = 800.76 8" T/PIPE = 796.55
14	12" WM OVER 8" SAN SEE WATERMAIN PLAN & PROFILE FOR CROSSING
15	1.25" WM OVER 8" SAN 1.25" B/PIPE = 799.01 8" T/PIPE = 794.46
16	6" WM OVER 8" SAN 6" B/PIPE = 798.88 8" T/PIPE = 794.69
17	12" WM OVER 8" SAN SEE WATERMAIN PLAN & PROFILE FOR CROSSING
18	6" WM OVER 6" SAN 6" B/PIPE = 799.92 6" T/PIPE = 796.55
19	12" STM OVER 6" SAN 12" B/PIPE = 802.10 6" T/PIPE = 800.00
20	12" STM OVER 6" SAN 12" B/PIPE = 804.23 6" T/PIPE = 800.54
21	12" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
22	12" STM OVER 6" WM 12" B/PIPE = 801.71 6" T/PIPE = 798.77
23	15" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
24	24" STM OVER 6" WM 24" B/PIPE = 799.93 6" T/PIPE = 797.80
25	12" STM OVER 12" WM SEE WATERMAIN PLAN & PROFILE FOR CROSSING
26	10" STM OVER 6" SAN 10" B/PIPE = 807.50 6" T/PIPE = 802.91
27	
28	10" STM OVER 6" SAN 10" B/PIPE = 806.74 6" T/PIPE = 804.30



LEGEND

	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN
	UTILITY TO BE REMOVED

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PEG JOB#: 809.20B-WI WISCONSIN OFFICE: 20725 WATERTOWN ROAD BROOKFIELD, WI 53136 (262) 754-8888

Revision No.
05.08.20 - ADDRESS CITY COMMENTS
06.12.20 - PROGRESS SET
07.28.20 - ADDRESS CITY COMMENTS
09.24.20 - ADDRESS CITY COMMENTS

Job No.
20-1257-01

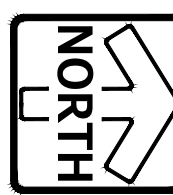
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DCC / MAC

Date
05.01.20

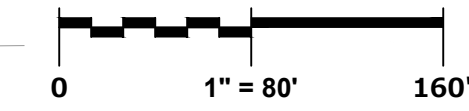
Sheet Title
UTILITY PLAN

Sheet No.
C502

CIVIL



GRAPHICAL SCALE (FEET)



950 Walnut Ridge Drive Franklin, WI 53129 262.289.3535 T 262.289.3562 F

SHEET C602

SHEET C601

SHEET C603

SHEET C604

FUTURE BUILDING EXPANSION AREA

PROPOSED BUILDING
152,035 SF | FFE= 811.00
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

W. LOOMIS ROAD/S.T.H. 36

CHICORY STREET

MONARCH DRIVE

FUTURE ROADWAYS PER SEPARATE PLANS

PROPOSED WATER MAIN SHOWN FOR CONCEPTUAL LAYOUT ONLY. FINAL SIZING AND DESIGN SHALL BE DETERMINED BY A LICENSED FIRE PROTECTION ENGINEER.

LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- WATER MAIN
- FIRE PROTECTION
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- POWER POLE
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- STREET SIGN
- UTILITY TO BE REMOVED

WATER MAIN NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF FRANKLIN DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS (JULY 2017), THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION, AND MMSD REQUIREMENTS. THESE UTILITY NOTES ARE NOT A COMPLETE LIST OF THE REQUIREMENTS.
2. CONTACT DIGGER'S HOTLINE BEFORE UTILITY WORK. CONTACT FRANKLIN SEWER AND WATER DEPARTMENT TO LOCATE EXISTING SEWER AND WATER UTILITIES.
3. INSULATION SHALL BE 2" x 8" x 2" THICK PLANKS OF STYROFOAM PLASTIC FOAM (DOW CHEMICAL COMPANY "HYBRAND" OR APPROVED EQUIVALENT).
4. WATER MAIN
 - A. WATER MAIN PIPE SHALL BE PVC AWWA C-900 DR-18. INCLUDE TRACER WIRE.
 - B. ALL VALVES, FITTINGS, MARKERS AND HYDRANTS SHALL MEET THE CITY SPECIFICATIONS. ALL FITTINGS SHALL BE DOMESTICALLY PRODUCED (MADE IN THE U.S.A.)
 - C. TRAFFIC BOND 3/4" FOR BEDDING SHALL BE REQUIRED ON ALL WATER MAIN INSTALLATION. BEDDING SHALL EXTEND TWO FEET ABOVE THE PIPE AS COVER. AN EXCEPTION IS IN AREAS AROUND VALVES AND HYDRANTS WHERE GRADED STONE IS REQUIRED.
 - D. TRAFFIC BOND (1-1/4") AS DESCRIBED IN 10.11.3 OF THE CITY SPECIFICATIONS SHALL BE USED TO BACKFILL WATER MAIN AND LATERAL TRENCHES LOCATED IN THE ROADWAYS. TRAFFIC BOND (1-1/4") SHALL BE USED TO BACKFILL LATERALS WHICH ARE BELOW PROPOSED SIDEWALK. COMPACT TO 95% OF MODIFIED PROCTOR DENSITY.
 - E. FOLLOW THE CITY TESTING REQUIREMENTS.

Revision No.	Description
05.08.20	ADDRESS CITY COMMENTS
06.12.20	PROGRESS SET
07.28.20	ADDRESS CITY COMMENTS
09.24.20	ADDRESS CITY COMMENTS

Job No.
20-1257-01

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DCC / MAC

Date
05.01.20

Sheet Title
WATER MAIN OVERVIEW

Sheet No.
C600

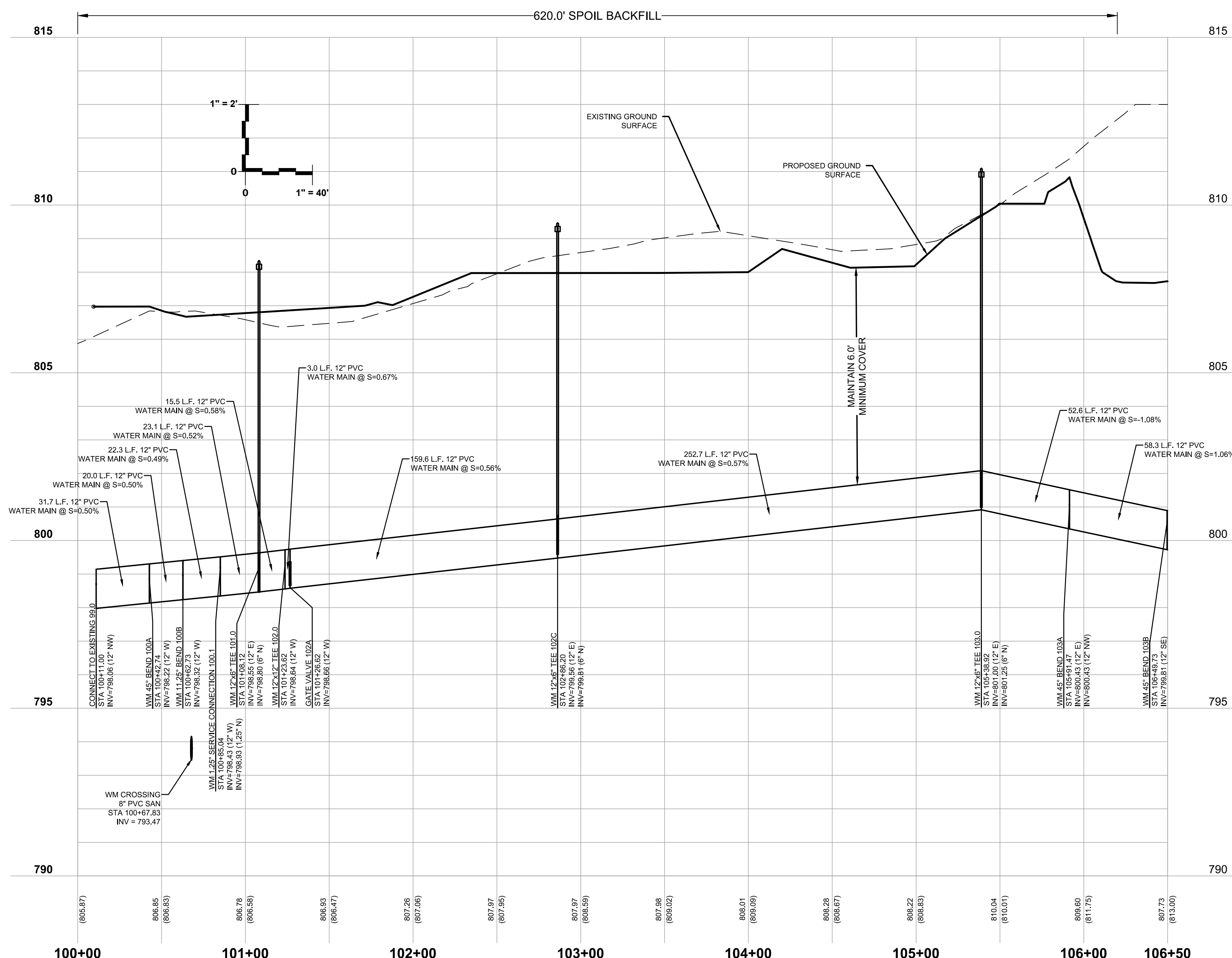
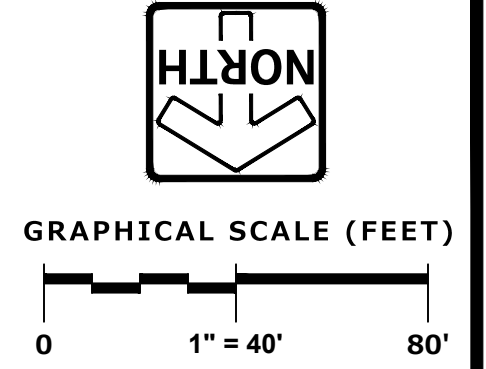
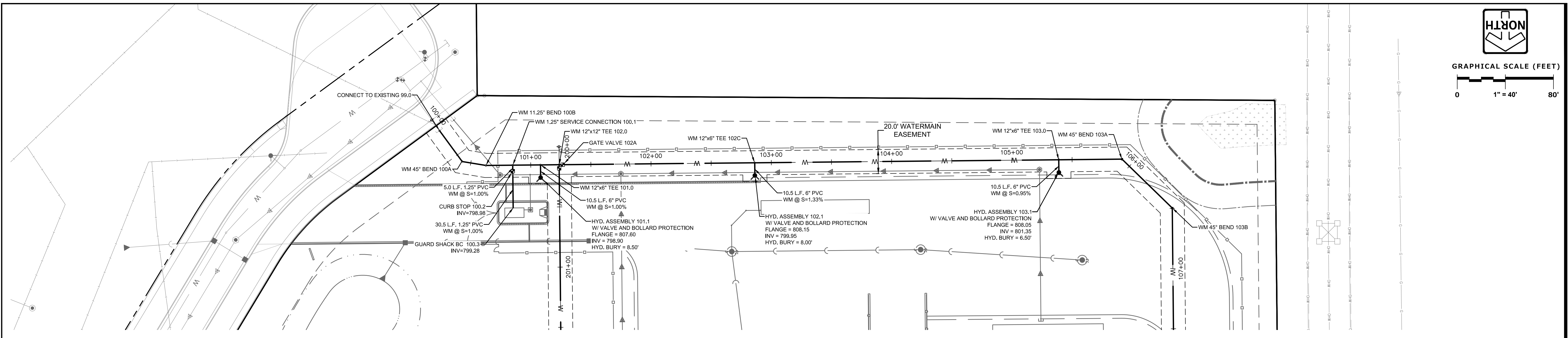
CIVIL

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W. LOOMIS RD PUBLIC WATER MAIN EXTENSION FRANKLIN, WI

Revision No.

11/29/18	ADDRESS CITY COMMENTS
01/07/19	ADDRESS CITY COMMENTS
01/15/19	ADDRESS CITY COMMENTS
06/25/19	ALIGNMENT UPDATE
10/07/19	ADDRESS DOT COMMENTS

Job No.
809.10-WI

CAD/CHKD By:
DO / MAC

Date
09/10/18

Sheet Title
WATER MAIN PLAN & PROFILE

Sheet No.
C601

CIVIL

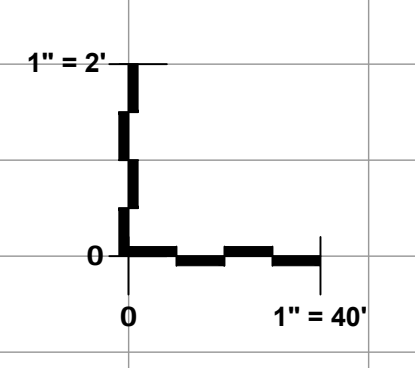
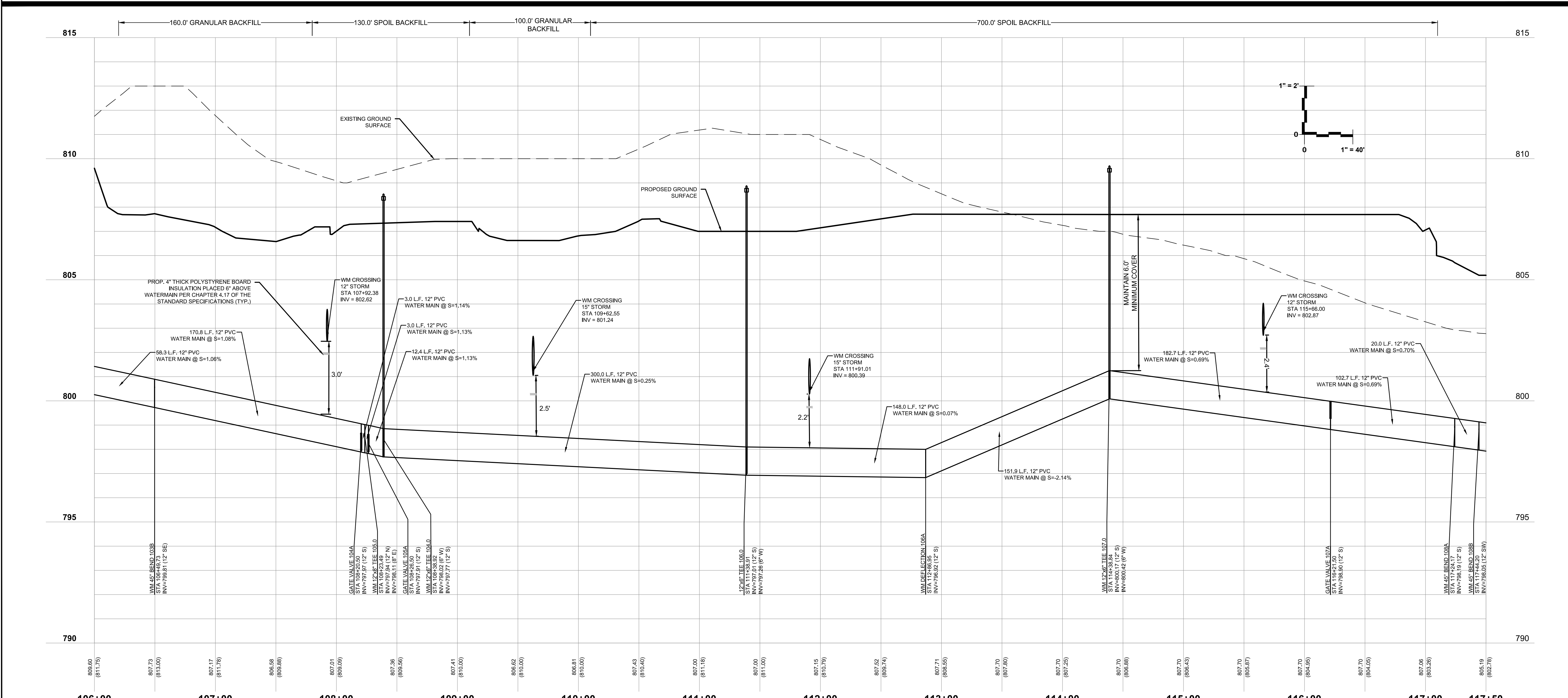
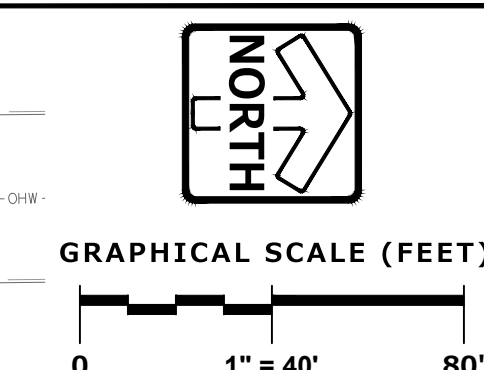
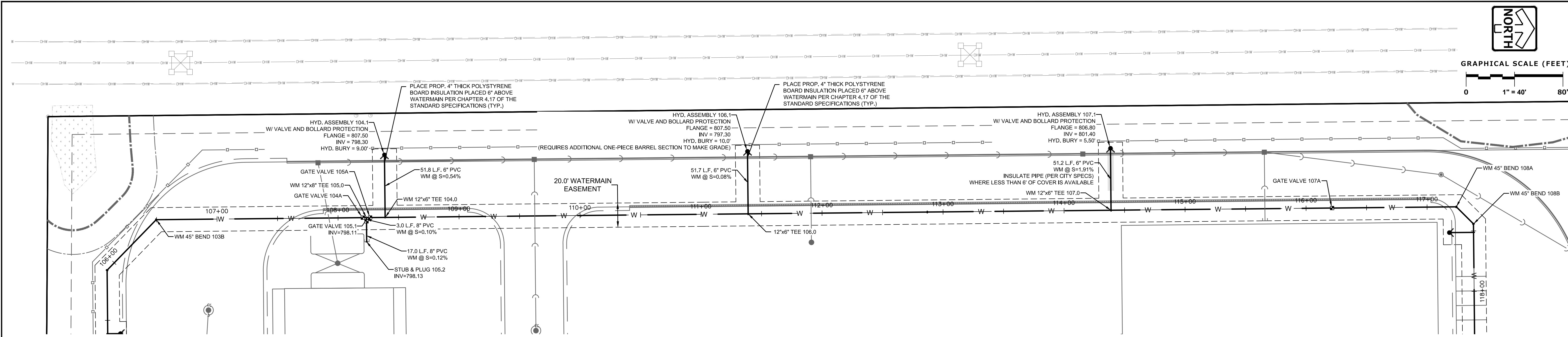
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W. LOOMIS RD PUBLIC WATER MAIN
EXTENSION
FRANKLIN, WI

Revision No.

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01/07/19	ADDRESS CITY COMMENTS
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Job No.
809.10-WI

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Date
09/10/18

Sheet Title
**WATER MAIN
PLAN &
PROFILE**

Sheet No.
C602

CIVIL

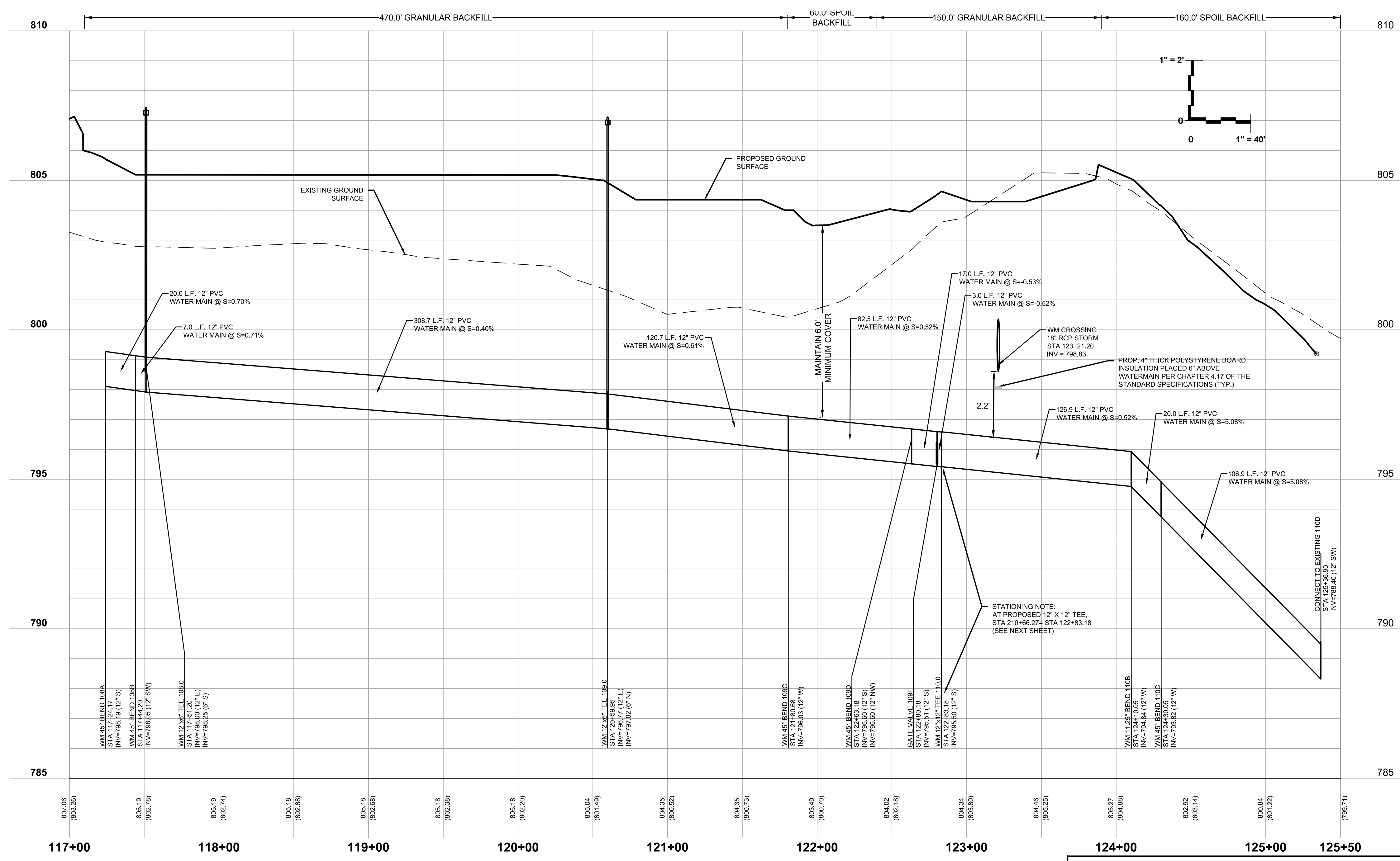
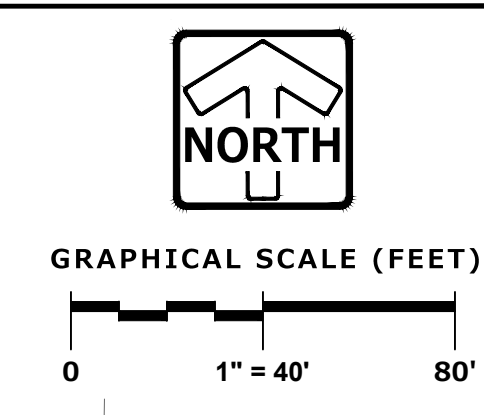
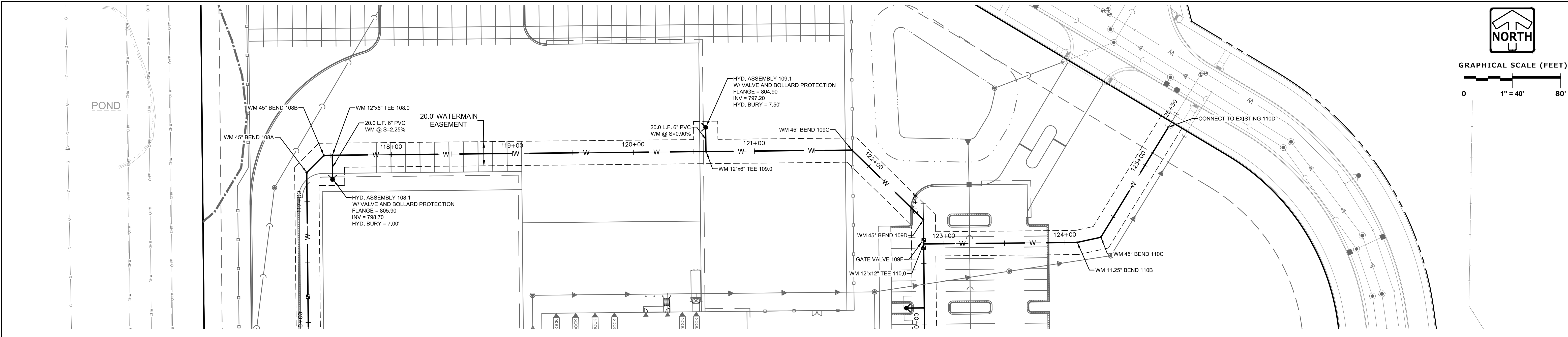
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**W. LOOMIS RD PUBLIC WATER MAIN
 EXTENSION
 FRANKLIN, WI**

Revision No.

11/29/18	ADDRESS CITY COMMENTS
01/07/19	ADDRESS CITY COMMENTS
01/15/19	ADDRESS CITY COMMENTS
06/25/19	ALIGNMENT UPDATE
10/07/19	ADDRESS DOT COMMENTS

Job No.
809.10-WI

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Date
 09/10/18

FOR CONSTRUCTION

Sheet Title
**WATER MAIN
 PLAN &
 PROFILE**

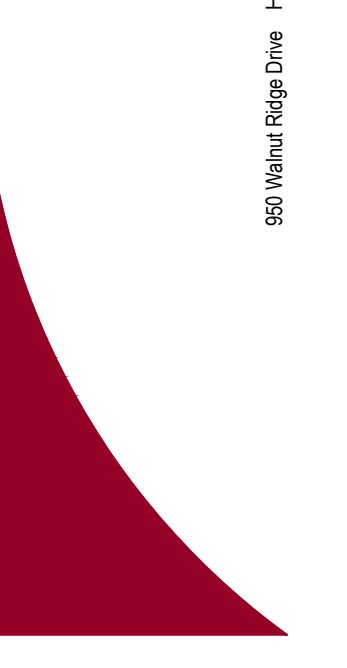
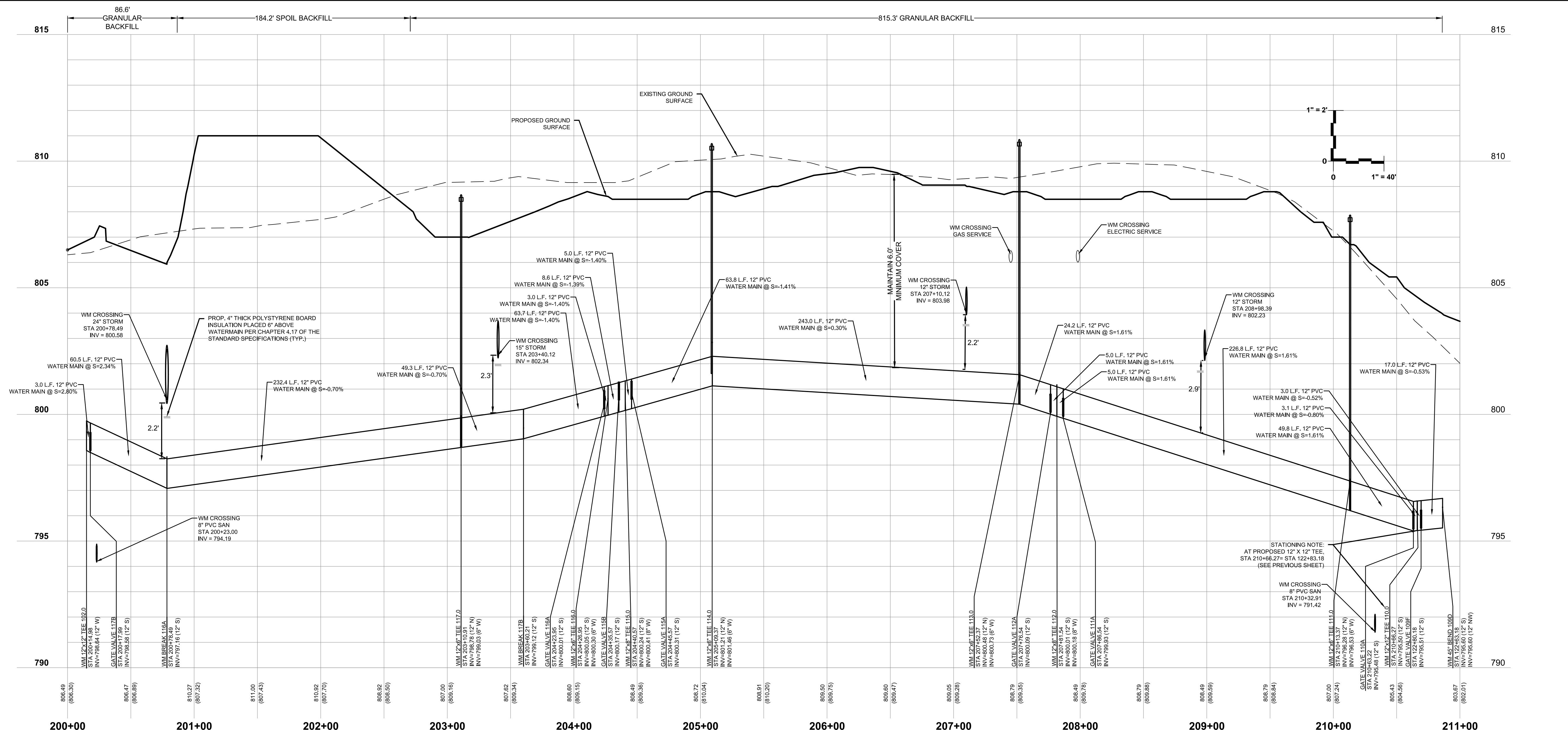
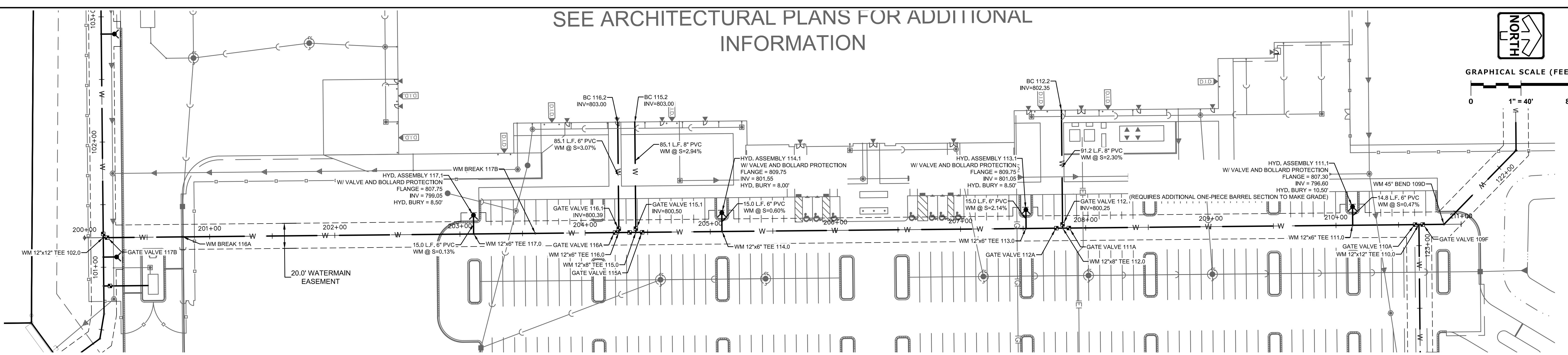
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C603

CIVIL

SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION



GRAPHICAL SCALE (FEET)
0 1" = 40' 80'



W. LOOMIS RD PUBLIC WATER MAIN
EXTENSION
FRANKLIN, WI

Revision No.

11/29/18	ADDRESS CITY COMMENTS
01/07/19	ADDRESS CITY COMMENTS
01/15/19	ADDRESS CITY COMMENTS
06/25/19	ALIGNMENT UPDATE
10/07/19	ADDRESS DOT COMMENTS

Job No.
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Sheet Title
**WATER MAIN
PLAN &
PROFILE**

Sheet No.
C604

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GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN 575BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

LEGEND

●	SANITARY SEWER MANHOLE	→	DIRECTION OF SURFACE FLOW
○	STORM SEWER MANHOLE	→	DITCH OR SWALE/BERM
●	STORM CATCH BASIN (ROUND CASTING)	→	DIVERSION SWALE
●	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	→	OVERFLOW RELIEF ROUTING
▶	PRECAST FLARED END SECTION	— SF —	SILT FENCE
■	CLEANOUT	— PF —	PROTECTION FENCE
⊕	VALVE BOX	⊙	INLET PROTECTION
⊕	FIRE HYDRANT	⊙	CONSTRUCTION ENTRANCE
— (dashed) —	PROPOSED CONTOUR	+	HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
+ 750.0	PROPOSED SPOT ELEVATION	⊙	EROSION CONTROL BLANKET (NORTH AMERICAN GREEN 575 OR EQUAL)
— (wavy) —	WETLANDS		
— (dotted) —	HIGH WATER LEVEL (HWL)		
— (solid) —	NORMAL WATER LEVEL (NWL)		

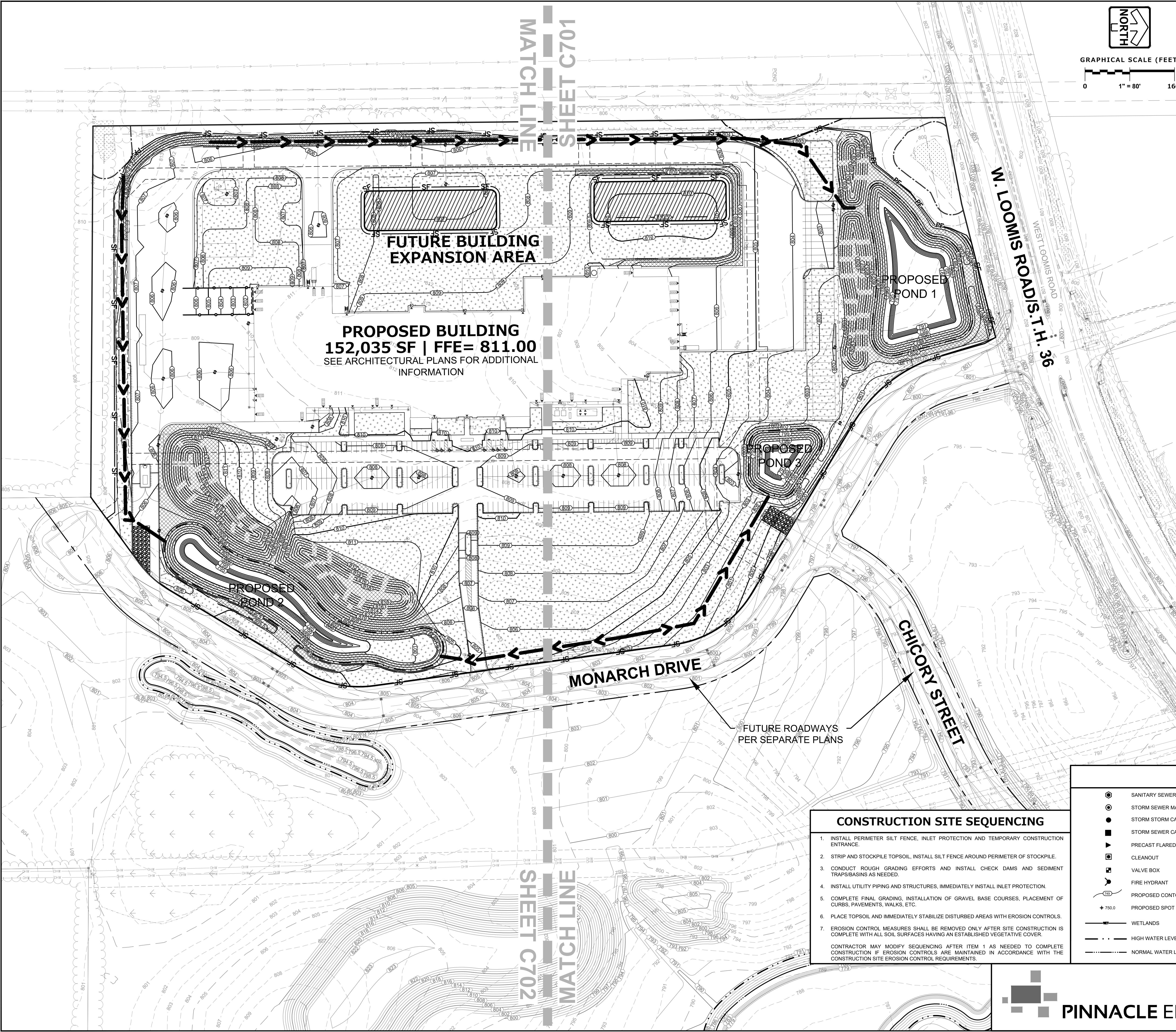
CONSTRUCTION SITE SEQUENCING

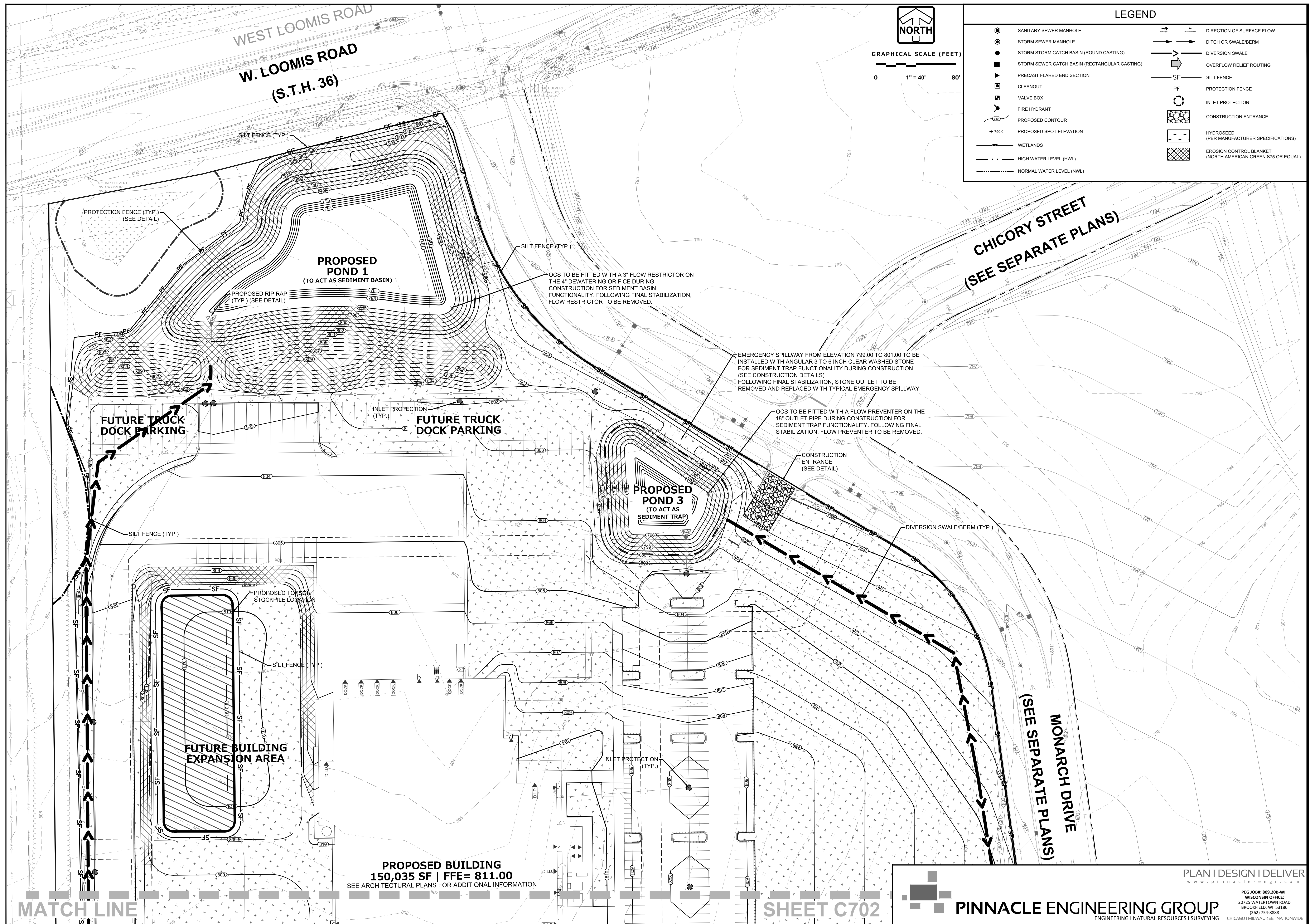
- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 - STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 - CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAP/BASINS AS NEEDED.
 - INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

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PROPOSED NEW FACILITY FOR
 STRAUSS BRANDS, INC.
 LOOMIS ROAD
 FRANKLIN, WI 53132

Revision No.

