

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, APRIL 22, 2021, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of April 8, 2021.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **ILLIE TINTS AUTOMOTIVE WINDOW TINTING SERVICE BUSINESS.** Special Use application by Michael A. LaFuentes, owner of ILLIE Tints, LLC, to operate an automotive window tinting service business, with hours of operation from 9:00 a.m. to 5:00 p.m., Monday through Friday, and on Saturday from 9:00 a.m. to 2:00 p.m., in an existing building located at 8581 South 27th Street, property zoned B-4 South 27th Street Mixed-Use Commercial District; Tax Key No. 832-9997-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **FOREST PARK MIDDLE SCHOOL LAND COMBINATION.** Land Combination application by Franklin Public Schools for combining three (3) properties located at West Forest Hill Avenue: 8225-8255, Forest Park Middle School (39.39 acres), 8429, formerly “Luxembourg Gardens” (9.68 acres) and 8459 (3.85 acres) [the resulting Forest Park Middle School site will be approximately 54 acres], properties zoned I-1 Institutional District; Tax Key Nos. 838-9978-000, 839-9990-000 and 839-9991-004.
2. **FRANKLIN VILLAGE SHOPPING CENTER SIGNAGE.** Master Sign Program Amendment application by Franklin Village Properties, LLC, property owner, to allow for signage changes within the shopping center, specifically, to remove the anchor tenant sign from the Master Sign Program (such sign was approved as part of the Master Sign Program but never installed), remove the existing Franklin Village pole sign, its electronic message center and bollards, and

increase the multi-tenant pylon sign area from 152 square feet to 235 square feet [the alterations to the existing multi-tenant pylon sign are limited to sign cabinets (the location and structure of this sign will remain), this multi-tenant sign currently has 1 header cabinet and 7 tenants cabinets, while the applicant is proposing 1 header cabinet, 1 electronic message center and 1 tenants cabinet that may allow up to 16 tenant signs (the overall sign area with this amendment will be reduced from 917 square feet to 900 square feet, a 17 square foot decrease)], for property zoned B-3 Community Business District, located at 7101-7131 South 76th Street (Franklin Village); Tax Key No. 755-0038-001.

3. **BALLPARK COMMONS MIDWEST ORTHOPEDIC SPECIALTY HOSPITAL BUILDING INDOOR SPORTS COMPLEX WITHIN PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) INCREASE IN MAXIMUM SIGNAGE.**
Unified Development Ordinance §15-3.0442 Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Amendment (Major) application by Christopher D. Buday, River Rock Performance Properties, LLC (BPC County Land, LLC, property owner), to allow for signage changes, specifically, to increase the total sign face area (City of Franklin Municipal Code allows a maximum of approximately 750 square feet) for the new Indoor Sports Complex located at 7095 South Ballpark Drive, within Ballpark Commons, to a total of 12,507 square feet in area distributed in 38 signs, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1005-000. [THE PUBLIC HEARING FOR THIS APPLICATION WAS PREVIOUSLY NOTICED FOR, OPENED AND CLOSED AT THE APRIL 8, 2021 MEETING AND THE SUBJECT MATTER IS CONTINUED FROM THE APRIL 8, 2021 PLAN COMMISSION MEETING.]

4. **KIDS CONNECTION CHILDCARE CENTER DAYCARE FACILITY.**
Site Plan application by Kristopher A. Kraussel/B & B Investments of Rawson, LLC (Kristopher A. Kraussel and Tina M. Kraussel, property owners) to allow for construction of a 10,509 square foot single-story building as well as an associated 3,419 square foot playground (aluminum fencing around the perimeter) on the east side of the building, 47 parking spaces, two driveways with connection to Rawson Avenue, landscaping, outdoor lighting and a bioretention basin on the west end of the property for onsite storm water management (a turn lane on Rawson Avenue, in the eastbound lane of traffic, will be constructed per Milwaukee County requirements), with hours of operation Monday through Friday [child daycare services under Standard Industrial Classification Code No. 8351 is a Permitted Use in the B-4 South 27th Street Mixed-Use Commercial District], upon property located at 3030-3130 West Rawson Avenue (northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard,

approximately 2.21 acres of vacant land), zoned B-4 South 27th Street Mixed-Use Commercial District and FC Floodplain Conservancy District; Tax Key No. 738-9991-001, Requested Waivers of South 27th Street Design Overlay District Standards:

- a. 15-3.0353B. Coordination of site furnishings (lighting and site furnishings [benches, trash receptacles, bicycle racks, etc.])-**request for waiver of this requirement.**
- b. 15-3.0354C.1. Interior Landscaping for Off-street Parking Areas (a minimum of 20 square feet of interior landscaped island shall be provided per parking stall)-**request for waiver of this requirement.**
- c. 15-3.0355A.1. Building Character and Design (buildings located on prominent sites-such as key intersections, corners, terminations of street vistas, and on high points-shall be multi-story and exhibit quality architectural design to serve as landmarks)-**request for waiver of this requirement.**
- d. 15-3.0355B.8.d. Pedestrian Accessibility (buildings shall utilize a corner entrance to the building)-**request for waiver of this requirement.**
- e. 15-3.0355B.10.c. External Storage (all trash collection areas must be located withing the structure, or behind the building in an enclosure)-**request for waiver of this requirement.**

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: May 6, 2021

**City of Franklin
Plan Commission Meeting
April 8, 2021
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the April 8, 2021, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Patricia Hogan and Adam Burckhardt and Alderman Mark Dandrea, City Engineer Glen Morrow and City Attorney Jesse Wesolowski. Participating remotely were Commissioner Kevin Haley and Economic Development Director Calli Berg. Also present were Planning Manager Heath Eddy, Principle Planner Regulo Martinez-Montilva, Associate Planner Marion Ecks and Alderwoman Shari Hanneman. Commissioner Leon left at 8:05 p.m..

B. Approval of Minutes

- 1. Regular Meeting of March 18, 2021

Commissioner Hogan moved and Commissioner Leon seconded approval of the March 18, 2021 regular meeting minutes. On voice vote, all voted 'aye'. Motion carried (6-0-0).

C. Public Hearing Business Matters

2. OAKWOOD INDUSTRIAL PROPOSED BUILDINGS I AND II AND SITE DEVELOPMENTS; NATURAL RESOURCE FEATURES SPECIAL EXCEPTION, SPECIAL USE AND SITE PLAN. Natural Resource Features Special Exception, Special Use and Site Plan applications by WP Property Acquisitions LLC, Wendt Family Trust, property owner, to allow for the construction of a 235,000 square foot industrial building, and eventual construction of a second building, the Natural Resource Features Special Exception impacting one of the three wetlands on the property (2.167 acres), specifically, grading and filling 0.23 acres (9,784 square feet) of wetland, 0.60 acres (26,132 square feet) of wetland buffer and 0.79 acres (34,466 square feet) of wetland setback, and the development will also remove 39% of young woodland on the site (the City of

Associate Planner Marion Ecks presented the request by WP Property Acquisitions LLC, Wendt Family Trust, property owner, to allow for the construction of a 235,000 square foot industrial building, and eventual construction of a second building, the Natural Resource Features Special Exception impacting one of the three wetlands on the property (2.167 acres), specifically, grading and filling 0.23 acres (9,784 square feet) of wetland, 0.60 acres (26,132 square feet) of wetland buffer and 0.79 acres (34,466 square feet) of wetland setback, and the development will also remove 39% of young woodland on the site (the City of Franklin Unified Development Ordinance permits impacts up to 50% without requiring an exception); **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS NATURAL RESOURCE FEATURES SPECIAL EXCEPTION APPLICATION;** a Special Use to permit off-street overnight parking (along the west property line behind the proposed industrial buildings) for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants

Franklin Unified Development Ordinance permits impacts up to 50% without requiring an exception); **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS NATURAL RESOURCE FEATURES SPECIAL EXCEPTION**

APPLICATION; a Special Use to permit off-street overnight parking (along the west property line behind the proposed industrial buildings) for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants have yet to be identified); **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS SPECIAL USE**

APPLICATION; and a Site Plan for a phased development of the former Wendt Farm, as follows:

Initial Phase: site grading, establish erosion control and the stormwater management system, routing of the wetland area through a piping system, and preparation for stockpiling; then construction of the first building, adjacent to Oakwood Road (235,000 square feet) including 50 truck parking spaces and 120 regular auto parking spaces;

Later Phase (Site Plan approval request will follow after ATC power line towers are moved): further site grading as needed, depending on the rerouting of the ATC (Available Transmission Capacity) power line towers; development of a 300,000 square foot building, along with truck parking spaces and regular auto parking spaces; property located at 3617 West Oakwood Road, zoned Planned Development District No. 39 (Mixed Use Business Park); Tax Key No. 950-9997-002, Requested Waivers of Planned Development District No. 39 (Mixed Use Business Park) Design Standards, Section 15-3.0444B.D. Business Park Area Design Standards:

have yet to be identified); **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS SPECIAL USE APPLICATION**; and a Site Plan for a phased development of the former Wendt Farm, as follows:

Natural Resource Special Exception

The Official Notice of Public hearing was read in to the record by Planning Manager Heath Eddy and the Public Hearing was opened at 7:09 p.m. and closed at 7:12 p.m..

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to recommend approval of the WP Property Acquisitions LLC Natural Resource Features Special Exception pursuant to the Standards, Findings and Decision recommended by the Plan Commission and Common Council consideration of the Environmental Commission recommendations. On voice vote, all voted 'aye'. Motion carried (6-0-0).

Special Use

A Special Use to permit off-street overnight parking (along the west property line behind the proposed industrial buildings) for vehicles exceeding 8,000 pounds manufactured Gross Vehicle Weight (which requires Special Use approval per Section 15-3.0444B.D.1.a.iii. (Design Standards, addendum to Ordinance No. 2016-2238) of the Unified Development Ordinance) (tenants have yet to be identified); **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS SPECIAL USE APPLICATION**.

The Official Notice of Public hearing was read in to the record by Planning Manager Heath Eddy and the Public Hearing was opened at 7:13 p.m. and closed at 7:14 p.m..

Commissioner Hogan moved and Commissioner Leon seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for overnight parking for vehicles exceeding 8,000 pounds manufactured gross vehicle weight as part of the development of two industrial buildings totaling approximately 500,000 square feet in area, and potentially up to 600,000 square feet in area, upon property located at 3617 West Oakwood Road. On voice vote, all voted 'aye'. Motion carried (6-0-0).

Initial Phase: site grading, establish erosion control and the stormwater management system, routing of the wetland area through a piping system, and preparation for stockpiling; then construction of the first building, adjacent

a. 15-3.0444B.D.1.a.iv. Parking required and location regulated (parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard)-**request for all employee and visitor parking in front of the buildings.**

b. 15-3.0444B.D.1.a.v. and vi. Parking required and location regulated (loading and unloading areas shall be located to the side-yard or rear-yard and screened so as to minimize their view from adjacent streets and sites) and (all parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms, and/or decorative fences)-**request to waive requirement for additional screening of the loading area.**

c. 15-3.0444B.D.2.a.i. Open Spaces required and location regulated (not less than one-half of the required building setback area from any dedicated street shall be devoted solely to lawns, trees, shrubs, and other landscaping)-**request for all employee and visitor parking in front of the buildings.**

d. 15-3.0444B.D.4.a.ii. and iii. Building Character and Design regulated (all exterior materials shall be durable, of high-quality, utilized true to form (such as stone below wood rather than the opposite), and appropriate for external use) (brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions)-**request to use articulated, painted precast concrete wall panels for the exterior walls.**

e. 15-3.0444B.D.4.a.xi. Building Character and Design regulated (outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative fencing, and/or landscaping)-**request to waive requirement for additional screening of the loading area.**

to Oakwood Road (235,000 square feet) including 50 truck parking spaces and 120 regular auto parking spaces; Later Phase (Site Plan approval request will follow after ATC power line towers are moved): further site grading as needed, depending on the rerouting of the ATC (Available Transmission Capacity) power line towers; development of a 300,000 square foot building, along with truck parking spaces and regular auto parking spaces; property located at 3617 West Oakwood Road, zoned Planned Development District No. 39 (Mixed Use Business Park); Tax Key No. 950-9997-002, Requested Waivers of Planned Development District No. 39 (Mixed Use Business Park) Design Standards, Section 15-3.0444B.D. Business Park

Waivers

Area Design Standards:

a. 15-3.0444B.D.1.a.iv. Parking required and location regulated (parking in front of buildings shall be designed primarily for visitors and high turnover usage with employee parking to be located to the side-yard or rear-yard)-**request for all employee and visitor parking in front of the buildings.**

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to waive the required standards under 15-3.0444B.D.1.a.iv. pertaining to parking. On voice vote, all voted 'aye'. Motion carried (6-0-0).

b. 15-3.0444B.D.1.a.v. and vi. Parking required and location regulated (loading and unloading areas shall be located to the side-yard or rear-yard and screened so as to minimize their view from adjacent streets and sites) and (all parking, loading, and unloading areas shall be screened from adjacent streets and sites utilizing landscaping, berms, and/or decorative fences)-**request to waive requirement for additional screening of the loading area.**

Alderman Dandrea moved and Commissioner Leon seconded a motion to waive the required standards under 15-3.0444B.D.1.a.v. and vi. pertaining to parking. On voice vote, all voted 'aye'. Motion carried (6-0-0).

c. 15-3.0444B.D.2.a.i. Open Spaces required and location regulated (not less than one-half of the required building setback area from any dedicated street shall be devoted solely to lawns, trees, shrubs, and other landscaping)-**request for all employee and visitor parking in front of the buildings.**

Requested Waivers of South 27th Street Design Overlay District Standards:

a. 15-3.0352A. Parking required and location regulated (not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street)-**request for all employee and visitor parking in front of the buildings.**

b. 15-3.0353F. Landscaping (on-site landscaping shall be provided per the landscaping requirements found in Section 15-5.0302)-**request to waive requirement for a central pedestrian area/gathering plaza.**

c. 15-3.0355C.5. Building Design (A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor façades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged-**request:** *“The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building’s perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west façades are within 100'*

Commissioner Leon moved and Alderman Dandrea seconded a motion to waive the required standards under 15-3.0444B.D.2.a.i. pertaining to open spaces. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

d. 15-3.0444B.D.4.a.ii. and iii. Building Character and Design regulated (all exterior materials shall be durable, of high-quality, utilized true to form (such as stone below wood rather than the opposite), and appropriate for external use) (brick, stone, tile, and custom architectural masonry units are preferred primary materials for the solid (non-window) portion of new buildings or additions)-**request to use articulated, painted precast concrete wall panels for the exterior walls.**

Commissioner Leon moved and Commissioner Hogan seconded a motion to waive the required standards under 15-3.0444B.D.4.a.ii. and iii. pertaining to building character and design. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

e. 15-3.0444B.D.4.a.xi. Building Character and Design regulated (outside loading docks shall be located to the side-yard or rear-yard and screened from view from adjacent streets and sites by extended building walls, berms, decorative fencing, and/or landscaping)- **request to waive requirement for additional screening of the loading area.**

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to waive the required standards under 15-3.0444B.D.4.a.xi. pertaining to building character and design. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

Requested Waivers of South 27th Street Design Overlay District Standards:

a. 15-3.0352A. Parking required and location regulated (not more than 50% of the off-street parking spaces shall be located directly between the front façade of the building and the public street)-**request for all employee and visitor parking in front of the buildings.**

Commissioner Hogan moved and Commissioner Leon seconded a motion to waive the required standards under 15-3.0352A. pertaining to parking. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

b. 15-3.0353F. Landscaping (on-site landscaping shall be provided per the landscaping requirements found in Section

of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west façade length for a combined total of 45.45%.”

d. 15-3.0355C.6. Building Entrances (Public building entryways shall be clearly defined and highly visible on the building’s exterior design, and shall be emphasized by on-site traffic flow patterns. Two (2) or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details. Unless exempted by the Plan Commission, all sides of the building that directly face or abut a public street or public parking area shall have at least one public entrance, except that the City shall not require building entrances on more than two (2) sides of any building.)-**request to waive requirement for public building entryways with two or more design features incorporated.**

e. 15-3.0355C.9. Screening (Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior. Loading docks shall be completely screened from surrounding roads and properties. Said screening may be accomplished through loading areas internal to buildings, screen walls which match the building exterior in materials and design, fully opaque landscaping at time of planting, or combinations of the above. Gates and fencing may be used for security and access, but not for screening, and shall be of high aesthetic quality.)- **request to waive requirement for additional screening of the mechanical equipment, refuse containers, loading area and any permitted outdoor storage.**

**PUBLIC HEARINGS ARE
SCHEDULED FOR THIS MEETING
UPON THE NATURAL RESOURCE**

15-5.0302)-**request to waive requirement for a central pedestrian area/gathering plaza.**

Alderman Dandrea moved and Commissioner Leon seconded a motion to waive the required standards under 15-3.0353F. pertaining to landscaping. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

c. 15-3.0355C.5. Building Design (A minimum of 20% of all the combined facades of the structure shall employ actual façade protrusions or recesses. A minimum of 20% of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective. Ground floor façades that face and are on properties that are in any part within 100 feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 50% of their horizontal length. The integration of windows into building design is strongly encouraged-**request: “The proposed design provides façade articulation in the form of precast recesses and projections at the entrance areas for a total of 19.76% of each building’s perimeter. The proposed design also provides varying parapet heights at the entrance areas with a combined percentage of varied parapet being 19.52%. The proposed elevations indicate the relative heights to vary from 1'-2" to 5'-3". An accent paint scheme and additional glazing are used to further accentuate the entrance areas. These recesses, projections and elevation changes are appropriate for the visual impact of the entrances and the proportions of each element. The north and west façades are within 100' of the streets. The entries and windows represent 47.0% of the north façade length and 38.0% of the west façade length for a combined total of 45.45%.”**

Commissioner Burckhardt moved and Commissioner Leon seconded a motion to waive the required standards under 15-3.0355C.5. pertaining to building design. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

d. 15-3.0355C.6. Building Entrances (Public building entryways shall be clearly defined and highly visible on the building’s exterior design, and shall be emphasized by on-site traffic flow patterns. Two (2) or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details. Unless exempted by the Plan Commission, all sides of the

FEATURES SPECIAL EXCEPTION AND SPECIAL USE APPLICATIONS AS AFOREMENTIONED. [SUBJECT MATTER AND PUBLIC HEARINGS ARE CONTINUED FROM THE MARCH 4, 2021 MEETING FOR BOTH THE NATURAL RESOURCE FEATURES SPECIAL EXCEPTION AND THE SPECIAL USE APPLICATIONS. THESE PUBLIC HEARINGS WERE PREVIOUSLY NOTICED FOR AND OPENED AT THE PLAN COMMISSION MEETING ON MARCH 4, 2021, AND THEN POSTPONED AND CONTINUED TO THE APRIL 8, 2021 PLAN COMMISSION MEETING TO ALLOW FOR FURTHER PUBLIC INPUT.]

building that directly face or abut a public street or public parking area shall have at least one public entrance, except that the City shall not require building entrances on more than two (2) sides of any building.)-**request to waive requirement for public building entryways with two or more design features incorporated.**

Commissioner Leon moved and Alderman Dandrea seconded a motion to waive the required standards under 15-3.0355C.6. pertaining to building entrances. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

e. 15-3.0355C.9. Screening (Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior. Loading docks shall be completely screened from surrounding roads and properties. Said screening may be accomplished through loading areas internal to buildings, screen walls which match the building exterior in materials and design, fully opaque landscaping at time of planting, or combinations of the above. Gates and fencing may be used for security and access, but not for screening, and shall be of high aesthetic quality.)- **request to waive requirement for additional screening of the mechanical equipment, refuse containers, loading area and any permitted outdoor storage.**

Commissioner Leon moved and Alderman Dandrea seconded a motion to waive the required standards under 15-3.0355C.9. pertaining to screening. On voice vote, all voted ‘aye’. Motion carried (6-0-0).

Site Plan

A Site Plan for a phased development of the former Wendt Farm, as follows:

Commissioner Leon moved and Alderman Dandrea seconded a motion to approve a Resolution approving a Site Plan for construction of a 235,000 square foot building and improvements for eventual construction of a second building, with associated parking, loading areas, a driveway connection between the two buildings, sidewalks, crosswalks and a stormwater detention pond (3617 West Oakwood Road). On voice vote, all voted ‘aye’. Motion carried (6-0-0).

PUBLIC HEARINGS ARE SCHEDULED FOR THIS MEETING UPON THE NATURAL RESOURCE FEATURES SPECIAL EXCEPTION AND SPECIAL USE APPLICATIONS AS AFOREMENTIONED. [SUBJECT MATTER AND PUBLIC HEARINGS ARE

CONTINUED FROM THE MARCH 4, 2021 MEETING FOR BOTH THE NATURAL RESOURCE FEATURES SPECIAL EXCEPTION AND THE SPECIAL USE APPLICATIONS. THESE PUBLIC HEARINGS WERE PREVIOUSLY NOTICED FOR AND OPENED AT THE PLAN COMMISSION MEETING ON MARCH 4, 2021, AND THEN POSTPONED AND CONTINUED TO THE APRIL 8, 2021 PLAN COMMISSION MEETING TO ALLOW FOR FURTHER PUBLIC INPUT.]

1. LUMPIA CITY FROZEN LUMPIA MANUFACTURING AND WHOLESALE SALES BUSINESS.

Special Use application by Samantha J. Klimaszewski and Alexa L. Reyes, d/b/a Lumpia City, to operate a frozen lumpia (similar to an egg roll) manufacturing and wholesale business (this use is classified under Standard Industrial Classification No. 2053, Frozen Bakery Products, Except Bread, which requires a Special Use permit in the M-1 Zoning District), and parking of an 18 foot enclosed food sales trailer (food truck) for offsite use for special events, with hours of operation from 8:00 a.m. to 9:00 p.m., Monday through Friday, and occasional weekends), in Suite C Lower of the multi-tenant building located at 10700 West Venture Drive, property zoned M-1 Limited Industrial District; Tax Key No. 705-8989-011.

Principal Planner Regulo Martinez-Montilva presented the request by Samantha J. Klimaszewski and Alexa L. Reyes, d/b/a Lumpia City, to operate a frozen lumpia (similar to an egg roll) manufacturing and wholesale business (this use is classified under Standard Industrial Classification No. 2053, Frozen Bakery Products, Except Bread, which requires a Special Use permit in the M-1 Zoning District), and parking of an 18 foot enclosed food sales trailer (food truck) for offsite use for special events, with hours of operation from 8:00 a.m. to 9:00 p.m., Monday through Friday, and occasional weekends), in Suite C Lower of the multi-tenant building located at 10700 West Venture Drive, property zoned M-1 Limited Industrial District; Tax Key No. 705-8989-011.

The Official Notice of Public hearing was read in to the record by Planning Manager Heath Eddy and the Public Hearing was opened at 7:04 p.m. and closed at 7:05 p.m..

Commissioner Leon moved and Alderman Dandrea seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a frozen lumpia manufacturing and wholesale sales business use and for parking an 18 foot food truck upon property located at 10700 West Venture Drive, Suite C lower. On voice vote, all voted 'aye'. Motion carried (6-0-0).

3. BALLPARK COMMONS MIDWEST ORTHOPEDIC SPECIALTY HOSPITAL BUILDING INDOOR SPORTS COMPLEX WITHIN PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) INCREASE IN MAXIMUM SIGNAGE. Unified Development Ordinance §15-3.0442

Principal Planner Regulo Martinez-Montilva presented the request by Christopher D. Buday, River Rock Performance Properties, LLC (BPC County Land, LLC, property owner), to allow for signage changes, specifically, to increase the total sign face area (City of Franklin Municipal Code allows a maximum of approximately 750 square feet) for the new Indoor Sports Complex located at 7095 South Ballpark Drive, within Ballpark Commons, to a total of 12,507 square feet in area distributed in 38 signs, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1005-000.

Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Amendment (Major) application by Christopher D. Buday, River Rock Performance Properties, LLC (BPC County Land, LLC, property owner), to allow for signage changes, specifically, to increase the total sign face area (City of Franklin Municipal Code allows a maximum of approximately 750 square feet) for the new Indoor Sports Complex located at 7095 South Ballpark Drive, within Ballpark Commons, to a total of 12,507 square feet in area distributed in 38 signs, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1005-000.

The Official Notice of Public hearing was read in to the record by Planning Manager Heath Eddy and the Public Hearing was opened at 7:59 p.m. and closed at 8:05 p.m..

Commissioner Hogan moved and Commissioner Leon seconded a motion to refer back to staff the applicant's request for revisions in coordination with the applicant and bring the revised requested ordinance to amend §15-3.0442 of the unified development ordinance planned development district no. 37 (the rock sports complex/ballpark commons), to increase the maximum permitted sign face area of approximately 750 square feet for the indoor sports complex (at approximately 7095 south ballpark drive) at the April 22, 2021 Plan Commission meeting. On voice vote, all voted 'aye'. Motion carried (6-0-0).

Commissioner Leon left the meeting at 8:55 p.m.

D. Business Matters
REPORT ON STATUS OF
PARKLAND ACQUISITION
STUDY.

Associate Planner Marion Ecks and District 4 Alderwoman Shari Hanneman presented an update to the Parkland Acquisition Study on behalf of the Parks Commission. The report incorporated proposed updates to the 2025 Comprehensive Outdoor Recreation Plan (CORP). A report will be made to the Common Council on April 20, 2021, and this report will be followed up with a discussion and report from the consultant, Vandewalle and Associates, at that later date.

No action taken.

E. Adjournment

Alderman Dandrea moved and Commissioner Hogan seconded a motion to adjourn the Plan Commission meeting of April 8, 2021 at 9:18 p.m. On voice vote, all voted 'aye'; motion carried. (5-0-1).



REPORT TO THE PLAN COMMISSION

Meeting of April 22, 2021

Special Use

RECOMMENDATION: Department of City Development staff recommends approval of the Special Use Application, subject to the conditions in the draft resolution.

Table with 2 columns: Label (Project Name, Project Address, Applicant, Property Owner, Current Zoning, 2025 Comprehensive Plan, Use of Surrounding Properties, Applicant Action Requested, Planner) and Value (Illie Tints Special Use, 8581 South 27th Street, Steven Greenspan, Root River Auto Body, Michael F. Paul, B-4 South 27th Street Mixed Use Commercial District, Mixed Use, Single-family residential to the north, Root River Auto Body to the south, multi-family development (City of Oak Creek) to the east and vacant commercially zoned land to the west, Approval of the Special Use Application, Marion Ecks, Assistant Planner)

On January 25, 2021, the applicant submitted a Special Use Application for Illie Tints, to operate an auto glass repair and tinting use upon property located at 8581 South 27th Street. The proposed business use is allowed in the B-4 South 27th Street Mixed Use Commercial District as a Special Use under Standard Industrial Classification Title No.7536 "Automotive glass replacement shops."

The applicant is proposing to occupy space within an existing building and is not proposing any building or site changes.

Project Description/Analysis

Special Use:

The applicant has provided responses to the special use standards and regulations, copy of which has been provided. The application complies with the standards of §15-3.0701: General Standards for Special Uses. Although this is an auto-service business, the applicant is not requesting approval for overnight parking, as tinting can be completed in approximately one hour.

Hours of operation will be Tuesday through Saturday from 9:00 AM through 6:00 PM.

Site Plan:

The subject use is occupying the existing building located at 8581 S. 27th Street, which is approximately 3,050 square feet. Michael F. Paul, owner and operator of Root River Auto Body, owns both the properties. Root River Auto Body uses the detached accessory building on this lot for storage. The applicant is not proposing any exterior building modifications or site changes.

Parking:

The required parking for vehicle repairs shops, per Table 15-5.0203, is 4 parking spaces per service bay. There will be two indoor work areas for the business, necessitating eight (8) parking spaces. Previous office uses required seven (7) spaces based on floor area. The applicant has identified nine (9) parking spaces specific to the business, and a total of 16 available on the lot. The applicant notes that the subject property shares access and parking with Root River Auto, located on the property to the south, 8595 and 8607 S. 27th Street.

Signage:

Any proposed signage will be subject to separate review and approval and require issuance of a Sign Permit through the Inspection Department.

Staff Recommendation

Department of City Development staff recommends approval of the Special Use Application, subject to the conditions in the draft resolution.

RESOLUTION NO. 2021-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR AN AUTOMOTIVE
WINDOW TINTING SERVICE BUSINESS USE UPON PROPERTY
LOCATED AT 8581 SOUTH 27TH STREET
(MICHAEL A. LAFUENTES, OWNER OF ILLIE TINTS, LLC, APPLICANT)

WHEREAS, Michael A. LaFuentes, owner of Illie Tints, LLC, having petitioned the City of Franklin for the approval of a Special Use within a B-4 South 27th Street Mixed-Use Commercial District under Standard Industrial Classification Title No. 7536 “Automotive Glass Replacement Shops”, to operate an automotive window tinting service business, with hours of operation from 9:00 a.m. to 5:00 p.m., Monday through Friday, and on Saturday from 9:00 a.m. to 2:00 p.m., in an existing building located at 8581 South 27th Street, bearing Tax Key No. 832-9997-000, more particularly described as follows:

S 58.865 FT OF N 235.73 FT OF E 370 FT OF 52.50 ACS OF SE 13 5 21
EXC E 80 FT FOR STR CONT 0.392 ACS; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 22nd day of April, 2021, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Michael A. LaFuentes, owner of Illie Tints, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

MICHAEL A. LAFUENTES, OWNER OF ILLIE TINTS, LLC – SPECIAL USE
RESOLUTION NO. 2021-_____

Page 2

1. That this Special Use is approved only for the use of the subject property by Michael A. LaFuentes, owner of Illie Tints, LLC, successors and assigns, as an automotive window tinting service business use, which shall be developed in substantial compliance with, and operated and maintained by Michael A. LaFuentes, owner of Illie Tints, LLC, pursuant to those plans City file-stamped April 12, 2021 and annexed hereto and incorporated herein as Exhibit A.
2. Michael A. LaFuentes, owner of Illie Tints, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Michael A. LaFuentes, owner of Illie Tints, LLC automotive window tinting service business, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Michael A. LaFuentes, owner of Illie Tints, LLC and the automotive window tinting service business use for the property located at 8581 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event Michael A. LaFuentes, owner of Illie Tints, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

MICHAEL A. LAFUENTES, OWNER OF ILLIE TINTS, LLC – SPECIAL USE
RESOLUTION NO. 2021-_____

Page 3

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2021.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2021.

APPROVED:

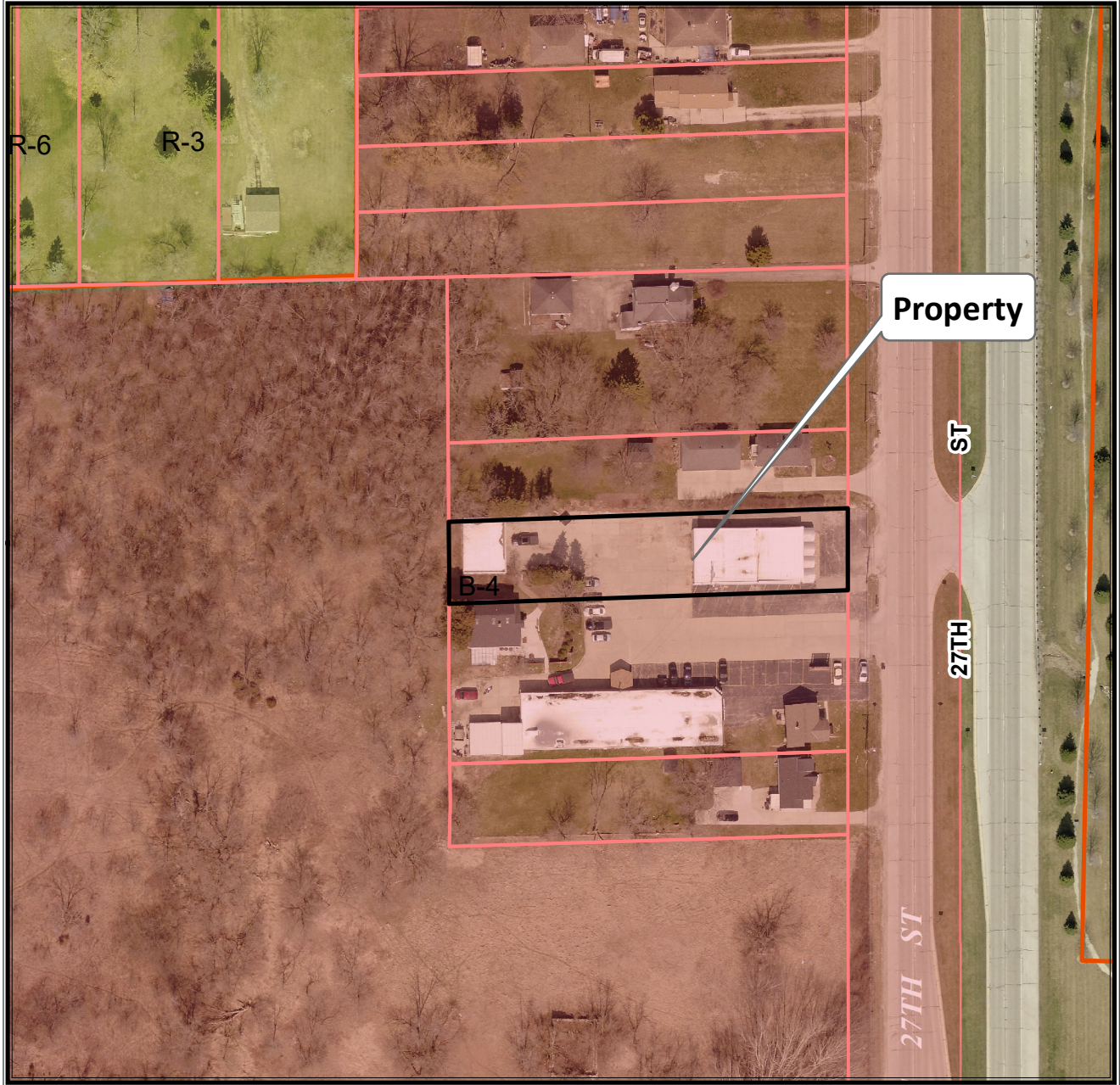
Stephen R. Olson, Mayor

ATTEST:

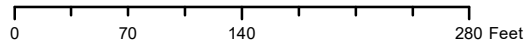
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

8581 S. 27th Street
TKN: 832 9997 000



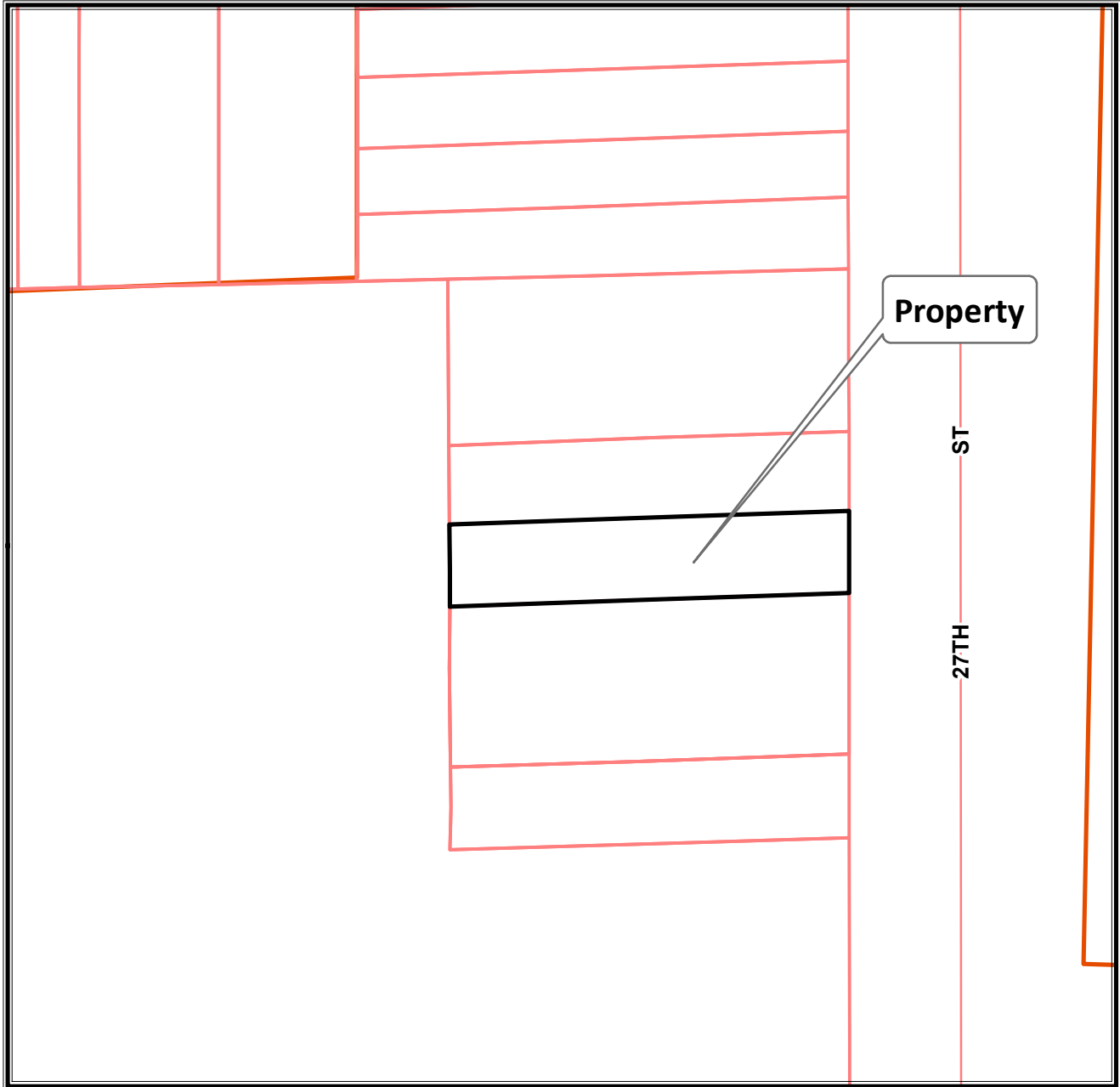
Planning Department
(414) 425-4024



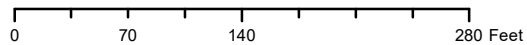
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



8581 S. 27th Street
TKN: 832 9997 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



City of Franklin

Department of City Development

Date: March 22, 2021
To: Steven Greenspan, Root River Auto Body
From: Department of City Development
RE: Special Use – Staff Comments - 8581 South 27th Street

Please be advised that City Staff has reviewed the Special Use Application for Illie Tints, 8581 South 27th Street. Department comments are as follows:

General:

1. What are the hours of operation?
2. How many employees work out of this site?

Unified Development Ordinance (UDO) Requirements

Special Use:

3. The applicant has provided required responses. The application complies with the standards of §15-3.0701: General Standards for Special Uses.

Site Plan:

4. Is a dumpster enclosure located onsite? If not, please further explain how trash is removed from the site. If a dumpster is located on the property that is not currently enclosed, staff recommends that a dumpster enclosure be provided. If providing an enclosure, please include details as part of the Plan Commission submittal. Details must include the location, size, height and materials for construction.

Parking:

5. How many parking spaces will the business use? Please provide information about the location and number of spaces, including a drawing.
6. Will the building include service bays or other indoor work areas? If so, how many vehicles will be accommodated and what is the square footage of these bays? Note that the required parking for vehicle repairs shops, per Table 15-5.0203, is 4 parking spaces per service bay.
7. Are any vehicles over 8,000 pounds gross vehicle weight being stored onsite overnight? If so, what types of vehicles, size of vehicles (length and gross vehicle weight), and where will the vehicles be parked? The location must be noted on the site plan. Please let Department of City Development staff know immediately if vehicles will be parked overnight that exceed 8,000 pounds manufactured Gross Vehicle Weight as that request needs to be specifically stated in the public hearing notice.

Lighting:

8. Staff understands that there is no new exterior lighting proposed. If new lighting is proposed, please provide a lighting plan per Section 15-7.0103W. of the UDO. Lighting standards can be found in Division 15-5.0400 of the UDO.

Signage:

9. Please note that vehicle parking must not violate Section 210-10 of the City of Franklin Municipal Code, which states, “Signs placed on or affixed to vehicles and/or trailers, which are parked on a public right-of-way, public property, or private property so as to be visible from a public right-of-way, where the apparent purpose is to advertise a product or direct people to a business or activity located on the same or nearby property, are prohibited. This provision shall not prohibit signs placed on or affixed to vehicles and/or trailers, such as lettering on motor vehicles, where the sign is incidental to the primary use of the vehicle or trailer.”
10. Is any new signage proposed? Please note signs require separate review and approval. Please contact the Inspection Department to discuss sign requirements and the process further.

Fire Department Comments

Must comply with fire protection requirements for use and occupancy type.

Legal Department Comments

Please provide the legal name of the business owner, including middle name. Please provide the full business name which this business is registered with the Wisconsin Department of Financial Institutions.

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The building located at 8581 has been in use for over 100 years. We are proposing that this building be used for Illie Tints, a company that applies tint film to vehicle windows. This establishment will have a positive effect on the area with less than 10 vehicles per day. There is very little waste and no chemicals or other products used in operating the business.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: Illie Tints is an established business with a sterling reputation. This is a minority run and owned business that will help add diversity to the 27th Street Corridor. Illie Tints will have no impact on the public health, safety, morals comfort and general welfare of the area.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The proposed use will have no impact on any of the surrounding areas and there is no development necessary for the proposed business.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: Illie Tints has no additional requirements for any public facilities or services. This is an extremely low impact business.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The proposed business requires no additional considerations for traffic. Most appointments are scheduled several weeks in advance and the current ingress and egress are more than adequate.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: Illie Tints does not require any modifications

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: Illie Tints will comply with all existing and future regulations, ordinances and standards to assure compliance.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: This business requires no special standards or permits

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: Illie Tints provides a service that is in high demand and there are no competitors within 10 miles. Appointments are generally booked several weeks in advance

because of the high demand, outstanding reviews and their business reputation.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: Illie Tints is best suited in this location because the business relies on visibility and a location that is common to all of the communities served. Most of the cliental will have to wait for an hour or more and spend that time shopping at local businesses. The proposed building is on a shared property with a body shop and provides a unique location and this is a complimentary facility.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: There are no adverse effects to the area from the proposed business. There will be no site changes other than some additional landscaping in the immediate area adjacent to the building. The forward area along 27th St. belongs to the DOT and cannot be modified..

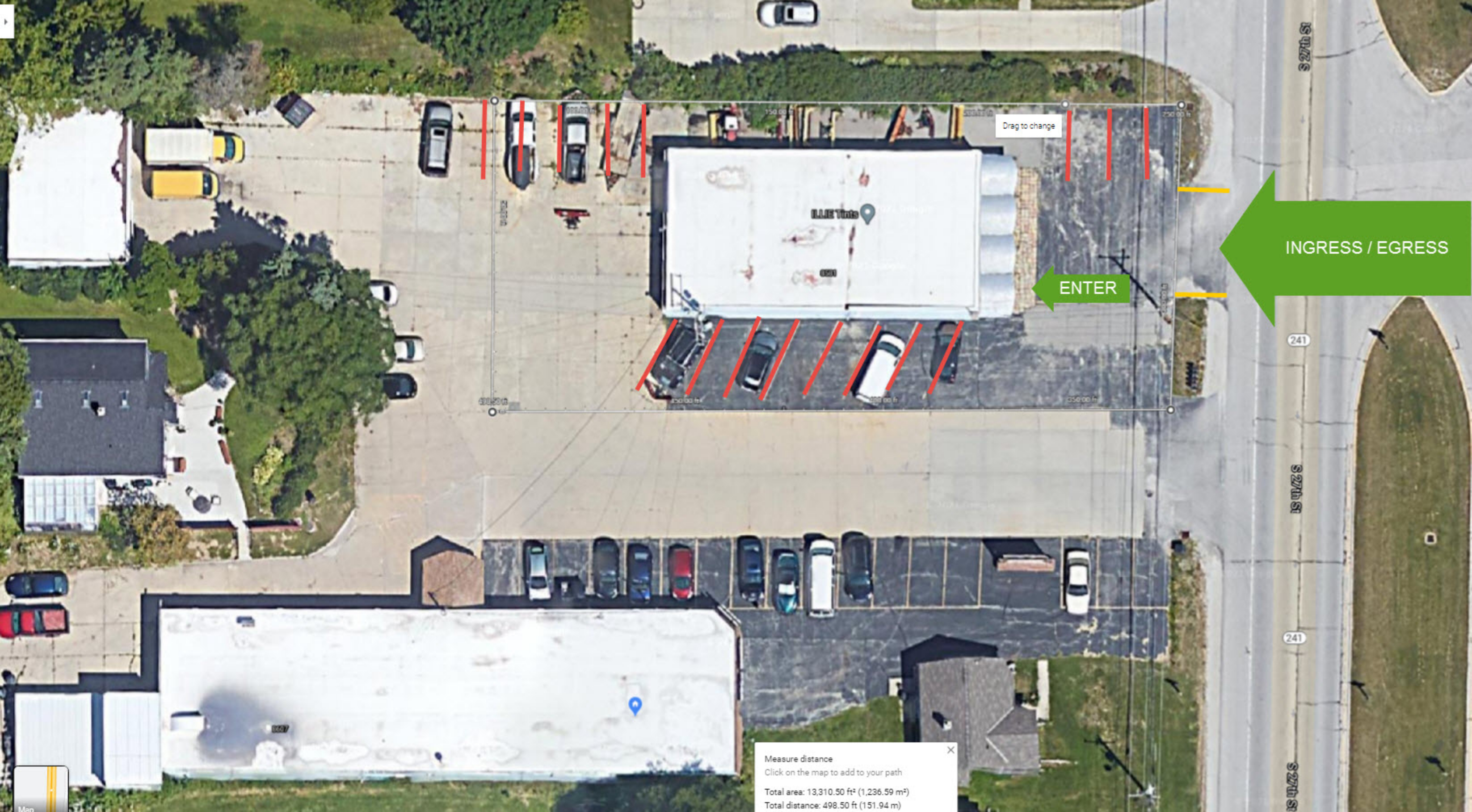
4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: Illie Tints is a standalone business that provides an outstanding presence to the community serving a majority of new and very upscale car owners. Window tinting has been a service for a long time although always as a value added business to an existing facility. This opportunity is unique and could not be duplicated. It would be impossible for another incompatible or undesirable business to use this as a precedent.

8581 Project Summary

Illie Tints is an automotive boutique that services a small number of vehicles per day. They provide one service which is window tinting and the company has been operating for 3 years with an outstanding reputation.

The current building located at 8581 S. 27th St., Franklin Wi 53132 will require no current or future modifications, structural changes or site improvements for the proposed business. The current utilities, ingress and egress is more than adequate and the business will have a minimum impact on the vicinity.



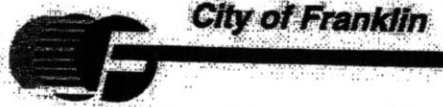
Drag to change

ENTER

INGRESS / EGRESS

Measure distance
Click on the map to add to your path
Total area: 13,310.50 ft² (1,236.59 m²)
Total distance: 498.50 ft (151.94 m)

Map



Date of Application: January 20th, 2021

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):

Name: Michael Lafuentes
 Company: Illie Tints
 Mailing Address: 8581 S. 27th St.
 City / State: Franklin, WI Zip: 53132
 Phone: 414-326-7283
 Email Address: iam_illie@yahoo.com

Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: Steven Greenspon
 Company: Root River Auto Body
 Mailing Address: 8595 S. 27th St.
 City / State: Franklin, WI Zip: 53132
 Phone: 414-761-0180
 Email Address: RootRiverAutoBody@SBCGlobal.net

Project Property Information:

Property Address: 8581 S. 27th St., Franklin, WI 53132
 Property Owner(s): Michael Paul
 Mailing Address: 8595 S. 27th St.
 City / State: Franklin, WI Zip: 53132
 Email Address: RootRiverAutoBody@SBCGlobal.net

Tax Key Nos: 832-9997-000
 Existing Zoning: B4
 Existing Use: None
 Proposed Use: Illie Tints-Window Tinting Establishment
 Future Land Use Identification: _____

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

Special Use/Special Use Amendment submittals for review must include and be accompanied by the following:

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin:
 - \$1500, New Special Use over 4,000 square feet
 - \$1000 Special Use Amendment
 - \$750, New Special Use under 4,000 square feet
- Legal Description for the subject property (WORD.doc or compatible format).
- One copy of a response to the General Standards, Special Standards (if applicable), and Considerations found in Section 15-3.0701(A), (B), and (C) of the Unified Development Ordinance available at www.franklinwi.gov.
- Seven (7) complete collated sets of Application materials to include:
 - One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
 - Three (3) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 17-7.0101, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
 - Four (4) folded reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package.
- One colored copy (11"x17") of the building elevations, if applicable.
- Three copies of the Natural Resource Protection Plan and report, if applicable (see Section 15-4.0102 & 15-7.0201 of the UDO).
- Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

*Upon receipt of a complete submittal, staff review will be conducted within ten business days.

*Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application.)

Signature - Property Owner _____

Name & Title (PRINT) _____

Michael Paul
 Date: _____

Signature - Property Owner _____
Michael Paul
 Name & Title (PRINT) _____

Date: JAN 18, 2021

Michael Lafuentes
 Signature - Applicant _____

Michael Lafuentes (owner)
 Name & Title (PRINT) _____

Date: Jan 18, 2021

Steven Greenspon
 Signature - Applicant's Representative _____
STEVEN GREENSPON / MANAGER
 Name & Title (PRINT) _____

Date: JAN 18, 2021

because of the high demand, outstanding reviews and their business reputation.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: Illie Tints is best suited in this location because the business relies on visibility and a location that is common to all of the communities served. Most of the cliental will have to wait for an hour or more and spend that time shopping at local businesses. The proposed building is on a shared property with a body shop and provides a unique location and this is a complimentary facility.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: There are no adverse effects to the area from the proposed business. There will be no site changes other than some additional landscaping in the immediate area adjacent to the building. The forward area along 27th St. belongs to the DOT and cannot be modified..

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: Illie Tints is a standalone business that provides an outstanding presence to the community serving a majority of new and very upscale car owners. Window tinting has been a service for a long time although always as a value added business to an existing facility. This opportunity is unique and could not be duplicated. It would be impossible for another incompatible or undesirable business to use this as a precedent.

Response to Franklin City Staff request for additional information

1. What are the hours of Operation?
Illie Tints operates Tuesday through Saturday from 9:00 AM through 6:00 PM
2. How many employees work out of this site
There are 2 full time employees
3. Special use responses are adequate
4. Is there a dumpster located onsite?
There is no dumpster located onsite. The trash is minimal and is disposed of at the body shop.
5. How many parking spaces will the business use?
There are 9 parking spaces dedicated to the business
6. Will the building include service bays or other indoor work areas?
There are 2 indoor work areas
7. Are there any vehicles over 8,000 pounds?
Cars and light trucks are the only vehicles that are serviced. There are no vehicles that are over 8,00 pounds.
8. There is no new lighting planned.
9. There are no vehicles that will be on or near the roadway and there are no trailers with signage placed near the roadway.
10. There is no new signage proposed or planned.
11. Owner: Michael Anthony LaFuentes
Full Business Name: Illie Tints LLC



REPORT TO THE PLAN COMMISSION

Meeting of April 22, 2021

Land Combination

RECOMMENDATION: City Development staff recommends approval of this land combination for 8225-8255 West Forest Hill Avenue (39.39 Ac), 8429 West Forest Hill Avenue (9.68 Ac) and 8459 West Forest Hill Avenue (3.85 Ac).