△	05.08.20	ADDRESS CITY COMMENTS
△	06.12.20	PROGRESS SET
△	07.28.20	ADDRESS CITY COMMENTS
△	09.24.20	ADDRESS CITY COMMENTS
△		

Job No.
 20-1257-01

CAD/CHKD By:
 DCC / MAC

Date
 05.01.20

Sheet Title
 SITE STABILIZATION PLAN

Sheet No.
C701

CIVIL

PRELIMINARY NOT FOR CONSTRUCTION

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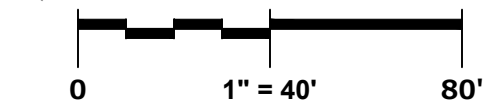
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MATCH LINE

SHEET C701



GRAPHICAL SCALE (FEET)



PROPOSED NEW FACILITY FOR
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FRANKLIN, WI 53132

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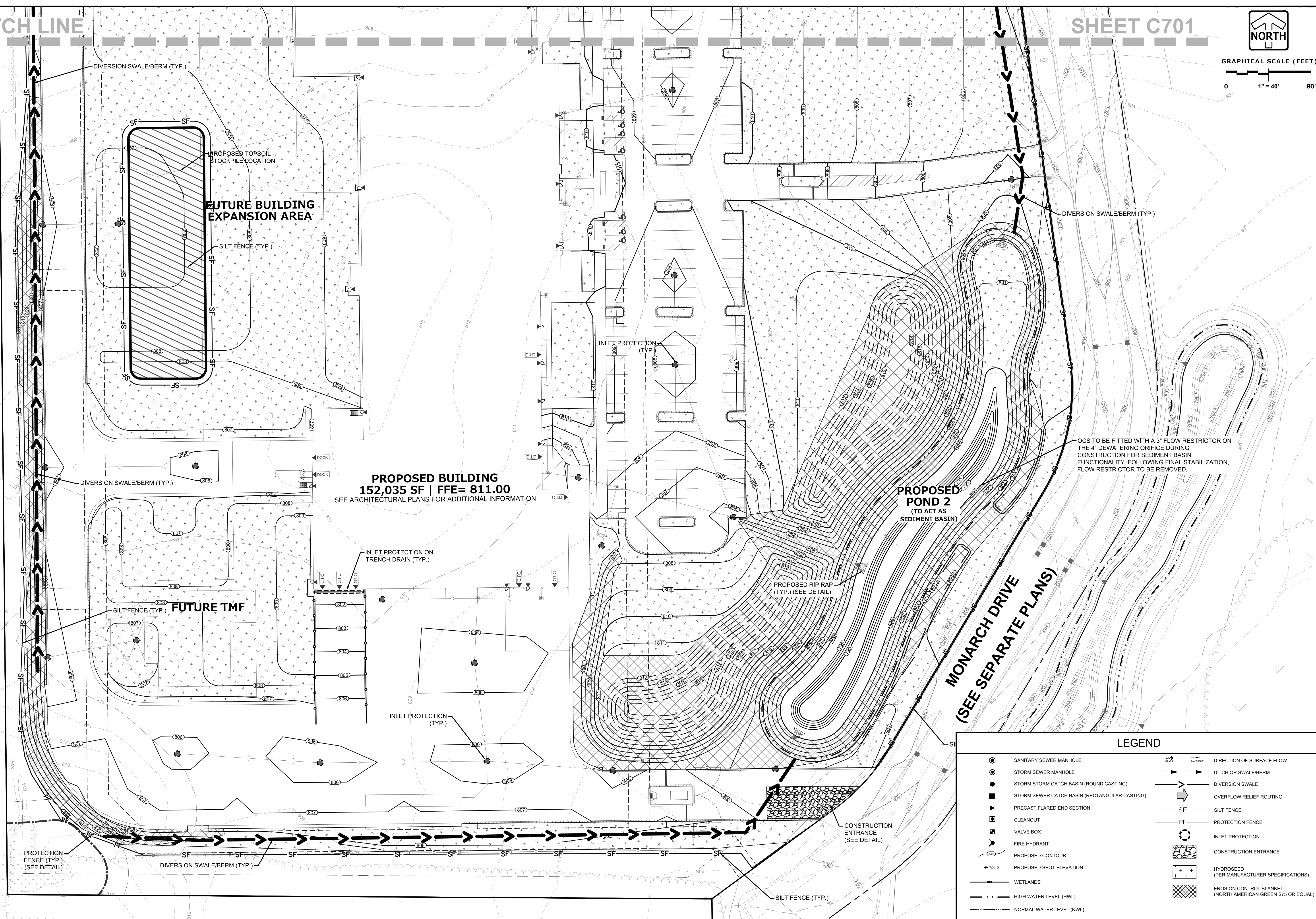
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SITE STABILIZATION PLAN

Sheet No.
C702

CIVIL

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LEGEND

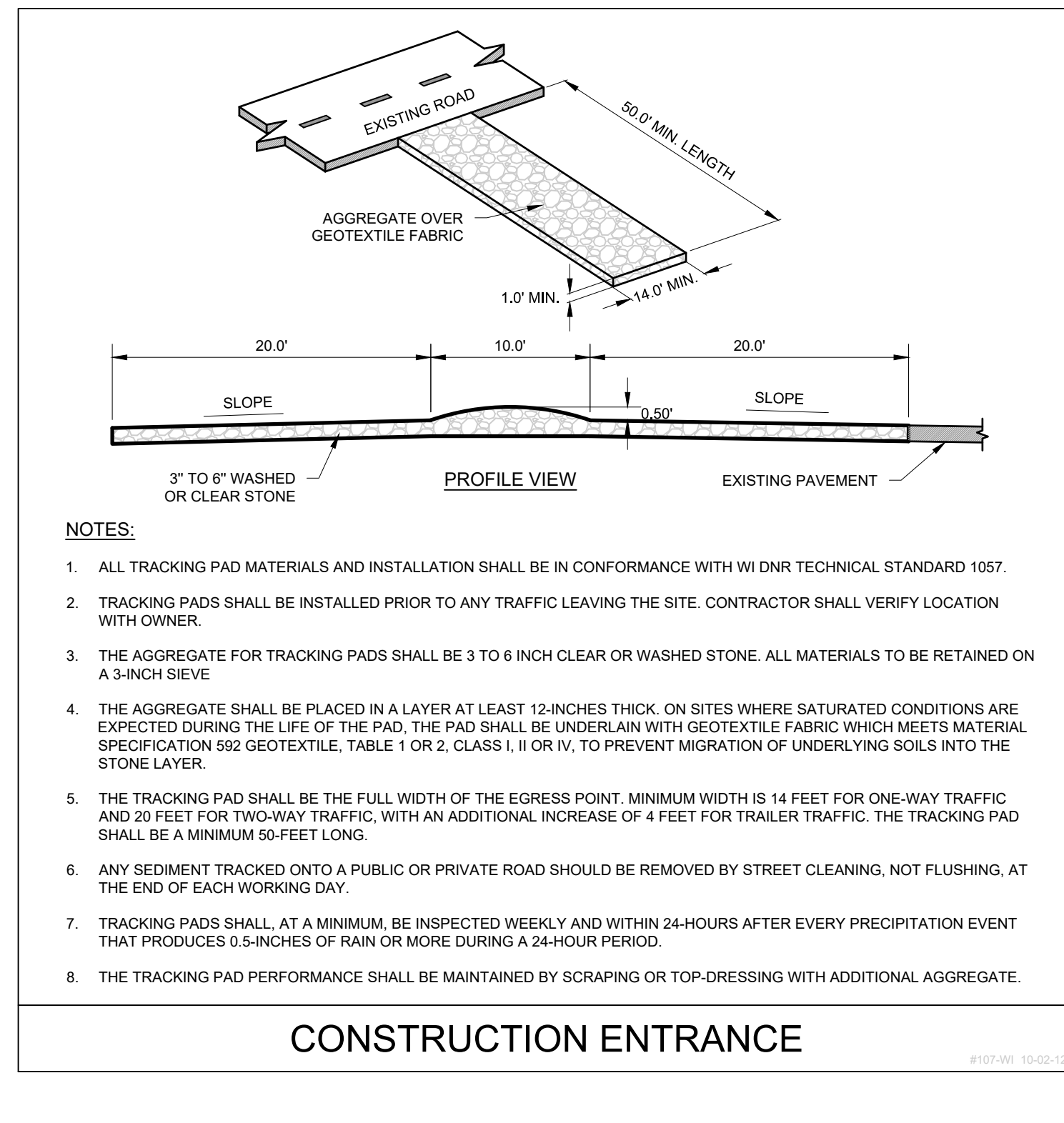
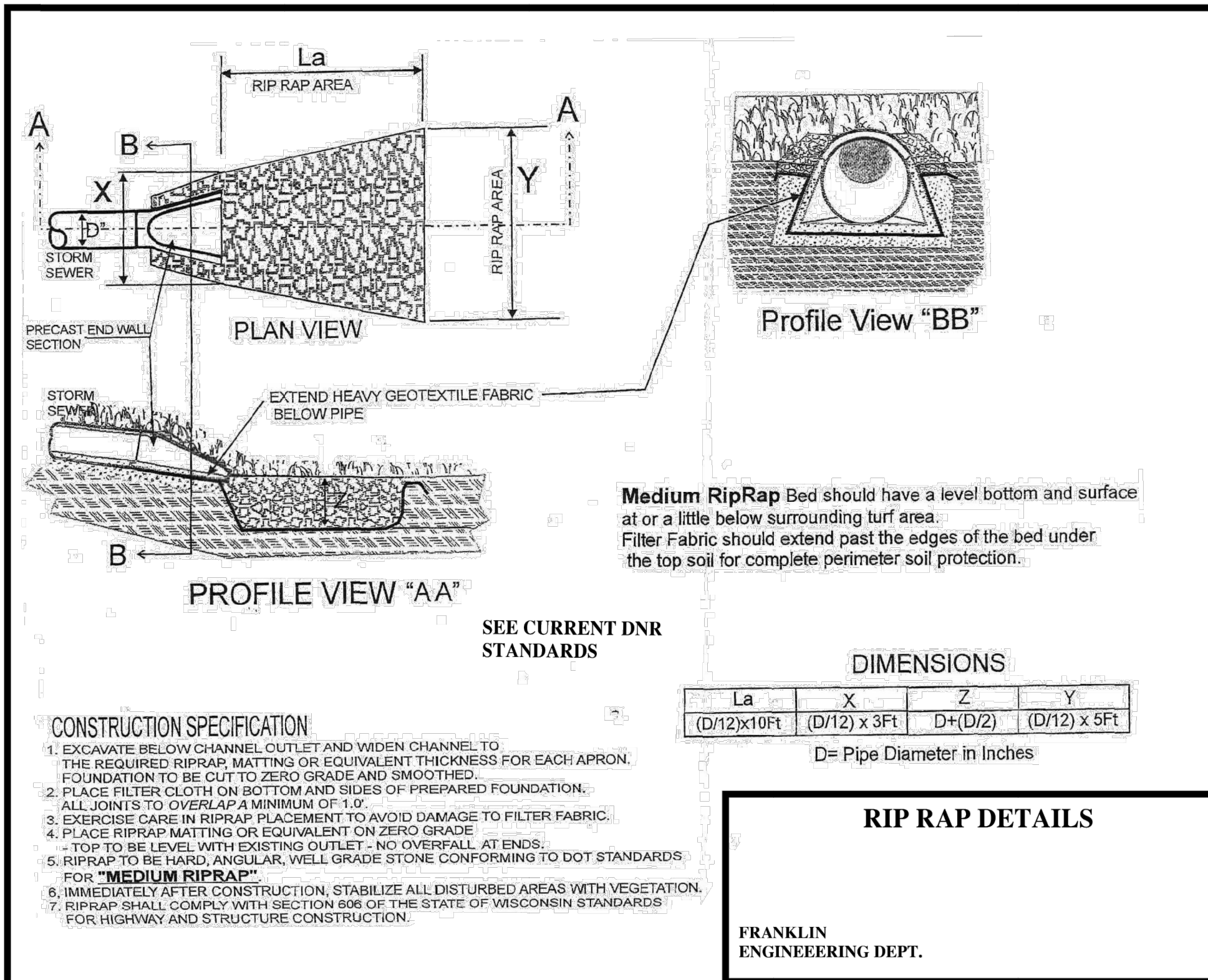
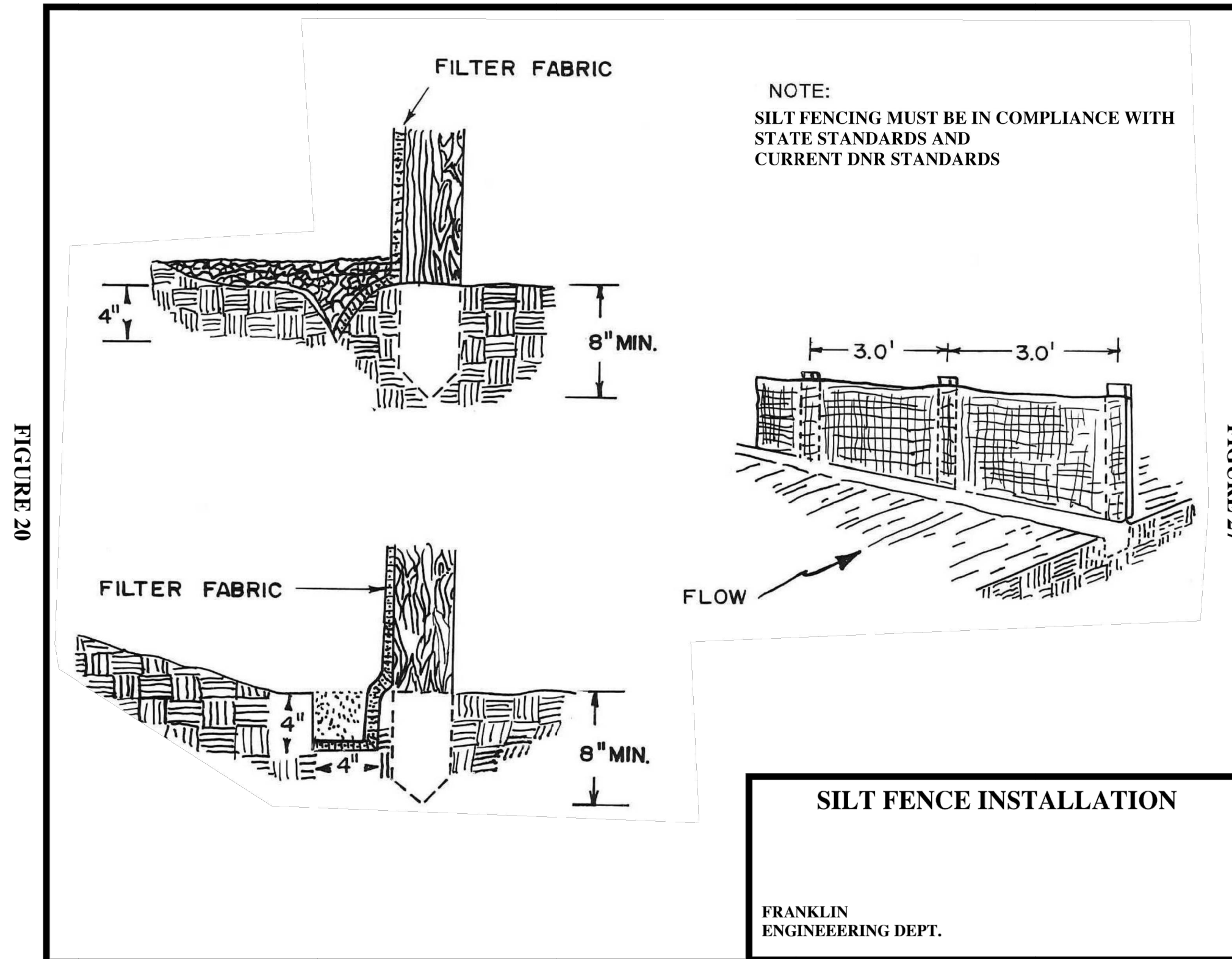
	SANITARY SEWER MANHOLE		PAVEMENT		DIRECTION OF SURFACE FLOW
	STORM SEWER MANHOLE		DITCH OR SWALE/BERM		DIVERSION SWALE
	STORM CATCH BASIN (ROUND CASTING)		OVERFLOW RELIEF ROUTING		SILT FENCE
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		PROTECTION FENCE		INLET PROTECTION
	PRECAST FLARED END SECTION		CONSTRUCTION ENTRANCE		HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
	CLEANOUT		EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)		
	VALVE BOX				
	FIRE HYDRANT				
	PROPOSED CONTOUR				
	PROPOSED SPOT ELEVATION				
	WETLANDS				
	HIGH WATER LEVEL (HWL)				
	NORMAL WATER LEVEL (NWL)				

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1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION. REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND MUST REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
- INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PROTECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

- THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
- CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

- PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN
- TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
- HYDRO-MULCHING WITH A TACKIFIER
- GEOTEXTILE EROSION MATTING
- SODDING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS.

SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERM/SWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

DIVERSION BERM/SWALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER CONTROL. BERM/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND PERMANENT SEEDING.

SEDIMENT TRAPS/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERM/SWALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

OUTLET SCOUR PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN TO PREVENT BLOWING DEBRIS.

DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
- STREET SWEEPING** SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

- SILT FENCE** - REPAIR OR REPLACE ANY DAMAGED/FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- CONSTRUCTION ENTRANCE** - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
- DITCH CHECK (STRAW BALES)** - RE-SECURE STAKES, ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER, AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.
- EROSION CONTROL MATTING** - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
- DIVERSION BERM/SWALE** - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
- SEDIMENT TRAP** - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.
- INLET PROTECTION** - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.
- OUTLET PROTECTION** - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.
- SEDIMENT BASIN** - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED; STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE.
- IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS.
- PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
- IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
- NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. WI-5067831-4) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATERS. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERM/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND DUST CONTROL	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING			A	*	*	*	*	*	*	*		
DORMANT SEEDING	B											G
TEMPORARY SEEDING			C	*	*	*	*	*	*	*		
SODDING			E	*	*	*	*	*	*	*		

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 100 LBS/ACRE.
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E. SOD.
- F. STRAW MULCH 2 TONS/ACRE.
- * IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.



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C800
CIVIL

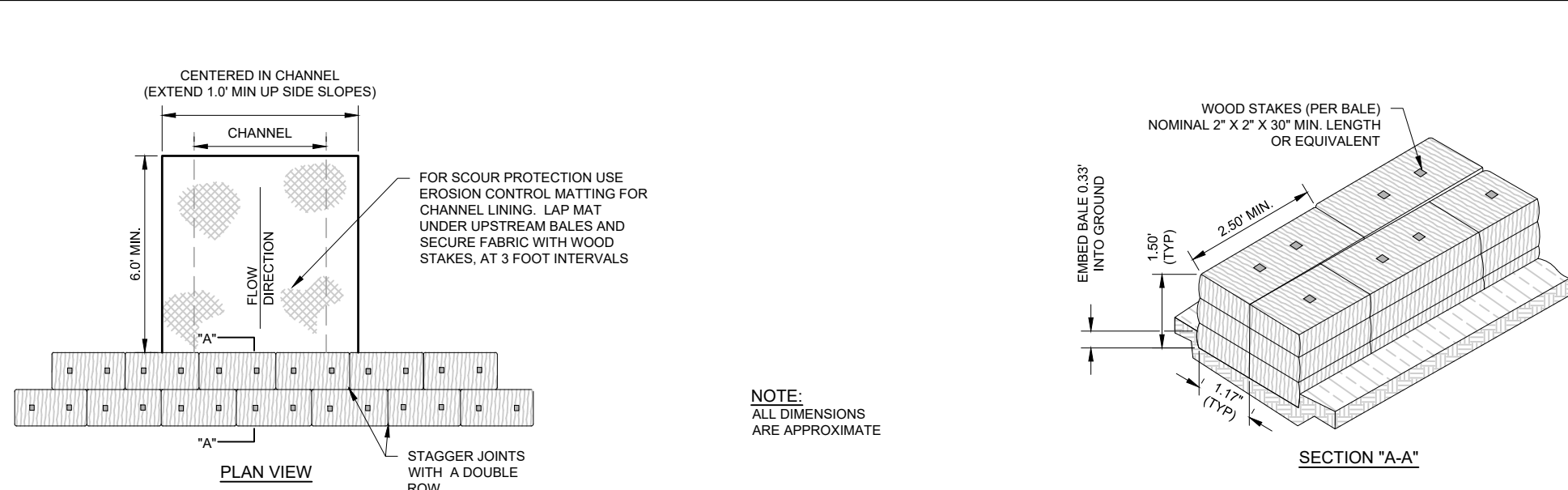
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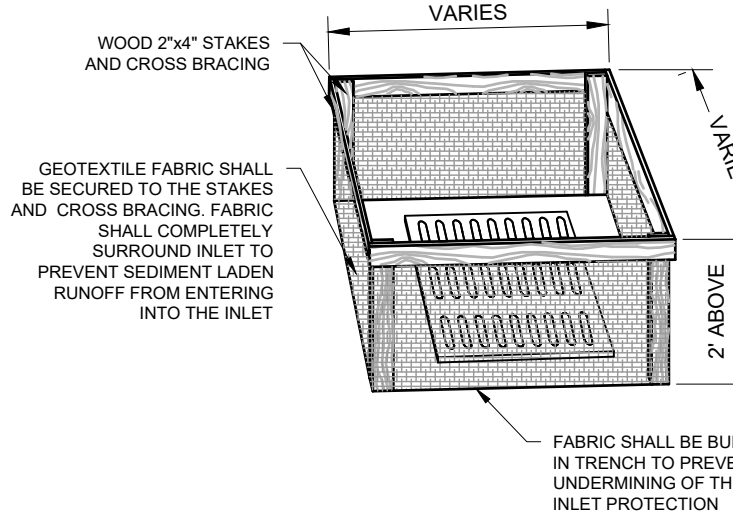
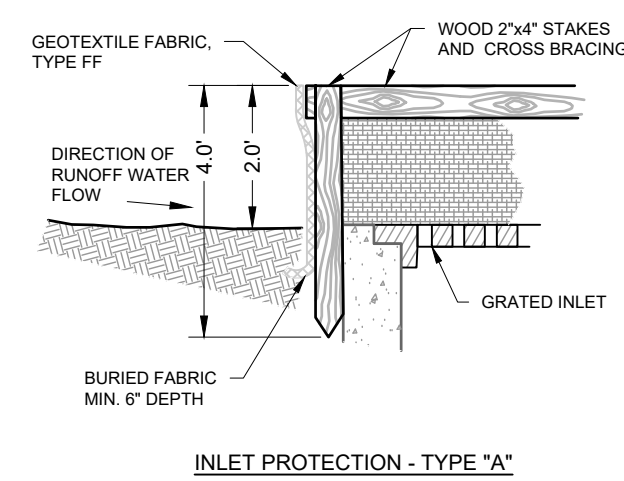
PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING CHICAGO | MILWAUKEE | NATIONWIDE

Z:\PROJECTS\2016\809.208-WI\CAD\SHEETS\809.208-WI CONSTRUCTION DETAILS.DWG

PRELIMINARY NOT FOR CONSTRUCTION



- NOTE:**
ALL DIMENSIONS ARE APPROXIMATE.
- NOTES:**
1. ALL DITCH CHECKS SHALL MEET THE SPECIFICATIONS OF WDNR DITCH CHECK (STRAW BALE) TECHNICAL STANDARD 1092.
 2. INSTALLED, THE MINIMUM HEIGHT OF DITCH CHECK SHALL BE 10-INCHES AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 18-INCHES FOR MANUFACTURED OR BIODEGRADABLE MATERIALS.
 3. DITCH CHECK MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A WEIR.
 4. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO FEET OF DROP IN THE CHANNEL.
 5. DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 6. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.
 7. DITCH CHECK SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND CHANNEL STABILIZATION IS APPLIED.
 8. EROSION CONTROL MATTING FOR CHANNELS SHALL BE NORTH AMERICAN GREEN C125BN OR EQUAL.

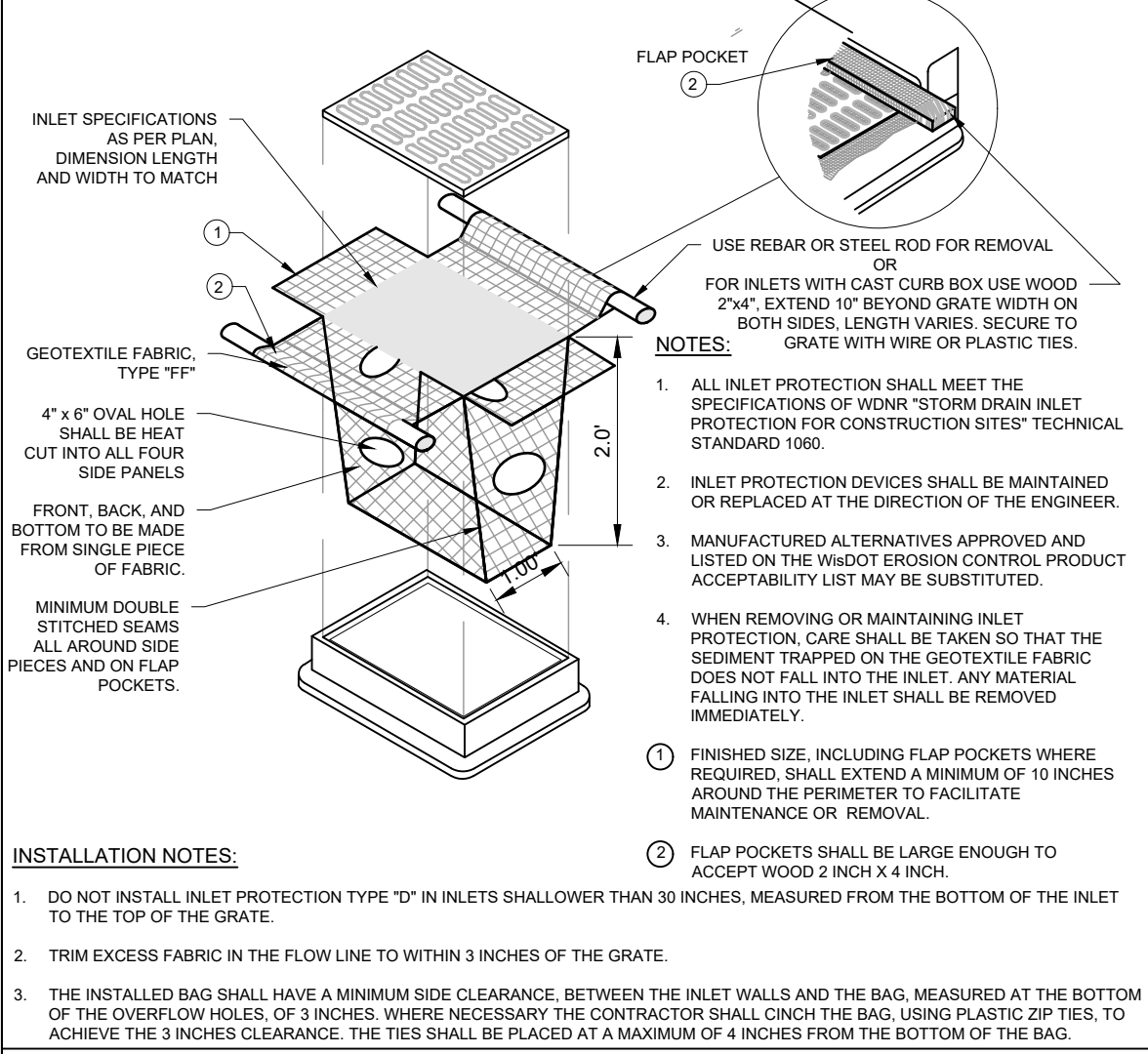


- NOTES:**
1. ALL INLET PROTECTION SHALL MEET THE SPECIFICATIONS OF WDNR "STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES" TECHNICAL STANDARD 1000.
 2. TYPE A INLET PROTECTION SHOULD BE USED ON PROPOSED INLETS UNTIL PAVEMENTS AND CURBS/GUTTERS ARE INSTALLED. ONCE INSTALLED, THE INLET PROTECTION SHOULD SWITCH TO TYPE D (SEE DETAIL BELOW).
 3. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I, WITH AN EOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 4. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- ① FINISHED SIZE, INCLUDING FLAP POCKET WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18 INCHES OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

TYPE "B" INSTALLATION NOTES

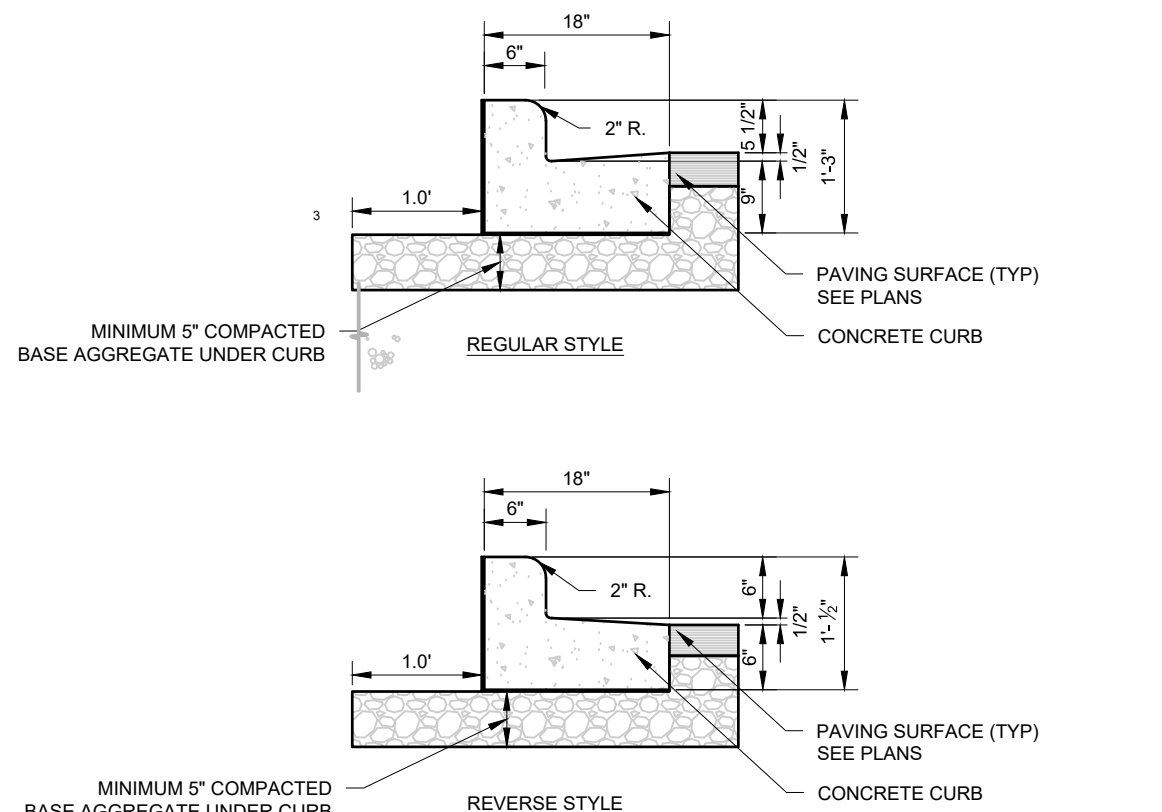
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SCREW FLAP, HAND HOLES OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

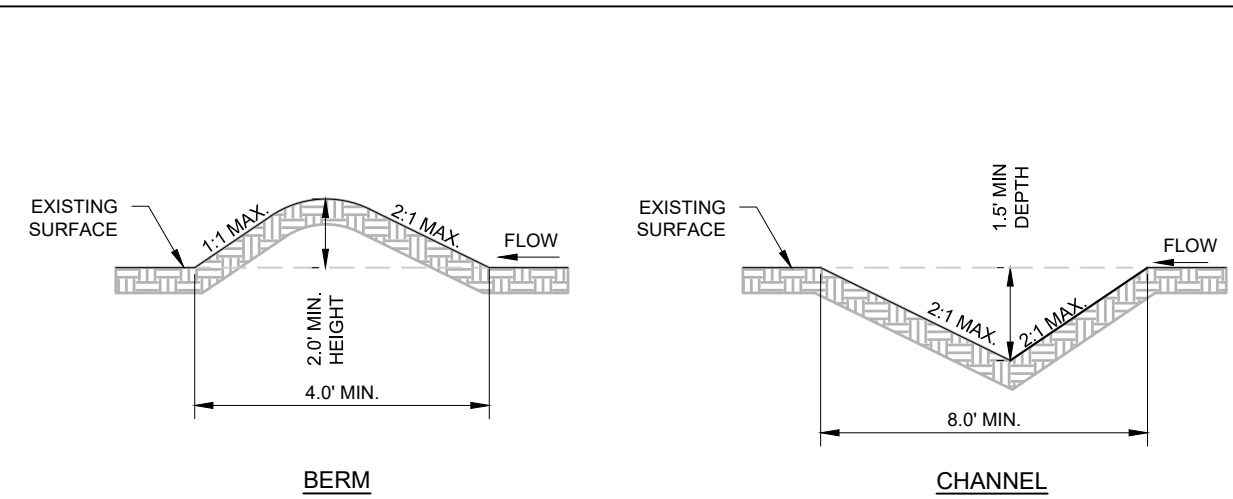


- INSTALLATION NOTES:**
1. DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 2. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
 3. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

DITCH CHECK WITH STRAW BALES

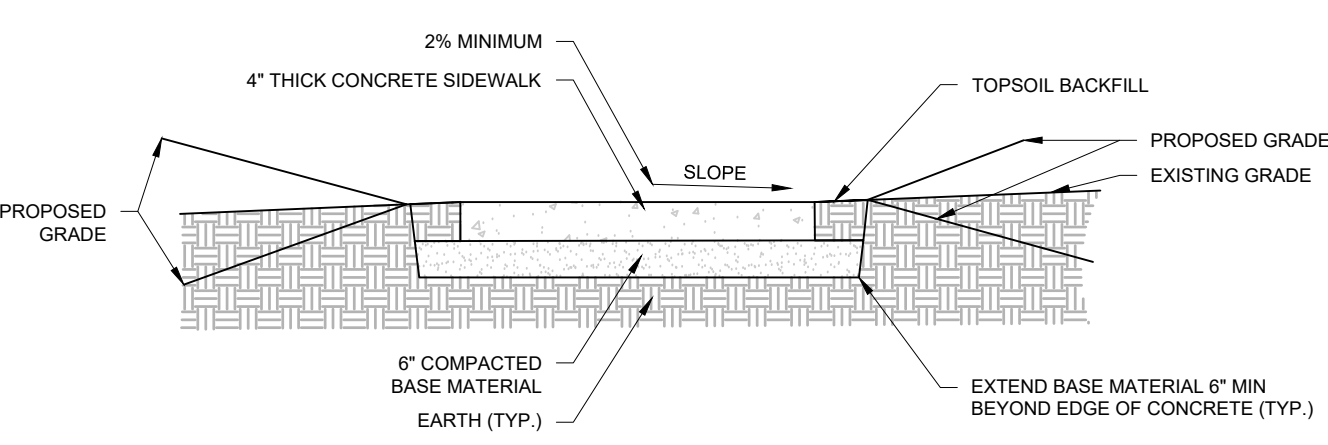


- NOTES:**
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
 4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

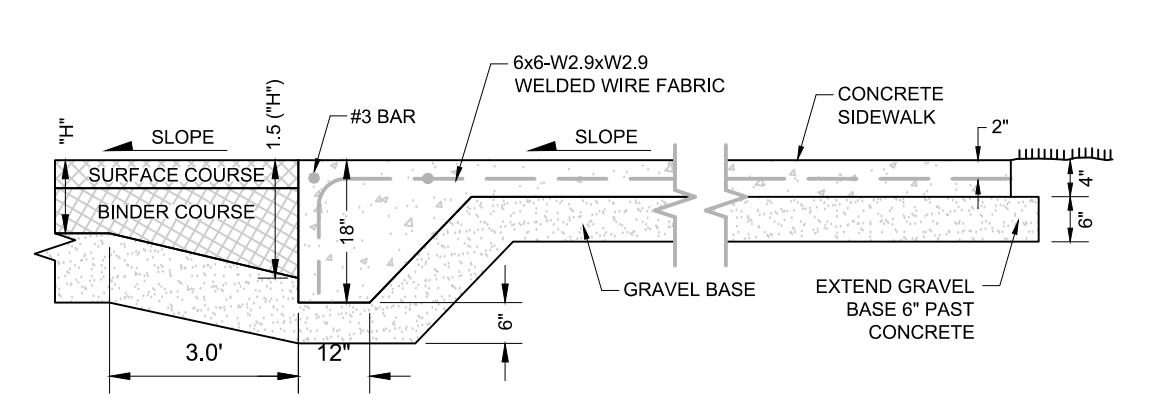


- NOTES:**
1. ALL DIVERSION BERMS SHALL MEET THE SPECIFICATIONS OF WDNR "CONSTRUCTION SITE DIVERSION" TECHNICAL STANDARD 1066.
 2. DIVERSION MAY REQUIRE AREAS OF BERM AND OTHER AREAS OF CHANNEL TO PROVIDE SUFFICIENT PERIMETER PROTECTION.
 3. DIVERSION BERM VERSUS CHANNEL PRACTICES SHALL BE SELECTED SUCH TO PREVENT PONDING (E.G., POSITIVE DRAINAGE SHALL BE MAINTAINED).
 4. FOR DIVERSIONS THAT ARE TO SERVE LONGER THAN 30 DAYS, THE SIDE SLOPES INCLUDING THE RIDGE, AND THE DOWN SLOPE, SIDE OF THE DIVERSION SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED BY EQUIPMENT TRACKING AND TEMPORARY SEEDING. FOR DIVERSIONS SERVING LESS THAN 30 DAYS, THE DOWN SLOPE, SIDE OF THE DIVERSION SHALL BE STABILIZED AS SOON AS CONSTRUCTED BY EQUIPMENT TRACKING AND TEMPORARY SEEDING.
 5. DIVERSIONS SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION ACTIVITIES. AT ALL POINTS WHERE DIVERSION BERMS OR CHANNELS WILL BE CROSSED BY CONSTRUCTION EQUIPMENT, THE DIVERSION SHALL BE SHAPED APPROPRIATELY AND/OR TEMPORARY CULVERTS OF ADEQUATE CAPACITY MAYBE ADDED AT CROSSINGS.
 6. AT MINIMUM, INSTALL ONE DITCH CHECK (SEE DETAIL) FOR EVERY 2 VERTICAL FEET OF DROP.
 7. DIVERSIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE DIVERSION BERM.

18" VERTICAL FACE CURB

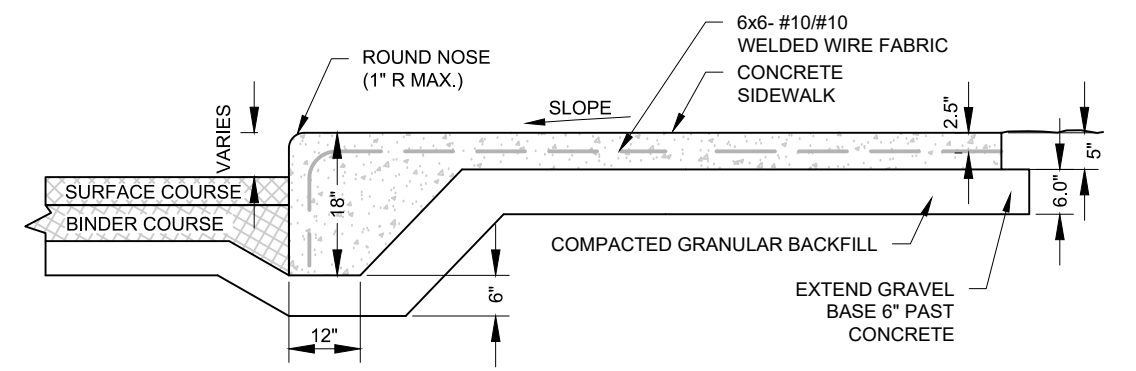


CONCRETE SIDEWALK

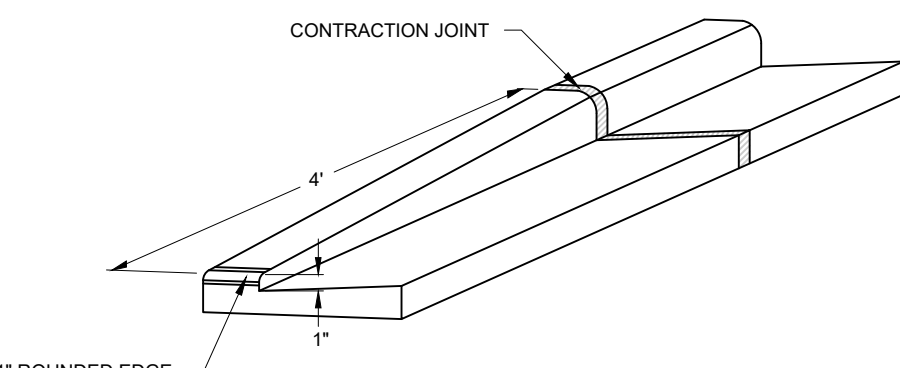


WALK FLUSH WITH PAVEMENT

DIVERSION BERM / CHANNEL

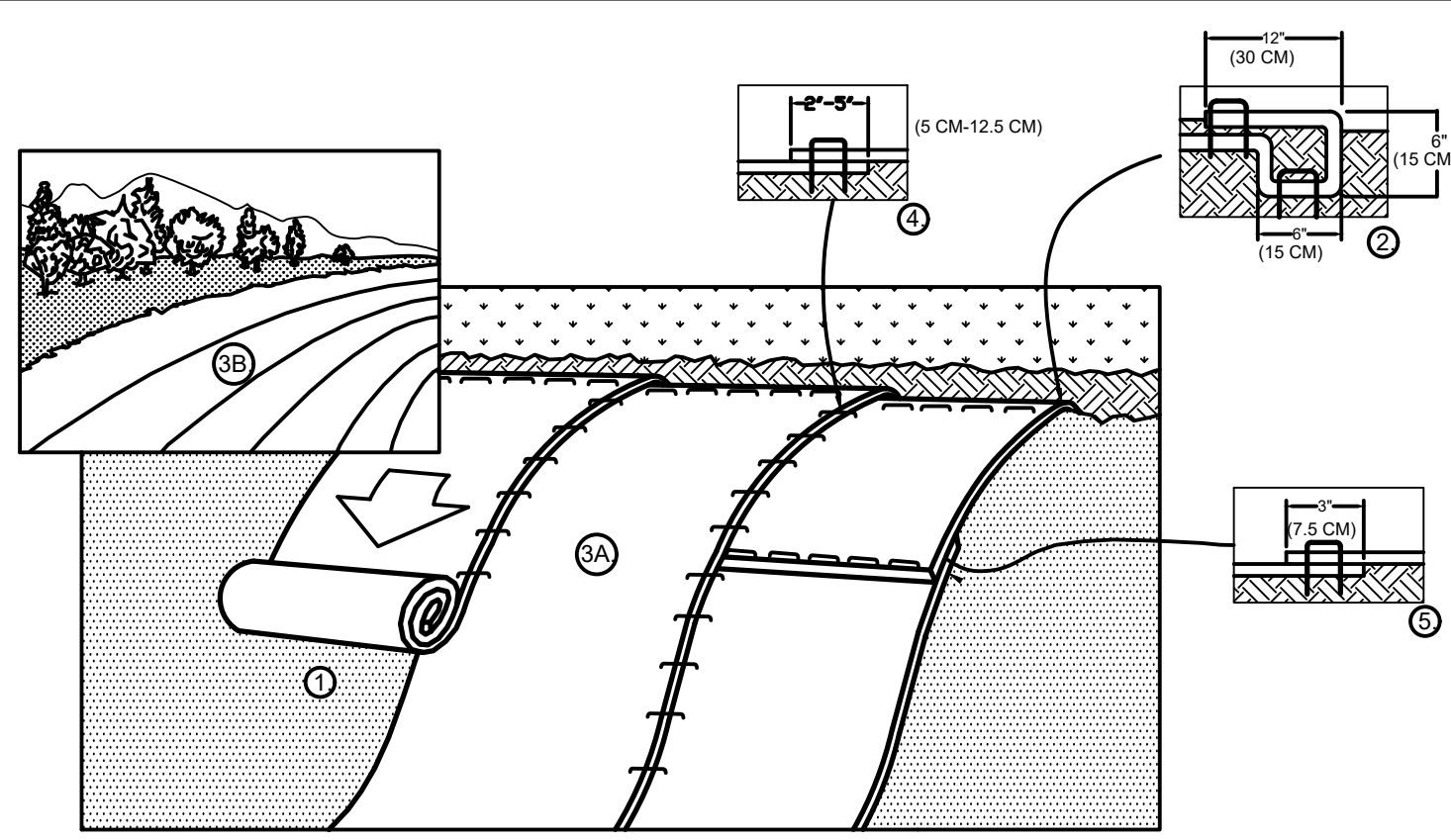


INTEGRAL CURB AND SIDEWALK



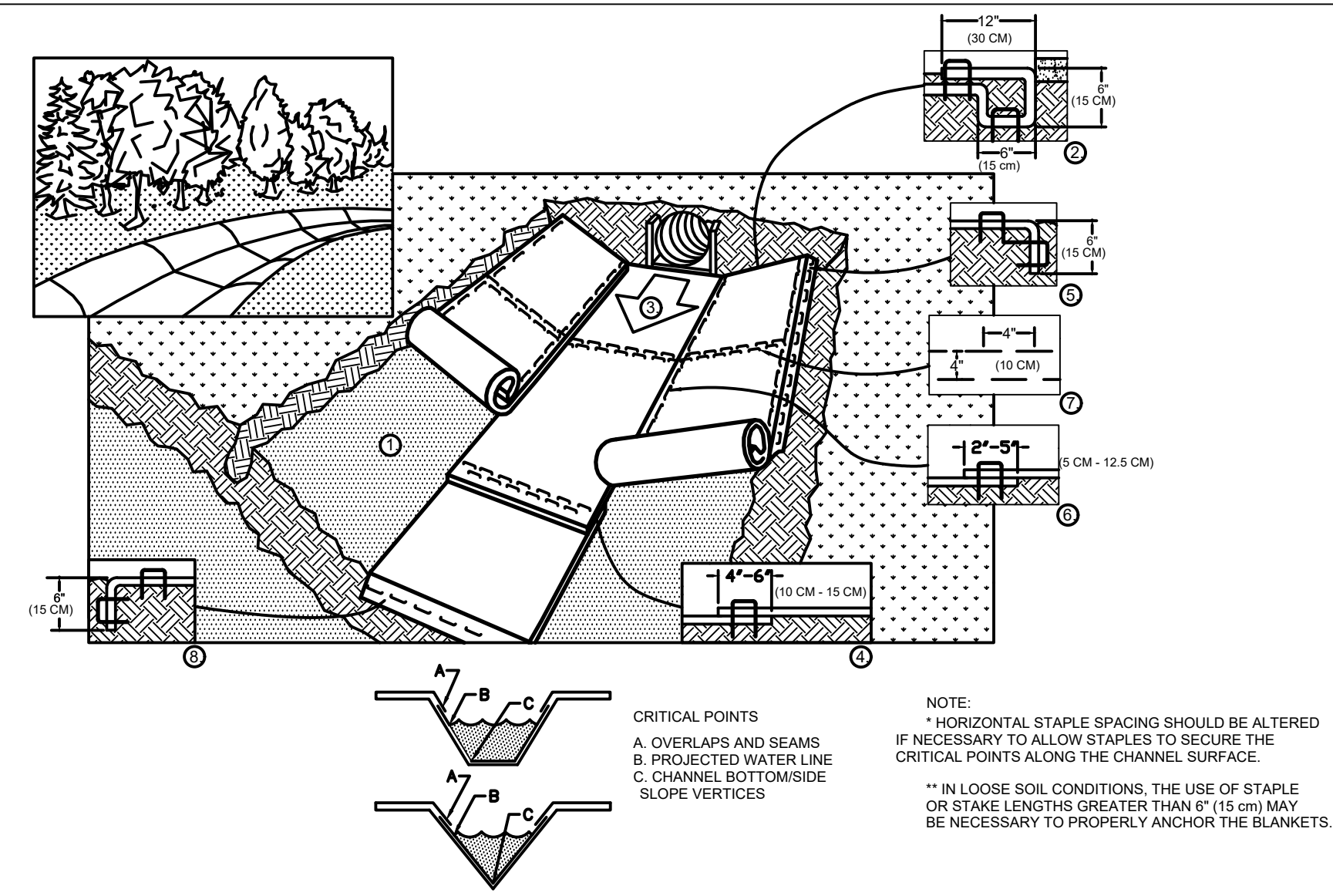
TAPER CURB HEAD

- NOTES:**
1. CONTRACTION JOINTS SHALL BE PLACED EVERY 10 FEET.
 2. EXPANSION JOINTS (3/4" EXPANSION FIBER MATERIAL) SHALL BE PLACED EVERY 300 FEET AND AT EVERY PCPT AND 3 FEET FROM STRUCTURES.



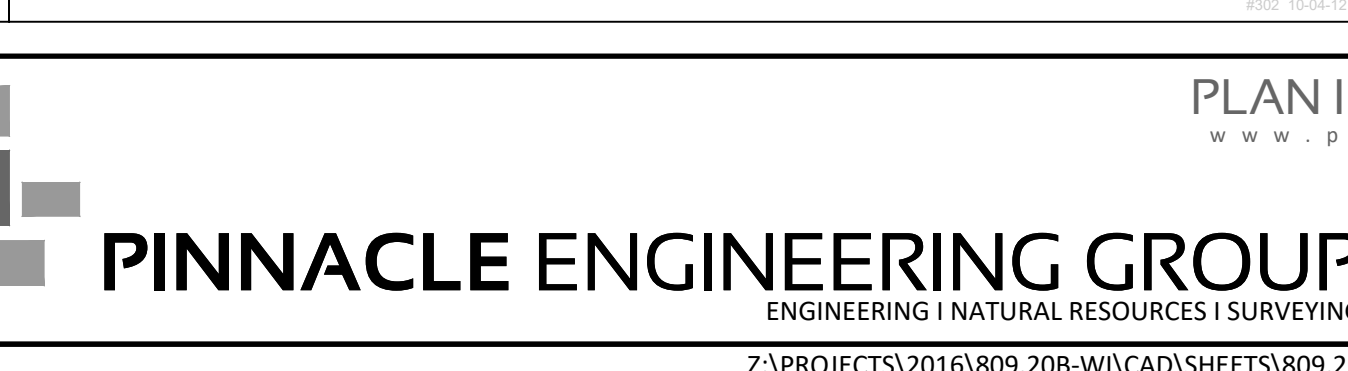
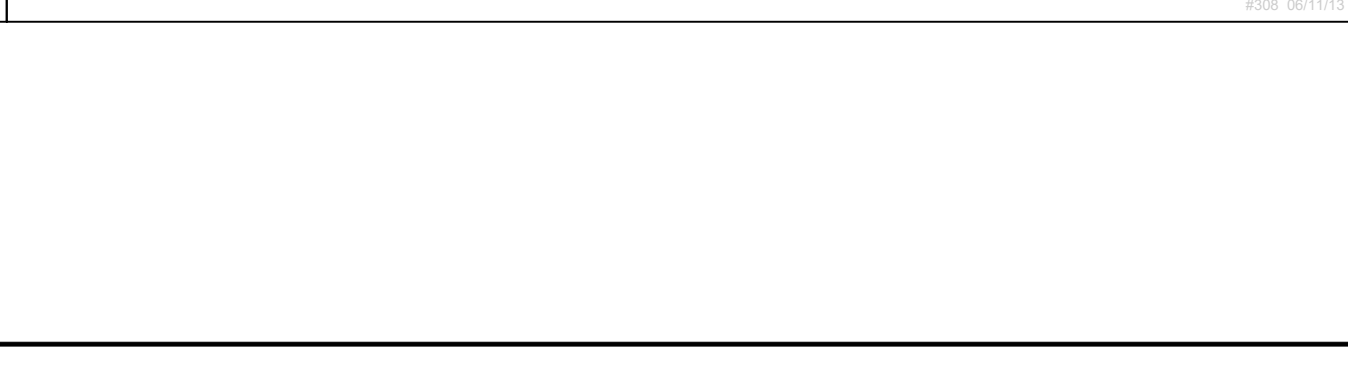
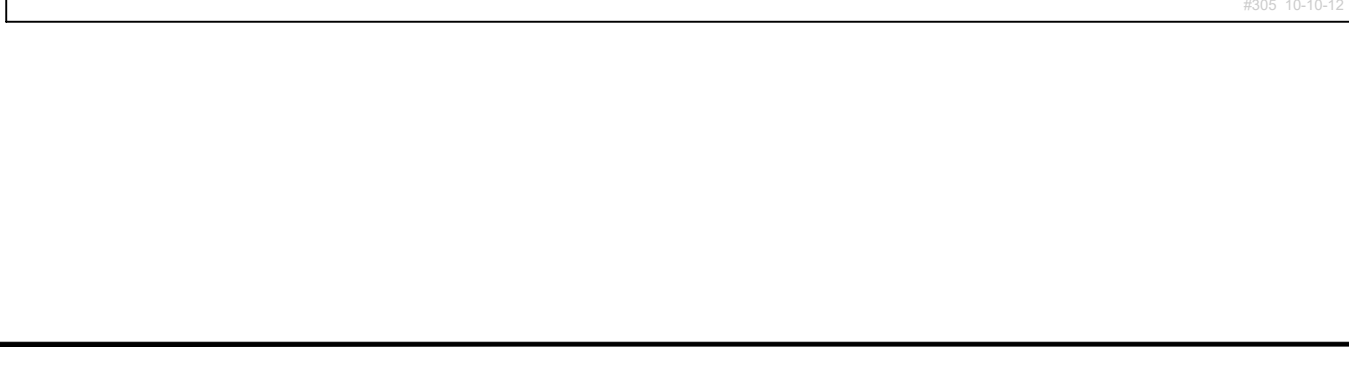
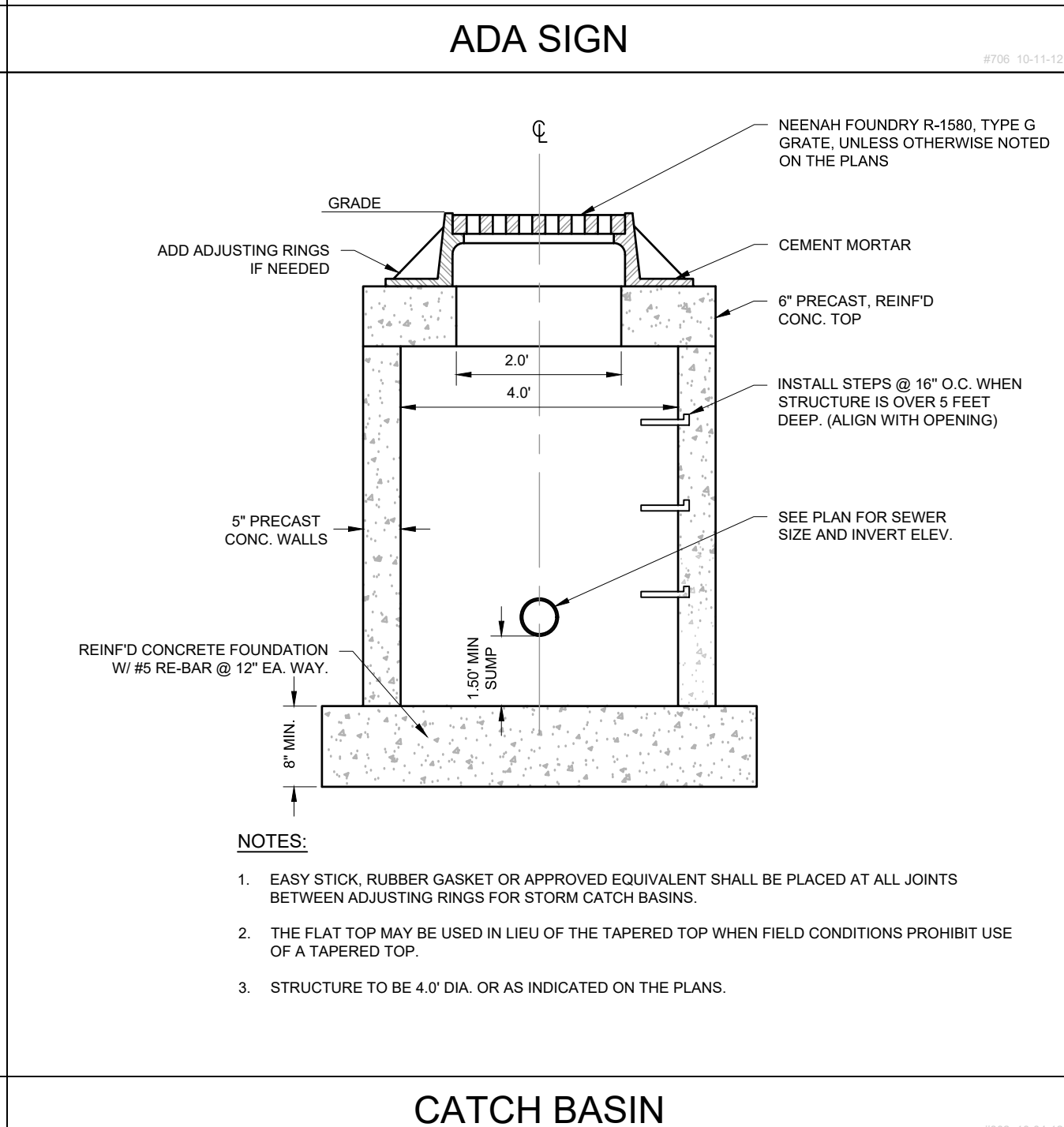
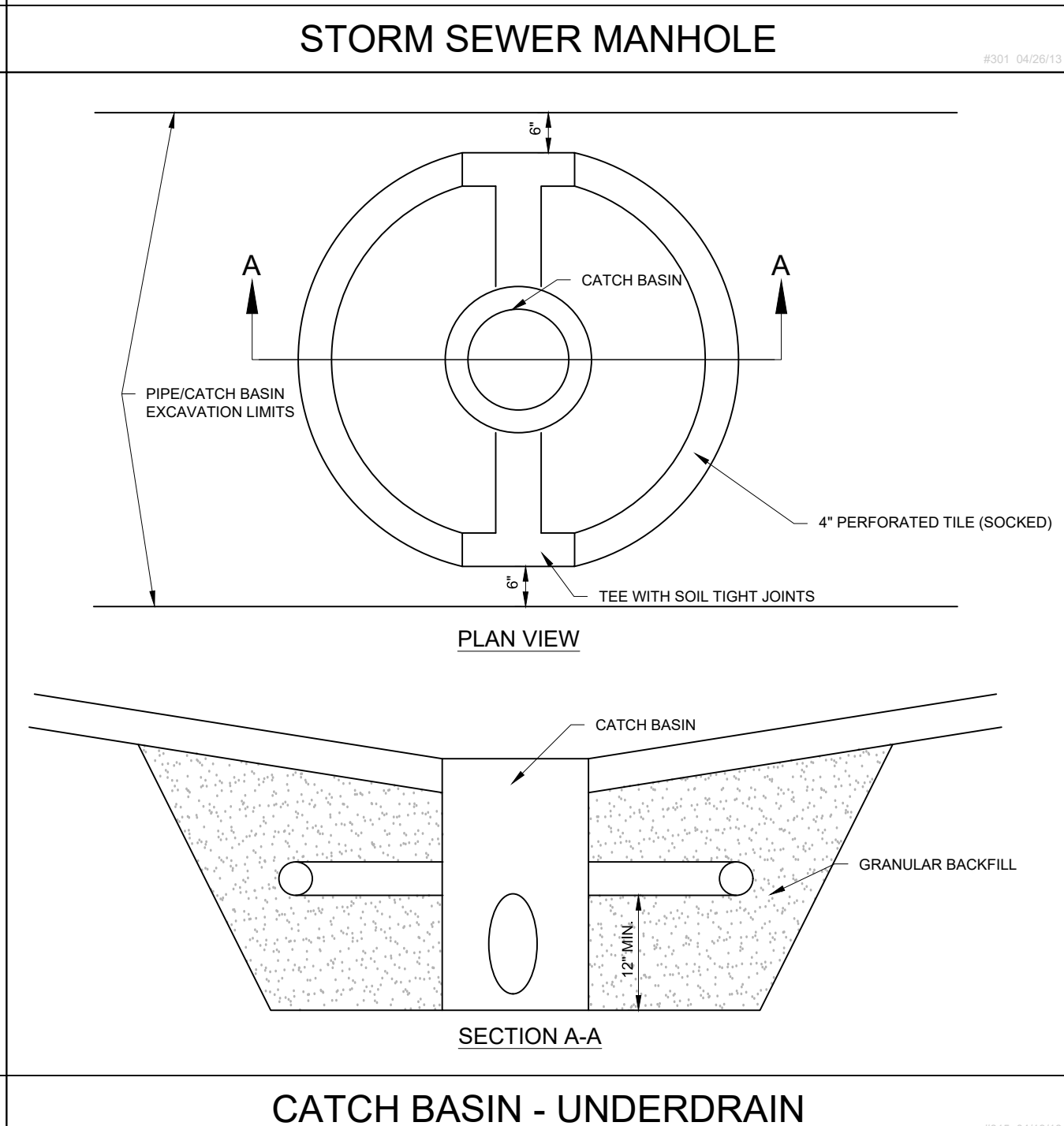
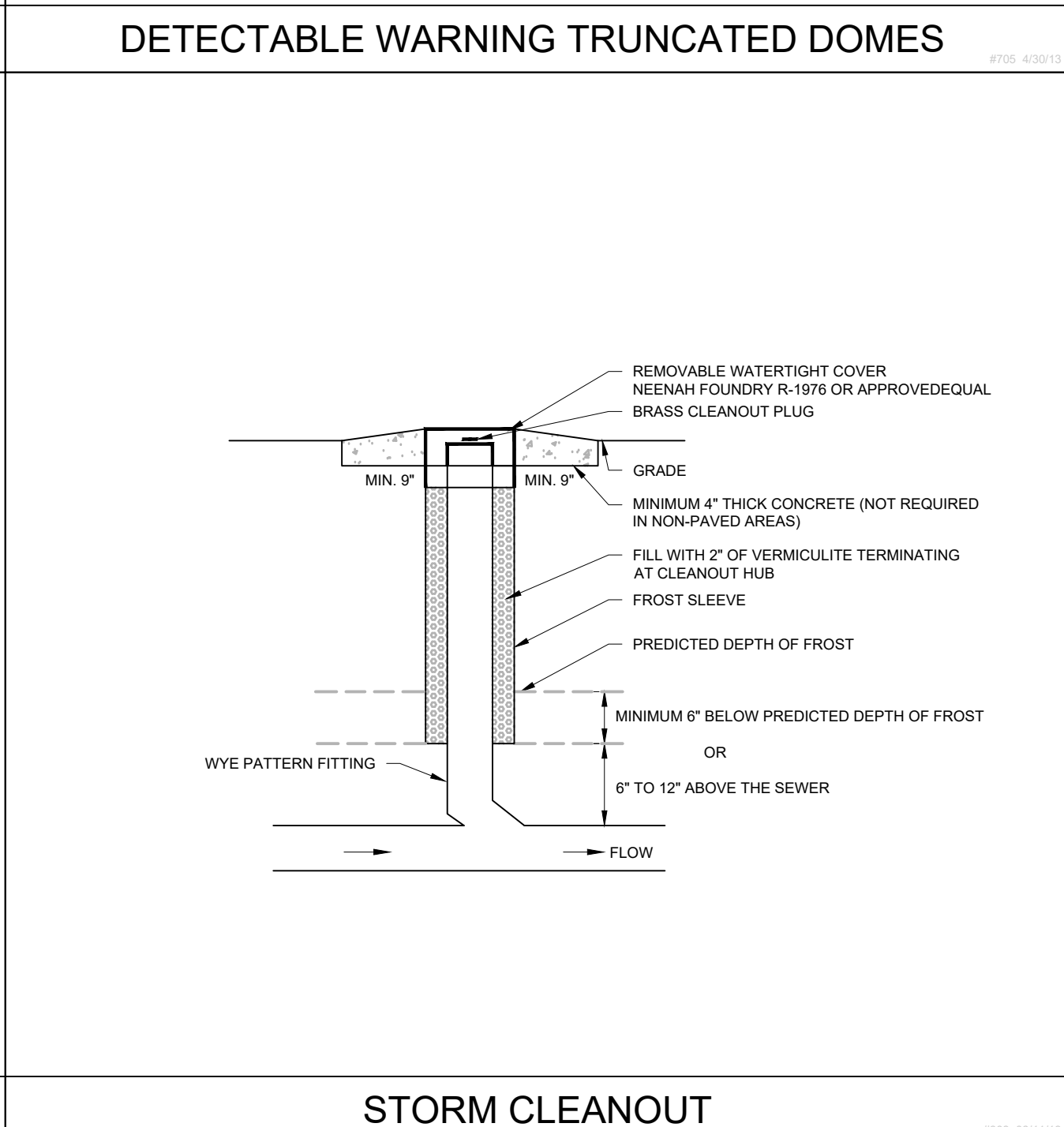
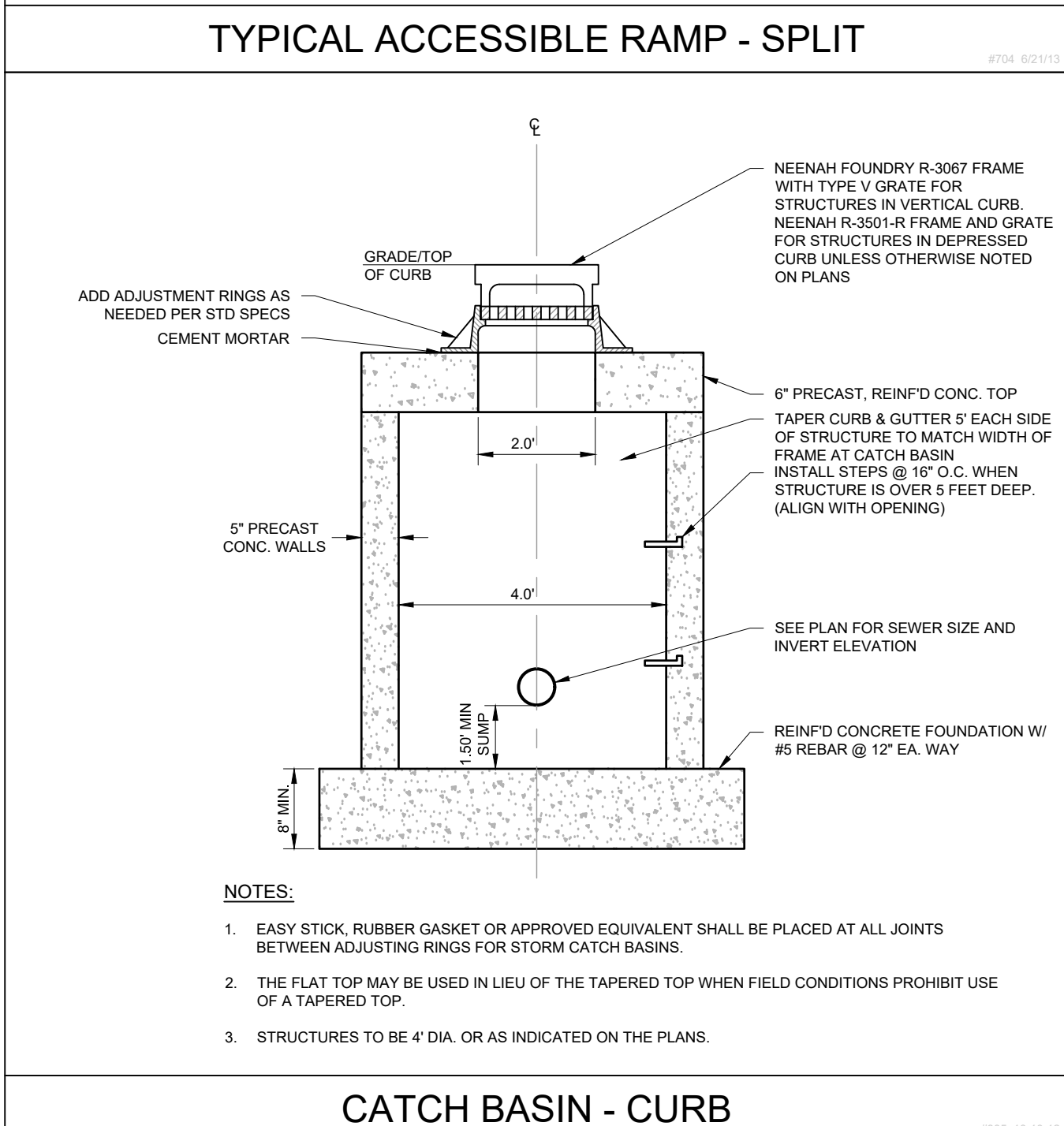
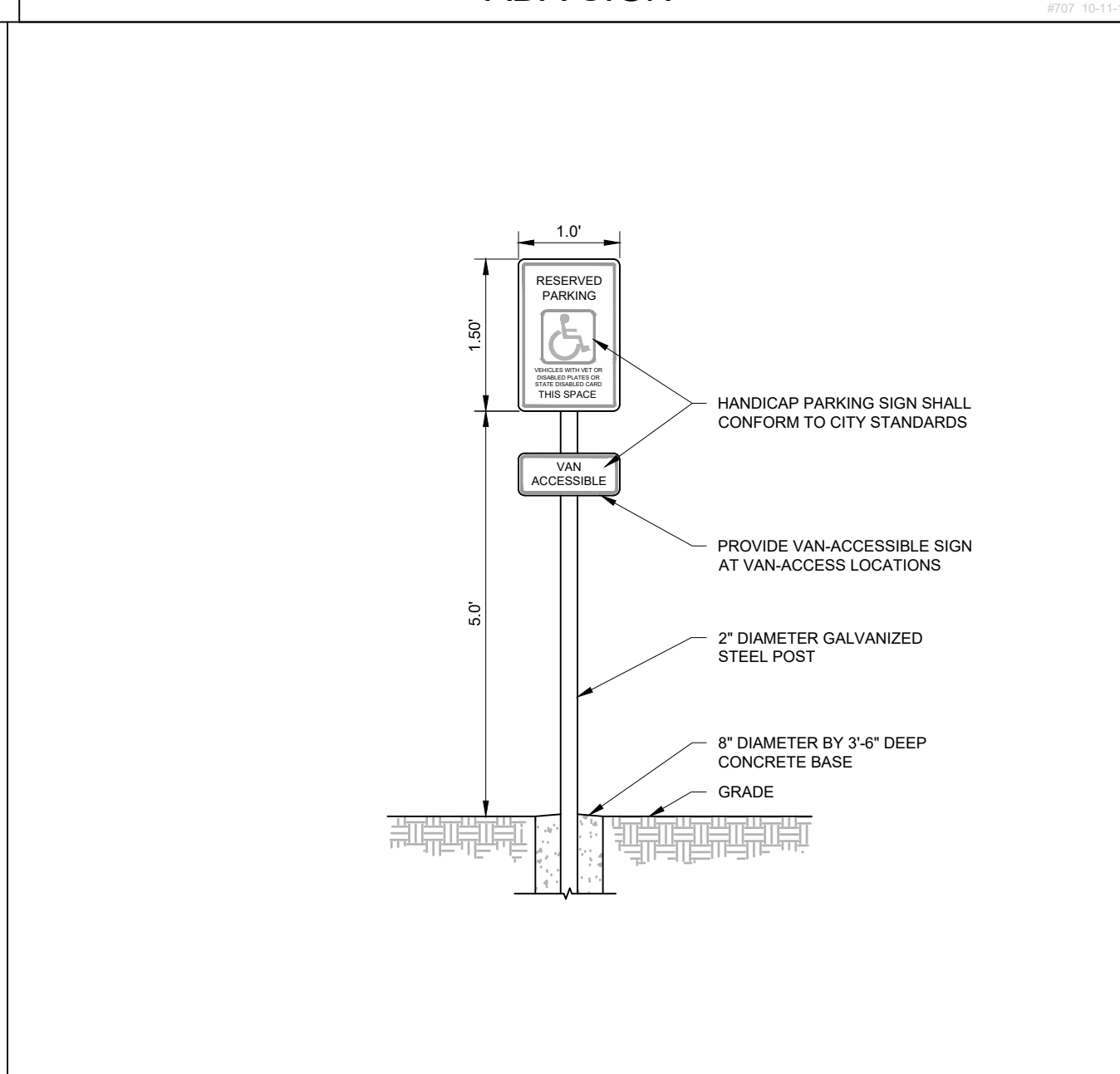
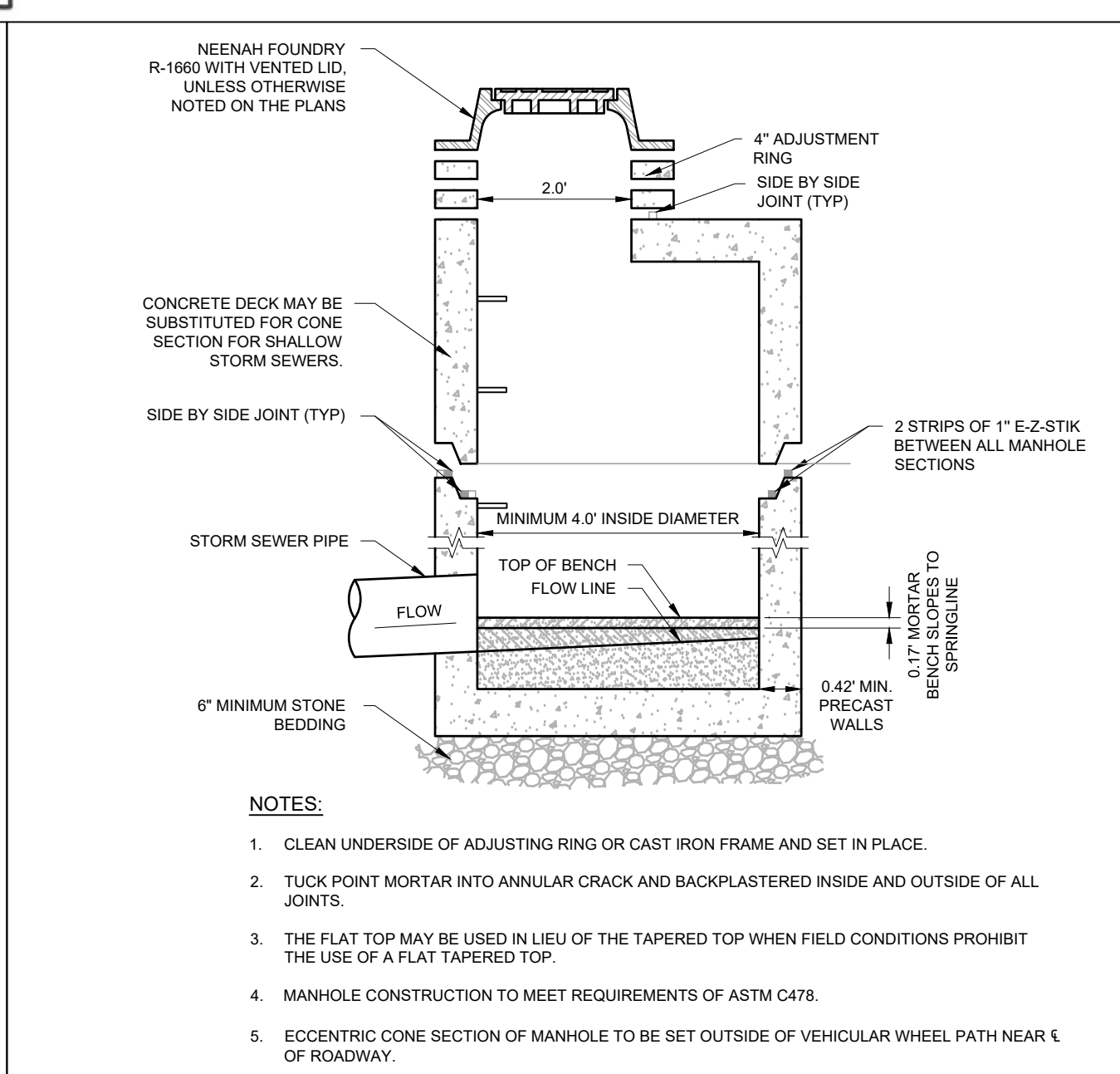
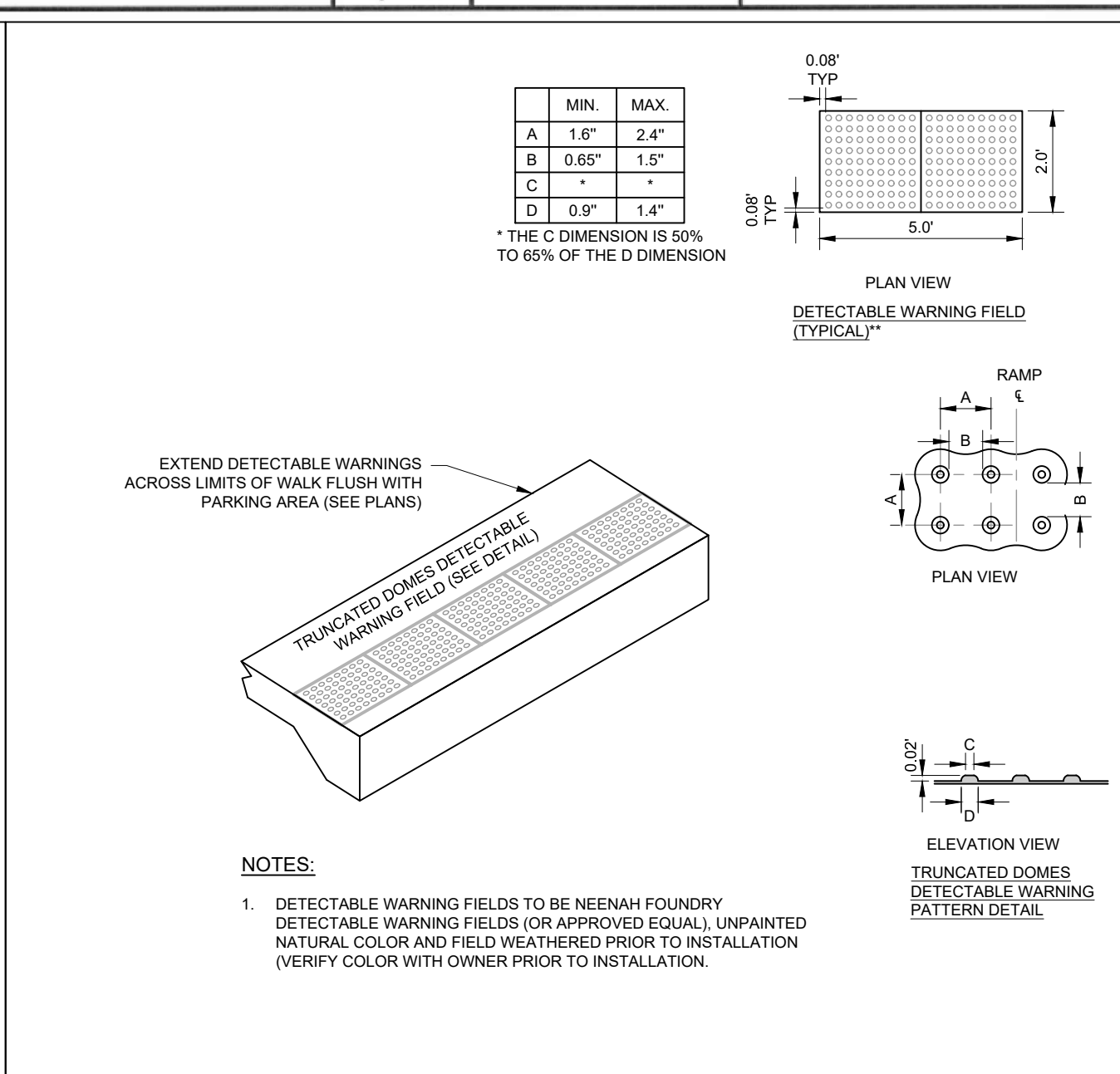
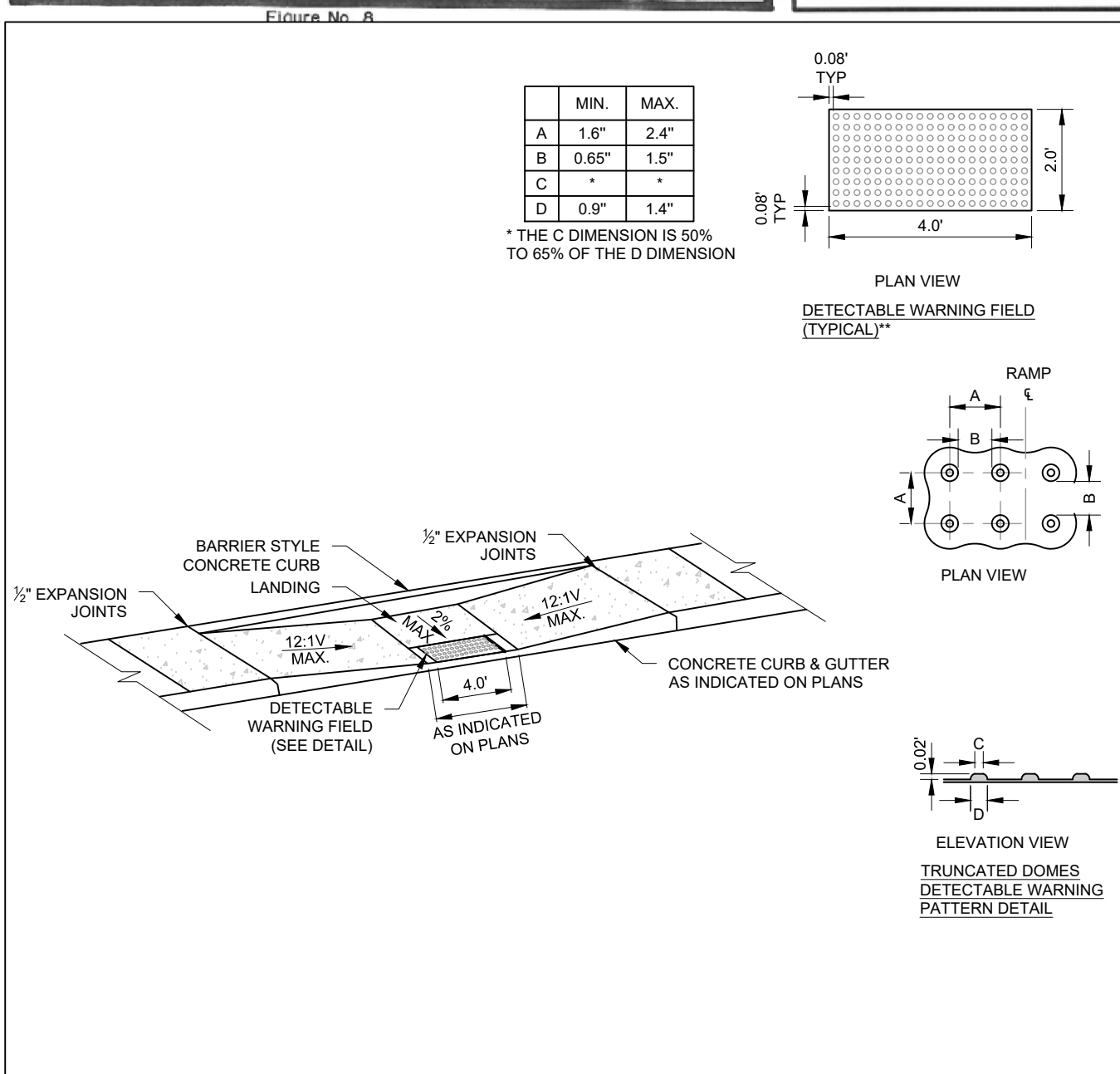
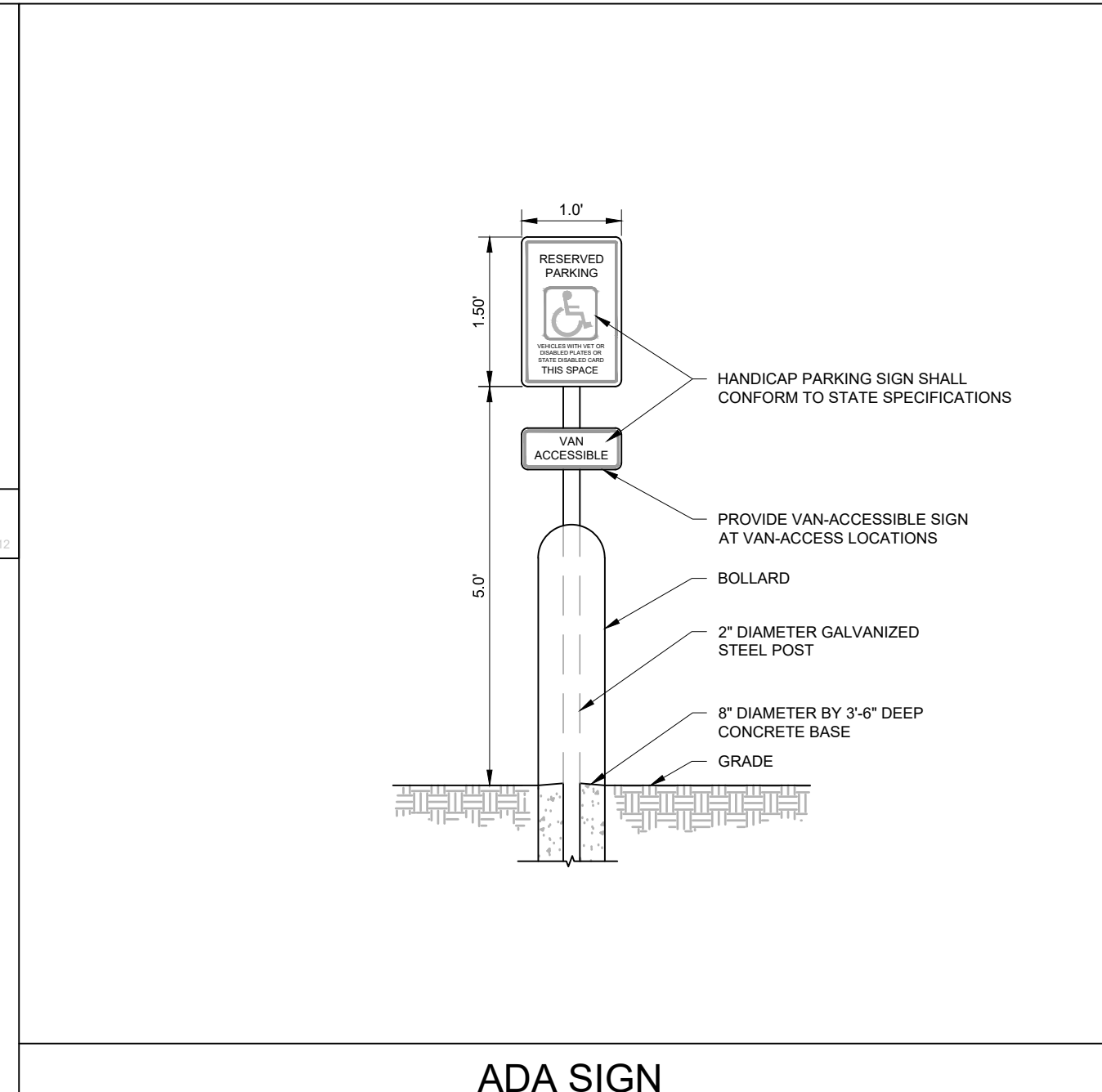
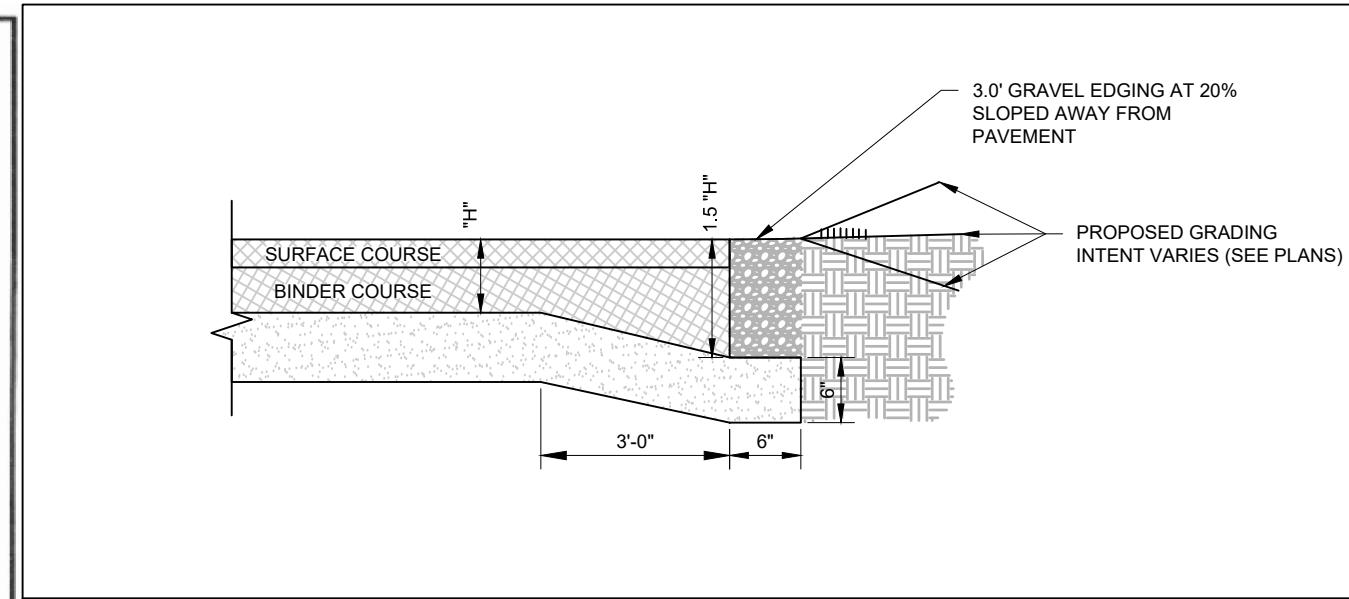
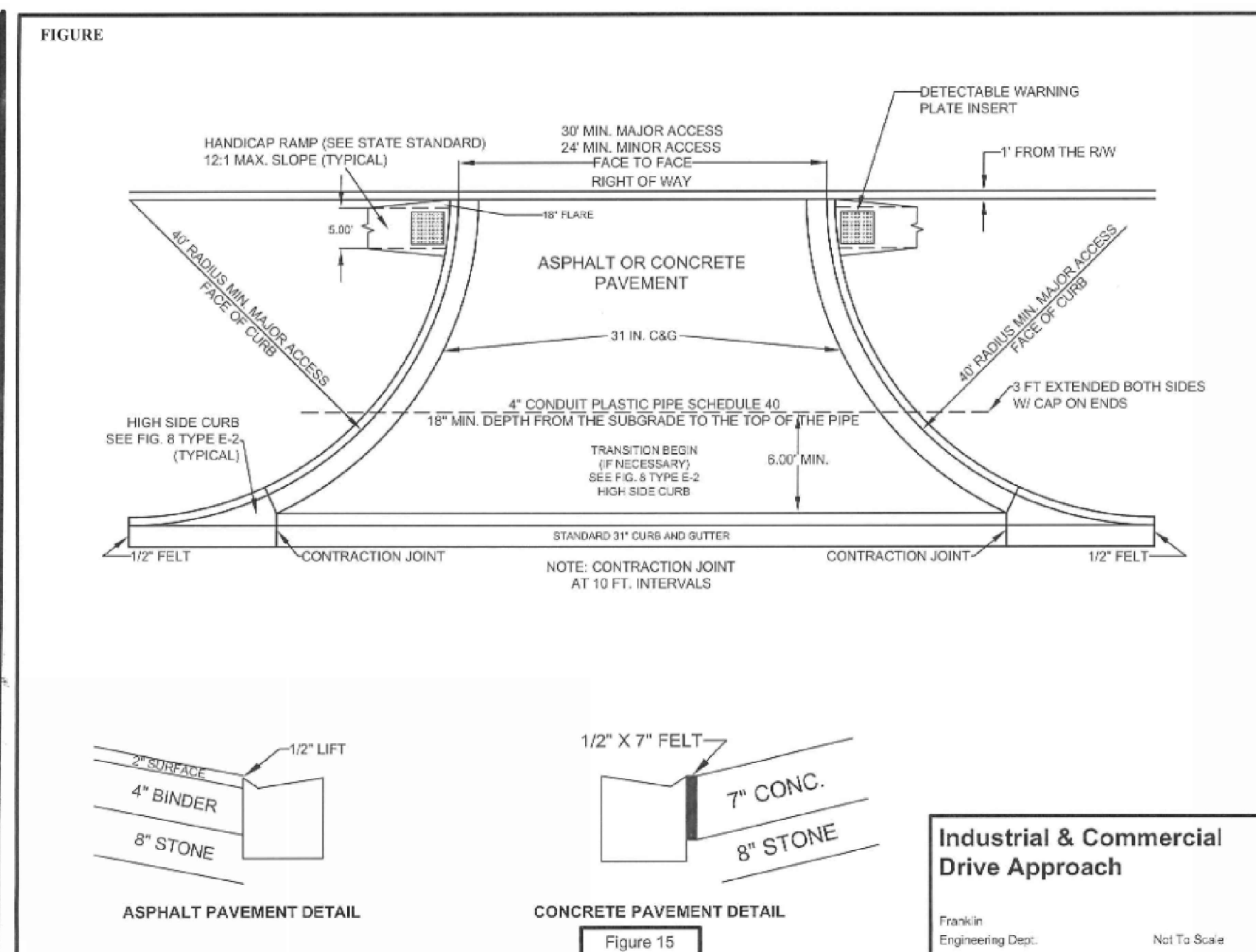
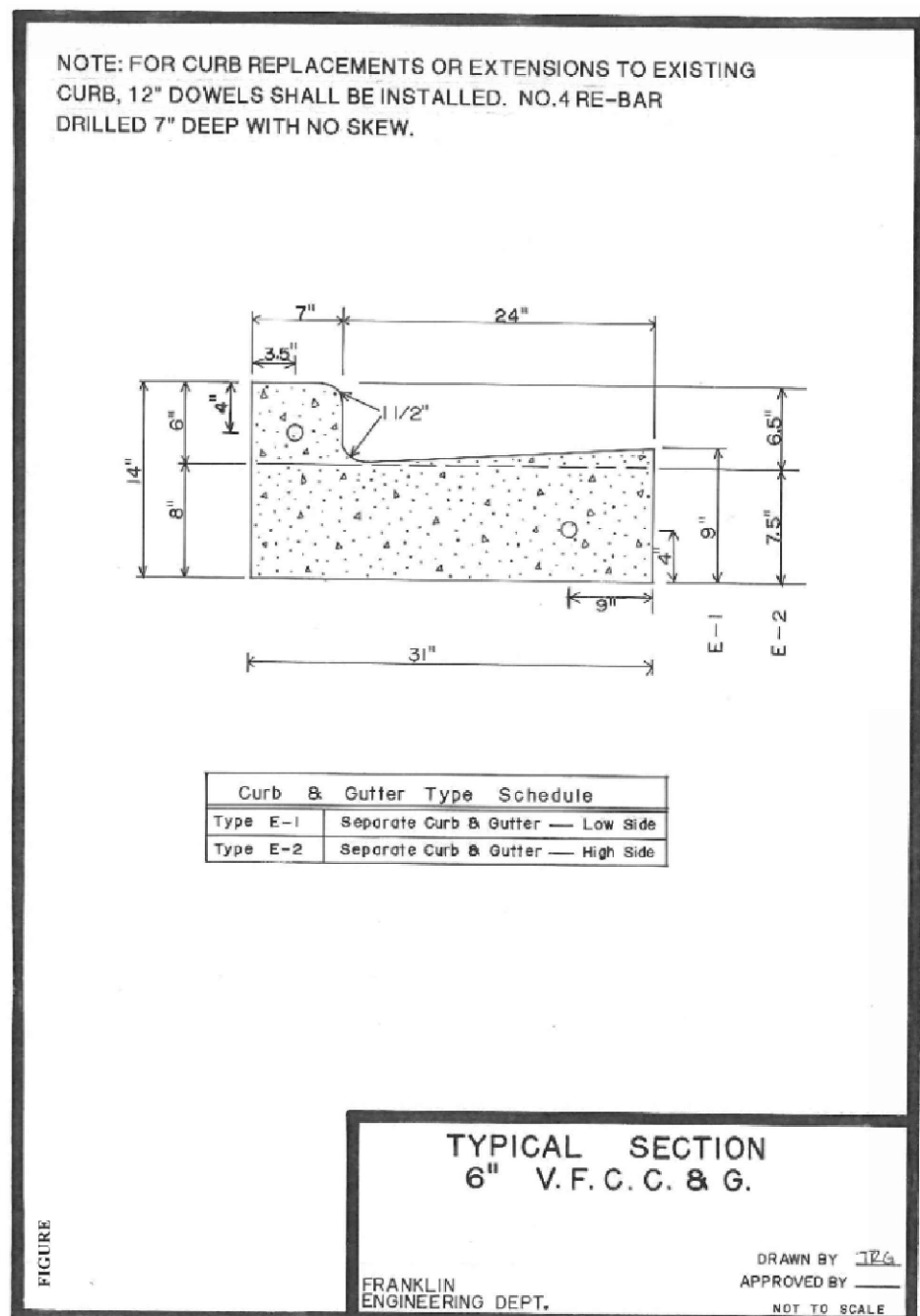
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
 5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.
 6. EROSION MATTING SHALL MEET THE SPECIFICATIONS OF WDNR "NON-CHANNEL EROSION MAT" TECHNICAL STANDARD 1052.
- NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

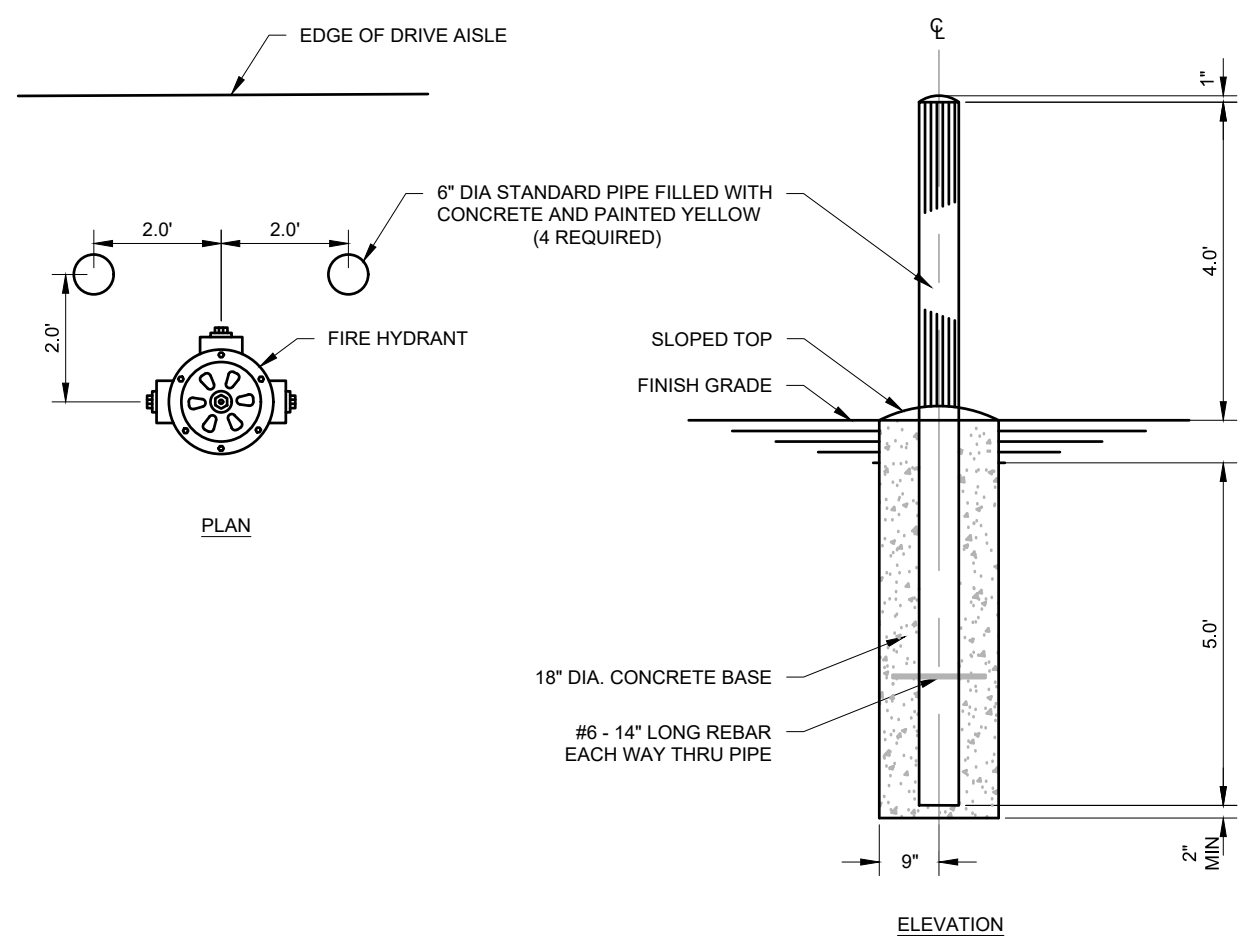
EROSION MATTING - SLOPE INSTALLATION



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE BLANKETS.
 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) (DEPENDING ON BLANKET TYPE) AND STAPLED.
 7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
 8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 9. EROSION MATTING FOR CHANNELS SHALL MEET THE SPECIFICATIONS OF WDNR "CHANNEL EROSION MAT" TECHNICAL STANDARD 1053.
- NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

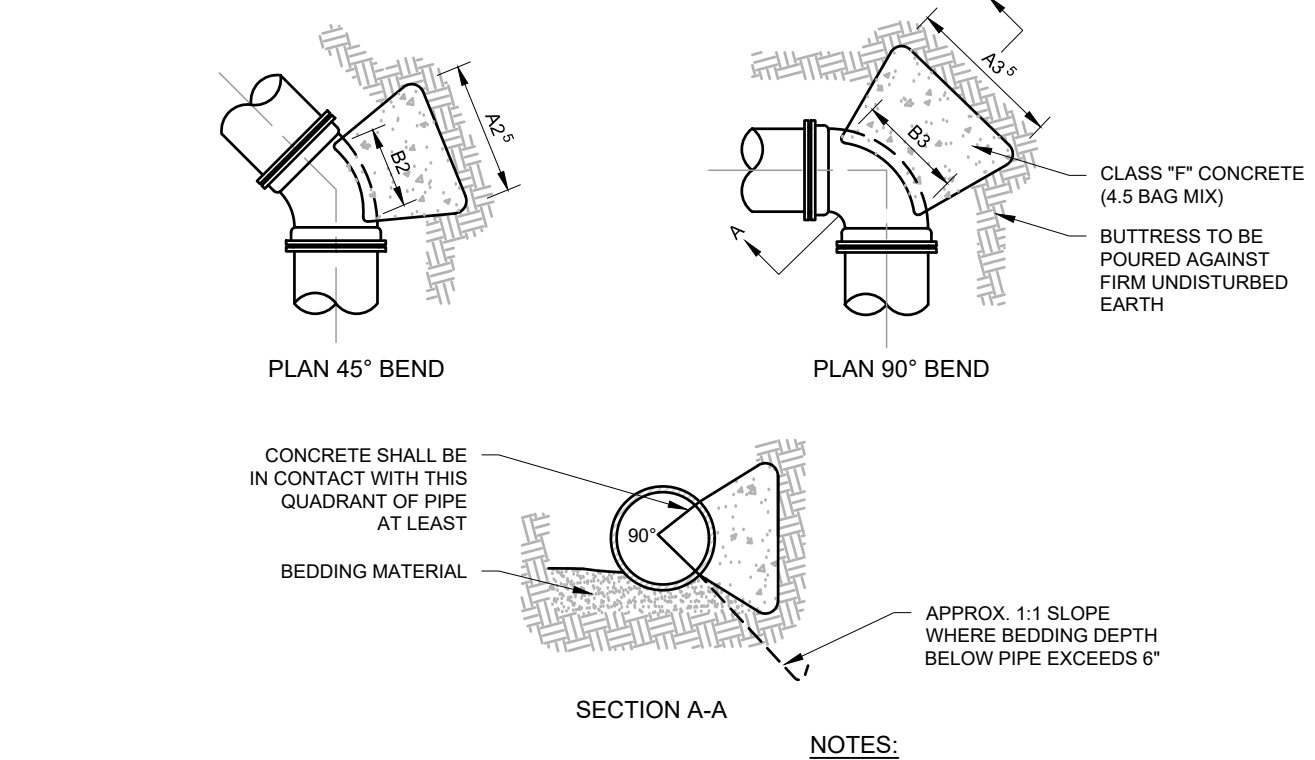
EROSION MATTING - CHANNEL INSTALLATION





NOTES:
1. USE WHERE HYDRANT IS LOCATED OUTSIDE PAVED AREAS, COST INCIDENTAL.