Project Name:	Franklin Public Schools Land Combination
Project Address:	8225-8255, 8429 and 8459 West Forest Hill Avenue
Property Owner:	Franklin Public Schools
Applicant:	James Milzer, Franklin Public Schools
Agent:	Daniel St. Pierre, Point of Beginning, Inc.
Zoning:	I-1 Institutional
Use of Surrounding Properties:	Residential to the north, south and west; residential multifamily to the east
Comprehensive Plan:	Institutional and Areas of Natural Resource Features
Applicant Action Requested:	Approval of application for land combination
Planner:	Régulo Martínez-Montilva, Principal Planner

Introduction:

The purpose of this application is to combine three (3) properties located at West Forest Hill Avenue: 8225-8255 Forest Park Middle School (39.39 Ac), 8429 formerly “Luxembourg Gardens” (9.68 Ac) and 8459 (3.85 Ac). The resulting Forest Park Middle School site would be approximately 57 acres. These three (3) properties are currently zoned Institutional (I-1), 8429 and 8459 were rezoned from Suburban Single-family Residence (R-6) to Institutional (I-1) in 2019 by request of Franklin Public Schools.

Pursuant to §15-9.0312.B, of the Unified Development Ordinance, the application for the Land Combination Permit shall be considered “relative to City staff recommendations, the lot area and other dimensional requirements of the zoning district(s) within which the parcels are located, the City of Franklin Comprehensive Master Plan and the planned land use for each of the parcels, present use of the parcels and proposed use of the parcels for the purpose to ensure that upon combination, such properties shall comply with the purposes and provisions of this Ordinance.”

Analysis:

The three subject properties are contiguous along West Forest Hill Avenue. If combined, the resulting property would be approximately 57 acres in area and the resulting combined street frontage 1,763 feet based on the provided survey maps. The dimensions of the proposed combined parcel meet the I-1

Development Standards, as indicated in Table 15-3.0312 of the Unified Development Ordinance (UDO). It is noted that this land combination is not a Certified Survey Map (CSM).

This land combination complies with the current zoning of the three subject properties, which is I-1 Institutional. Per Ordinance 2019-2402, 8429 and 8459 W. Forest Hill Avenue were rezoned from Suburban Single-family Residence (R-6) to Institutional (I-1). This proposal is also consistent with the City of Franklin Comprehensive Plan as Ordinance 2019-2401 changed the future land use designation of these two properties from Residential to Institutional and Areas of Natural Resource Features.

During the rezoning and comprehensive master plan amendment review in 2019, City Development staff suggested this land combination because it will be necessary upon the future development of these parcels.

With regards to natural resource features, there is a conservation easement for 8225-8255 W Forest Hill Avenue as part of the site plan and natural resource special exception for the construction of the new Forest Park Middle School in 2017. Wetlands may be present on 8429 and 8459 W Forest Hill Avenue, therefore a full natural resource protection plan will be required for future development of these 2 parcels.

Staff recommendation:

City Development staff recommends approval of this land combination for 8225-8255 West Forest Hill Avenue (39.39 Ac), 8429 West Forest Hill Avenue (9.68 Ac) and 8459 West Forest Hill Avenue (3.85 Ac).

RESOLUTION NO. 2021-_____

A RESOLUTION CONDITIONALLY APPROVING A
LAND COMBINATION FOR TAX KEY NOS. 838-9978-000,
839-9990-000 AND 839-9991-004
(8225-8255, 8429 AND 8459 WEST FOREST HILL AVENUE)
(FRANKLIN PUBLIC SCHOOLS, APPLICANT)

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a proposed land combination for Franklin Public Schools to combine three properties located at West Forest Hill Avenue: 8225-8255, Forest Park Middle School (39.39 acres), 8429, formerly "Luxembourg Gardens" (9.68 acres) and 8459 (3.85 acres), to enlarge the site for Forest Park Middle School (resulting site will be approximately 54 acres); bearing Tax Key Nos. 838-9978-000, 839-9990-000 and 839-9991-004, more particularly described as follows:

Being a part of the Northeast 1/4 of the Southwest 1/4 and all of the Northwest 1/4 of the Southeast 1/4 of Section 16, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Commencing at the West 1/4 corner of Section 16, Township 5 North, Range 21 East;

Thence N 88°27'55"E along the North line of the Southwest 1/4 of said Section 16, 2324.22 feet to the point of beginning (POB) of the parcel to be described;

Thence continuing N 88°27'55"E along said North line, 330.00 feet to the Center 1/4 corner of said Section 16;

Thence N 88°41'25"E along the North line of the Southeast 1/4 of said Section 16, 1328.67 feet to the Northeast corner of the Northwest 1/4 of the Southeast 1/4 of said Section 16;

Thence S 00°32'07"E along the East line of the Northwest 1/4 of the Southeast 1/4 of said Section 16, 1321.89 feet to the Southeast corner thereof;

Thence S 88°33'02"W along the South line of the Northwest 1/4 of the Southeast 1/4 of said Section 16, 1328.90 feet to the Southwest corner thereof;

Thence S 88°29'03"W along the South line of the Northeast 1/4 of the Southwest 1/4 of said Section 16, 330.00 feet to the Southeast corner of Parcel 2 of Certified Survey Map No. 5979;

Thence N 00°31'39"W along the East line of said Parcel 2, 689.00 feet to the Southeast corner of Parcel 1 of said Certified Survey Map No. 5979;

Thence S 88°29'03"W along the South line of said Parcel 1, 330.00 feet to the Southwest corner thereof;

Thence N 00°31'38"W along the West line of said Parcel 1, 465.89 feet;

FRANKLIN PUBLIC SCHOOLS – LAND COMBINATION
RESOLUTION NO. 2021- _____

Page 2

Thence N 88°27'55"E along the West line of said Parcel 1, 225.00 feet;
Thence N 00°31'39"W along the West line of said Parcel 1, 125.02 feet to the Northwest corner of said Parcel 1, said point also being the South right-of-way line of West Forest Hill Avenue;
Thence N 88°27'55"E along the North line of said Parcel 1 and said South right-of-way line, 105.00 feet to the Northeast corner of said Parcel 1;
Thence N 00°31'39"W, 45.01 feet to a point on the North line of the Southwest 1/4 of said Section 16;
Thence N 88°27'55"E along said North line, 330.00 feet to the point of beginning.

Containing: 2,362,553 Square Feet – 54.237 Acres.

WHEREAS, the Plan Commission having reviewed such application and recommended approval thereof and the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed land combination is appropriate for approval pursuant to law upon certain conditions, all pursuant to §15-9.0312 of the Unified Development Ordinance, Land Combination Permits.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the proposed land combination for Forest Park Middle School, as submitted by Franklin Public Schools, as described above, be and the same is hereby approved, subject to the following conditions:

1. Franklin Public Schools, successors and assigns shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Forest Park Middle School land combination project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon Franklin Public Schools and the Forest Park Middle School land combination project for the properties located at 8225-8255, 8429 and 8459 West Forest Hill Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

FRANKLIN PUBLIC SCHOOLS – LAND COMBINATION
RESOLUTION NO. 2021-_____

Page 3

Introduced at a regular meeting of the Common Council of the City of Franklin this
_____ day of _____, 2021.

Passed and adopted at a regular meeting of the Common Council of the City of
Franklin this _____ day of _____, 2021.

APPROVED:

Stephen R. Olson, Mayor

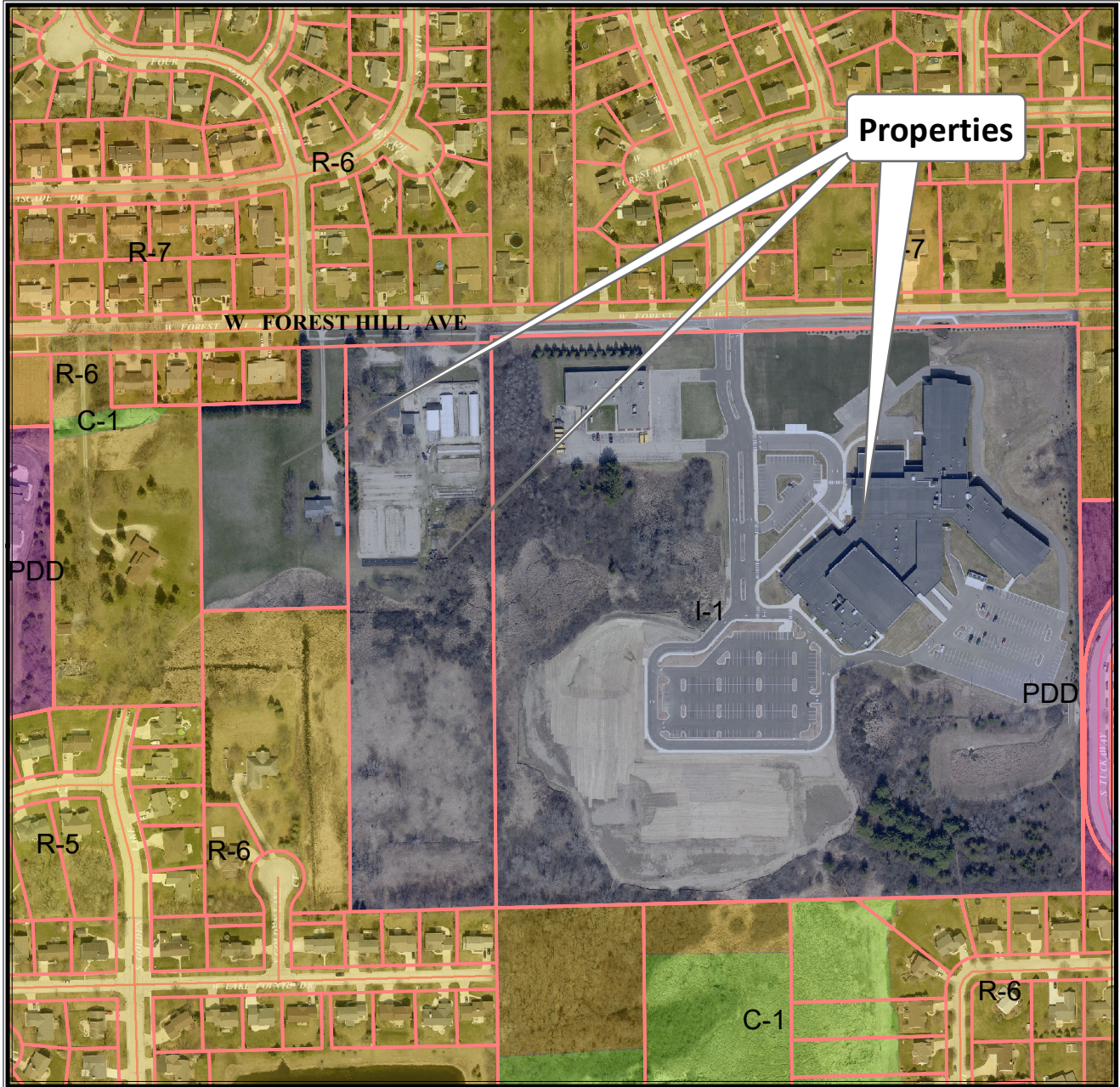
ATTEST:

Sandra L. Wesolowski, City Clerk

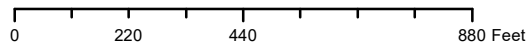
AYES _____ NOES _____ ABSENT _____

8225-8255 W. Forest Hill Ave.
8459 W. Forest Hill Ave.

TKNs: 838 9978 000
839 9990 000
839 9991 004



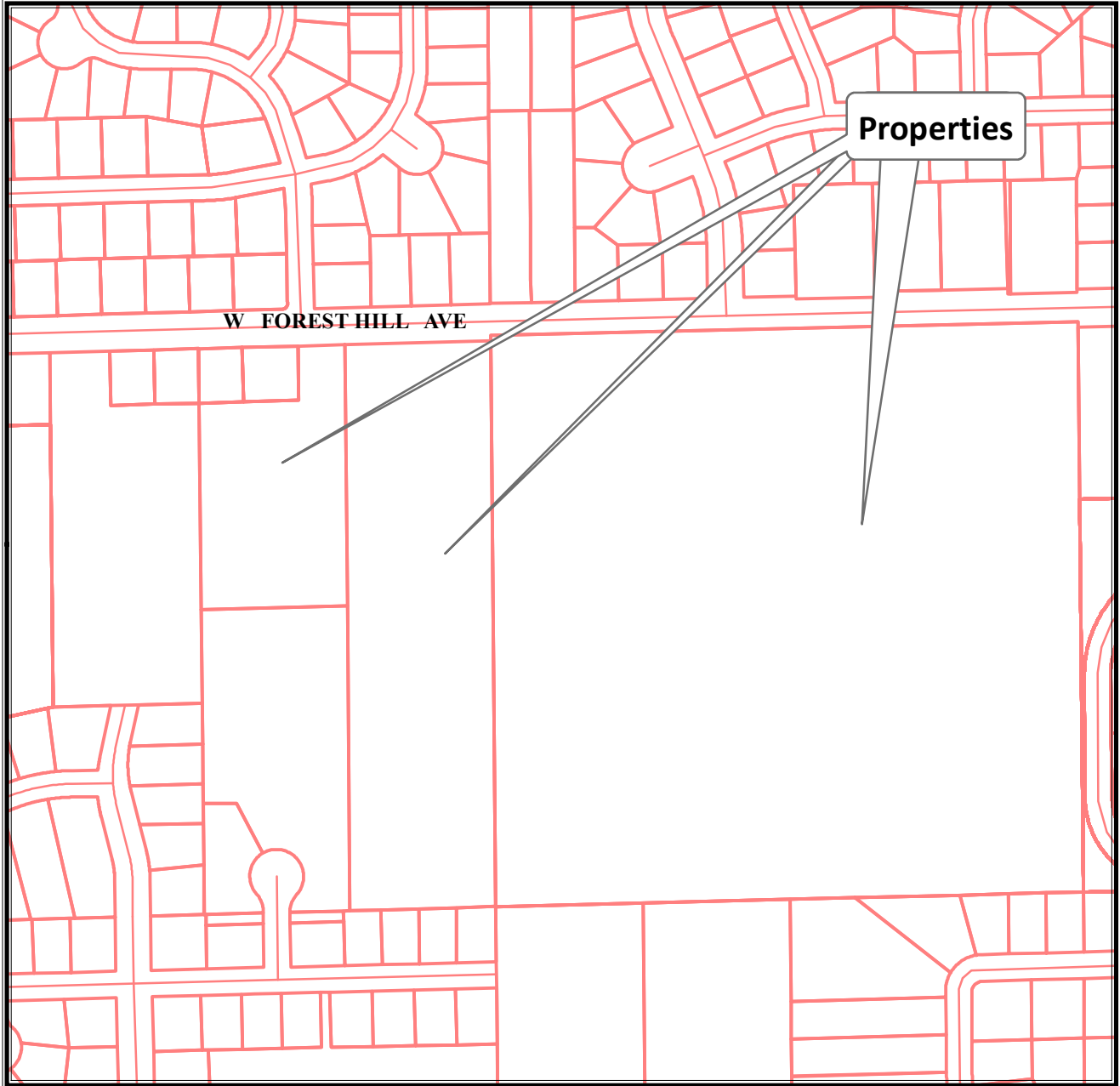
Planning Department
(414) 425-4024



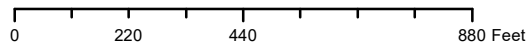
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

8225-8255 W. Forest Hill Ave.
8459 W. Forest Hill Ave.

TKNs: 838 9978 000
839 9990 000
839 9991 004



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





Point of Beginning

5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999
pobinc.com

Regulo Martinez-Montilva
Principal Planner
Department of City Development
City of Franklin
9229 West Loomis Road
Franklin, WI 53132

RE: Staff Comments on Application for Land Combination 8225-8255, 8429 and 8459 W. Forest Hill Ave.
(Franklin Public Schools).

Dear Mr. Martinez-Montilva,

This cover letter serves the purpose of address comments from the Staff letter dated March 22, 2021.

1. Question: The submitted application is for a land combination only, not a certified survey map. Different submittal requirements and filing fees apply to certified survey maps per Unified Development Ordinance (UDO) Division 15-7.0700. Please replace the survey titled "CERTIFIED SURVEY MAP" with a boundary survey as required by UDO §15-9.0312.A.3 "LAND COMBINATION PERMITS":

Answer: The provided Preliminary CSM contains all required information in a Boundary Survey. After the lot combination is completed the CSM submittal process will begin. It is understood that this will require separate approval and fees.

2. Question: What is the proposed use for the properties to be combined? This information is required per UDO §15-9.0312.A.2:

Answer: The Franklin Public School District purchased the properties located at 8429 and 8459 West Forest Hill Avenue to expand the site that it owns to the east which contains Forest Park Middle School and the Education and Community Center. In the development of the existing middle school site for the new middle school, the school district lost acres of previously usable property to the delineation of wetlands, wetland buffers and conservancy areas. Consequently, there is less usable open land on the site for the larger school population as well as for community recreational use. The District added the Luxembourg Gardens properties to the middle school site to add space to this site for current and future needs. The school district is currently in the process of assessing which of those needs it will pursue on the new property. This use will most likely be a combination of multi-use grass fields for sports such as soccer and lacrosse, as well as district and recreation related facilities. There is interest in using the site for classes run by the Recreation Department for senior citizens and others especially for use during the day.

START *here.*

3. Question: Pursuant to UDO §15-9.0312, all properties to be combined need to be in common ownership. According to our records, property bearing TKN 838-9978-000 is owned by FRANKLIN SCHOOL DIST #5, while properties bearing TKNs 839-9990-000 and 839-9991-004 are owned by FRANKLIN PUBLIC SCHOOLS. Please clarify.

Answer: Both properties are owned by Franklin Public Schools. The School District has provided a letter that explains a name change that occurred in 1992 (See attached letter).

If there are any other questions or comments please contact me at Dans@pobinc.com or call 715.498.0764.

Dan St. Pierre
Project Engineer
Point of Beginning





Régulo Martínez-Montilva
Principal Planner
Department of City Development
City of Franklin
9229 West Loomis Road
Franklin, WI 53132

RE: Staff Comments on Application for Land Combination
8225-8255, 8429 and 8459 W. Forest Hill Ave. (Franklin Public Schools).

Dear Mr. Martínez-Montilva,

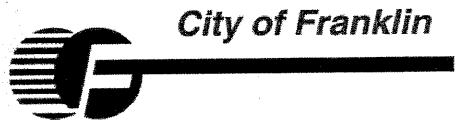
I would like to provide the answer to the Department of City Development comment #3.

3. Pursuant to UDO §15-9.0312, all properties to be combined need to be in common ownership. According to our records, property bearing TKN 838-9978-000 is owned by FRANKLIN SCHOOL DIST #5, while properties bearing TKNs 839-9990-000 and 839-9991-004 are owned by FRANKLIN PUBLIC SCHOOLS. Please clarify.

Franklin Public Schools and Franklin School District #5 are the same entity. The school district was known as Franklin School District #5 until approximately 1992, when the name was changed to Franklin Public Schools. When the properties are combined, the owner should be listed as Franklin Public Schools.

If you need any more information on this just let me know.

James Milzer
Assistant Superintendent for Business and Operations
Franklin Public Schools



Date of Application: 1/17/19

LAND COMBINATION APPLICATION

Complete, accurate and specific information must be entered. Please Print.

<p>Property Owner(s) (Full Legal Name[s]): Name(s): <u>James Milzer</u> <u>Franklin Public Schools</u> Mailing Address: <u>8255 West Forest Hill Avenue</u> City / State: <u>Franklin</u> Zip: <u>53132</u> Phone: <u>414-525-7605</u> Email Address: <u>james.milzer@franklin.k12.wi.us</u></p> <p>Project Property #1 Information: Property Address: <u>8255 West Forest Hill Avenue</u> Tax Key No: <u>8389978000</u> Existing Zoning: <u>Institutional</u> Existing Use: <u>Institutional</u> Proposed Use: <u>Institutional</u> Future Land Use Identification: <u>Institutional</u></p>	<p>Applicant is Represented by (contact person) (Full Legal Name[s]): Name: <u>Daniel St. Pierre</u> Company: <u>Point of Beginning, Inc.</u> Mailing Address: <u>4941 Kirschling Court</u> City / State: <u>Stevens Point, WI</u> Zip: <u>54481</u> Phone: <u>715-344-9999</u> Email Address: <u>dans@pobinc.com</u></p> <p>Project Property #2 Information: Property Address: <u>8429 West Forest Hill Avenue, 8459 West Forest Hill Avenue</u> Tax Key No: <u>8399990000, 8399991004</u> Existing Zoning: <u>Institutional</u> Existing Use: <u>Comercial</u> Proposed Use: <u>Institutional</u> Future Land Use Identification: <u>Institutional</u></p>
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*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

Land Combination submittals for review must include and be accompanied by the following:

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin: \$400
- Legal Description for the subject properties (WORD.doc or compatible format).
- Seven (7) copies of a boundary survey of the parcels to be combined graphically showing the relationship to street access and to adjoining properties.
- Email (or CD ROM) with all plans/submittal materials (where applicable). *Plans must be submitted in both Adobe PDF and AutoCAD compatible format.*

- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- Review and consideration of Land Combination approvals shall be in accordance with Section 15-9.0312(B) of the Unified Development Ordinance.
- Requests require Plan Commission review and Common Council approval.
- Final document will be recorded by the City Clerk's Office with Milwaukee County Register of Deeds.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner

JAMES MILZER DIRECTOR OF BUSINESS SERVICES
 Name & Title (PRINT)
 Date: 2-25-21

Signature - Property Owner
 Name & Title (PRINT)
 Date: _____

Signature - Applicant
 Name & Title (PRINT)
 Date: _____

Signature - Applicant's Representative

Dan St. Pierre Project Engineer
 Name & Title (PRINT)
 Date: 2/7/20



5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999
pobinc.com

LEGAL DESCRIPTION

Being a part of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ and all of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 16, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Commencing at the West $\frac{1}{4}$ corner of Section 16, Township 5 North, Range 21 East;

Thence N $88^{\circ}27'55''$ E along the North line of the Southwest $\frac{1}{4}$ of said Section 16, 2324.22 feet to the point of beginning (POB) of the parcel to be described;

Thence continuing N $88^{\circ}27'55''$ E along said North line, 330.00 feet to the Center $\frac{1}{4}$ corner of said Section 16;

Thence N $88^{\circ}41'25''$ E along the North line of the Southeast $\frac{1}{4}$ of said Section 16, 1328.67 feet to the Northeast corner of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of said Section 16;

Thence S $00^{\circ}32'07''$ E along the East line of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of said Section 16, 1321.89 feet to the Southeast corner thereof;

Thence S $88^{\circ}33'02''$ W along the South line of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of said Section 16, 1328.90 feet to the Southwest corner thereof;

Thence S $88^{\circ}29'03''$ W along the South line of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of said Section 16, 330.00 feet to the Southeast corner of Parcel 2 of Certified Survey Map No. 5979;

Thence N $00^{\circ}31'39''$ W along the East line of said Parcel 2, 689.00 feet to the Southeast corner of Parcel 1 of said Certified Survey Map No. 5979;

Thence S $88^{\circ}29'03''$ W along the South line of said Parcel 1, 330.00 feet to the Southwest corner thereof;

Thence N $00^{\circ}31'38''$ W along the West line of said Parcel 1, 465.89 feet;

Thence N $88^{\circ}27'55''$ E along the West line of said Parcel 1, 225.00 feet;

Thence N $00^{\circ}31'39''$ W along the West line of said Parcel 1, 125.02 feet to the Northwest corner of said Parcel 1, said point also being the South right-of-way line of West Forest Hill Avenue;

Thence N $88^{\circ}27'55''$ E along the North line of said Parcel 1 and said South right-of-way line, 105.00 feet to the Northeast corner of said Parcel 1;

Thence N $00^{\circ}31'39''$ W, 45.01 feet to a point on the North line of the Southwest $\frac{1}{4}$ of said Section 16;

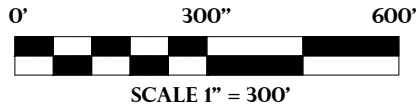
Thence N $88^{\circ}27'55''$ E along said North line, 330.00 feet to the point of beginning.

Containing: 2,362,553 Square Feet – 54.237 Acres

START *here.*

CERTIFIED SURVEY MAP

BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, INCLUDING ALL OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5979 AND ALL OF THE NORTHWEST 1/4 OF SOUTHEAST 1/4, ALL IN SECTION 16, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN. FIELDWORK COMPLETED ON JAN. 6 & 7, 2020



BASIS FOR BEARINGS

THE NORTH LINE OF THE SW1/4 OF SEC. 16, T.5N, R.21E, WHICH BEARS N 88°27'55" E AS REFERENCED TO THE WISCONSIN STATE PLANE CRD SYSTEM, SOUTH ZONE, NAD27.

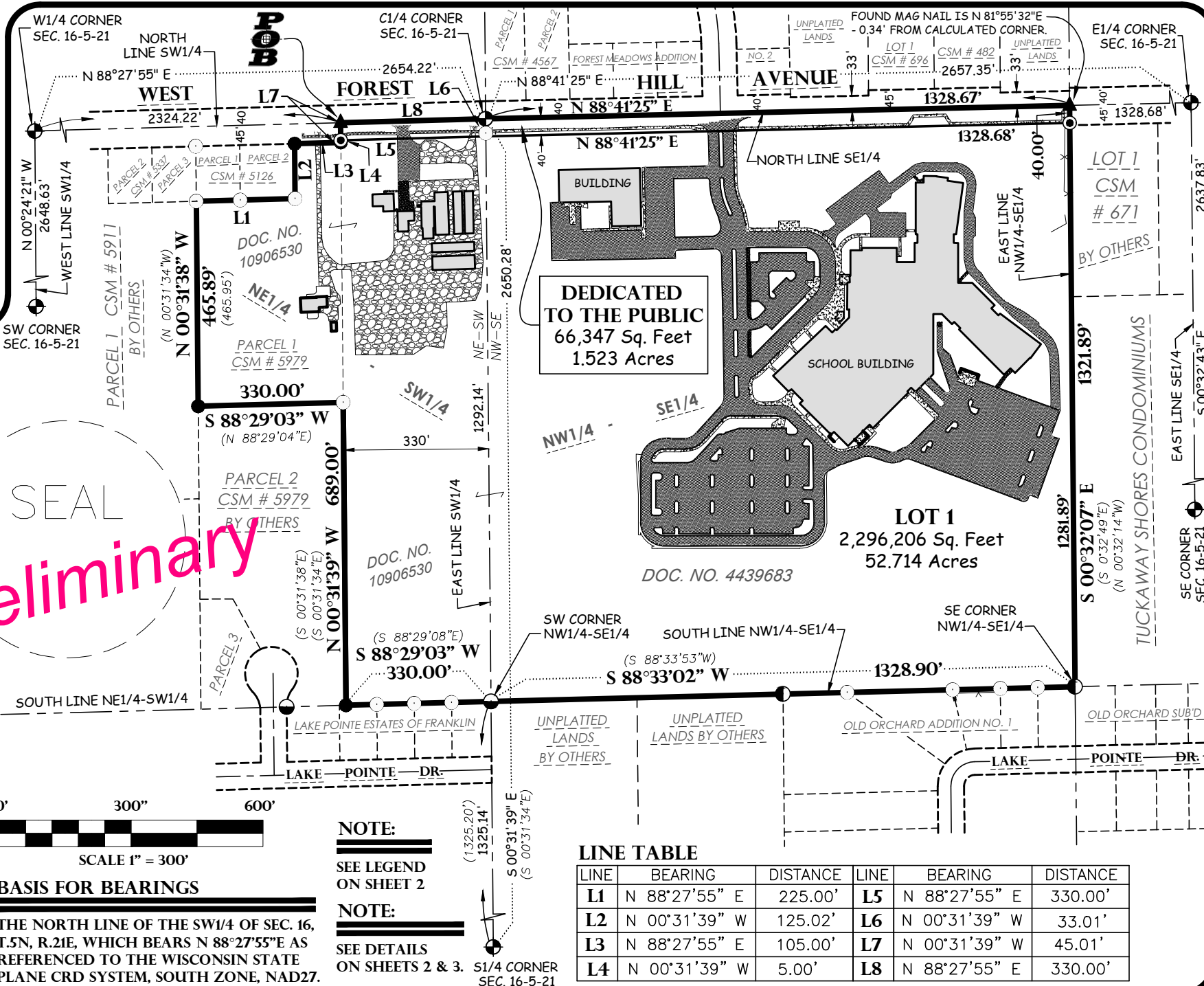
NOTE:

SEE LEGEND ON SHEET 2

NOTE:

SEE DETAILS ON SHEETS 2 & 3.

Preliminary



LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 88°27'55" E	225.00'	L5	N 88°27'55" E	330.00'
L2	N 00°31'39" W	125.02'	L6	N 00°31'39" W	33.01'
L3	N 88°27'55" E	105.00'	L7	N 00°31'39" W	45.01'
L4	N 00°31'39" W	5.00'	L8	N 88°27'55" E	330.00'

THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST AND DRAWN BY JORDAN BROST

FIELD BOOK 36 PAGE 42-43
JOB # 20.700

SHEET 1 OF 6 SHEETS

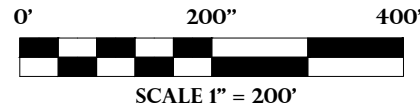
Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (FX)



CERTIFIED SURVEY MAP

BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, INCLUDING ALL OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5979 AND ALL OF THE NORTHWEST 1/4 OF SOUTHEAST 1/4, ALL IN SECTION 16, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

EXISTING EASEMENTS AND BUILDING DETAIL

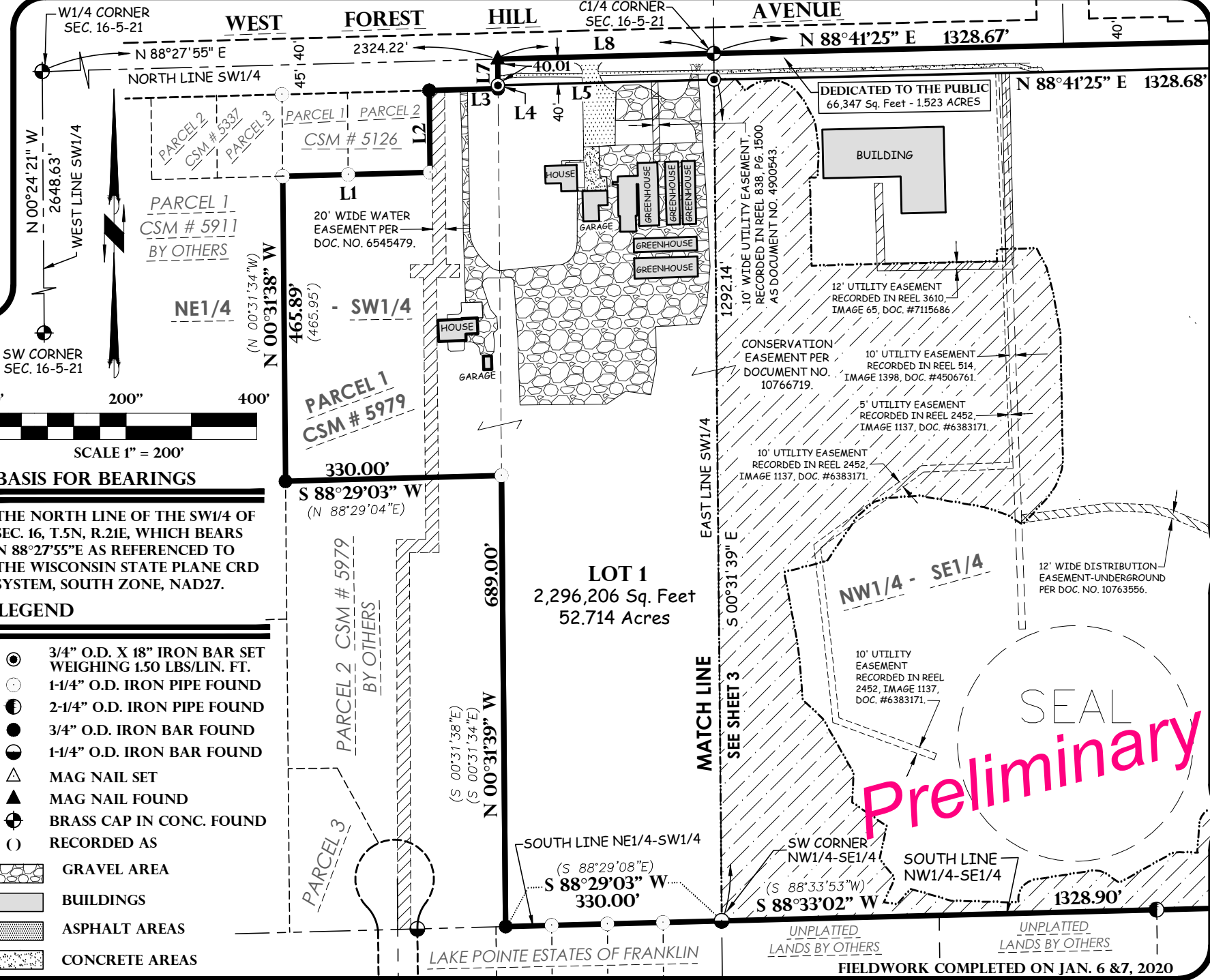


BASIS FOR BEARINGS

THE NORTH LINE OF THE SW1/4 OF SEC. 16, T.5N, R.21E, WHICH BEARS N 88°27'55"E AS REFERENCED TO THE WISCONSIN STATE PLANE CRD SYSTEM, SOUTH ZONE, NAD27.

LEGEND

- 3/4" O.D. X 18" IRON BAR SET WEIGHING 1.50 LBS/LIN. FT.
- 1-1/4" O.D. IRON PIPE FOUND
- 2-1/4" O.D. IRON PIPE FOUND
- 3/4" O.D. IRON BAR FOUND
- 1-1/4" O.D. IRON BAR FOUND
- MAG NAIL SET
- MAG NAIL FOUND
- BRASS CAP IN CONC. FOUND
- RECORDED AS
- GRAVEL AREA
- BUILDINGS
- ASPHALT AREAS
- CONCRETE AREAS



THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST AND DRAWN BY JORDAN BROST

FIELD BOOK 36 PAGE 42-43
JOB # 20.700

SHEET 2 OF 5 SHEETS

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (FX)

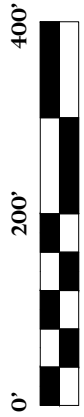
POB
Point of Beginning

FIELDWORK COMPLETED ON JAN. 6 & 7, 2020

CERTIFIED SURVEY MAP

BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, INCLUDING ALL OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5979 AND ALL OF THE NORTHWEST 1/4 OF SOUTHEAST 1/4, ALL IN SECTION 16, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

EXISTING EASEMENTS AND BUILDING DETAIL



BASIS FOR BEARINGS

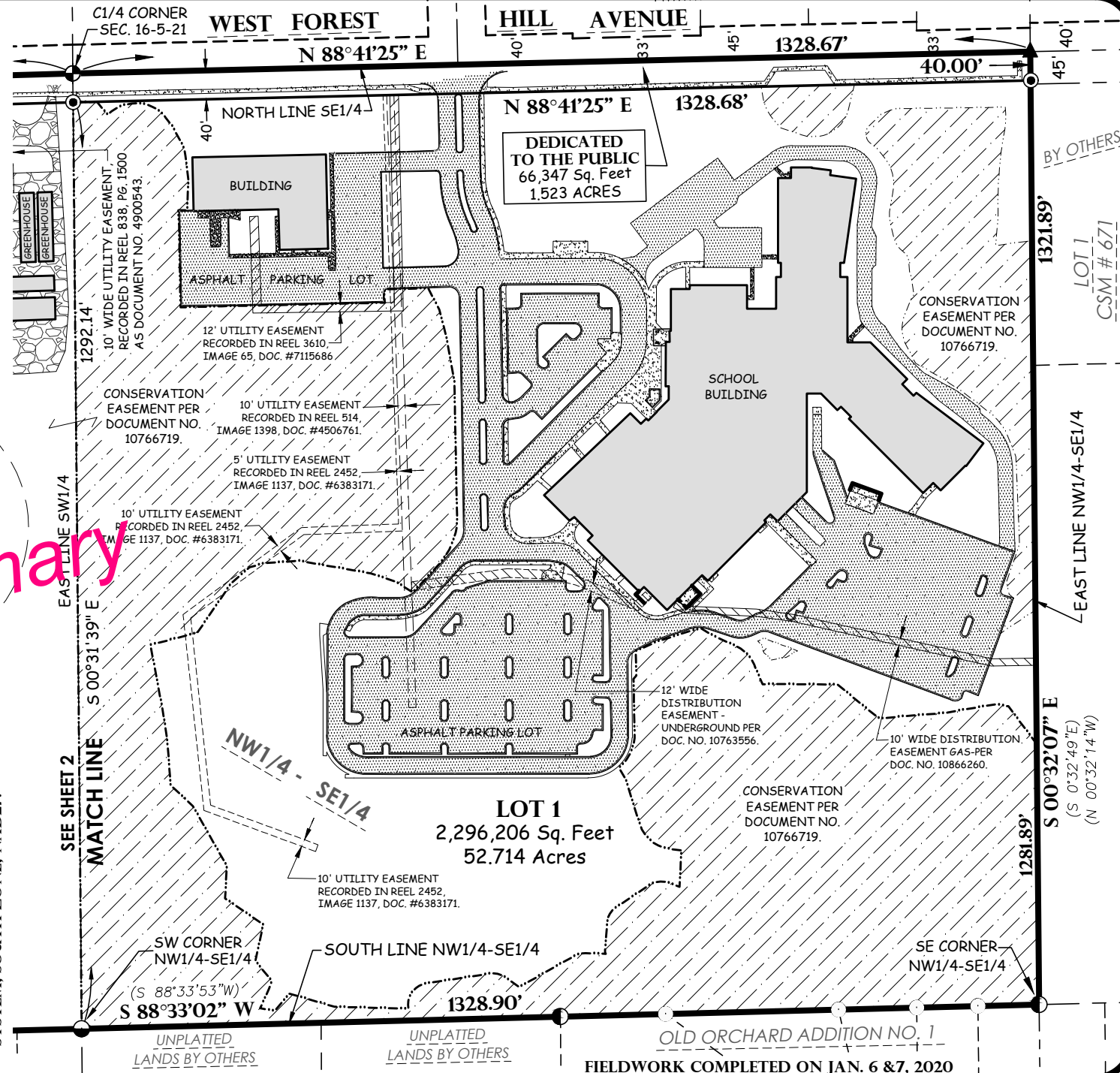
THE NORTH LINE OF THE SW1/4 OF SEC. 16, T.5N, R.21E, WHICH BEARS N 88°27'55" E AS REFERENCED TO THE WISCONSIN STATE PLANE CRD SYSTEM, SOUTH ZONE, NAD27.

NOTE:

SEE LEGEND ON SHEET 2

Preliminary

SEAL



FIELDWORK COMPLETED ON JAN. 6 & 7, 2020



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (FX)

THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST
AND DRAWN BY JORDAN BROST

FIELD BOOK 36 PAGE 42-43
JOB # 20.700

SHEET 3 OF 5 SHEETS

CERTIFIED SURVEY MAP

BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4,
INCLUDING ALL OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5979 AND
ALL OF THE NORTHWEST 1/4 OF SOUTHWEST 1/4, ALL IN SECTION 16,
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE
COUNTY, WISCONSIN.

Surveyor's Notes:

This Certified Survey Map is not intended to create any new lots but is intended to combine three adjoining parcels owned by Franklin Public Schools into 1 parcel. The following parcels that are to be combined in the City of Franklin are as follows:

1. Parcel No. 839-9991-004 - Site Address 8459 W. FOREST HILL AVE.
2. Parcel No. 839-9990-000 - Site Address 8429 W. FOREST HILL AVE.
3. Parcel No. 838-9978-000 - Site Address 8255 W. FOREST HILL AVE.

Surveyor's Certificate

I, Jordan G. Brost, Professional Land Surveyor, hereby certify:

That I have surveyed, divided, mapped and dedicated a part of the Northeast 1/4 of the Southwest 1/4, including all of Parcel 1 of Certified Survey Map No. 5979 and all of the Northwest 1/4 of the Southeast 1/4 of Section 16, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Commencing at the West 1/4 corner of Section 16, Township 5 North, Range 21 East;
Thence N 88°27'55"E along the North line of the Southwest 1/4 of said Section 16, 2324.22 feet to the point of beginning (POB) of the parcel to be described;
Thence continuing N 88°27'55"E along said North line, 330.00 feet to the Center 1/4 corner of said Section 16;
Thence N 88°41'25"E along the North line of the Southeast 1/4 of said Section 16, 1328.67 feet to the Northeast corner of the Northwest 1/4 of the Southeast 1/4 of said Section 16;
Thence S 00°32'07"E along the East line of the Northwest 1/4 of the Southeast 1/4 of said Section 16, 1321.89 feet to the Southeast corner thereof;
Thence S 88°33'02"W along the South line of the Northwest 1/4 of the Southeast 1/4 of said Section 16, 1328.90 feet to the Southwest corner thereof;
Thence S 88°29'03"W along the South line of the Northeast 1/4 of the Southwest 1/4 of said Section 16, 330.00 feet to the Southeast corner of Parcel 2 of Certified Survey Map No. 5979;
Thence N 00°31'39"W along the East line of said Parcel 2, 689.00 feet to the Southeast corner of Parcel 1 of said Certified Survey Map No. 5979;
Thence S 88°29'03"W along the South line of said Parcel 1, 330.00 feet to the Southwest corner thereof;
Thence N 00°31'38"W along the West line of said Parcel 1, 465.89 feet;
Thence N 88°27'55"E along the West line of said Parcel 1, 225.00 feet;
Thence N 00°31'39"W along the West line of said Parcel 1, 125.02 feet to the Northwest corner of said Parcel 1, said point also being the South right-of-way line of West Forest Hill Avenue;
Thence N 88°27'55"E along the North line of said Parcel 1 and said South right-of-way line, 105.00 feet to the Northeast corner of said Parcel 1;
Thence N 00°31'39"W, 45.01 feet to the point of beginning.
Containing: 2,362,553 Square Feet - 54.237 Acres

Subject to (if any) covenants, conditions, restrictions, right-of-ways and easements of record.

That I have made such survey, land division and plat by the direction of James Milzer of Franklin Public Schools.

That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Ordinances of the City of Franklin in surveying, dividing and mapping the same.

Dated this _____ day of _____, 2020.

Jordan G. Brost
PLS No. S-3009

PREPARED BY:

Point of Beginning, Inc.
4941 Kirschling Court
Stevens Point, WI 54481

OWNER:

FRANKLIN PUBLIC SCHOOLS
8255 W FOREST HILL AVE
FRANKLIN WI 53132-9705

CLIENT:

FRANKLIN PUBLIC SCHOOLS
C/O JAMES MILZER
8255 W FOREST HILL AVE
FRANKLIN WI 53132-9705

SEAL
Preliminary



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture

Jordan G. Brost, PLS #3009

4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999(Ph) 715.344.9922(FX)

THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST
AND DRAWN BY JORDAN BROST

FIELD BOOK 36 PAGE 42-43

JOB # 20.700

SHEET 4 OF 5 SHEETS

CERTIFIED SURVEY MAP

BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4,
INCLUDING ALL OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5979 AND
ALL OF THE NORTHWEST 1/4 OF SOUTHEAST 1/4, ALL IN SECTION 16,
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE
COUNTY, WISCONSIN.

Owner's Certificate of Dedication

As owner, I hereby certify that I caused the land described on this Certified Survey Map to be surveyed,
divided, dedicated and mapped as represented on the map. I also certify that this Certified Survey Map is required by s236.34 to
be submitted to the following for approval or objections:

City of Franklin

Witness the hand and seal of said owner this _____ day of _____, 2020.

James Milzer-Representative of ***Franklin Public Schools***, owner

STATE OF WISCONSIN)
COUNTY OF _____)

Personally came before me this ____ day of _____, 2020, the above named James Milzer, Representative of
Franklin Public Schools, owner, to me known to be the person who executed the foregoing instrument and hereby acknowledge
the same.

_____, Notary Public, _____, Wisconsin.

My commission expires _____.

City of Franklin Common Council Approval

APPROVED and Dedication accepted by the Common Council of the City of Franklin by
Resolution No. _____, dated on this _____ day of _____, 2020.

APPROVED AND SIGNED:

Steve Olson, Mayor, City of Franklin Date

Sandra L. Wesolowski, City Clerk Date

PREPARED BY:
Point of Beginning, Inc.
4941 Kirschling Court
Stevens Point, WI 54481

OWNER:
FRANKLIN PUBLIC SCHOOLS
8255 W FOREST HILL AVE
FRANKLIN WI 53132-9705

CLIENT:
FRANKLIN PUBLIC SCHOOLS
C/O JAMES MILZER
8255 W FOREST HILL AVE
FRANKLIN WI 53132-9705

SEAL
Preliminary



Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
4941 Kirschling Court
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715.344.9999(Ph) 715.344.9922(FX)

THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST
AND DRAWN BY JORDAN BROST

FIELD BOOK 36 PAGE 42-43
JOB # 20.700

SHEET 5 OF 5 SHEETS

APPROVED JANUARY 7, 2020

CITY OF FRANKLIN
COMMON COUNCIL MEETING
DECEMBER 3, 2019
MINUTES

ROLL CALL

- A. The regular meeting of the Common Council was held on November 19, 2019 and called to order at 6:31 p.m. by Mayor Steve Olson in the Franklin City Hall Council Chambers, 9229 W. Loomis Road, Franklin, Wisconsin. On roll call, the following were in attendance: Alderman Mark Dandrea, Alderwoman Kristen Wilhelm, Alderman Steve F. Taylor, Alderman Mike Barber, and Alderman John R. Nelson. Alderman Dan Mayer is excused. Also present were City Engineer Glen Morrow, Dir. of Administration Mark Luberd, City Attorney Jesse A. Wesolowski and Deputy City Clerk Shirley Roberts.

CITIZEN COMMENT

- B. Citizen comment period was opened at 6:32 p.m. and closed at 6:33 p.m.

MINUTES

NOVEMBER 19, 2019

- C. Alderwoman Wilhelm moved to approve the minutes of the regular Common Council meeting of November 19, 2019 as presented at this meeting. Seconded by Alderman Dandrea. All voted Aye; motion carried.

HEARINGS

2025 COMP MASTER
PLAN 8429 & 8459 W.
FOREST HILL AVE.

- D. A public hearing was called to order at 6:34 p.m. regarding a proposed Ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the Future Land Use Map use designation for property generally located at 8429 and 8459 West Forest Hill Avenue, from Residential Use and Areas of Natural Resource Features Use to Institutional Use and Areas of Natural Resource Features Use (Franklin Public Schools, Applicant, Ronald S. Pesche and Susan D. Pesche, property owners). The public hearing was closed at 6:36 p.m.

MAYORAL

APPOINTMENTS

- E.1. Alderman Dandrea moved to confirm the following Mayoral Appointments: James Schubilski, 7342 S. Cambridge Dr., (Ald. Dist. 2), 5-year term to the Board of Water Commissioners, expiring 09/30/24; and
Tourism Commission:
a) Hotel/Motel Industry Member: Lance A. Schaefer, Everest Hospitality, LLC, 6901 S. 76th St. (Ald. Dist. 2), 1-year term expiring 12/31/2020.
b) Shaun Marefka, 7644 S. Mission Ct. (Ald. Dist. 2), 1-year term expiring 12/31/2020.
c) Amy Schermetzler, 4227 W. Central Ave. (Ald. Dist. 4), 1-year term expiring 12/31/2020.
d) Mark Wylie, 7468 Carter Circle S. (Ald. Dist. 5), 1-year term expiring 12/31/2020.

e) Ann Adamski, 7825 S. Stonebrook Ct. (Ald. Dist. 3), 1-year term expiring 12/31/2020.

Seconded by Alderman Nelson. On roll call, all voted Aye; motion carried.

Alderman Barber moved to confirm the Inspectors of Election and alternates for 2020 and 2021 as listed on the action request form dated 12/03/2019. Seconded by Alderwoman Wilhelm. On roll call, all voted Aye; motion carried.

ORD. 2019-2401
AMEND THE 2025
COMP MASTER PLAN
TO CHANGE FUTURE
LAND USE AT 8429 &
8459 W. FOREST HILL
AVE. (FRANKLIN
PUBLIC SCHOOLS,
APPLICANT)

G.1. Alderman Dandrea moved to adopt Ordinance No. 2019-2401, AN ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025 COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF FRANKLIN 2025 FUTURE LAND USE MAP FOR PROPERTIES LOCATED AT 8429 AND 8459 WEST FOREST HILL AVENUE FROM RESIDENTIAL USE AND AREAS OF NATURAL RESOURCE FEATURES USE TO INSTITUTIONAL USE AND AREAS OF NATURAL RESOURCE FEATURES USE (APPROXIMATELY 13.974 ACRES) (FRANKLIN PUBLIC SCHOOLS, APPLICANT, RONALD S. PESCHE AND SUSAN D. PESCHE, PROPERTY OWNERS). Seconded by Alderman Barber. All voted Aye; motion carried.

ORD. 2019-2402
AMEND UDO TO
REZONE 8429 & 8459
W. FOREST HILL AVE.

G.2. Alderman Dandrea moved to adopt Ordinance No. 2019-2402, AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE (ZONING MAP) TO REZONE TWO PARCELS OF LAND FROM R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT TO I-1 INSTITUTIONAL DISTRICT (8429 AND 8459 WEST FOREST HILL AVENUE) (APPROXIMATELY 13.974 ACRES) (FRANKLIN PUBLIC SCHOOLS, APPLICANT, RONALD S. PESCHE AND SUSAN D. PESCHE, PROPERTY OWNERS). Seconded by Alderman Barber. All voted Aye; motion carried.

RES. 2019-7558
MODIFY JOHNS
DISPOSAL CONTRACT

G.3. Alderman Taylor moved to adopt Resolution No. 2019-7558, A RESOLUTION TO MODIFY JOHNS DISPOSAL SERVICES, INC. CONTRACT TO PROVIDE WEEKLY RECYCLING AND AUTOMATED GARBAGE SERVICES subject to technical corrections by City Attorney and City Engineer. Seconded by Alderman Nelson. All voted Aye; motion carried.

RES. 2019-7559
JSA ENVIRONMENTAL
AGREEMENT

G.4. Alderman Nelson moved to adopt Resolution No. 2019-7559, A RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO EXECUTE AN AGREEMENT TO CONTINUE PROFESSIONAL ENVIRONMENTAL ENGINEERING SERVICES TO MONITOR COMPLIANCE AT THE METRO RECYCLING & DISPOSAL

FACILITY TO DECEMBER 31, 2020, WITH JSA ENVIRONMENTAL, INC. Seconded by Alderman Barber. All voted Aye; motion carried.

RES. 2019-7560
SPECIAL USE FOR DAY
CARE AT 7760 S.
LOVERS LANE RD.
(STEVEN PAGNOTA,
MANAGING MEMBER
OF BRADFORD
FRANKLIN, LLC,
APPLICANT)

G.5. Alderman Dandrea moved to adopt Resolution No. 2019-7560, A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR DAYCARE FACILITY USE UPON PROPERTY LOCATED AT 7760 SOUTH LOVERS LANE ROAD (STEVE PAGNOTA, MANAGING MEMBER OF BRADFORD FRANKLIN, LLC), authorizing the special use, with the condition that the applicant receive a text amendment change to the Unified Development Ordinance (to allow for a waiver of the cross-access requirement). Seconded by Alderman Barber. All voted Aye; motion carried.

RES. 2019-7561
SPECIAL USE FOR
REPLACEMENT
BRIDGE 6361 S. 27TH
ST. (DAVID
STEINBERGER,
PRESIDENT FOR
FRANKLIN MOBILE,
LLC, APPLICANT)

G.6. Alderwoman Wilhelm moved to adopt Resolution No. 2019-7561, A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR REPLACEMENT OF AN EXISTING FAILED BRIDGE AND ASSOCIATE CULVERT WITHIN A SHORELAND, FLOODWAY, AND WETLANDS AREA ASSOCIATED WITH THE EAST BRANCH OF THE ROOT RIVER LOCATED ON A PRIVATE ROAD REFERRED TO AS WEST WESTMOOR AVENUE, IN THE FRANKLIN MOBIL HOME PARK, PROPERTY LOCATED AT 6361 SOUTH 27TH STREET (DAVID STEINBERGER, PRESIDENT FOR FRANKLIN MOBILE, LLC, APPLICANT), with the elimination of provisions 5 and 6. Seconded by Alderman Taylor. All voted Aye; motion carried.