HYDRANT BOLLARD

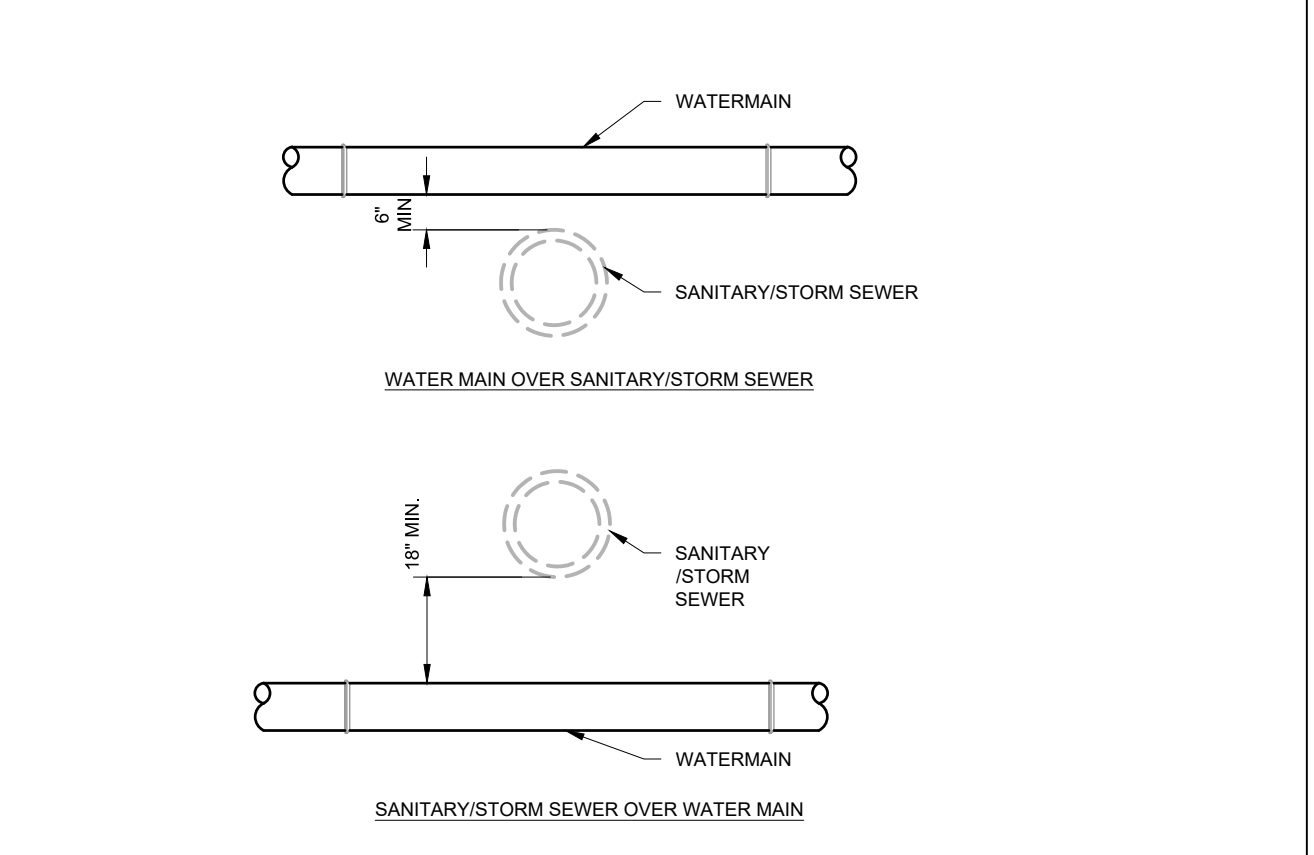


NOTES:

- PROVIDE THRUST BLOCKING TO PREVENT MOVEMENT OF LINES UNDER PRESSURE AT BENDS, TEES, CAPS, VALVES, HYDRANTS, AND AT POINTS SPECIFIED BY THE ENGINEER.
- ALL BLOCKING SHALL BE WITH POURED CLASS SI CONCRETE AGAINST UNDISTURBED VERTICAL EARTH SURFACE.
- THRUST BLOCKS TO BE AT ALL BENDS 1 1/2" OR GREATER.
- THE COST OF INSTALLING THE THRUST BLOCK SHALL BE INCIDENTAL TO THE CONSTRUCTION OF THE WATER.
- DIMENSION A2 & A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J BOLTS.

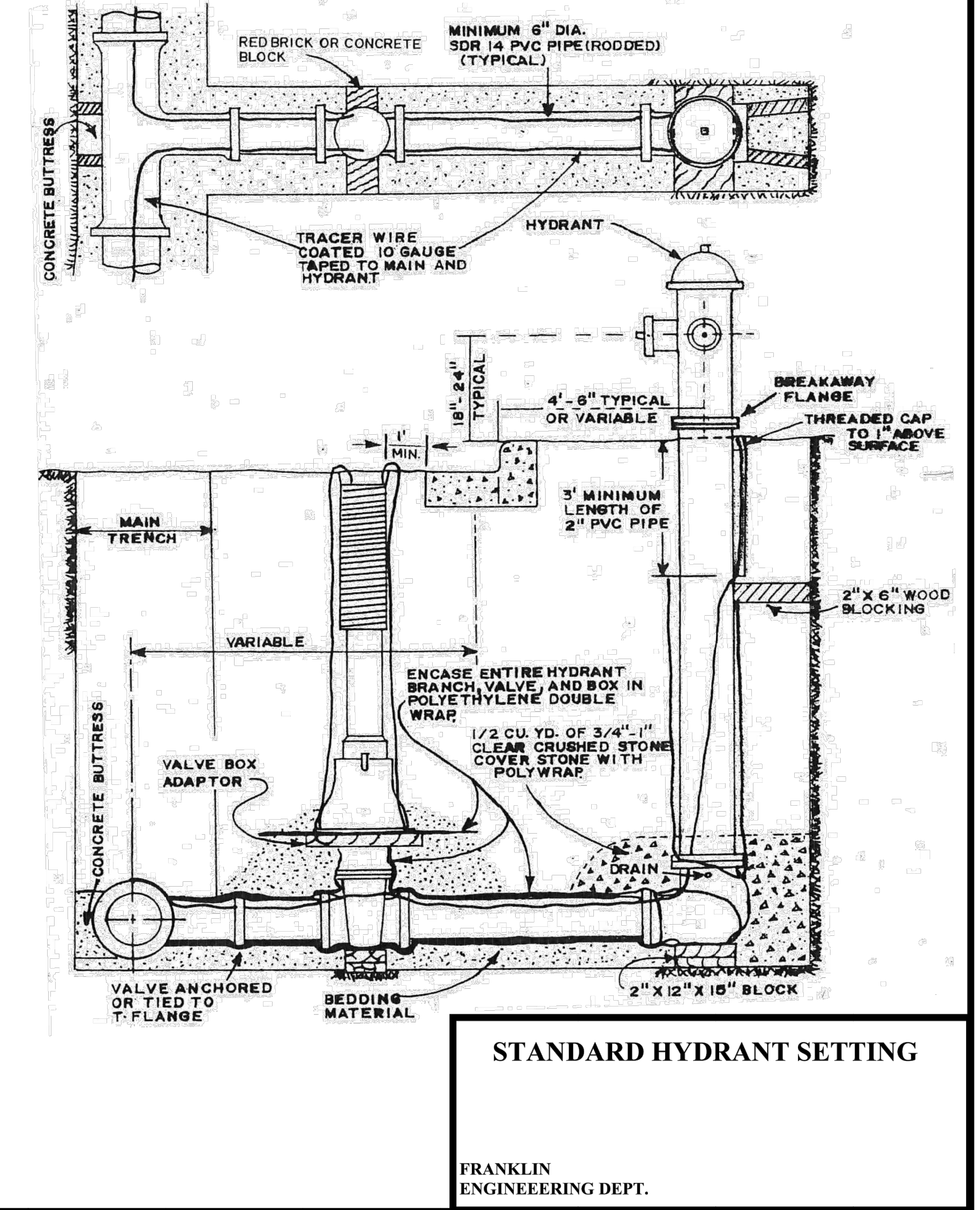
PIPE SIZE	22 1/2° BENDS		45° BENDS		90° BENDS	
	A1	B1	A2	B2	A3	B3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30"	3'-4"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

THRUST BLOCK



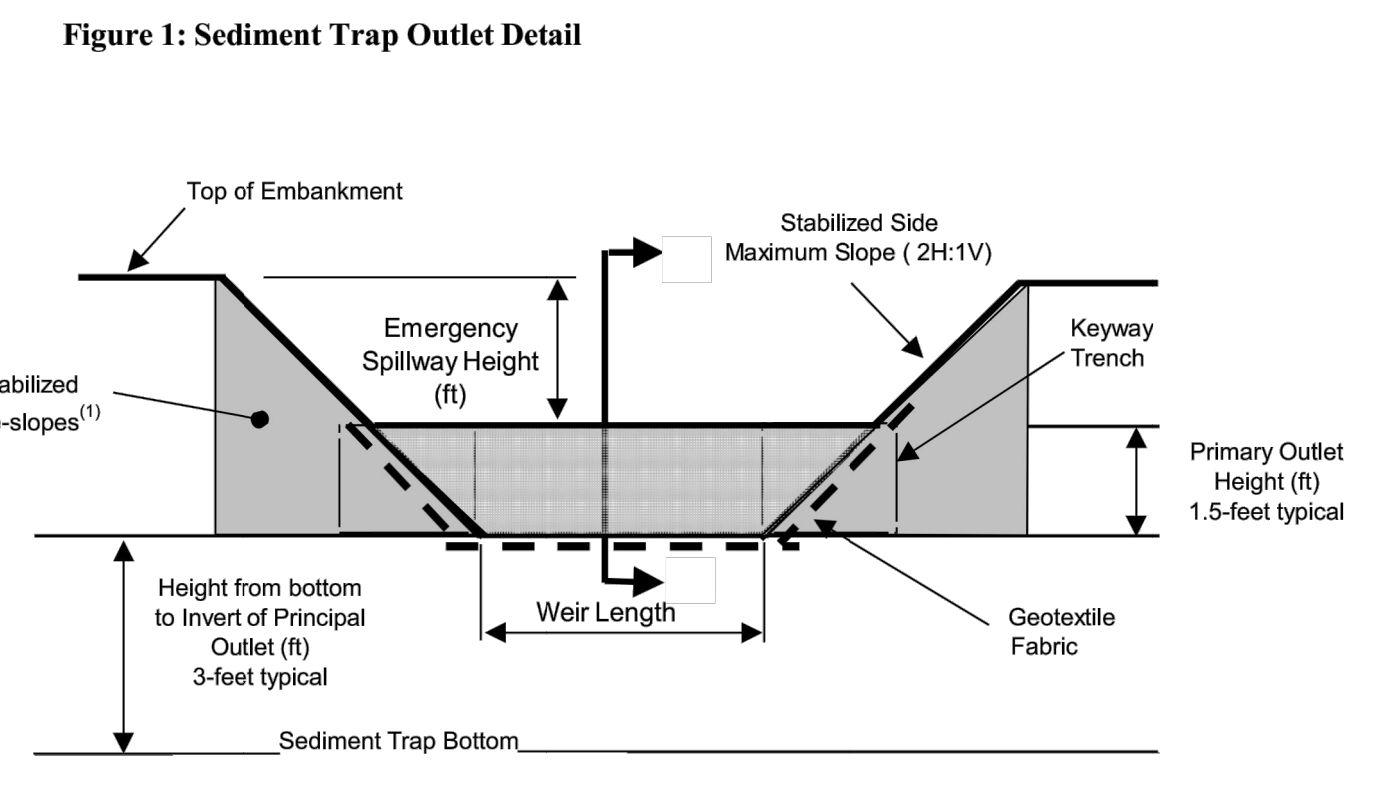
NOTES:
1. AT CROSSING, ONE FULL 18 FOOT LENGTH OF WATERMAIN SHALL BE CENTERED ON THE SEWER, MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 8 FEET.

UTILITY SEPARATION



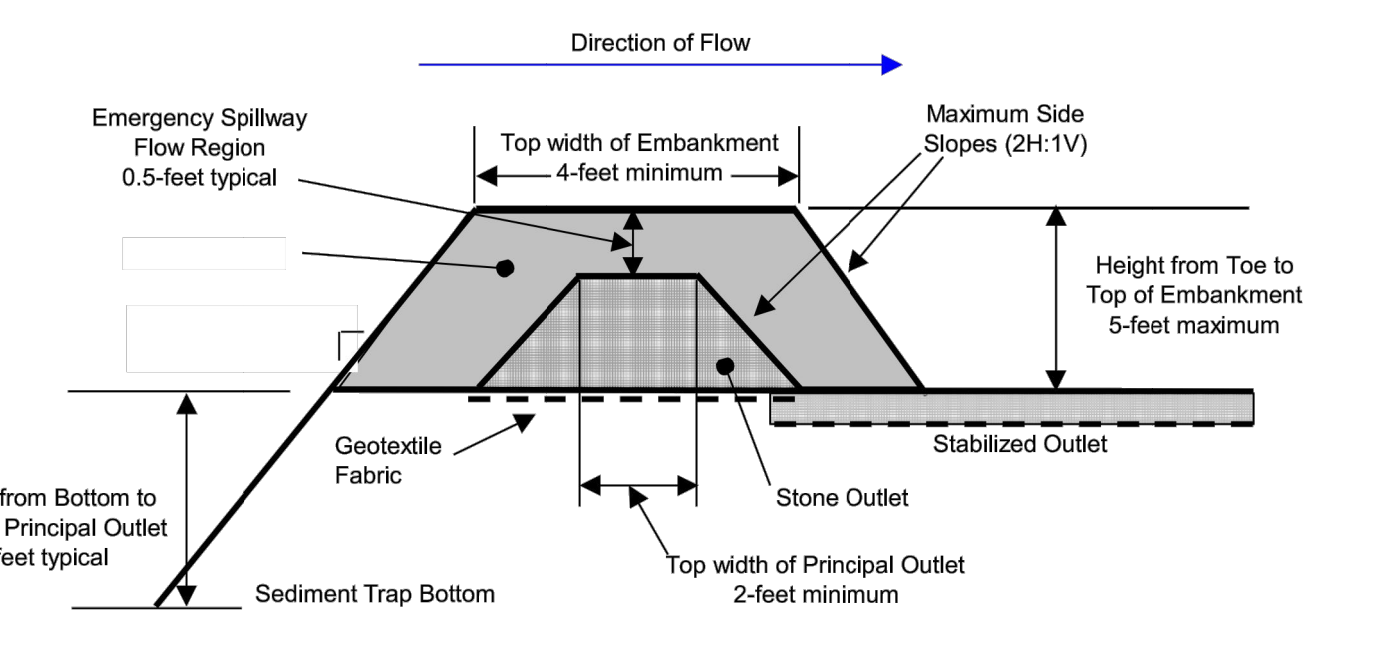
STANDARD HYDRANT SETTING

FIGURE 22



Cross-section View of Principal Outlet

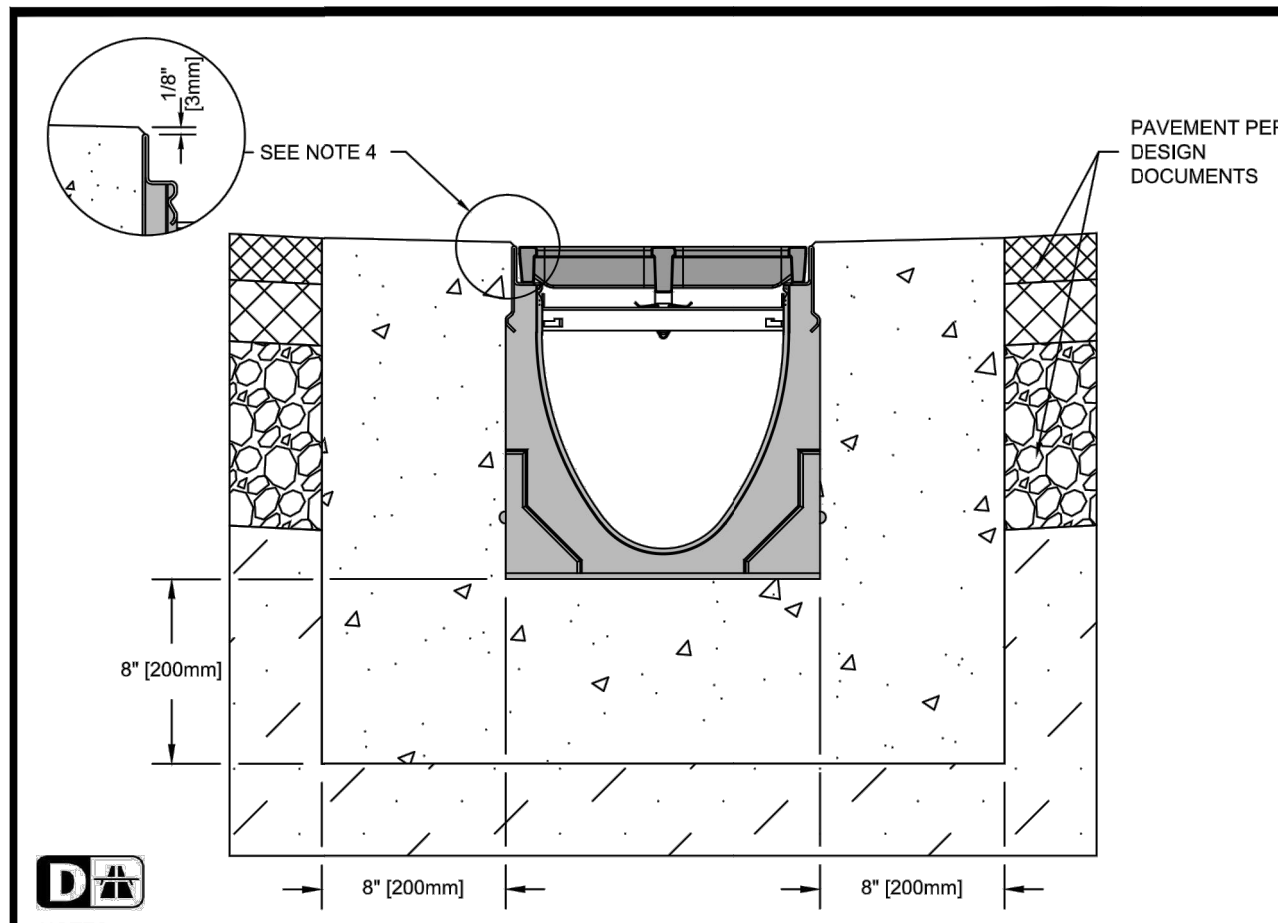
Notes: (1) Side-slopes and faces of earthen embankment around outlet shall be armored with riprap or stabilized with erosion mat sufficient to handle flows from the 10-year storm.



View A - A of Principal Outlet

NOTES: ALL SEDIMENT TRAPS SHALL MEET THE SPECIFICATIONS OF WDNr "SEDIMENT TRAP" TECHNICAL STANDARD 1063.

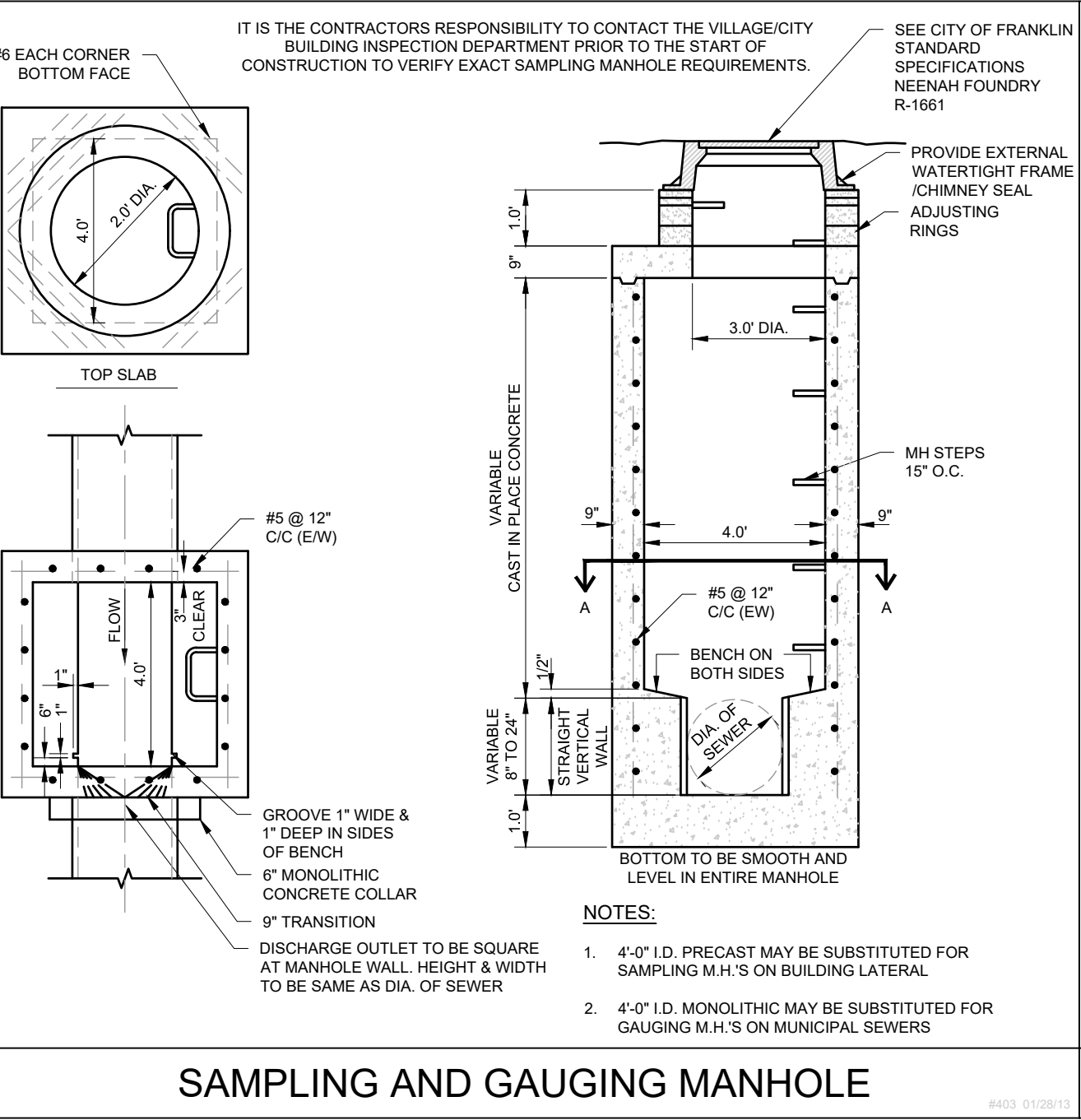
SEDIMENT TRAP OUTLET DETAIL (PER WDNr TECH STD 1063)



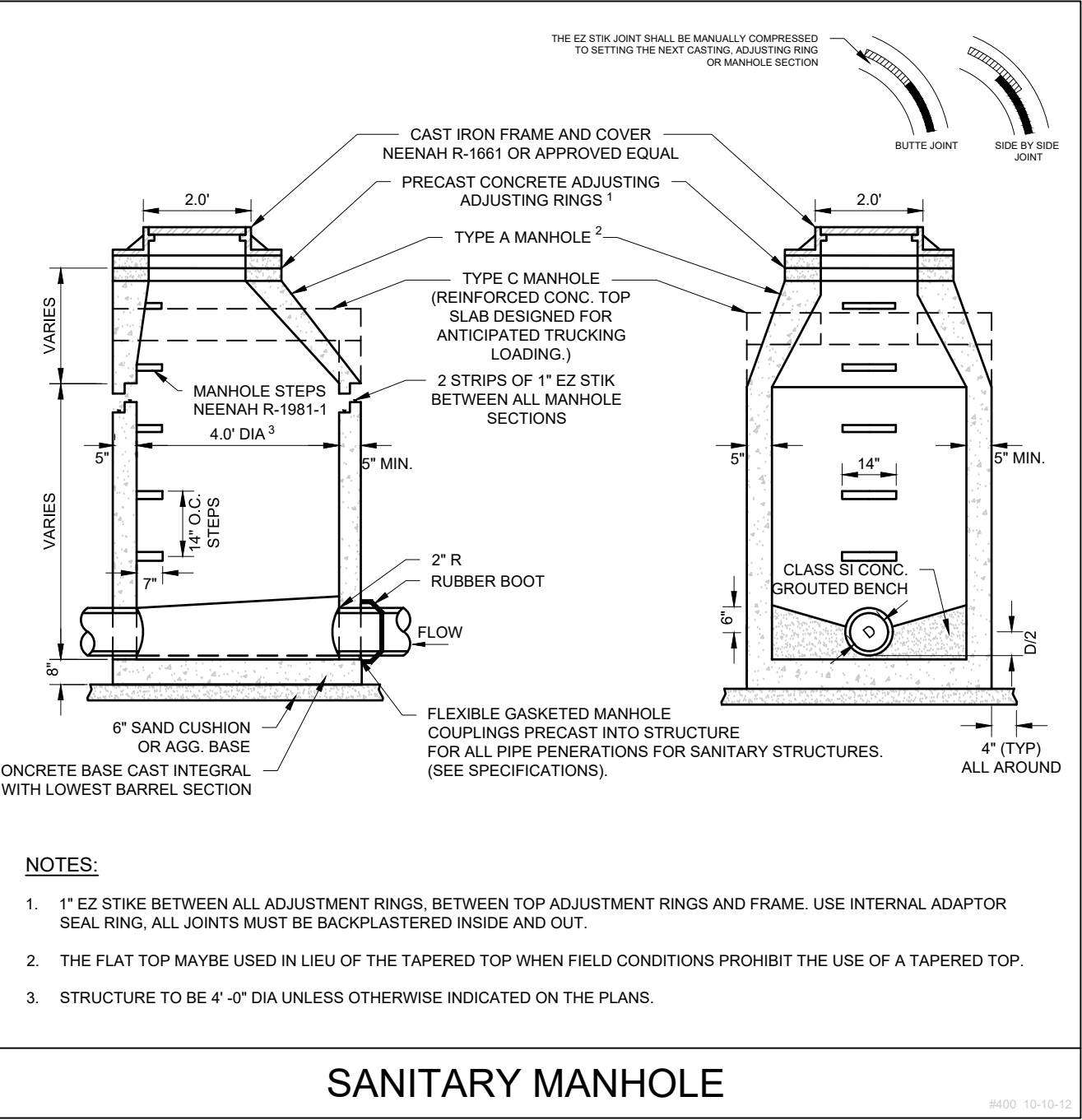
NOTES:
1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

SPECIFICATION CLAUSE
K200 KLASSIKDRAIN - LOAD CLASS D
GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K200 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.
MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:
COMPRESSIVE STRENGTH: 14,000 PSI
FLEXURAL STRENGTH: 4,000 PSI
TENSILE STRENGTH: 1,500 PSI
WATER ABSORPTION: 0.07%
FROST PROOF: YES
DILUTE ACID AND ALKALI RESISTANT: YES
B117 SALT SPRAY TEST COMPLIANT: YES
THE SYSTEM SHALL BE 8" (200mm) NOMINAL INTERNAL WIDTH WITH A 10.2" (260mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.
THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.
CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING QUICKLOK BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

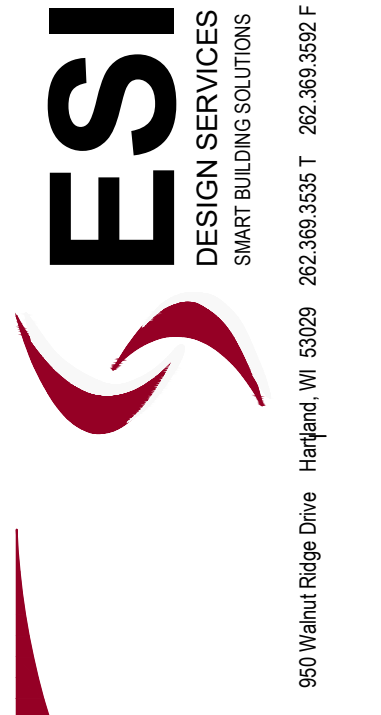
K2-D-EAP ACO	K200 - KLASSIKDRAIN - LOAD CLASS: D Exposed Asphalt Pavement	ACO Polymer Products, Inc.		
	INSTALLATION DRAWING - ACO DRAIN	825 W. Beechcraft St. Casa Grande, AZ 85122 Tel: 520-421-9988 Fax: 520-421-9899	9470 Pinesone Dr. Mentor, OH 44060 Tel: 440-839-7230 Fax: 440-839-7235	4211 Pleasant Rd. Fort Mill, SC 29708 Tel: 803-539-7230 Fax: 803-539-1953
DATE: 08/25/16	Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4764	www.acousa.com	South Carolina Tel: 800-543-4764	



SAMPLING AND GAUGING MANHOLE



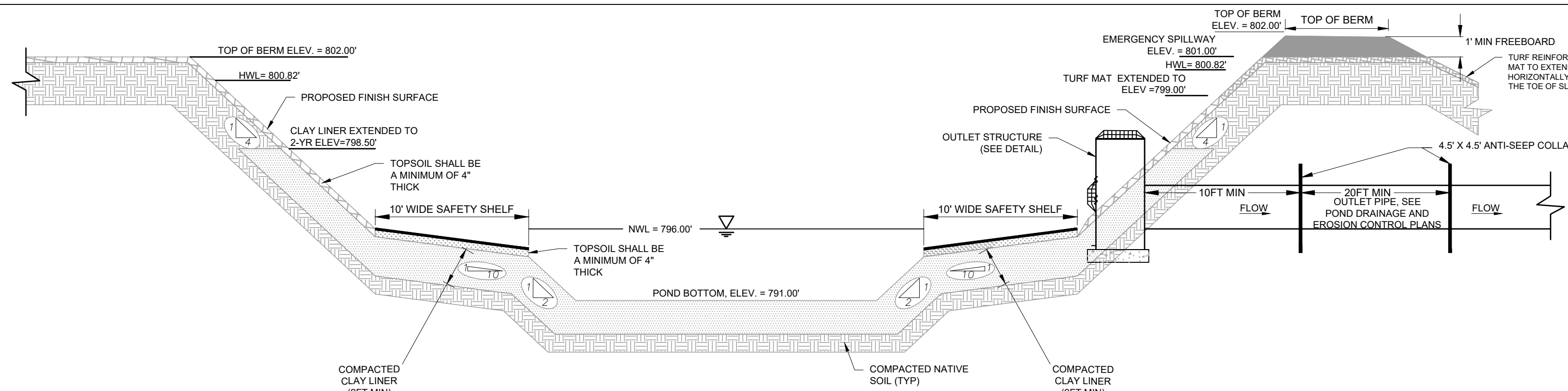
SANITARY MANHOLE



PROPOSED NEW FACILITY FOR
STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

Revision No.
05.08.20 - ADDRESS CITY COMMENTS
06.12.20 - PROGRESS SET
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Job No.
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C803
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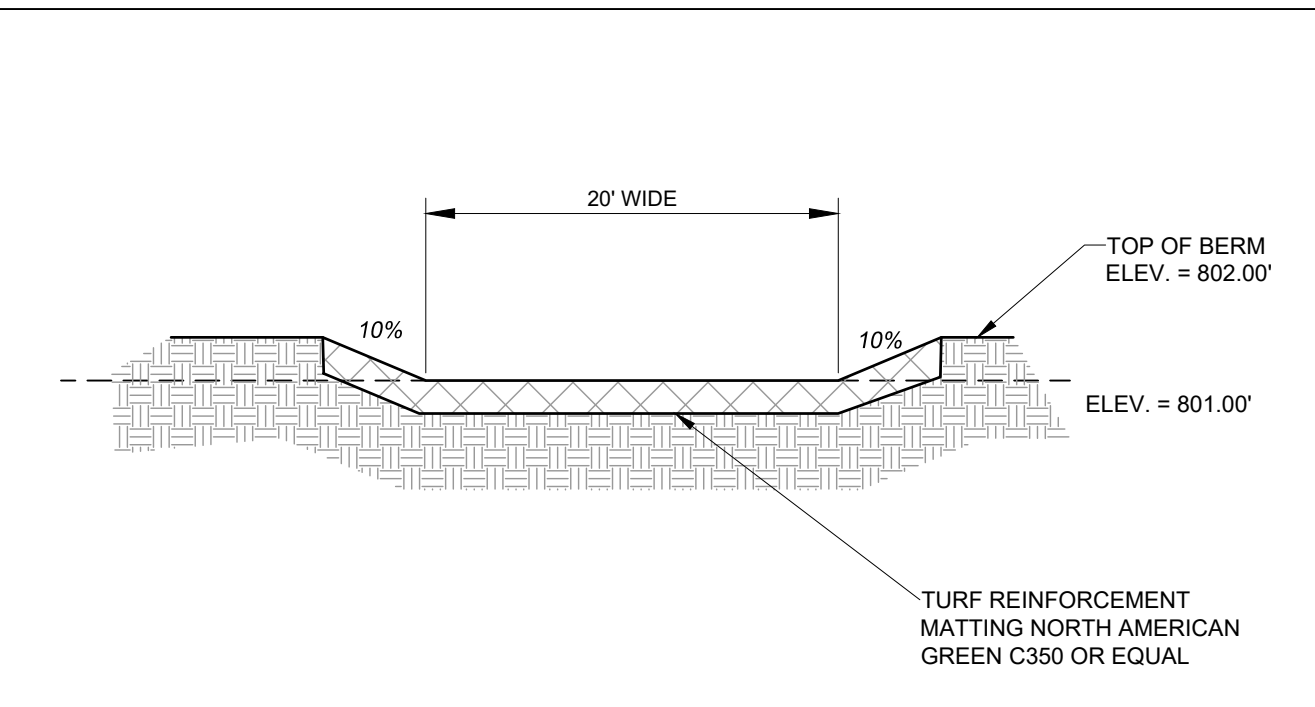
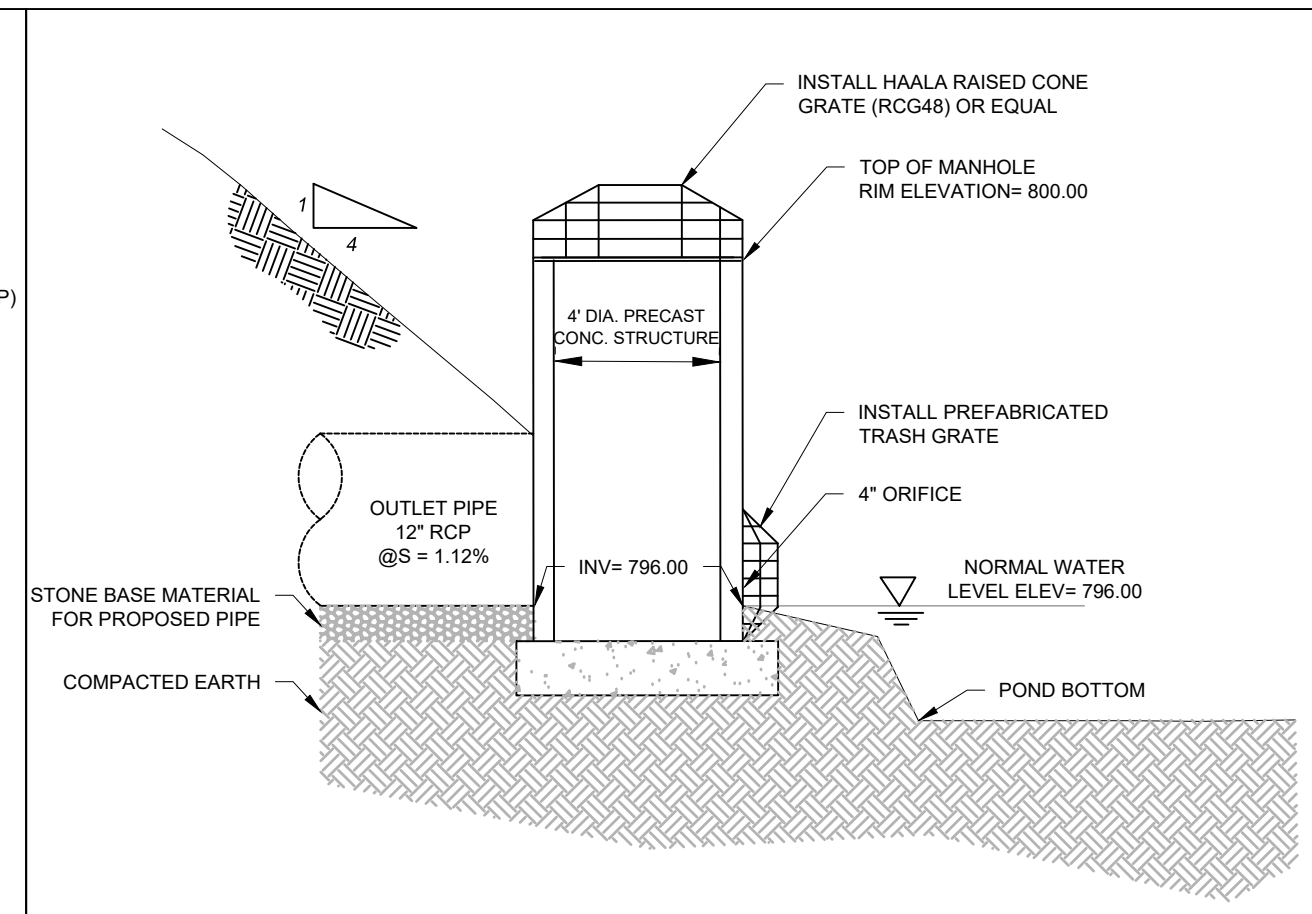
PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING
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PLAN | DESIGN | DELIVER
www.pinnacle-engr.com
PEG JOB#: 809.208-WI WISCONSIN OFFICE: 20725 WATERTOWN ROAD BROOKFIELD, WI 53186 (262) 754-8888



- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WONR WET DETENTION BASIN TECHNICAL STANDARD 1001".
 2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
 3. RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL HAVE RUBBER GASKETS
 4. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

5. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN-PLACE AT THE POND SIDE SLOPES OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
6. FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3- FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

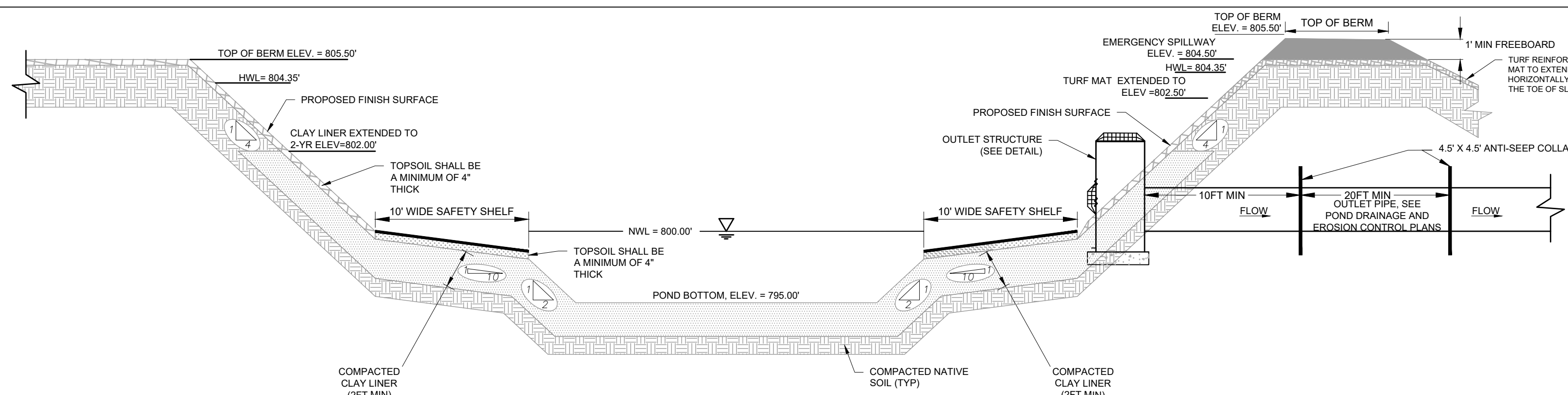
STORMWATER POND 1 CROSS SECTION



- NOTES:**
1. ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 2' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
 2. ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
 3. MATTING SHALL BE INSTALLED IN ACCORDANCE WITH WDNR TECH STANDARD 1052.

POND 1 OUTLET STRUCTURE

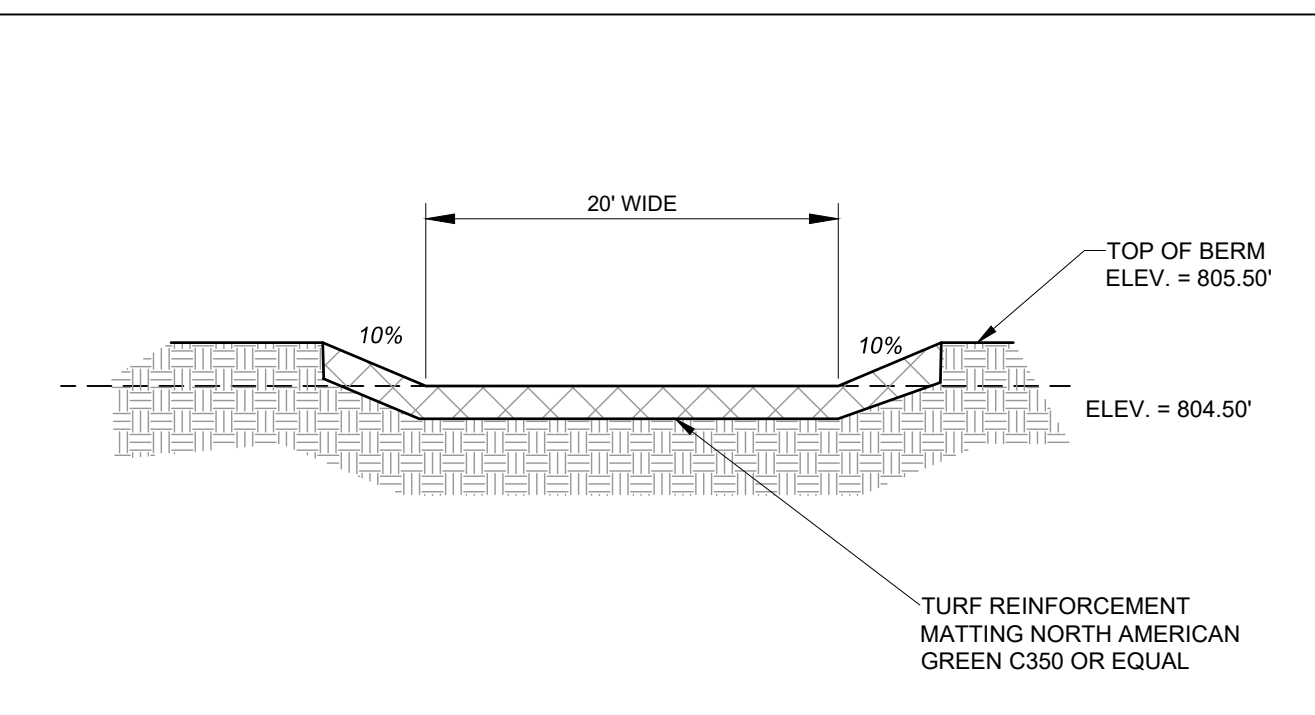
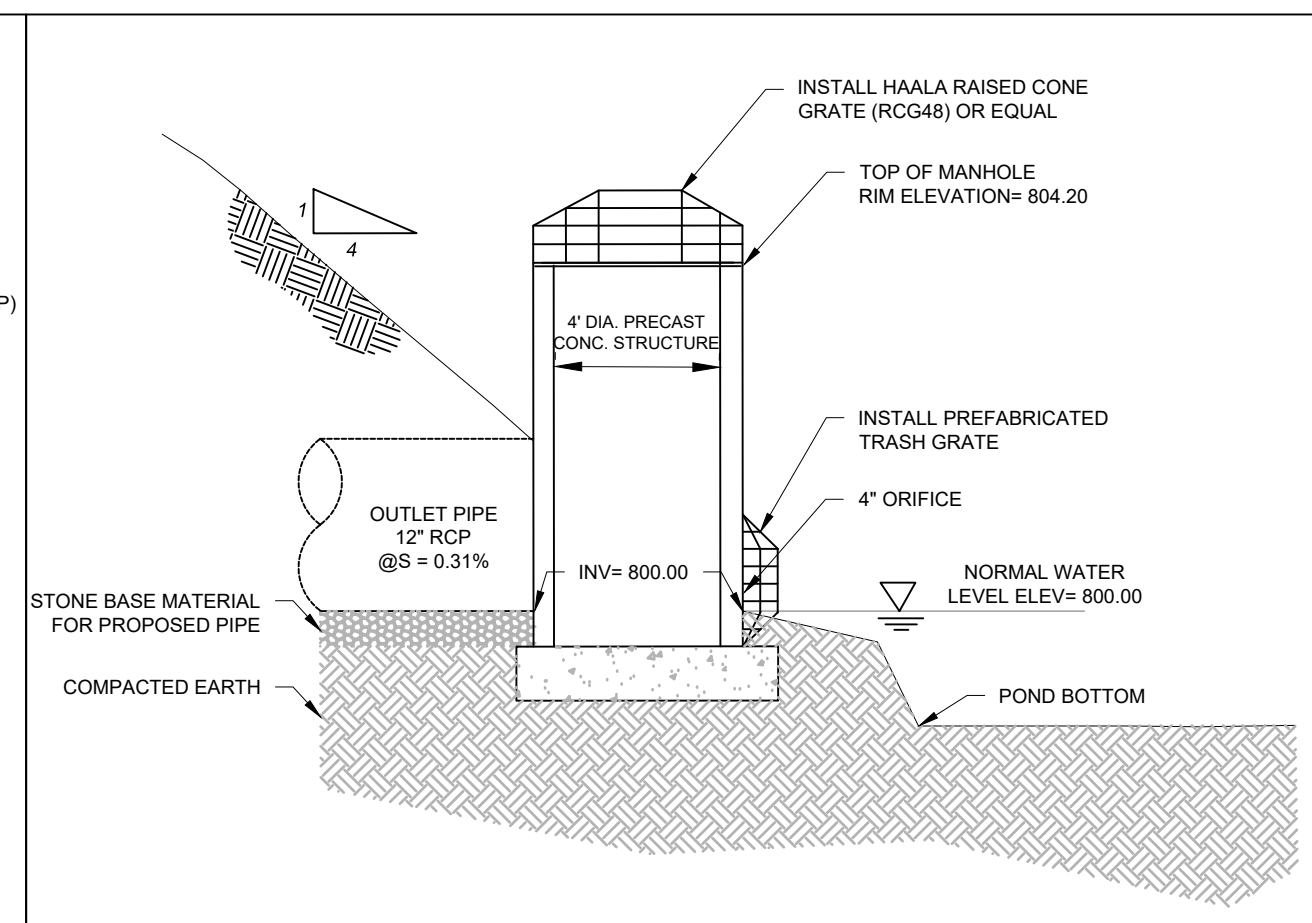
POND 1 EMERGENCY SPILLWAY



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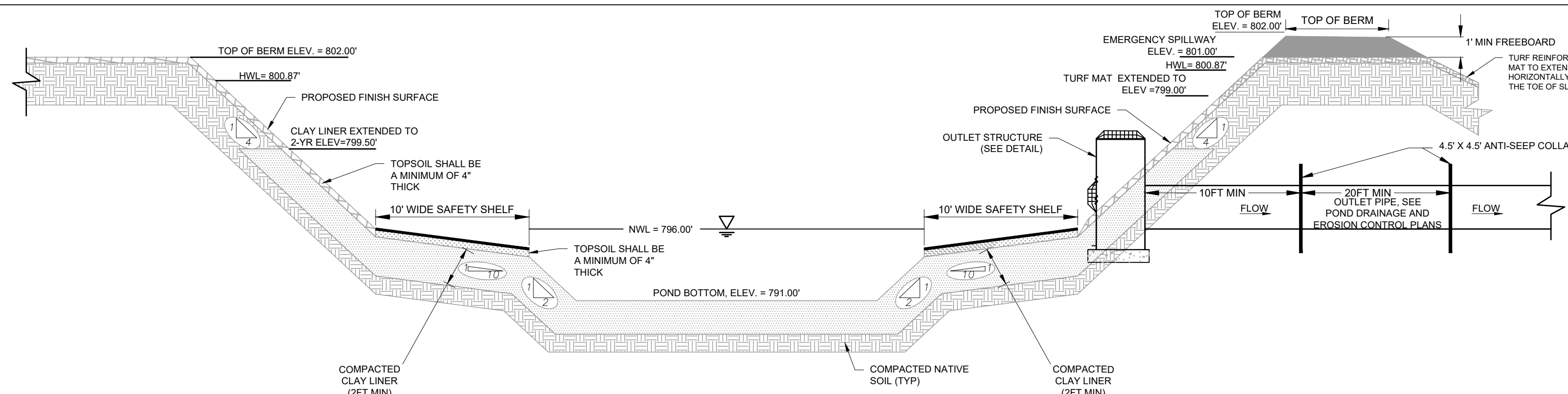
STORMWATER POND 2 CROSS SECTION



- NOTES:**
1. ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 2' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
 2. ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
 3. MATTING SHALL BE INSTALLED IN ACCORDANCE WITH WDNR TECH STANDARD 1052.

POND 2 OUTLET STRUCTURE

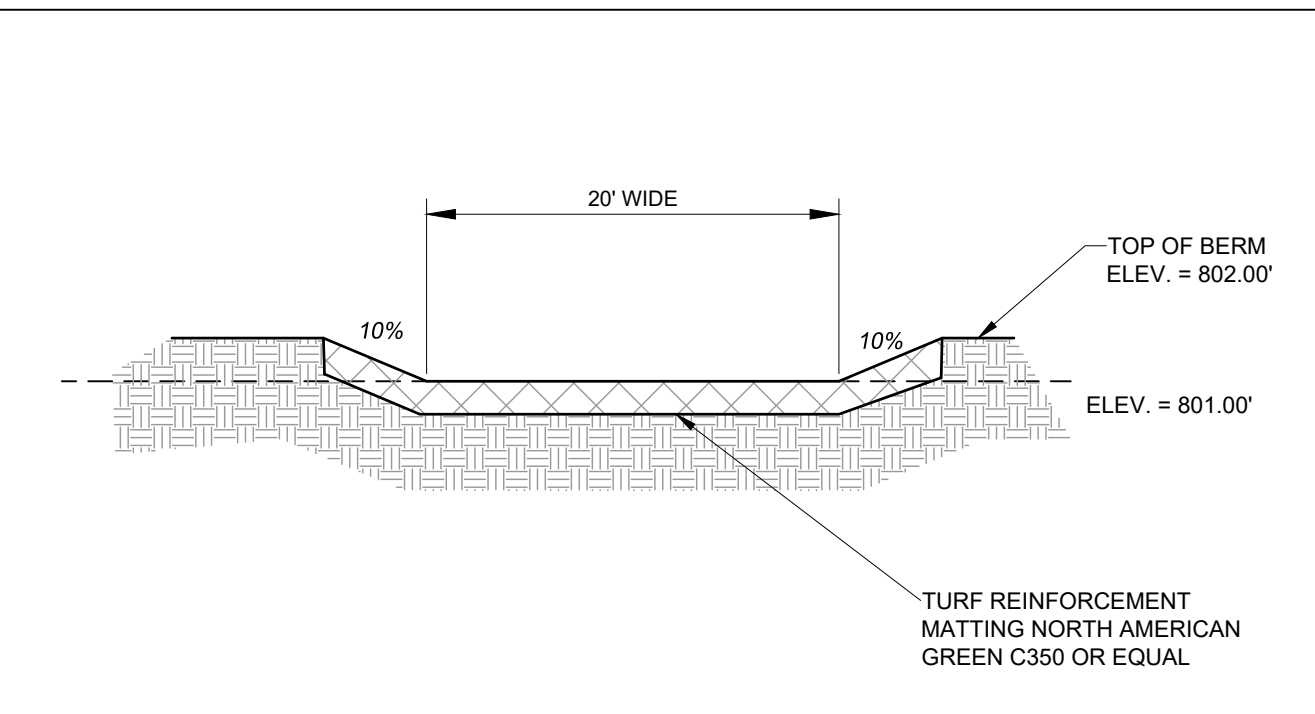
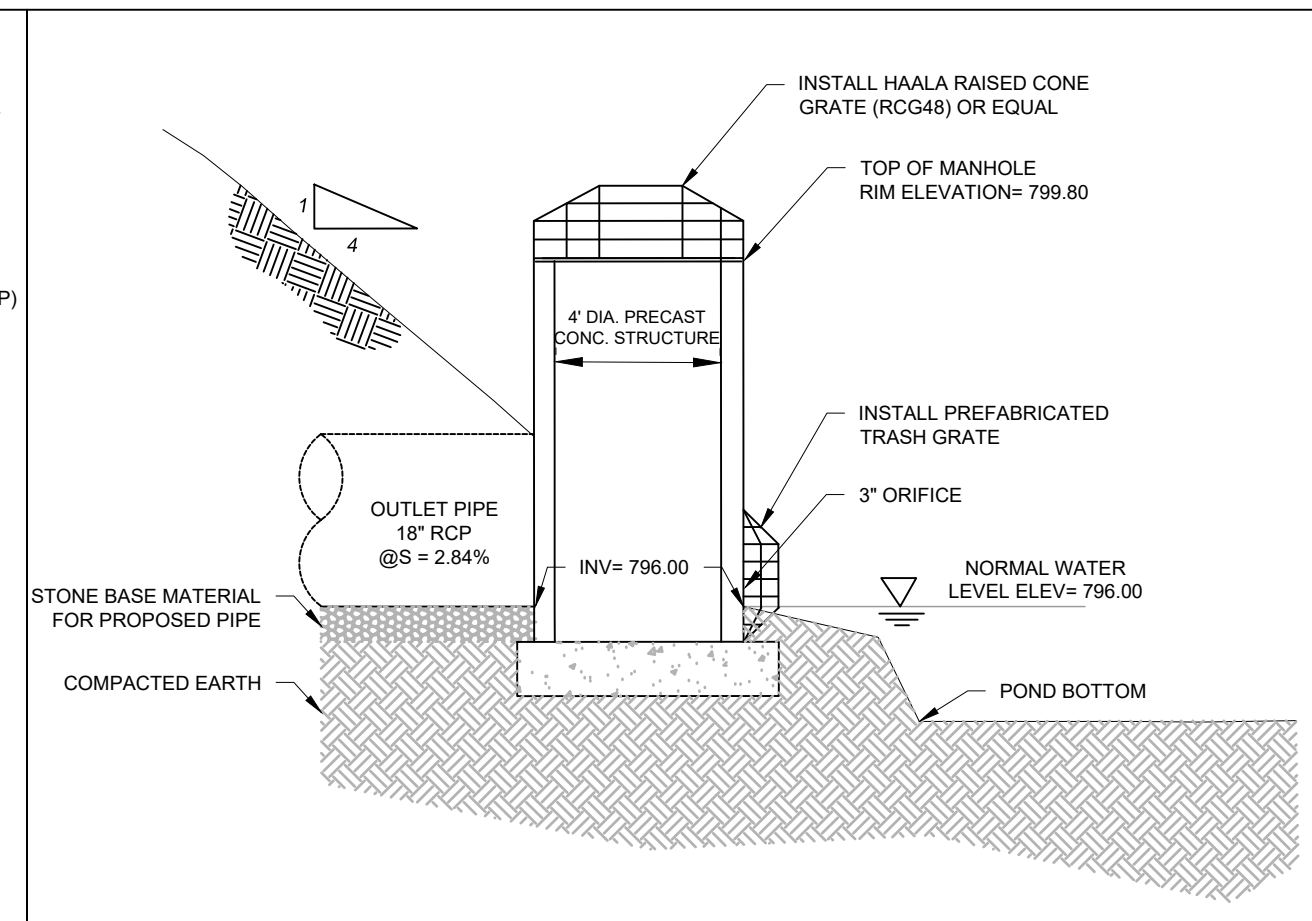
POND 2 EMERGENCY SPILLWAY



- GENERAL NOTES:**
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STORMWATER POND 3 CROSS SECTION



- NOTES:**
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 2. ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
 3. MATTING SHALL BE INSTALLED IN ACCORDANCE WITH WDNR TECH STANDARD 1052.

POND 3 OUTLET STRUCTURE

POND 3 EMERGENCY SPILLWAY



PROPOSED NEW FACILITY FOR
 STRAUSS BRANDS, INC.
 LOOMIS ROAD
 FRANKLIN, WI 53132

Revision No.

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 20-1257-01

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Date
 05.01.20

Sheet Title
 CONSTRUCTION DETAILS

Sheet No.
C804

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 WISCONSIN OFFICE:
 20725 WATERTOWN ROAD
 BROOKFIELD, WI 53186
 (262) 754-8888

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PRELIMINARY NOT FOR CONSTRUCTION

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 3" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- INSTALLATION OF PLANT MATERIAL SHALL FOLLOW THE INSTALLATION OF IRRIGATION SYSTEM.
- PLANTING TIME: PROCEED WITH, AND COMPLETE LANDSCAPE WORK AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.
 - PLANT OR INSTALL MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF PLANT MATERIAL REQUIRED.
 - CORRELATE PLANTING WITH SPECIFIED MAINTENANCE PERIODS TO PROVIDE MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.

NATIVE PLANTINGS AND PRAIRIE

SPECIFICATIONS FOR HAND BROADCASTING:

SEEDING SHALL BE CONDUCTED IN LATE FALL (SEPTEMBER 1- SOIL FREEZE) SO THAT SEEDS MAY LIE DORMANT DURING THE WINTER, ALLOWING FOR STRATIFICATION, OR SPRING (MARCH 1-JUNE 1) TO ALLOW A COMPLETE GROWING SEASON TO BECOME ESTABLISHED.

A. PREPARATION OF SOIL PRIOR TO SEEDING

- INCORPORATE SOIL ADDITIVES CONSISTING OF TWO INCHES OF COMPOST MIXED INTO TWO INCHES OF TOPSOIL. THE SOIL MIX SHOULD BE INCORPORATED INTO THE SOIL USING A ROTARY DEVICE WITH CAPABILITY OF REACHING TO 12" BELOW THE SURFACE. COMPOST SHALL MEET WDNR SPECIFICATION S100 - COMPOST.
- ALL FOREIGN MATERIALS LARGER THAN 1-INCH SHALL BE REMOVED FROM THE SOIL PRIOR TO SEEDING OR PLANTING.
- AREA SHOULD BE FREE FROM UNSIGHTLY VARIATIONS, RIDGES, AND DEPRESSIONS.
- AVOID DRIVING OVER THE SPECIFIED AREA WITH MACHINERY.

B. COVER CROP

- ANNUAL RYE SHALL BE SPREAD AT A DENSITY OF 20 POUNDS PER ACRE DURING THE PLANTING OR SEEDING OF THE NATIVE PLANT SPECIES TO STABILIZE THE SOIL AND REDUCE THE GROWTH OF UNWANTED VEGETATION. THIS ANNUAL GRASS GROWS RAPIDLY WITHOUT COMPETING WITH THE WILDFLOWERS AND GRASSES THAT ARE PLANTED IN THE TARGET AREAS.
- WINTER WHEAT OR PERENNIAL RYE SHALL NOT BE USED AS A COVER CROP. THESE GRASSES MAY OUT COMPETE PRAIRIE SEEDLINGS, LEADING TO A REDUCTION IN THE SUCCESS OF THE PLANTINGS.

C. SEED MIX: MIX ALL PRAIRIE SEED WITH VERMICULITE ACCORDING TO AGRECOL RECOMMENDATIONS.

- BROADCAST HALF THE SEED OVER THE ENTIRE SITE OR TARGET AREA.
- BROADCAST THE OTHER HALF OF SEED PERPENDICULAR TO THE DIRECTION THAT THE FIRST HALF OF THE SEED WAS BROADCAST.
- COVER SEED WITH $\frac{1}{4}$ -INCH TO $\frac{1}{2}$ -INCH OF SOIL (USE ANY EXCESS SOIL FROM THE SITE) WITH RAKE OR DRAG.
- ROLL SITE TO ENSURE FIRM SEED-TO-GROUND CONTACT.
- KEEP SEED CONSTANTLY WET THROUGH GERMINATION PERIOD. GENERALLY 3 WEEKS.

ALL SEEDING SHALL BE COVERED WITH 1-INCH OF CLEAN, NON-INVASIVE STRAW (NO MARSH HAY, OR REED CANARY GRASS) WITHOUT SEEDS, WITHIN SEVEN DAYS. WHEAT, RYE, OATS, OR BARLEY ARE ACCEPTABLE FORMS OF STRAW. THOSE AREAS OF SLOPES STEEPER THAN 8:1 (EIGHT FEET HORIZONTAL TO ONE FOOT VERTICAL) SHALL BE PLANTED NO LATER THAN OCTOBER 1 AND STAKED WITH AN EROSION CONTROL BLANKET TO PREVENT EROSION.

- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVEMENT MATERIAL IN ORDER TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- IN PARKING ISLANDS, PLANTS IN LANDSCAPED ISLANDS SHALL BE UNDERLAIN BY SOIL (NOT BASE COURSE MATERIAL) WHICH SHALL BE 30" DEPTH
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

WEED SUPPRESSION MEASURES:

FIRST YEAR - PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. THIS SHOULD OCCUR APPROXIMATELY EVERY MONTH OF THE GROWING SEASON AFTER INFILTRATION BASINS HAVE BEEN ROUGH GRADED.

SECOND YEAR - IN MAY/JUNE MOW BASINS AT 6-INCH HEIGHT TO SUPPRESS WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. HAVE QUALIFIED PROFESSIONAL ASSESS PLANTINGS. REPEAT MOWING BASINS AND SPOT-SPRAY IN EARLY JULY.

THIRD YEAR - IN MAY/JUNE MOW BASINS AT 6-INCH HEIGHT TO SUPPRESS WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS.

FOURTH YEAR - IN MAY PERFORM A PRESCRIBED BURN. IN JUNE HAVE QUALIFIED PROFESSIONAL ASSESS PLANTINGS.

LANDSCAPE CALCULATIONS			
LANDSCAPE SURFACE RATIO (LSR) 0.50			
PARKING STALLS PROVIDED		280 STALLS	
INTERIOR LANDSCAPE ISLAND GREENSPACE REQ.		4,800 SQ FT	
INTERIOR LANDSCAPE ISLAND GREENSPACE PROV.		>4,800 SQ FT	
	REQ. + 20%	PROVIDED	
CANOPY / SHADE TREES (1/10 STALLS)	28 + 6	40	
EVERGREEN TREES (1/10 STALLS)	28 + 6	45	
DECORATIVE TREES (1/10 STALLS)	28 + 6	36	
SHRUBS (1/10 STALLS)	28 + 6	301	

PLANT SCHEDULE

TREES	COMMON NAME	SIZE	QTY
Acor x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	2.5' Cal.	13
Fagus grandifolia	American Beech	2.5' Cal.	6
Gymnocladus dioica	Kentucky Coffee Tree	2.5' Cal.	9
Quercus x schuettei	Schuettei Oak	2.5' Cal.	6
Tilia tomentosa 'Sterling'	Sterling Linden	2.5' Cal.	6
45' T x 30' W			
EVERGREEN TREES	COMMON NAME	SIZE	QTY
Abies concolor	Concolor Fir	6' Ht.	6
40' T x 25' W			
Picea abies	Norway Spruce	6' Ht.	9
60' T x 30' W			
Picea glauca 'Densata'	Black Hills Spruce	6' Ht.	19
30' T x 15' W			
Pinus strobus	White Pine	6' Ht.	11
65' T x 30' W			
ORNAMENTAL TREES	COMMON NAME	SIZE	QTY
Aamelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' Ht.	9
20' T x 20' W			
Carpinus caroliniana	American Hornbeam	1.5' Cal.	7
25' T x 25' W			
Malus x 'Adams'	Adams Crabapple	1.5' Cal.	10
22' T x 25' W			
Malus x 'Sugar Tyme'	Sugar Tyme Crabapple	1.5' Cal.	10
22' T x 22' W			
SHRUBS	COMMON NAME	SIZE	QTY
Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	3' Ht.	10
8' T x 6' W			
Aronia melanocarpa 'Low Scape Mound'	Low Scape Mound Chokeberry	2' Ht.	8
2' T x 3' W			
Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	3' Ht.	15
4' T x 4' W			
Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	3' Ht.	26
8' T x 5' W			
Hydrangea serrata 'Tuff Stuff'	Tuff Stuff Hydrangea	2' Ht.	9
3' T x 3' W			
Rosa rugosa 'Blanc de Coubert'	Blanc de Coubert Rugosa Rose	3' Ht.	18
5' T x 5' W			
Spiraea betulifolia 'Tor'	Birchleaf Spirea	2' Ht.	11
3' T x 3' W			
Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	2' Ht.	42
2' T x 3' W			
Syringa patula 'Miss Kim'	Miss Kim Lilac	3' Ht.	24
6' T x 6' W			
Weigela florida 'Dark Horse'	Weigela	2' Ht.	39
3' T x 3' W			
Weigela florida 'Wine & Roses'	Wine & Roses Weigela	3' Ht.	11
5' T x 5' W			
EVERGREEN SHRUBS	COMMON NAME	SIZE	QTY
Juniperus chinensis 'Old Gold'	Old Gold Juniper	2' Ht.	7
3' T x 5' W			
Juniperus chinensis 'Sea Green'	Sea Green Juniper	2' Ht.	10
6' T x 8' W			
Juniperus horizontalis 'Youngstown'	Creeping Juniper	1' Ht.	18
1' T x 6' W			
Juniperus x 'J.N. Select Blue'	Star Power Juniper	5' Ht.	18
15' T x 7' W			
Picea abies 'Pumila'	Pumila Spruce	2' Ht.	7
3' T x 5' W			
Taxus x media 'Everlow'	Everlow Yew	1.5' Ht.	10
3' T x 5' W			
Taxus x media 'Tautonii'	Tauton Yew	2' Ht.	18
4' T & 5' W			
ORNAMENTAL GRASSES	COMMON NAME	SIZE	QTY
Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	73
36" T x 30" W			
Eragrostis spectabilis	Purple Love Grass	1 gal.	10
24" T x 18" W			
Panicum virgatum 'Northwind'	Switch Grass	1 gal.	32
48" T x 30" W			
Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem	1 gal.	31
30" T x 30" W			
Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.	28
15" T x 20" W			
PERENNIALS	COMMON NAME	SIZE	QTY
Arunous dioicus	Goatsbeard	4.5" cont.	3
40" T x 40" W			
Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower	4.5" Cont.	7
26" T x 18" W			
Geranium cantabrigiense 'Biokovo Carmina'	Biokovo Carmina Cranesbill	4.5" Cont.	58
12" T x 18" W			
Geum x 'Mai Tai'	Mai Tai Grecian Rose	4.5" Cont.	9
10" T x 14" W			
Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	4.5" Cont.	12
18" T x 20" W			
Nepeta faasseni 'Novanepjun'	Junior Walker Catmint	4.5" Cont.	22
18" T x 30" W			
Rudbeckia f 'Viette's Little Suzy'	Viette's Little Suzy Coneflower	4.5" Cont.	18
10" T x 12" W			
Salvia nemorosa 'May Night'	May Night Sage	4.5" Cont.	19
20" T x 20" W			
Sedum x 'Autumn Joy'	Autumn Joy Sedum	4.5" Cont.	22
20" T x 20" W			
GROUND COVERS	COMMON NAME	QTY	
Rain Garden	AGRECOL RAINWATER RENEWAL MIX	45,320 sf	
Turf Hydroseed	Drought Tolerant Fescue Blend	294,662 sf	
Turf No Mow Grow	No Mow Grow Mix	380,643 sf	

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 STRAUSS BRANDS, INC.
 LOOMIS ROAD
 FRANKLIN, WI 53132

Revision No.

05.08.20	= ADDRESS CITY COMMENTS
06.12.20	= PROGRESS SET
07.28.20	= ADDRESS CITY COMMENTS
09.24.20	= ADDRESS CITY COMMENTS
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05.01.20

Sheet Title

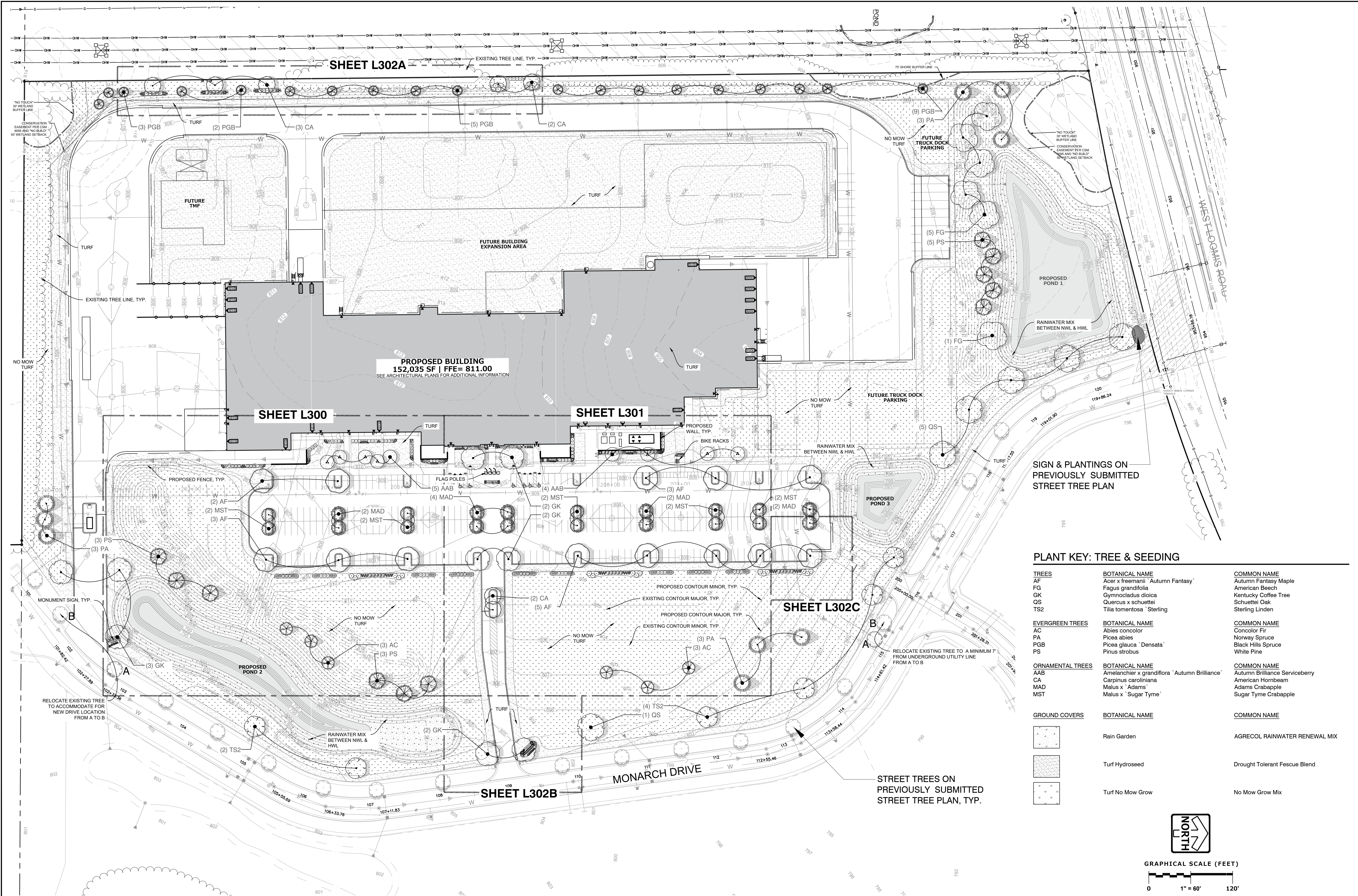
**GENERAL
LANDSCAPE
NOTES**

Sheet No.

L100

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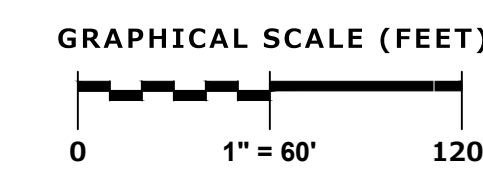
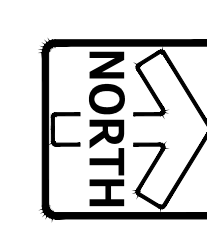


PROPOSED BUILDING
 152,035 SF | FFE= 811.00
 SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

SIGN & PLANTINGS ON PREVIOUSLY SUBMITTED STREET TREE PLAN

PLANT KEY: TREE & SEEDING

TREES	BOTANICAL NAME	COMMON NAME
AF	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple
FG	Fagus grandifolia	American Beech
GK	Gymnocladus dioica	Kentucky Coffee Tree
OS	Quercus x schuettei	Schuettei Oak
TS2	Tilia tomentosa 'Sterling'	Sterling Linden
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
AC	Abies concolor	Concolor Fir
PA	Picea abies	Norway Spruce
PGB	Picea glauca 'Densata'	Black Hills Spruce
PS	Pinus strobus	White Pine
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
AAB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
CA	Carpinus caroliniana	American Hornbeam
MAD	Malus x 'Adams'	Adams Crabapple
MST	Malus x 'Sugar Tyme'	Sugar Tyme Crabapple
GROUND COVERS	BOTANICAL NAME	COMMON NAME
[Symbol]	Rain Garden	AGRECOL RAINWATER RENEWAL MIX
[Symbol]	Turf Hydroseed	Drought Tolerant Fescue Blend
[Symbol]	Turf No Mow Grow	No Mow Grow Mix



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LANDSCAPE OVERVIEW

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L200

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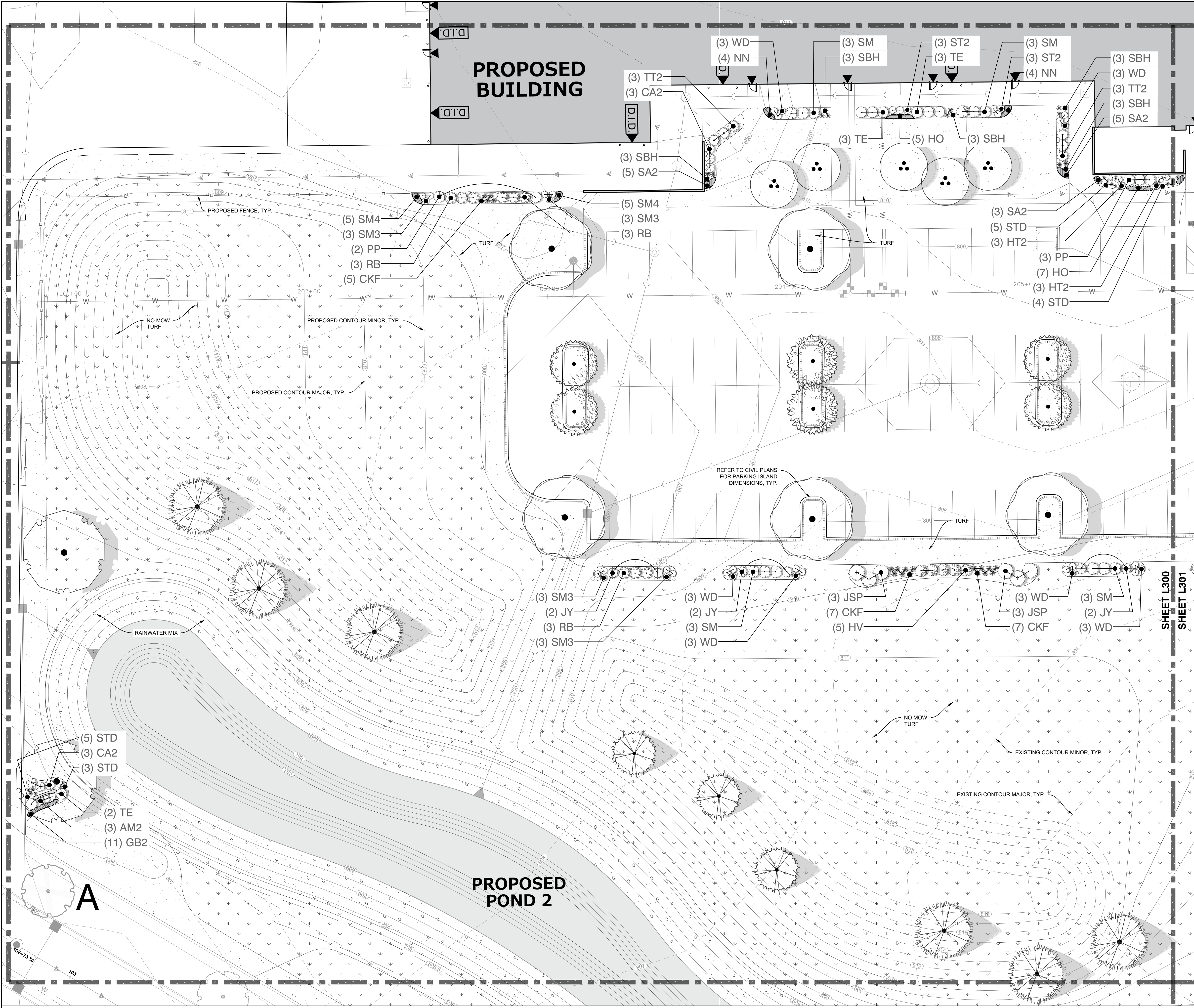
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PLANT KEY: SHRUB & PERENNIAL

SHRUBS	BOTANICAL NAME	COMMON NAME
AM2	Aronia melanocarpa 'Low Scape Mound'	Low Scape Mound Chokeberry
CA2	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood
HV	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HT2	Hydrangea serrata 'Tuff Stuff'	Tuff Stuff Hydrangea
RB	Rosa rugosa 'Blanc de Coubert'	Blanc de Coubert Rugosa Rose
ST2	Spiraea betulifolia 'Tor'	Birchleaf Spirea
SM3	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea
SM	Syringa patula 'Miss Kim'	Miss Kim Lilac
WD	Weigela florida 'Dark Horse'	Weigela
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JY	Juniperus horizontalis 'Youngstown'	Creeping Juniper
JSP	Juniperus x 'J.N. Select Blue'	Star Power Juniper
PP	Picea abies 'Pumila'	Pumila Spruce
TE	Taxus x media 'Everlow'	Everlow Yew
TT2	Taxus x media 'Tauntonii'	Taunton Yew
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
CKF	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
SBH	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem
STD	Sporobolus heterolepis 'Tara'	Prairie Dropseed
PERENNIALS	BOTANICAL NAME	COMMON NAME
GB2	Geranium cantabrigiense 'Blokovo Carmina'	Blokovo Carmina Cranesbill
HO	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily
NN	Nepeta faassenii 'Novanepjum'	Junior Walker Catmint
SM4	Salvia nemorosa 'May Night'	May Night Sage
SA2	Sedum x 'Autumn Joy'	Autumn Joy Sedum

GROUND COVERS	BOTANICAL NAME	COMMON NAME
	Rain Garden	AGRECOL RAINWATER RENEWAL MIX
	Turf Hydroseed	Drought Tolerant Fescue Blend
	Turf No Mow Grow	No Mow Grow Mix



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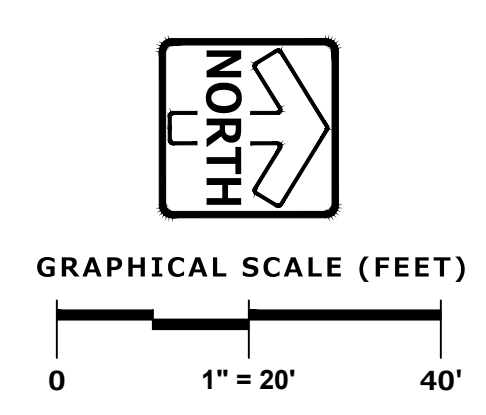
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L300

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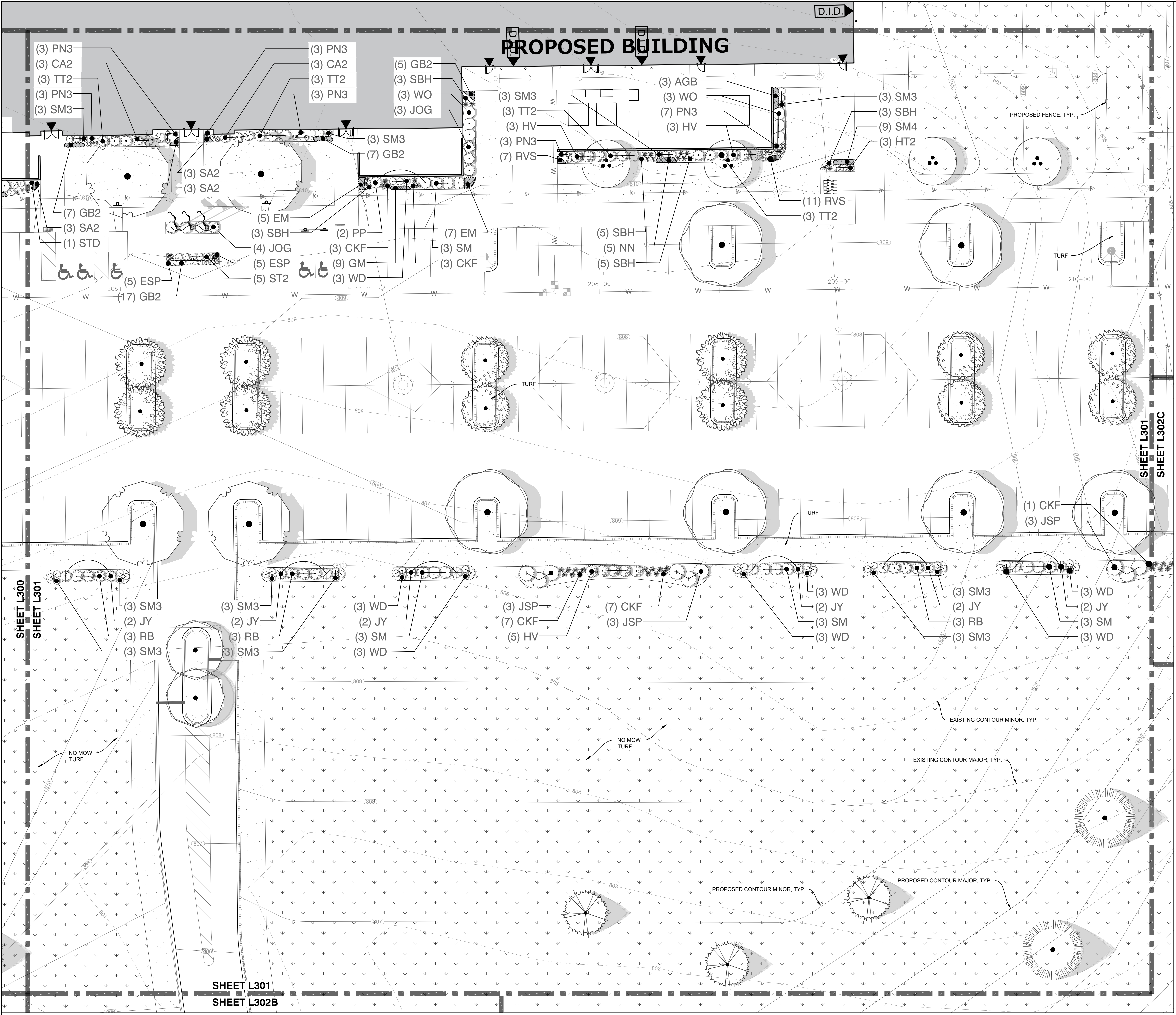
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PLANT KEY: SHRUB & PERENNIAL

SHRUBS	BOTANICAL NAME	COMMON NAME
CA2	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood
HV	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HT2	Hydrangea serrata 'Tuff Stuff'	Tuff Stuff Hydrangea
RB	Rosa rugosa 'Blanc de Coubert'	Blanc de Coubert Rugosa Rose
ST2	Spiraea betulifolia 'Tor'	Birchleaf Spirea
SM3	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea
SM	Syringa patula 'Miss Kim'	Miss Kim Lilac
WD	Weigela florida 'Dark Horse'	Weigela
WO	Weigela florida 'Wine & Roses'	Wine & Roses Weigela
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JOG	Juniperus chinensis 'Old Gold'	Old Gold Juniper
JY	Juniperus horizontalis 'Youngstown'	Creeping Juniper
JSP	Juniperus x 'J.N. Select Blue'	Star Power Juniper
PP	Picea abies 'Pumila'	Pumila Spruce
TT2	Taxus x media 'Tauntonii'	Tauntou Yew
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
CKF	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
ESP	Eragrostis spectabilis	Purple Love Grass
PN3	Panicum virgatum 'Northwind'	Switch Grass
SBH	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem
STD	Sporobolus heterolepis 'Tara'	Prairie Dropseed
PERENNIALS	BOTANICAL NAME	COMMON NAME
AGB	Arunacus dioicus	Goatsbeard
EM	Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower
GB2	Geranium cantabrigiense 'Blokovo Carmina'	Biokovo Carmina Cranesbill
GM	Geum x 'Mai Tai'	Mai Tai Grecian Rose
NN	Nepeta faassenii 'Novanepjun'	Junior Walker Catmint
RVS	Rudbeckia f 'Viette's Little Suzy'	Viette's Little Suzy Coneflower
SM4	Salvia nemorosa 'May Night'	May Night Sage
SA2	Sedum x 'Autumn Joy'	Autumn Joy Sedum

GROUND COVERS	BOTANICAL NAME	COMMON NAME
	Rain Garden	AGRECOL RAINWATER RENEWAL MIX
	Turf Hydroseed	Drought Tolerant Fescue Blend
	Turf No Mow Grow	No Mow Grow Mix



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L301

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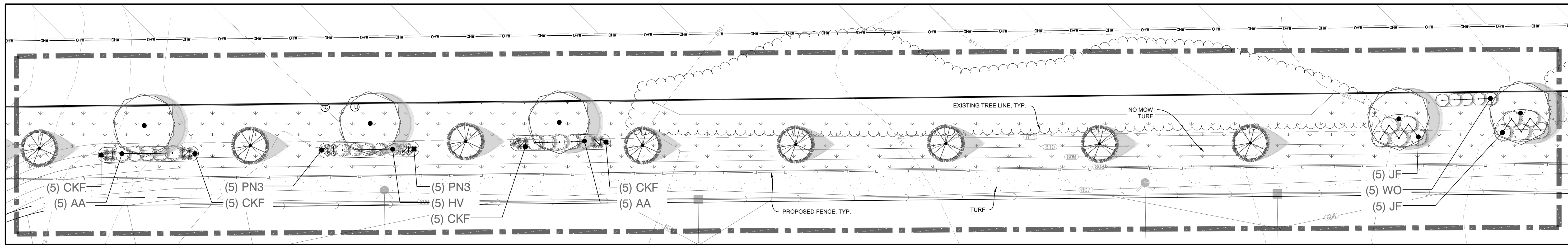
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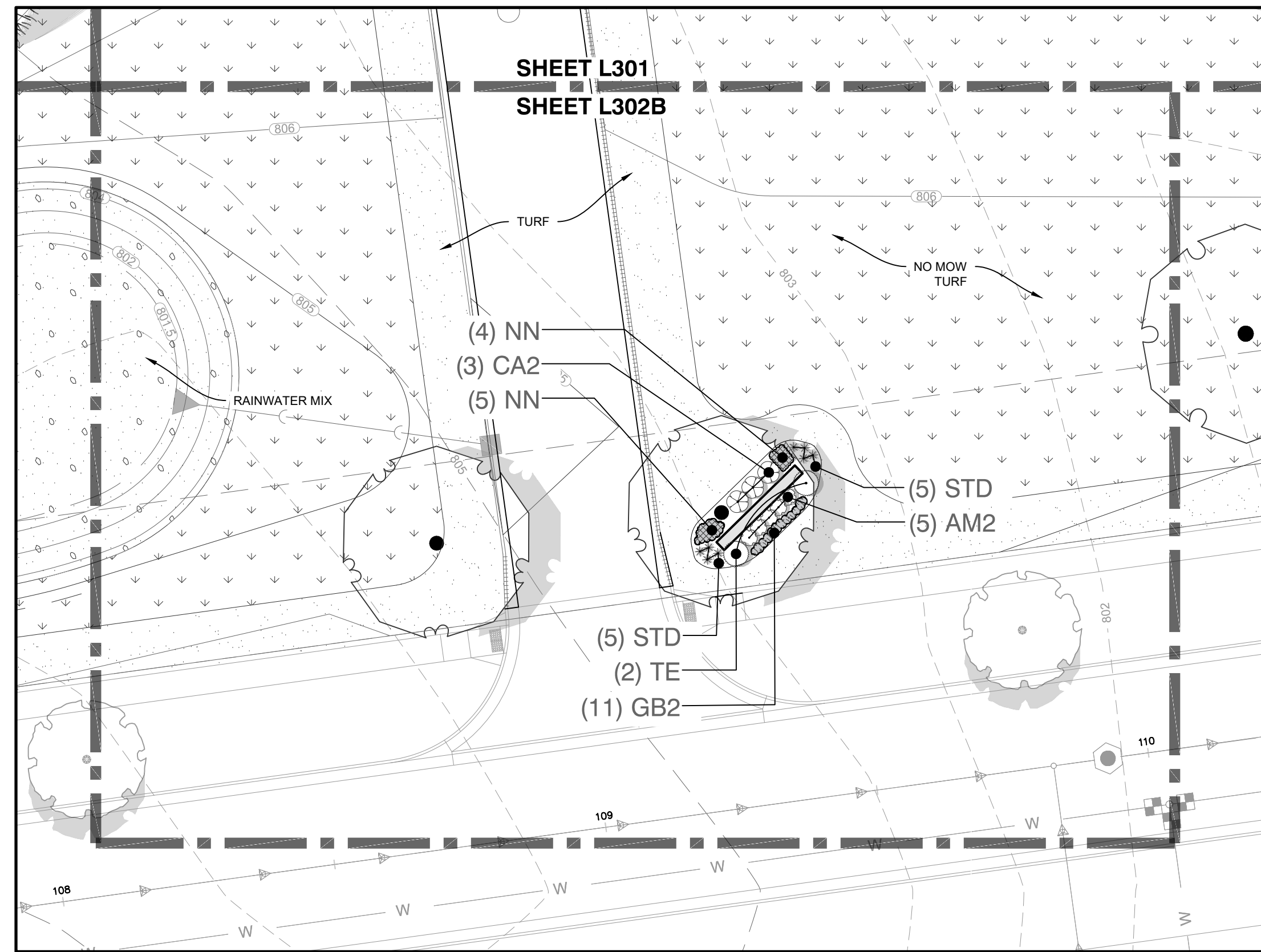
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ENLARGEMENT L302A
SCALE: 1"=20'



ENLARGEMENT L302B
SCALE: 1"=20'

PLANT KEY: SHRUB & PERENNIAL L302A

SHRUBS	BOTANICAL NAME	COMMON NAME
AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry
HV	<i>Hydrangea p</i> 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
WO	<i>Weigela florida</i> 'Wine & Roses'	Wine & Roses Weigela
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JF	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
CKF	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass
PN3	<i>Panicum virgatum</i> 'Northwind'	Switch Grass