AMENDMENT NO. 1
SERVICE CONTRACT
WITH SOUTHWEST
INSPECTION

G.7. Alderman Taylor moved to approve and authorize execution of Amendment No. 1 to the Service Contract between the City of Franklin and Southeast Inspection Management Services, LLC. Seconded by Alderman Dandrea. All voted Aye; motion carried.

RES. 2019-7562
AMEND SITE PLAN
AND TERMS OF PDD
NO. 37 (THE ROCK
SPORTS COMPLEX/
BALLPARK COMMONS)

G.8. Alderman Dandrea moved to adopt Resolution No. 2019-7562, A RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO AMEND SITE PLAN RESOLUTION NO. 2019-001 A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION OF BUILDING C1, A 3-STORY RETAIL/OFFICE BUILDING; TO AMEND STANDARDS. FINDINGS AND DECISION OF THE CITY OF FRANKLIN COMMON COUNCIL FOR A SPECIAL EXCEPTION TO CERTAIN NATURAL RESOURCE PROVISIONS DATED JANUARY 9, 2018; AND TO AMEND THE TERMS OF PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS). Seconded by Alderman Nelson. Alderman Dandrea, Alderwoman Wilhelm,

Alderman Barber, Alderman Nelson voted Aye; Alderman Taylor Abstained. Motion carried.

QUARRY SURVEY
SERVICES CONTRACT
WITH LYNCH &
ASSOCIATES

- G.9. Alderwoman Wilhelm moved to authorize that \$6,400 of General Fund Contingency appropriations be used to fund the Quarry Survey Services contract with Lynch & Associates, which contract was previously approved at the November 19, 2019 meeting. Seconded by Alderman Barber. All voted Aye; motion carried.

QUARRY MONITORING
COMMITTEE
RECOMMENDATIONS

- G.10. No action taken regarding recommendations from the Quarry Monitoring Committee.

RES. 2019-7563
CHANGE ORDER NO.1
ZIGNEGO COMPANY
INC., S. 51ST ST. & W.
DREXEL AVE.

- G.11. Alderman Taylor moved to adopt a Resolution authorizing Change Order No. 1 of the South 51st Street and West Drexel Avenue intersection project to Zignego Company Inc. in the amount of \$173,859.73 savings and additional 140 calendar days. Seconded by Alderman Barber.

Alderman Taylor withdrew his motion without objection.

Alderwoman Wilhelm moved to adopt Resolution No. 2019-7563, A RESOLUTION AUTHORIZING CHANGE ORDER NO. 1 OF THE SOUTH 51ST STREET AND WEST DREXEL AVENUE INTERSECTION PROJECT TO ZIGNEGO COMPANY INC. IN THE AMOUNT OF \$173,859.73 SAVINGS AND ADDITIONAL 140 CALENDAR DAYS. Seconded by Alderman Barber. All voted Aye; motion carried.

BID FOR THE 2020
LOCAL ROAD
PROGRAM AND S. 68TH
ST. IMPROVEMENTS

- G.12. Alderwoman Wilhelm moved to direct staff to solicit contractors per compliance with applicable public works bidding requirements for the 2020 Local Road Program and South 68th Street Vertical Sight Curve Improvements. Seconded by Alderman Barber. All voted Aye; motion carried.

DEVELOPER
GUARANTEE WATER
IMPACT FEES

- G.13. Alderwoman Wilhelm moved to direct staff to proceed with the preparation of a bond, to be executed by the developer, the terms thereof to be negotiated between staff and the developer, with the assistance of Special Counsel and City Bond Counsel, to be returned to the Common Council for its consideration at a special meeting at the call of the Chair. Seconded by Alderman Dandrea. Alderman Dandrea, Alderwoman Wilhelm, Alderman Barber, Alderman Nelson voted Aye; Alderman Taylor Abstained. Motion carried.

RES. 2019-7564
RUEKERT & MIELKE
NEW WATER MODEL

G.14. Alderman Dandrea moved to adopt Resolution No. 2019-7564, A RESOLUTION TO AUTHORIZE RUEKERT & MIELKE TO CREATE A NEW WATER MODEL FOR FRANKLIN WATER UTILITY IN THE AMOUNT OF \$26,000. Seconded by Alderman Barber. On roll call, all voted Aye; motion carried.

OCTOBER 2019
FINANCIAL REPORT

G.15. Alderman Taylor moved to receive and place on file the October 2019 Monthly Financial Report. Seconded by Alderman Barber. All voted Aye; motion carried.

2020 PROPERTY &
CASUALTY COVERAGE

G.16. Alderman Taylor moved to authorize the Director of Administration to renew and execute the City's casualty insurance plans with R & R Insurance/League of Wisconsin Municipalities Mutual Insurance (LWMMI), Chubb, Hanover and ACE American Insurance Company for the upcoming 2020 year, as noted above, including the addition of the Cyber Insurance Policy through Chubb for an annual premium of \$3,958, and to further authorize release of premium payments in accordance with or as required by said policy documents. Seconded by Alderman Barber. All voted Aye; motion carried.

VOUCHERS AND
PAYROLL

H.1. Alderman Barber moved to approve the following: City vouchers with an ending date of December 2, 2019 in the amount of \$981,747.50; and payroll dated November 22, 2019 in the amount of \$428,572.65 and payments of the various payroll deductions in the amount of \$437,990.45, plus City matching payments; and estimated payroll dated December 6, 2019 in the amount of \$400,000.00 and payments of the various payroll deductions in the amount of \$235,000.00 plus City matching payments; and approval to release payments to Knight Barry in the amount of \$1,780,412.10. Seconded by Alderman Dandrea. On roll call, all voted Aye. Motion carried.

LICENSES AND
PERMITS

I.1. Alderman Taylor moved to approve the following license recommendations from the License Committee meeting of December 3, 2019:
Grant Class B Combination license in compliance to Honey Butter Café, LLC, Agent Debbie Koutromanos, 7221 S. 76th St.; grant license subject to a surrender of the license of Pantheon, 7621 W. Rawson Avenue and provision of a valid lease for the new premises and compliance with all State and City of Franklin regulations;
Grant Operator license with warning letter to Ashleigh Ponga, 6062 S 36th St, Greenfield;
Grant Operator Licenses to Kendrick W Hoehn, 1008 Montclair Dr, Racine; Nisa Razo, 1826 S 18th St, Milwaukee; Amanda L Smith, S97 W13776, Muskego;

CLOSED SESSION
W. ELM RD.
TKN: 979-9997-000
DEVELOPMENT

- G.18. Alderman Barber moved to enter closed session at 8:35 p.m. pursuant to Wis. Stat. §19.85(1)(e), for market competition and bargaining reasons, to deliberate and consider terms related to potential development and proposal and the investing of public funds and governmental actions in relation thereto and to effect such development, including the terms and provisions of a potential development agreement for the development of property located on the south side of West Elm Road in the approximately 3500 block area where West Elm Road to be extended to the west, consisting of approximately 79.79 acres and bearing Tax Key No. 979-9997-000, and to reenter open session at the same place thereafter to act on such matters discusses therein as it deems appropriate. Seconded by Alderman Dandrea. On roll call, all voted Aye; motion carried.

Upon reentering open session at 8:51 p.m., no action was taken on this item.

CLOSED SESSION
3617 W. OAKWOOD RD.
& 3548 SOUTH COUNTY
LINE RD.
DEVELOPMENT

- G.19. Alderman Taylor moved to enter closed session at 8:53 p.m. pursuant to Wis. Stat. §19.85(1)(e), for market competition and bargaining reasons, to deliberate and consider terms relating to potential property acquisition(s) and public improvements and development(s) and agreement(s) for the Tax Incremental District No. 4 Franklin Corporate Park, including, but not limited to the properties located at 3617 West Oakwood Road (Tax Key No. 950-9997-001) and 3548 South County Line Road (Tax Key No. 979-9999-000), and the investing of public funds and governmental actions in relation thereto and to effect such acquisitions(s) and development(s), and to reenter open session at the same place thereafter to act on such matters discussed therein as it deems appropriate. Seconded by Alderman Barber. On roll call, all voted Aye. Motion carried.

Upon reentering open session at 9:07 p.m., no action was taken on this item.

ADJOURNMENT

- J. Alderman Taylor moved to adjourn the meeting at 9:10 p.m. Seconded by Alderwoman Wilhelm. All voted Aye; motion carried.



REPORT TO THE PLAN COMMISSION

Meeting of April 22, 2021

Master Sign Program Amendment

RECOMMENDATION: City Development Staff recommends approval of this amendment to the Master Sign Program of the Franklin Village shopping center located at 7101-7133 South 76th Street, subject to the conditions in the attached draft resolution.

Project Name:	Franklin Village Master Sign Program Amendment
Project Address:	7101-7133 South 76 th Street
Applicant:	Rosie Olle, Michael’s Signs, Inc.
Property Owner:	Franklin Village Properties LLC
Current Zoning:	B-3 Community Business District
Use of Surrounding Properties:	Commercial to the north, south, east and west
Applicant Action Requested:	Approval of this amendment to the Master Sign Program
Planner:	Régulo Martínez-Montilva, Principal Planner

INTRODUCTION:

The applicant is requesting to amend the Master Sign Program (MSP) for Franklin Village as follows:

1. Removal of the anchor tenant sign from the MSP, such sign was approved as part of the MSP but never installed.
2. Removal of the existing Franklin Village pole sign, its electronic message center (EMC) and bollards.
3. Increase the multi-tenant pylon sign area from 152 sf to 235 sf. The alterations to the existing multi-tenant pylon sign are limited to sign cabinets, the location and structure of this sign will remain. This multi-tenant sign currently has 1 header cabinet and 7 tenants cabinets, while the applicant is proposing 1 header cabinet, 1 electronic message center and 1 tenants cabinet that may allow up to 16 tenant signs.

The overall sign area with this amendment will be reduced from 917 sf to 900sf. The current Master Sign Program was approved by Plan Commission Resolution No. 2019-003 in April 2019.

PROJECT ANALYSIS:

The applicant submitted the amended Master Sign Program that would supersede the current program. The amendments include:

- The Multi-Tenant Pylon Sign section and exhibits have been updated.
- The Anchor Tenant Monument Sign section has been removed.

- The Special Exceptions Requested section has been updated. The exceptions to allow 2 free standing signs and the anchor tenant monument sign setback reduction have been removed.
- Sign area calculations have been updated.

It is noted that the existing Multi-Tenant Pylon sign is legal non-conforming with respect to its location within the required 40-foot setback from 76th Street. The applicant is proposing to increase the sign face area while maintain the location and height. The non-conforming location of this sign would remain with this amendment. On the other hand, this amendment will eliminate the following nonconformities:

- The anchor tenant sign approved as part of the current MSP but not installed, it is located within the 40-foot setback from 76th Street. Removing this sign from the MSP will eliminate this nonconformity.
- The existing Franklin Village pole sign is also located within the 40-foot setback form 76th Street. This nonconformity will be eliminated as well.
- The total of monument signs for this site would be reduced from 3 to 1, the previously granted special exception noted above would no longer be necessary.

Staff Recommendation:

City Development Staff recommends approval of this amendment to the Master Sign Program of the Franklin Village shopping center located at 7101 - 7133 South 76th Street, subject to the conditions in the attached draft resolution.

RESOLUTION NO. 2021- _____

A RESOLUTION APPROVING AN AMENDMENT TO THE
MASTER SIGN PROGRAM FOR FRANKLIN VILLAGE
SHOPPING CENTER TO ALLOW FOR SIGNAGE CHANGES
(7101-7131 SOUTH 76TH STREET)
FRANKLIN VILLAGE PROPERTIES, LLC,
APPLICANT AND PROPERTY OWNER)

WHEREAS, Franklin Village Properties, LLC, having petitioned the City of Franklin for the approval of an amendment to Resolution No. 2019-003, conditionally approving a Master Sign Program for Franklin Village Shopping Center, located at 7101-7131 South 76th Street, to allow for a Master Sign Program which will include the following changes: removal of the anchor tenant sign from the Master Sign Program (such sign was approved as part of the Master Sign Program but never installed), removal of the existing Franklin Village pole sign, its electronic message center and bollards, and an increase in the multi-tenant pylon sign area from 152 square feet to 235 square feet [the alterations to the existing multi-tenant pylon sign are limited to sign cabinets; the location and structure of this sign will remain; this multi-tenant sign currently has 1 header cabinet and 7 tenants cabinets, while the applicant is proposing 1 header cabinet, 1 electronic message center and 1 tenants cabinet that may allow up to 16 tenant signs; the overall sign area with this amendment will be reduced from 917 square feet to 900 square feet, a 17 square foot decrease], and such application having been reviewed by City staff and the application and staff recommendations and suggested considerations having been reviewed by the Plan Commission at its meeting on April 22, 2021; and

WHEREAS, the Plan Commission having determined that the Franklin Village Properties, LLC amendment to Master Sign Program application for Franklin Village Shopping Center, together with those staff recommendations and suggested considerations meets the purposes and intent of §210-9 of the Municipal Code of the City of Franklin and will promote the health, safety and welfare of the Community.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Franklin Village Properties, LLC amendment to Master Sign Program application for Franklin Village Shopping Center be and the same is hereby approved, subject to the Franklin Village Properties, LLC amendment to Master Sign Program application for Franklin Village Shopping Center, and plans City file-stamped on April 7, 2021, together with the following additional conditions, which conditions shall be incorporated into the Master Sign Program – Franklin Village Shopping Center:

FRANKLIN VILLAGE PROPERTIES, LLC – MASTER SIGN PROGRAM
AMENDMENT

RESOLUTION NO. 2021-_____

Page 2

1. Franklin Village Properties, LLC, successors and assigns, and any developer of the Franklin Village Properties, LLC Master Sign Program for Franklin Village Shopping Center, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Franklin Village Properties, LLC Master Sign Program for Franklin Village Shopping Center, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. Compliance with the “City of Franklin – Master Sign Program” document annexed hereto and incorporated herein.

BE IT FURTHER RESOLVED, that all terms and conditions of Resolution No. 2019-003, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2021.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2021.

APPROVED:

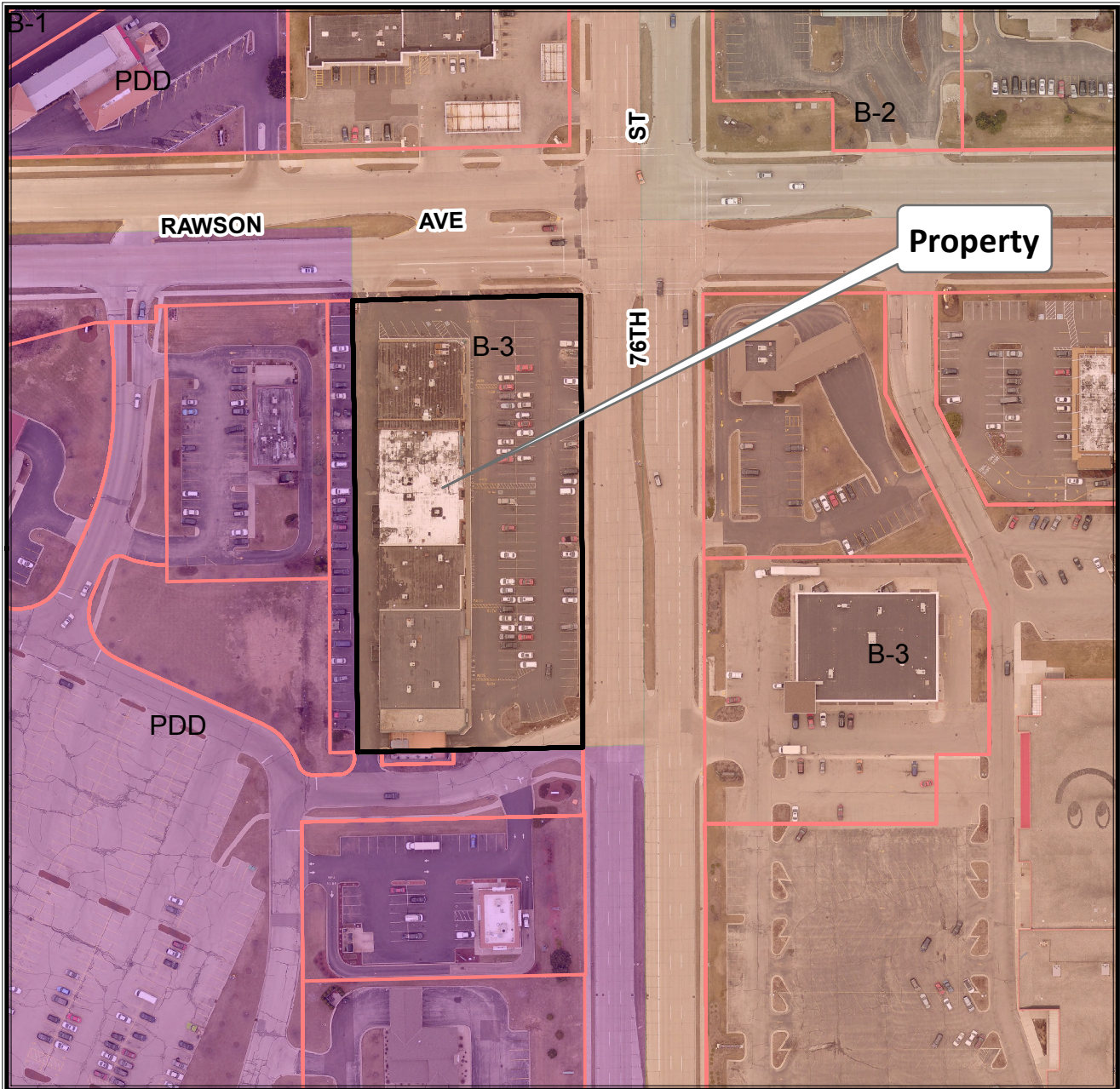
Stephen R. Olson, Chairman

ATTEST:

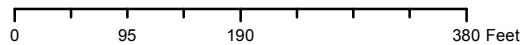
Sandra L. Wesolowski, City Clerk

AYES ____ NOES ____ ABSENT ____

7101 - 7131 S. 76th Street
TKN: 755 0038 001

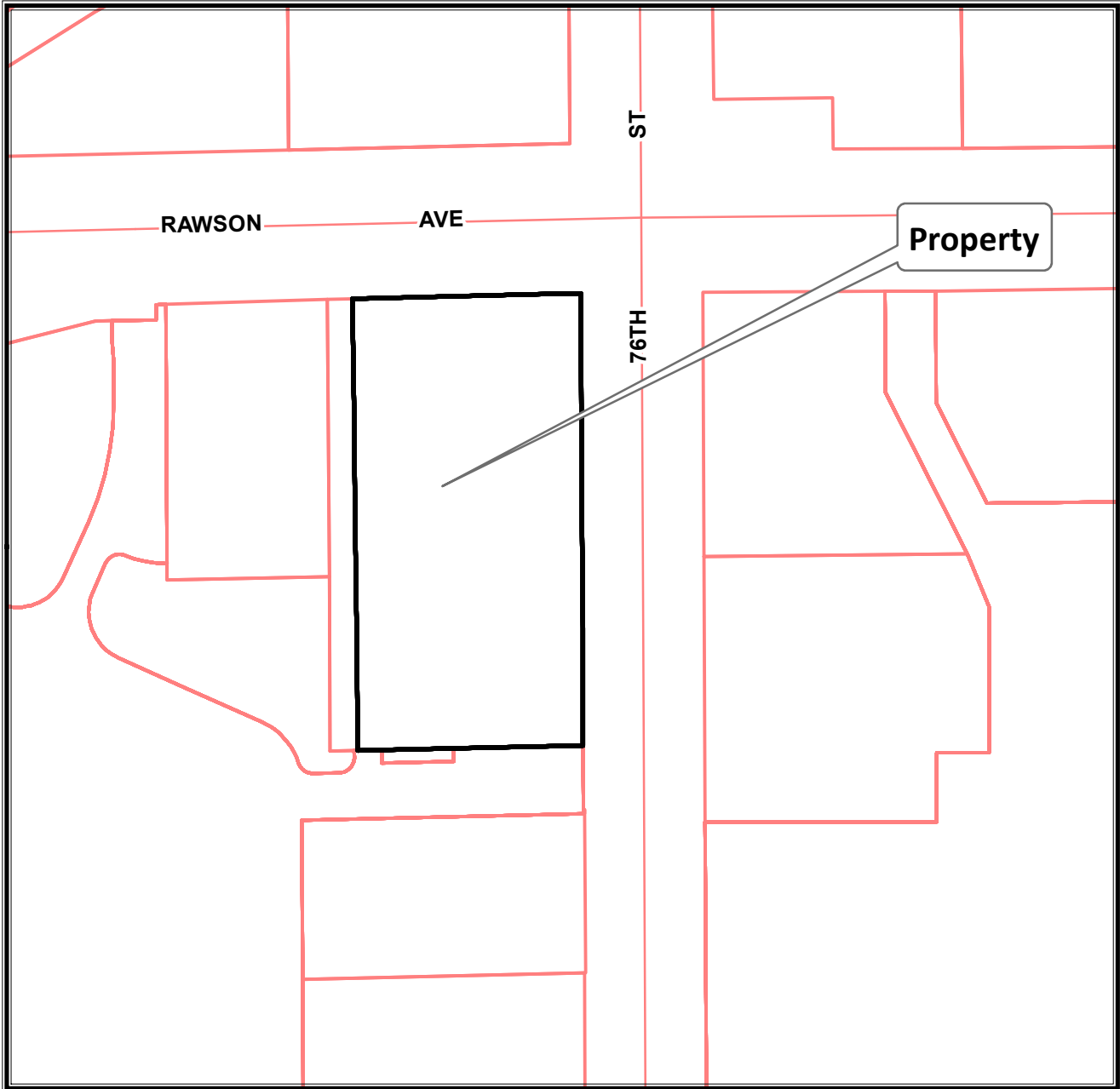


Planning Department
(414) 425-4024

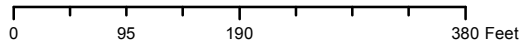


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7101 - 7131 S. 76th Street
TKN: 755 0038 001



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



City of Franklin
Department of City Development

Date: March 26, 2021

To: Rosie Olle, Michael’s Signs, Inc.

From: City Development Department
Régulo Martínez-Montilva, Principal Planner

RE: Franklin Village Master Sign Program Amendment – Staff Comments

Please be advised that city staff has reviewed the above application. Department comments are as follows for the Franklin Village Master Sign Program amendment application:

City Development Department

1. Please submit a revised master sign program amendment that will supersede the current 2019 master sign program if this application is approved. For your convenience, staff has pointed out the parts of the program that need to be updated along with additional comments, see attached document.
2. Site plan. Add setbacks from signs to property lines as well as the vision triangle of the intersection of Rawson Avenue and S. 76th Street. The vision triangle for this intersection is 60 feet, measured from the northeast corner of the property.
3. Site plan. Add a note stating that the existing anchor tenant sign and bollards will be removed.
4. Site plan. Replace the label “Master Identification Sign” for “Multi-Tenant pylon sign” to be consistent with the master sign program text.
5. Add the existing multi-tenant pylon sign height, will this amendment increase the height of this sign? If so, please add this information to the master sign program text.

Engineering Department

6. No comments.

Inspection Services Department

7. Inspection Services has no comments on the subject proposal at this time.

Police Department

8. The Franklin Police Department has no issues or concerns with this project.

P.O. Box 085179
Racine, WI 53408-5179



Phone 262•554•6066
Fax 262•554•0574

Michaels Signs Inc. is proposing to amend the current Master Sign Program for Franklin Village, 7117 S. 76th Street.

This amendment includes:

-Removal of the 100 square foot anchor tenant monument sign that was proposed and approved but never installed. There currently is no sign at this location to be removed as part of this amendment.

- Remove the existing Franklin Village pole sign with EMC and bollards. Sign and bollards will be cut to grade and become flush to the rest of the parking lot and maintain a parking space.

-Increase the square footage of the existing Multi-Tenant pylon sign from 152 sq. ft to 235 sq. ft. This location and structure will remain in the same location and no changes to the structure itself. Only the tenant portion of the sign and the added EMC will be changed. This increase will clean up the overall look of the sign and site. It will also allow the multiple tenants to have a more visible presence on the sign.

The overall maximum allowable square footage will be decreased by 17sq. ft. with this amendment.

It will also make the site more appealing to just have one (1) pylon sign for the entire site that will be multi-functional to all tenants as a whole, rather than several smaller type ground signs.

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

Project Name: Franklin Village

Property Address: 7101-7133 S 76th Street

Current Zoning: B-3 Community Business District

Applicant Name: Lemberg Electric, Co.

Contact Person: Zach Wenger

Applicant Address: 4085 N. 128th Street

City: Brookfield **State:** WI **Zip:** 53005

Phone: 262-364-0364 **Email:** zwenger@lembergelectric.com

AMENDED 4/1/2021

Michaels Signs Inc.

3914 S. Memorial Dr

Racine, WI 53403

262-554-6066

Rosie Olle rosie@michaelsigns.com

Intent

This document comprises the Mater Sign Program (MSP) for Franklin Village located at 7101-7131 S 76th Street. Franklin Village is a development consisting of 16 separate tenant spaces. The intent of the MSP is to set forth a theme as to placement, lettering style, color and related design considerations of signs, while at the same time reducing sign clutter. No sign shall be erected, placed, painted, or maintained, except in conformance with the MSP.

Background Information

The subject, Franklin Village, is zoned B-3 Community Business District and is subject to the B-3 standards and specific approvals of the City of Franklin Plan Commission and Common Council. The property in question has 454' of frontage along 76th Street and W Rawson Ave.

Approval Procedure

Amendments to this document require Plan Commission review and approval in the form of a Master Sign Program Amendment. Any future signage outside the requirements of the master sign program shall not be permitted without the applicant receiving approval of a master sign program amendment from the Plan Commission.

When considering an application for an amendment to a Master Sign Program, the Plan Commission may, at its discretion, require amendment to any other requirement or condition of the Master Sign Program and shall not be limited to the items contained in the application for amendment to the Master Sign Program.

Separate sign permits are required for each individual sign in the development and will be issued by the Inspection Department. Prior to application, the tenant shall obtain initial approval from the Owner of Franklin Village and the application must bear the signature and/or stamp of the appropriate Franklin Village representative(s). Additional requirements apply as noted in Section 210-9(c)

“Each individual sign proposed in accordance with an approved master sign program must be applied for and permitted separately in accordance with this chapter, and in no event shall any recommendation or approval of a

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

master sign program be deemed an approval of or a permission to construct any particular sign under that program. All applications for permits for such signs must be filed with the Inspection Department for approval under the terms and conditions of the previously approved master sign program, except the application must specify in exact terms any sign characteristics which the master sign program considered in general or nonspecific terms or measurements. The Building Inspector may approve or deny such application or may forward the application to the Plan Commission for its denial, approval, or approval with conditions or modifications, including but not limited to modification of the previously approved master sign program, provided such modification was duly noticed and the master sign program application fee is paid.”

Applicability of Sign, Zoning, and Municipal Codes

Conflict. If any provision, sentence, or clause of the Master Sign Program as approved herein, or as maybe amended from time to time, is found to be in conflict with the requirements of the Municipal Code of the City of Franklin, including but not limited to Chapter 201- Signs and Billboards, the requirements of the Municipal Code shall prevail.

Severability. If any provision, sentence, or clause of the Master Sign Program as approved herein, or as maybe amended from time to time, is declared invalid or unenforceable, such invalidity or unenforceability shall not affect the whole Master Sign Program, but the whole remaining Master Sign Program shall be construed and enforced accordingly and such provision, sentence or clause shall be severable.

Enforcement. If the City fails to enforce any requirement of the Master Sign Program or fails to exercise any right or remedy available under this Master Sign Program or the Municipal Code of the City of Franklin, including but not limited to Chapter 210- Signs and Billboards, that failure shall not be construed as a waiver of any requirement, right, or remedy and shall not restrict the City from enforcing any such requirement or exercising any such right or remedy.

Professionally Prepared

All signs and sign plans shall be “professionally” prepared and demonstrate materials, color selection, and craftsmanship. Applications to the City of Franklin Inspection Department for sign permits shall include professionally rendered imagery and dimension scaled drawings and shall depict the type of light source, all materials, and colors.

Franklin Village Sign Types

Multi-Tenant Pylon Sign

The multi-tenant pylon sign location is shown in Exhibit D and further discussed in the rendering in Exhibit A

Per the plan commission’s direction, the total square footage of the sign will be taken into account from the total allowable square footage for the facility.

The Multi-Tenant Pylon Sign Theme, Color, Size, and Style shall meet the following guidelines

- i. 150 sq. ft. of landscaping to be added to the base of the sign
- ii. Existing sign to remain and be refurbished per proposed rendering
- iii. Secondary tenant sign to be removed, bollards and steel cut to grade and become a parking spot. (amend 4/1/21)

The Location of the Multi-Tenant Pylon sign will meet the following guidelines

- i. Since the existing sign will remain as the primary identification sign, the location will not change
- ii. Sign is within the 40’ setback requirement. See special exceptions section for further discussion

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

Anchor Tenant Monument Sign-

(amend. 4/1/21)- Removed

The Multi-Tenant Pylon Sign Theme, Color, Size, and Style shall meet the following guidelines

- i. Sign to have similar themes and colors as the multi-tenant for signage uniformity
- ii. Message center (LED or manual changing) to be added to sign

The Location of the Multi-Tenant Pylon sign will meet the following guidelines

- i. Sign to stay in same location as the existing pylon sign
- ii. Sign is within the 40' setback requirement. See special exceptions for further discussion

Directional Signs

There are currently no directional signs onsite, and none are proposed at the moment.

Tenant Wall Signs

With the approval of the landlord, each tenant will be allowed to erect a wall or roof mounted (whichever makes the most sense) identification sign which will comply with the size requirements stated in the City of Franklin sign code and the restrictions set forth in this master sign program. Two wall signs will be allowed for the anchor tenant (northern most end cap tenant) for visibility on W. Rawson Ave and S 76th St. One wall sign will be allowed for all remaining tenants. Exhibits F-H show the existing building with the existing signage areas where signs may be placed. Exhibit B and Exhibit C shows the sign specifications allowable by the Master Sign Program.

Sign text and logos may be placed within the applicable allowable sign area consistent with the following guidelines.

- i. The vertical orientation of the wall sign within the allowable sign area shall be evenly balanced relative to a horizontal line running through the horizontal center of the allowable sign area
- ii. Wall signs may be centered over the tenant entrance, center relative to an architectural element, or centered over the tenant space as mutually determined by the landlord and Department of City Development
- iii. Each wall sign shall be placed and sized in such a manner that it does not interfere with architectural elements.
- iv. Wall signs may be placed so as to create balance across the façade of a given building.
- v. For anchor tenant north elevation, a wall sign may be positioned within the allowable sign area such that it is closest to the S. 76th Street entrance.

All wall signs shall be mounted in accordance with applicable codes and consistent with the following guidelines

- i. All fasteners, hangers, brackets, transformers, and internal sign wiring will be concealed from public view. In the event a sign must be mounted on mansard roof, it is understood that hangers and brackets will be visible.
- ii. All fasteners and brackets will be of non-corrosive material such as aluminum, stainless steel, or cadmium plated so as not to stain the fascia or roof. All holes and fasteners will be fully filled and covered with silicone caulk to aid rust prevention and prevent water penetration through the fascia. The proper number and size of fasteners are to be used to support each mounted sign. Care is to be taken during installation to minimize damage to the fascia, roof, and other adjacent materials and surfaces.

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

All wall signs style, materials, color, and illuminations shall be consistent with the following guidelines

- i. Tenant wall signs can be either individually mounted letters, or raceway mounted to the building façade, or roof. Channel letters including the tenant logo may be used to supplement the main tenant sign. Approval will be granted by the landlord and the City of Franklin. No box signs are allowed. Raceways and any exposed mounting frames are to be painted in such a manner that blends into the surrounding building.
- ii. Letter faces to be a minimum of .177 yellow acrylic, or .177 white acrylic for conformity and overall appearance. Letters to be made of *minimum* .040 aluminum backs and returns. Letters to be trimmed with 1" trim cap around the acrylic edge that is to be either yellow or black. Maximum projection not to exceed 10". Any combination of yellow, black, and white for acrylic colors are acceptable
- iii. Trademark or logo/graphic will be allowed in order for brand recognition, but must conform to color manufacturing guidelines listed above
- iv. All wall signs must be lighted. Letters must be internally LED illuminated (with translucent faces and light sources completely concealed). LED illumination must be red for yellow faced letters and white for white faced letters. Illumination levels shall comply with the City of Franklin code.
- v. Electrical service, wiring, and time clock/photocell to be furnished and installed by tenant at tenant's expense. All electrical service charges paid for by tenant. All components and their installation to comply with all City of Franklin ordinances and codes. All electrical work must be performed by a licensed electrician.
- vi. Sign text will be limited to the business name and principal service provided
- vii. Hangers and brackets will not be visible

The size, location, and square footage of a tenant wall sign shall be consistent with the following guidelines

- i. Tenant wall sign allowances are listed in Exhibit I of the master sign program. Signs are to be centered over tenant spaces whenever possible.

Section 210-9(I) – Temporary, Window, and Other Signs

"Temporary signs, window signs, and other devices to attract attention. Any master sign program approved hereunder may be modified at any time at the discretion of the City of Franklin or the Plan Commission to prohibit, further restrict, or place requirements upon the use of, restrictions on, and standards or requirements for temporary signs, window signs, interior signs visible to the exterior, and devices intended primarily to attract attention. This subsection shall in no way limit any rights or authority the City or Plan Commission may otherwise have in relation to signs and master sign programs."

Unless further detailed in the Master Sign Program, all temporary signs and window signs must conform to the City of Franklin sign code as outlined below:

"Temporary Sign – Any sign, banner pennant, valance or advertising display constructed of cloth, canvas, light fabric, cardboard, wallboard, or other light materials, with or without frames, intended to be displayed for a period not to exceed 30 days."

Traffic Regulatory, Directional and Informational Signs

Traffic Regulatory, Directional, and Informational signs, which include signs such as "Stop", "No Parking", "One-Way", "Fire Lane", "No Skateboarding", "Clearance 'X'", or other legal notices, etc., but which do not include wayfinding signs (directional signs that incorporate advertising or store names), may be installed by the developer or his designee in

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

accordance with a plan submitted to the City Development Department. Such plan may be modified from time to time as needed. The City, acting through the Planning Manager, reserves the right, based upon recommendations or the Engineering Department as appropriate, to deny such signs as requested or to require such additional signs as determined by the City. Traffic, directional, and informational signs do not require a sign permit application or fee and may not include advertising.

Address numbers must be placed at each individual storefront. These numbers must be located on or adjacent to the main entrance. Any deviations must be approved by staff.

Prohibited Signs

Any sign prohibited in the City of Franklin sign code shall not be allowed under this Master Sign Program unless expressly permitted in this document

Special Exceptions Requested (amend. 4/1/21)

The following exception is requested by the applicant per Section 210-9(H)

- i. Total square footage allowance increase by 235 square feet for a new allowance of 900 square feet.
- ii. Existing multi-tenant pylon sign (noted in Exhibit A) to be retained and refurbished. Sign is legal non-conforming and sits within the 40' setback requirement. Exception requested to allow the existing multi-tenant pylon sign to be refurbished as proposed, and remain within the 40' setback from 76th Street. Also to allow the existing multi-tenant pylon sign to remain as a non-monument type sign; a sign taller than the principal structure of the building height limit of 35', and larger than 150 square feet
- iii. Franklin Village to be allowed to make changes to the faces of the multi-tenant pylon sign as tenants are added/subtracted.

Acknowledgement of Subsection I

- i. On behalf of Franklin Village, the undersigned acknowledges the authority identified in subsection 1 of Chapter 210

Type/Location of Building/Development Site

- i. Typical, elongated, multi-tenant building located on the southeast corner of the intersection of W Rawson Ave and S 76th Street.

Development Size

- i. 2.324 acres (387 feet of frontage). Gross leasable area is approximately 30,320 sq. ft.

Exhibits Enclosed- (amend. 4/1/2021)

Exhibit A: Multi-Tenant Pylon Sign Rendering

Exhibit D: Site Plan

Exhibit I: MSP Calculations

Exhibit J: Sign Standards

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

Exhibit I- (amend. 4/1/2021)

Franklin Village

Master Sign Program Calculations

1. Primary Building

East Elevation

Total

Building Frontages

470 FT

681 SF allowed

2. Existing Wall Signs

Maximum Allowable Square Footage

7133 S 76 th St.	35
7131 S 76 th St.	35
7129 S 76 th St.	35
7127 S 76 th St.	35
7125 S 76 th St.	35
7123 S 76 th St.	30
7121 A & B S 76 th St.	30
7119 S 76 th St.	35
7117 S 76 th St.	35
7115 S 76 th St.	35
7113 S 76 th St.	35
7111 S 76 th St.	35
7109 S 76 th St.	35
7107 S 76 th St.	35
7105 S 76 th St.	35
7103 S 76 th St.	50
7101 S 76 th St.	100
Multi-Tenant Pylon	235
Proposed Total	900

City of Franklin- Master Sign Program

As required by the City of Franklin Municipal Code- Section 210-9 (Ordinance No. 2007-1934)

Exhibit J

Signage Standards

Franklin Village

Tenant Wall Signs

Internally illuminated channel letters

Minimum .040 aluminum backs and returns

Maximum 5" return, minimum .040 aluminum

Returns to be Black

.177 Yellow #2465 or .177 White #7328 acrylic only

A logo or graphic may be allowed within tenant wall sign allowance

1" black trimcap

White LED illumination for white letters, red illumination for yellow letters

Sign must be centered over tenant space

Can combine any combination of yellow, black, and white letter/logo colors

Sign cannot cross into other tenant's areas

Layout and font to be approved by Landlord prior to permit application

Scaled color drawings are required for submittal to Landlord prior to permit application

Temporary banners will be allowed prior to completion of signage and must be removed prior to final signage installation. Temporary banners will be allowed for 30 days. The content of the temporary banners will be limited to the name and approved layout of the permanent sign

Any deviation from the above sign standards must be approved by the landlord in writing

All signage and location of installation will have to be approved by the Landlord and the City of Franklin Inspection Department to ensure the integrity of the sign criteria set forth

Preferred sign vendor: Lemberg Electric, 4085 N 128th St. Brookfield, WI 53005

Tenant Pylon Sign Specifications

One (1) Existing Pylon Sign with Multiple Tenants
 Internal Illumination
 Double Sided
 Size: (To be field verified)






Main Sign Cabinet to have Photo Cell

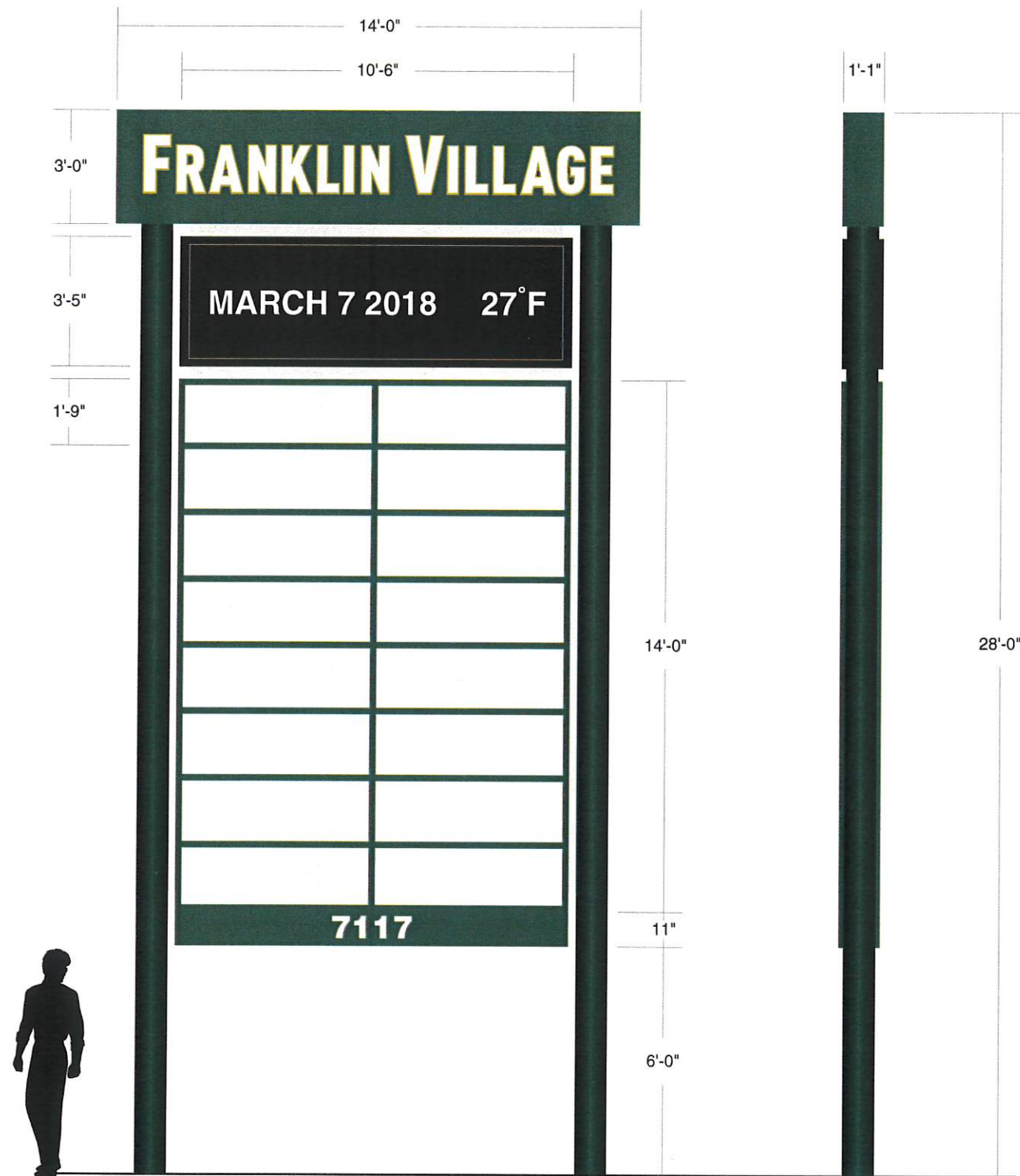
(A) Existing Main Sign Cabinet:
 New faces w/ 3M translucent film graphics

(B) Existing Tenant Cabinets:
 New faces to be white poly carbonate w/ 3M translucent film graphics. (Verify Sizes)

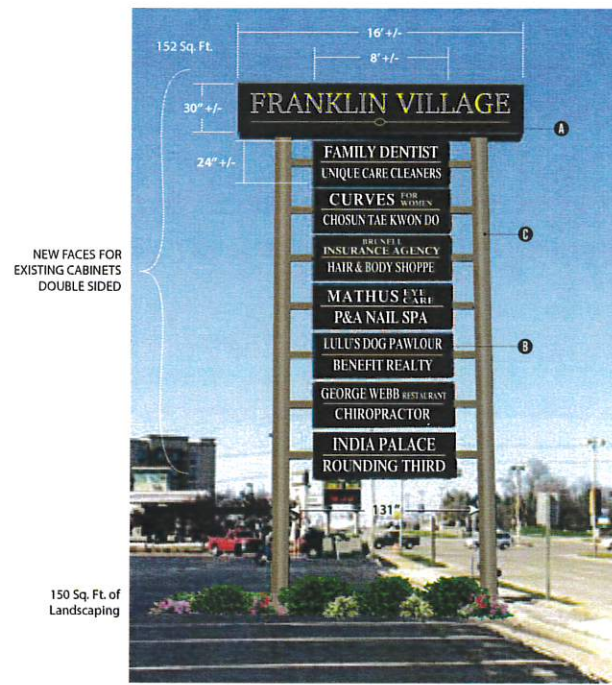
(C) Existing poles and cabinets to be re-painted Taupe (T.B.D.)

Colors:

-  Dark Brown 3M Film (T.B.D.)
-  Yellow 3M Film (T.B.D.)
-  Light Beige 3M Film (T.B.D.)
-  Black (Paint T.B.D.)
-  Taupe (Paint T.B.D.)



***SIGN HEIGHT WILL NOT CHANGE FROM EXISTING**



***APPROVED ORIGINAL**



***EXISTING**



"We Project Your Image"

PH: (262) 554-6066
 TOLL FREE: (800) 554-8110

Client: Franklin Village
 Location: 7117 S. 76th Street
 City: Franklin, WI 53132

Scale: N.T.S.

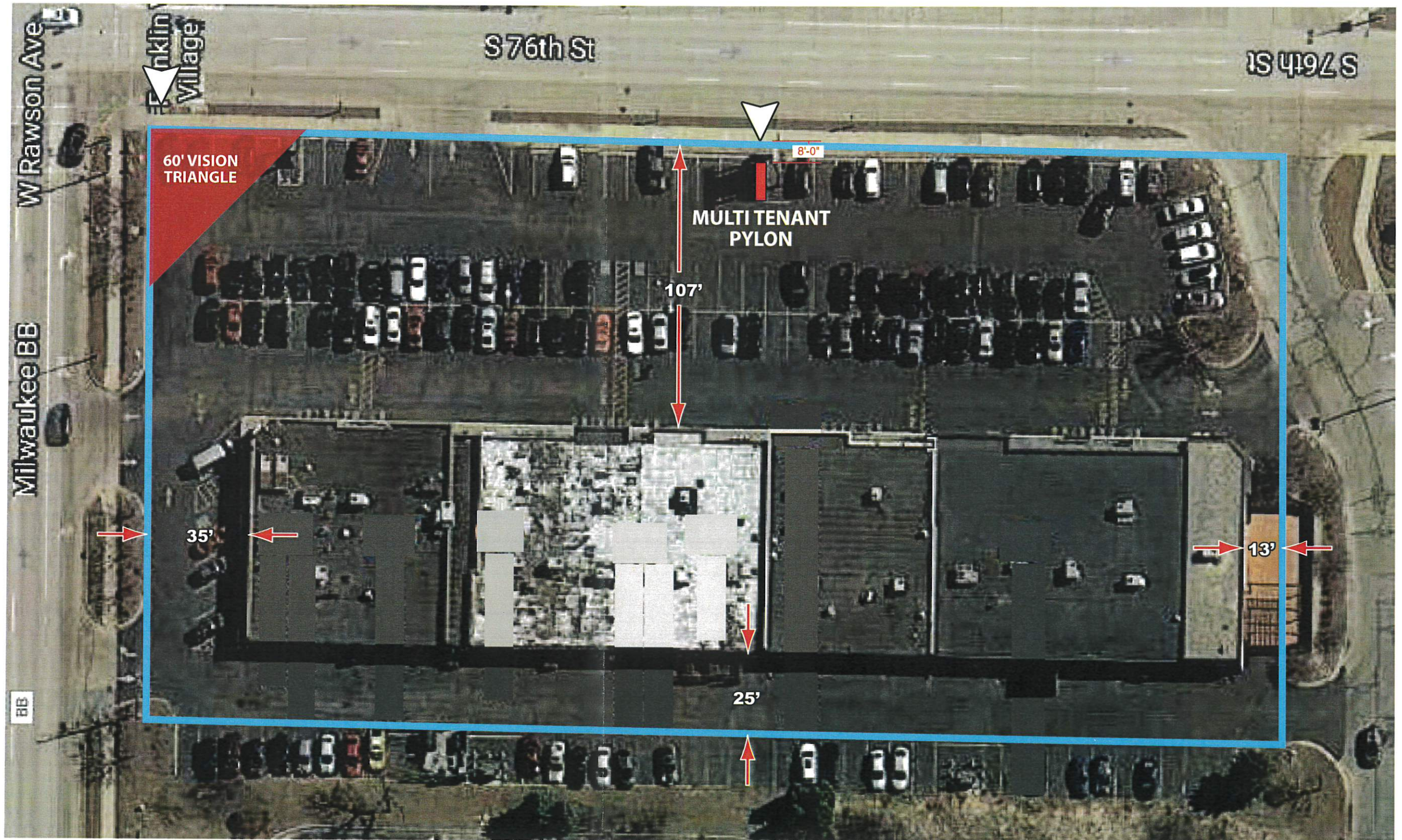
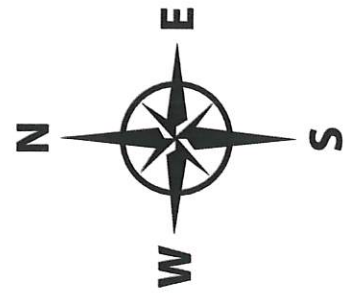
Paper Size: 11x17

Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status
 FranklinVillage_TEN_PYL_v01_r07_D

Date:
 03-15-19

**EXISTING SIGN &
 BOLLARDS
 TO BE REMOVED**



"We Project Your Image"

PH: (262) 554-6066
 TOLL FREE: (800) 554-8110

Client: Franklin Village - Benefit Realty
 Location: 7131 S. 76th Street
 City: Franklin, WI 53132

Scale: N.T.S.

Paper Size: 11x17

Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status
 Franklin_Village_SITE_PLAN_r03_D

Date:
 04-04-19



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of April 22, 2021

Planned Development District (PDD) No. 37 Amendment

RECOMMENDATION: City Development staff recommends denial of the proposed amendment to Planned Development District (PDD) No. 37.

Project Name:	Ballpark Commons (PDD No. 37) Planned Development District Amendment for the MOSH Building outdoor signage.
Project Address:	7095 S Ballpark Drive Midwest Orthopedic Specialty Hospital (MOSH Building)
Applicant:	Christopher David Buday
Agent:	Michael Dlugi. Sign Effectz, Inc.
Property Owner:	BPC County Land LLC (A WI LLC)
Current Zoning:	Planned Development District No. 37
2025 Comprehensive Plan:	Mixed Use
Use of Surrounding Properties:	Parking lot to the north, S. Ballpark Drive to the east, Rawson Avenue to the south and residential single-family (Whitnall View subdivision) to the west
Applicant's Action Requested:	Recommendation to the Common Council for approval of Planned Development District amendment to increase the maximum outdoor signage area to 10,663 sf.
Planner:	Régulo Martínez-Montilva, Principal Planner

Introduction:

This application was presented before this Plan Commission at the previous meeting on April 8, the commission carried a motion to *refer back to staff the applicant's request for revisions in coordination with the applicant and bring the revised requested ordinance to amend §15-3.0442 of the unified development ordinance planned development district no. 37 (the rock sports complex/ballpark commons), to increase the maximum permitted sign face area of approximately 750 square feet for the indoor sports complex*, the vote was 6-0-0.

The applicant submitted a revised proposal on April 14 with the following changes:

- The total signage area has been decreased from 12,507 sf to 10,663 sf, with a total of 29 signs instead of 38.
- The four (4) west graphic panels have been removed.
- The quantity of south opening graphics has been reduced from eleven (11) to six (6) with an intermittent pattern.

As noted in the previous report, the applicant is requesting to amend the Planned Development District (PDD) No. 37 (The Rock Sports Complex/Ballpark Commons) Section 15-3.0442A.D.1.e "Signs" which currently states as follows:

“All signs must be in accordance with the Municipal Code, as amended, and approved by the Architectural Review Board, or as approved by the Plan Commission on an individual site plan basis, and subject to issuance of a Sign Permit through the Inspection Department.”

Below is the amendment proposed by the applicant:

“All signs will be of construction and style in accordance with the municipal code, as amended, and approved by the Architectural Review Board, or approved by the plan commission subject to the included criteria for the amended PDD square footage (combined 10,633.42 sq. feet signage and graphic panels). All signs are subject to issuance of a Sign Permit [through] the Inspection Department.”