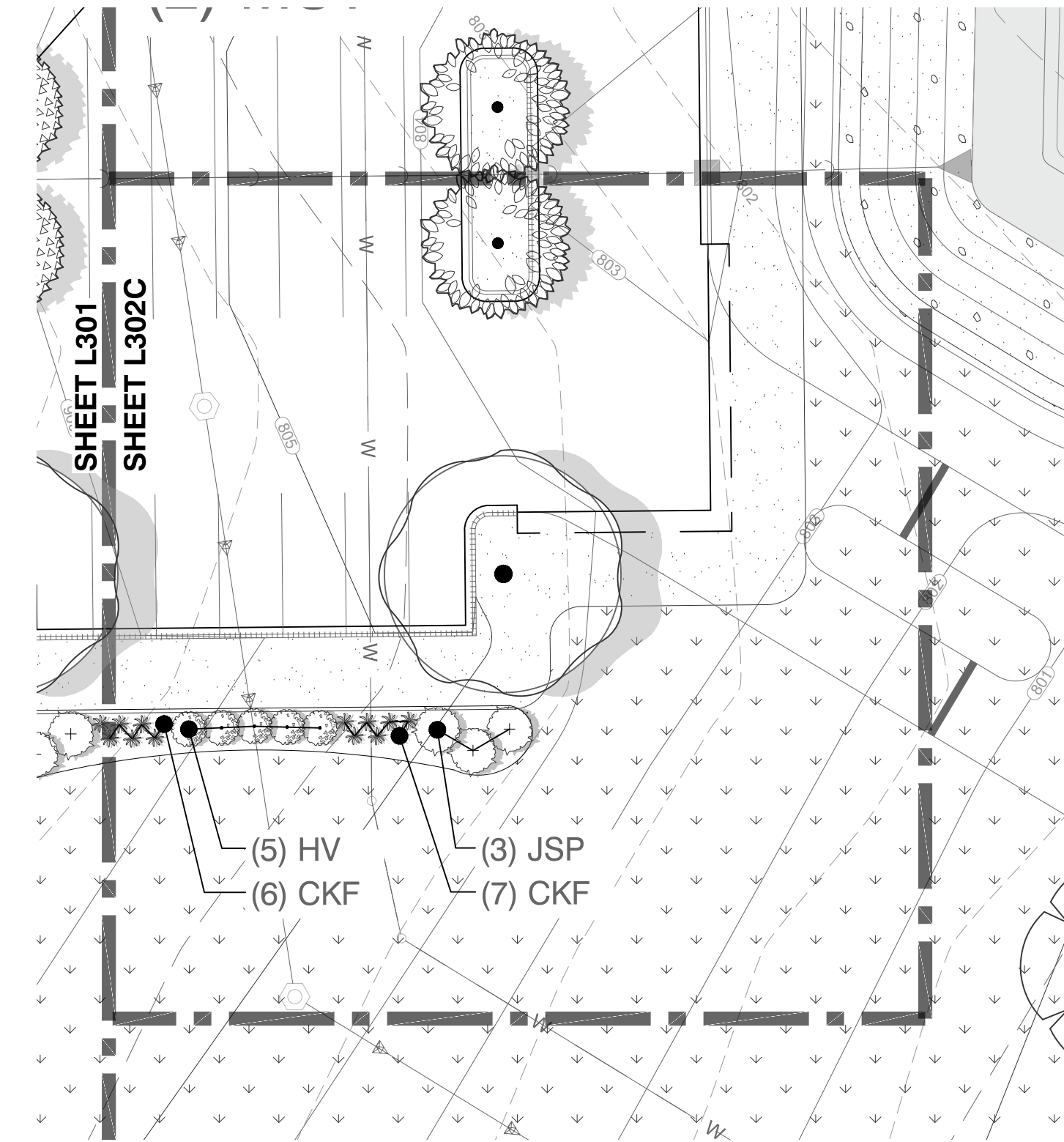
PLANT KEY: SHRUB & PERENNIAL L302B

SHRUBS	BOTANICAL NAME	COMMON NAME
AM2	<i>Aronia melanocarpa</i> 'Low Scape Mound'	Low Scape Mound Chokeberry
CA2	<i>Cornus stolonifera</i> 'Arctic Fire'	Arctic Fire Dogwood
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
TE	<i>Taxus x media</i> 'Everlow'	Everlow Yew
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
STD	<i>Sporobolus heterolepis</i> 'Tara'	Prairie Dropseed
PERENNIALS	BOTANICAL NAME	COMMON NAME
GB2	<i>Geranium cantabrigiense</i> 'Biokovo Carmina'	Biokovo Carmina Cranesbill
NN	<i>Nepeta faassenii</i> 'Novanepjun'	Junior Walker Catmint

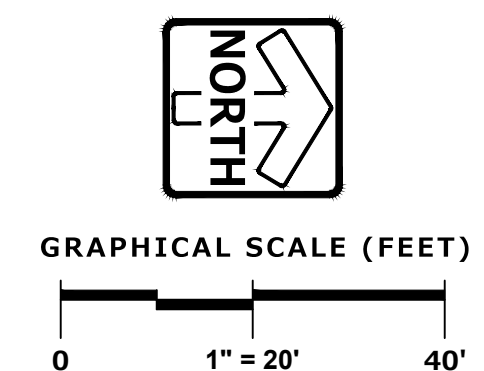
PLANT KEY: SHRUBS & PERENNIAL 302C

SHRUBS	BOTANICAL NAME	COMMON NAME
HV	<i>Hydrangea p</i> 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JSP	<i>Juniperus x</i> 'J.N. Select Blue'	Star Power Juniper
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
CKF	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass

GROUND COVERS	BOTANICAL NAME	COMMON NAME
	Rain Garden	AGRECOL RAINWATER RENEWAL MIX
	Turf Hydroseed	Drought Tolerant Fescue Blend
	Turf No Mow Grow	No Mow Grow Mix



ENLARGEMENT L302C
SCALE: 1"=20'



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Sheet Title
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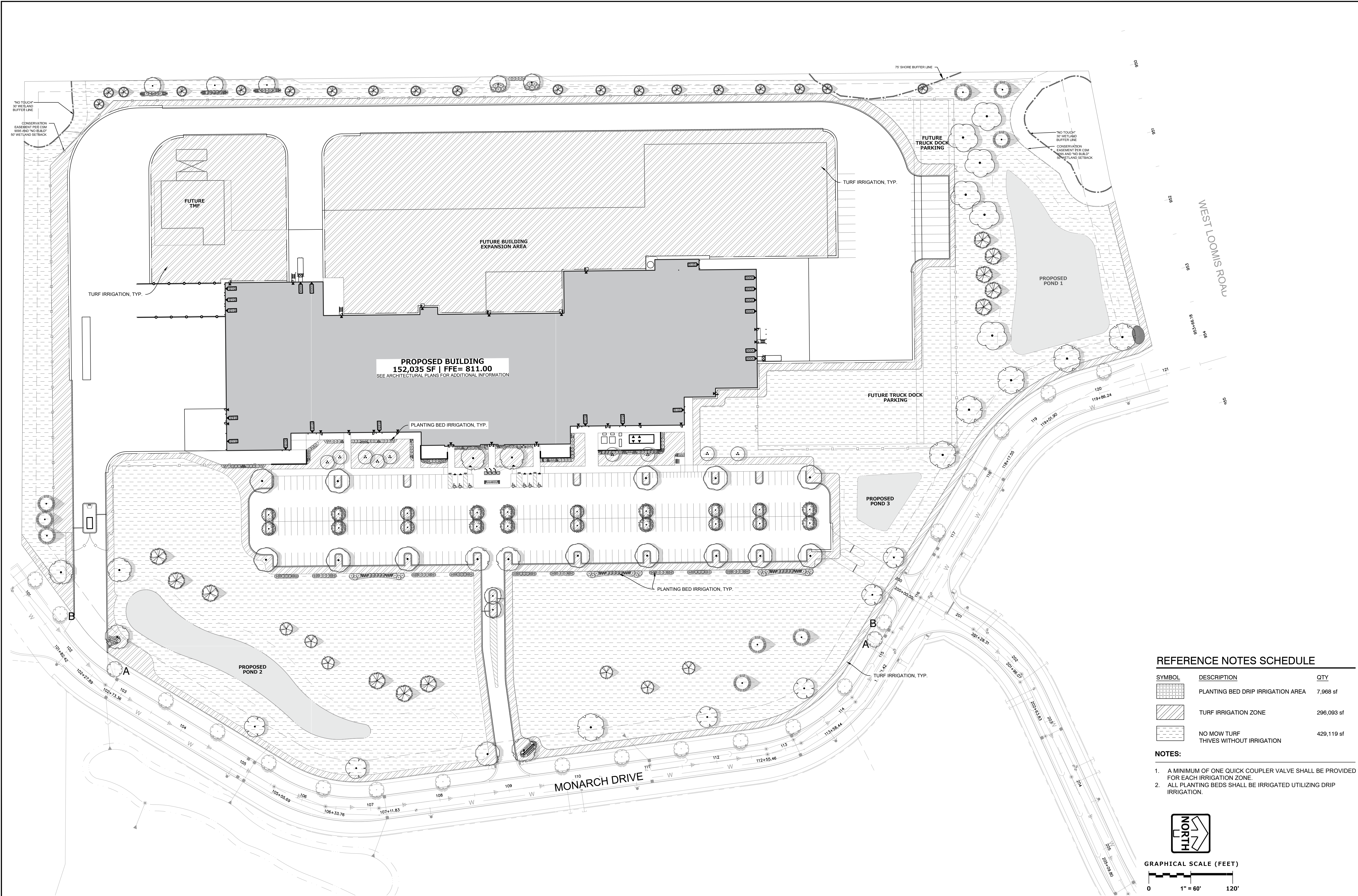
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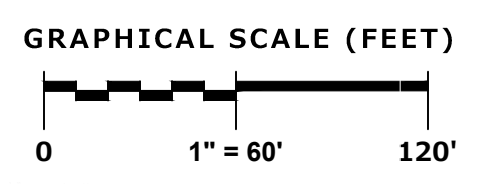
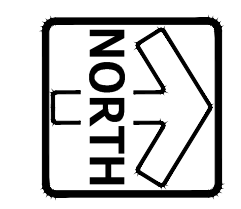


PROPOSED BUILDING
 152,035 SF | FFE= 811.00
 SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[Grid Pattern]	PLANTING BED DRIP IRRIGATION AREA	7,968 sf
[Diagonal Lines]	TURF IRRIGATION ZONE	296,093 sf
[Dotted Pattern]	NO MOW TURF THIVES WITHOUT IRRIGATION	429,119 sf

- NOTES:**
1. A MINIMUM OF ONE QUICK COUPLER VALVE SHALL BE PROVIDED FOR EACH IRRIGATION ZONE.
 2. ALL PLANTING BEDS SHALL BE IRRIGATED UTILIZING DRIP IRRIGATION.



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LANDSCAPE IRRIGATION ZONES

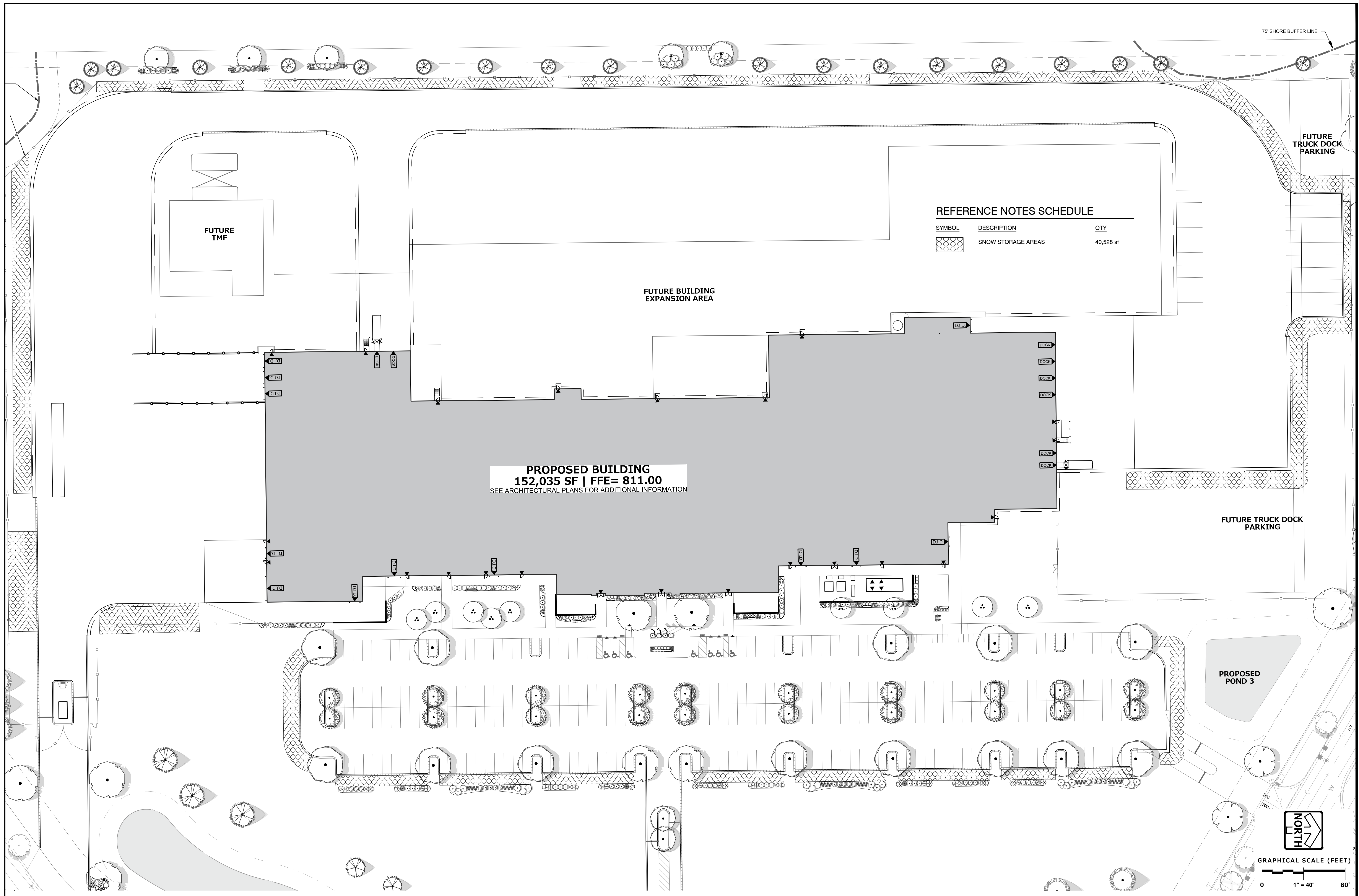
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Sheet Title
LANDSCAPE SNOW STORAGE

Sheet No.
L401

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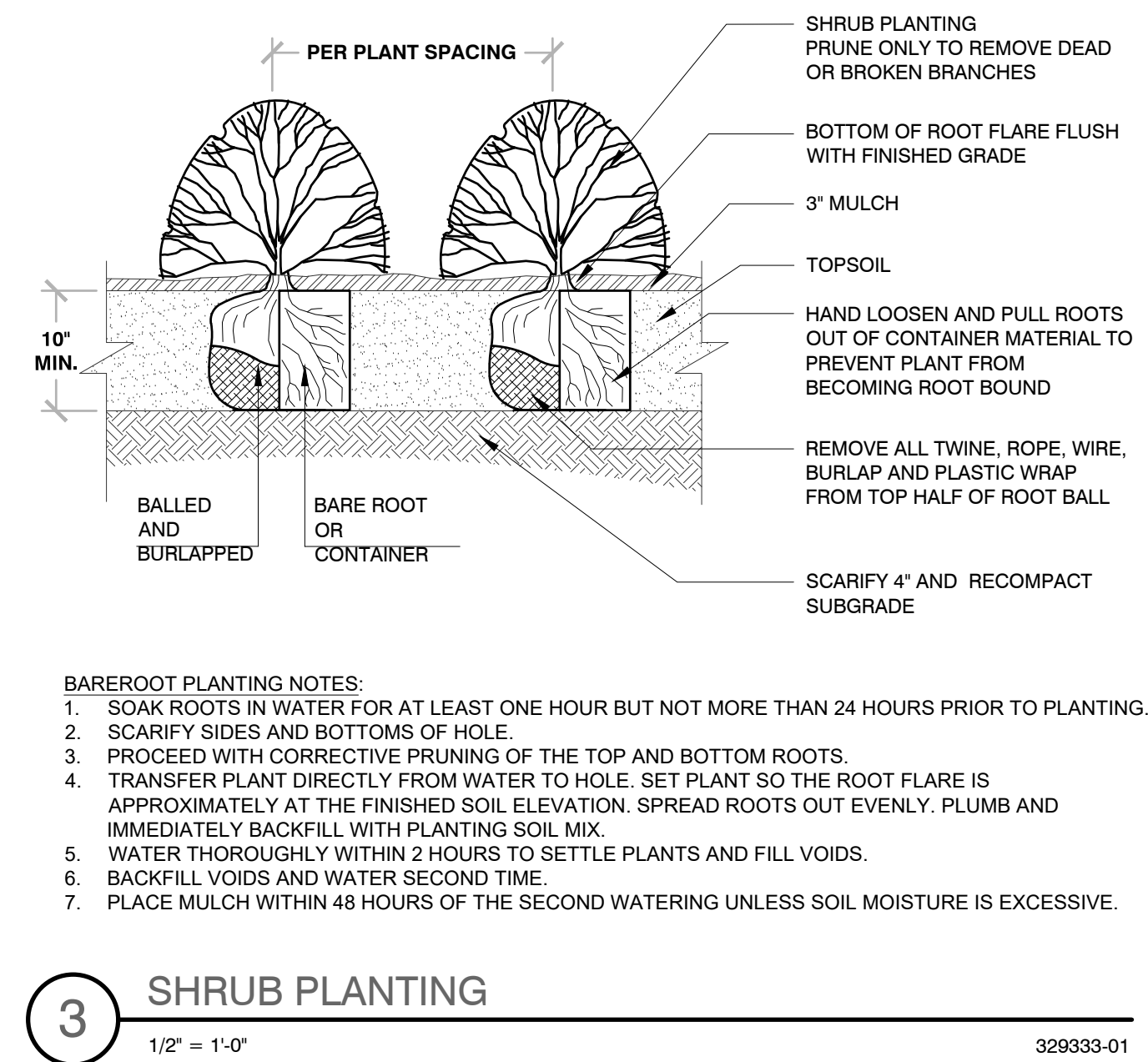
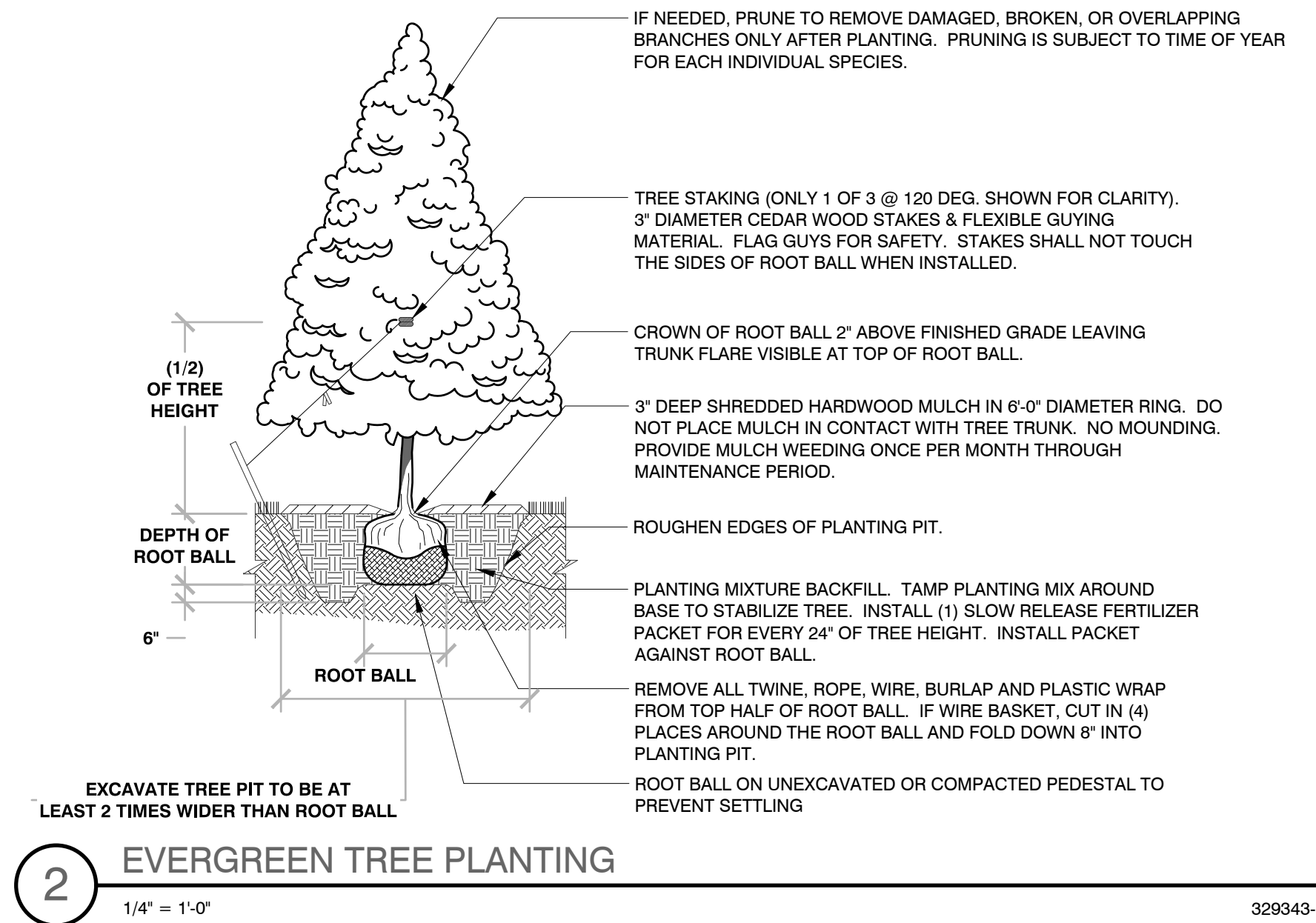
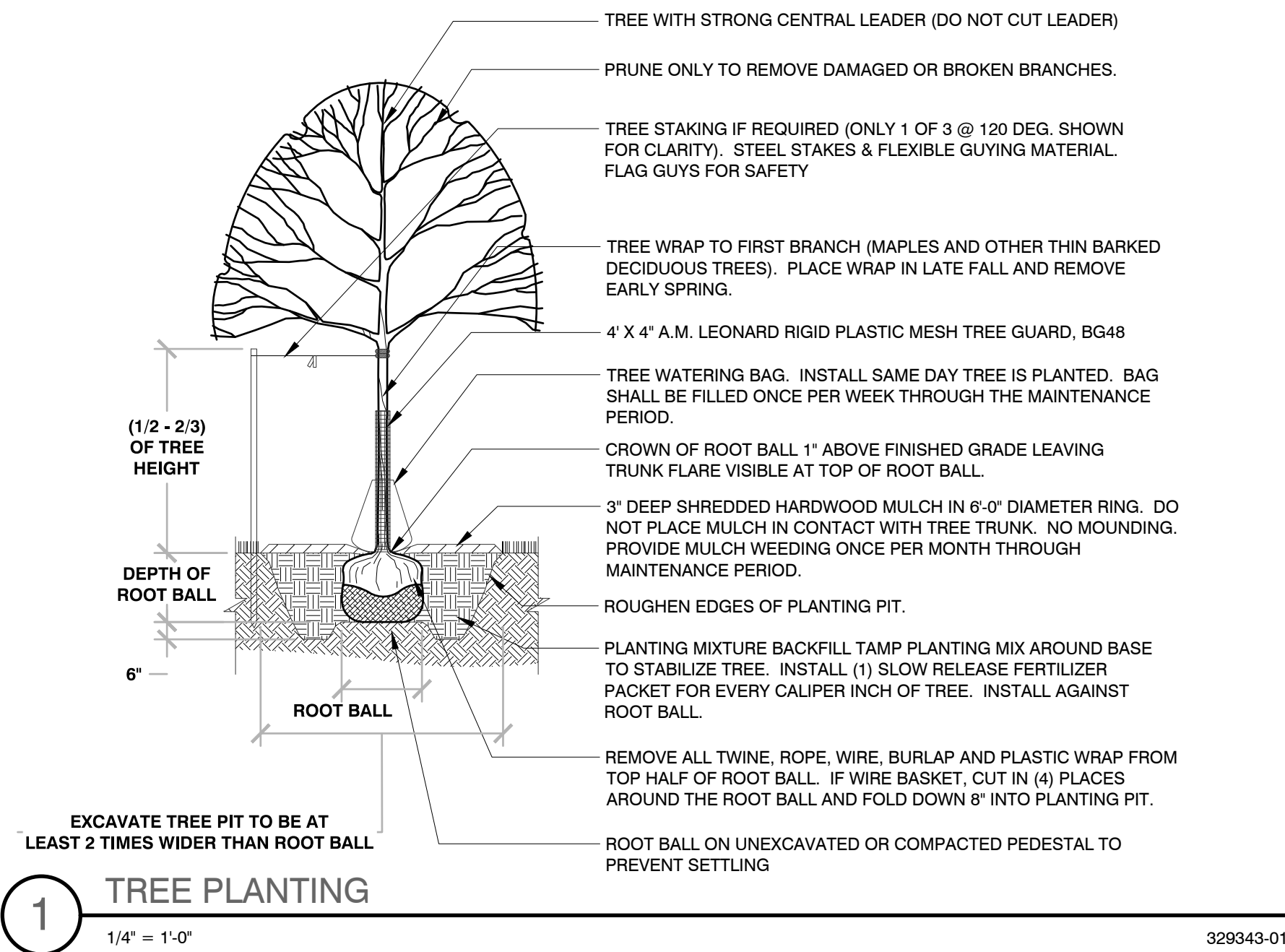
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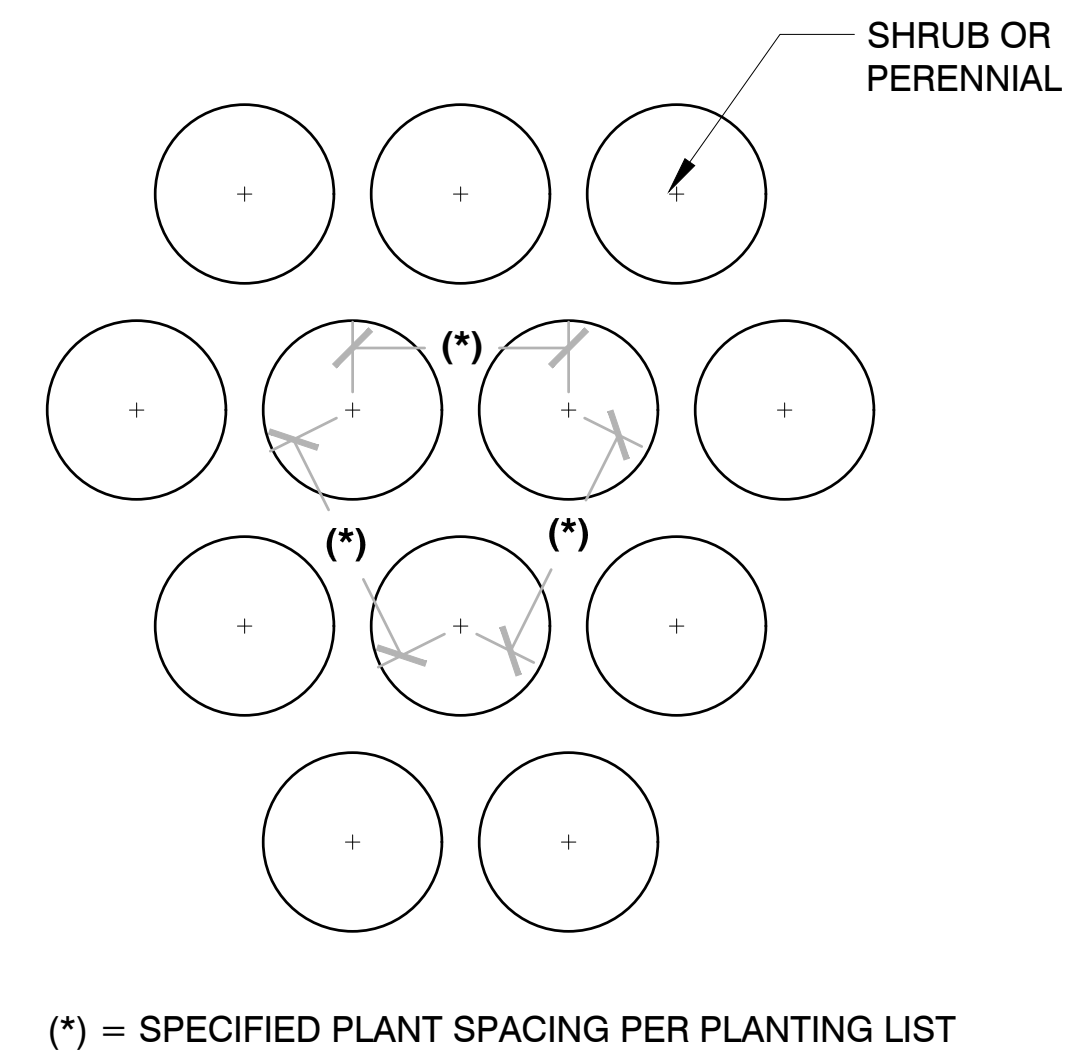
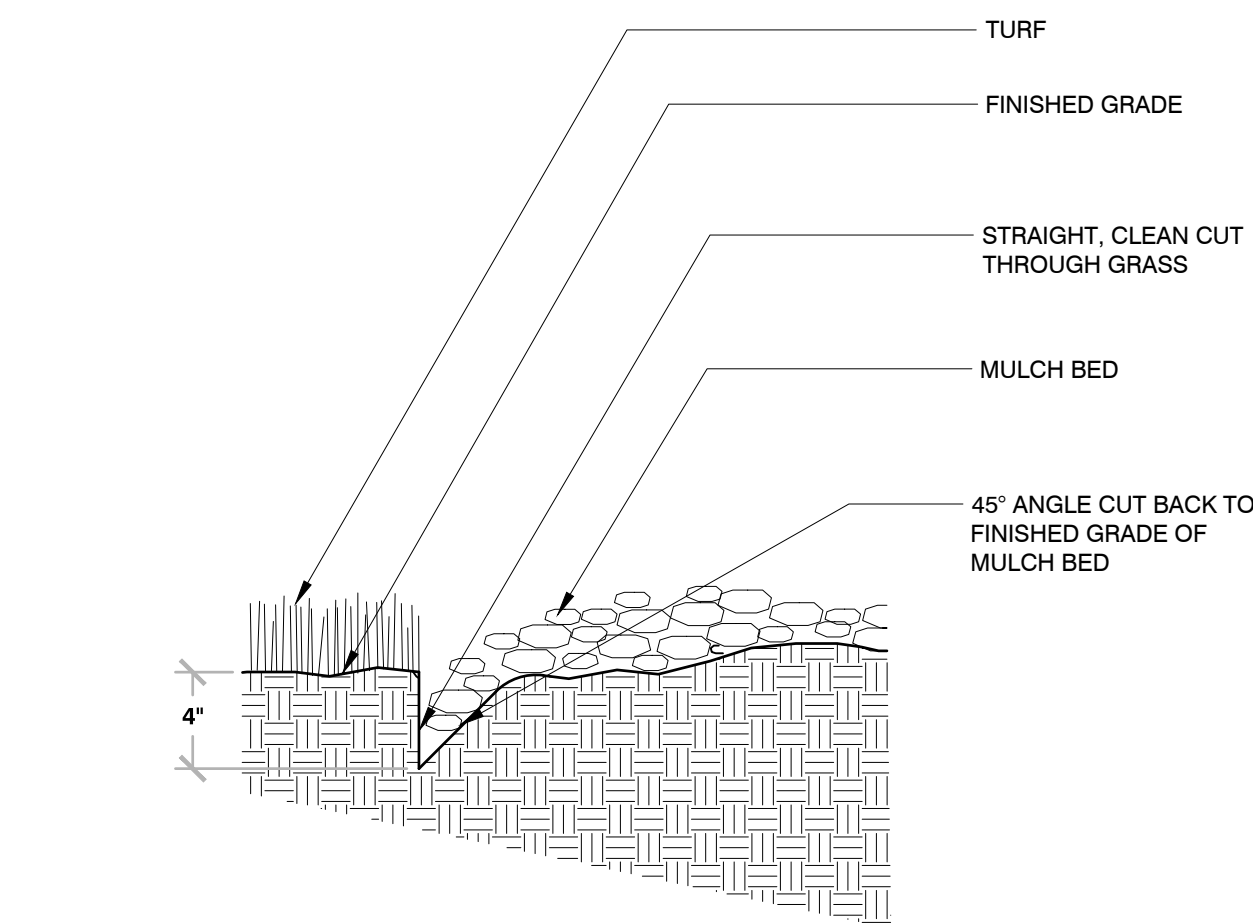
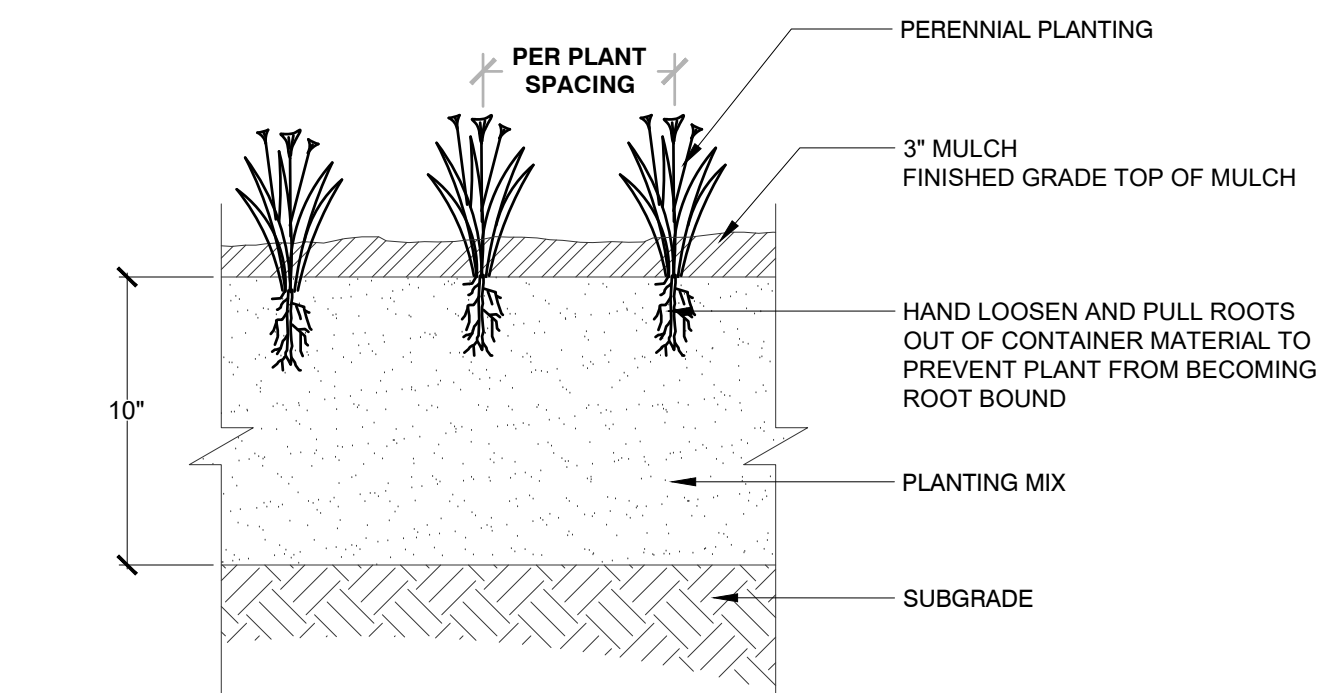
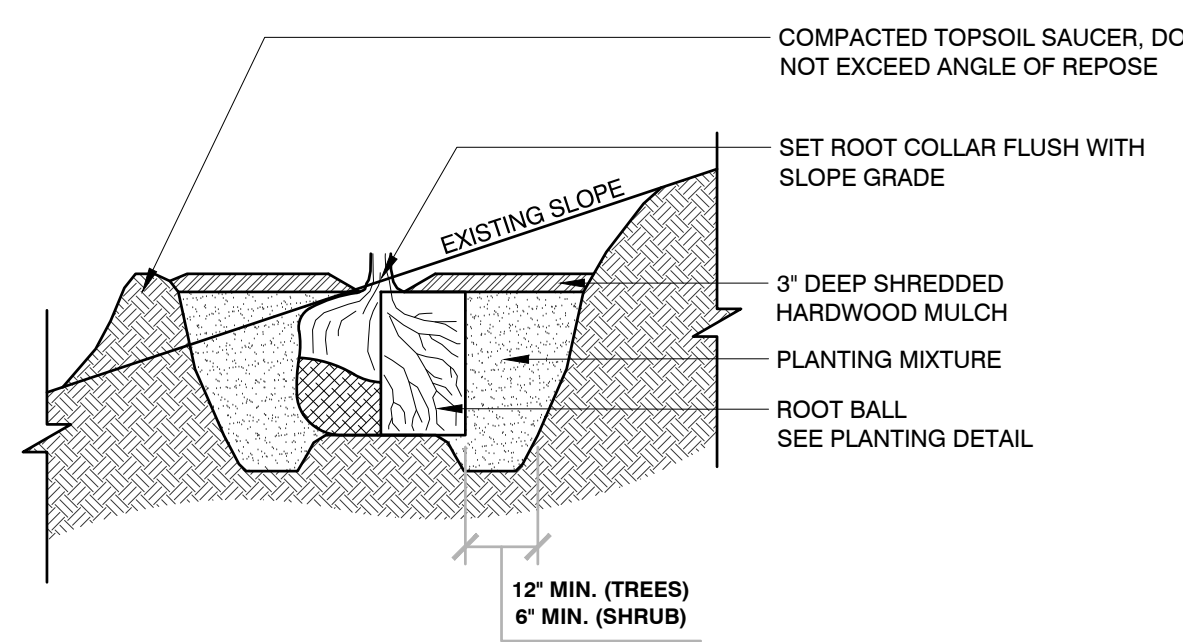
Sheet Title
**LANDSCAPE
 DETAILS**

Sheet No.
L500
 CIVIL

PRELIMINARY NOT FOR CONSTRUCTION



- BAREROOT PLANTING NOTES:**
1. SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
 2. SCARIFY SIDES AND BOTTOMS OF HOLE.
 3. PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
 4. TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
 5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 6. BACKFILL VOIDS AND WATER SECOND TIME.
 7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.



Date of Application: 04/13/2020

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

<p>Applicant (Full Legal Name[s]): Name: <u>Jerald Bussen</u> Company: <u>Strauss Brands LLC</u> Mailing Address: <u>9775 South 60th Street</u> City / State: <u>Franklin / Wisconsin</u> Zip: <u>53132</u> Phone: <u>414-255-3837</u> Email Address: <u>geraldb@straussbrands.com</u></p> <p>Project Property Information: Property Address: <u>SW Corner of West Loomis Road (STH 36) & Monarch Drive</u> Property Owner(s): <u>Strauss Brands LLC</u> Mailing Address: <u>9775 South 60th Street</u> City / State: <u>Franklin / Wisconsin</u> Zip: <u>53132</u> Email Address: <u>geraldb@straussbrands.com</u></p>	<p>Applicant is Represented by: (contact person)(Full Legal Name[s]) Name: <u>Donald Olsen</u> Company: <u>ESI Design Services, Inc.</u> Mailing Address: <u>950 Walnut Ridge Drive</u> City / State: <u>Hartland / Wisconsin</u> Zip: <u>53029</u> Phone: <u>262-369-3577</u> Email Address: <u>dolsen@esigroupusa.com</u></p> <p>Tax Key Nos: <u>891 9007 000</u> Existing Zoning: <u>M-1 Limited Industrial</u> Existing Use: <u>Farming</u> Proposed Use: <u>Food Processing Facility</u> Future Land Use Identification: _____</p>
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*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

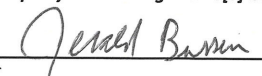
Special Use/Special Use Amendment submittals for review must include and be accompanied by the following:

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin:
 - \$1500, New Special Use over 4,000 square feet
 - \$1000 Special Use Amendment
 - \$750, New Special Use under 4,000 square feet
- Legal Description for the subject property (WORD.doc or compatible format).
- One copy of a response to the General Standards, Special Standards (if applicable), and Considerations found in Section 15-3.0701(A), (B), and (C) of the Unified Development Ordinance available at www.franklinwi.gov.
- Seven (7) complete **collated** sets of Application materials to include:
 - One (1) original and six (6) copies of a written Project Summary, *including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.*
 - Three (3) **folded** full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. *(The submittal should include only those plans/items as set forth in Section 17-7.0101, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)*
 - Four (4) **folded** reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package.
- One colored copy (11"x17") of the building elevations, if applicable.
- Three copies of the Natural Resource Protection Plan and report, if applicable (see Section 15-4.0102 & 15-7.0201 of the UDO).
- Email (or CD ROM) with all plans/submittal materials. *Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).*

- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

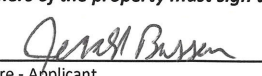
(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).



Signature - Property Owner _____
 Name & Title (PRINT) Jerald Bussen - President

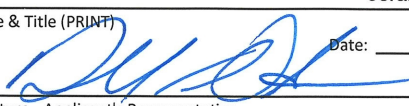
Date: _____ 4/10/2020

Signature - Property Owner _____
 Name & Title (PRINT) _____
 Date: _____



Signature - Applicant _____
 Name & Title (PRINT) Jerald Bussen - President

Date: _____ 4/10/2020



Signature - Applicant's Representative _____
 Name & Title (PRINT) Donald A. Olsen - Project Architect

Date: _____ 4/10/2020



Date of Application: 04/13/2020

SITE PLAN / SITE PLAN AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

<p>Applicant (Full Legal Name[s]): Name: <u>Jerald Bussen</u> Company: <u>Strauss Brands LLC</u> Mailing Address: <u>9775 South 60th Street</u> City / State: <u>Franklin / Wisconsin</u> Zip: <u>53132</u> Phone: <u>414-255-3837</u> Email Address: <u>jeraldb@straussbrands.com</u></p> <p>Project Property Information: Property Address: <u>SW Corner of West Loomis Road (STH 36) & Monarch Drive</u> Property Owner(s): <u>Strauss Brands LLC</u> Mailing Address: <u>9775 South 60th Street</u> City / State: <u>Franklin / Wisconsin</u> Zip: <u>53132</u> Email Address: <u>jeraldb@straussbrands.com</u></p>	<p>Applicant is Represented by: (contact person)(Full Legal Name[s]) Name: <u>Donald Olsen</u> Company: <u>ESI Design Services, Inc.</u> Mailing Address: <u>950 Walnut Ridge Drive</u> City / State: <u>Hartland / Wisconsin</u> Zip: <u>53029</u> Phone: <u>262-369-3577</u> Email Address: <u>dolsen@esigroupusa.com</u></p> <p>Tax Key Nos: <u>891 9007 000</u> Existing Zoning: <u>M-1 Limited Industrial</u> Existing Use: <u>Farming</u> Proposed Use: <u>Food Processing Facility</u> Future Land Use Identification: _____</p>
<p>*The 2025 Comprehensive Master Plan Future Land Use Map is available at: http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm</p>	

Site Plan/Site Plan Amendment submittals for review must include and be accompanied by the following:

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin:
 - Tier 1: \$2000
 - Tier 2: \$1000 (Lot size ≤ 1 acre)
 - Tier 3: \$500 (≤ 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only).
- Legal Description for the subject property (WORD.doc or compatible format).
- Seven (7) complete **collated** sets of Application materials to include:
 - One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
 - Seven (7) **folded** full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
 - Reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package will be at Planning staff recommendation, if applicable.
- One colored copy (11"x17") of the building elevations, if applicable.
- One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO).
- Three copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO).
- Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

- Upon receipt of a complete submittal, staff review will be conducted within ten business days. Additional materials may be required.
- Site Plan/Site Plan amendment requests require Plan Commission or Community Development Authority review and approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

 Signature - Property Owner
Jerald Bussen - President
 Name & Title (PRINT)
 Date: 4/10/2020

 Signature - Property Owner
 Name & Title (PRINT)
 Date: _____

 Signature - Applicant
Jerald Bussen - President
 Name & Title (PRINT)
 Date: 4/10/2020

 Signature - Applicant's Representative
Donald A. Olsen - Project Architect
 Name & Title (PRINT)
 Date: 4/10/2020



Strauss Brands LLC - Legal Description

April 10, 2020

Parts of Lot 1 and Outlot 1, of Certified Survey Map No. 9095 as recorded in the register of deeds office for Milwaukee County as Document No. 10830741, being a part of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows:

Commencing at the southwest corner of the Northwest 1/4 of said section 30; thence South 89°39'32" East along the south line of said Northwest 1/4, 1345.74 feet to the southwest corner of Lot 1 Certified Survey Map No. 9095 and the Point of Beginning;

Thence North 00°34'12" West, along the west line of said Lot 1, 1523.10 feet to the southerly line of said right-of-way of West Loomis Road; thence North 79°00'41" East along the southerly line of said right-of-way, 156.97 feet; thence North 75°45'51" East along the southerly line of said right-of-way, 215.80 feet to a point of curvature; thence northeasterly along the southerly line of said right-of-way, 30.51 feet along the arc of said curve to the left, whose radius is 1979.86 feet and whose chord bears North 75°19'22" East, 30.51 feet; thence South 29°08'47" East, 22.47 feet; thence South 16°09'38" East, 83.27 feet to a point of curvature; thence southeasterly 198.68 feet along the arc of said curve to the left, whose radius is 265.00 feet and whose chord bears South 37°38'23" East, 194.06 feet; thence South 59°07'06" East, 356.12 feet to a point of curvature; thence southeasterly 170.14 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears South 33°27'51" East, 164.52 feet; thence South 07°48'36" East, 543.63 feet to a point of curvature; thence southwesterly 128.99 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears South 11°38'18" West, 126.52 feet; thence South 31°05'13" West, 282.33 feet to a point of curvature; thence southwesterly 75.12 feet along said curve to the right, whose radius is 190.00 feet and whose chord bears South 42°24'51" West, 74.64 feet; thence South 53°44'29" West, 143.69 feet to the south line of said Northwest 1/4; thence North 89°39'32" West along said south line, 662.99 feet to the Point of Beginning

Containing 1,316,168 square feet (30.2151 acres) of land, more or less.



City of Franklin - Planning Department Strauss Brands LLC - Project Summary

April 10, 2020
(Updated July 28, 2020)
(Updated October 1, 2020)

FACILITY SUMMARY:

- The project consists of the construction of a new beef processing facility designed to process 250 to 500 head of cattle per day. The facility includes cattle pens, harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces.
- The facility will be staffed and operate as follows:

Employee Area	Employee Count	Shift (Work Hours)
Dirty Harvest	20	1 st - 6:00 AM - 2:30 PM
Clean Harvest	52	1 st - 7:00 AM - 3:30 PM
Fabrication & Grinding	150	1 st - 8:00 AM - 4:30 PM
Maintenance (1 st Shift)	12	1 st - 6:00 AM - 2:30 PM
Maintenance (2 nd Shift)	12	2 nd - 3:30 AM - 12:00 AM
Sanitation	15	2 nd - 3:30 AM - 12:00 AM
Administration	11	1 st - 8:00 AM - 5:00 PM
TOTAL	272	

- Construction is anticipated to begin in Fall of 2020 with final completion by June of 2022.
- The overall estimated project cost is as follows:

Area of Work	Estimated Cost
Sitework	\$ 4,715,000.00
Utilities	\$ 2,625,000.00
Building	\$ 57,860,000.00
TOTAL	\$ 65,200,000.00

SITE SUMMARY

- The site is located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive, covering approximately 30.2 acres.
- The building will be orientated in the north/south direction and roughly centered on the site. Employee parking will be located on the east side of the building. An access drive will be located along the south, west and north side of the building for truck traffic.
- All access to the site will come via Monarch Drive. Two (2) access drives will be provided; one for employee auto parking and one for truck receiving and shipping.
- The site is designed to detain all stormwater on-site in three (3) detention ponds. The ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings.

BUILDING SUMMARY

- The building will be a steel framed and concrete slab-on-grade structure. The structure is a single-story building with equipment mezzanines. Overall square footage of the building including all levels is as follows:

FIRST FLOOR		
CATTLE BARN		17,656 SF
WASTEWATER TREATMENT		5,644 SF
HARVEST AREA		38,047 SF
CARCASS COOLERS		12,274 SF
FABRICATION / GRINDING AREA		33,770 SF
WAREHOUSE		13,853 SF
HARVEST SUPPORT AREA		4,370 SF
MAIN OFFICE / WELFARE		16,945 SF
FABRICATION SUPPORT AREA		9,185 SF
PRE-MANUFACTURED GUARDHOUSE		128 SF
TOTAL BUILDING (FOOTPRINT)		152,035 SF
MEZZANINE FLOOR		
MECHANICAL MEZZANINE		1,661 SF
BOX-MAKE-UP MEZZANINE		8,297 SF
PARTS MEZZANINE		837 SF
		10,795 SF
TOTAL BUILDING SQUARE FOOTAGE		162,830 SF

- The processing area of the building will be 36' in height and the office/support areas of the building will be 18' in height.
- The exterior of the building will be enclosed with high R-Value insulated metal wall panels. The exterior of the office/ employee welfare will be a combination of masonry and architectural metal wall panels.

Date: April 10, 2020 (Updated July 28, 2020 & October 1, 2020)
Project: Strauss Brands LLC - Meat Processing Plant
Subject: City of Franklin - Project Summary
Page: 3 of 3

FINANCIAL PLAN FOR PROJECT IMPLEMENTATION

- Strauss Brands, LC is building a 162,830 square foot building on a 30.2 acres parcel. Construction is expected to start in the 4th quarter of 2020 with a completion date of June 2022. Total cost of construction is estimated to be \$65.2 million. The greenfield project will generate a minimum tax assessed value of \$12,00,000 in years 2021 to 2028 and \$15,000,000 in years 2029 to 2041. This will generate property taxes of \$266,400 (2021 to 2028) and \$333,000 (2029 to 2041).

MARKET ANALYSIS

- With a strong trade presence nationwide, the City of Franklin provides a central location within in the Midwest to service the continental Unites States. With the Milwaukee Metro MSA exceeding 1.57 Million, Strauss will have the ability to source quality candidates for the 100 plus new hires requires in production, warehousing, administration, and management. If we are not able to source viable candidates from the current MSA, Franklin is a very attractive city to relocate employees to.

File: M:\ESI DS Jobs\2020\20-1257-01 Strauss Franklin WI\03-Agency\20-1257-01 Strauss Project Summary - 100120.doc



City of Franklin - Planning Department

Strauss Brands LLC - General Standards Response

April 10, 2020

GENERAL STANDARDS:

- **Ordinance and Comprehensive Master Plan Purposes and Intent:** This proposed building is an industrial building located in an M-1 (Light Industrial) zoned area. This building and site will follow all applicable ordinances required by the City of Franklin.
- **No Undue Adverse Impact:** Given the nature of this operation, cattle will be regularly brought onto the site, temporarily housed in the Cattle Pen, and then brought into the building for processing. This facility will be located at the far west side of the Loomis Business Park. Bringing the animals on site and removing the waste from the building will be located in discreet locations away from busier areas of the development.
- **No Interference with Surrounding Development:** This facility will be located at the far west side of the Loomis Business Park. The building will not be directly adjacent to the residential areas in this development, and much of the surrounding area will consist of open, undeveloped area. Traffic to this facility will enter on Monarch Drive from Loomis Road and will not interfere with the nearby residential streets.
- **Adequate Public Facilities:** This facility will be served by all the necessary utilities and public services. Many of these will be provided by Bear Development as part of the Loomis Business Park.
- **No Traffic Congestion:** There will be two entrances into the proposed property. Strauss expects to see +/-20 semi-trucks per day in and out of their facility. The truck entrance is located furthest to the south, while the employee parking entrance will be located towards the center of the property. The trucks will only be on Monarch Drive for a limited time, and the employee vehicles will not need to travel through residential areas of the development.
- **No Destruction of Significant Features:** This proposed use will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.
- **Compliance with Standards:** This proposed use will comply with all applicable standards.

SPECIAL STANDARDS

- Not Applicable

CONSIDERATIONS

- **Public Benefit:** Strauss is a well-established business that has been located within the City of Franklin for many years. The proposed site offers ample space for them to expand their operation and continue to grow their business.

Date: April 10, 2020
Project: Strauss Brands LLC - Meat Processing Plant
Subject: City of Franklin - General Standards Responses
Page: 2 of 2

- **Alternative Locations:** The location of this building within the development allows for the operation to run discreetly, minimizing the impact to nearby residential areas. The building will not be directly adjacent to the residential areas in this development, and much of the surrounding area will consist of open, undeveloped area. The cattle pen and Inedible Dock will be screened from the rest of the development.
- **Mitigation of Adverse Impacts:** Much of the facility will not be completely visible from Loomis Road or Monarch Drive due to landscaping berms located around the site. The shipping dock will be screened by this landscaping. The cattle pen will be located at the far south end of the site, away from busier areas of the development. The Harvest Floor waste (Inedible Dock) will be removed from the facility on the west side of the building. The building will completely shield the Inedible Dock from the rest of the Loomis Business Park.
- **Establishment of Precedent of Incompatible Uses in the Surrounding Area:** The proposed facility is a stand-alone operation which will not require other industrial buildings nearby to serve its needs. Much of the area around this facility is zoned for residential uses. There is a buffer between this facility and the residential areas, but there likely would not be adequate space for industrial growth in these areas.

File: M:\ESI DS Jobs\2020\20-1257-01 Strauss Franklin WI\03-Agency\Strauss General Standards Response 4-10-2020.doc



June 28, 2020

Régulo Martínez-Montilva, AICP
Associate Planner - Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Project: **Strauss Brands, LLC - New Meat Processing Facility**
West Loomis Road & Monarch Drive
Franklin, Wisconsin

Subject: **City Development Department Review Comment Responses**
ESIDS Project No.: 20-1257-01

Dear Régulo:

Below please find our responses to the Application for Special Use and Site Plan review comments made by the City Development Department, Engineering Department, and Fire Department, dated May 18, 2020.

DEPARTMENT OF CITY DEVELOPMENT

Special Use

1. Unified Development Ordinance (UDO) Division 15-3.1100: Hazard Abatement Performance Standards. Any ammonia refrigeration, flammable or explosive vapors associated with this facility? Please explain.

Response: *Yes, the refrigeration system that cools the coolers and processing areas is a central ammonia system. The ammonia refrigeration system will meet all current codes and regulations. Due to the volume of ammonia on site a Process Safety Management (PSM) program will be in place. Furthermore, the system will be provided with an ammonia diffusion tank to allow for emergency evacuation and diffusion in a hazardous ammonia situation.*

2. In a revised project narrative, please include the hours of operations and number of employees expected during the large shift.

Response: *See attached revised project narrative.*

3. Note: the future building expansion and truck maintenance facility will require an amendment to the Special Use permit.

Response: *Strauss understands when they plan to expand or build the truck maintenance facility, they will need request an amendment to the Special Use permit.*

Site Plan

4. Please provide the following information on the Proposed Site Development Plan (Sheet C300):

- **Scale and Site Size.** The scale of drawing and the size of the site (in square feet or acres) noted on the Site Plan. Please note the size of the site (in square feet or acres) on the Site Plan.

Response: See Site Data Table on sheet C300.

- **Soils Data.** The characteristics and types of soils related to contemplated specific uses. Soil borings may be required by the City Engineer, Zoning Administrator, and/or Plan Commission. Please note the soil types on the Site Development Plan.

Response: See Site Data Table on sheet C300. Geotech Report and Borings were previously completed by Terracon in 2018.

- **Off-Street Parking Spaces, Loading, Ingress and Egress, and Driveway Locations of Adjoining Properties.** The total number of off-street parking spaces, loading areas, drives, curb cuts, and vehicular ingress and egress locations to the site. Please note the total number of off-street parking spaces on the Site Plan.

Response: See Site Data Table on sheet C300.

- **Building Height.** Height of all building(s), including both principal and accessory, expressed in both feet and stories. Please note the heights of the building on the Building Elevations.

Response: See updated building elevations on drawing A3.1.

- **Proposed Stormwater Management Facilities.** Location of any proposed stormwater management facilities, including detention/retention area(s), and the submission of stormwater calculations which justify the stormwater detention/retention area(s). Said submission shall indicate how the planned stormwater drainage system meets the requirements of the City's stormwater management plan. Please provide stormwater calculations and Stormwater Management Plan for final submittal.

Response: See attached stormwater management plan.

- **Natural Resource Protection Plan.** Conservation Easements. Natural resources (as described in Division 15-4.0100 of the UDO) shall be located within conservation easements. Please note that conservation easements require a separate approval. Conservation easement template is attached.

Response: Easement documents have been completed. Strauss will record with the City.

- **Site Intensity and Capacity Calculations.** The "Site Intensity and Capacity Calculation" worksheets required under Division 15-3.0500 for determining the maximum site intensity, or development capacity, of the site. Please provide Site Intensity and Capacity Calculations per Division 15-3.0500.

Response: See requested calcs (attached).

- **Building Elevations.** Please provide building elevations for the guardhouse.

Response: *See guard house building elevations on drawing A3.2.*

- **Market Analysis.** In the case of a commercial use on a parcel of land greater than 30,000 square feet in area, a market analysis, prepared and signed by an independent market analyst acceptable to the Plan Commission, containing the following:
 - Trade area.
 - Population of trade area, present and projected.
 - Effective buying power in the trade area, present and projected (in the case of retail).
 - Residual buying power and how it may be expected to be expended in existing business areas serving the trade area. Please provide a market analysis within a revised project narrative or supplemental letter.

Response: *See attached updated Project Summary.*

- **Financial Plan for Project Implementation.** A financial plan for project implementation, acceptable to the Plan Commission. Please include a financial plan within a revised project narrative or supplemental letter.

Response: *See attached updated Project Summary.*

- **Project Summary.** A written project summary including fiscal impact upon the City of Franklin, operational information, building schedule, and estimate of project value and including all site improvement costs. Please include a project summary within a revised project narrative or supplemental letter.

Response: *See attached updated Project Summary.*

5. Please reconcile the building floor area provided in narrative (Phases I & II: 134,000 sf footprint) with the building floor area provided on the Site Plan (Phase I: 127,670 sf; no floor area estimate provided for Phase II).

Response: *Civil plans have been revised to identify the current, proposed building area. See Site Data Table on Sheet C300.*

6. On Sheet C300, please include additional site data, including square footage of proposed impervious surface, greenspace and Landscape Surface Ratio (see definitions below).

- **Landscape Surface Ratio (LSR).** The ratio derived by dividing the area of landscaped surface by the base site area.

Response: *See Site Data Table on sheet C300.*

- **Landscape Surface Area.** Surface area of land not covered by any building or impervious surface; impervious surface, and that is maintained as a natural area and left undisturbed or to support plant life.

Response: *See Site Data Table on sheet C300.*

- **Maximum Gross Floor Area Ratio.** An intensity measured as a ratio derived by dividing the total gross floor area of a building or structure by the base site area. Also see Division 15-3.0500.

Response: *See Site Data Table on sheet C300.*

- **Maximum Net Floor Area Ratio.** An intensity measured as a ratio derived by dividing the total gross floor area of a building or structure by the net buildable site area. Also see Division 15-3.0500.

Response: *See Site Data Table on sheet C300.*

- **Site Area, Base.** (See Division 15-3.0500 of this Ordinance.)

Response: *See Site Data Table on sheet C300.*

7. Please provide details about proposed fence (height, materials) to ensure it meets the requirement of Division 15.3-0803C.

Response: *The fence enclosing the cattle barns, receiving dock and shipping dock is an 8' high chain-link fence.*

8. Please provide details about proposed generator screening to ensure it meets the requirements of Division 15.3-0803E.

Response: *The generator screening is a 10' high masonry wall with face brick veneer matching the office. See attached detail.*

9. Please provide details about proposed trash enclosure to ensure it meets the requirements of Division 15.3-0803I.

Response: *The trash enclosure is a 10' high masonry wall with face brick veneer matching the office. See attached detail.*

10. Please provide details about the proposed guardhouse (dimensions, area, exterior building materials, height) to ensure it meets the requirements of Division 15.3-0801.

Response: *See guard house floor plan and building elevations on drawing A3.2 showing size, height and building materials.*

11. Proposed driveway openings are 26 feet wide for the employee parking lot and 48 feet wide for truck entrance. Per Division 15-5.0207, openings for vehicular ingress and egress shall not exceed 24 feet at the street right-of-way line and 30 feet at the roadway, unless a greater distance is approved by the Plan Commission in a non-residential district. Please revise or submit a separate letter supporting your request, subject to Plan Commission approval.

Response: *Please see attached letter supporting the request of wider driveways.*

Landscaping

12. Please provide the planting size for each Plant Type (Canopy/Shade Tree, Decorative Trees, Evergreen Trees, etc.). Note that evergreens and arborvitae within the bufferyard must have a planting height of six feet.

Response: *Planting Sizes have been added to the planting schedule.*

13. Please illustrate areas for snow storage on the Landscape Plan in compliance with Section 15-5.0210 of the Unified Development Ordinance.

Response: *Sheet L-401 has been added to show snow storage locations.*

14. Bufferyards are required on the north and west sides of this property. Please label bufferyards and the Landscape Plan and provide a higher concentration of plants within the bufferyard areas. Required planting quantity is increased by 30% within bufferyards, per Sections 15-5.0301C and 15-5.0301D of the UDO. Please exclude conservation areas and vision triangles from bufferyards.

Response: *The plan currently provides more than the required plantings. More plantings have been relocated to the specified buffer locations to provide a higher concentration of plantings in the bufferyards. North bufferyard also contains an 8' high screening berm along with plantings.*

15. Please provide the planting size for each Plant Type (Canopy/Shade Tree, Decorative Trees, Evergreen Trees, etc.) per Table 15-5.0302 of the UDO. Note that evergreens and arborvitae within the bufferyard must have a planting height of six feet.

Response: *Planting Sizes have been added to the planting schedule.*

16. Please provide the number of plantings *by species* on the Landscape Plan (Sheet L-100 or Sheet L202). At least 10 plantings of each species are required per Section 15-5.0302F. of the UDO. Also, see Section 15-5.0302H of the UDO about placement by species.

Response: *Plantings have been updated to be in line with the chart found in 15-5.0302F based on plant categories, ie...Shade trees (37 provided requires a min of 6 per species), Deciduous shrubs (199 provided requires a min of 10 per species), etc.*

17. Please provide estimated landscaping costs per Section 15-5.0302G.3. of the UDO.

Response: *Estimated landscape cost for plantings and seeding is approximately \$150,000.*

18. Please note a two-year planting guaranty on the Landscape Plan is required per Section 15-5.0303G.3. of the UDO.

Response: *Note has been updated on plans.*

19. Please provide the Landscape Surface Ratio percentage, and planting size information for the planting schedule.

Response: *Has been added to the plan.*

20. Please provide irrigation plans per Section 15-5.0303D of the UDO.

Response: *A performance irrigation plan has been provided denoting types of irrigation to be used in what locations. Final irrigation plans to be designed by irrigation contractor prior to installation. (Sheet L-400).*

21. Please provide installation plans per Section 15-5.0303F of the UDO.

Response: *Notes have been added to the general notes section.*

22. Please provide parking lot island dimensions to verify that depth requirements are met, per Section 15-3.0354C.2. The interior landscaping shall be provided within landscaped islands a minimum of 250 square feet in area. Landscaped islands shall be three feet shorter than the depth of any adjacent parking space.

Response: *Parking lot islands have been updated and dimensioned on the civil plans (C301 and C302). Notes have been added to the landscape plan referencing the civil plans.*

23. Clarify whether plants in landscaped parking lot islands are underlain by soil (vs. base course material), per Section 15-3.0354C.4.

Response: *Landscape planting islands shall be underlain by soil. Existing soil shall be loosened to a minimum depth of 30" (Refer to soil placement notes Sheet L-100).*

24. Please show the 30-foot vision triangle on the Landscaping Plan to demonstrate compliance with Section 15-5.0201.

Response: The WISDOT vision triangle has been added to the plans.

Parking

25. Please provide a total number of parking spaces proposed, by type, on the face of the Site Plan.

Response: See Site Data Table on sheet C300.

26. Staff determined that the proposed use is classified as “Light Industry” for the purpose of parking demand, per UDO Table 15-5.0203 the required parking for light industry is 2 spaces/1,000 sf of Gross Floor Area. Based on the overall square footage (153,250), the required parking is 307 spaces. Staff counted 234 parking spaces (including ADA), therefore the proposed parking does not meet the UDO requirements.

However, the Plan Commission may approve a parking reduction, below 25% of the required parking, which is a total of 230 parking spaces. To request this reduction, please submit the following (UDO §15-5.0203.B):

- Sufficient proof that the minimum number of required parking spaces would exceed the proposed use's projected parking demand. Evidence may include, but not limited to, parking standard comparisons and/or comparisons of parking demand for existing similar uses.

Response: Based on the new enlarged plan the gross building square footage is 178,274 S.F. which equates to 358 required parking spaces. Strauss requests the Plan Commission allow a reduction in the number of required stalls by 78 (22%) for a total of 280 parking stalls, not including motorcycle parking. The overall number of employees is 272 with a maximum of 240 being onsite at the same time. Even with the reduction in parking there would still be 40 overflow spaces available.

27. Table 15-5.0202(I)(1) requires 7 ADA parking spaces. Six ADA parking spaces are currently provided. Parking spaces for use by person with disabilities shall be 13 feet wide by 20 feet long for automobiles and 16 feet wide by 20 feet long for vans, per Section 5-5.0202J.1.

Response: Additional ADA stall has been added to the plan. Proposed stalls meet required dimensions and 2 van spaces are provided.

28. Please clarify the purpose of the 18 smaller parking spaces located north of the main customer entrance. If they are motorcycle parking spaces, please label them as such.

Response: These are motorcycle parking spaces. A note has been added to the plans denoting this.

29. Please label the loading spaces on the Site Plan. Four loading spaces are required.

Response: Loading spaces are provided within the four proposed truck court/dock areas and this has been noted on the plans (C301 and C302).

Lighting

1. Please provide the light cut-off angles of the luminaires, per Section 15-5.0401. It is noted that if these are cut-off luminaires with angles less than 90 degrees, then they meet the illumination standards. Otherwise, the on-site lighting would not comply with UDO standards.

Response: *See polar candela distribution charts on sheets E3.1, E3.2, E3.3 and E3.4.*

30. Please provide a graphic depiction of the luminaire lamp (or bulb) concealment and light cut-off angles per Section 15-5.0402B.4.

Response: *See polar candela distribution charts on sheets E3.1, E3.2, E3.3 and E3.4.*

Signage

31. Signage will require separate review and approval by the Architectural Review Board and a Sign Permit from the Inspection Department. Please provide a note on the plans that states signs are shown for reference only and require separate review and approval.

Response: *Strauss, LLC understands that all exterior signage will require a separate review, approval, and permit from the City. Signage will be a deferred submittal at this time.*

City Development Department suggestions (not specifically required by the UDO)

32. **Pedestrian Sidewalks and Walkways.** Please provide safe pedestrian and bicycle access to all uses within the development, connections to existing and planned sidewalks.

Response: *Since this facility is not open to the public, nor does Strauss want to encourage pedestrian traffic to the facility, Strauss does not believe it necessary to provide a sidewalk from the building out to the street.*

33. **Architecture.** Staff suggests providing additional architectural design element(s) to break up the plane of the wall such as siding design and accent panels.

Response: *Due to the type of construction it is costly to incorporate a siding design or accent panels into the exterior wall. Strauss finds that to cost prohibitive at this time.*

Engineering Department Comments

34. There should be no structures within the City's utility easements.

Response: *Understood. All structures will be constructed outside of utility easements.*

35. The City's utility easements must always be accessible for its maintenance.

Response: *Utility easements will be made accessible to the City at all times.*

Date: June 28, 2020
Project: **Strauss Brands, LLC - New Meat Processing Facility**
Franklin, Wisconsin
Subject: Architectural and Engineering Service Proposal
Page 8 of 8

Fire Department Comments (dated 8/28/2019)

36. Significant concern with storage/use of large quantities of ammonia immediately adjacent to and upwind of planned residential, commercial, and multi-use development. a. Asphyxiant, corrosive/irritant, and potential explosive properties will be present in the event of a release/leak or fire.

Response: The ammonia refrigeration system will meet all current codes and regulations. Due to the volume of ammonia on site a Process Safety Management (PSM) program will be in place. Furthermore, the system will be provided with an ammonia diffusion tank to allow for emergency evacuation and diffusion in a hazardous ammonia situation.

37. Area is poorly served by existing fire station locations and staffing. Response times for Effective Response Force for fire and EMS calls-for-service, and emergency incident types will likely exceed accepted industry standards (possibly significantly) for the entire development.

Response: Strauss, LLC understands the concerns raised regarding response times from the fire department.

We believe all of your comments have been addressed. If you have any questions or need further clarification, please contact us at your earliest convenience.

Sincerely



Donald A. Olsen, AIA, CSI
Vice President of Design/Operations
262-369-3535 Main Line
262-369-3577 Direct Line
262-391-1436 Cell
262-369-3592 Fax
dolsen@esigroupusa.com

cc: John Dohogne, President - ESI Design Services, Inc.
Timothy P. Gibbons, V.P. Design/Business Development - ESI Design Services, Inc.
File: M:\ESI DS Jobs\2020\20-1257-01 Strauss Franklin WI\03-Agency\20-1257-01 Plan Commission Response LTR.doc

SECTION 15-3.0505

**CALCULATION OF SITE INTENSITY AND CAPACITY FOR
NONRESIDENTIAL USES**

In order to determine the maximum floor area which may be permitted on a parcel of land zoned in a nonresidential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0505 shall be performed.

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>30.22 AC</u></p> <p>Multiple by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u>0.4</u></p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p>12.09 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>30.22 AC</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u>12.09 AC</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p>18.13 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>18.13 AC</u></p> <p>Multiple by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u>0.85</u></p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p>15.41 acres</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>30.22 AC</u></p> <p>Multiple by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u>0.42</u></p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p>12.69 acres</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p>12.69 acres (<u>552,776</u> s.f.)</p>

May 22, 2020

Members of the City of Franklin Plan Commission:

Please accept this letter as notification that Strauss Brands, Inc. would like to seek Plan Commission approval of driveway widths that exceed the maximum allowed per the City of Franklin Unified Development Ordinance (Division 15-5.0207). The allowable width at the Right of Way line is 24' and at the roadway is 30' per code. Strauss is requesting approval for a 28' wide driveway for their main employee entrance and a 48' wide driveway for their truck access entrance. A future access point is also proposed that is 34' wide.

The main employee driveway is proposed at 28' wide to allow for a comfortable width for cars entering and exiting the facility at the same time. There is also a security badge/gated access island located to the west of the driveway connection to the street. A wider driveway helps support traffic flow through this security check point.

The truck access entrance is proposed at 48' wide to allow for large trucks (up to a 53' long trailer) entering and existing the facility to safely utilize the driveway at the same time. Similar to the employee entrance, this access point also has a security check point west of the driveway connection to the road. This includes a curbed island with a guard shack and gates, which is supported by the wider driveway. Between the Right of Way line and the roadway itself, a concrete apron is provided.

In addition to these two driveways, there is also a future driveway access point intended for if/when the parking lot expands to accommodate future additions to the facility. This driveway is located at the north end of the site and would be approximately 34' wide. Much like the other employee access point, an island with security gates would be proposed and would require a wider driveway to support the traffic circulation.

These driveway configurations were also discussed with members of the City Engineering Department and were supported.

Strauss ownership and the design team both certainly appreciate the Plan Commission's time and consideration of this request. Please let us know if you have any additional questions.

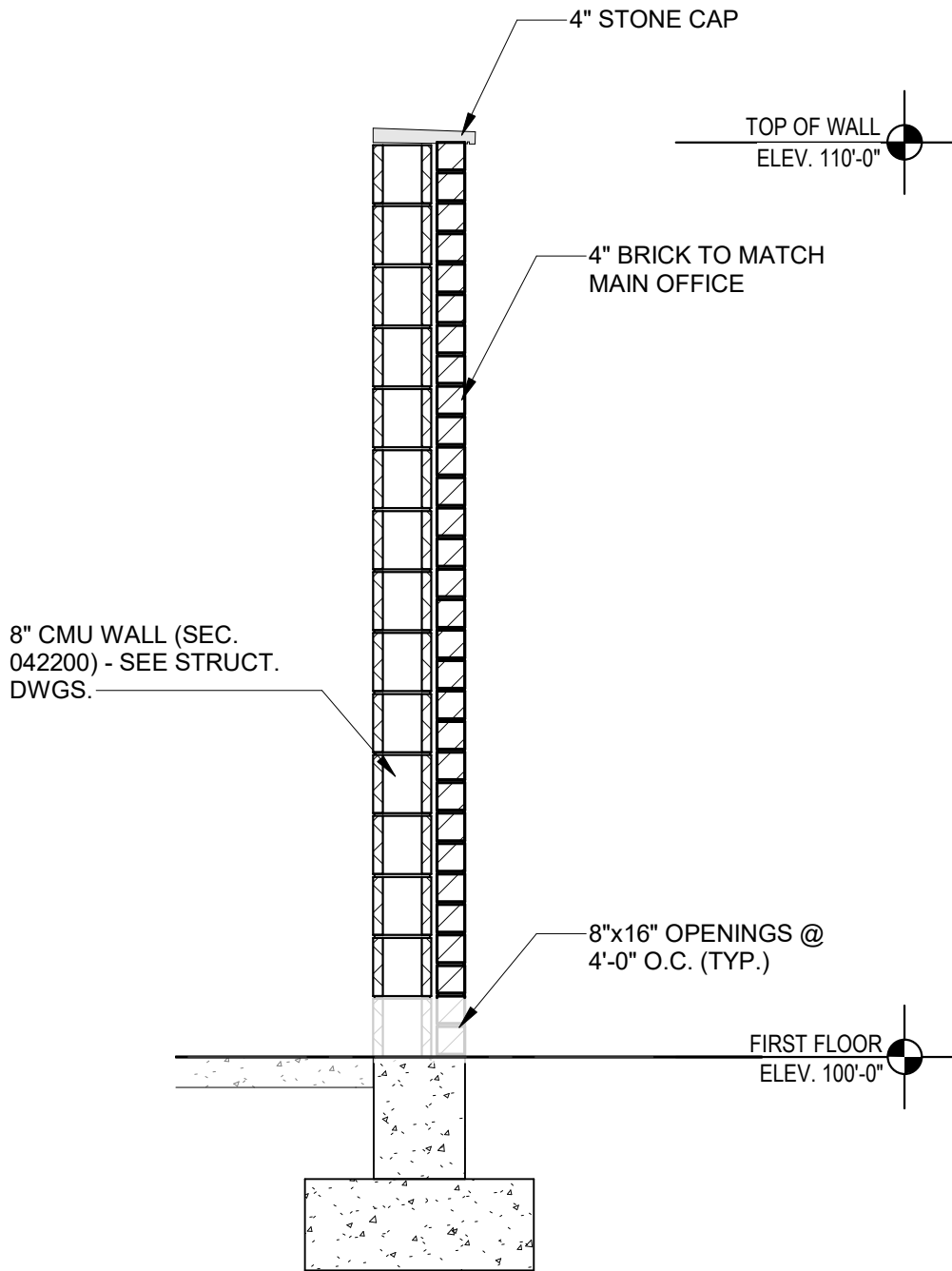
Sincerely,

PINNACLE ENGINEERING GROUP



Matt A. Carey, P.E.

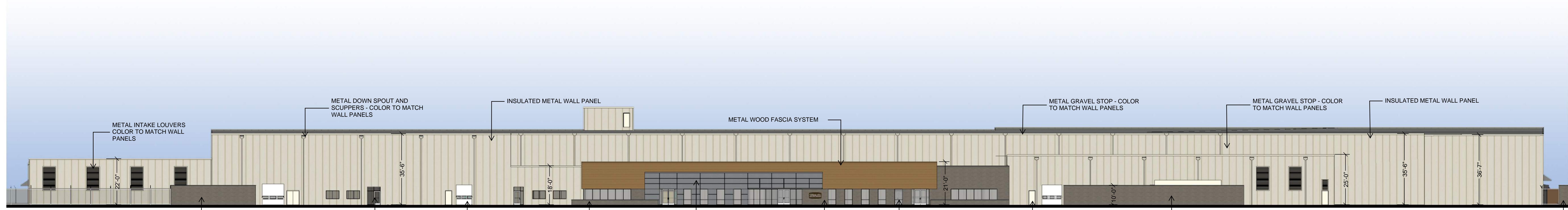
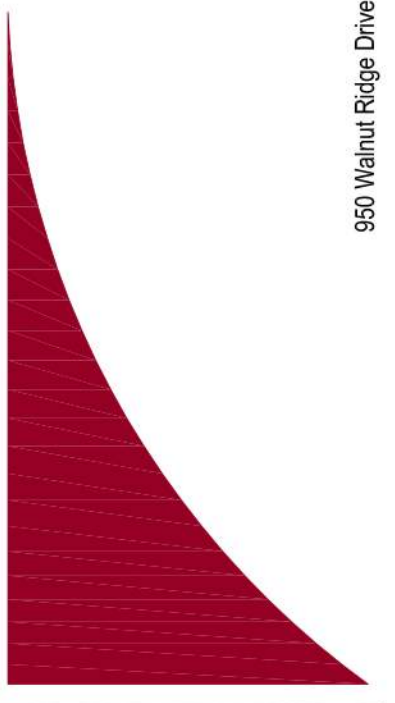
Project Manager



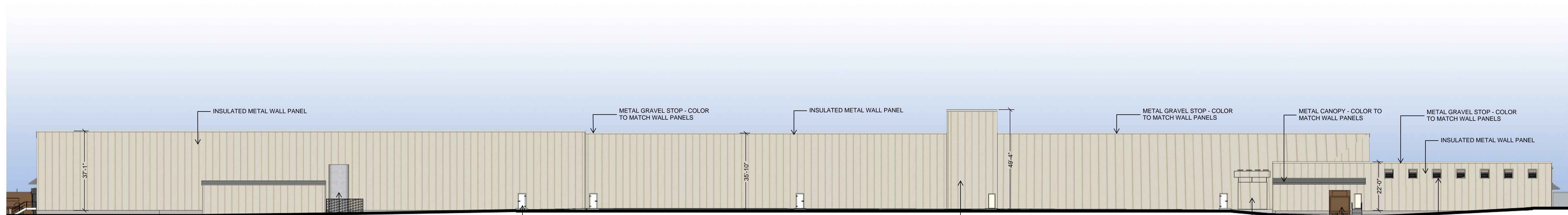
3 WALL SECTION - SCREEN WALL
A203 1/2" = 1'-0"



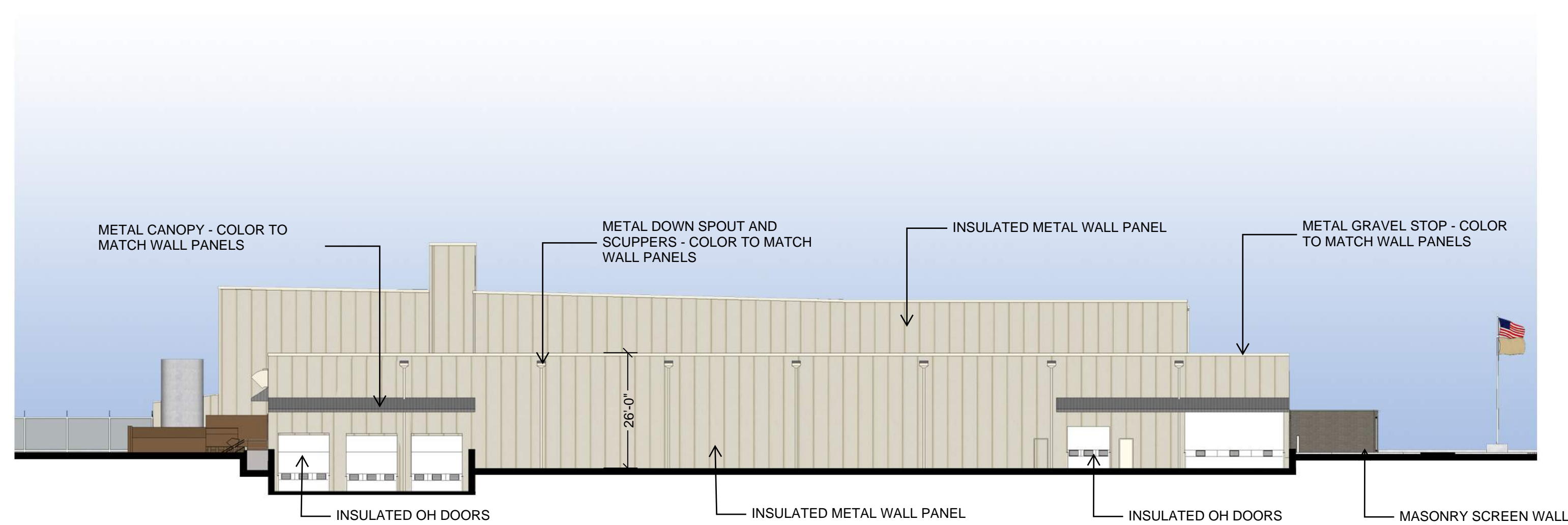
Strauss Franklin WI - Aerial North East Corner



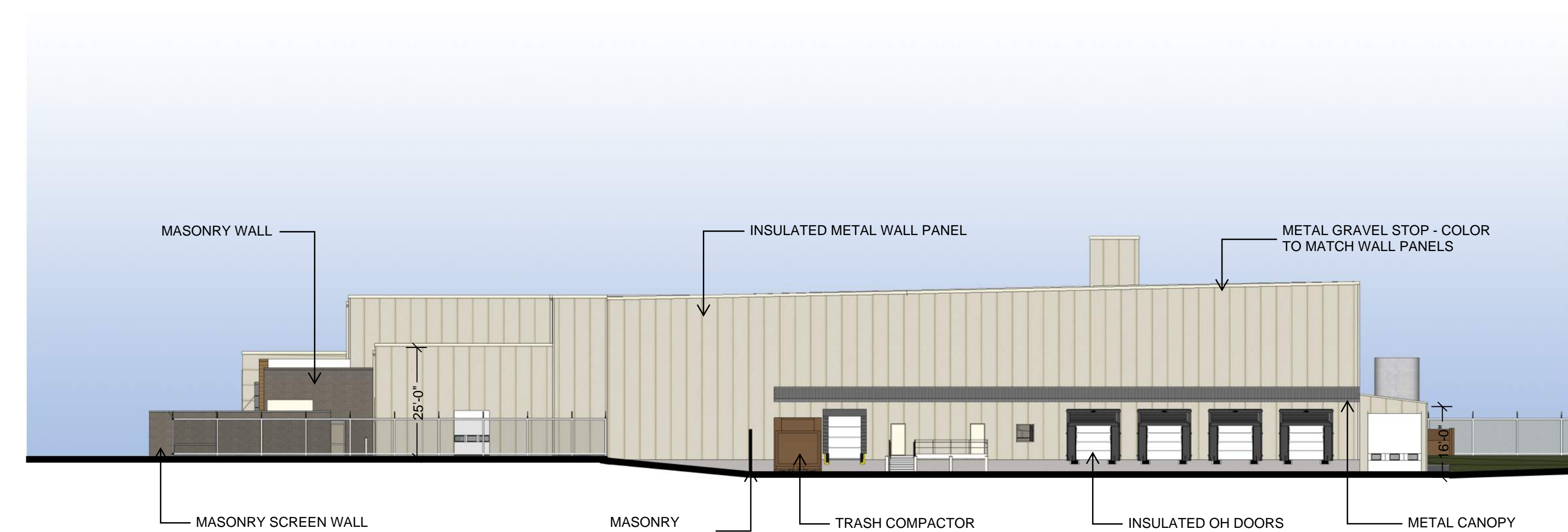
1 EAST ELEVATION
A300



2 WEST ELEVATION
A300



3 NORTH ELEVATION
A300



4 SOUTH ELEVATION
A300

PROPOSED NEW FACILITY FOR
STRAUSS BRANDS, INC.
LOOMIS ROAD
FRANKLIN, WI 53132

REVISIONS	
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DATE: 07/27/2020	JOB NO: 20-1257-01
DWG By: CBB	CHK'D By: DRR

SHEET TITLE
**OVERALL
EXTERIOR
ELEVATION**

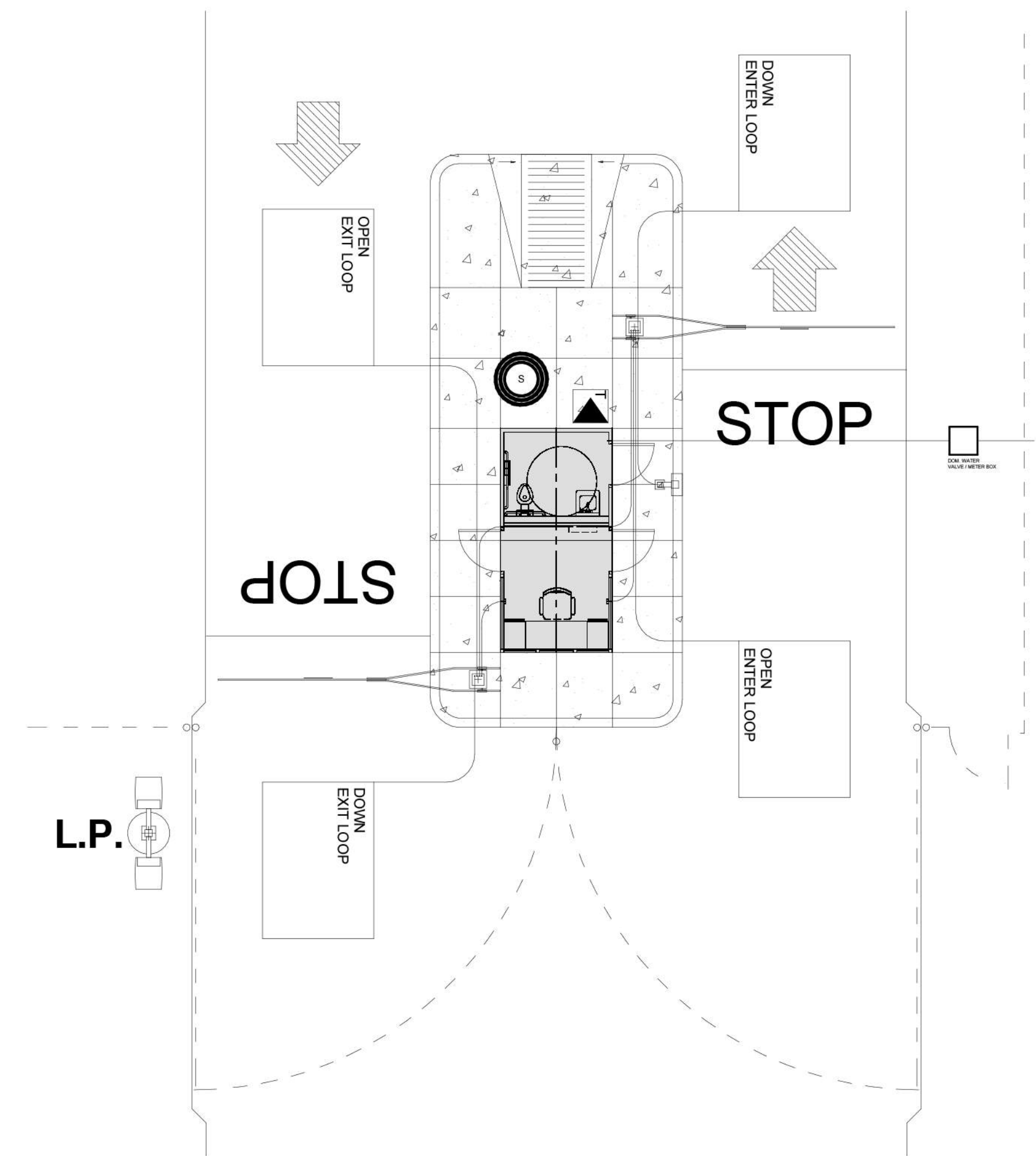
PRELIMINARY DWGS. |
FINAL CONST. DWGS. |

SHEET NUMBER

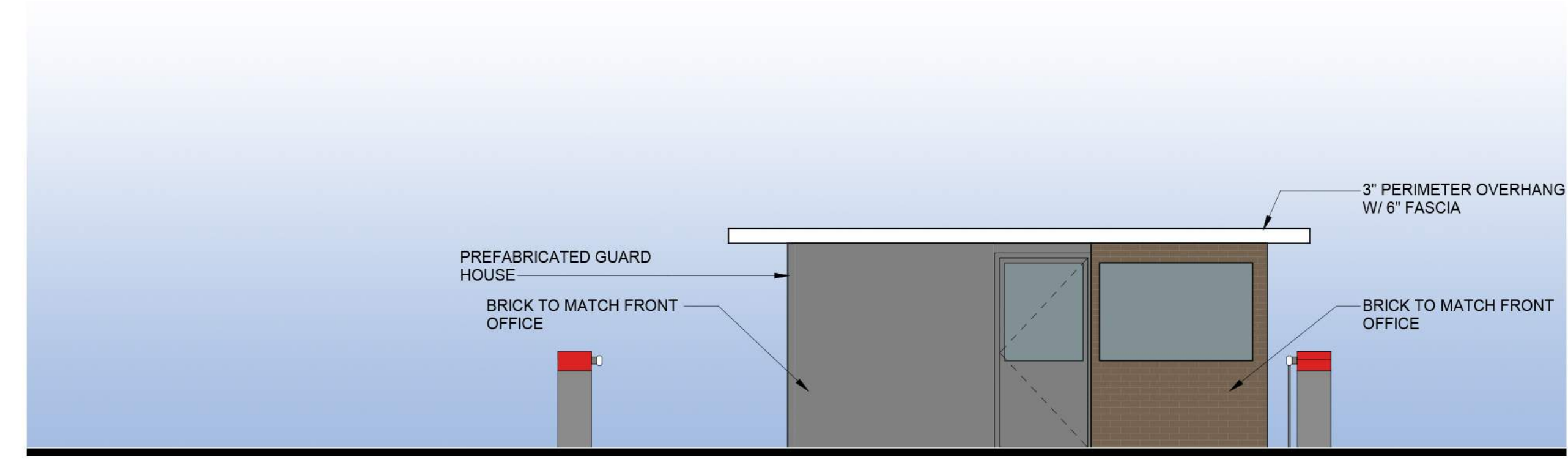
A3.1

ARCHITECTURAL

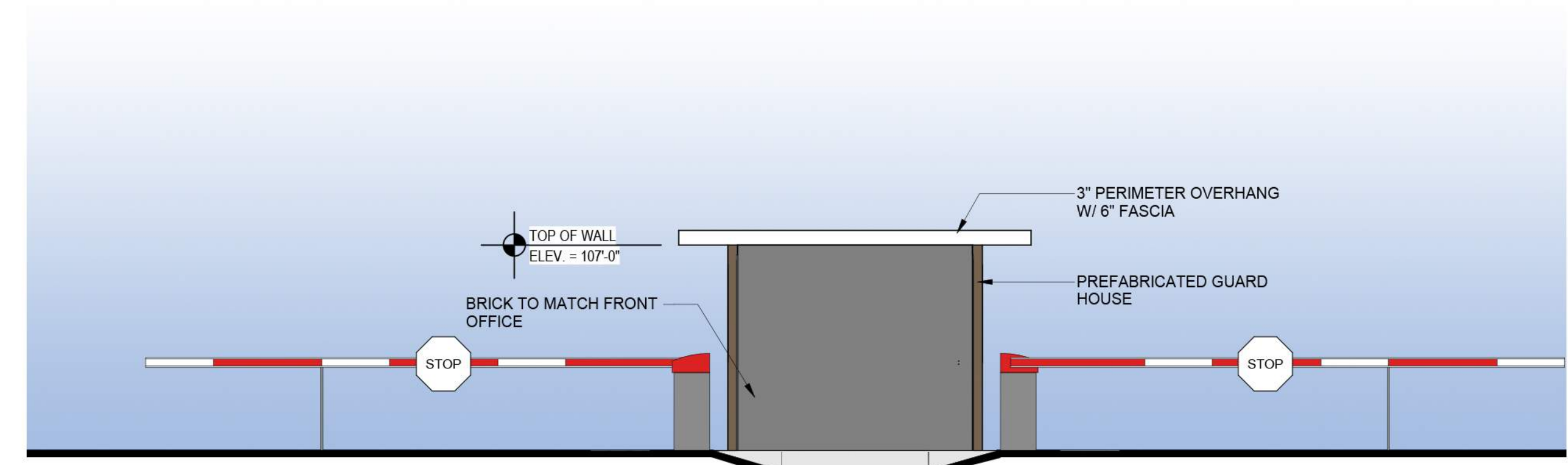
PRELIMINARY NOT FOR CONSTRUCTION



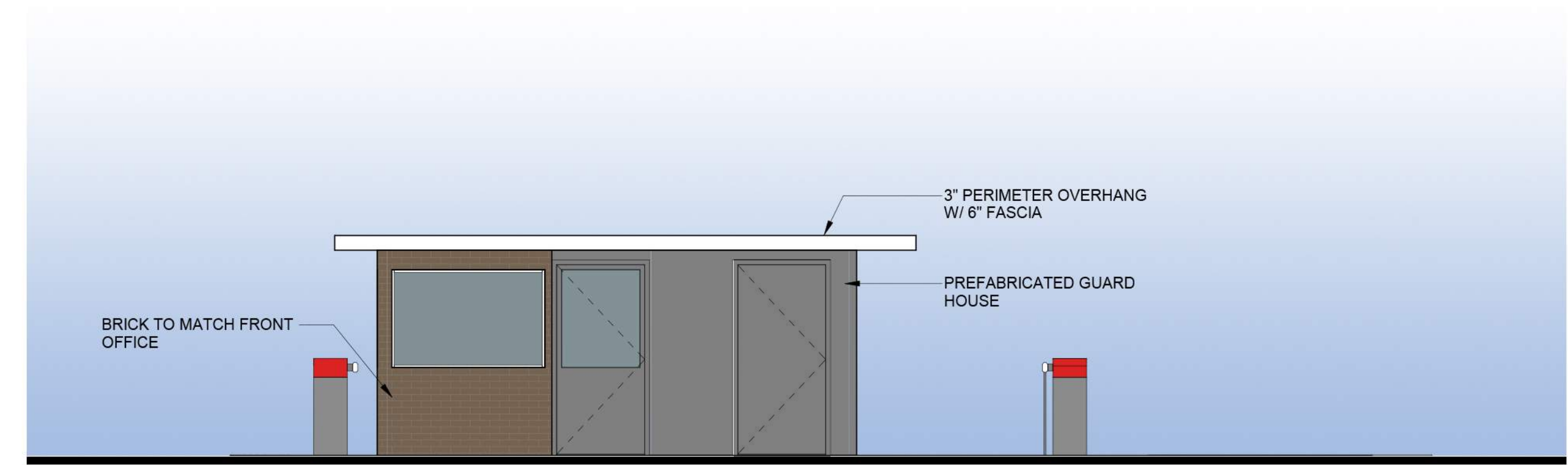
AREA 'E' - GUARDHOUSE PLAN
1/8" = 1'-0"



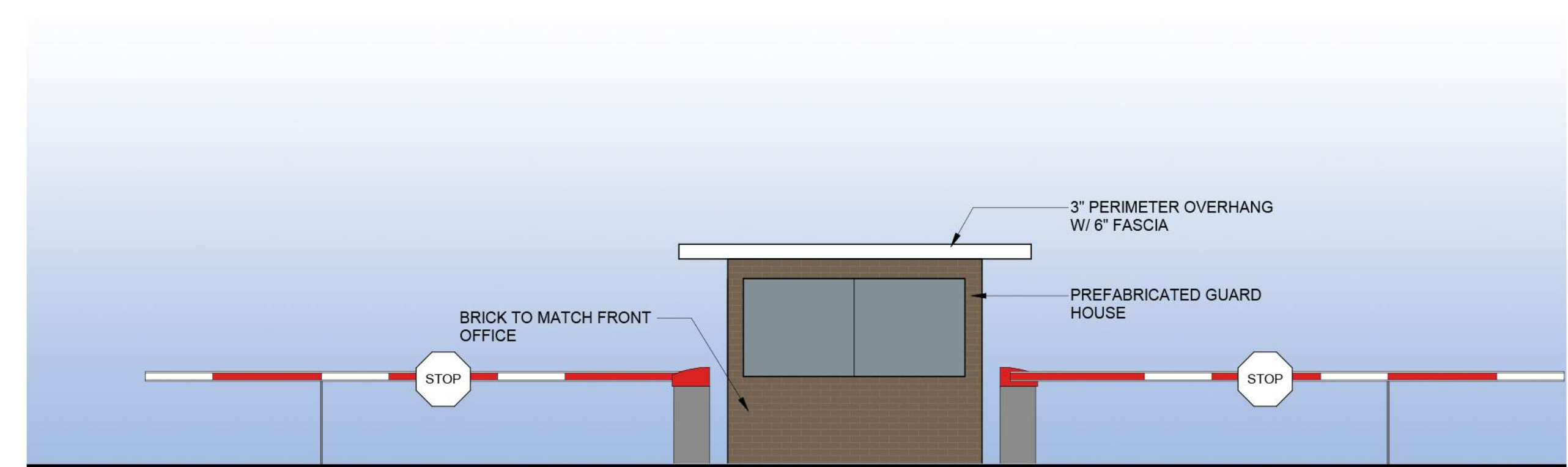
1 SOUTH ELEVATION - GUARDHOUSE
A3.2 1/4" = 1'-0"



2 EAST ELEVATION - GUARDHOUSE
A3.2 1/4" = 1'-0"



3 NORTH ELEVATION - GUARDHOUSE
A3.2 1/4" = 1'-0"



7 WEST ELEVATION - GUARDHOUSE
A3.2 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

DATE:	JOB NO.
07/27/2020	20-1257-01
DWG By:	CHK'D By:
DRR	DRR

SHEET TITLE
**GUARDHOUSE -
AREA 'E'**

PRELIMINARY
SHEET NUMBER

A3.2

ARCHITECTURAL

Gail Olsen

From: Regulo Martinez-Montilva
Sent: Thursday, September 24, 2020 8:45 AM
To: Sandi Wesolowski
Cc: Heath Eddy
Subject: RE: Strauss expansion discussion

Good morning Melanie,

The Strauss Special Use public hearing is scheduled for the October 8, Plan Commission meeting at 7:00pm. The meeting will be held in the Council Chambers at Franklin City Hall, the public is invited to attend and provide input during the public hearing.