The intent of this amendment is to increase the total sign face area for the new Indoor Sports Complex also known as MOSH Building located at 7095 S Ballpark Drive. In fact, the Municipal Code allows a maximum sign face area of approximately 750 square feet (sf) based on a factor of 1.5 of building frontage per §210-4.C(d), while the applicant is now proposing 10,633 sf distributed in 29 signs.

Neither a sign variance nor a master sign program can allow such increase, so an amendment to the PDD is required. Planned Development District amendments need review and recommendation of the Plan Commission and Common Council approval.

Project Description and Analysis:

City Development staff noted four (4) concerns in the previous staff report: traffic safety, land use compatibility, content neutrality and equal protection. The land use compatibility issue has been addressed by removing the west graphic panels, but the following still apply to this PDD amendment:

- **Traffic safety.** Even though the proposed signage facing Rawson Avenue has been reduced, it is still over 1,877 sf (not including the south tenant sign), which is more than 2 times the permitted as of right signage area for the entire building (750 sf). The signage facing Rawson Avenue include: South ID wall sign (1,615 sf), 6 South opening graphics (262 sf total), and the south tenant sign (1.5 factor of tenant fascia).

As noted in the previous staff report, “traffic safety is broadly accepted as a reasonable ground for sign regulations by courts” (Kelly, 1989). Excessive amount of signage may create a traffic safety hazard, especially for Rawson Avenue and South Ballpark Drive. Per report prepared by the Wisconsin Department of Transportation in 2003, “some studies conclude that extra-vehicular distraction cause crashes” and this is particularly important for Rawson Avenue which registered an AADT (annual average daily traffic) of 9,100 in 2017 and it is expected to increase with the new Ballpark Commons Development. Additionally, Section 178-5 of the Municipal Code lists signs near streets as “public nuisance affecting peace and safety”. For these reasons, the Municipal Code Chapter 210 “Signs” limits the sign face area based on building frontage.

- **Content neutrality.** An ordinance that classifies signs by their use, for example regular signs and non-advertising graphic panels, is content-based and therefore it is unconstitutional per *North Olmstead Chamber of Commerce v. City of North Olmstead* (N.D. Ohio 2000) (American Planning Association, 2006). The Municipal Code does not have a definition for non-advertising signage or graphic panels, so the graphic panels described in this application should be considered as regular wall signs.
- **Equal protection.** The proposed amendment is still increasing the amount of permitted sign area by more than 1,300%, it is an excessive increase compared to a sign variance (20%) or master sign program (100%). The resulting signs would exceed by far the maximum permitted sign area for other properties in the rest of the city. The applicant's justification for such increase is "to beautify and identify the building as part of The Rock Sports development and direct patients, visitors and customers to the appropriate areas while also improving bleak areas of the exposed bare building elevations".

Staff Recommendation:

City Development staff recommends denial of the proposed amendment to Planned Development District (PDD) No. 37 for the reasons noted above.

OR

Alternatively, if the Plan Commission wishes to recommend approval, staff suggests to reduce the total amount of sign area:

- The area of each graphic panel (north and east) of 871 sf exceeds the total maximum permitted sign for the entire building per Municipal Code. Reducing the size or quantity of these panels would increase compliance of this proposal with the Municipal Code.
- Likewise, the area of each ID Wall signs (north and south) of 1,615 sf is more than the double of the maximum permitted sign for the entire building.

The ordinance attached to this packet is drafted based on the applicant's proposal as presented, the total signage square footage would need to be updated at the discretion of the Plan Commission as necessary.

References

Kelly, Eric Damian. 1989. *Sign Regulation for Small and Midsize Communities*. Planning Advisory Report No. 419. Chicago: American Planning Association.

Wisconsin Department of Transportation. June 10, 2003. "Electronic Billboards and Highway Safety", *Transportation Synthesis Report*.

American Planning Association. 2006. "Legal Issues in Sign Regulation", *Planning and Urban Design Standards*.

ORDINANCE NO. 2021-_____

AN ORDINANCE TO AMEND §15-3.0442 OF THE UNIFIED DEVELOPMENT ORDINANCE PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS), TO INCREASE THE MAXIMUM PERMITTED SIGN FACE AREA OF APPROXIMATELY 750 SQUARE FEET TO 10,633 SQUARE FEET (DISTRIBUTED BETWEEN 29 SIGNS) FOR THE INDOOR SPORTS COMPLEX (CHRISTOPHER D. BUDAY, RIVER ROCK PERFORMANCE PROPERTIES, LLC, APPLICANT) (AT APPROXIMATELY 7095 SOUTH BALLPARK DRIVE)

WHEREAS, Section 15-3.0442 of the Unified Development Ordinance provides for and regulates Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), same having been created by Ordinance No. 2012-2089 and later amended by: Standards, Findings and Decision for a Special Exception to Certain Natural Resource Provisions Dated March 19, 2013; Ordinance No. 2013-2101; Ordinance No. 2016-2212; Ordinance No. 2017-2278, Ordinance No. 2018-2312, Resolution No. 2018-7339, Standards, Findings, and Decision for a Special Exception to Certain Natural Resource Provisions dated January 9, 2018, Ordinance No. 2018-2318, Ordinance No. 2018-2324, Ordinance No. 2018-2323 (re: Buildings B1 thru B4), Ordinance No. 2018-2333 and Ordinance No. 2019-2368, with such District primarily being located at 7095 South Ballpark Drive, bearing Tax Key Nos. 744-1003-000, 744-1004-000, 744-1005-000, 744-1006-000, 744-1007-000, 744-1008-000, 744-1009-000, 744-1010-000, 754-9002-000, 754-9006-000, 754-9007-000, 754-9008-000, 754-9010-000 and 754-9011-000, and is more particularly described below; and

WHEREAS, Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) currently includes those lands legally described as follows:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHEAST 1/4, AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; AND THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 21 EAST, AND THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4; AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN; COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST 1/4 OF SECTION 4; THENCE NORTH 88°42'47" EAST ALONG THE SOUTH

LINE OF SAID SOUTHEAST 1/4 SECTION, 1452.10 FEET TO LOOMIS ROAD (STATE TRUNK HIGHWAY "36") REFERENCE LINE AS SHOWN IN WISCONSIN DEPARTMENT OF TRANSPORTATION PLAT OF RIGHT OF WAY PROJECT NUMBER F064-I(5)/2240-02-22, DATED JULY 3, 1956 AND THE POINT OF BEGINNING; THENCE SOUTH 49°45'51" WEST ALONG SAID REFERENCE LINE, 908.15 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY 1280.09 FEET ALONG SAID REFERENCE LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, WHOSE RADIUS IS 3819.72 FEET AND WHOSE CHORD BEARS SOUTH 40°09'15" WEST, 1274.10 FEET TO A POINT OF TANGENCY; THENCE SOUTH 30°33'51" WEST ALONG SAID REFERENCE LINE, 912.57 FEET; THENCE NORTH 59°26'09" WEST, 146.77 FEET TO THE SOUTHEAST CORNER OF STONE HEDGE SUBDIVISION ADDITION NO. 1; THENCE NORTH 00°11'17" WEST ALONG THE EAST LINE OF SAID STONE HEDGE SUBDIVISION ADDITION, 2266.74 FEET TO THE NORTH RIGHT OF WAY LINE OF WEST RAWSON AVENUE; THENCE NORTH 88°31'09" EAST ALONG SAID NORTH RIGHT OF WAY LINE 393.64 FEET; THENCE NORTH 76°43'11" EAST 212.76 FEET TO A POINT ON THE EAST LINE OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3107; THENCE NORTH 00°21'06" WEST ALONG THE EAST LINE OF SAID PARCEL 1 AND ALONG THE EAST LINE OF LOTS 14, 13, AND 12 OF BLOCK 1 OF WHITNALL VIEW SUBDIVISION ADDITION NO. 1, 809.21 FEET TO THE NORTHEAST CORNER OF SAID LOT 12; THENCE SOUTH 88°41'11" WEST ALONG THE NORTH LINE OF SAID LOTS 12 AND 11 OF SAID WHITNALL VIEW SUBDIVISION ADDITION, 484.57 FEET TO THE NORTHWEST CORNER OF SAID LOT 11; THENCE NORTH 00°21'07" WEST ALONG THE EAST LINE OF LOTS 10 AND 9 OF SAID WHITNALL VIEW SUBDIVISION, 400.06 FEET TO THE NORTHEAST CORNER OF SAID LOT 9, SAID POINT BEING ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE NORTH 88°41'11" EAST ALONG SAID NORTH LINE, 544.58 FEET TO THE EAST LINE OF SAID SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°21'07" EAST ALONG SAID EAST LINE OF SAID SOUTHWEST 1/4, 35.86 FEET; THENCE NORTH 88°42'30" EAST, 662.58 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE WEST 1/4 OF SAID 1/4 SECTION; THENCE NORTH 00°22'39" WEST, 1349.21 FEET; THENCE NORTH 88°33'16" EAST 1252.39, FEET; THENCE SOUTH 00°19'12" EAST, 367.35 FEET; THENCE NORTH 54°02'33" EAST, 648.24 FEET; THENCE NORTH 88°33'16" EAST, 204.06 FEET TO THE EAST LINE OF SAID NORTHEAST 1/4 OF SECTION 4, BEING THE CENTERLINE OF SOUTH 76TH STREET; THENCE SOUTH 00°19'12" EAST ALONG SAID EAST LINE, 519.27 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST 1/4 OF SECTION 4; THENCE SOUTH 00°25'03" EAST ALONG THE EAST

LINE OF SAID SOUTHEAST 1/4 OF SECTION 4, 1659.84 FEET TO SAID REFERENCE LINE; THENCE SOUTH 49°45'51" WEST ALONG SAID REFERENCE LINE, 1561.74 FEET TO THE POINT OF BEGINNING. CONTAINING IN ALL 8,951,502 SQUARE FEET (205.498 ACRES) OF LAND, MORE OR LESS.

WHEREAS, Christopher D. Buday, River Rock Performance Properties, LLC, having petitioned for a further amendment to Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) to revise the District to allow for an increase in the total sign face area for the new Indoor Sports Complex located at 7095 South Ballpark Drive (the Municipal Code allows a maximum sign face area of approximately 750 square feet and the applicant is proposing 10,633 square feet distributed in 29 signs); and

WHEREAS, the City of Franklin Plan Commission on the 8th day of April, 2021, having reviewed the proposed amendment to Planned Development District No. 37 and thereafter having recommended to the Common Council that the proposed amendment be approved subject to the conditions and restrictions included herewith; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission, and having determined that the proposed amendment to Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin, and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Section 15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, as previously amended, is hereby amended specifically and only with regard to the Planned Development District No. 37 Indoor Sports Complex building and use and property located at 7095 South Ballpark Drive, to allow for an increase in the total sign face area for the new Indoor Sports Complex located at 7095 South Ballpark Drive (the Municipal Code allows a maximum sign face area of approximately 750 square feet and the applicant is proposing 10,633 square feet distributed in 29 signs).

SECTION 2: Section 15-3.0442A.D.1.e. of the Unified Development Ordinance

of the City of Franklin, Wisconsin, is hereby amended as follows: replace “All signs must be in accordance with the Municipal Code, as amended, and approved by the Architectural Review Board, or as approved by the Plan Commission on an individual site plan basis, and subject to issuance of a Sign Permit through the Inspection Department.” with “All signs will be of construction and style in accordance with the Municipal Code, as amended, and approved by the Architectural Review Board, or approved by the Plan Commission subject to the included criteria for the amended Planned Development District square footage (combined 10,633.42 square feet signage and graphic panels). All signs are subject to issuance of a Sign Permit [through] the Inspection Department. In addition thereto, and specifically and only with regard to the Planned Development District No. 37 Indoor Sports Complex building and use and property located at 7095 South Ballpark Drive, signs may be approved for up to a maximum of a combined 10,633.42 square feet of signage and graphic panels, upon the Indoor Sports Complex building and use and property located at 7095 South Ballpark Drive.”

SECTION 3: All other applicable terms and provisions of §15-3.0442, shall apply to the subject Christopher D. Buday, River Rock Performance Properties, LLC Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) district revisions for the Indoor Sports Complex building and use and property located at 7095 South Ballpark Drive, and all terms and provisions of §15-3.0442 as existing immediately prior to the adoption of this Ordinance, except as amended hereunder, shall remain in full force and effect.

SECTION 4: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 5: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 6: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of

ORDINANCE NO. 2021-_____

Page 5

Franklin this _____ day of _____, 2021, by Alderman
_____.

Passed and adopted at a regular meeting of the Common Council of the City of
Franklin this _____ day of _____, 2020.

APPROVED:

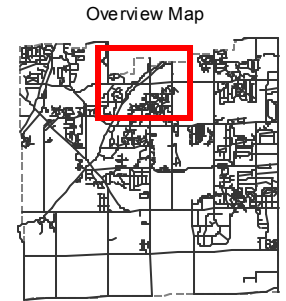
Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

Franklin Public Property Viewer

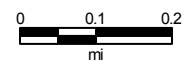


- Aldermanic District
 - Building
 - City Boundary
 - Condo
 - CSM
 - Easement
 - Elementary District
 - Environmental Corridor
 - FEMA DFIRM Flood - Zone A
 - FEMA DFIRM Flood - Zone AE
 - FEMA - 0.2% Annual Chance
 - Parcel
 - Park
 - Pavement
 - County or State Hwy
 - Local Road
 - Road Right-of-Way
 - School District
 - Wetland
-
- Zoning Districts**
- | | | |
|-----|------|------|
| A-1 | FFO | R-2 |
| A-2 | FW | R-3 |
| B-1 | I-1 | R-3E |
| B-2 | I-I | R-4 |
| B-3 | M-1 | R-5 |
| B-4 | M-2 | R-6 |
| B-5 | M-3 | R-7 |
| B-6 | OL-1 | R-8 |
| B-7 | OL-2 | RC-1 |
| BP | P-1 | VB |
| CC | PDD | VR |
| C-1 | R-1 | |
| FC | R-1E | |

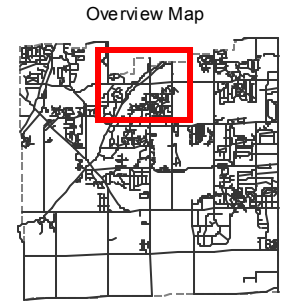
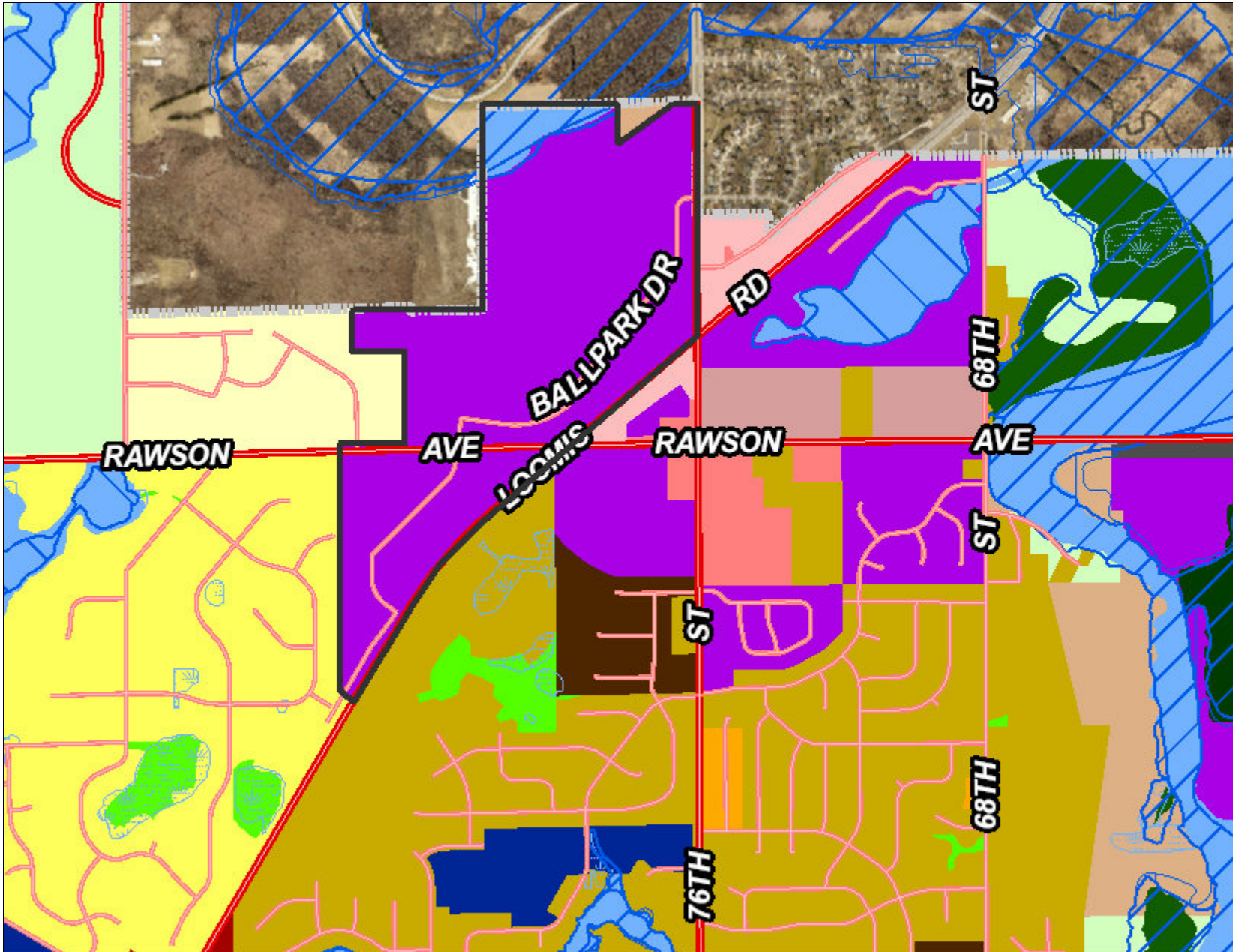
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(C) City of Franklin, WI

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Franklin Public Property Viewer

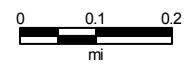


- Aldermanic District
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 - City Boundary
 - Condo
 - CSM
 - Easement
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 - FEMA DFIRM Flood - Zone A
 - FEMA DFIRM Flood - Zone AE
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-
- Zoning Districts**
- | | | |
|-----|------|------|
| A-1 | FFO | R-2 |
| A-2 | FW | R-3 |
| B-1 | I-1 | R-3E |
| B-2 | I-I | R-4 |
| B-3 | M-1 | R-5 |
| B-4 | M-2 | R-6 |
| B-5 | M-3 | R-7 |
| B-6 | OL-1 | R-8 |
| B-7 | OL-2 | RC-1 |
| BP | P-1 | VB |
| CC | PDD | VR |
| C-1 | R-1 | |
| FC | R-1E | |
- Legend includes all layers even if they are not visible in the map.

(C) City of Franklin, WI

Franklin
WISCONSIN
9229 W. Loomis Rd. Franklin, WI 53132
www.franklinwi.gov

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Map Printed: 3/15/2021

Purpose and Intent of PDD Minor Amendment

The MOSH building and tenant build-out space signage and graphic panels are intended to beautify and identify the building as part of The Rock Sports development and direct patients, visitors and customers to the appropriate areas while also improving bleak areas of the exposed bare building elevations.

We propose to fabricate and install new signage for identification of businesses and their locations relative to driving, parking and entering.

Purpose and Intent of this signage and graphics package is twofold.

1. Signage
 - a. To identify the business and/or businesses open and operating within the buildings and where to find them.
2. Graphic Panels
 - a. To beautify the exterior of the building and add imagery to several large open barren walls that otherwise would be a stark wall elevation.

Total cost associated with all signage and graphic panels requested is \$350,000.00.

Friday, April 16, 2021

**Roc Ventures
MOSH BUILDING SIGN PACKAGE**

Project Detail Summary

NORTH MONUMENT

- Single Faced
 - Internally Illumination with routed copy
 - One Cabinet 47" x 120" (39.17 sf)
 - Second Cabinet 24" x 120" (20 sf)
- Masonry Base

NORTH SECONDARY ID WALL SIGN

- Individually illuminated channel letters
 - 43" x 367" (109.59 sf)

EAST ID SIGN

- Individually illuminated channel letters
 - 49" x 367" (143.26 sf)

SOUTH ID WALL SIGN

- Individually illuminated channel letters
 - 164.6" x 1413.1" (1,615.25 sf)

NORTH ID WALL SIGN

- Individually illuminated channel letters
 - 164.6" x 1413.1" (1,615.25 sf)

ELIMINATED

WEST GRAPHIC PANELS

- ~~Quantity Four (4)~~
 - ~~Non lit frames and faces~~
 - ~~365.6" x 160" (406.22 sf Each Panel)~~

SOUTH OPENINGS – LOGO GRAPHIC PANELS

- Quantity Six (6)

Friday, April 16, 2021

- Non-lit frames and vinyl graphics
- Opening overall sized - 144" x 180" (175 sf Each Opening)
- 25% Allowable for Graphics (43.75 sf)
- 6 x 43.75 = 262.5 sf Total

NORTH GRAPHIC PANELS

- Quantity Four (4)
 - Non-lit frames and faces
 - 309.4" x 405.7" (871.69 sf Each Panel)

EAST GRAPHIC PANELS

- Quantity Five (5)
 - Non-lit frames and faces
 - 309.4" x 405.7" (871.69 sf Each Panel)

SOUTH ELEVATION TENANT SIGNAGE

- 1.5 Square foot of signage per linear foot of tenant fascia along the south building elevation

NORTH ELEVATION TENANT SIGNAGE

- 1.5 Square foot of signage per linear foot of tenant fascia along the south building elevation

TOTAL SIGNAGE SQUARE FOOTAGE

10,663.42 sq. feet combined area of signage and graphics (non-copy/advertising) panels.

e. Signs

All signs will be of construction and style in accordance with the municipal code, as amended, and approved by the Architectural Review Board, or approved by the plan commission subject to the included criteria for the amended PDD square footage (combined 10,663.42 sq. feet signage and graphic panels). All signs are subject to issuance of a Sign Permit through the Inspection Department. On-site directional signage may be allowed in any area needed to control traffic or parking provided such signage has received approval from the Architectural Review Board or the Plan Commission appropriate.

Interior Signage associated with the stadium, the ballfields, the indoor/outdoor golf facility, and the indoor baseball facility, if not visible to the general public located outside The Rock Sports Complex (not withstanding minor or indirect views of such signage), shall be permitted and in addition to, whatever amount of signage as may be allowed by the Municipal Code, subject to Plan Commission approval of associated site plans.

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THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install Description

Project Address:
MOSH
7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

Rev.	Description	Date	Init
01	Revisions per Review	04.12.21	JPG
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Concept Notes:

Site Plan: Exterior Signage

PROJECT NUMBER 11880287

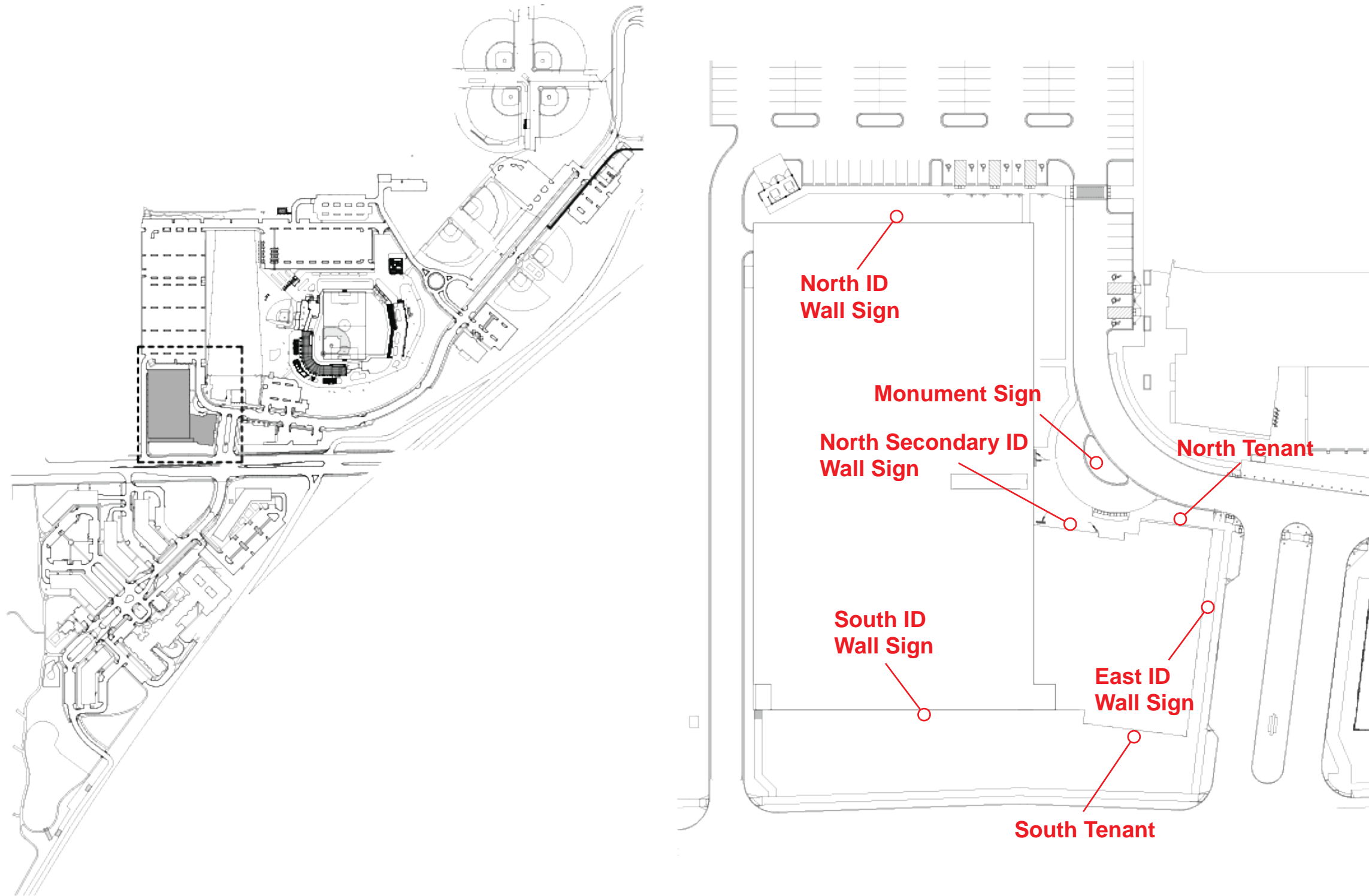
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CONCEPT RELEASE NO 01 PKG.02 REV. 01

ESTIMATE/QUOTE NO X



SITE PLAN EXTERIOR SIGNAGE

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install Description

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Franklin, WI 53132

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01	Revisions per Review	04.12.21	JPG
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Concept Notes:

Site Plan: Graphic Panel Signage

PROJECT NUMBER 11880287

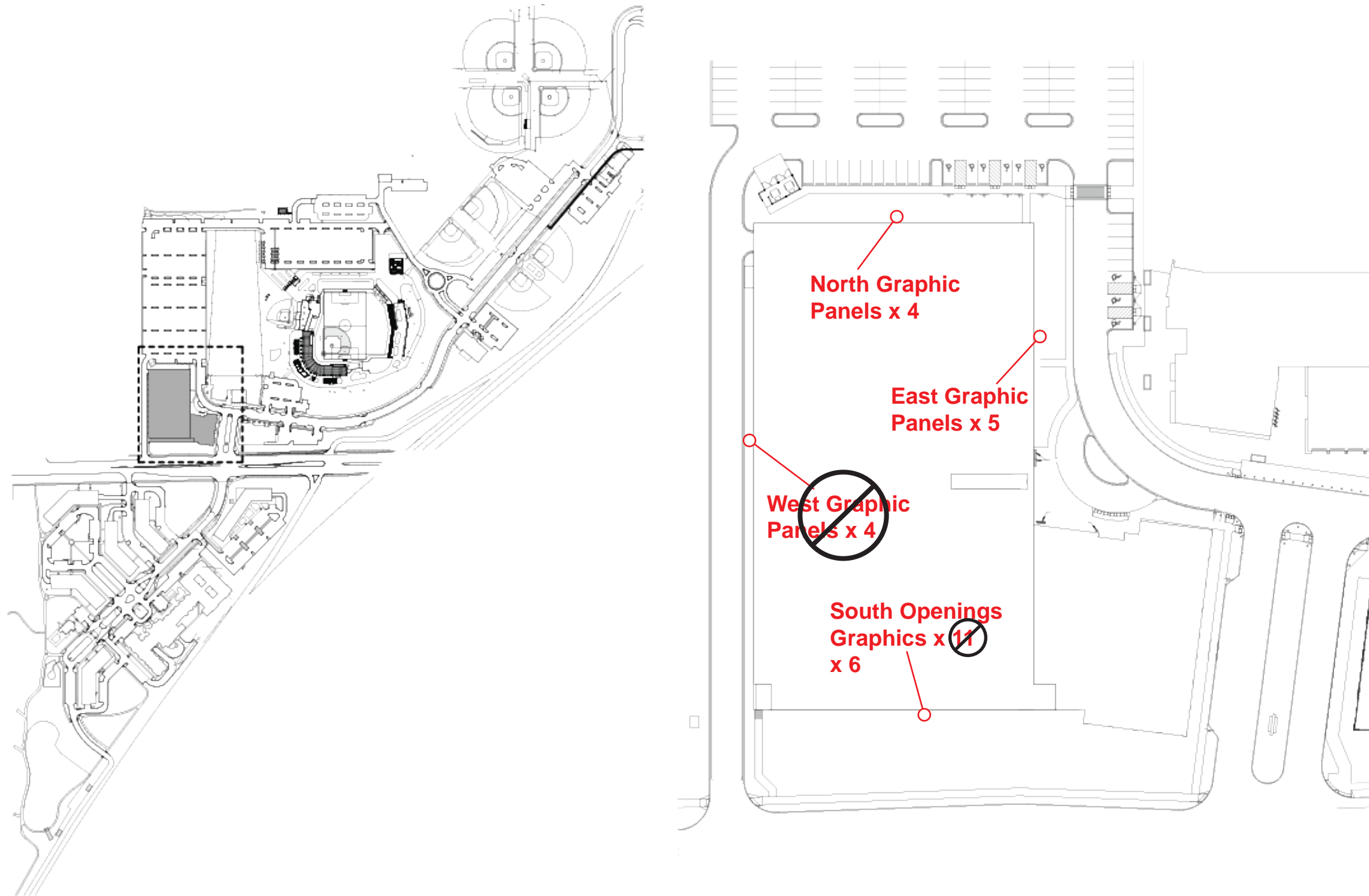
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CONCEPT RELEASE NO 01 PKG.02 REV. 01

ESTIMATE/QUOTE NO X



SITE PLAN GRAPHIC PANEL SIGNAGE



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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Monument, routed face
push thru acrylic w/.5" exposed,
perf and trans vinyls.
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls

Project Address:
MOSH
7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

Rev.	Description	Date	Init
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Concept Notes:

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CONCEPT RELEASE NO 01 PKG.02 REV. 01		
ESTIMATE/QUOTE NO X		

North Monument, North Secondary ID

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Monument, routed face
push thru acrylic w/.5" exposed,
perf and trans vinyls.
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls

Project Address:
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Franklin, WI 53132

Rev .	Description	Date	Init
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Concept Notes:

PROJECT NUMBER 11880287

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SIZE CONCEPT NO. SHEET NO.

CONCEPT RELEASE NO 01 PKG. 02 REV. 01

ESTIMATE/QUOTE NO X



North Monument, North Secondary ID, simulated night view

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Monument, routed face push thru acrylic w/.5" exposed, perf and trans vinyls.

Project Address:
MOSH
7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

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Concept Notes:

PROJECT NUMBER 11880287

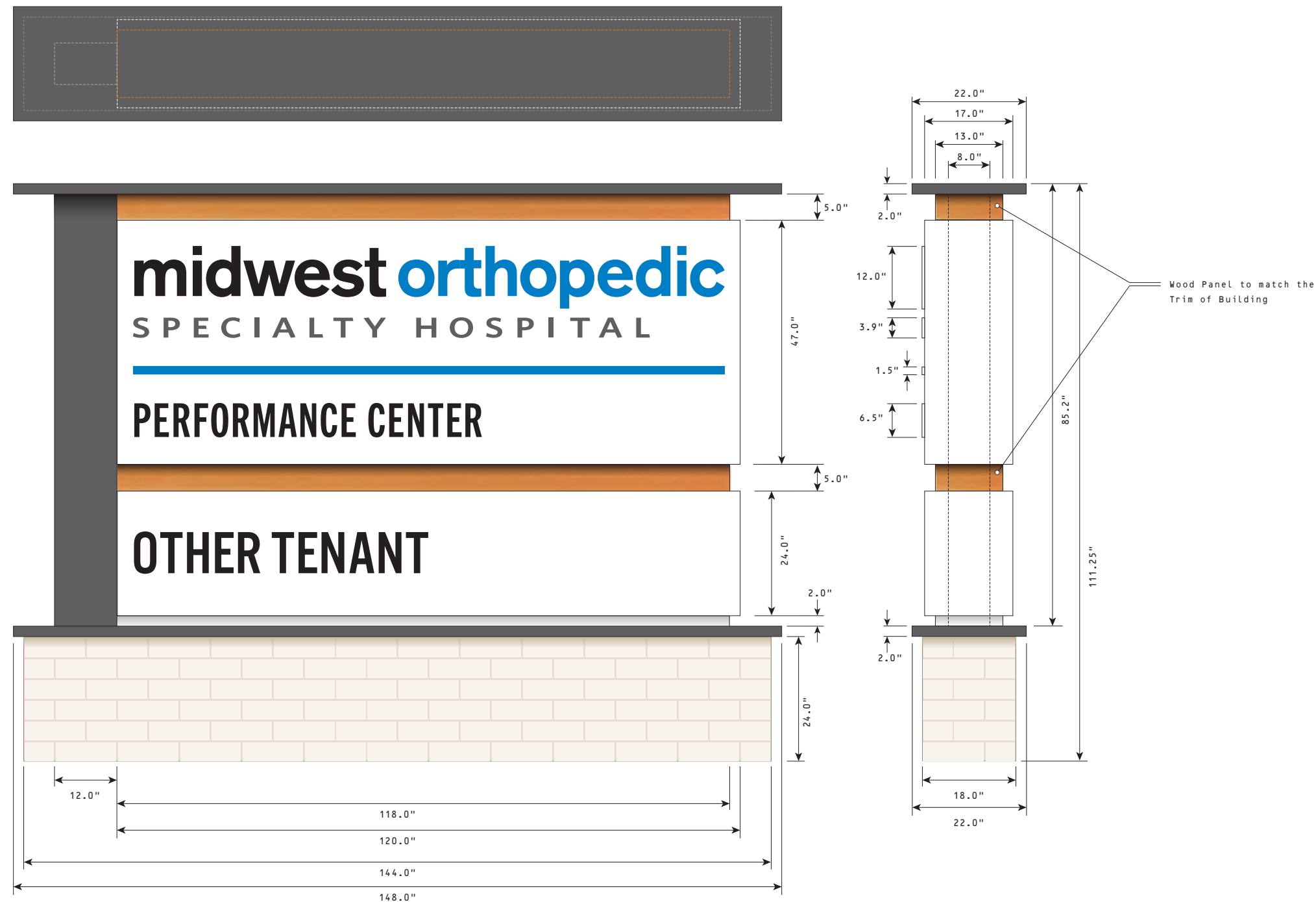
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SIZE CONCEPT NO. SHEET NO.

CONCEPT RELEASE NO 01 PKG.02 REV. 01

ESTIMATE/QUOTE NO X



North Monument 1/2" - 1'.0 scale

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls

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Concept Notes:

PROJECT NUMBER 11880287

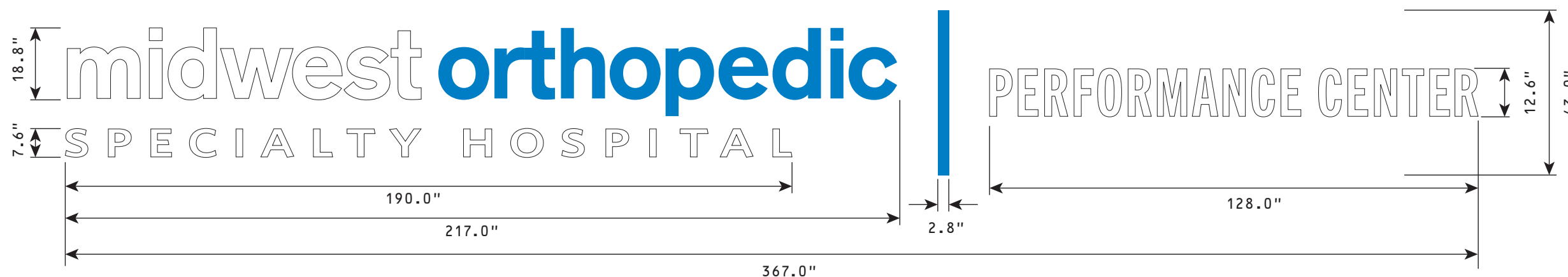
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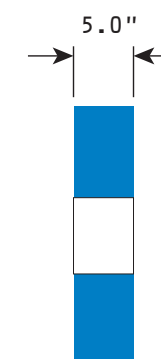
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CONCEPT RELEASE NO 01 PKG.02 REV. 01

ESTIMATE/QUOTE NO X



Side View



North Secondary ID 3/8" - 1'.0 scale

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls

Project Address:
MOSH
7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

Rev.	Description	Date	Init
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East ID

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Fab & Install:
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Face lit / halo lit, Translucent vinyls

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Franklin, WI 53132

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ESTIMATE/QUOTE NO X		



East ID simulated night view

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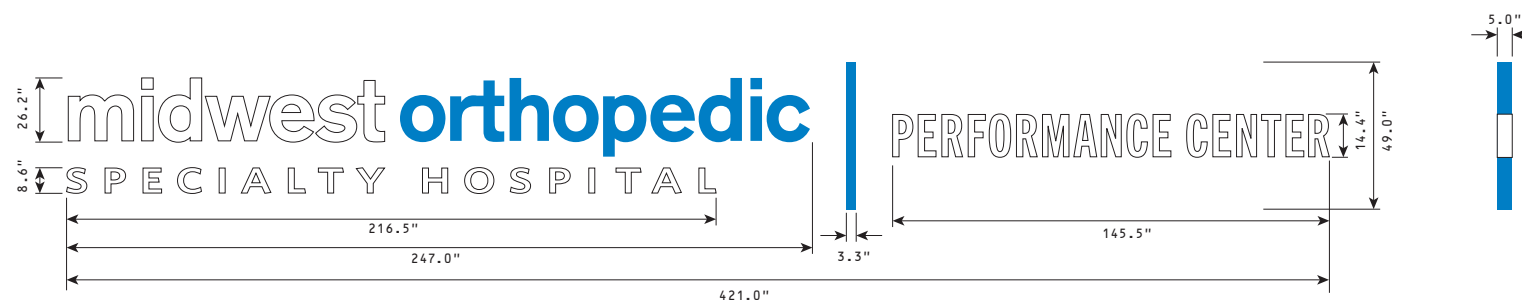
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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Flush mount,
Face lit / halo lit, Translucent vinyls

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East ID

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls
Printed Graphic panels
Printed vinyl graphics

Project Address:
MOSH
7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

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ESTIMATE/QUOTE NO X		



South ID, West Elevation, South Openings Graphics x6

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls
Printed Graphic panels
Printed vinyl graphics

Project Address:
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ESTIMATE/QUOTE NO X		



South ID, West Elevation, South Openings Graphics x6 simulated night view

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Midwest Orthopedic Specialty Hospital, Performance Center

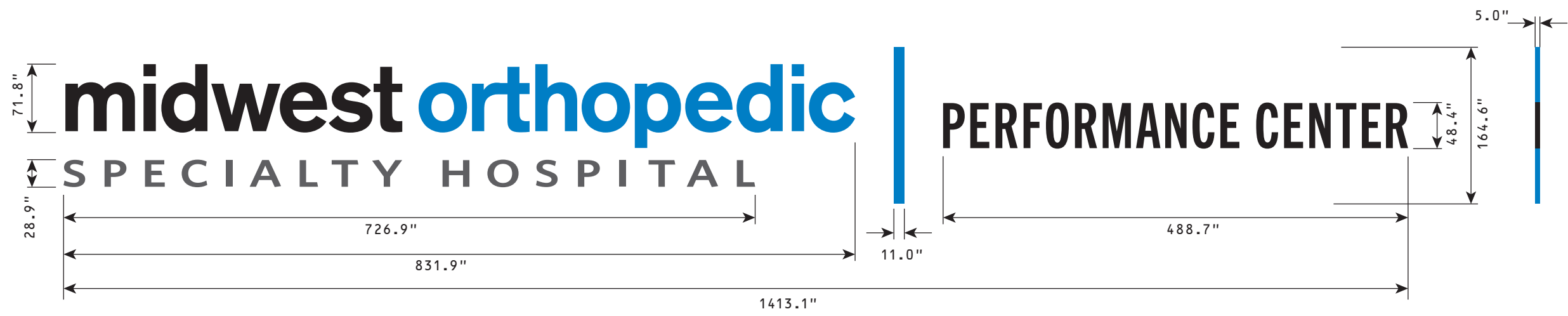
Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls
Printed Graphic panels
Printed vinyl graphics

Project Address:
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7095 S. Ballpark Drive, Suite 100
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South ID, North ID 2 needed

Disclaimer:

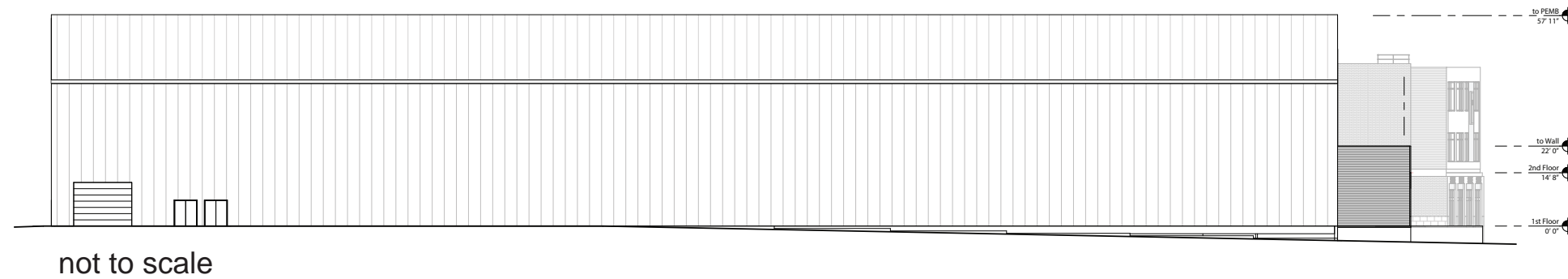
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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls
Printed Graphic panels
Printed vinyl graphics

Project Address:
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7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132



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West Elevation

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Midwest Orthopedic Specialty Hospital, Performance Center

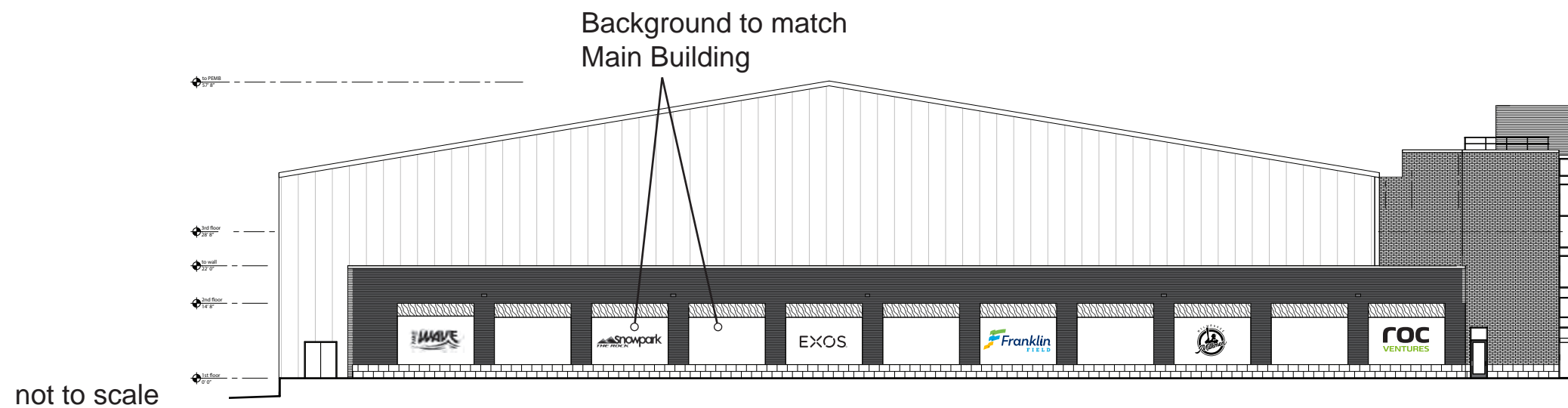
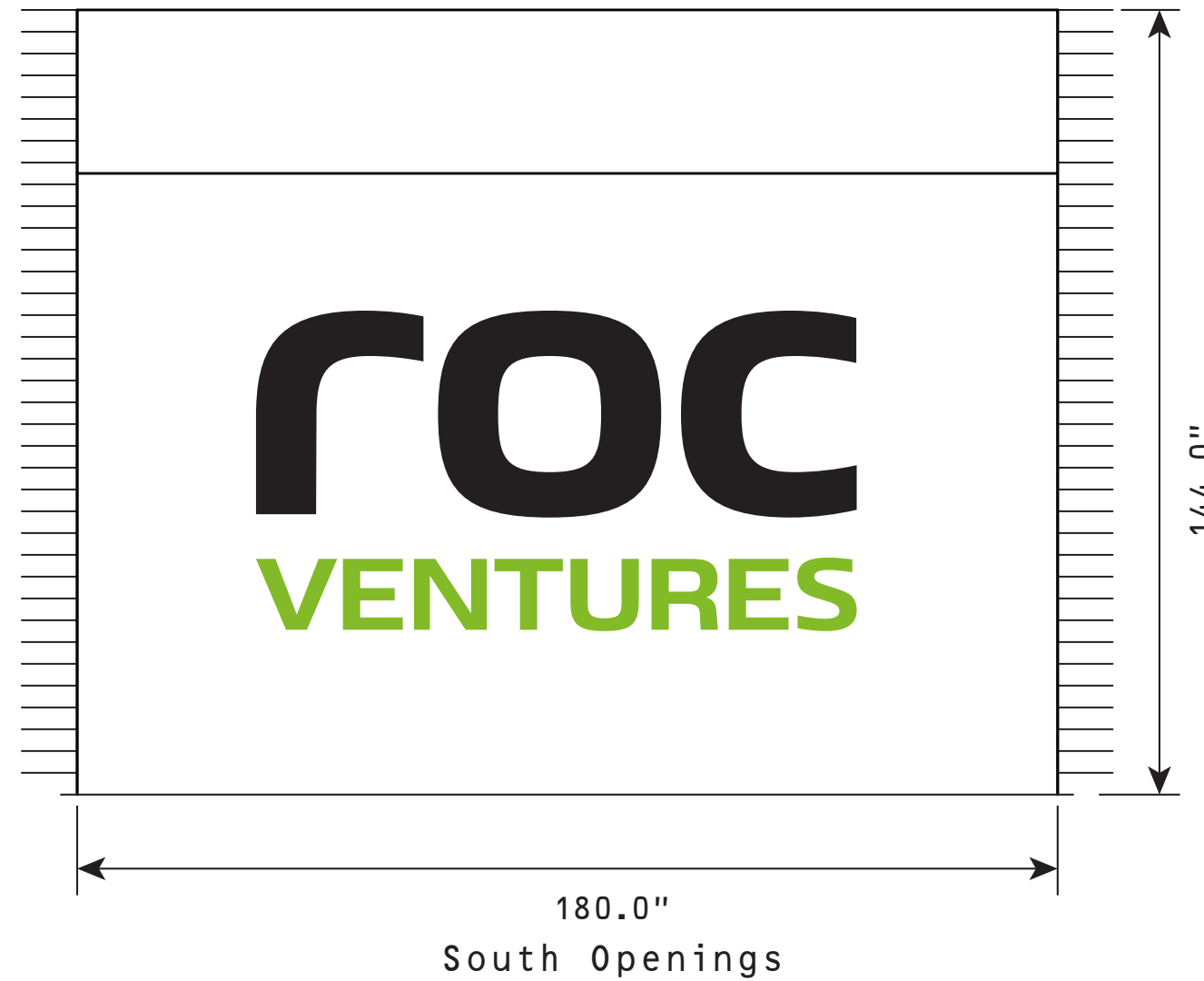
Fab & Install:
Channel letters, Stand offs,
Face lit / halo lit, Translucent vinyls
Printed Graphic panels
Printed vinyl graphics

Project Address:
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Franklin, WI 53132

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Concept Notes:

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ESTIMATE/QUOTE NO X		



South Openings Graphics x6

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs
Face lit / halo lit, Translucent vinyls
Printed Graphic panels

Project Address:
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Franklin, WI 53132

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North ID, North Graphic Panels x4

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs
Face lit / halo lit, Translucent vinyls
Printed Graphic panels

Project Address:
MOSH
7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

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ESTIMATE/QUOTE NO X		



North ID, North Graphic Panels x4, simulated night view

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Channel letters, Stand offs
Face lit / halo lit, Translucent vinyls
Printed Graphic panels

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Concept Notes:

PROJECT NUMBER 11880287

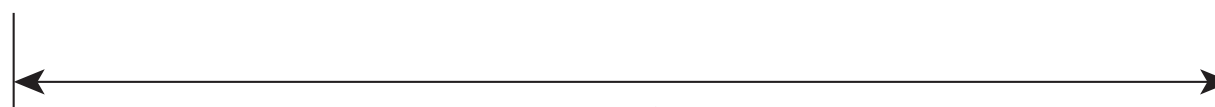
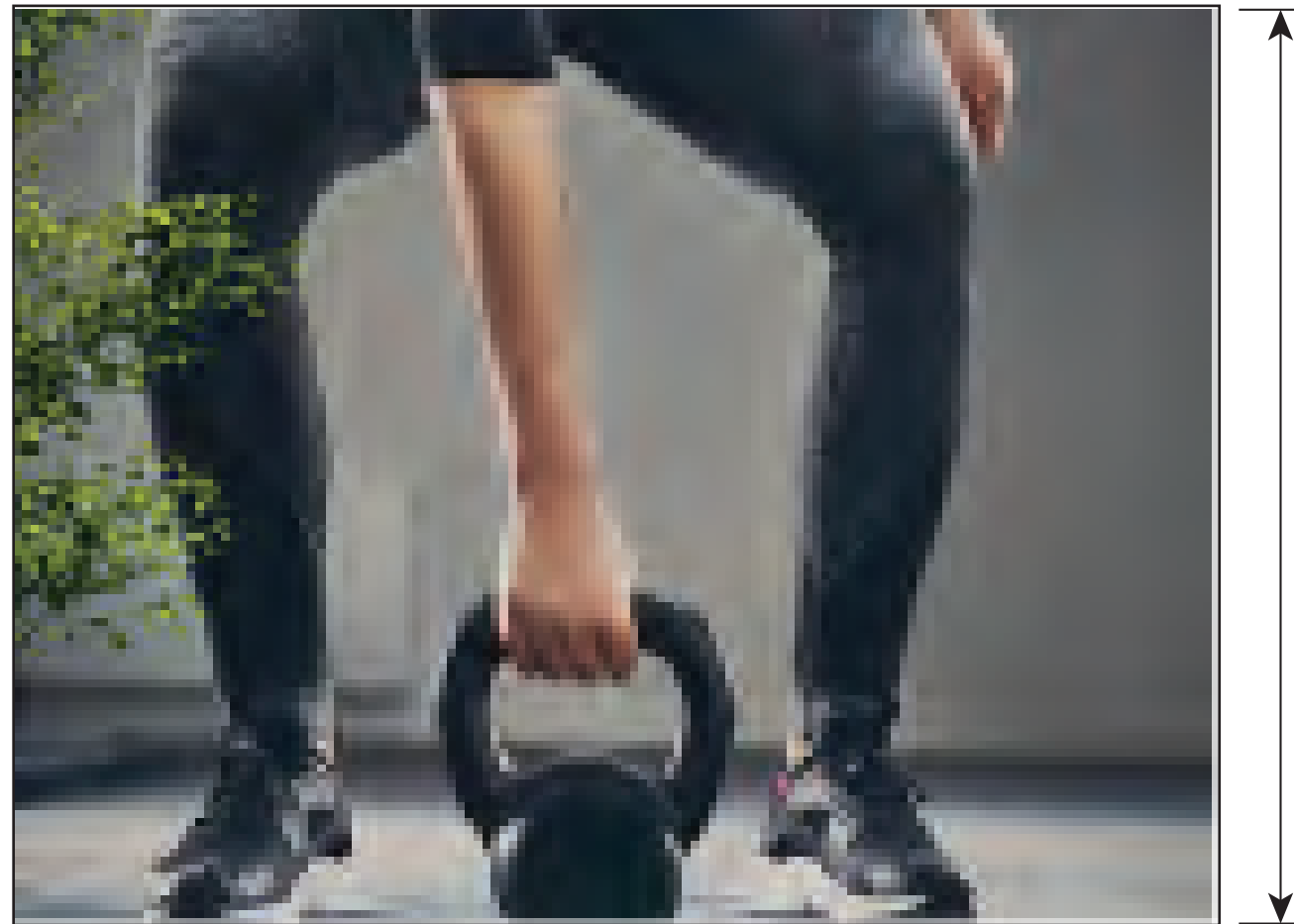
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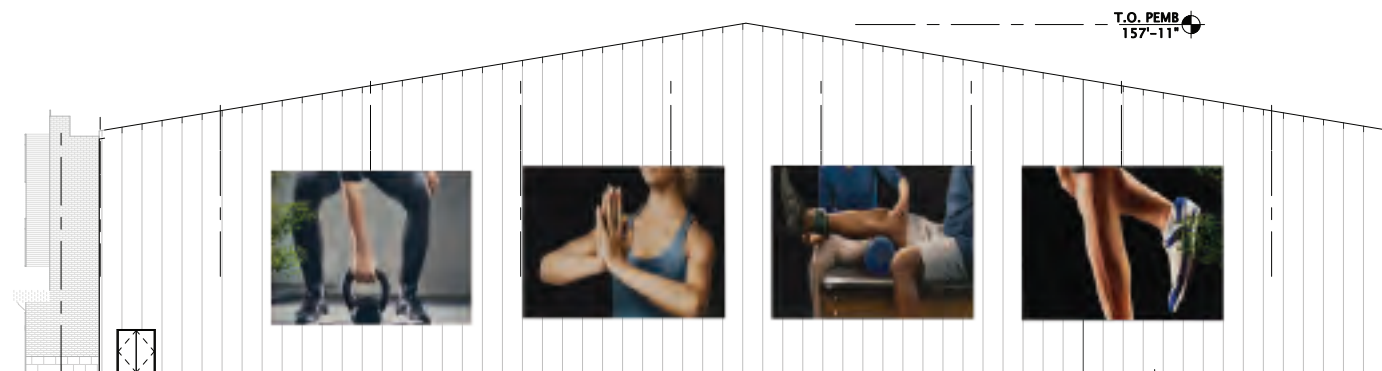
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CONCEPT RELEASE NO 01 PKG.02 REV. 01

ESTIMATE/QUOTE NO X



Typical, images TBD



not to scale

North Graphic Panels x4,

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Printed Graphic panels

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Franklin, WI 53132

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Concept Notes:

PROJECT NUMBER 11880287

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DATE: 12/10/20 SCALE: 3/8" = 1' - 0"

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SIZE CONCEPT NO. SHEET NO.

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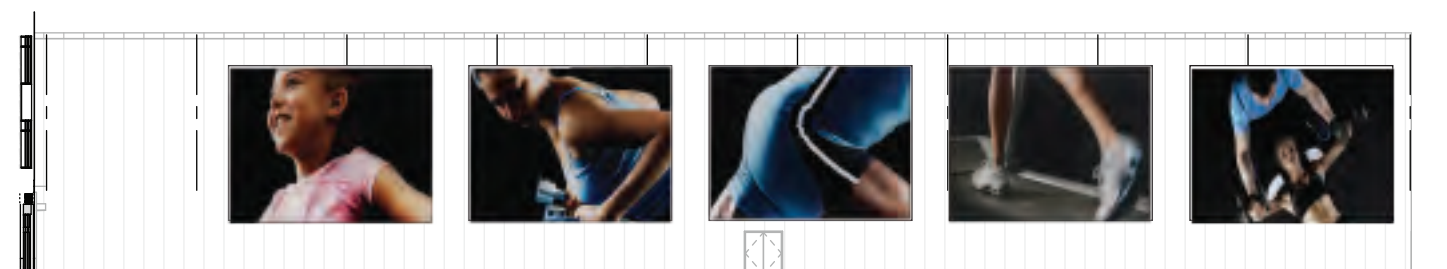
ESTIMATE/QUOTE NO X



309.4"

405.7"

Typical, images TBD



East Graphic Panels x 5

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Midwest Orthopedic Specialty Hospital, Performance Center

Fab & Install:
Printed Graphic panels

Project Address:
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7095 S. Ballpark Drive, Suite 100
Franklin, WI 53132

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Concept Notes:

PROJECT NUMBER 11880287

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DATE: 12/10/20 SCALE: xx" = 1' - 0"

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SIZE CONCEPT NO. SHEET NO.

CONCEPT RELEASE NO 01 PKG. 02 REV. 01

ESTIMATE/QUOTE NO X

1.5 Sq. Ft. per Linear Ft. per Tenant Frontage Maximum



SOUTH ELEVATION - MOSH



NORTH ELEVATION - MOSH

South, North Elevations



REPORT TO THE PLAN COMMISSION

Meeting of April 22, 2021

Site Plan

RECOMMENDATION: Department of City Development staff recommends denial if the Plan Commission denies the six (6) requested waivers.

Project Name:	Kids Connection, child day care
General Project Location:	3030-3130 W. Rawson Ave
Property Owner:	Kristopher & Tina Kraussel
Applicant:	Kristopher Kraussel / B&B Investments of Rawson LLC
Agent:	Rob Sterr. Anderson Ashton, Inc
Current Zoning:	B-4 South 27 th Street Mixed Use Commercial District
2025 Comprehensive Plan:	Mixed use
Use of Surrounding Properties:	Multifamily to the north, vacant land and floodplain to west, commercial to the east and south.
Applicant’s Action Requested:	Approval of Site Plan amendment
Planner:	Régulo Martínez-Montilva, Principal Planner

INTRODUCTION:

This site plan was presented before this Plan Commission at its October 22, 2020, regular meeting, the commission tabled the site plan and waivers with a unanimous vote (6-0-0), *and directed the applicant to address the comments from Plan Commissioners as well as provide increased compliance with the South 27th Street Overlay design requirements.*

On March 5, 2021, the applicant submitted a revised site plan with the following changes:

- 2 additional parking spaces for a total of 47 to meet the local parking schedule.
- New crosswalk and concrete sidewalk connecting the building entrance to the Rawson Avenue public sidewalk.
- The landscape island area within the parking lot has been increased to 990 sf along with 3 new trees.
- Widening of 2 roof dormers, south elevation.

PROJECT DESCRIPTION:

As noted in the previous Plan Commission meeting staff report, Kids Connection is a new child day care facility to be located on the northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard. Child day care services under Standard Industrial Classification No. 8351 is a permitted as of right use in the B-4 South 27th Street Mixed use Commercial District.

The site area is 2.21 acres. The project consists of a single story building with a footprint of 10,509 square feet, a playground with aluminum fencing, 47 parking spaces, 2 driveways connections to Rawson Avenue, landscaping and outdoor lighting.

PROJECT ANALYSIS:

Even though the proposed use is permitted as of right in the B-4 zoning district, the property is designated as mixed use in the Future Land Use Map of the Comprehensive Plan. Approval of a site plan does not need to be consistent with the local comprehensive plan, ordinances subject to the consistency requirement are specifically listed in Wisconsin Statutes §66.1001(3).

City Development staff has reviewed this project for a second time. The applicant has addressed some of previous staff concerns, while is still requesting waivers for some of them.

Drop-off area location

The drop-off or queuing area is separated from the building by a drive aisle which create a risk to children safety. This concern was raised by Commissioner Hailey during the October meeting and has not been addressed by the applicant in this resubmittal.

Even though the Unified Development Ordinance (UDO) does not have specific standards for drop-off area location in educational facilities, it is a good planning practice to eliminate the need for children to cross drives or roadways to access buildings (American Planning Association. 2006. *Planning and Urban Design Standards*, pp. 203-206).

Items revised by the applicant, now in compliance with the UDO.

- a) **Parking.** Table 15-5.0203 of the Unified Development Ordinance (UDO) requires 0.3 parking space per person of the enrollment capacity, which is 156. Therefore, the minimum parking required for this project is 47 spaces. The applicant added 2 parking spaces to the previous parking lot of 45 spaces to comply with this requirement.

South 27th Street Overlay Design Standards

- b) **Pedestrian considerations.** Pursuant to UDO §15-3.0353C.5, pedestrian walkways shall be provided from all building entrances to existing or planned public sidewalks. A crosswalk with bright yellow stripping and concrete sidewalk was added to connect the building entrance to the Rawson Avenue public sidewalk.
- c) **Required trees for parking lots.** Pursuant to §15-3.0354B.1, shade or decorative trees are required within the vehicular use area at a ratio of one tree for every 15 parking spaces or fraction thereof. The applicant added 3 trees for a total of 4 trees to meet this requirement.

It is noted that even though the applicant has addressed this requirement in terms of quantity of tress, staff recommends to replace the Autumn Blaze Maple (ABM) and Green Mountain Sugar Maple (GMSM) with serviceberry trees or other tree species with a height range at maturity of 20-30 feet or less to avoid conflict with existing overhead

power lines along Rawson Avenue based on input received from Tom Riha (City Forester) on March 19:

The trees would be close to the right of way with the county since Rawson is a county maintained road. I don't see a problem with the plantings being located there. The overhead power line would be more of a concern. The Japanese Tree Lilacs will be small enough not to grow into the lines. I would suggest replacing the Autumn Blaze maple on the eastern end with possibly a serviceberry something that will stay under 20-30feet.

Items not in compliance with the South 27th Street Overlay Design Standards, waivers requested by the applicant.

The intent of these standards is to further the implementation of the South 27th Street Corridor Master Plan amendment adopted by the City of Franklin on January 20, 2005. However, the Plan Commission has the authority to waive any of these standards *by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the waiver of the particular standard...* (UDO §15-3.0351.A.5).

1. **Coordination of Site Furnishings.** According to UDO §15-3.0353B, lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk.

Waiver request: “Most children are dropped off and picked up by motorized vehicles, not bicycles” ... “Trash bins attract bees and benches invite soliciting and loitering which is a safety issue for the children”.

Staff comment: the applicant is requesting a waiver but is not proposing any kind of compensation as required by the UDO. City Development staff is still recommending bicycle parking for child day care staff, which is consistent with the Transportation Systems goals of the *South 27th Street Corridor Plan*: “Encourage attractive options to automobile trips by improving and expanding walking, biking and transit facilities along the corridor ...” [emphasis added].

2. **Parking island size.** Pursuant to UDO §15-3.0353B, landscape islands shall not be less than 250 square feet.

Waiver request: For two parking islands: 150 sf and 220 sf.

Staff comment: it is recommended to replace the autumn blaze maple (ABM) with a tree lilac or a Cornus Mas (Cornelian Cherry Dogwood) based on input received from Tom Riha (City Forester) on March 19:

I would recommend going with a smaller growing tree. You are correct that Autumn Blaze Maple would be a tight fit for that space. Also I would be

concerned with salt damage as I find Maples don't seem to thrive in median plantings. The tree lilacs or a Cornus Mas (cornelian cherry dogwood) would tolerate the salt and space better.

3. **Multi-story building.** Per UDO §15-3.0355(A)(1), buildings located on prominent sites — such as corners — shall be multi-story.

Waiver request: “This property is located on the corner of S Riverwood Blvd and W Rawson Ave, which is one block off of the prominent corner of 27th St and Rawson. The residential condo development immediately to the north of the proposed Kids Connection Daycare Center was contacted and did not contest the proposed one-story building. Another facility near this one is also a one story daycare”.

Staff comment: No objections to this waiver request as the intersection of Riverwood Boulevard and Rawson Avenue is not a corridor gateway in the attached corridor future land use plan.

4. **Mixed use.** Per UDO §15-3.0355(A)(10), multi-story buildings that allow for a mix of retail, office or residential uses are preferred.

Waiver request: “For safety, security, noise, safe traffic flow needs, childcare center uses do not lend themselves well to a mixed-use development”.

Staff comment: No objections to this waiver as the Rainbow child day care (7363 W Rawson Ave) approved in 2018, which is also located within the South 27th Street Overlay and is not a mixed-use building.

5. **Corner entrance.** Per UDO §15-3.0355(B)(8)(d), buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.

Waiver request: “In the interest of safety and security, the daycare operator would prefer to maintain a centrally located main entry for families. The internal operations of a daycare operate most optimally with a central entry that equally serves both wings of the building.”.

Staff comment: The corner entrance may not be practical for this building as the strip of land adjacent to Riverwood Boulevard is within the Indian Creek Condominium and not part of the subject property. Additionally, per Wisconsin Statutes §66.10015(4) “no political subdivision may enact or enforce an ordinance or take any other action that requires one or more lot to be merged with another for any purpose, without the consent of the owner that are to be merged”.

For reference, see attached corner building illustration, page 29 of the South 27th Street Corridor Master Plan

6. **Dumpster location.** The preferred location for the dumpster enclosure is behind the building per UDO §15-3.0355(B)(10)(c).

Waiver request: “In the interest of safety, the daycare operator would prefer a dumpster location nearer the road than what we are showing in order to reduce the travel distance of the garbage truck. However, the compromise was to locate the dumpster enclosure behind the rear facade line of the building but retain a straight-on pick with their garbage truck so that the truck operator is not required to roll dumpsters into position prior to the pick.”.

Staff comment: The dumpster would be enclosed by 6-foot walls but the gate would be visible from West Rawson Avenue. This gate would be made of steel frames with cedar planks.

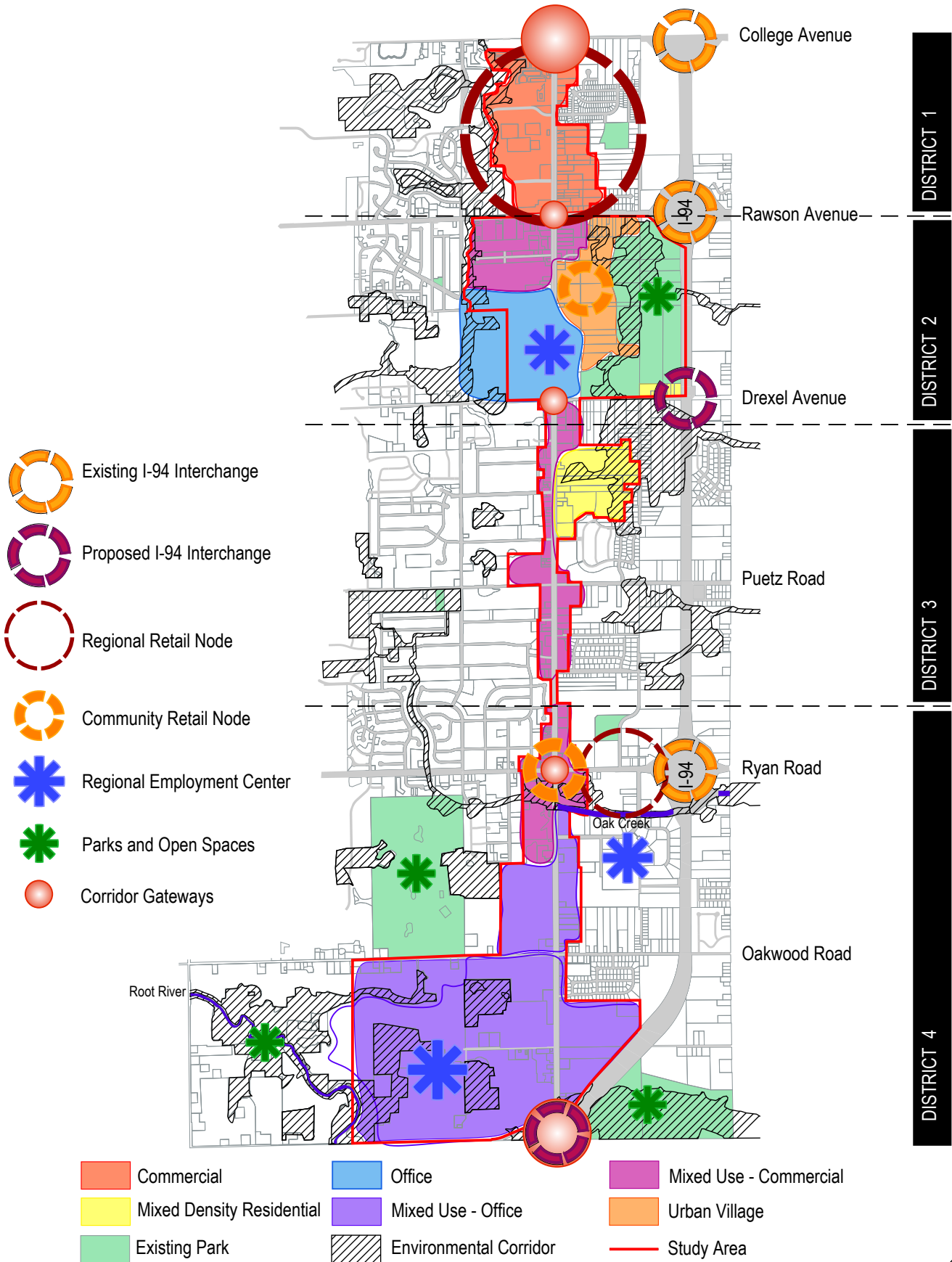
STAFF RECOMMENDATION

Department of City Development staff recommends denial if the Plan Commission denies the six (6) requested waivers.

Alternatively, staff recommends to table this item so the applicant can redesign the parking lot to relocate the drop-off area.

If approved, staff recommends bicycle parking as compensation for the site furnishing waiver in a ratio of one (1) bicycle parking for every ten (10) vehicular parking spaces, for a total of (5) bicycle parking spaces.

Staff suggests a 2-year maintenance agreement to be submitted by the applicant for the prairie seeding.



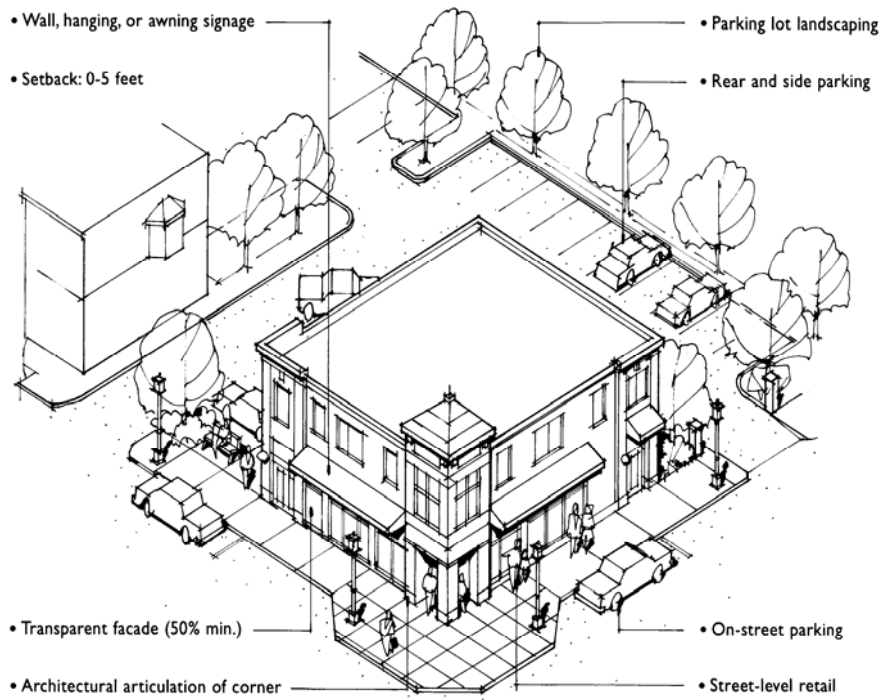
6 DESIGN GUIDELINES BY LAND USE AREA

The design guidelines in this section refer to the distinct land use areas found along the 27th Street Corridor. It is important to consider the land use in each district and refer to these design guidelines when developing those areas.

6.1 Regional Retail/Community Retail

The regional retail/community retail design guidelines apply to retail, hospitality, and entertainment uses.

- a. If the commercial development consists of a mix of structures of different sizes, larger buildings should be located behind smaller structures.
- b. Sidewalks and tree planting along the front of small commercial buildings should be provided as they promote pedestrian activities and help define the streetscape, unless the buildings are located within an Urban Village-type of development with a mix of uses, narrow streets, etc.
- c. Long, monotonous, uninterrupted walls should be discouraged on the primary facades of commercial buildings. Building wall offsets, including projections, recesses, and changes in floor level, should be used to add architectural interest and variety.
- d. Buildings on corners that have at least two (2) facades exposed to public streets should be considered significant structures. These buildings should be designated with additional height and architectural detail, such as corner towers to reinforce their location.



Corner buildings should help define intersections with distinctive architectural character.

STATE OF WISCONSIN

CITY OF FRANKLIN
PLAN COMMISSION

MILWAUKEE COUNTY
[Draft 4-15-21]

RESOLUTION NO. 2021-_____

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION
OF A DAYCARE BUILDING, PLAYGROUND, PARKING LOT,
DRIVEWAYS AND STORMWATER BASIN WITH ASSOCIATED
LANDSCAPING, FENCING AND LIGHTING
(3030-3130 WEST RAWSON AVENUE)
(KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF
RAWSON, LLC, APPLICANT, KRISTOPHER A. KRAUSSEL
AND TINA M. KRAUSSEL, PROPERTY OWNERS)

WHEREAS, Kristopher A. Kraussel/B & B Investments of Rawson, LLC having applied for approval of a proposed site plan for construction of a 10,509 square foot single-story building (Kids Connection Childcare Center), 3,419 square foot playground (aluminum fencing around the perimeter) on the east side of the building, 47 parking spaces, two driveways with connection to Rawson Avenue, as well as associated landscaping, outdoor lighting and a bioretention basin on the west end of the property for onsite storm water management, with hours of operation Monday through Friday, upon property located at 3030-3130 West Rawson Avenue (northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard, approximately 2.21 acres of vacant land); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 10,509 square foot single-story building (Kids Connection Childcare Center), 3,419 square foot playground, parking lot, driveways and stormwater basin with associated landscaping, fencing and lighting at 3030-3130 West Rawson Avenue (northwest corner of the intersection of Rawson Avenue and Riverwood Boulevard, approximately 2.21 acres of vacant land), as depicted upon the plans date-stamped ~~March 5~~~~September 12~~, 2021~~0~~, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Kristopher A. Kraussel/B & B Investments of Rawson, LLC “Kids Connection Childcare Center” daycare facility date-stamped ~~March~~~~September 12~~, 2021~~0~~.
2. Kristopher A. Kraussel/B & B Investments of Rawson, LLC, successors and assigns,

KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF RAWSON, LLC – SITE PLAN
RESOLUTION NO. 2021- _____

Page 2

and any developer of the Kristopher A. Kraussel/B & B Investments of Rawson, LLC “Kids Connection Childcare Center” daycare facility construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Kristopher A. Kraussel/B & B Investments of Rawson, LLC “Kids Connection Childcare Center” daycare facility construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon the Kristopher A. Kraussel/B & B Investments of Rawson, LLC “Kids Connection Childcare Center” daycare facility construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Kristopher A. Kraussel/B & B Investments of Rawson, LLC “Kids Connection Childcare Center” daycare facility construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.

~~5. Approval of parking reduction from 52 parking stalls to 47 parking stalls provided that the applicant submits a revised site plan with the addition of 7 bicycle parking spaces for review and approval by the Department of City Development, prior to the issuance of building permits.~~

~~6.5.~~ The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0353B. (Coordination of Site Furnishings), prior to the issuance of any building permit.

~~7.6.~~ The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0354C.1. (Interior Landscaping for Off-street Parking Areas), prior to the issuance of any building permit.

~~8.7.~~ The applicant shall obtain a waiver from the Plan Commission of the South 27th Street Design Overlay District Standards Section 15-3.0355A.1. (Building Character and Design), prior to the issuance of any building permit.

~~9.~~ The applicant shall obtain a waiver from the Plan Commission of the South 27th St

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~~KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF RAWSON, LLC – SITE PLAN~~

~~RESOLUTION NO. 2021-_____~~

~~Page 3~~

8. Street Design Overlay District Standards Section 15-3.0355B.8.d. (Pedestrian Accessibility, corner entrance), prior to the issuance of any building permit.

9. The applicant shall obtain a waiver from the Plan Commission Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355B.10.c. (External storage), prior to the issuance of any building permit.

KRISTOPHER A. KRAUSSEL/B & B INVESTMENTS OF RAWSON, LLC – SITE PLAN
RESOLUTION NO. 2021-_____

Page 3

~~10. The applicant shall obtain a waiver from the Plan Commission Approval of the requested waiver from South 27th Street Design Overlay District Standards Section 15-3.0355B.10.c. (External storage), prior to the issuance of any building permit.~~

~~11.~~ 10. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.

~~12.~~ 11. The applicant must submit a revised landscape plan to the City Development Department with the following changes: replace the Autumn Blaze Maple (ABM) located in the internal parking island with a tree lilac or a Cornus Mas (Cornelian Cherry Dogwood), relocate the Ivory Silk Japanese Tree Lilac (JTL) outside the internal sidewalk connecting to Rawson Avenue, replace the Autumn Blaze Maple (ABM) and Green Mountain Sugar Maple (GMSM) located near the south property line with serviceberry trees or other tree species with a height range at maturity of 20-30 feet or less. This condition must be addressed prior to the issuance of building permits.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2021.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2021.

APPROVED:

Stephen R. Olson, Chairman

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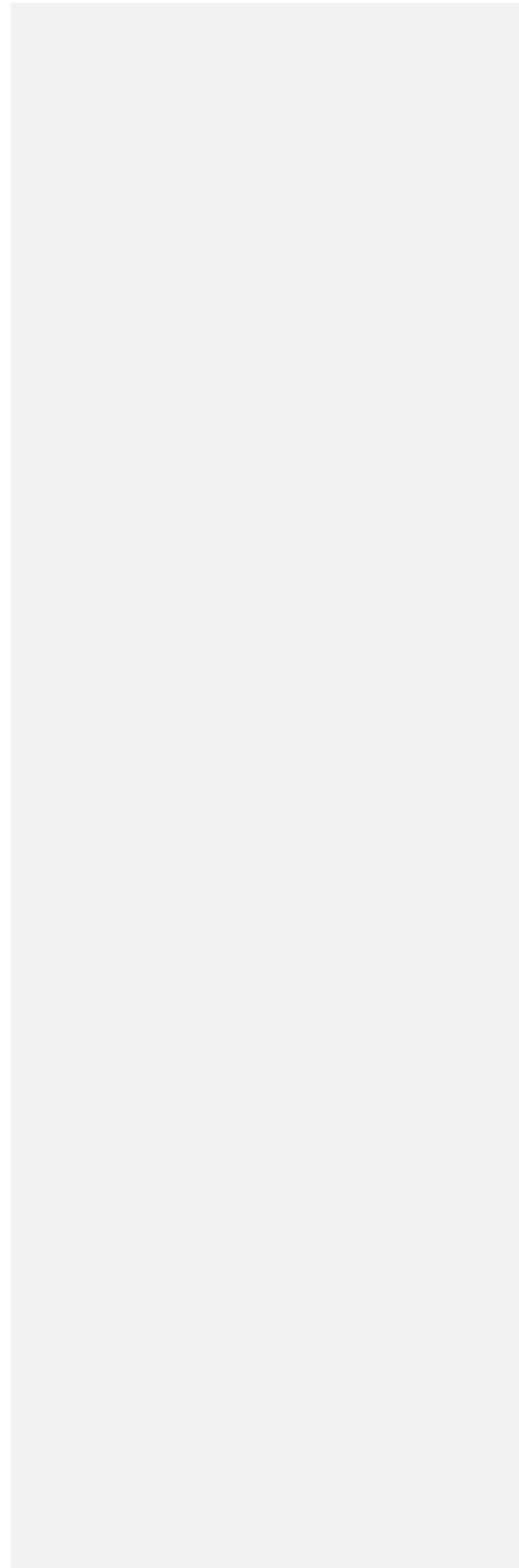
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ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



MEMORANDUM

Date: April 6, 2021
To: Rob Sterr. Anderson Ashton, Inc.
From: Department of City Development.
RE: Application for Site Plan. Kids Connection – 3030-3130 W Rawson Avenue (2nd submittal)

Please be advised that City Staff has reviewed the above application received on March 5, 2021, for a child day care facility to be located at 3030-3130 W Rawson Avenue. Department comments are as follows:

Department of City Development

1. Please note the following revisions to the landscape plan:
 - A. Please relocate the Ivory Silk Japanese Tree Lilac (JTL) outside the sidewalk connecting to Rawson Avenue.
 - B. Per City Forester comments, it is recommended to replace the Autumn Blaze Maple (ABM) located in the internal parking island (220 sf) with a tree lilac or a Cornus Mas (Cornelian Cherry Dogwood).
 - C. Per City Forester comments, it is recommended to replace the Autumn Blaze Maple (ABM) and Green Mountain Sugar Maple (GMSM) located near the south property line with serviceberry trees or other tree species with a height range at maturity of 20-30 feet or less.

Regulo Martinez-Montilva

From: Tom Riha
Sent: Thursday, March 25, 2021 2:55 PM
To: Regulo Martinez-Montilva
Subject: RE: Kids Connection landscape plan - 3130 W Rawson

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Regulo,

I have added comments/suggestions to your questions. Nice catch those maples would pose an issue with the power lines in the future. I see prairie seeding is recommended in this project will they have any type of maintenance agreement going forward? A lot of times the seed is planted but is then taken over with weeds if not maintained.

Let me know if you need anything else,

Tom Riha
City Forester



From: Regulo Martinez-Montilva
Sent: Friday, March 19, 2021 4:39 PM
To: Tom Riha <TRiha@franklinwi.gov>
Cc: Heath Eddy <HEddy@franklinwi.gov>; Glen Morrow <GMorrow@franklinwi.gov>
Subject: Kids Connection landscape plan - 3130 W Rawson

Tom,

The attached landscape plan will be presented before the Plan Commission in April 22. I have some questions about tree location and parking islands and I would appreciate your input:

- There is an overhead power line and concrete sidewalk along Rawson Ave and the applicant is proposing trees and shrubs close to the property line. Taking into account the tree clearance of the Municipal Code, are these trees too close to the right-of-way line? If so, would you recommend relocation or changing tree species?
[The trees would be close to the right of way with the county since Rawson is a county maintained road. I don't see a problem with the plantings being located there. The overhead power line would be more of a concern. The Japanese Tree Lilacs will be small enough not to grow into the lines. I would suggest replacing the Autumn Blaze maple on the eastern end with possibly a serviceberry something that will stay under 20-30feet.](#)
- The minimum parking island size per UDO is 250 sf (27th Street overlay), the applicant is requesting a waiver to allow a 220-sf island with an Autumn Blaze Maple (ABM). Do you think it is enough room for this tree specie?
[I would recommend going with a smaller growing tree. You are correct that Autumn Blaze Maple would be a tight fit for that space. Also I would be concerned with salt damage as I find Maples don't seem to thrive in median plantings. The tree lilacs or a Cornus Mas \(cornelian cherry dogwood\) would tolerate the salt and space better.](#)

Thank you,

Régulo Martínez-Montilva, AICP

Principal Planner - Department of City Development

City of Franklin

9229 W. Loomis Road

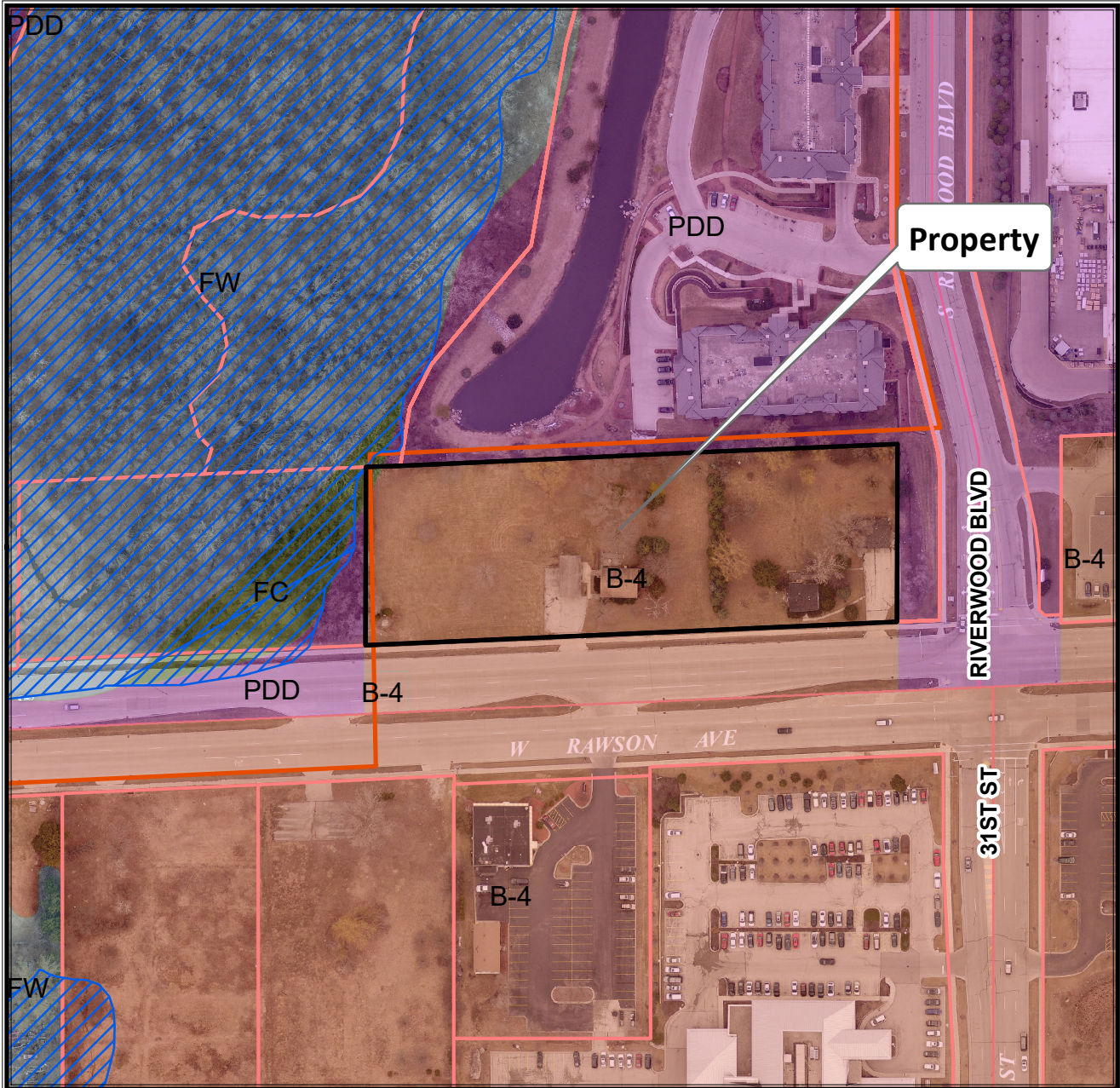
Franklin, WI 53132

Phone (414) 425-4024 / 427-7564

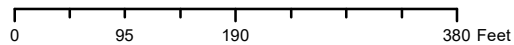
RMartinez-Montilva@franklinwi.gov



3030 & 3130 W. Rawson Ave.
TKN: 738 9991 001

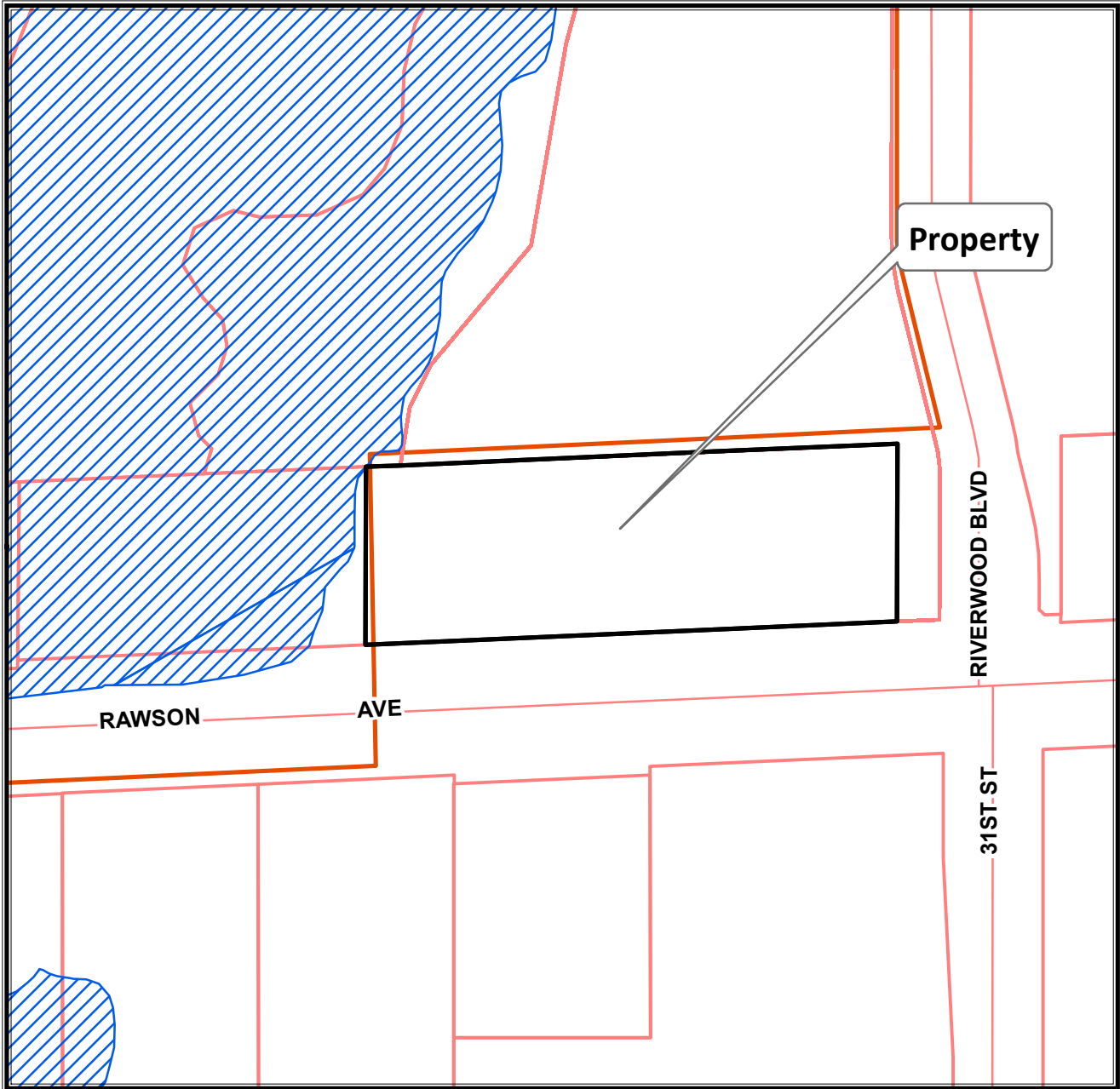


Planning Department
(414) 425-4024

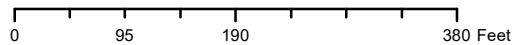


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

3030 & 3130 W. Rawson Ave.
TKN: 738 9991 001



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

Friday, March 5, 2021

Kids Connection (3030-3130 W. Rawson Ave) – Cover Letter

This cover letter is to explain the order of what is contained in this packet:

1. Legal description of project site
2. Project summary 3.5.2021
3. Letter addressing additional information 3.5.2021
4. Staff comments dated September 24, 2020 with responses 3.5.2021 to the comments
5. Letter requesting waivers of certain standards of the 27th Street Overlay District 3.5.2021
6. Updated plan sheets including Civil, Photometrics, Elevations 3.5.2021
7. Cut sheet for LED pole light OA 3.5.2021
8. Material Reference Sheet 3.5.2021
9. Updated RENDERINGS 3.5.2021

Legal Description of Property located at 3130 W. Rawson Avenue

Lot 1 of Certified Survey Map N. 8419, Part of the SouthEast $\frac{1}{4}$ and the SouthWest $\frac{1}{4}$ of the SouthEast $\frac{1}{4}$ of the SouthEast $\frac{1}{4}$ of Section 1, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin



2746 South 166th Street
New Berlin, WI 53151
262.786.4640 P
262.786.4675 F
andersonashton.com

Thursday, March 5, 2021

Project Summary Kid's Connection - 3130 W. Rawson Avenue

The proposed project consists of a single story, wood framed, 10,509 square foot building, located at 3130 W. Rawson Avenue. The building will be a day care facility for children, and operate Monday thru Friday.

On the East side of the building there will be a 3,419 square foot playground, that will have an aluminum fence around the perimeter. All 4 elevations of the building will have prefinished engineered wood siding with a masonry veneer wainscot. The hip style roof system will have a gable style dormer for the front entrance on the South side along with two dormers. The main entrance on the South elevation will also have a stone veneer around the entrance doors. The roof will be a be asphalt shingles. The building elevations were created to give the impression of a two-story building from the road view.

The West end of the property will have a bioretention basin constructed to have onsite storm water management. The parking lot will be constructed of asphalt pavement with curb and gutter with in-parking landscape islands.

In addition to the project, a turn lane in the Eastbound lane of traffic will be constructed per Milwaukee County requirements. The building will be a day care facility for 156 children, and operate Monday thru Friday. A convenience sidewalk will be provided from the city sidewalk to the entrance of the facility.

Parking provided is calculated on 0.3×156 licensed children = 47 stalls + 6 required cuing per local ordinance. Most parents will park in front stalls to pick up young children and infants so those parking spaces need to be closest to entrance.

The dumpster is not located behind building due to access needed to get to the dumpster. The dumpster is located at the furthest point away from the road and blocked by the building from viewing.

Kids Connection (3030-3130 W. Rawson Ave) – Additional Information

BB. Financial Plan

The estimated completion of the project is summer of 2022. Overall estimated project costs total \$1,788,026.00. The future assessed value is not known at this time.

CC. Project Summary

Construction of an approximately 10,509 square foot commercial child care facility. The facility will have a fenced in outdoor playground area with multiple structures. A bio-retention basin will be constructed on the west side of the property for stormwater management. There will be a 100' long, eastbound turn lane, constructed in the median of Rawson Avenue, per the request of Milwaukee County. The facility capacity is anticipated to be licensed for 156 children. Hours of operation will be 6:00am to 6:00pm Monday thru Friday. The estimated start of construction is anticipated to be July 2021 and completion summer of 2022.

MEMORANDUM

Date: September 24, 2020
To: Rob Sterr. Anderson Ashton, Inc.
From: Department of City Development.
RE: Application for Site Plan. Kids Connection – 3030-3130 W Rawson Avenue

Please be advised that City Staff has reviewed the above application received on September 4, 2020, for a child day care facility to be located at 3030-3130 W Rawson Avenue. Department comments are as follows:

Department of City Development

Site Plan

1. Per Unified Development Ordinance (UDO) §15-7.0103, please provide the following information:
2. Architect and/or Engineer's Name and Address. Architect and/or engineer's name, address, and seal noted. **-Refer to updated Civil plans 3.2.2021**
 - G. Soils Data. The characteristics and types of soils related to contemplated specific uses. Soil borings may be required by the City Engineer, Zoning Administrator, and/or Plan Commission. – **Will be completed prior to Construction Permit Application**
 - H. If the proposed development abuts an existing or planned collector or arterial street or highway, as identified on the City of Franklin Comprehensive Master Plan or component thereof, all driveway locations of all adjoining properties within 200 feet of the site shall be graphically indicated and dimensioned (with distances and widths noted) on the Site Plan. -- **-Refer to updated Civil plans 3.2.2021**
 - I. Details of the dumpster enclosure and aluminum fence, such as elevations or renderings. **-Refer to updated Architectural Site Plan Set 3.5.2021**
 - Y. Access. Copies of any letters of review or permits granted by Milwaukee County regarding access to Rawson Avenue.
 - BB. Financial Plan for Project Implementation to be Provided. A financial plan for project implementation, acceptable to the Plan Commission. – **See attached response**
 - CC. Project Summary. Please add building schedule and estimate of project value and including all site improvement costs. **-See attached in formal response**
 - DD. Additional data:
 - Enrollment capacity. – **156**
 - Specific hours of operation. – **6a to 6p M-F**

South 27th Street Design Overlay Design Standards

Parking

3. The site plan as presented does not comply with the parking location standard set forth in UDO §15-3.0352(A), *not more than 50% of the off-street parking spaces shall be located directly between the front facade of the building and the public street.* Please revise accordingly.
 - This may have been a situation of miss-interpretation of UDO 15-3.0352(A). It was interpreted that 21 stalls of the 45 are “located **directly** between the front façade of the building and the public street” therefore meeting the standard set forth in UDO15-3.0352(A). The current design, as submitted to Franklin on Sept 4 would be preferred by the building operator so that daily pick-up / drop-off operations are executed efficiently and safely.

Landscape and site design general standards

4. Pursuant to UDO §15-3.0353(B), site furnishings such as benches, trash receptacles and bicycle racks are required. Staff recommends 4 bicycle racks, 2 benches and 2 trash receptacles.
Upon prior approval of the Plan Commission and Common Council, streetscape items may be placed within the public right-of-way. – **Operator is requesting a waiver for this item**
5. Per UDO §15-3.0353(C), please add pedestrian walkways connecting building entrances to existing public sidewalk. Pedestrian walkways shall be designed with amenities such as special paving treatments (colored paver blocks or textured concrete) and distinguished from driving surfaces.- **Operator is requesting a waiver for this item**

Landscaping requirements for off-street parking areas

6. Even though the overall quantity of plantings meets UDO requirements, only 1 tree (Autumn Blaze Maple ABM) is proposed within the vehicular use area while the minimum requirement is 3 trees. 1 tree for every 15 parking spaces per UDO §15-3.0354(B)(1). See §15-3.0354(B)(3) for reductions of this requirement. – **In the interest of safety, the daycare operator would prefer to maintain clear site lines through-out the site, for this reason, limited landscaping within the parking area is preferred.**
7. The parking lot does not comply with the total area required for landscape islands of 900 square feet, 20 square feet per parking stall set forth in UDO §15-3.0354(C)(1-2). Landscape islands shall not be less than 250 square feet. – **In the interest of safety, the daycare operator would prefer to maintain clear site lines through-out the site, for this reason, limited landscaping within the parking area is preferred.**

Architectural requirements

8. Per UDO §15-3.0355(A)(1), buildings located on prominent sites — such as corners — shall be multi-story. – **This property is located on the corner of S Riverwood Blvd and W Rawson Ave, which is one block off of the prominent corner of 27th St and Rawson. S Riverwood Blvd serves the loading area for Lowe’s, the building supply store across the street and a residential development, the property immediately to the north of the proposed Kids Connection Daycare Center. Although this site could be considered not prominent for many reasons including severe site grade differential of approx. 25’ East to West, efforts were made to increase the building volume to imply a second**

story with the inclusion of a roof volume of 28' to the ridge and dormers which imply an occupiable level above the first floor.

9. Per UDO §15-3.0355(A)(10), multi-story buildings that allow for a mix of retail, office or residential uses are preferred. -For security, noise, safe traffic flow needs, childcare center uses do not lend themselves well to a mixed-use development.
10. Per UDO §15-3.0355(B)(8)(d), buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.
– In the interest of safety and security, the daycare operator would prefer to maintain a centrally located main entry for families. The internal operations of a daycare operate most optimally with a central entry that equally serves both wings of the building.
11. The preferred location for the dumpster enclosure is behind the building per UDO §15-3.0355(B)(10)(c). – In the interest of safety, the daycare operator would actually prefer a dumpster location nearer the road than what we are showing in order to reduce the travel distance of the garbage truck. However, the compromise was to locate the dumpster enclosure behind the rear façade line of the building but retain a straight-on pick with their garbage truck so that the truck operator is not required to roll dumpsters into position prior to the pick.

Note: The Plan Commission has the authority to waive any of the South 27th Street Design Overlay District Standards by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested. UDO §15-3.0351(A)(5)

Landscape

1. Please illustrate areas for snow storage on the Landscape Plan in compliance with Section 15-5.0210 of the Unified Development Ordinance. The minimum snow storage area is 10% of the total pavement areas. -Refer to updated Architectural Site Plan
2. A two-year planting guaranty on the Landscape Plan is required per UDO §15-5.0303(G)(3). Please revise note 16 of sheet L1.2.
3. Please provide irrigation plans per UDO §15-5.0303(D). – noted hose bib locations on landscape plan

Lighting

1. For LED pole lights “OA”, please provide a graphic depiction of the luminaire lamp concealment, light cut-off angle and photometric data test report per UDO §15-5.0402(B). Refer to updated cut-sheet for formal submittal

Signage

1. Signage will require separate review and approval by the Architectural Review Board and a Sign Permit from the Inspection Department. Please provide a note on the plans that states signs are shown for reference only and require separate review and approval. - Refer to updated Architectural Site Plan

Additional comments

2. Please add ADA parking signage and curb cuts. UDO §15-5.0202(J)(3) - Refer to updated Architectural Site Plan

Engineering Department Comments

2. The proposed location of the driveway opening must be reviewed and approved by Milwaukee County (a permit may be required). -see letter from Milwaukee County
3. Working on the County's right of way must be permitted by the Milwaukee County.
4. The abandoning of the water laterals at the main and the proposed wet tap connection must be inspected by the City of Franklin Water & Sewer Dept.
5. Submission of the Plat of Survey is required for a building permit (see website for plat of survey requirements). -Survey will be provided at formal submittal
6. Specific Engineering and Utility comments in regard to the construction plans are forthcoming and must be addressed prior to approval.

Fire Department Comments

7. The fire department has no concerns with the proposed site amendment. State DSPS requirements regarding fire protection systems apply.

Inspection Services Department Comments

8. Inspection Services has no comments on the subject proposal at this time.

Police Department Comments

9. The police department has no objections to this application.



Wednesday, March 5, 2021

Kids Connection (3030-3130 W. Rawson Ave) — Waiver Requests

South 27a Street Design Overlay Design Standards Landscape

and site design general standards

1. Pursuant to UDO §15-3.0353(B), site furnishings such as benches, trash receptacles and bicycle racks are required. Staff recommends 4 bicycle racks, 2 benches and 2 trash receptacles.