Upon recommendation of the Plan Commission, this Special Use would be presented before the Common Council for final decision on October 20.

If you want to provide a written testimony, please send an e-mail to GeneralPlanning@franklinwi.gov, submit in person at City Hall or mail to the address below.

Thank you,

Régulo Martínez-Montilva, AICP
Associate Planner - Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Phone (414) 425-4024 / 427-7564
RMartinez-Montilva@franklinwi.gov



From: Sandi Wesolowski
Sent: Wednesday, September 23, 2020 8:07 PM
To: Jesse Wesolowski <jweslaw@aol.com>; Heath Eddy <HEddy@franklinwi.gov>; Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov>
Subject: FW: Strauss expansion discussion

From: Melanie Bartholf <mbartholf@ufcw1473.org>
Sent: Wednesday, September 23, 2020 11:55 AM
To: Sandi Wesolowski <SWesolowski@franklinwi.gov>
Subject: Strauss expansion discussion

Good morning Sandra,

Our local union represents the workers at the Strauss facility in Franklin. I understand that the proposed expansion of Strauss is coming up on the Plan Commission agenda as well as potentially going before the Common Council. Can you tell me which meetings (of either the Plan Commission or the Common Council) will have the Strauss expansion on the agenda? I am also wondering which meetings are open to the public, and the dates of those meetings, as well as

if we have the option to submit written testimony ahead of the meetings, for review by the commission/council, and what the process is for members of the public to be able to speak at either meeting?

Thank you,

Melanie Bartholf
Political Director / Service Director
UFCW Local 1473
Cell: (262) 598-4569

Gail Olsen

From: Marcelino Rivera III via Change.org <change@e.change.org>
Sent: Saturday, September 19, 2020 11:48 AM
To: General Planning
Subject: New petition to you: Stop Strauss Brands' 30+acre Slaughterhouse Expansion in Franklin, WI

Follow Up Flag: Follow up
Flag Status: Flagged

change.org

Franklin Planning Commission: you've been listed as a decision maker

Marcelino Rivera III started a petition on Change.org and listed you as a decision maker. Learn more about Marcelino Rivera III's petition and how you can respond:

Marcelino Rivera III is petitioning Franklin Planning Commission

Stop Strauss Brands' 30+acre Slaughterhouse Expansion in Franklin, WI

Intent The purpose of this petition is to notify all parties listed that we do not want Strauss Brands to be allowed to “expand” existing operations to the southeast corner of Hwy. H (old Ryan Road) and Hwy. 36 just behind...

[View the petition](#)

WHAT YOU CAN DO

1. View the petition: [Learn about the petition and its supporters](#).

You will receive updates as new supporters sign the petition so you can see who is signing and why.

2. Respond to the petition: [Post a response](#) to let the petition supporters know you’re listening, say whether you agree with their call to action, or ask them for more information.

3. Continue the dialogue: Read the comments posted by petition supporters and continue the dialogue so that others can see you’re an engaged leader who is willing to participate in open discussion.

CHANGE.ORG FOR DECISION MAKERS

On Change.org, decision makers like you connect directly with people around the world to resolve issues. [Learn more](#).

This notification was sent to GeneralPlanning@franklinwi.gov, the address listed as the decision maker.

[Privacy policy](#)

We’d love to hear from you! [Contact us](#) through our help center.

Change.org · 548 Market St #29993, San Francisco, CA 94104-5401, USA

MEMORANDUM

Date: October 1, 2020

To: Plan Commission

From: Department of City Development

RE: Land sale from the City of Franklin to a private entity.
9619 South 60th Street; Tax Key No. 898-9991-001. Property area: 1,000 square feet.

On September 23, 2020 the City of Franklin submitted a Miscellaneous Application requesting review and recommendation of the Plan Commission to the Common Council regarding the sale of the above-referenced property. City Engineer Morrow has provided a memo dated September 22, 2020 and related exhibits, which are attached.

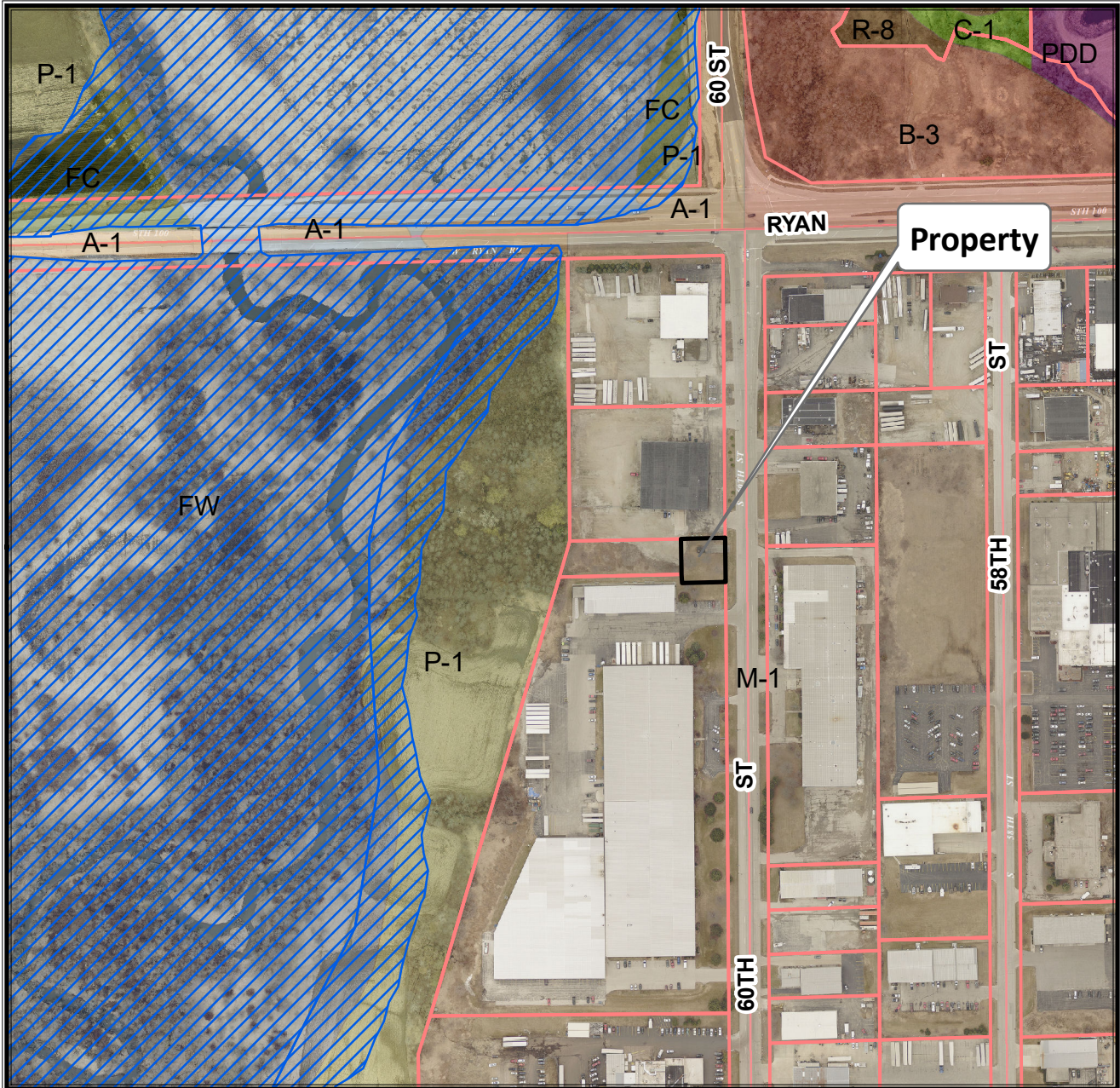
Department of City Development (DCD) staff circulated the application for comments from City departments. Inspection Services, Police, and Engineering had no comments on the proposed sale.

City development staff notes that the subject property does not meet the minimum lot area of 20,000 square feet for the M-1 Limited Industrial zoning district. Therefore, development of this property for a stand-alone project is difficult.

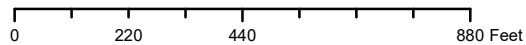
This Miscellaneous Application is subject to the review and recommendation of the Plan Commission to the Common Council.

Régulo Martínez-Montilva, AICP
Principal Planner - Department of City Development

9619 S. 60th Street
TKN: 898 9997 011

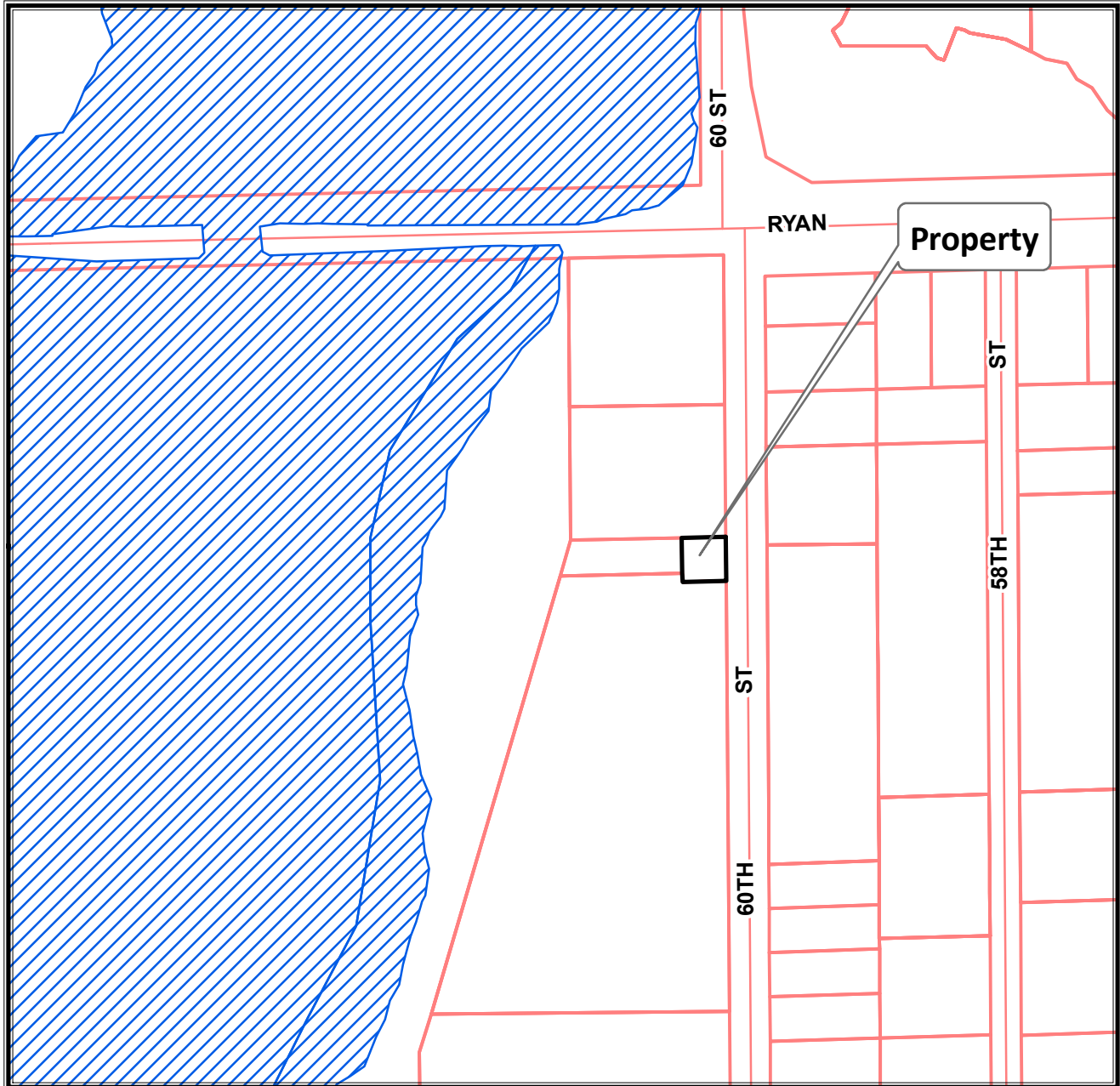


Planning Department
(414) 425-4024

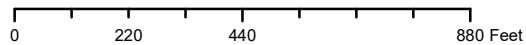


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

9619 S. 60th Street
TKN: 898 9997 011

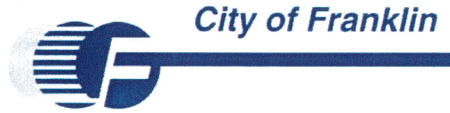


Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





Date of Application: _____

MISCELLANEOUS APPLICATION

Complete, accurate and specific information must be entered. Please Print.

<p>Applicant (Full Legal Name[s]):</p> <p>Name: <u>Mayor Stephen R. Olson</u></p> <p>Company: <u>City of Franklin</u></p> <p>Mailing Address: <u>9229 W. Loomis Road</u></p> <p>City / State: <u>Franklin, WI</u> Zip: <u>53132</u></p> <p>Phone: <u>(414) 425-7500</u></p> <p>Email Address: <u>solson@franklinwi.gov</u></p>	<p>Applicant is Represented by (contact person) (Full Legal Name[s]):</p> <p>Name: <u>Glen E. Morrow</u></p> <p>Company: <u>City of Franklin</u></p> <p>Mailing Address: <u>9229 W. Loomis Road</u></p> <p>City / State: <u>Franklin, WI</u> Zip: <u>53132</u></p> <p>Phone: <u>(414) 425-7510</u></p> <p>Email Address: <u>gmorrow@franklinwi.gov</u></p>
<p>Project Property Information:</p> <p>Property Address: <u>9619 S. 60th Street</u></p> <p>Property Owner(s): <u>City of Franklin</u></p> <p>Mailing Address: <u>9229 W. Loomis Road</u></p> <p>City / State: <u>Franklin, WI</u> Zip: <u>53132</u></p> <p>Email Address: <u>gmorrow@franklinwi.gov</u></p>	<p>Tax Key Nos: <u>898-9997-011</u></p> <p>Existing Zoning: <u>M-1- Limited Industrial Use</u></p> <p>Existing Use: <u>Vacant Water Well</u></p> <p>Proposed Use: <u>parking- landscaping</u></p> <p>Future Land Use Identification: <u>M-1- Limited Industrial Use</u></p>

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

Miscellaneous Application submittals for review must include and be accompanied by the following:

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin: \$125 N/A
- Legal Description for the subject property (WORD.doc or compatible format).
- (1) original and six (6) copies of a written Project Narrative, including detailed description of the project.
- Other information as may be deemed appropriate for the request.

- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- Submittal of Application for review is not a guarantee of approval.
- Plan Commission, Community Development Authority and/or Common Council review and approval may be required.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner
STEPHEN R. OLSON - MAYOR
 Name & Title (PRINT)
 Date: 9/22/2020

Signature - Applicant
GLEN E. MORROW - CITY ENGINEER
 Name & Title (PRINT)
 Date: 9-22-2020

 Signature - Property Owner

 Name & Title (PRINT)
 Date: _____

 Signature - Applicant's Representative

 Name & Title (PRINT)
 Date: _____

DATE: September 22, 2020

TO: Régulo Martínez-Montilva, AICP

COPY: Stephen R. Olson, Mayor
Heath Eddy, AICP, Planning Manager

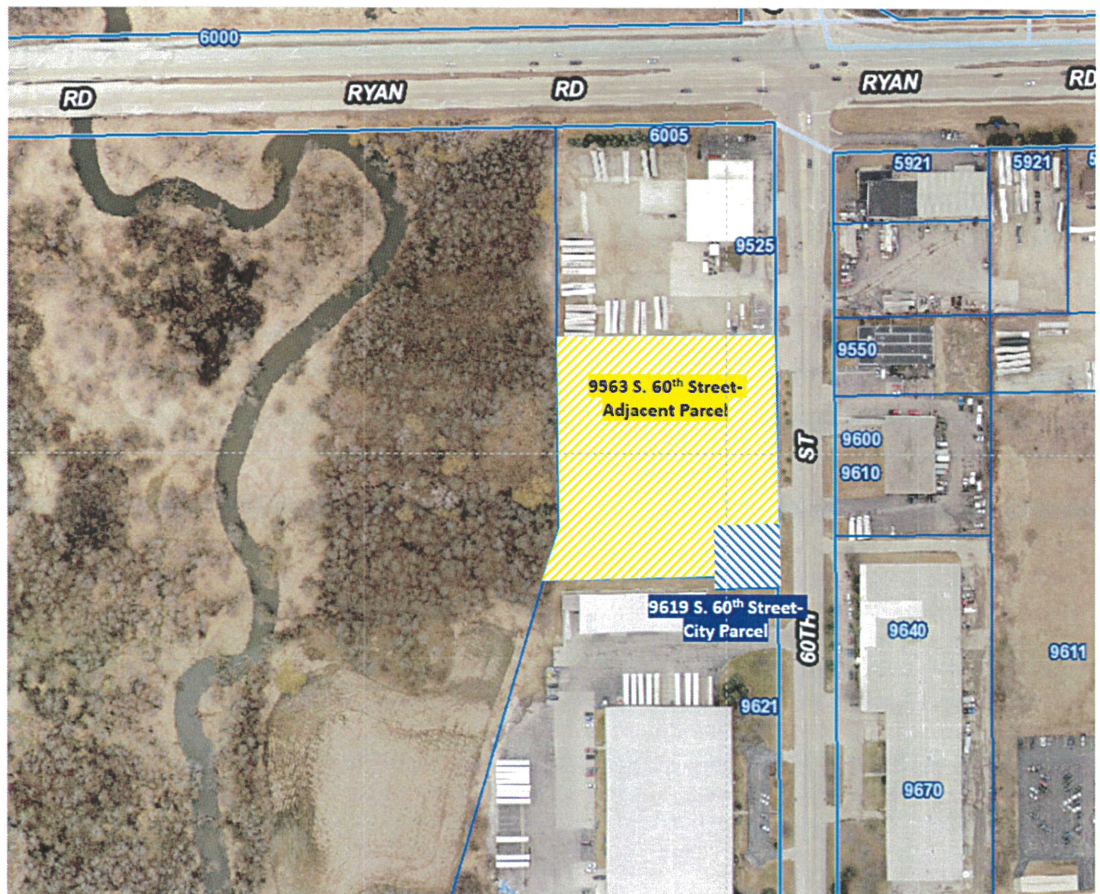
FROM: Glen E. Morrow, PE- City Engineer, Director of Public Works, & Utility Manager *Glen Morrow*

SUBJECT: 9619 S. 60th Street- TKN 898-9997-011

The subject parcel was once used as a well site for the Franklin Water Utility. The Utility has transitioned from wells to purchasing water from a wholesale supplier and no longer needs wells. This site has had watermain pipping removed and the well casing is still present, but has been abandoned per WDNR requirements.

Recently, an adjacent property owner was approached about purchasing this parcel and potentially adding to parking and landscaping. Common Council and the adjacent property owner have negotiated a purchase price and Common Council will soon consider a purchase agreement.

We understand that the Plan Commission must consider this transaction and make a recommendation to Common Council if this sale from the City to a private entity is acceptable.



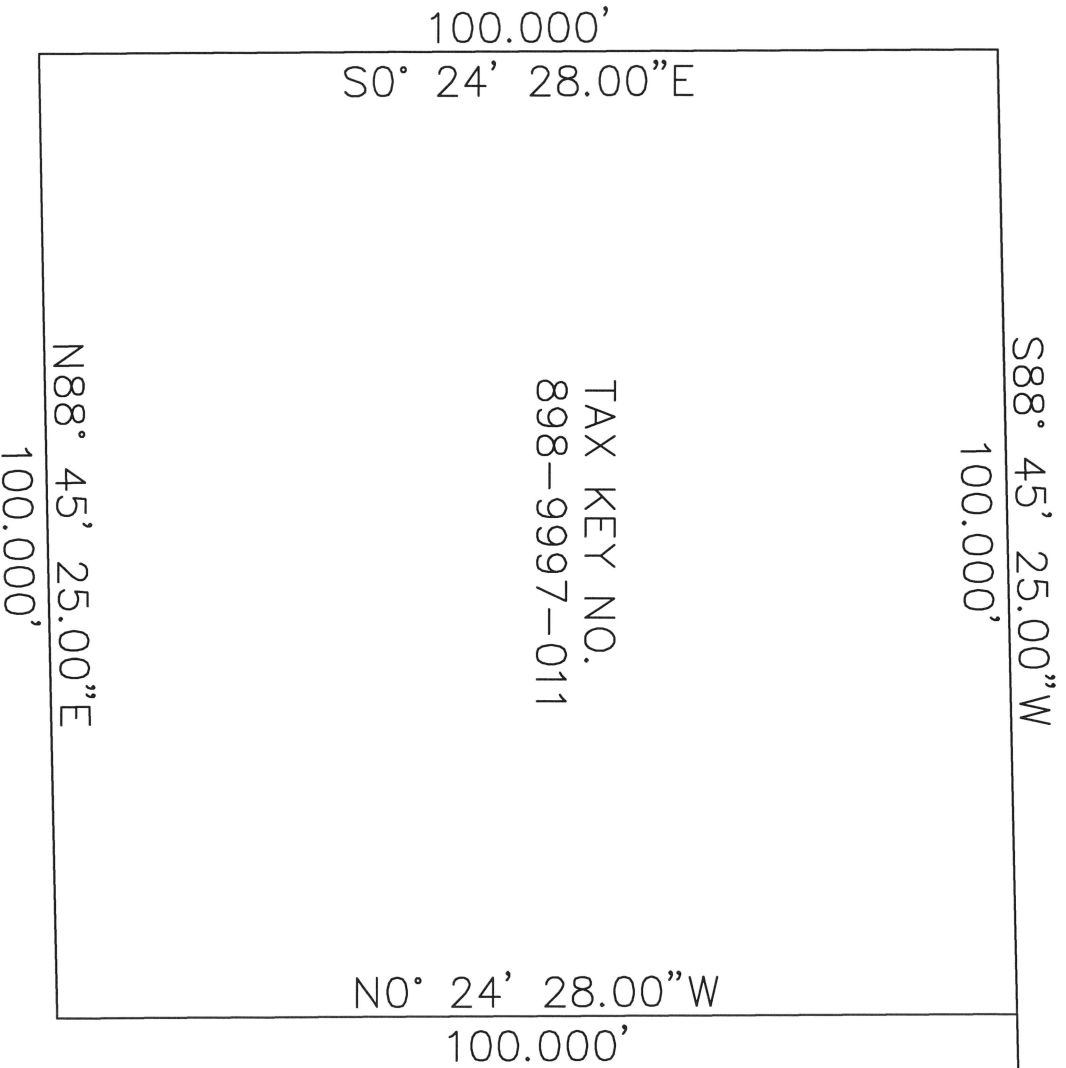
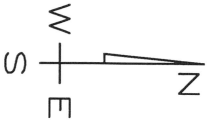
LEGAL DESCRIPTION
898-9997-011

THAT PART OF OUTLOT 1 OF THE RECORDED CERTIFIED SURVEY MAP NO. 4144, BEING A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2247 OF LANDS IN THE NORTHEAST 1/4 OF SECTION 27, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

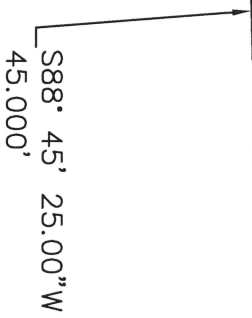
COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE S00°24'28"E ALONG THE EAST LINE OF THE NORTHEAST 1/4 SECTION, 700.00 FEET TO A POINT, THENCE S88°45'25"W, 45.00 FEET TO A POINT OF BEGINNING OF THE LANDS TO BE DESCRIBED; THENCE CONTINUE S88°45'25"W, 100.00 FEET TO A POINT; THENCE S00°24'28"E, 100.00 FEET TO A POINT; THENCE N88°45'25"E, 100.00 FEET TO A POINT; THENCE N00°24'28"W, 100.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,000.00 SQUARE FEET OR .02 ACRES PLUS OR MINUS.

FOR INFORMATIONAL ONLY.



NE COR
NE 1/4 OF SEC.27



MEMORANDUM

Date: October 8, 2020
To: Plan Commission
From: Department of City Development

RE: Miscellaneous application by the City of Franklin for the review and recommendation of a purchase of four parcels of land from KM Franklin Land Investment LLC, property owner (Tax Key Nos. 801-9984-000, 801-9985-000, 801-9986-000 and 801-9987-000.)

On September 23, 2020 the City of Franklin submitted a Miscellaneous Application requesting review and recommendation of the Plan Commission to the Common Council regarding the purchase of four parcels of land to be the site of a new elevated storage tower (water tower) for the Franklin Water Utility, and for the remaining lands to become a City of Franklin Park. City Engineer Morrow has provided a memo dated September 23, 2020 and related exhibits, which are attached.

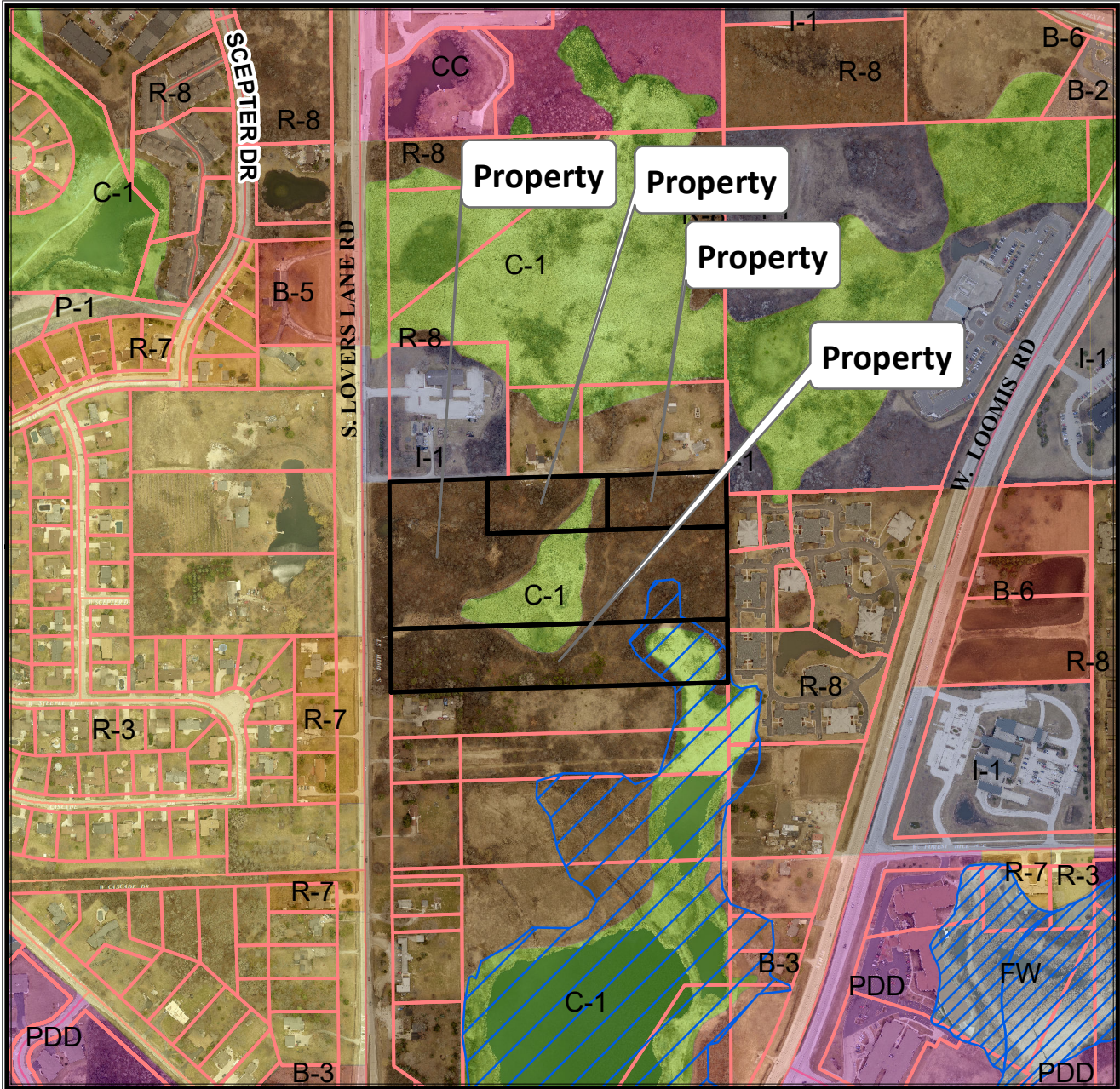
Department of City Development (DCD) staff circulated the application for comments from City departments. Inspection Services, Police, and Engineering had no comments on the proposed purchase.

DCD staff notes that a significant portion of the total site is designated by the Southeastern Wisconsin Regional Planning Commission as Environmental Corridor.

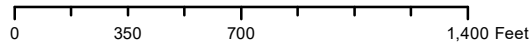
This Miscellaneous Application is subject to the review and recommendation of the Plan Commission to the Common Council.

Marion Ecks
Associate Planner - Department of City Development

TKNs 801 9984 000, 801 9985 000, 801 9986 000 & 801 9987 000

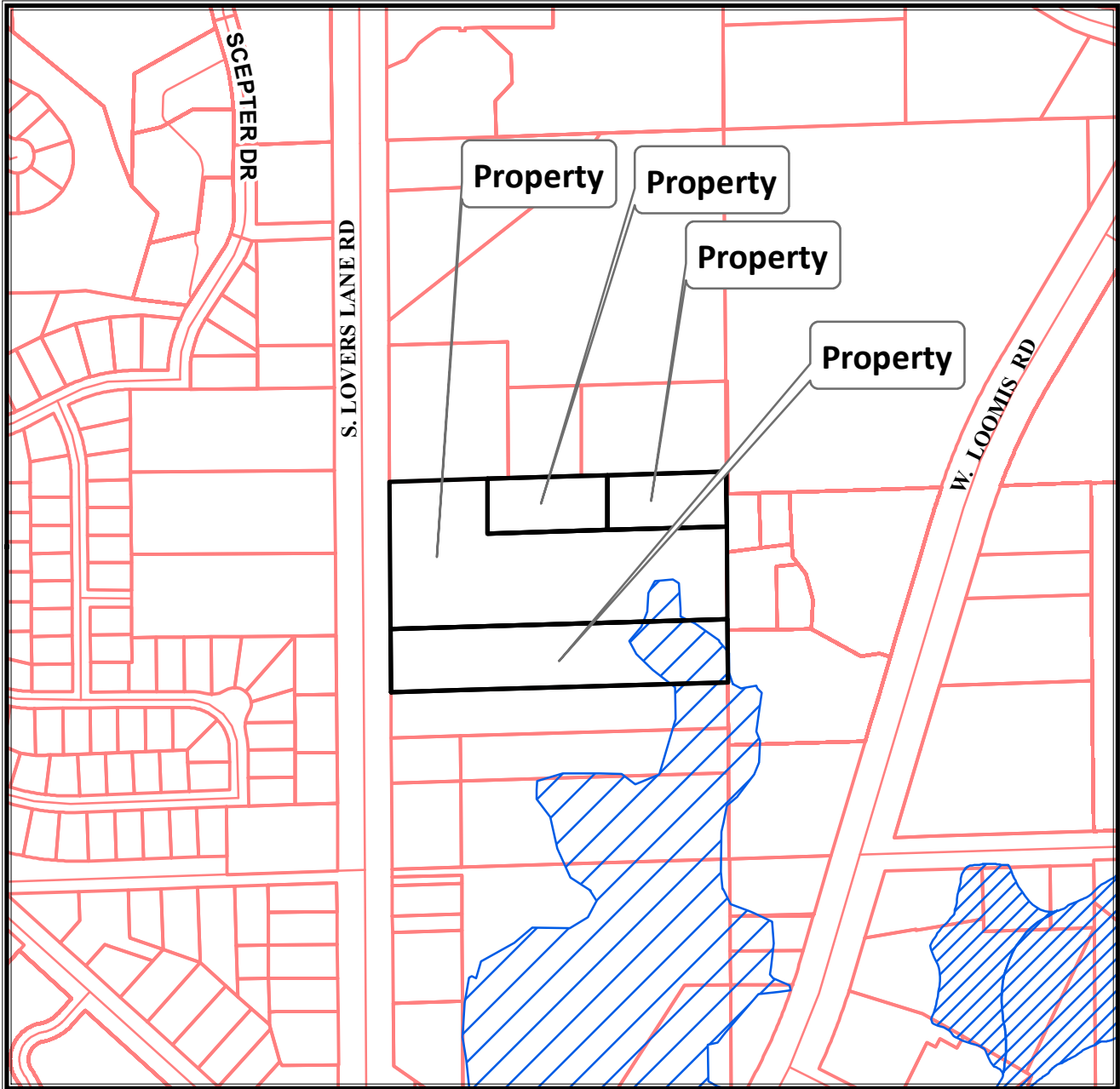


Planning Department
(414) 425-4024

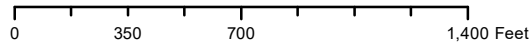


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

TKNs 801 9984 000, 801 9985 000, 801 9986 000 & 801 9987 000



Planning Department
(414) 425-4024




This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



DATE: September 23, 2020

TO: Régulo Martínez-Montilva, AICP

COPY: Stephen R. Olson, Mayor
Heath Eddy, AICP, Planning Manager

FROM: Glen E. Morrow, PE- City Engineer, Director of Public Works, & Utility Manager 

SUBJECT: 8100 Block S. Lovers Lane- TKNs 801-9985-000, 801-9984-000, 801-9986-000,
and 801-9987-000

The subject parcels have been investigated and found suitable for a new elevated storage tower for the Franklin Water Utility. The investigation included hydraulic analysis, wetland delineation, and soil borings.

The Parks Commission and the Common Council have also expressed an interest in development of a new park. The remainder of the four parcels have been investigated for wetland delineation.

It is anticipated that the Water Utility and the City Parks may share this site for their respective uses.

A purchase price is currently under negotiation with the City and the owners of the parcels. We understand that the Plan Commission must consider this transaction and make a recommendation to Common Council if this purchase by the City from a private entity is acceptable.

Enclosed are exhibits that illustrate

- Potential location of water tower site.
- Wetland Delineation
- Topography of the Site
- Comprehensive Outdoor Recreation Plan- Map 7.1 showing these parcels as a Planned Mini Park (PM-2)

If approved, this would be contingent upon transfer of property from the current owner to the City. If the transfer of property does not occur, any approvals would be null and void.



Date of Application: _____

MISCELLANEOUS APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):		Applicant is Represented by (contact person) (Full Legal Name[s]):	
Name: _____		Name: <u>Glen E. Morrow</u>	
Company: _____		Company: <u>City of Franklin</u>	
Mailing Address: _____		Mailing Address: <u>9229 W. Loomis Road</u>	
City / State: _____ Zip: _____		City / State: <u>Franklin, WI</u> Zip: <u>53132</u>	
Phone: _____		Phone: <u>(414) 425-7510</u>	
Email Address: _____		Email Address: <u>gmorrow@franklinwi.gov</u>	
Project Property Information:			
Property Address: <u>81XX S. Lovers Lane</u>		Tax Key Nos: <u>801-9985-000, 801-9984-000, 801-9986-000, and 801-9987-000</u>	
Property Owner(s): <u>KM FRANKLIN LAND INVESTMENT LLC</u>		Existing Zoning: <u>R-8</u>	
Mailing Address: <u>19000 W BLUEMOUND RD</u>		Existing Use: <u>Vacant</u>	
City / State: <u>BROOKFIELD W</u> Zip: <u>53045</u>		Proposed Use: <u>Utility and Park site, Contingent Upon</u>	
Email Address: <u>ds@pointre.com</u>		Future Land Use Identification: <u>CITY OF FRANKLIN ACQUISITION</u>	

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

Miscellaneous Application submittals for review must include and be accompanied by the following:

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin: \$125
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(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

KM Franklin Investment LLC
 BY: [Signature]
 Signature - Property Owner
Daniel C. Seale - Assistant Vice President
 Name & Title (PRINT)
 Date: 5/25/20

 Signature - Applicant
 Name & Title (PRINT)
 Date: _____

 Signature - Property Owner
 Name & Title (PRINT)
 Date: _____

 Signature - Applicant's Representative
 Name & Title (PRINT)
 Date: _____

AS

801-9984-000

Description :

North 200 ft of the South 1404.25 ft of the East 435 ft of the West half of Northeast 1/4 of Section 17, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

Contain 1.97 Acres.

and;

That part of the West 1/2 of the Northeast 1/4 of Section 17, Township 5 North, Range 21 East in the City of Franklin, Milwaukee County, Wisconsin bounded and described as follows:

Commencing at a point in the West Line of said 1/4 section, 640 feet North of the Southwest corner of said 1/4 section, thence Easterly and part to the South line of said 1/4 section, 1322.88 feet to a point in the North and South 1/8 line of said 1/4 section, thence Northerly along said 1/8 line, 764.25 feet to a point, thence Westerly and part to the South line of said 1/4 section, 1324.05 feet to the West line of said 1/4 section, the South along the West line of said 1/4 section, 764.25 feet to the point of beginning. Excepting therefrom the W 100 ft conveyed for highway purposes.

(Parts of this description are assessed on key nos 801-9985, 801-9986, 801-9987)

801-9985-000

Description:

West 435 ft of East 870 feet of North 200 ft of South 1404.25 feet of West half of the Northeast 1/4 of Section 17, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

Contains. 1.997 Acres.

and;

(See Description on key no 801-9985; Description also covers Key nos 801-9984, 801-9986, 801-9987)

801-9986-000

Description:

North 534.25 feet to South 1404.25 feet of West half of Northeast 1/4 of Section 17, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County. Except North 200 feet of East 870 feet thereof and except West 100 feet for Hwy.

Containing 11.032 Acres.

(See Description on key no 801-9985 ; Description also covers key nos 801-9984, 9985, 9987)

801-9987-000

Description:

North 230 feet of South 870 feet of West half of Northeast 1/4 of Section 17, Township 5 North, Range 5 East, in the City of Franklin, Milwaukee County, Wisconsin.

Except West 100 ft for Hwy.

Containing 6.460 Acres

(See description on key no 801-9985; Description also covers key nos 801-9984, 9985, 9986)

Exception:

Schubert Quit Claimed portion to State of Wisconsin 2/20/1970

The W 100 ft of the lands delineated in description no. 1 below:

That part of the West 1/2 of the Northeast 1/4 of Section 17, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin bounded and described as follows:
Commencing at a point in the West line of said 1/4 section, 640 feet North of the Southwest corner of said 1/4 section; thence Easterly and part to the South line of said 1/4 section, 1322.88 feet to a point in the North and South 1/8 line of said 1/4 section, thence Northerly along said 1/8 line 764.25 feet to a point; thence Westerly and part to the South line of said 1/4 section, 1324.05 feet to the West line of said 1/4 section, the South along the West line of said 1/4 section, 764.25 to the point of beginning. This parcel contains 1.014 Acres more or less exclusive of those lands previously reserved conveyed or dedicated for Hwy purposes.

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L:\ENGDOCS\Ronnie\Legal Desc for 801-9984 thru 801-9987-000_ronnie.docx



City of Franklin
 Lovers Lane Road (STH 100) Site
 City of Franklin
 Milwaukee County, Wisconsin

Map Legend

- Colvert
- Sampling Point
- Boundary
- Off-site Wetland
- Possible Ditch
- ▨ Submerged Wetland (8.00 Acres)
- ▨ Boundary
- ▨ Study Area (22.76 Acres)

ENR, NRE, GORRIS, & OPERATIONS CONSULTANTS

Figure 2
 Wetland Boundary
 Map



25

City of Franklin
Lovers Lane Road (STH 100) Site
City of Franklin
Milwaukee County, Wisconsin

Map Legend

- Drainage
- Off-site Wetland
- Delimited Wetland/Drainage (6.68 Acres)
- Study Area (22.76 Acres)

Bar: NAD83, Contour: 63.00m Contour Interval: 0.30m

Figure 3
Contour Map

raSmith
CREATIVITY BEYOND ENGINEERING

July 23, 2026
1:25,000
0 62.5 125
1 Inch = 125 Feet



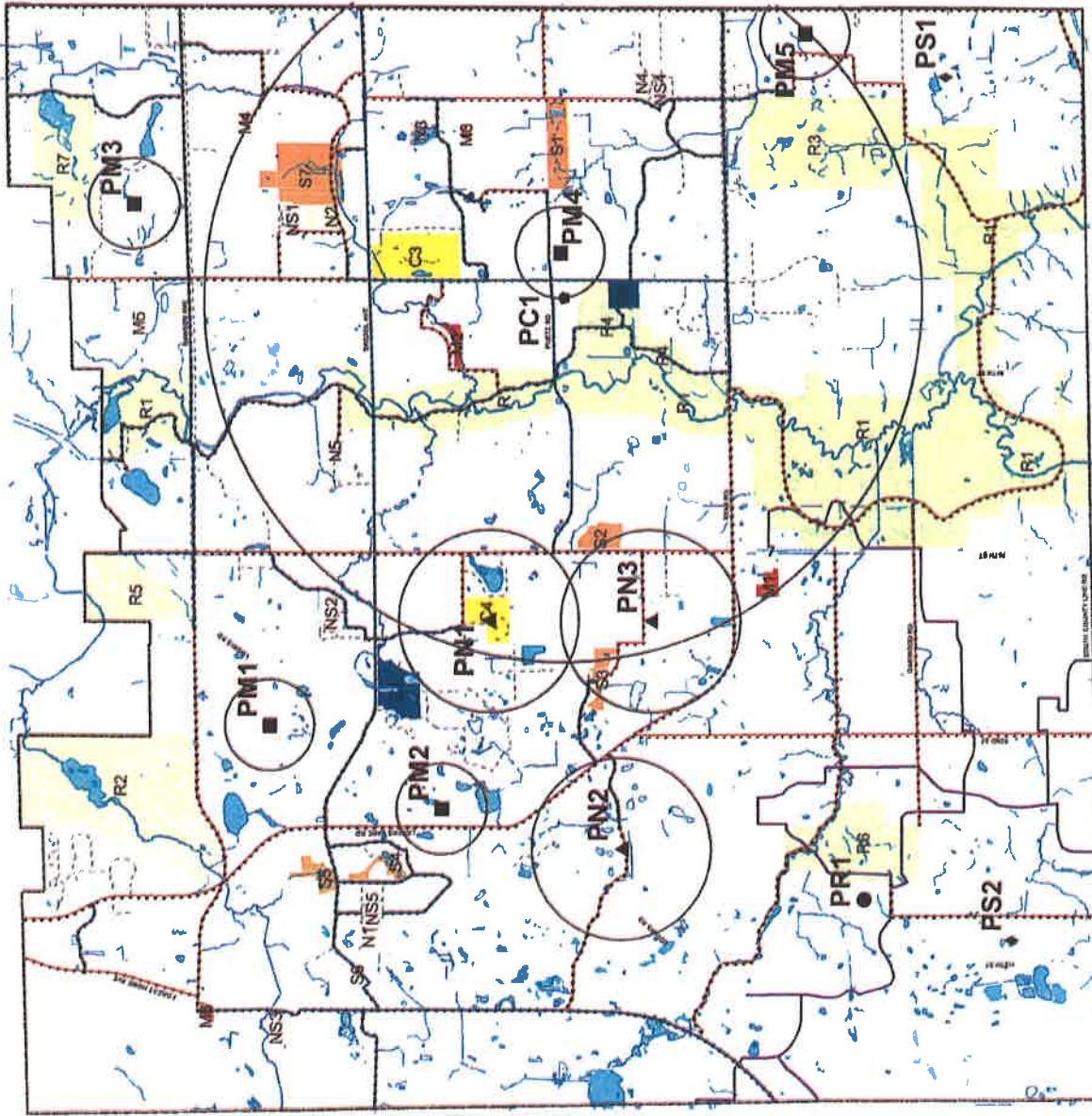
RF



COMPREHENSIVE OUTDOOR RECREATION PLAN
MAP 7.1 EXISTING AND PLANNED PUBLIC OUTDOOR RECREATION SITES: 2010

LEGEND

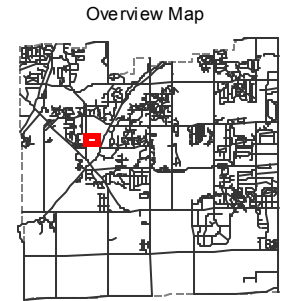
- City Boundary
 - Water
 - Existing "Non Trail Network" Sidewalk
 - Proposed Public Park Sites
 - Planned Community Park
 - Planned Mini Park
 - Planned Neighborhood Park
 - Planned Regional Park
 - Planned Special Park
 - PC1 = Community Rec. Center Bldg. Park
 - PM1 - PM5 = Mini Parks
 - PN1 = Forest Hills Neighborhood Park
 - PN2 = Filbert Neighborhood Park
 - PN3 = Spooner Neighborhood Park
 - PR1 = Southwest Park
 - PS1 = Main Woods Special Park
 - PS2 = Metro Conservancy Park
 - Service Area Radii of Planned Facilities
 - Trail Type
 - Road Shoulder
 - Sidewalk
 - Trail
 - Unknown
 - Trail System Status
 - Existing
 - Proposed
- EXISTING PUBLIC PARK SITES**
- REGIONAL AND SUB-COMMUNITY PARKS:**
- R1 Forest Hills Community Park
 - R2 Woodland Park
 - R3 Filbert Park
 - R4 Main Woods Community Park
 - R5 Forest Park
 - R6 Forest Park
 - R7 Community Park
- COMMUNITY PARKS:**
- C1 Main Woods Community Park
 - C2 Forest Hills Community Park
 - C3 Forest Hills Community Park
 - C4 Forest Hills Community Park
- MINI PARKS:**
- M1 21 Maple (Beverlywood)
 - M2 Pleasant View
 - M3 Jack Wilcox Park
 - M4 Woodland Park
 - M5 Community Park
 - M6 Main Woods Community Park
 - M7 Pleasant View Community Park
 - M8 Pleasant View Community Park
 - M9 Pleasant View Community Park
 - M10 Pleasant View Community Park
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City of Franklin
 Comprehensive Outdoor Recreation Plan
 Map 7.1 Existing and Planned Public Outdoor Recreation Sites: 2010

2/10

Franklin Utility Viewer Map - SEWRPC Environmental Corridor



- Aldermanic District
- Building
- City Boundary
- Condo
- CSM
- Easement
- Elementary District
- Environmental Corridor
- FEMA DFIRM Flood - Zone A
- FEMA DFIRM Flood - Zone AE
- FEMA - 0.2% Annual Chance
- Parcel
- Park
- Pavement
- County or State Hwy
- Local Road
- Road Right-of-Way
- School District
- Wetland

- Zoning Districts**
- | | | |
|-----|------|------|
| A-1 | FFO | R-2 |
| A-2 | FW | R-3 |
| B-1 | I-1 | R-3E |
| B-2 | I-I | R-4 |
| B-3 | M-1 | R-5 |
| B-4 | M-2 | R-6 |
| B-5 | M-3 | R-7 |
| B-6 | OL-1 | R-8 |
| B-7 | OL-2 | RC-1 |
| BP | P-1 | VB |
| CC | PDD | VR |
| C-1 | R-1 | R-1E |

Legend includes all layers even if they are not visible in the map.

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