Upon prior approval of the Plan Commission and Common Council, streetscape items may be placed within the public right-of-way. **A waiver is requested for this item. Most children are dropped off and picked up by motorized vehicles, not bicycles: This is Infants and small children, not school age children. There isn't a need for benches or seating outside with trash receptacles. Trash bins attract bees and benches invite soliciting and loitering which is a safety issue for the children.**

2. Per UDO §15-3.0353(C), please add pedestrian walkways connecting building entrances to existing public sidewalk. Pedestrian walkways shall be designed with amenities such as special paving treatments (colored paver blocks or textured concrete) and distinguished from driving surfaces. — **No waiver requested. Current revised plans submitted have a concrete sidewalk that connects the facility with the city sidewalk. The sidewalk will be hatched with bright yellow striping to delineate the path.**

Landscaping requirements for off-street parking areas

3. Even though the overall quantity of plantings meets UDO requirements, only 1 tree (Autumn Blaze Maple ABM) is proposed within the vehicular use area while the minimum requirement is 3 trees. 1 tree for every 15 parking spaces per UDO §15-3.0354(B)(1). See §15-3.0354(B)(3) for reductions of this requirement. **No waiver requested. Current revised landscaping plans show (4) trees within the parking area (1 for every 15 parking spaces = $47/15 = 3.1$)**
4. The parking lot does not comply with the total area required for landscape islands of 900 square feet, 20 square feet per parking stall set forth in UDO §15-3.0354(C)(1-2). Landscape islands shall not be less than 250 square feet. — **Partial waiver is requested for island size only. Per the current revised architectural site plan AS01 there are (4) curbed landscape islands provided; (1) @ 320 sf, (1) @ 220 sf, (1) @ 300 sf, (1) @ 150 sf for a total of 990 s.f. They are placed for the most visibility for drivers in the parking lot for safety of small children getting walked to their cars.**

Architectural requirements

5. Per UDO §15-3.0355(A)(1), buildings located on prominent sites — such as corners — shall be multi-story. **A waiver is requested for this item. This property is located on the corner of S Riverwood Blvd and W Rawson Ave, which is one block off of the prominent corner of 27th St and Rawson. The residential condo development immediately to the north of the proposed Kids Connection Daycare Center was contacted and did not contest the proposed one-story building. Another facility near this one is also a one story daycare.**

6. Per UDO §15-3.0355(A)(10), multi-story buildings that allow for a mix of retail, office or residential uses are preferred. ~~For safety, security, noise, safe traffic flow and childcare centers do not lend themselves well to a mixed-use development.~~
7. Per UDO §15-3.0355(B)(8)(d), buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.

~~A variance is requested for this requirement. In the interest of safety and security, the daycare operator would prefer to maintain a centrally located main entry for families. The internal operations of a daycare operate most optimally with a central entry that equally serves both wings of the building.~~

8. The preferred location for the dumpster enclosure is behind the building per UDO §15-3.0355(B)(10)(c). ~~—A variance is requested for this item; In the interest of safety, the daycare operator would prefer a dumpster location nearer the road than what we are showing in order to reduce the travel distance of the garbage truck. However, the compromise was to locate the dumpster enclosure behind the rear facade line of the building but retain a straight-on pick with their garbage truck so that the truck operator is not required to roll dumpsters into position prior to the pick.~~



ODEN LED Specifications



Project Name:

Catalog Number:

Type:

With six interchangeable caps and spun shade styles, the **Oden - LED** offers architects, designers and engineers endless possibilities for a custom fixture to fit their unique application.

The **Oden - LED Array's** high-quality, durable construction makes it an ideal fixture for any application.

Ordering Information

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	CAP/SHADE	OPTIONS	OPTIONS	
ODN-1-L	T1 Type 1	16LC	3 350mA	3K 3000K	UNV 120-277V	YM Yoke Mount *Slips over 3" ØD tenon x 4" tall with special threaded mounting plate.	BZ Bronze	C1	PC-120 PC-208 PC-240 PC-277 Photocell & Receptacle	DIM 0-10v Dimming Driver	
	T2 Type 2	32LC	5 530mA	4K 4000K			8 347V	WB Weathered Brown			C2
	T3 Type 3	48LC	7 700mA	5K 5000K	5 480V		BK Black	C3			C4
ODN-2-L	T4 Type 4	48LC				UAM Arm Mount *Decorative arm not included	SBK Smooth Black	C5	WSC-8 Motion Sensor 8' Mounting Height	IR-R Illuminated Rings Red	
	T5 Type 5	64LC					WH White	H1			WSC-20 Motion Sensor 9-20' Mounting Height
	T5W Type 5 Wide	96LC					SWH Smooth White	H2			
ODN-3-L	T5WR Type 5 Wide Round	96LC				ODN uses small arm. ODN-2 & ODN-3 uses large arm	GP Graphite	H3	WSC-40 Motion Sensor 21-40' Mounting Height *The WSC option will require (1) FSIR 100 remote for programming	IR-G Illuminated Rings Green	
		128LC					GY Grey	H4			H5
							SL Silver Metallic	H6			
							FG Forest Green				
							VD Verdigris				
							CC Custom Color				

Housing

- High-quality, one-piece spun aluminum shade and durable cast aluminum top cap; available in three housing sizes.
- All external hardware is stainless steel.
- One-piece spun aluminum removable door assembly..

Thermal Management

- The Oden - LED provides excellent overall thermal management by maximizing the efficiency of the heat sink in the fixture. This enables the Oden - LED to withstand higher ambient temperatures and higher drive currents without degrading LED life.

Optical System

- The highest lumen output LEDs are utilized. Estimated life of the LEDs is 100,000+ hours. Available with 6 IES distribution patterns. Available with up to 96 LED. The optical system qualifies as IES full cutoff to restrict light trespass, glare and light pollution for neighborhood-friendly lighting.
- CRI values are 70

Quali-Guard® Finish

- Fixture components are chemically pretreated through a multiple-stage washer and finished with an electrostatically-applied, thermoset polyester powder coat textured paint with a 3 to 5 mils thickness. Finish is oven-baked at 400 °F for maximum adherence and finish hardness.
- Available in standard and custom colors.

Mounting

- The Oden - LED Array mounts to a wide selection of decorative and custom Visionaire mounting arms. Visionaire decorative mounting arm required. See Visionaire Mounting Arms section of the catalog.
- Oden 1 requires small decorative arm
- Oden 2 & Oden 3 requires large decorative arm

Electrical Assembly

- The Oden - LED is supplied with a high-performance LED driver, located in its cap, that accepts 120 V thru 277 V, and 480 V, 50 Hz to 60 Hz input. Power factor is 90%.
- Rated for -40 of operation.
- 10 kV surge protector supplied as standard.

Warranty

- Five (5) year Limited Warranty on entire system, including finish. For full warranty information, please visit www.visionairelighting.com.

Options

- Button type photocell
- Watt Stopper FSP-211
- 0-10 V dimming driver
- Wireless Controls
- Illuminated Rings
- Cutoff louver system

Listings

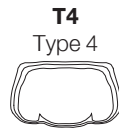
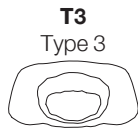
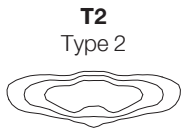
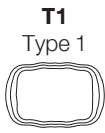
- Oden is cUL listed, suitable for wet locations.
- IP65 Rated
- DLC Listed
- IDA Certification
- LM79
- LM80
- Powder Coated Tough™



DesignLights Consortium (DLC) qualified Product. Some configurations of this product family may not be DesignLights Consortium (DLC) listed, please refer to the DLC qualified products list to confirm listed configurations. <http://www.designlights.org/>
3000K must be selected for IDA certification.
Fixed mount must be selected for IDA dark sky certification.

ODEN LED Specifications

Photometric Optical Summary



EPA Data

Fixture	Fixture Only	Fixture with VA110-S1	2 Fixtures with VA110-D2	Fixture with VA107-S1	2 Fixtures with VA107-D2
ODN-1	1.2	2.2	4.1	3.5	5.6
ODN-2	2.6	3.6	6.6	4.9	8.3
ODN-3	3.5	4.5	8.6	5.8	9.8

Dimensions

Size 1

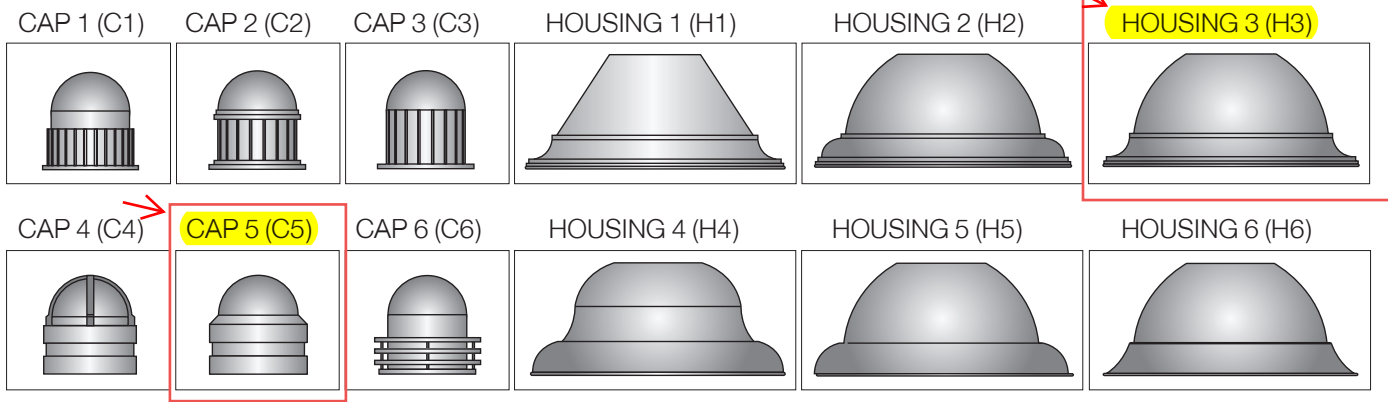
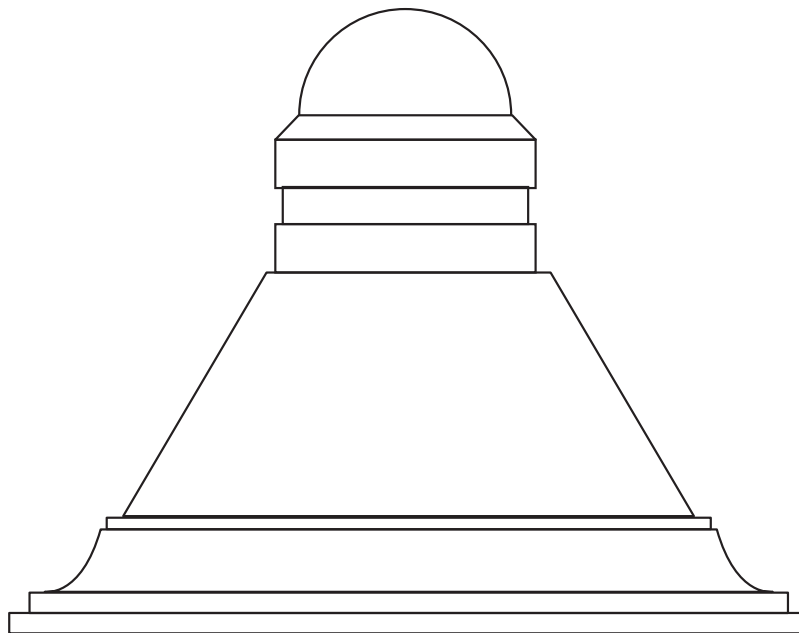
Width:	ODN-1 20"
Height:	ODN-1 19.5"
Weight:	40 LBS

Size 2

Width:	ODN-2 25"
Height:	ODN-2 22.5"
Weight:	53 LBS

Size 3

Width:	ODN-3 30"
Height:	ODN-3 24"
Weight:	74 LBS



ODEN DATA																																		
	# LEDs	mA	Type 1	B	U	G	LPW	Type 2	B	U	G	LPW	Type 3	B	U	G	LPW	Type 4	B	U	G	LPW	Type 5	B	U	G	LPW	Type 5W	B	U	G	LPW	Watts	
ODN-1	16	350	2561	1	0	1	142	2399	1	0	1	133	2443	1	0	1	136	2288	1	0	1	127	2568	1	0	1	143	2486	2	0	1	138	18	
		530	3665	2	0	2	134	3433	1	0	1	126	3496	1	0	1	128	3275	1	0	1	120	3675	2	0	1	134	3558	2	0	1	130	27	
		700	4572	2	0	2	124	4283	1	0	2	116	4361	1	0	1	118	4085	1	0	1	110	4585	2	0	1	124	4438	2	0	1	120	37	
	32	350	4875	2	0	2	135	4566	1	0	2	127	4649	1	0	1	129	4355	1	0	1	121	4888	2	0	1	136	4732	3	0	1	131	36	
		530	7225	3	0	3	132	6767	2	0	2	124	6891	1	0	1	126	6455	1	0	2	118	7245	3	0	1	133	7013	3	0	1	128	55	
		700	9013	3	0	3	129	8442	2	0	2	121	8596	1	0	2	123	8053	2	0	2	115	9037	3	0	1	129	8748	3	0	2	125	70	
	48	350	7701	3	0	3	144	7213	2	0	2	135	7345	1	0	1	137	6880	1	0	2	129	7722	3	0	1	144	7474	3	0	1	140	54	
		530	11414	3	0	3	139	10690	2	0	3	130	10886	2	0	2	133	10198	2	0	2	124	11445	3	0	1	140	11078	3	0	2	135	82	
		700	14237	3	0	3	133	13335	3	0	3	125	13580	2	0	2	127	12721	2	0	2	119	14276	3	0	2	133	13819	4	0	2	129	107	
ODN-2	48	350	7701	3	0	3	144	7213	2	0	2	135	7345	1	0	1	137	6880	1	0	2	129	7722	3	0	1	144	7474	3	0	1	140	54	
		530	11414	3	0	3	139	10690	2	0	3	130	10886	2	0	2	133	10198	2	0	2	124	11445	3	0	1	140	11078	3	0	2	135	82	
		700	14237	3	0	3	133	13335	3	0	3	125	13580	2	0	2	127	12721	2	0	2	119	14276	3	0	2	133	13819	4	0	2	129	107	
	64	350	10058	3	0	3	140	9421	2	0	3	131	9593	2	0	2	133	8986	2	0	2	125	10085	3	0	1	140	9763	3	0	2	136	72	
		530	14224	3	0	3	135	13323	3	0	3	127	13567	2	0	2	129	12709	2	0	2	121	14263	3	0	2	136	13807	4	0	2	131	105	
		700	17919	4	0	4	128	16784	3	0	3	120	17091	2	0	2	122	16011	3	0	3	114	17969	4	0	2	128	17393	4	0	2	124	140	
	80	350	12294	3	0	3	138	11515	3	0	3	129	11726	2	0	2	132	10984	2	0	2	123	12328	3	0	2	139	11933	4	0	2	134	89	
		530	17187	3	0	3	132	16098	3	0	3	124	16393	2	0	2	126	15356	3	0	3	118	17234	4	0	2	133	16683	4	0	2	128	130	
		700	21635	4	0	4	122	20265	3	0	4	114	20636	3	0	3	117	19331	3	0	3	109	21695	4	0	2	123	21000	4	0	2	119	177	
	96	350	14832	3	0	3	136	13892	3	0	3	127	14146	2	0	2	130	13252	2	0	2	122	14872	3	0	2	136	14396	4	0	2	132	109	
		530	21334	4	0	4	133	19982	3	0	3	125	20348	3	0	3	127	19061	3	0	3	119	21392	4	0	2	134	20707	4	0	2	129	160	
		700	26644	4	0	4	127	24956	3	0	4	119	25412	3	0	3	121	23805	3	0	3	113	26717	4	0	2	127	25861	5	0	3	123	210	
	ODN-3	96	350	14832	3	0	3	136	13892	3	0	3	127	14146	2	0	2	130	13252	2	0	2	122	14872	3	0	2	136	14396	4	0	2	132	109
			530	21334	4	0	4	133	19982	3	0	3	125	20348	3	0	3	127	19061	3	0	3	119	21392	4	0	2	134	20707	4	0	2	129	160
			700	26644	4	0	4	127	24956	3	0	4	119	25412	3	0	3	121	23805	3	0	3	113	26717	4	0	2	127	25861	5	0	3	123	210
128		350	18258	4	0	4	127	17101	3	0	3	119	17415	2	0	2	121	16313	3	0	3	113	18308	4	0	2	127	17722	4	0	2	123	144	
		530	25821	4	0	4	123	24186	3	0	4	115	24628	3	0	3	117	23071	3	0	3	110	25892	4	0	2	123	25063	5	0	3	119	210	
		700	32530	5	0	4	119	30469	4	0	5	111	31026	3	0	4	113	29064	3	0	4	106	29064	5	0	3	119	31837	5	0	3	115	274	

Visit www.VisionaireLighting.com for up-to-the-minute chart information, including types not listed here. *Multiply 4K values by 0.96 5K / 0.95 3K

ODEN LED Specifications

ODEN CLS - 3K LUMEN DATA										
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
ODN-1-L	16	350	1776	1664	1694	1587	1781	1724	1738	18
		530	2542	2381	2425	2271	2549	2467	2488	27
		700	3171	2970	3024	2833	3180	3078	3103	37
ODN-1-L	32	350	3381	3166	3224	3020	3390	3281	3308	36
		530	5011	4693	4779	4477	5024	4864	4904	55
		700	6250	5854	5962	5585	6267	6067	6117	70
ODN-1-L	48	350	5340	5002	5094	4771	5355	5184	5227	54
		530	7915	7414	7550	7072	7937	7683	7747	82
		700	9874	9248	9417	8822	9901	9584	9664	107
ODN-2-L	48	350	5340	5002	5094	4771	5355	5184	5227	54
		530	7915	7414	7550	7072	7937	7683	7747	82
		700	9874	9248	9417	8822	9901	9584	9664	107
ODN-2-L	64	350	6975	6533	6653	6232	6994	6770	6827	72
		530	9864	9240	9409	8814	9891	9575	9654	105
		700	12427	11640	11853	11103	12461	12062	12163	140
ODN-2-L	80	350	8526	7986	8132	7618	8549	8276	8345	89
		530	11919	11164	11369	10650	11952	11569	11666	130
		700	15004	14054	14311	13406	15045	14564	14685	177
ODN-2-L	96	350	10286	9634	9810	9190	10314	9984	10067	109
		530	14795	13858	14111	13219	14835	14361	14480	160
		700	18477	17307	17624	16509	18528	17935	18084	210
ODN-3-L	96	350	10286	9634	9810	9190	10314	9984	10067	109
		530	14795	13858	14111	13219	14835	14361	14480	160
		700	18477	17307	17624	16509	18528	17935	18084	210
ODN-3-L	128	350	12662	11860	12077	11313	12697	12290	12392	144
		530	17907	16773	17080	16000	17956	17381	17526	210
		700	22559	21130	21517	20156	22621	21897	22080	274
ODEN CLS - 4K LUMEN DATA										
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
ODN-1-L	16	350	1870	1751	1783	1671	1875	1815	1830	18
		530	2676	2506	2552	2391	2683	2597	2619	27
		700	3338	3126	3184	2982	3347	3240	3267	37
ODN-1-L	32	350	3559	3333	3394	3179	3568	3454	3483	36
		530	5274	4940	5031	4712	5289	5120	5162	55
		700	6579	6162	6275	5878	6597	6386	6439	70
ODN-1-L	48	350	5621	5265	5362	5023	5637	5456	5502	54
		530	8332	7804	7947	7444	8355	8087	8155	82
		700	10393	9735	9913	9286	10422	10088	10172	107
ODN-2-L	48	350	5621	5265	5362	5023	5637	5456	5502	54
		530	8332	7804	7947	7444	8355	8087	8155	82
		700	10393	9735	9913	9286	10422	10088	10172	107
ODN-2-L	64	350	7342	6877	7003	6560	7362	7127	7186	72
		530	10384	9726	9904	9277	10412	10079	10163	105
		700	13081	12252	12477	11688	13117	12697	12803	140
ODN-2-L	80	350	8975	8406	8560	8019	8999	8711	8784	89
		530	12547	11752	11967	11210	12581	12178	12280	130
		700	15794	14793	15064	14111	15837	15330	15458	177
ODN-2-L	96	350	10827	10141	10327	9674	10857	10509	10597	109
		530	15574	14587	14854	13915	15616	15116	15242	160
		700	19450	18218	18551	17378	19503	18879	19036	210
ODN-3-L	96	350	10827	10141	10327	9674	10857	10509	10597	109
		530	15574	14587	14854	13915	15616	15116	15242	160
		700	19450	18218	18551	17378	19503	18879	19036	210
ODN-3-L	128	350	13328	12484	12713	11909	13365	12937	13045	144
		530	18850	17655	17979	16842	18901	18296	18449	210
		700	23747	22242	22649	21217	23812	23049	23241	274

ODEN CLS - 5K LUMEN DATA										
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
ODN-1-L	16	350	1794	1680	1711	1603	1799	1742	1743	18
		530	2567	2405	2449	2294	2575	2492	2494	27
		700	3203	3000	3055	2862	3212	3109	3111	37
ODN-1-L	32	350	3415	3198	3257	3051	3424	3314	3317	36
		530	5061	4741	4827	4522	5075	4913	4917	55
		700	6314	5914	6022	5641	6331	6128	6133	70
ODN-1-L	48	350	5394	5052	5145	4819	5409	5236	5240	54
		530	7995	7489	7626	7144	8017	7761	7766	82
		700	9973	9342	9513	8911	10001	9681	9688	107
ODN-2-L	48	350	5394	5052	5145	4819	5409	5236	5240	54
		530	7995	7489	7626	7144	8017	7761	7766	82
		700	9973	9342	9513	8911	10001	9681	9688	107
ODN-2-L	64	350	7045	6599	6720	6295	7065	6839	6844	72
		530	9964	9333	9504	8902	9992	9672	9679	105
		700	12552	11757	11973	11216	12587	12184	12193	140
ODN-2-L	80	350	8612	8067	8214	7695	8636	8359	8366	89
		530	12040	11277	11484	10757	12073	11687	11695	130
		700	15156	14196	14455	13541	15197	14711	14722	177
ODN-2-L	96	350	10389	9732	9910	9283	10418	10084	10092	109
		530	14945	13998	14254	13352	14985	14506	14517	160
		700	18664	17481	17802	17227	18715	18116	18130	210
ODN-3-L	96	350	10389	9732	9910	9283	10418	10084	10092	109
		530	14945	13998	14254	13352	14985	14506	14517	160
		700	18664	17481	17802	17227	18715	18116	18130	210
ODN-3-L	128	350	12790	11980	12199	11427	12825	12414	12424	144
		530	18088	16942	17252	16161	18138	17557	17570	210
		700	22787	21344	21734	20360	22850	22118	22134	274

ODEN LED Specifications

ODEN CLS - 3K LUMEN PER WATT DATA										
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
ODN-1-L	16	350	99	92	94	88	99	96	97	18
		530	93	87	89	83	93	90	91	27
		700	86	80	82	77	86	83	84	37
ODN-1-L	32	350	94	88	90	84	94	91	92	36
		530	92	86	87	82	92	89	90	55
		700	89	84	85	80	90	87	87	70
ODN-1-L	48	350	100	93	95	89	100	97	98	54
		530	97	90	92	86	97	94	94	82
		700	92	86	88	82	93	90	90	107
ODN-2-L	48	350	100	93	95	89	100	97	98	54
		530	97	90	92	86	97	94	94	82
		700	92	86	88	82	93	90	90	107
ODN-2-L	64	350	97	91	92	87	97	94	95	72
		530	94	88	90	84	94	91	92	105
		700	89	83	85	79	89	86	87	140
ODN-2-L	80	350	96	90	91	86	96	93	94	89
		530	92	86	87	82	92	89	90	130
		700	85	79	81	76	85	82	83	177
ODN-2-L	96	350	94	88	90	84	95	92	92	109
		530	92	87	88	83	93	90	91	160
		700	88	82	84	79	88	85	86	210
ODN-3-L	96	350	94	88	90	84	95	92	92	109
		530	92	87	88	83	93	90	91	160
		700	88	82	84	79	88	85	86	210
ODN-3-L	128	350	88	82	84	79	88	85	86	144
		530	85	80	81	76	86	83	83	210
		700	82	77	79	74	83	80	81	274
ODEN CLS - 4K LUMEN PER WATT DATA										
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
ODN-1-L	16	350	104	97	99	93	104	101	102	18
		530	98	92	93	87	98	95	96	27
		700	90	84	86	81	90	88	88	37
ODN-1-L	32	350	99	93	94	88	99	96	97	36
		530	96	90	92	86	97	94	94	55
		700	94	88	90	84	94	91	92	70
ODN-1-L	48	350	105	98	100	94	105	102	103	54
		530	102	95	97	91	102	99	99	82
		700	97	91	93	87	97	94	95	107
ODN-2-L	48	350	105	98	100	94	105	102	103	54
		530	102	95	97	91	102	99	99	82
		700	97	91	93	87	97	94	95	107
ODN-2-L	64	350	102	96	97	91	102	99	100	72
		530	99	93	94	88	99	96	97	105
		700	93	88	89	83	94	91	91	140
ODN-2-L	80	350	101	94	96	90	101	98	99	89
		530	97	90	92	86	97	94	94	130
		700	89	84	85	80	89	87	87	177
ODN-2-L	96	350	99	93	95	89	100	96	97	109
		530	97	91	93	87	98	94	95	160
		700	93	87	88	83	93	90	91	210
ODN-3-L	96	350	99	93	95	89	100	96	97	109
		530	97	91	93	87	98	94	95	160
		700	93	87	88	83	93	90	91	210
ODN-3-L	128	350	93	87	88	83	93	90	91	144
		530	90	84	86	80	90	87	88	210
		700	87	81	83	77	87	84	85	274

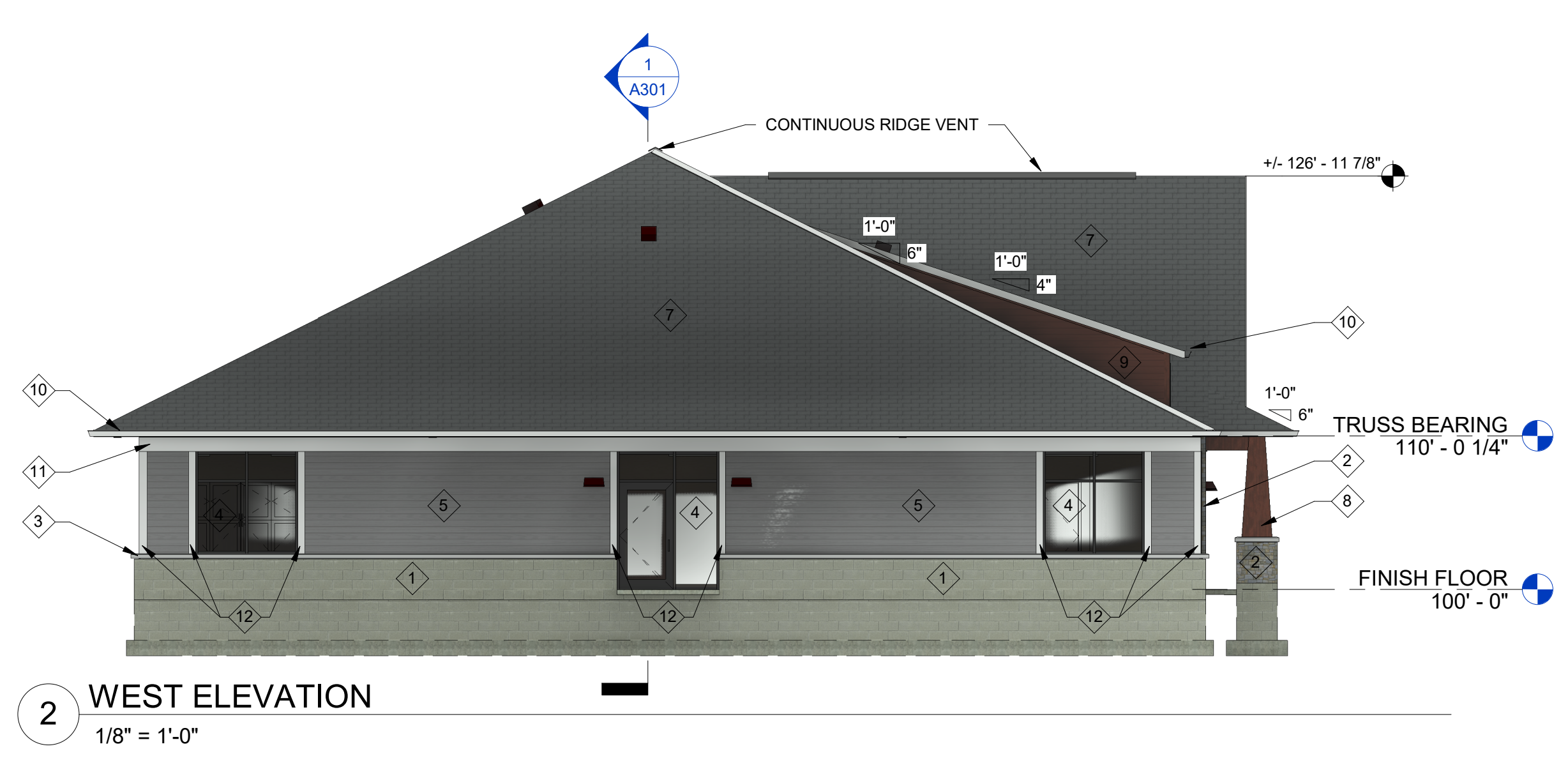
ODEN CLS - 5K LUMEN PER WATT DATA										
	# Leds	Current (mA)	T1	T2	T3	T4	T5	T5W	T5WR	Watts
ODN-1-L	16	350	100	93	95	89	100	97	97	18
		530	94	88	90	84	94	91	91	27
		700	87	81	83	77	87	84	84	37
ODN-1-L	32	350	95	89	90	85	95	92	92	36
		530	93	87	88	83	93	90	90	55
		700	90	84	86	81	90	88	88	70
ODN-1-L	48	350	101	94	96	90	101	98	98	54
		530	97	91	93	87	98	95	95	82
		700	93	87	89	83	93	90	91	107
ODN-2-L	48	350	101	94	96	90	101	98	98	54
		530	97	91	93	87	98	95	95	82
		700	93	87	89	83	93	90	91	107
ODN-2-L	64	350	98	92	93	87	98	95	95	72
		530	95	89	91	85	95	92	92	105
		700	90	84	86	80	90	87	87	140
ODN-2-L	80	350	97	91	92	86	97	94	94	89
		530	93	87	88	83	93	90	90	130
		700	86	80	82	77	86	83	83	177
ODN-2-L	96	350	95	89	91	85	96	93	93	109
		530	93	87	89	83	94	91	91	160
		700	89	83	85	82	89	86	86	210
ODN-3-L	96	350	95	89	91	85	96	93	93	109
		530	93	87	89	83	94	91	91	160
		700	89	83	85	82	89	86	86	210
ODN-3-L	128	350	89	83	85	79	89	86	86	144
		530	86	81	82	77	86	84	84	210
		700	83	78	79	74	83	81	81	274

ODEN LED Specifications

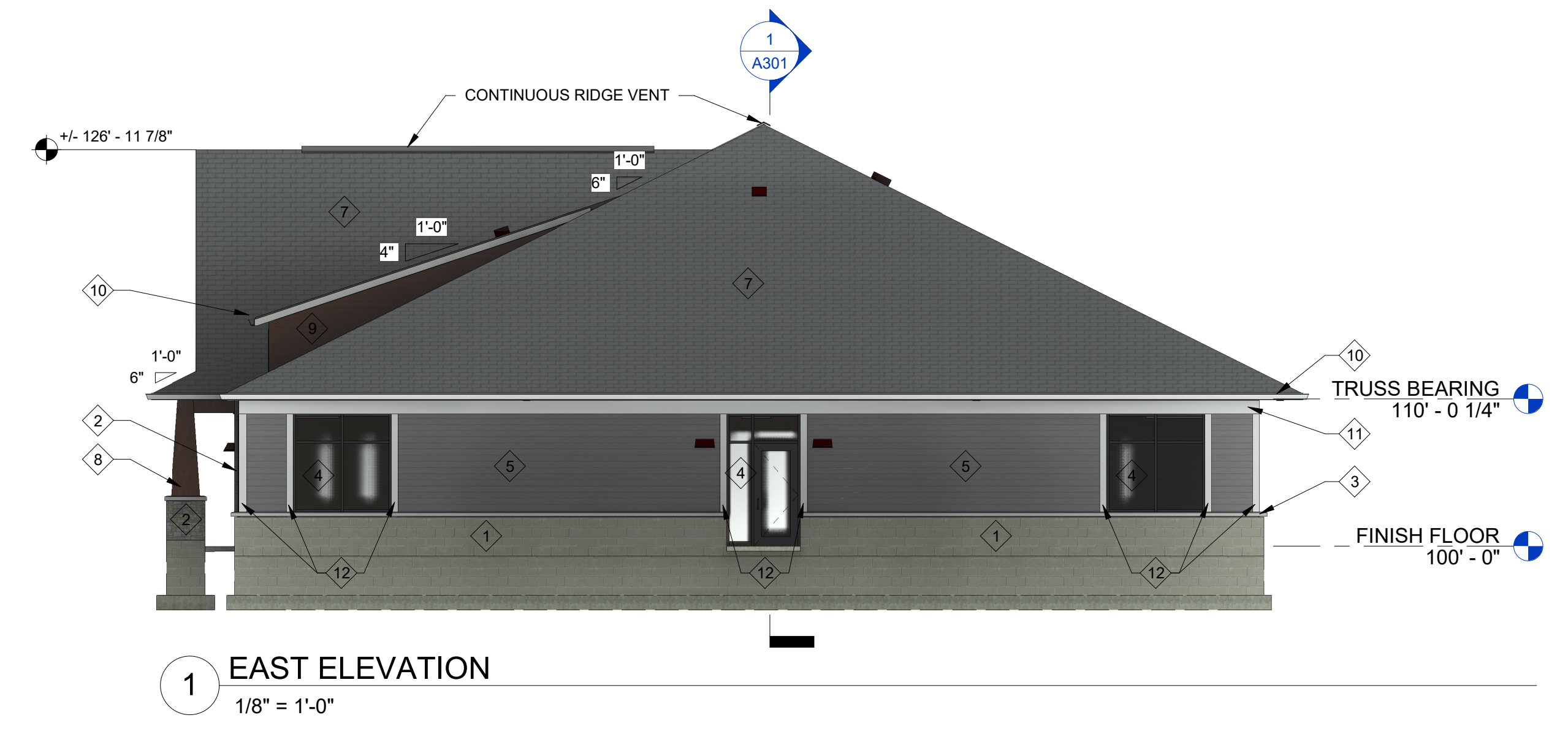
ODEN CLS - 3K LUMEN PER WATT DATA																								
	# Leds	Current (mA)	T1			T2			T3			T4			T5			T5W			T5WR			Watts
			B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	
ODN-1-L	16	350	1	0	1	0	0	1	0	0	1	0	0	1	1	0	1	1	0	1	1	0	1	18
		530	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	27
		700	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	37
ODN-1-L	32	350	1	0	1	1	0	2	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	36
		530	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	55
		700	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	70
ODN-1-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54
		530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	1	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107
ODN-2-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54
		530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	1	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107
ODN-2-L	64	350	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	72
		530	3	0	3	1	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	105
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	140
ODN-2-L	80	350	2	0	2	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	89
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	130
		700	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	177
ODN-2-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	210
ODN-3-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	210
ODN-3-L	128	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	144
		530	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	210
		700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	3	3	0	4	3	0	4	274

ODEN CLS - 4K LUMEN PER WATT DATA																								
	# Leds	Current (mA)	T1			T2			T3			T4			T5			T5W			T5WR			Watts
			B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	
ODN-1-L	16	350	1	0	1	0	0	1	1	0	1	0	0	1	1	0	1	1	0	1	1	0	1	18
		530	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	27
		700	1	0	1	1	0	2	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	37
ODN-1-L	32	350	1	0	1	1	0	2	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	36
		530	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	55
		700	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	70
ODN-1-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54
		530	2	0	2	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107
ODN-2-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	54
		530	2	0	2	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	107
ODN-2-L	64	350	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	72
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	105
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	140
ODN-2-L	80	350	3	0	3	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	89
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	130
		700	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	177
ODN-2-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	4	2	0	4	3	0	3	3	0	3	3	0	3	3	0	4	3	0	3	210
ODN-3-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	109
		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	4	2	0	4	3	0	3	3	0	3	3	0	3	3	0	4	3	0	3	210
ODN-3-L	128	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	144
		530	3	0	3	2	0	4	3	0	3	3	0	3	3	0	3	3	0	4	3	0	3	210
		700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	3	3	0	4	4	0	4	274

ODEN CLS - 5K LUMEN PER WATT DATA																											
	# Leds	Current (mA)	T1			T2			T3			T4			T5			T5W			T5WR			Watts			
			B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	B	U	G	B	U	G				
ODN-1-L	16	350	1	0	1	0	0	1	0	0	1	0	0	1	1	0	1	1	0	1	1	0	1	1	0	1	18
		530	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	27
		700	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	37
ODN-1-L	32	350	1	0	1	1	0	2	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	1	0	1	36
		530	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	2	0	2	55
		700	2	0	2	1	0	2	1	0	2	1	0	2	2	0	1	2	0	2	2	0	2	2	0	2	70
ODN-1-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	1	2	0	2	2	0	2	54
		530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	107
ODN-2-L	48	350	2	0	2	1	0	2	1	0	2	1	0	2	1	0	1	2	0	2	2	0	2	2	0	2	54
		530	2	0	2	1	0	3	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	2	0	2	82
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	107
ODN-2-L	64	350	2	0	2	1	0	2	1	0	2	1	0	2	2	0	2	2	0	2	2	0	2	2	0	2	72
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	3	0	3	105
		700	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	3	0	3	140
ODN-2-L	80	350	2	0	2	1	0	3	2	0	2	1	0	2	2	0	2	2	0	2	2	0	2	2	0	2	89
		530	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	3	0	3	130
		700	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	3	0	3	177
ODN-2-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	3	0	3	109
		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	3	2	0	4	3	0	3	3	0	3	3	0	3	3	0	4	3	0	3	4	0	3	210
ODN-3-L	96	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	3	0	3	109
		530	3	0	3	2	0	3	2	0	3	2	0	3	3	0	3	3	0	3	3	0	3	3	0	3	160
		700	3	0	3	2	0	4	3	0	3	3	0	3	3	0	3	3	0	4	3	0	3	4	0	3	210
ODN-3-L	128	350	3	0	3	2	0	3	2	0	3	2	0	3	2	0	2	3	0	3	3	0	3	3	0	3	144
		530	3	0	3	2	0	4	3	0	3	2	0	3	3	0	3	3	0	3	3	0	3	3	0	3	210
		700	4	0	4	3	0	4	3	0	4	3	0	4	3	0	3	3	0	4	3	0	4	3	0	4	274



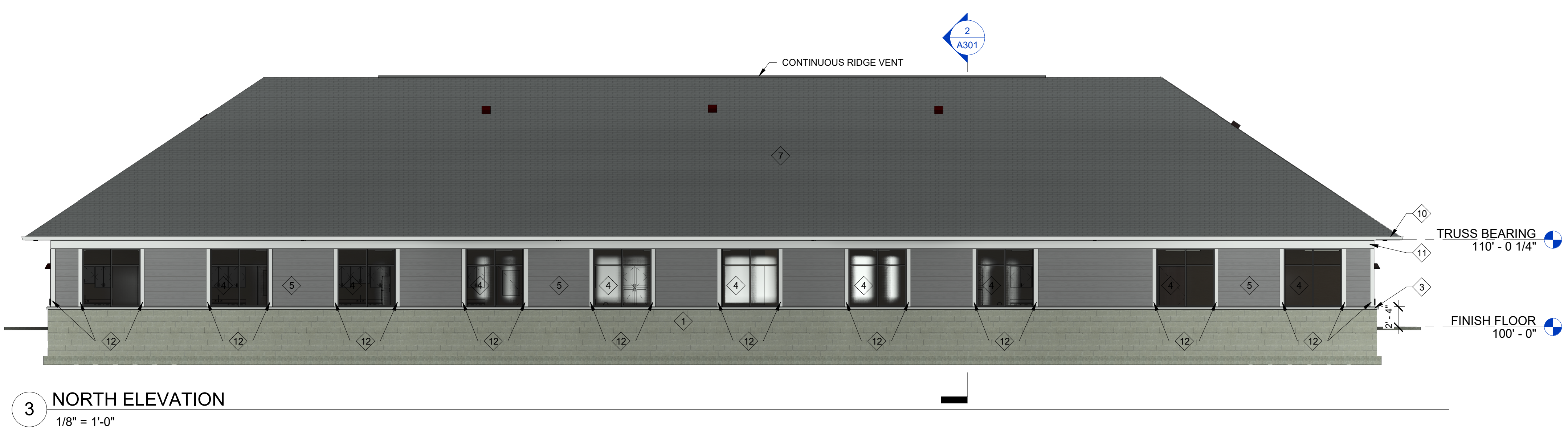
2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



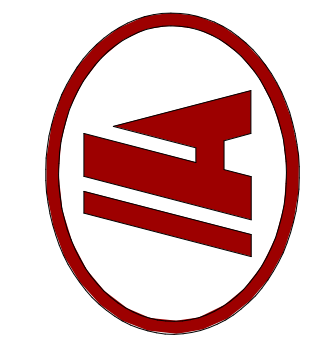
4 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V)
1	4" LIGHT COLORED MASONRY VENEER	NATURAL
2	4" LIGHT COLORED STONE VENEER	TBD
3	CAST STONE SILL/LINTEL	LIMESTONE
4	PREFINISHED ALUMINUM FRAMED WINDOW W/ CLEAR LOW-E 1" INSULATED GLAZING	DARK BRONZE
5	LP SMARTSIDE PREFINISHED LAP SIDING	PELICAN
6	LP SMARTSIDE PREFINISHED SHAKE SIDING (CEDAR TEXTURE)	PELICAN
7	GAF ELK ASPHALT SHINGLES	PEWTER GRAY
8	WOOD BEAMS CLAD IN LP SMARTSIDE PREFINISHED PANELS	MAHOGANY
9	LP SMARTSIDE HORIZONTAL LAP SIDING (CEDAR TEXTURE)	MAHOGANY
10	PREFINISHED GUTTER AND DOWNSPOUT	FROST
11	LP 540 (11.21" X 0.910")	--
12	LP 540 (5.5" X 0.910")	--
13	LP 540 (3.5" X 0.910")	--
14	LP VERTICAL SIDING (ORIENT TO LONG DIMENSION) (15.94" X 0.315")	--
15	PREFINISHED ALUMINUM FRAMED SPANDREL GLAZING	--

ANDERSON-ASHTON, INC.
DESIGN / ENGINEERING
166th Street, WI
Franklin, WI
WWW.ANDERSONASHTON.COM



PROPOSED BUILDING FOR:
KIDS CONNECTION
3130 RAWSON AVE, FRANKLIN, WI

DRAFTED BY: UH
DESIGNER: NTL-F
ISSUE: 3/5/2021 8:56:00 AM
SUBMITTAL DATE: 3-5-2021
DESIGN NO.: --
CONSTRUCTION NO.: 3859

EXTERIOR ELEVATIONS

A201

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Material @ Front Entrance

KIDS CONNECTION

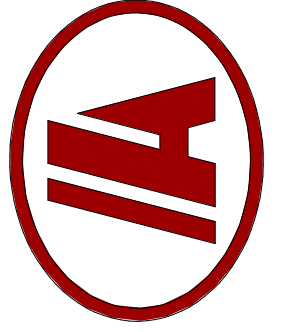
3130 RAWSON AVE,
FRANKLIN, WI



PLAN REVIEW INFORMATION

<p>BUILDING CODES</p> <p>BUILDING CODE: 2015 IBC - MODIFICATIONS FROM WI ADMIN CODE SPS CHAP. 361 & 362 ENERGY CONSERVATION CODE: 2015 IECC - MODS FROM W.A.C. SPS CHAP. 361 & 363 FUEL GAS CODE: 2015 IMC - MODS FROM W.A.C. SPS CHAP. 361 & 364 EXISTING BUILDING CODE: 2015 IFGC - MODS FROM W.A.C. SPS CHAP. 361 & 365 ELECTRICAL CODE: 2015 IBC - MODS FROM W.A.C. SPS CHAP. 361 & 366 PLUMBING CODE: WI ADMIN CODE SPS CHAP. 316 ACCESSIBILITY CODE: WI ADMIN CODE SPS CHAP. 381 TO 387 FIRE PREVENTION CODE: 2015 IBC CHAP. 11 - ICC / ANSI 117.1-09 2015 IBC CHAP. 9 - IFC, W.A.C. SPS CHAP. 314 & 361 & NFPA (PER IBC REFERENCED STANDARDS)</p> <p>IS THIS MUNICIPALITY A COMMERCIAL BUILDING DELEGATED AUTHORITY? YES</p>	<p>OCCUPANCY SEPARATIONS</p> <p>INCIDENTAL USE AREA S (IBC 509) SEPARATION REQUIRED: (IF NOT SPRINKLERED) SPRINKLER SPECIFIC MECHANICAL ROOMS (509) SPRINKLER LAUNDRY ROOMS OVER 100 S.F.</p> <p>WE ARE USING NON-SEPARATED MIXED OCCUPANCIES (IBC 508.3)</p> <p>* - 1-HOUR ROOM RATINGS: (PLACE ON PLANS FOR SPECIFIC CONSTRUCTION)</p> <p>CEILING: UL SYSTEMS L532: 7/8" CHANNELS @ 16" O.C. W/ (2) LAYERS 5/8" TYPE X DRYWALL TAPED & FINISHED WALLS: UL SYSTEMS U301: 2X WOOD STUDS @ 16" O.C. W/ (2) LAYERS 5/8" TYPE X DRYWALL TAPED & FINISHED</p>	<p>INTERIOR FINISHES</p> <p>WALL & CEILING FINISH (IBC TABLE 803.11): CLASS B VERTICAL EXITS & EXIT CLASS B PASSAGEWAYS: CLASS B EXIT ACCESS CORRIDORS: CLASS B (CLASS C INTERIOR FINISH MATERIALS SHALL BE PERMITTED IN ADMINISTRATIVE SPACES AND IN ROOMS WITH A CAPACITY OF FOUR PERSONS OR LESS.) ROOMS & ENCLOSED SPACES:</p>	<p>DRAWING INDEX</p> <p>GENERAL G101 KEY PLAN / LIFE SAFETY PLAN CIVIL P-0 PLAT OF SURVEY WITH TOPOGRAPHY C1.0 SITE GRADING PLAN C1.1 DIMENSION, PAVEMENT MARKING AND SIGNAGE - GRADING AND DRAINAGE C2.0 SITE UTILITY PLAN C3.0 SITE EROSION CONTROL PLAN C4.0 SITE DETAILS NRPP NATURAL RESOURCE PROTECTION PLAN</p> <p>LANDSCAPE L1.0 OVERALL LANDSCAPE PLAN L1.1 ENLARGED LANDSCAPE PLAN L1.2 PLANTING & HARDSCAPE DETAILS</p> <p>A-SITE AS01 ARCHITECTURAL SITE PLAN</p> <p>ARCHITECTURAL A101 DIMENSION FLOOR PLAN A102 LAYOUT FLOOR PLAN A103 FLOOR FINISH PLAN A110 REFLECTED CEILING PLAN A120 ROOF PLAN A201 EXTERIOR ELEVATIONS A210 INTERIOR ELEVATIONS A301 BUILDING & WALL SECTIONS A401 LARGE SCALE DRAWINGS A402 DUMPSTER ENCLOSURE DRAWINGS A601 SCHEDULES</p> <p>STRUCTURAL S100 STRUCTURAL SPECIFICATIONS S101 FOUNDATION PLAN S102 WALL FRAMING S103 ROOF FRAMING S201 FRAMING ELEVATIONS</p> <p>ELECTRICAL E-5.0 SITE POINT BY POINT PLAN</p>	<p>OWNER MAILING ADDRESS</p> <p>B + B INVESTMENTS OF RWASON LLC 102 N WATER STREET SUITE 203</p>																			
<p>SITE CRITERIA</p> <p>GROSS SITE AREA: 96,101 S.F. (2,2062 AC.) FIRE SEPARATION DISTANCE (IBC 702.1): NORTH: 30'+ SOUTH: 30'+ EAST: 30'+ WEST: 30'+</p>	<p>EXITING</p> <p>OCCUPANT LOAD (TABLE 1004): 187 OCCUPANTS EXIT WIDTH (IBC 1005): 37.4" OTHER COMPONENT WIDTH REQUIRED: OCC X 0.2 150" TOTAL NUMBER OF EXITS REQUIRED (IBC 1006): 2 COMMON PATH OF EGRESS (IBC 1006.2.1): LESS THAN 75' ACCESSIBLE MEANS OF EGRESS (IBC 1009 AND ICC A117.1): 36" EXIT ACCESS TRAVEL DISTANCE (IBC 1017.2): LESS THAN 200' MAX DEAD END CORRIDOR LENGTH (IBC 1020.4): 20' MEANS OF ILLUMINATION (IBC 1008): MEANS OF EGRESS MUST BE ILLUMINATED TO A LEVEL NOT LESS THAN 1 FOOT CANDLE (11 LC0UX) AT WALKING SURFACE</p> <p>EXIT SIGNAGE (IBC 1013): ELECTRICAL CONTRACTOR RESPONSIBLE FOR CODE COMPLIANCE EXITING SIGNAGE</p> <p>SPACES WITH ONE EXIT NOTE: - 1006.2.2.4 DAY CARE MEANS OF EGRESS, DAY CARE FACILITIES, ROOMS OR SPACES WHERE CARE IS PROVIDED FOR MORE THAN 10 CHILDREN THAT ARE 2 1/2 YEARS OF AGE OR LESS, SHALL HAVE ACCESS TO NOT LESS THAN TWO EXITS OR EXIT ACCESS DOORWAYS. - THE INFANT CLASSROOMS ONLY REQUIRE A SINGLE EXIT DOOR SINCE THE OCCUPANT LOAD WILL BE NOT GREATER THAN 10 PER TABLE 1006.2.1 - THE TWO YEAR OLD ROOMS REQUIRE ONLY A SINGLE EXIT DOOR SINCE THEY WILL NOT CONTAIN MORE THAN 10 CHILDREN UNDER THE AGE OF 2.5 YEARS OF AGE.</p>	<p>SANITARY FIXTURES</p> <p>FIXTURE OCCUPANCY TOTAL: TABLE IBC 2902.1 - WIS. ADMIN CODE DCF 251 156 CHILDREN TOTAL - 54 CHILDREN <30 MONTHS OLD = 102 CHILDREN NEEDING TOILET REQUIRED: WATER CLOSET: 8 URINAL: -- LAVATORY: 5 PROVIDED: WATER CLOSET: 8 URINAL: -- LAVATORY: 8</p> <p>OTHER REQ'D FIXTURES 1 SERVICE SINK REQ'D & CUPS AT ADA SINK IN CAFE **DRINKING WATER WILL BE PROVIDED UPON REQUEST</p>	<p>FIRE RATINGS</p> <p>FIRE RESISTIVE RATINGS (IBC TABLE 601 & TABLE 602): STRUCTURAL FRAME: 0 HRS. BEARING WALLS: INTERIOR: 0 HRS. EXTERIOR: 0 HRS. NON-BEARING WALLS: INTERIOR: 0 HRS. EXTERIOR: 0 HRS. FLOOR CONSTRUCTION: 0 HRS. ROOF CONSTRUCTION: 0 HRS. FIRE BARRIERS (IBC 707): COORIDORS 0 HRS. EXIT PASSAGEWAYS 0 HRS. HORIZONTAL EXITS 0 HRS.</p> <p>FIRE PARTITIONS (IBC 708.3 & 402.4.2): TENANT SPACES (IBC 708.3 & 403.4.2): 0 HRS. EXIT ACCESS (IBC 708.3 & 1010.1): 0 HRS.</p>	<p>SUPERVISING PROFESSIONAL</p> <p>THESE PLANS ARE THE SOLE PROPERTY OF ANDERSON-ASHTON, INC. AND SHALL NOT BE COPIED OR USED BY ANY COMPANY OR INDIVIDUALS UNLESS SPECIFICALLY AUTHORIZED BY THE FOLLOWING SUPERVISING PROFESSIONAL LISTED BELOW:</p> <p>NADINE LOVE-FILER, #34212-6 2746 S. 166th STREET NEW BERLIN, WI 53151</p> <p>PROFESSIONAL STAMP & DATE</p>																			
<p>VICINITY MAP</p>	<p>PROJECT COMPONENTS</p> <p>*TO BE SUBMITTED BY DESIGN PROFESSIONAL BEFORE INSTALLATION OF COMPONENT*</p> <p>BUILDING SUPPORT SYSTEMS • FIRE SUPPRESSION STRUCTURAL • FIRE DETECTION/ALARM ROOF TRUSS (WOOD)</p>	<p>PLAN REVISIONS</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>SHEETS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td></td> <td>PRICING SET</td> <td>ALL SHEETS</td> <td>5/14/2020</td> </tr> <tr> <td></td> <td>SUBMITTAL SET</td> <td>ALL SHEETS</td> <td>9/4/2020</td> </tr> <tr> <td>R1</td> <td>RELOCATE ADA STALL - WHEEL STOP - ADA SIGN - PEDESTRIAN WALKWAY - SNOW STORAGE</td> <td>AS01</td> <td>10/2/2020</td> </tr> <tr> <td></td> <td>RESUBMITTAL SET</td> <td>ALL SHEETS</td> <td>3/5/2021</td> </tr> </tbody> </table>	REV	DESCRIPTION	SHEETS	DATE		PRICING SET	ALL SHEETS	5/14/2020		SUBMITTAL SET	ALL SHEETS	9/4/2020	R1	RELOCATE ADA STALL - WHEEL STOP - ADA SIGN - PEDESTRIAN WALKWAY - SNOW STORAGE	AS01	10/2/2020		RESUBMITTAL SET	ALL SHEETS	3/5/2021	<p>PLAN REVISIONS</p>
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	RESUBMITTAL SET	ALL SHEETS	3/5/2021																				
<p>BUILDING CRITERIA</p> <p>OCCUPANCY CLASSIFICATION (IBC 302): I-4 CONSTRUCTION CLASSIFICATION (IBC 602): TYPE VB SPRINKLER TYPE & COVERAGE (IBC 903): FULL ROOF CLASSIFICATION (IBC 1504 & 1505): CLASS "C" EXTERIOR WALL CONSTRUCTION (IBC 1404): NORTH: BRICK OR SIDING ON WOOD STUD SOUTH: BRICK OR SIDING ON WOOD STUD EAST: BRICK OR SIDING ON WOOD STUD WEST: BRICK OR SIDING ON WOOD STUD</p> <p>FRONTAGE CALCULATION INCREASES NOT USED</p> <p>PROPOSED FIRE AREA WITHIN EXTERIOR/FIRE WALLS (FLR LEVELS X A) 10,509 S.F. -- S.F. ALLOWABLE BUILDING FIRE AREA Af (IBC 903): 10,088 S.F. PROPOSED FLOOR AREA WITHIN EXTERIOR/ FIRE WALLS (IBC 502.1): 36,000 S.F. LESS THAN 60' ALLOWABLE FLOOR BUILDING AREA Aa (IBC 506): PROPOSED HEIGHT WITHIN EXTERIOR/ FIRE WALLS (IBC 502.1) 60' ALLOWABLE BUILDING HEIGHT (IBC 504):</p>	<p>NOT FOR CONSTRUCTION</p>	<p>PROJECT COMPONENTS</p>	<p>OWNER MAILING ADDRESS</p>	<p>OWNER MAILING ADDRESS</p>																			

ANDERSON-ASHTON, INC.
 DESIGN / ENGINEERING
 166th Street, WI
 Franklin, WI
 WWW.AASASHTON.COM



PROPOSED BUILDING FOR:
KIDS CONNECTION
 3130 RAWSON AVE, FRANKLIN, WI

DRAFTED UH
 BY: NTL-F
 DESIGNER NTL-F
 ISSI/3/4/2021 2:11:07 PM
 SUBMITTAL 3-5-2021
 DATE: --
 DESIGN NO. --
 CONSTRUCTION 3859
 NO.

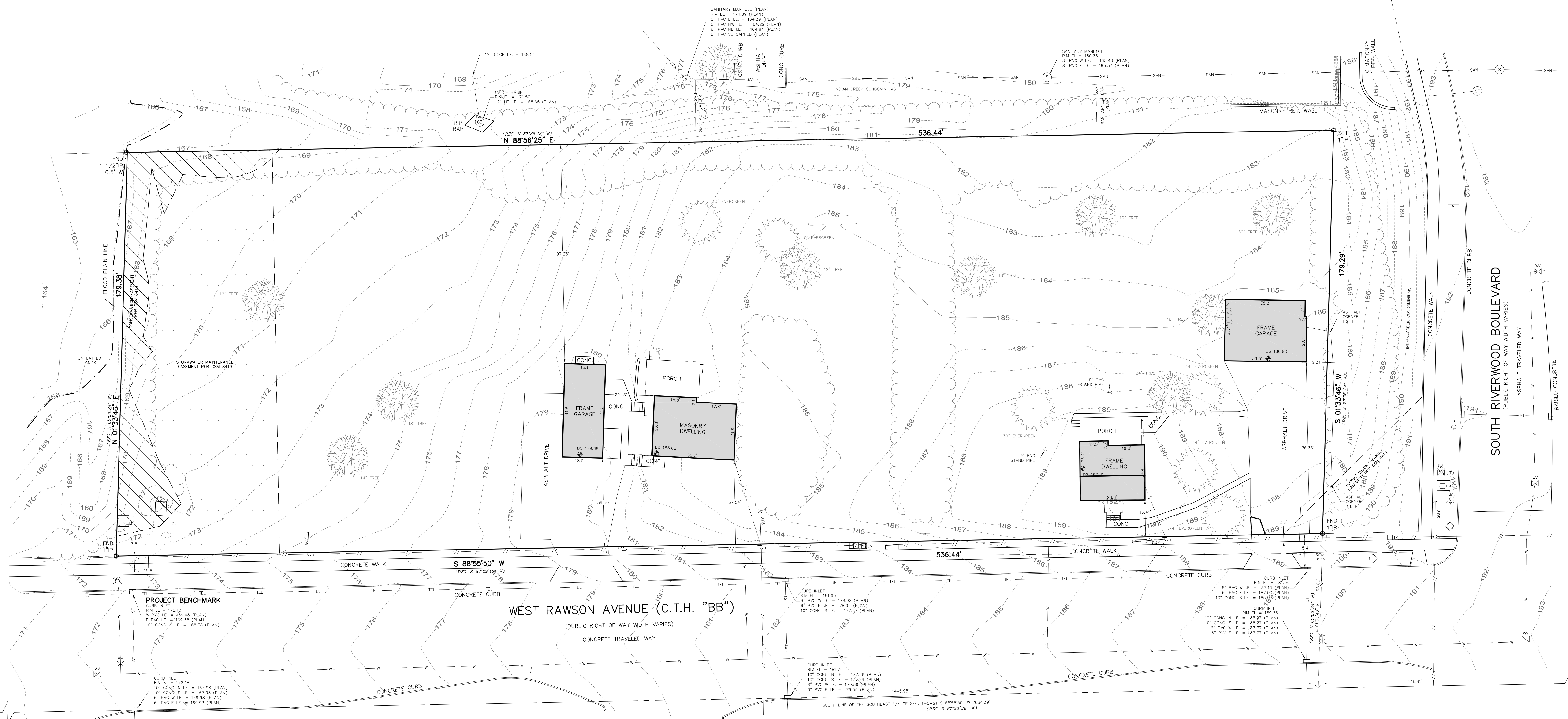
T100

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NOTES:

- LEGAL DESCRIPTION FROM CSM 8419.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0162E, WITH A DATE OF IDENTIFICATION OF 9/26/2008, IN COMMUNITY NO. 490273, THE CITY OF FRANKLIN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- PROJECT BENCHMARK - NORTH RIM OF CATCH BASIN FOUND TO THE WEST OF SUBJECT PROPERTY AT FLOW LINE AS SHOWN EL. = 172.13
- ELEVATIONS BASED ON INFORMATION FROM INFORMATION FROM CLIENT AND ARE AT CITY OF FRANKLIN DATUM.
- SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), MILWAUKEE COUNTY; NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).

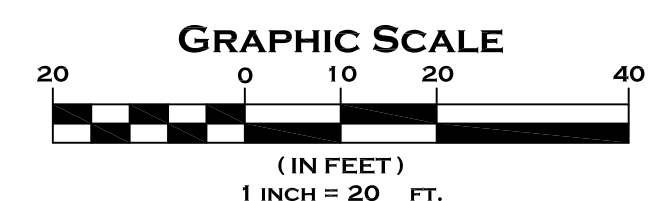
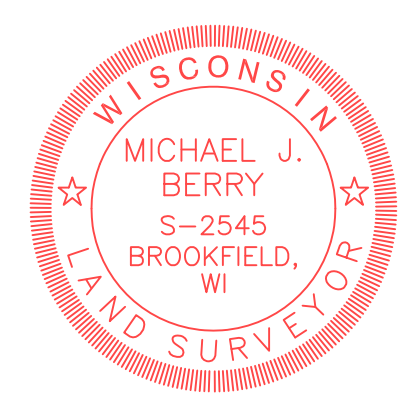
LEGAL DESCRIPTIONS:
 LOT 1 OF CERTIFIED SURVEY MAP NO. 8419, PART OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.
 CONTAINING: 96,101 SQUARE FEET OR 2.2062 FEET



I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

DEC. 6, 2019
 DATE

MICHAEL J. BERRY
 REGISTERED LAND SURVEYOR S-2545

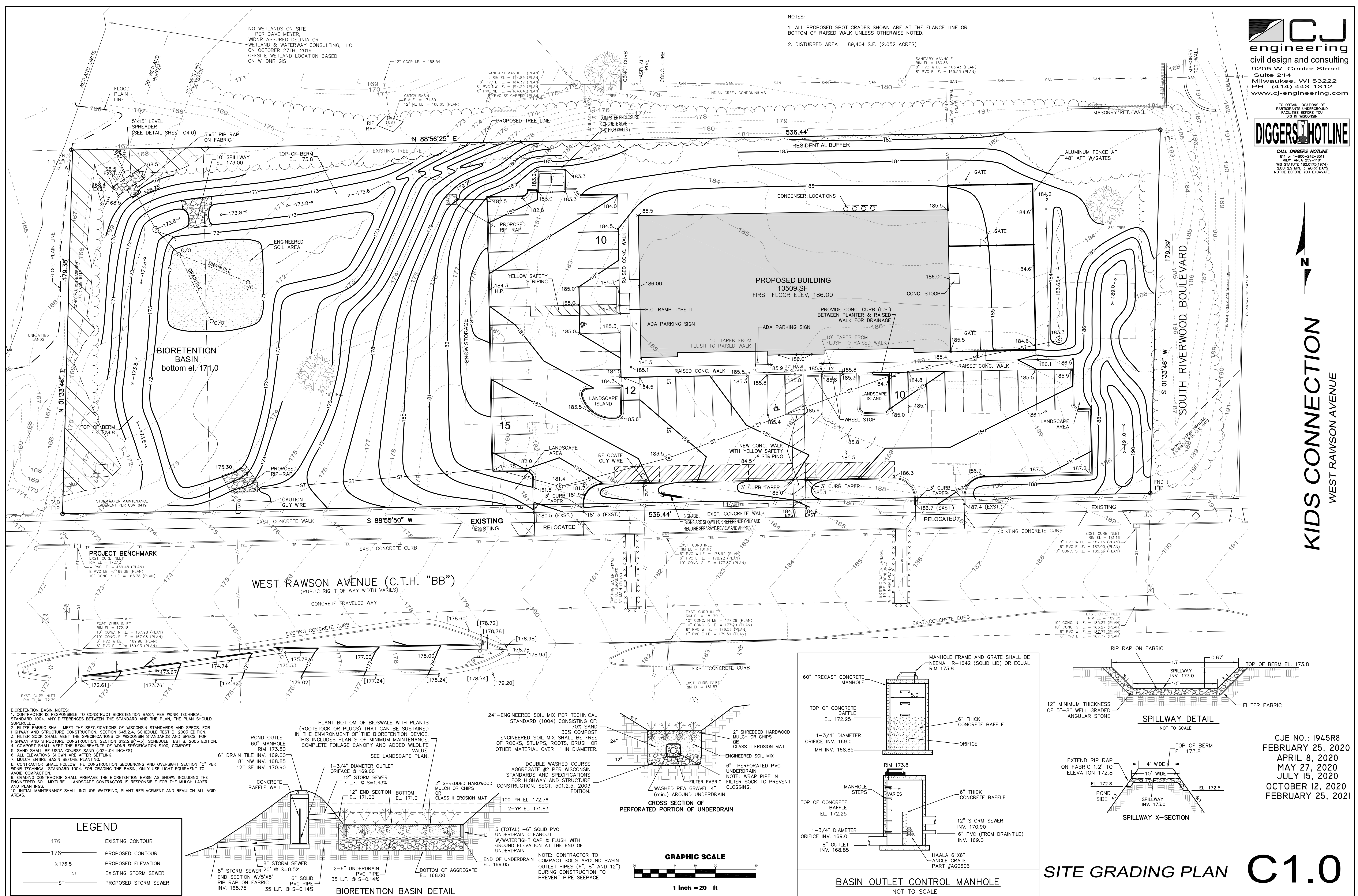


LEGEND	
— SAN	SANITARY SEWER
— ST	STORM SEWER
— W	WATER MAIN
— G	BURIED GAS LINE
— TEL	BURIED TELEPHONE LINE
— CATV	BURIED CABLE TELEVISION LINES
— FO	BURIED FIBER OPTIC LINE
—	OVERHEAD UTILITY LINES
—	CATV
— COMB	COMBINATION SEWER
—	METAL FENCE
—	EDGE OF TREES AND BRUSH
—	102.81 DS
—	FIRE DEPARTMENT CONNECTION
—	ELECTRIC TRANSFORMER
—	ELECTRIC METER
—	ELECTRIC FEEDER
—	ELECTRIC BOX AT GRADE
—	TELEPHONE BOX AT GRADE
—	TELEPHONE FEEDER
—	TV FEEDER
—	BURIED ELECTRIC LINE
—	AR CONDITIONER
—	UTILITY POLE
—	BURIED FIBER TELEVISION LINES
—	METAL SIGN
—	FLAG POLE
—	BOLLARD
—	BOLLARD LIGHT
—	WARD LIGHT
—	HYDRANT
—	WATER VALVE
—	GAS VALVE
—	MANHOLE
—	STORM MANHOLE
—	CATCH BASIN
—	CURB INLET
—	METAL LIGHT POLE
—	CONCRETE LIGHT POLE
—	WOOD LIGHT POLE
—	MAIL BOX
—	FIBER OPTIC MARKER
—	GUY WIRE

PLAT OF SURVEY WITH TOPOGRAPHY
 FOR
 3030 & 3130 RAWSON AVENUE
 FRANKLIN
 WISCONSIN

DRAWN BY:	NJF	DATE:	DEC. 6, 2019
CHECKED BY:	MJB	DRAWING NO.:	P-0
CSE Job No.:	19-083	SHEET	1 OF 1

NOTES:
 1. ALL PROPOSED SPOT GRADES SHOWN ARE AT THE FLANGE LINE OR BOTTOM OF RAISED WALK UNLESS OTHERWISE NOTED.
 2. DISTURBED AREA = 89,404 S.F. (2,052 ACRES)



KIDS CONNECTION
 WEST RAWSON AVENUE

PROJECT BENCHMARK
 EXIST. CONC. WALK
 RIM EL. = 172.12
 W PVC I.E. = 169.48 (PLAN)
 E PVC I.E. = 169.38 (PLAN)
 10" CONC. S.I.E. = 168.38 (PLAN)

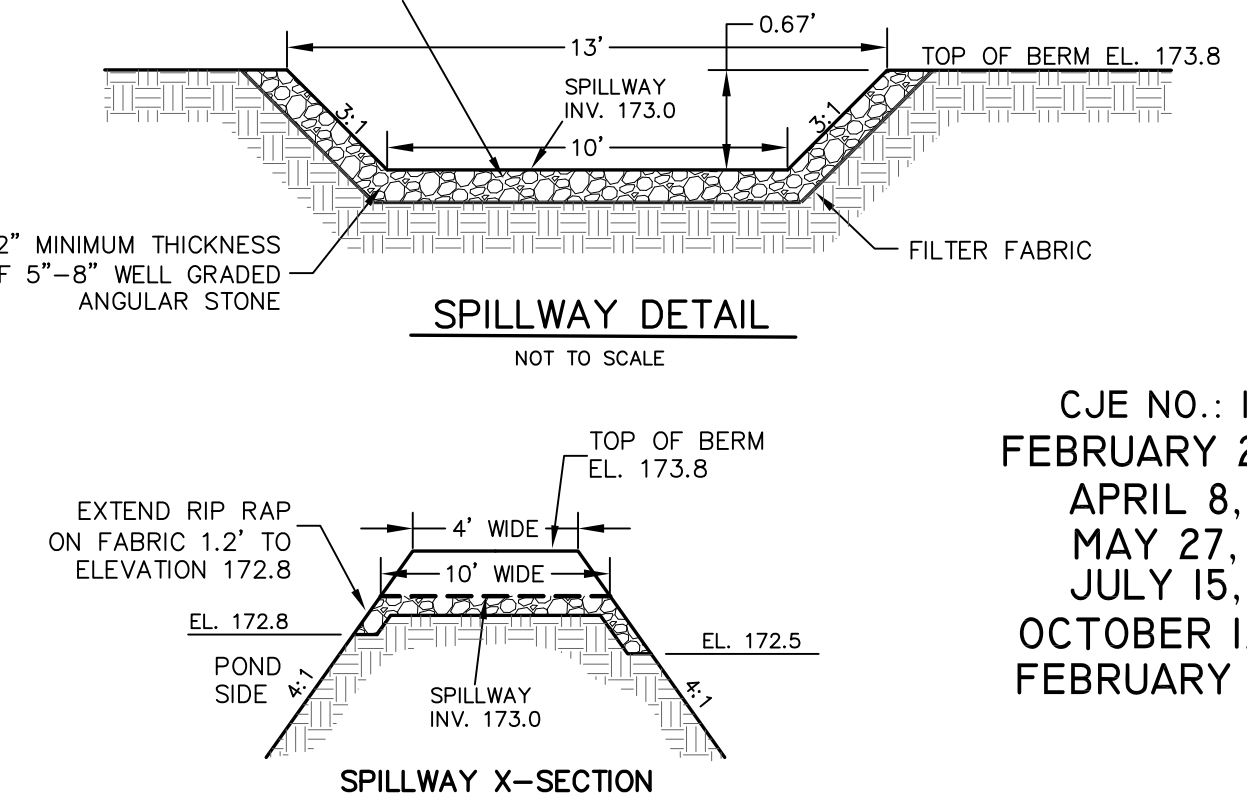
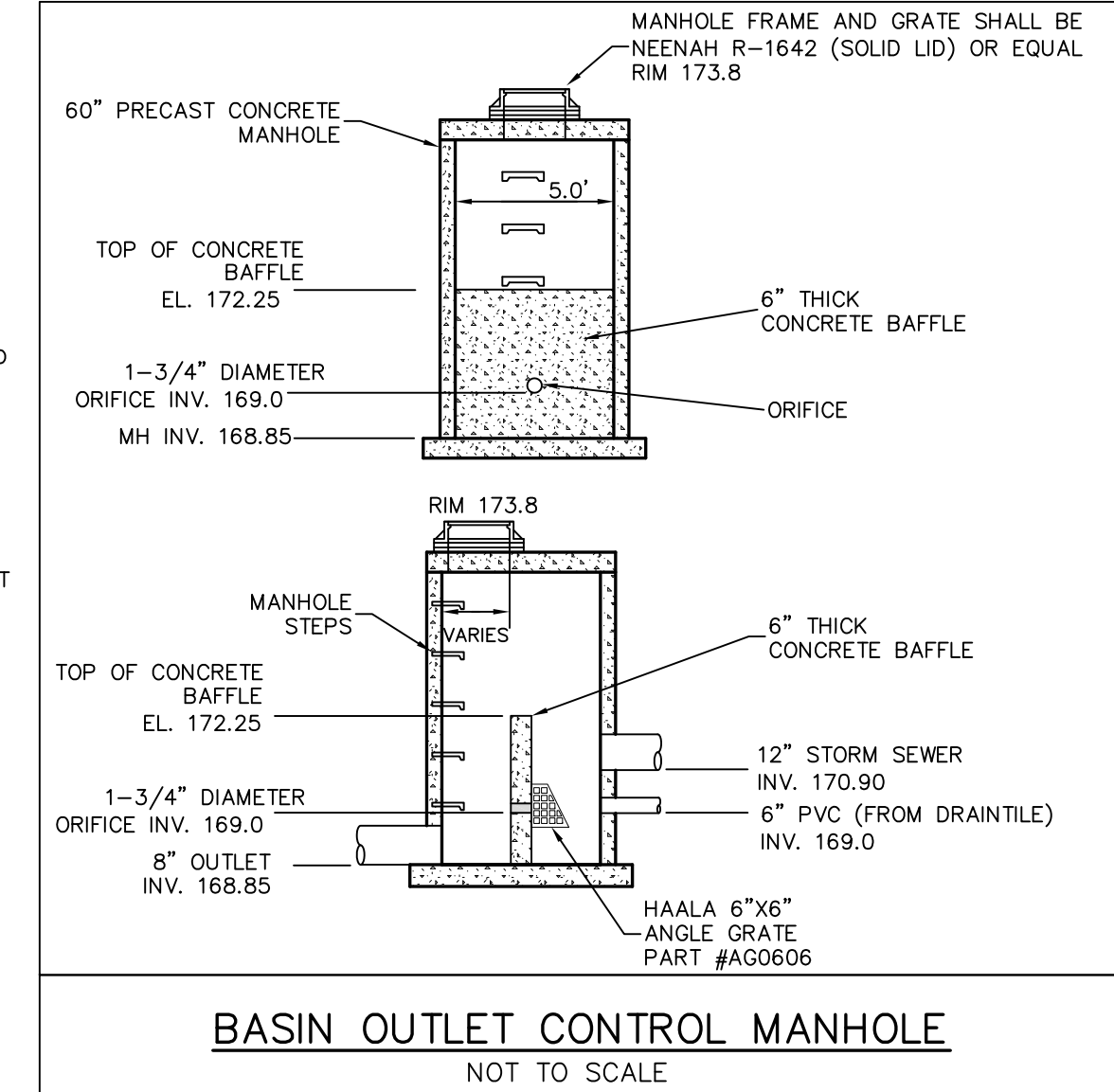
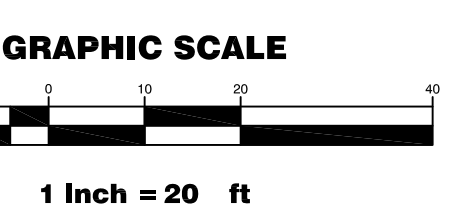
WEST RAWSON AVENUE (C.T.H. "BB")
 (PUBLIC RIGHT OF WAY WIDTH VARIES)
 CONCRETE TRAVELED WAY

BIORETENTION BASIN NOTES:
 1. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT BIORETENTION BASIN PER WDMR TECHNICAL STANDARD 1004. ANY DIFFERENCES BETWEEN THE STANDARD AND THE PLAN, THE PLAN SHOULD SUPERCEDE.
 2. FILTER FABRIC SHALL MEET THE SPECIFICATIONS OF WISCONSIN STANDARDS AND SPECS. FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 645.2.4, SCHEDULE TEST B, 2003 EDITION.
 3. FILTER SOCK SHALL MEET THE SPECIFICATIONS OF WISCONSIN STANDARDS AND SPECS. FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 645.2.4(1)-(3), SCHEDULE TEST B, 2003 EDITION.
 4. COMPOST SHALL MEET THE REQUIREMENTS OF WDMR SPECIFICATION S100, COMPOST.
 5. SAND SHALL BE USDA COURSE SAND (02-04 INCHES).
 6. ALL ELEVATIONS SHOWN ARE AFTER SETTLING.
 7. MULCH ENTIRE BASIN BEFORE PLANTING.
 8. CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCING AND OVERSIGHT SECTION "C" PER WDMR TECHNICAL STANDARD 1004. FOR GRADING THE BASIN, ONLY USE LIGHT EQUIPMENT TO AVOID COMPACTION.
 9. GRADING CONTRACTOR SHALL PREPARE THE BIORETENTION BASIN AS SHOWN INCLUDING THE ENGINEERED SOIL MIXTURE. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE MULCH LAYER AND PLANTING.
 10. INITIAL MAINTENANCE SHALL INCLUDE WATERING, PLANT REPLACEMENT AND REMULCH ALL VOID AREAS.

PLANT BOTTOM OF BIOSWALE WITH PLANTS (ROOTSTOCK OR PLUGS) THAT CAN BE SUSTAINED IN THE ENVIRONMENT OF THE BIORETENTION DEVICE. THIS INCLUDES PLANTS OF MINIMUM MAINTENANCE, COMPLETE FOLIAGE CANOPY AND ADDED WILDLIFE VALUE. SEE LANDSCAPE PLAN.

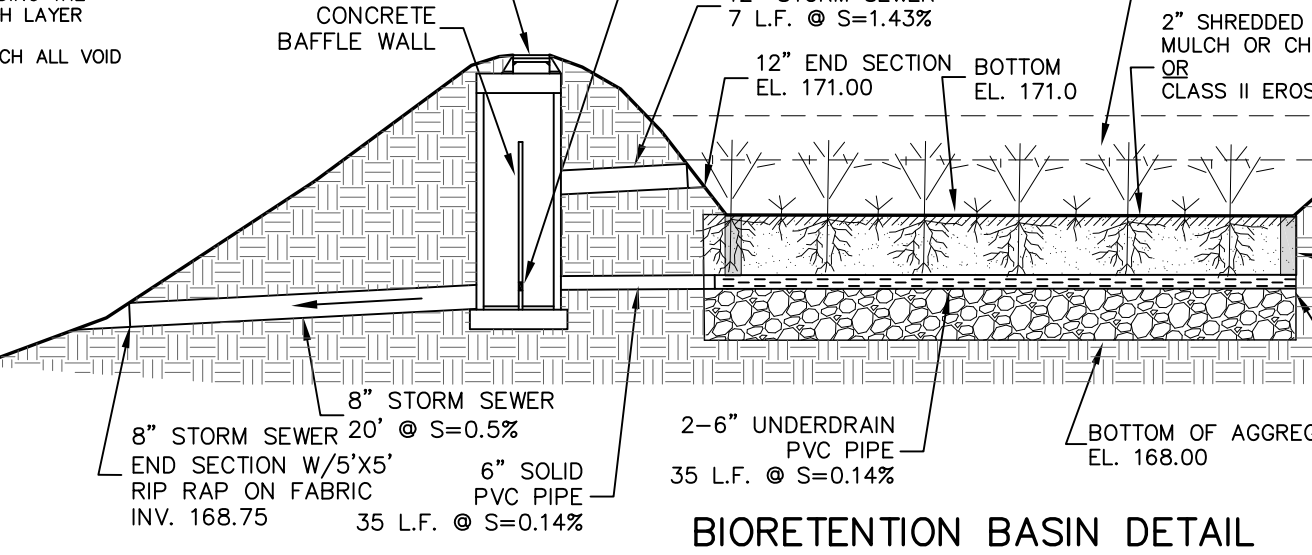
24"-ENGINEERED SOIL MIX PER TECHNICAL STANDARD (1004) CONSISTING OF:
 70% SAND
 30% COMPOST
 ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER 1" IN DIAMETER.

DOUBLE WASHED COURSE AGGREGATE #2 PER WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECT. 501.2.5, 2003 EDITION.



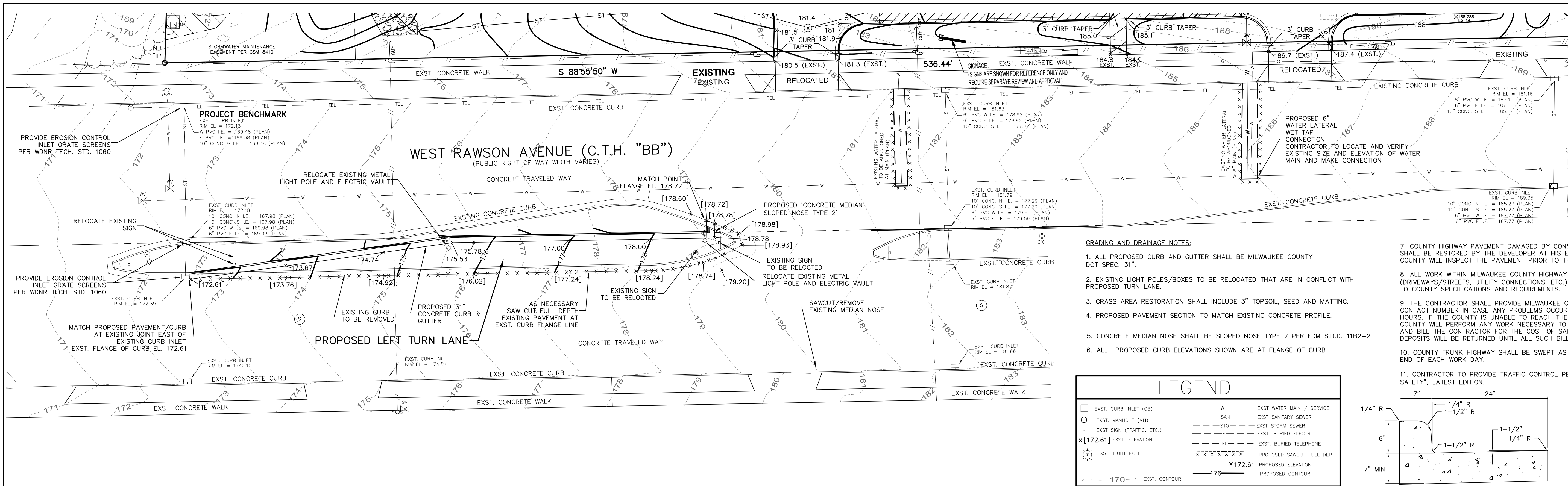
LEGEND

---	176	EXISTING CONTOUR
---	176	PROPOSED CONTOUR
x176.5		PROPOSED ELEVATION
---	ST	EXISTING STORM SEWER
---	ST	PROPOSED STORM SEWER



CJE NO.: 1945R8
 FEBRUARY 25, 2020
 APRIL 8, 2020
 MAY 27, 2020
 JULY 15, 2020
 OCTOBER 12, 2020
 FEBRUARY 25, 2021

SITE GRADING PLAN C1.0

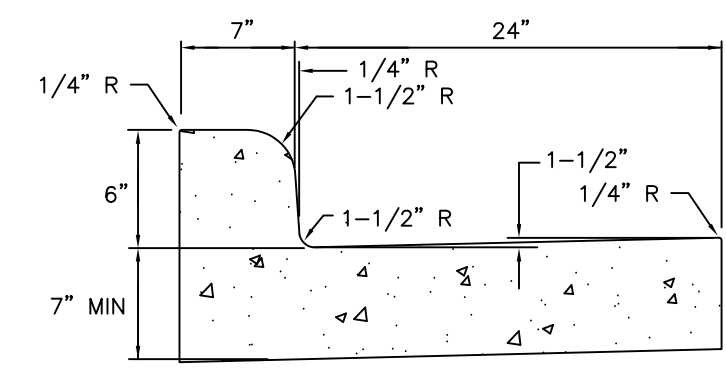


GRADING AND DRAINAGE NOTES:

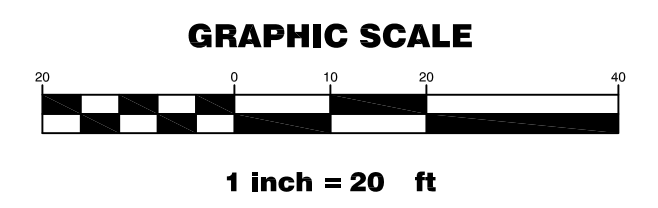
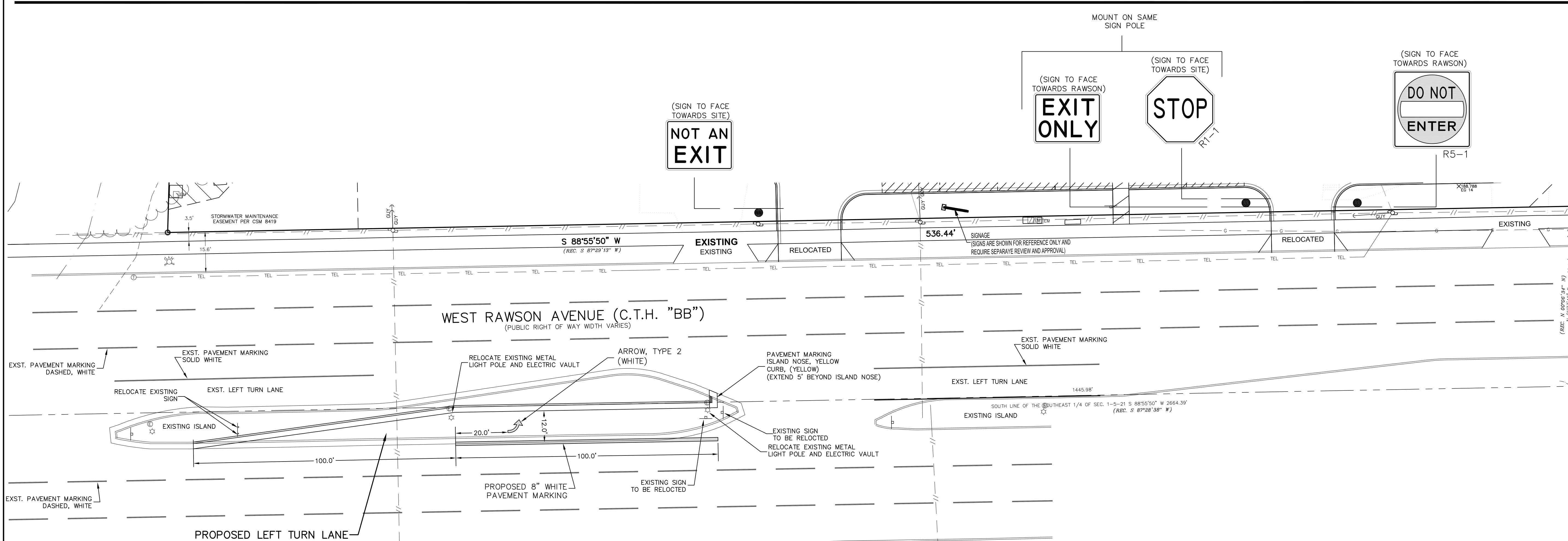
1. ALL PROPOSED CURB AND GUTTER SHALL BE MILWAUKEE COUNTY DOT SPEC. 31".
2. EXISTING LIGHT POLES/BOXES TO BE RELOCATED THAT ARE IN CONFLICT WITH PROPOSED TURN LANE.
3. GRASS AREA RESTORATION SHALL INCLUDE 3" TOPSOIL, SEED AND MATTING.
4. PROPOSED PAVEMENT SECTION TO MATCH EXISTING CONCRETE PROFILE.
5. CONCRETE MEDIAN NOSE SHALL BE SLOPED NOSE TYPE 2 PER FDM S.D.D. 11B2-2
6. ALL PROPOSED CURB ELEVATIONS SHOWN ARE AT FLANGE OF CURB
7. COUNTY HIGHWAY PAVEMENT DAMAGED BY CONSTRUCTION VEHICLES SHALL BE RESTORED BY THE DEVELOPER AT HIS EXPENSE. MILWAUKEE COUNTY WILL INSPECT THE PAVEMENT PRIOR TO THE WORK.
8. ALL WORK WITHIN MILWAUKEE COUNTY HIGHWAY RIGHT-OF-WAY (DRIVEWAYS/STREETS, UTILITY CONNECTIONS, ETC.) SHALL CONFORM TO COUNTY SPECIFICATIONS AND REQUIREMENTS.
9. THE CONTRACTOR SHALL PROVIDE MILWAUKEE COUNTY WITH A 24-HR. CONTACT NUMBER IN CASE ANY PROBLEMS OCCUR DURING NON-WORKING HOURS. IF THE COUNTY IS UNABLE TO REACH THE CONTACT PERSON, THE COUNTY WILL PERFORM ANY WORK NECESSARY TO SAFEGUARD THE PUBLIC AND BILL THE CONTRACTOR FOR THE COST OF SAID WORK. NO PERMIT DEPOSITS WILL BE RETURNED UNTIL ALL SUCH BILLS ARE PAID IN FULL.
10. COUNTY TRUNK HIGHWAY SHALL BE SWEEP AS NEEDED AT THE END OF EACH WORK DAY.
11. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER "WORK ZONE SAFETY", LATEST EDITION.

LEGEND

□	EXST. CURB INLET (CB)	---	EXST. WATER MAIN / SERVICE
○	EXST. MANHOLE (MH)	---	EXST. SANITARY SEWER
○	EXST. SIGN (TRAFFIC, ETC.)	---	EXST. STORM SEWER
x	[172.61] EXST. ELEVATION	---	EXST. BURIED ELECTRIC
○	EXST. LIGHT POLE	---	EXST. BURIED TELEPHONE
---	170 EXST. CONTOUR	x x x x x x x x	PROPOSED SAWCUT FULL DEPTH
---	176 EXST. CONTOUR	x172.61	PROPOSED ELEVATION
---		---	PROPOSED CONTOUR



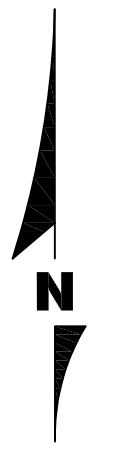
GRADING AND DRAINAGE



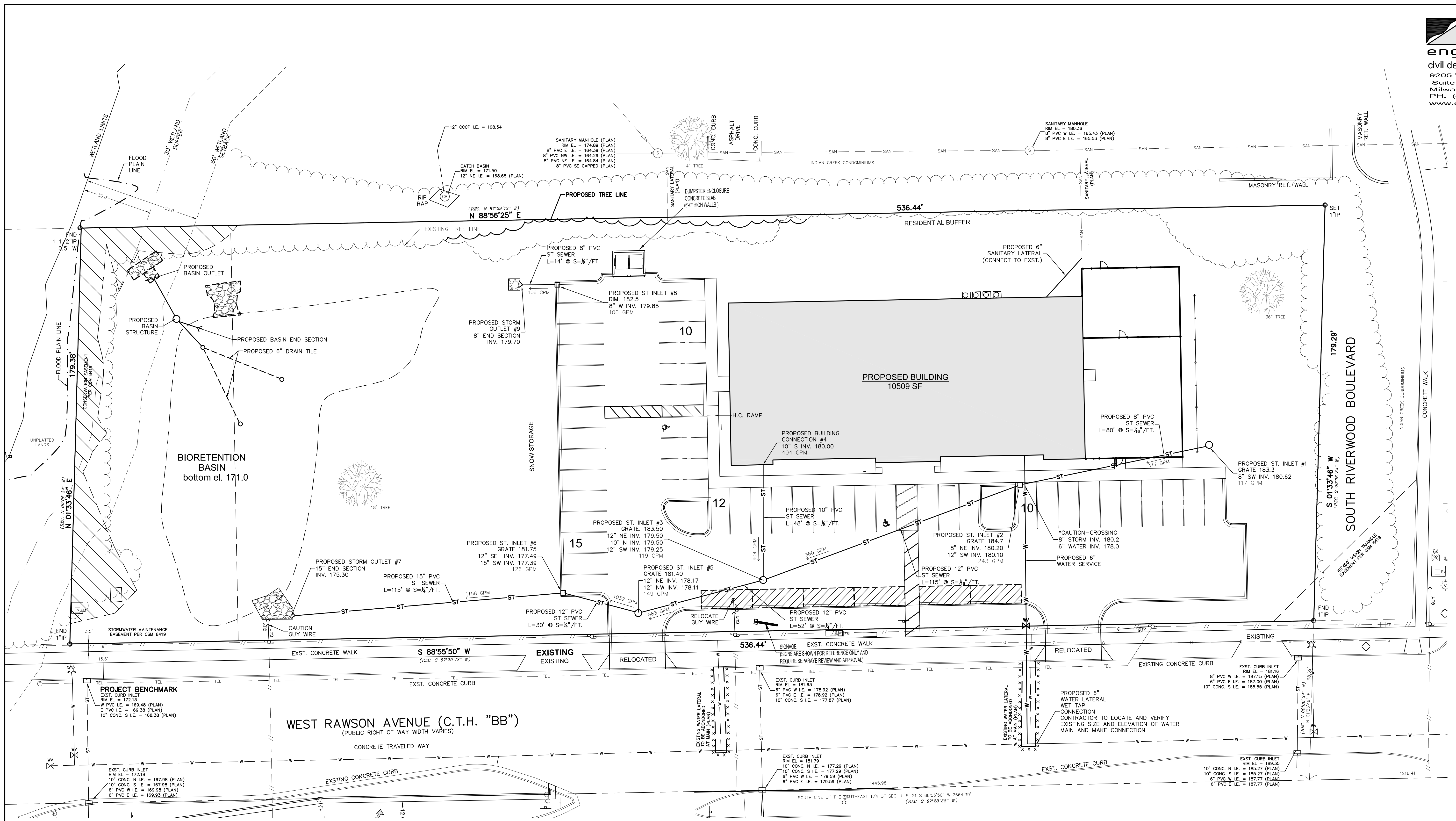
DIMENSION, PAVEMENT MARKING AND SIGNAGE

CJE NO.: 1945R8
 FEBRUARY 25, 2020
 APRIL 8, 2020
 MAY 27, 2020
 JULY 15, 2020
 OCTOBER 12, 2020
 FEBRUARY 25, 2021

KIDS CONNECTION
 3130 W. RAWSON AVENUE FRANKLIN, WI



KIDS CONNECTION
 WEST RAWSON AVENUE



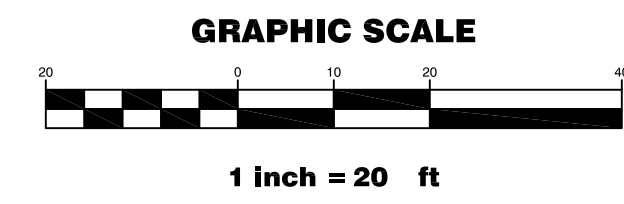
LEGEND	
---	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
SAN	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
W	EXISTING WATER MAIN
W	PROPOSED WATER MAIN
G	BURIED GAS MAIN
OH	OVER HEAD WIRE
E	BURIED ELECTRIC
X X X X X X X X X X	SAWCUT PAVEMENT

- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF FRANKLIN REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING BY PLUMBING CONSULTANT/CONTRACTOR.
 4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. STORM SEWER HAS BEEN DESIGNED FOR THE 100-YEAR STORM.
 7. STORM SEWER: PVC ASTM D3034, SDR 35 OR ADS CORRUGATED HDPE N-12
 SANITARY SEWER: PVC ASTM D3034, SDR 35
 WATER MAIN: PVC C-900, CLASS 150 (DR18)
 8. FOR SANITARY, STORM AND WATER MAIN CONNECTIONS TO EXISTING UTILITIES, SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY. REPLACE PAVEMENT, CURB AND GUTTER, SIDEWALK ETC. IN KIND PER MILWAUKEE COUNTY SPECIFICATIONS.

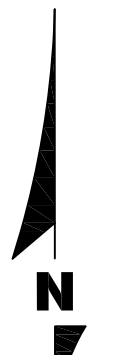
TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

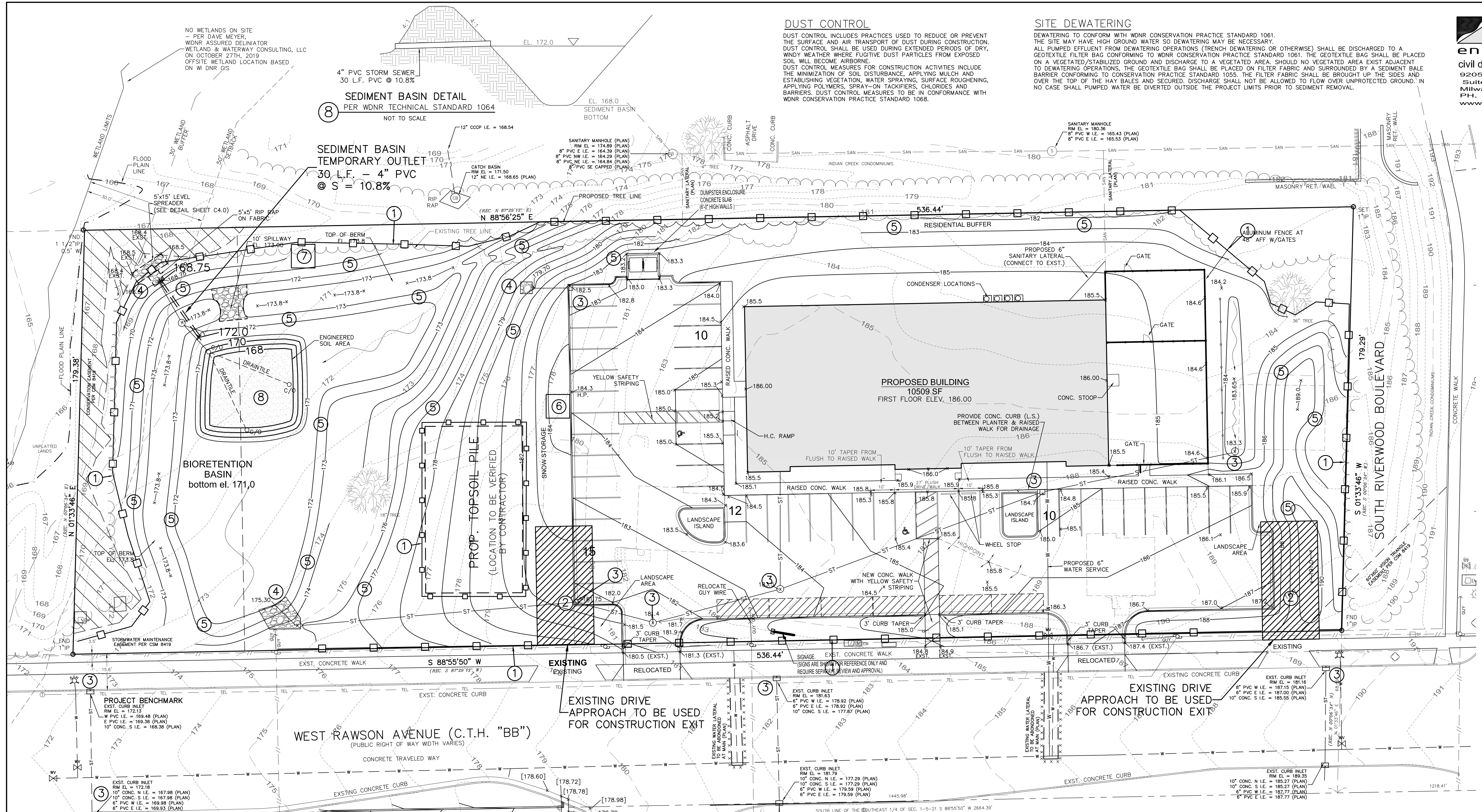
CALL DIGGERS HOTLINE
 811 or 1-800-242-8511
 MILWAUKEE AREA: 259-1181
 WI STATUTE 182.075(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



CJE NO.: 1945R8
 FEBRUARY 25, 2020
 APRIL 8, 2020
 MAY 27, 2020
 JULY 15, 2020
 OCTOBER 12, 2020
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KIDS CONNECTION
 WEST RAWSON AVENUE



DUST CONTROL
 DUST CONTROL INCLUDES PRACTICES USED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. DUST CONTROL SHALL BE USED DURING EXTENDED PERIODS OF DRY, WINDY WEATHER WHERE FUGITIVE DUST PARTICLES FROM EXPOSED SOIL WILL BECOME AIRBORNE. DUST CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES INCLUDE THE MINIMIZATION OF SOIL DISTURBANCE, APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS. DUST CONTROL MEASURES TO BE IN CONFORMANCE WITH WDNR CONSERVATION PRACTICE STANDARD 1068.

SITE DEWATERING
 DEWATERING TO CONFORM WITH WDNR CONSERVATION PRACTICE STANDARD 1061. THE SITE MAY HAVE HIGH GROUND WATER SO DEWATERING MAY BE NECESSARY. ALL PUMPED EFFLUENT FROM DEWATERING OPERATIONS (TRENCH DEWATERING OR OTHERWISE) SHALL BE DISCHARGED TO A GEOTEXTILE FILTER BAG CONFORMING TO WDNR CONSERVATION PRACTICE STANDARD 1061. THE GEOTEXTILE BAG SHALL BE PLACED ON A VEGETATED/STABILIZED GROUND AND DISCHARGED TO A VEGETATED AREA. SHOULD NO VEGETATED AREA EXIST ADJACENT TO DEWATERING OPERATIONS, THE GEOTEXTILE BAG SHALL BE PLACED ON FILTER FABRIC AND SURROUNDED BY A SEDIMENT BALE BARRIER CONFORMING TO CONSERVATION PRACTICE STANDARD 1055. THE FILTER FABRIC SHALL BE BROUGHT UP THE SIDES AND OVER THE TOP OF THE HAY BALES AND SECURED. DISCHARGE SHALL NOT BE ALLOWED TO FLOW OVER UNPROTECTED GROUND. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS PRIOR TO SEDIMENT REMOVAL.

SEDIMENT BASIN DETAIL
 PER WDNR TECHNICAL STANDARD 1064
 NOT TO SCALE

SEDIMENT BASIN TEMPORARY OUTLET
 30 L.F. - 4" PVC
 @ S = 10.8%

BIORETENTION BASIN
 bottom el. 171.0

PROPOSED BUILDING
 10509 SF
 FIRST FLOOR ELEV. 186.00

WEST RAWSON AVENUE (C.T.H. "BB")
 (PUBLIC RIGHT OF WAY WIDTH VARIES)

EXISTING DRIVE APPROACH TO BE USED FOR CONSTRUCTION EXIT

EROSION CONTROL PRACTICES SCHEDULE

- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MATTING
- ⑥ CONCRETE WASHOUT
- ⑦ HAY BALE SEDIMENT DEWATERING PIT
- ⑧ SEDIMENT BASIN

LEGEND

879	EXISTING CONTOUR
882	PROPOSED CONTOUR
x.881.5	PROPOSED ELEVATION
ST	PROPOSED STORM SEWER
□	PROPOSED SILT FENCE

WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.
PRESCRIPTIVE COMPLIANCE AREAS:
 PER WDNR NR1511 WS ADM. CODE
 MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%
 SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP

LAND DISTURBANCE BETWEEN SEPT. 16TH AND MAY 1ST	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPT. 15TH

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
 DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Cois	131	95
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding
 LAND APPLICATION OF ADDITIVES:
 DURING NON-GROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICAL STANDARD 1050.
 STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY X" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 2. INSTALL CONSTRUCTION EXIT.
 3. INSTALL SILT FENCE.
 4. INSTALL INLET PROTECTION IN INLETS ADJACENT TO SITE AS SHOWN ON PLAN.
 5. INSTALL TEMPORARY SEDIMENT BASIN COMPLETE WITH TEMPORARY 4" OUTLET AS SHOWN IN DETAIL.
- NOTE:
 THE AREA OF THE PERMANENT BIO-RETENTION BASIN WILL BE USED AS TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION. DO NOT INSTALL DRAIN TILE, AGGREGATE, OUTLET CONTROL, MANHOLE OR ENGINEERED SOIL AT THIS STAGE.
- A. ROUGH GRADE AND OVER EXCAVATE BASIN DOWN TO ELEVATION OF 186.0.
 - B. CONSTRUCT BERMS TO ELEVATIONS SHOWN ON PLAN.
 - C. INSTALL TEMPORARY 4" PVC OUTLET PIPE AS SHOWN.
 - D. INSTALL PROPOSED UTILITIES.
 - E. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
 - F. INSTALL OUTLET PROTECTION.
 - G. INSTALL BASE COURSE OF PAVEMENT.
 - H. REMOVE TEMPORARY SEDIMENT BASIN AND INSTALL PERMANENT BIO-RETENTION BASIN. DEWATER BASIN INTO DEWATERING BAG. INSTALL AGGREGATE, DRAIN TILES, OUTLET CONTROL, MANHOLE, OUTLET PIPES, ENGINEERED SOIL AND PLANTINGS.
 - I. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
 - J. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
 - K. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
 - L. ESTIMATED TIME BEFORE FINAL STABILIZATION - 6 MONTHS.

TEMPORARY COVER DURING GROWING SEASON:

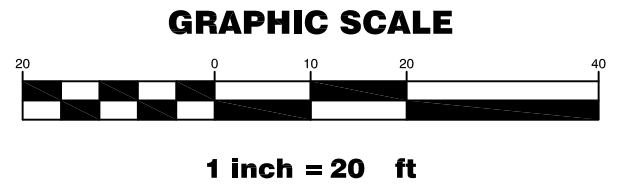
- TEMPORARY SEEDING DATES
- OATS - 4/1-9/1
 ANNUAL RYEGRASS - 4/1-9/1
 WINTER WHEAT - 8/1-10/1
 WINTER CEREAL RYE - 8/1-10/15
 (FOR TEMPORARY COVER SEED AT 131# PER ACRES)

DURING NON-GROWING SEASON (AFTER OCT. 15TH SEEDING DEADLINE):

AREAS THAT ARE INACTIVE DURING NON-GROWING SEASON MUST BE STABILIZED WITH ANIONIC POLYACRYLAMIDE (POLYMER). SEE WDNR TECHNICAL STANDARD 1050.

NOTES:

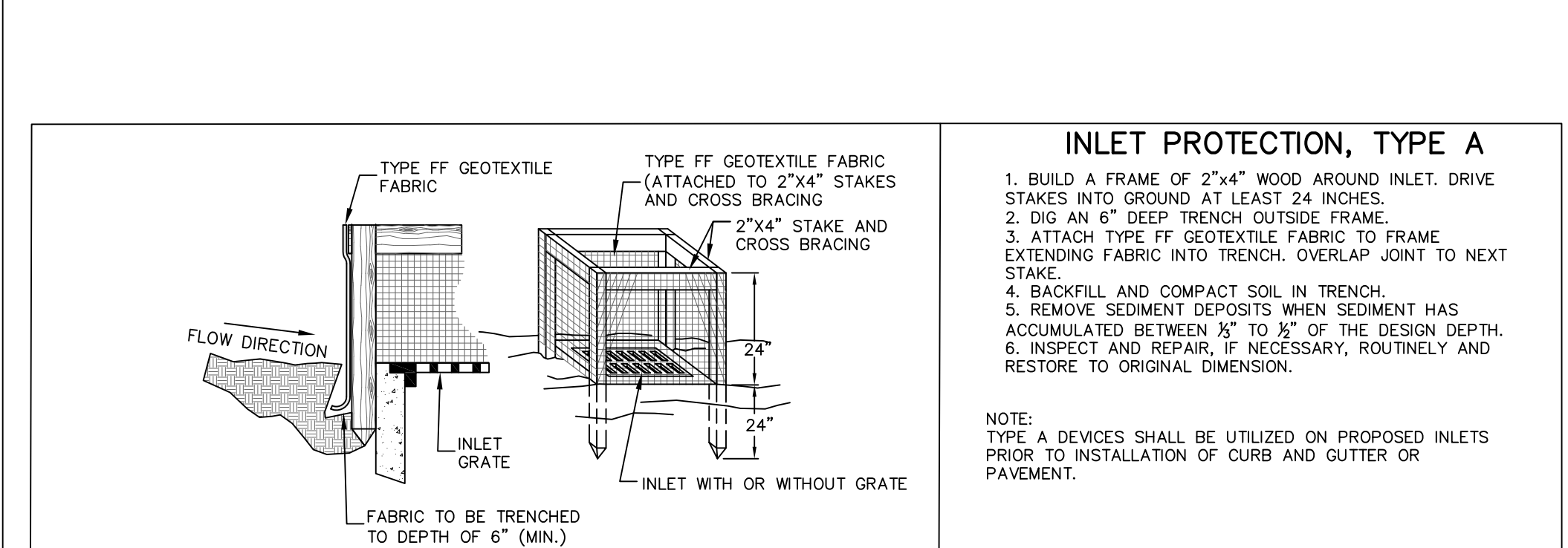
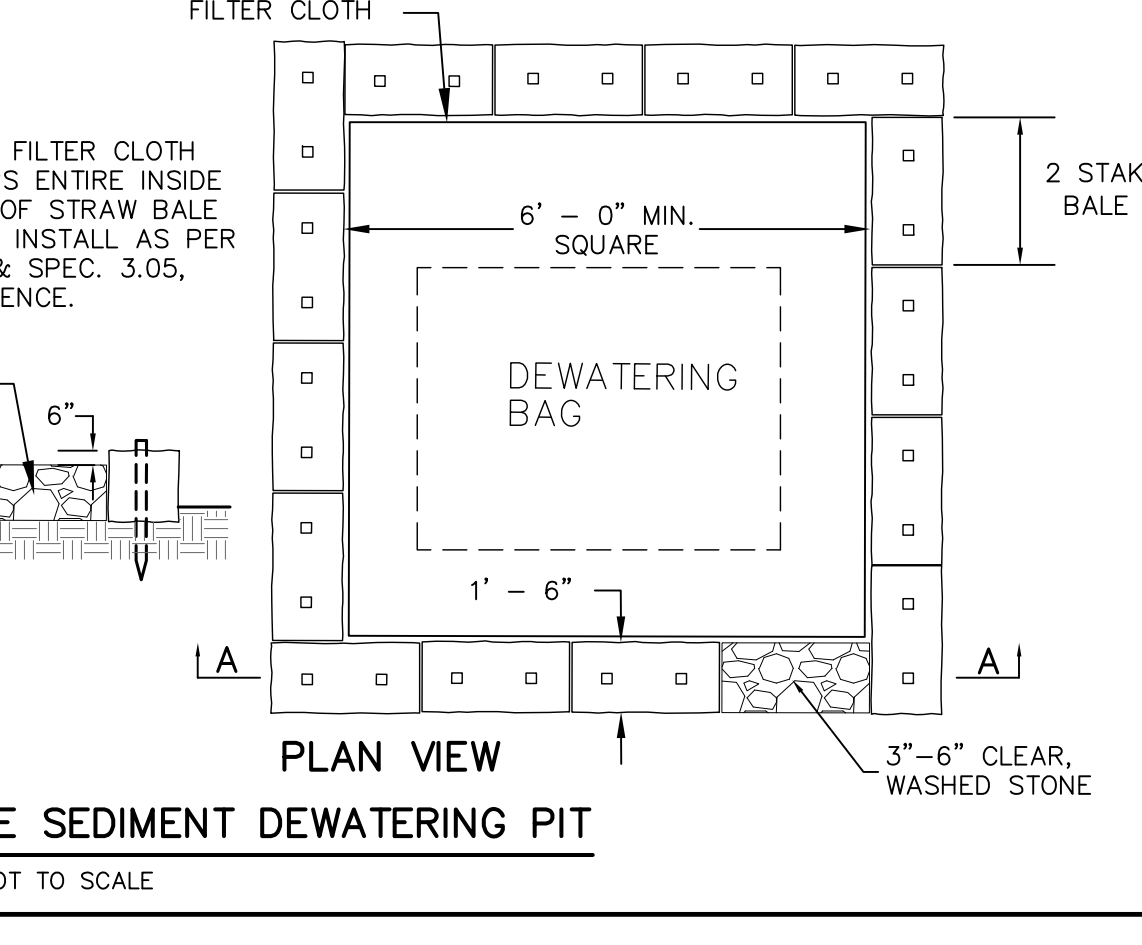
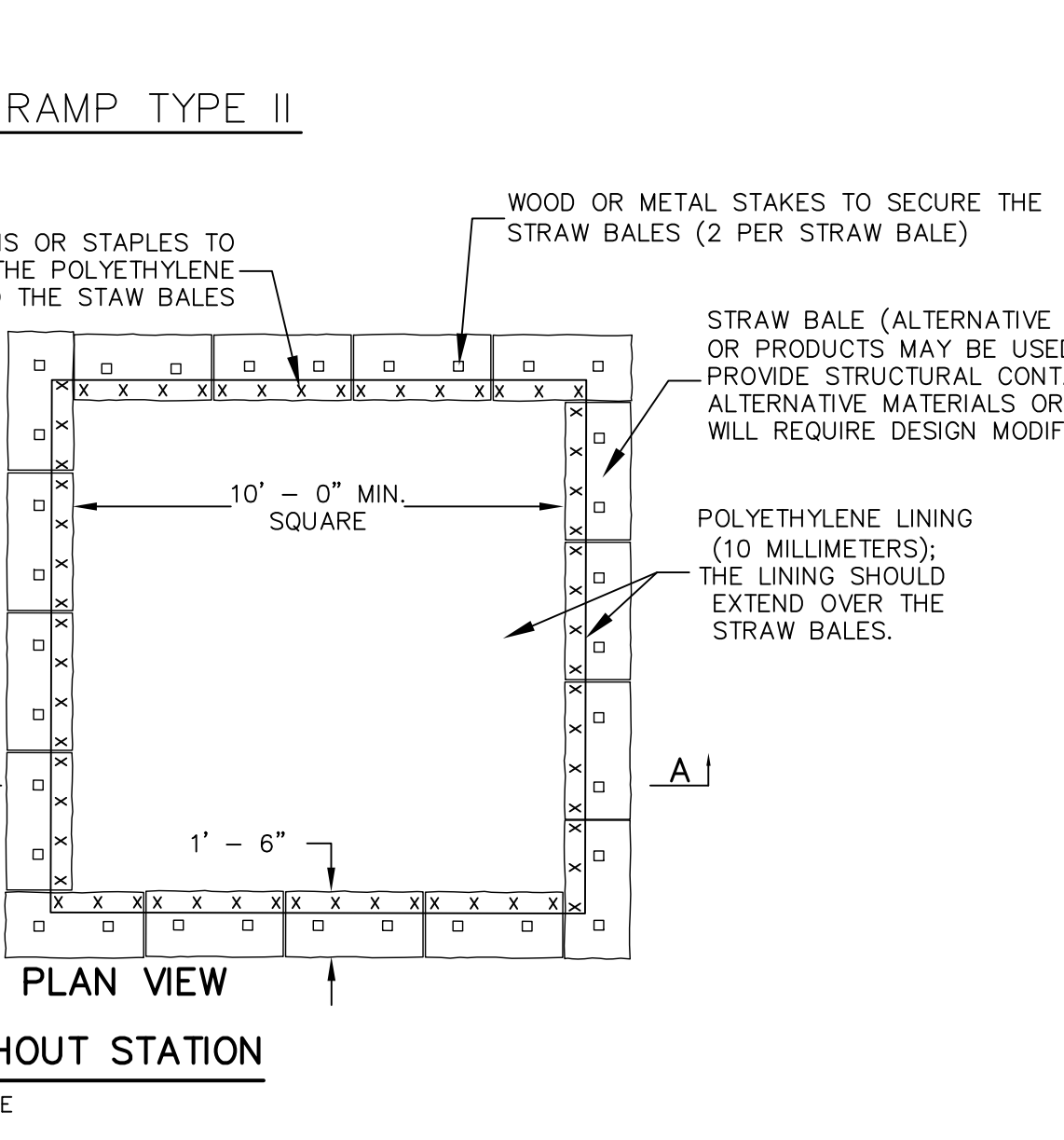
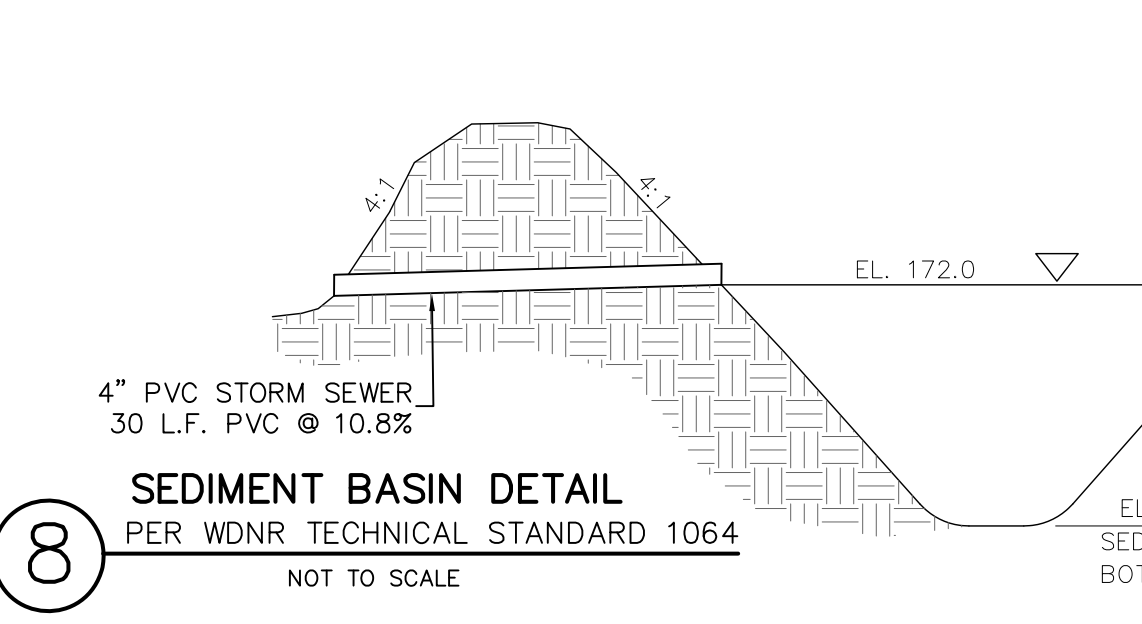
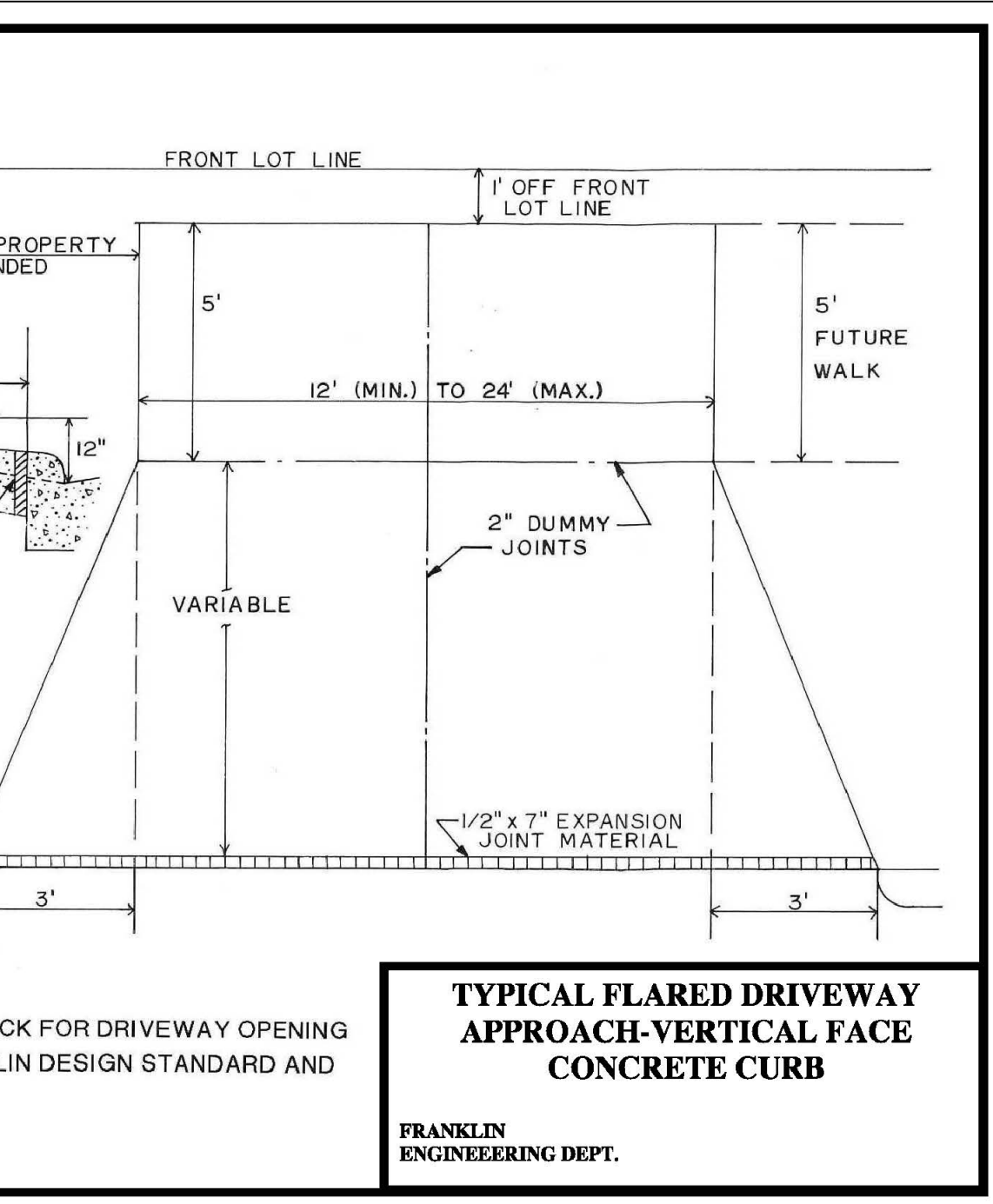
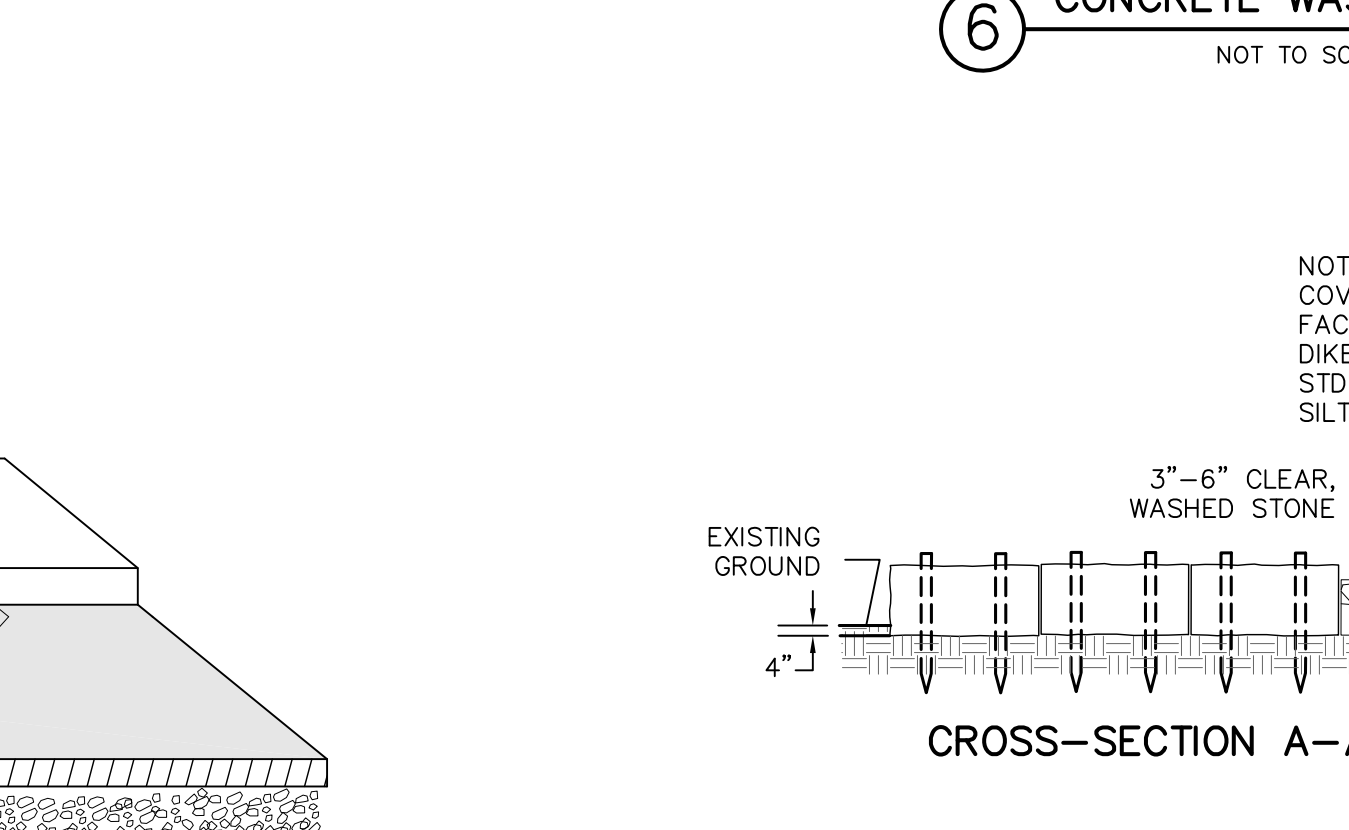
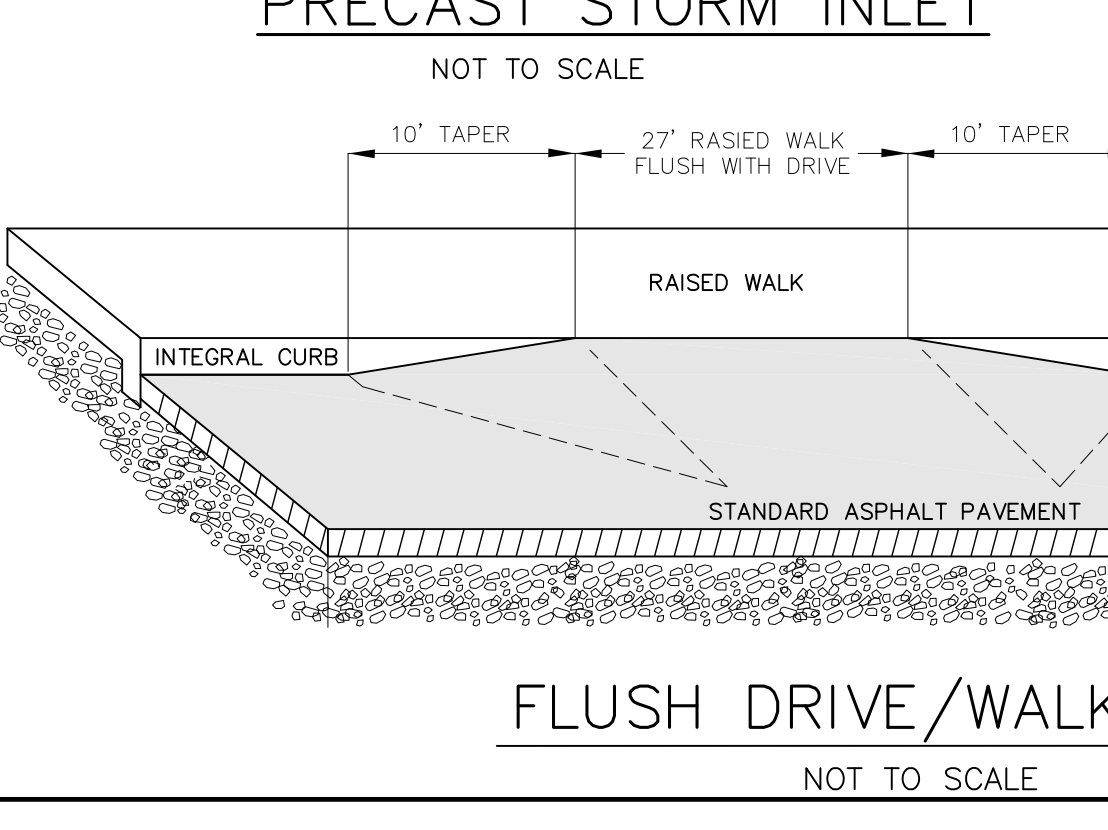
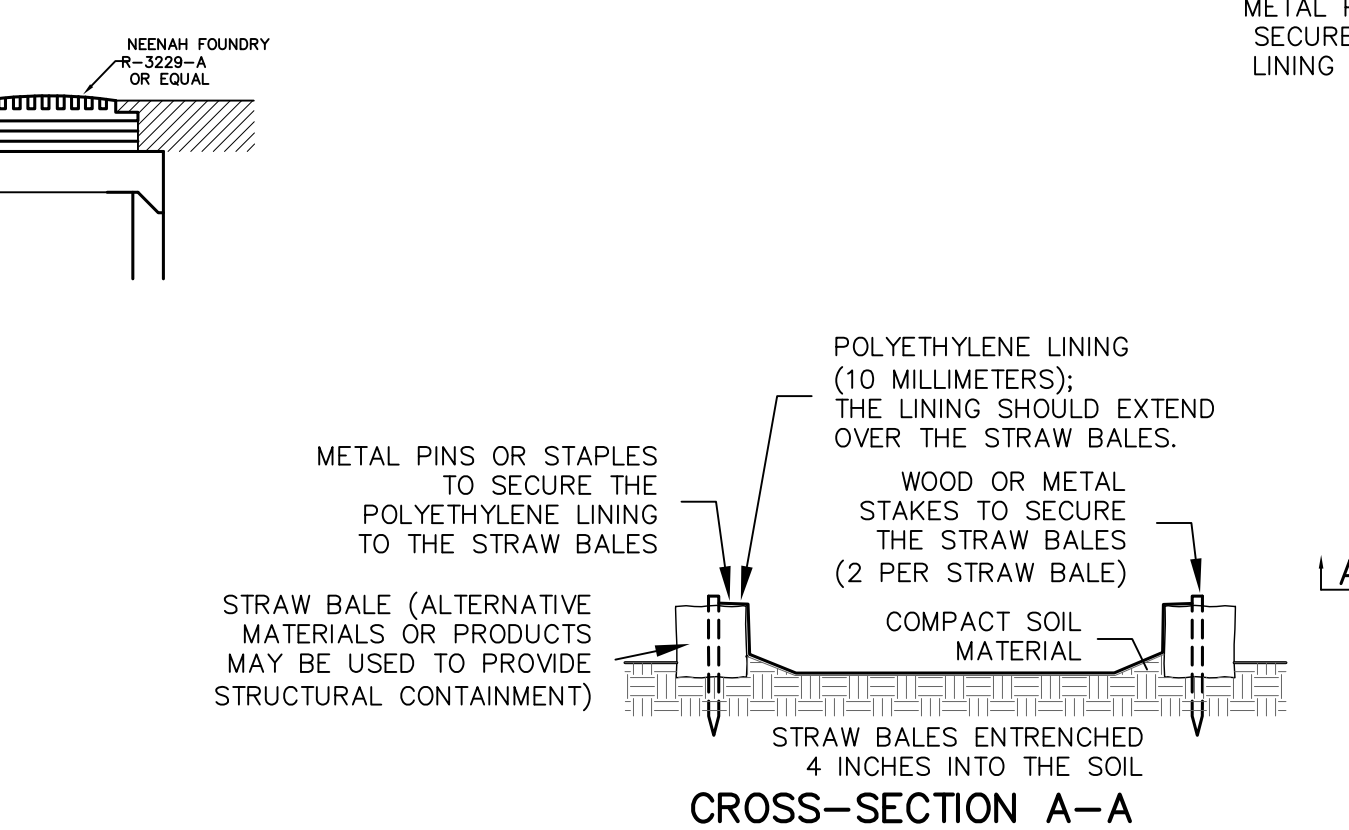
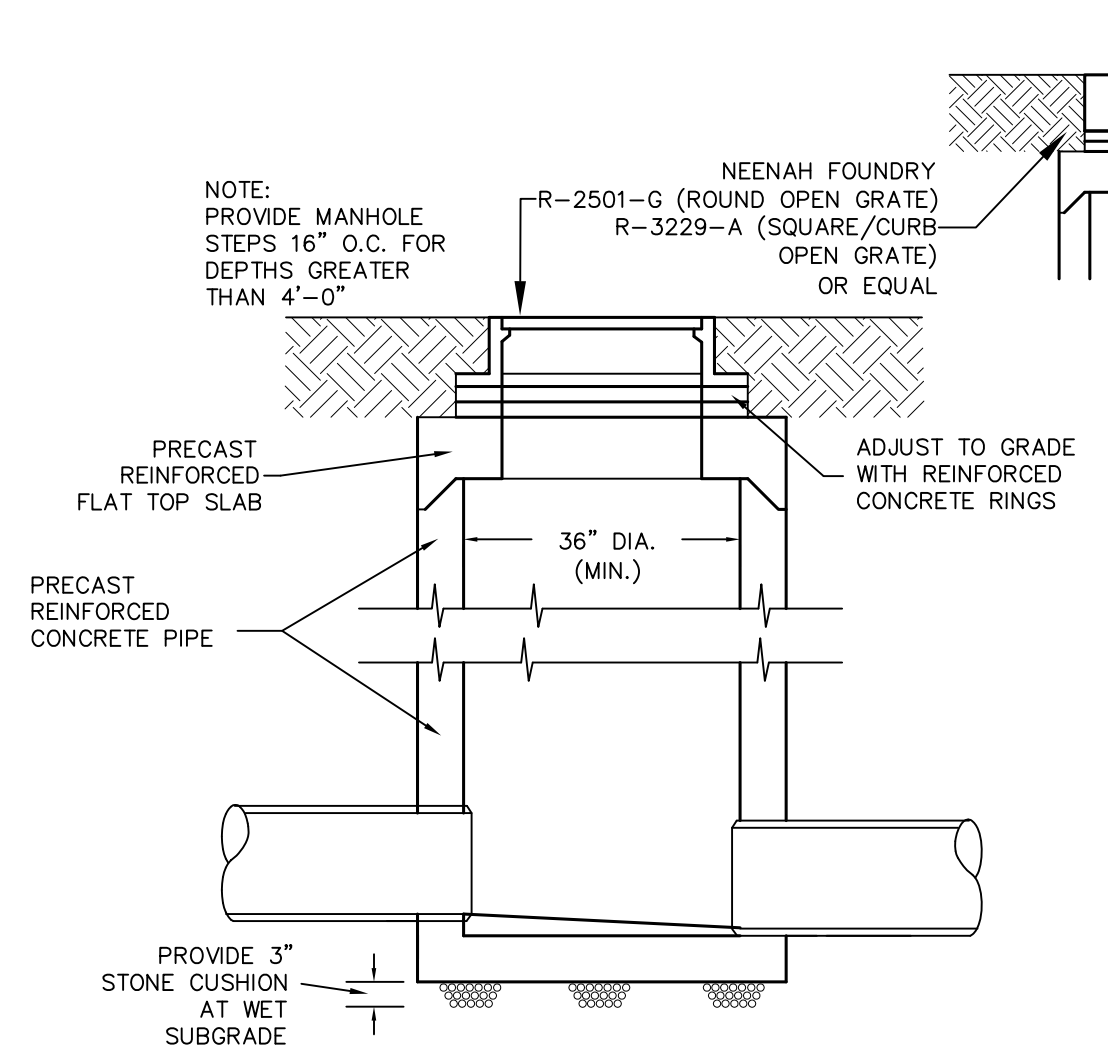
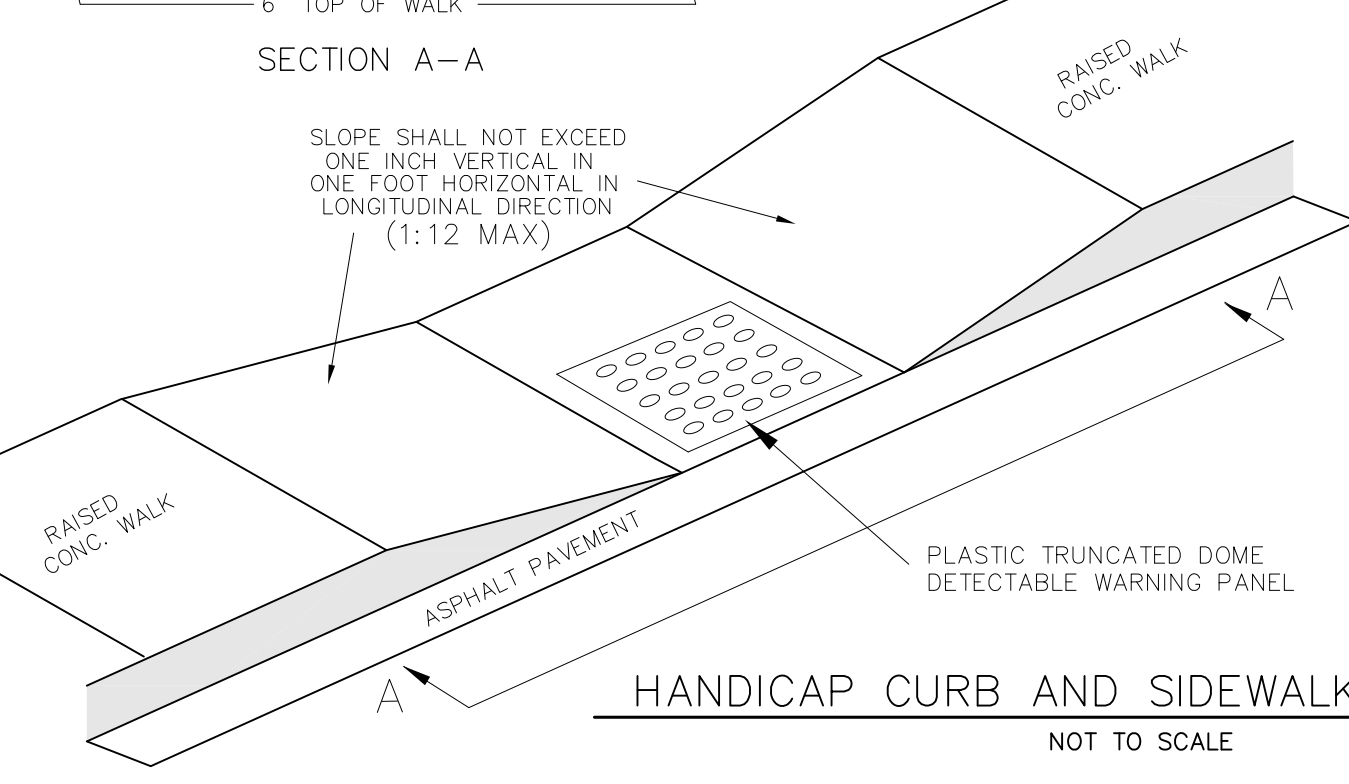
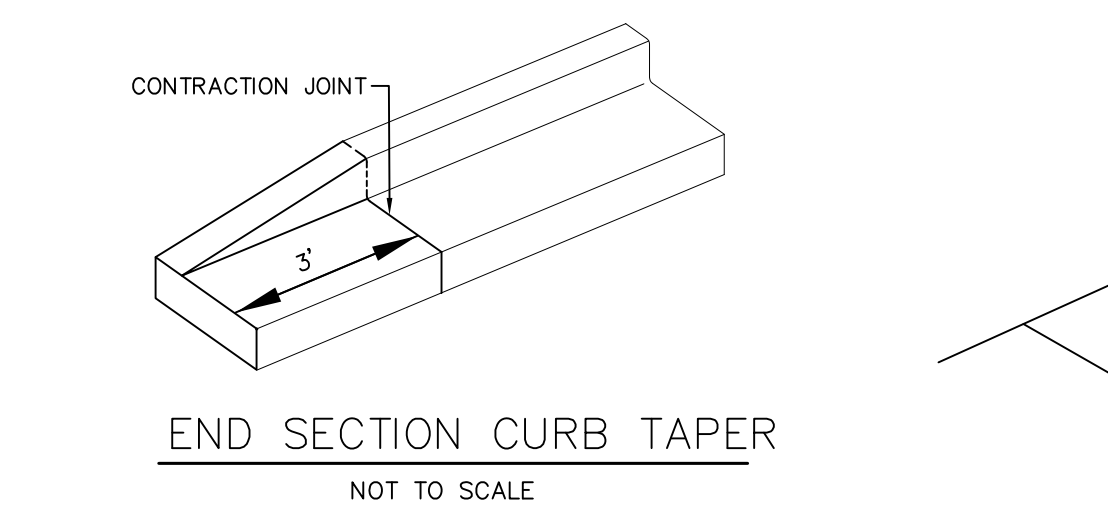
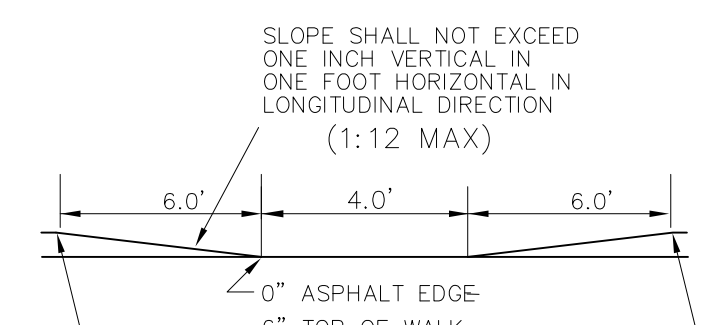
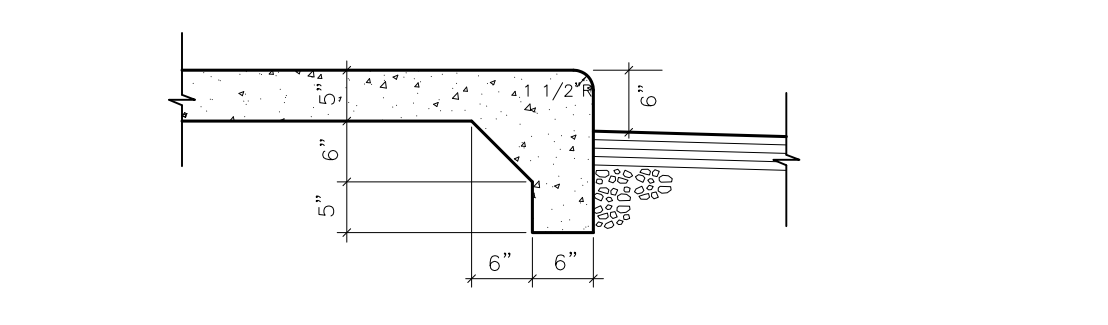
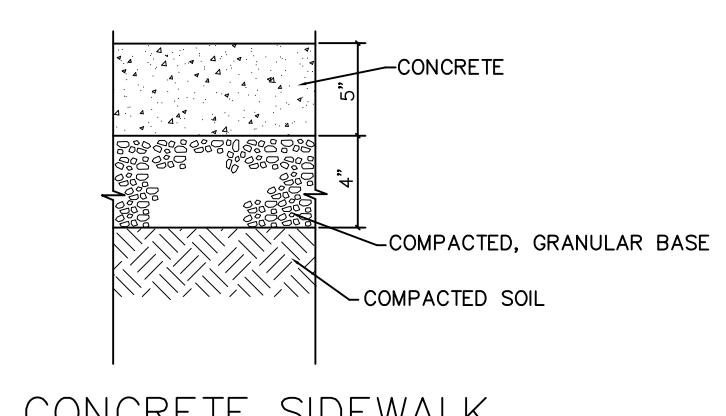
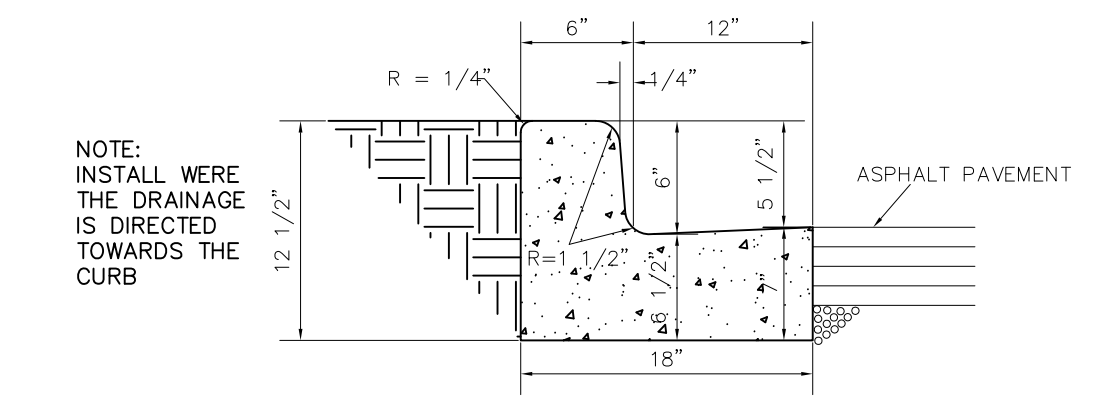
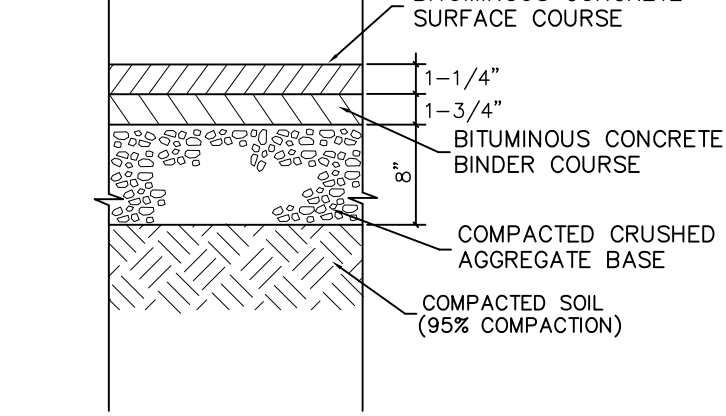
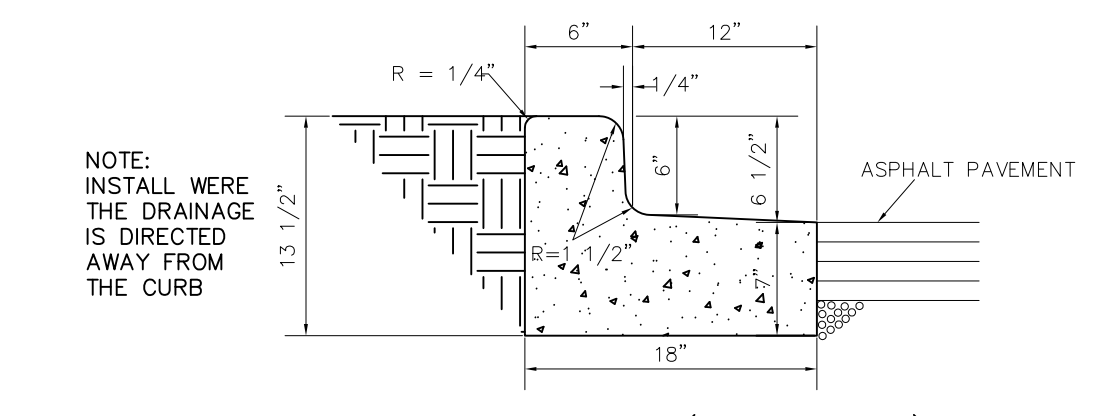
1. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF FRANKLIN STANDARDS AND WDNR TECHNICAL STANDARDS.
2. ALL EXPOSED SOIL AREAS NOT DISTURBED WITHIN SEVEN (7) DAYS SHALL BE IMMEDIATELY RESTORED WITH SEED AND MULCH OR POLYMER.
3. ALL SITE DEMO, CONSTRUCTION AND WASTE MATERIALS SHALL BE COLLECTED AND DISPOSED OF BY THE SITE CONTRACTOR PER LOCAL AND STATE REQUIREMENTS.



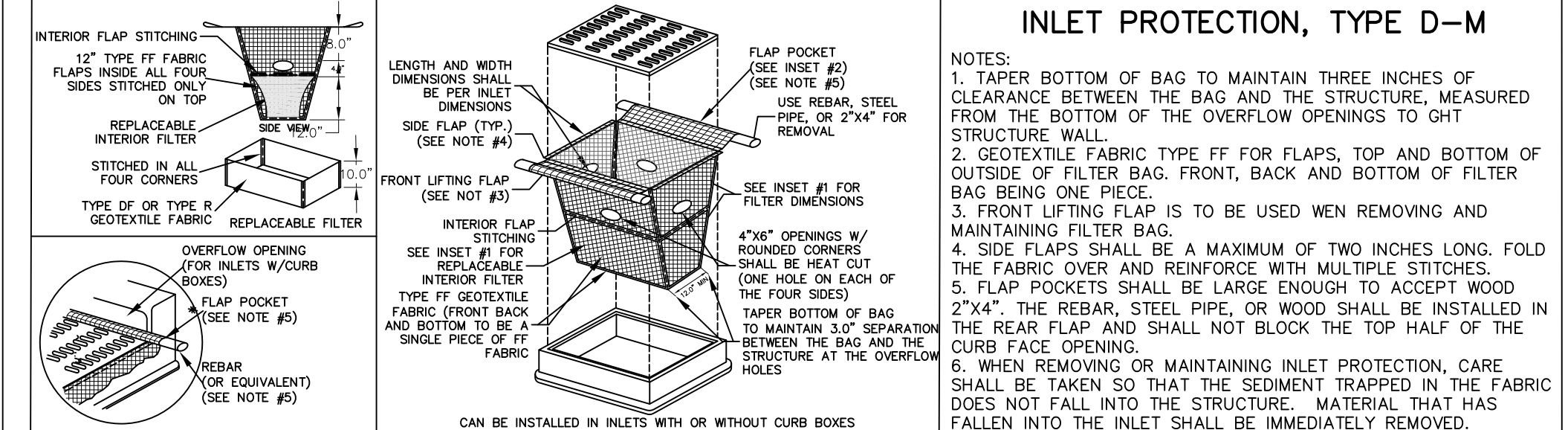
CJE NO.: 1945R8
 FEBRUARY 25, 2020
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SITE EROSION CONTROL PLAN C3.0

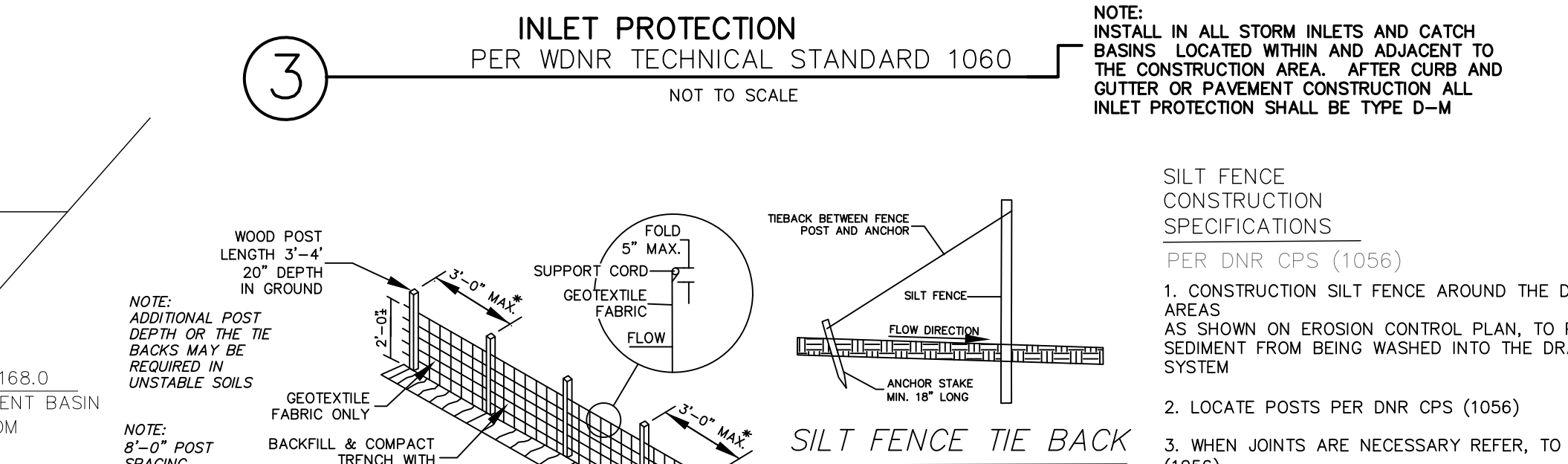
DIGGERS HOTLINE
 TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 811 OR 1-800-942-8811
 AREA 259-1181
 WIS STATUTE 192.0175(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



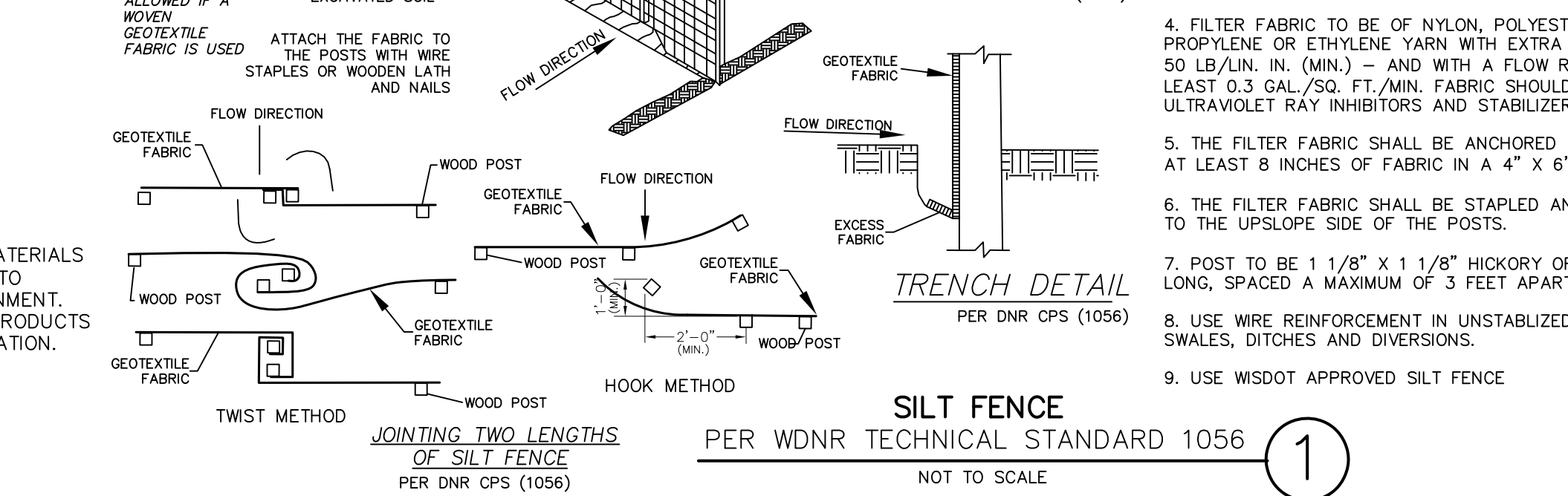
- BUILD A FRAME OF 2"x4" WOOD AROUND INLET. DRIVE STAKES INTO GROUND AT LEAST 24 INCHES.
 - DIG AN 6" DEEP TRENCH OUTSIDE FRAME.
 - ATTACH TYPE FF GEOTEXTILE FABRIC TO FRAME EXTENDING FABRIC INTO TRENCH. OVERLAP JOINT TO NEXT STAKE.
 - BACKFILL AND COMPACT SOIL IN TRENCH.
 - REMOVE SEDIMENT DEPOSITS WHEN SEDIMENT HAS ACCUMULATED BETWEEN 1/2" TO 3/4" OF THE DESIGN DEPTH.
 - INSPECT AND REPAIR, IF NECESSARY, ROUTINELY AND RESTORE TO ORIGINAL DIMENSION.
- NOTE: TYPE A DEVICES SHALL BE UTILIZED ON PROPOSED INLETS PRIOR TO INSTALLATION OF CURB AND GUTTER OR PAVEMENT.



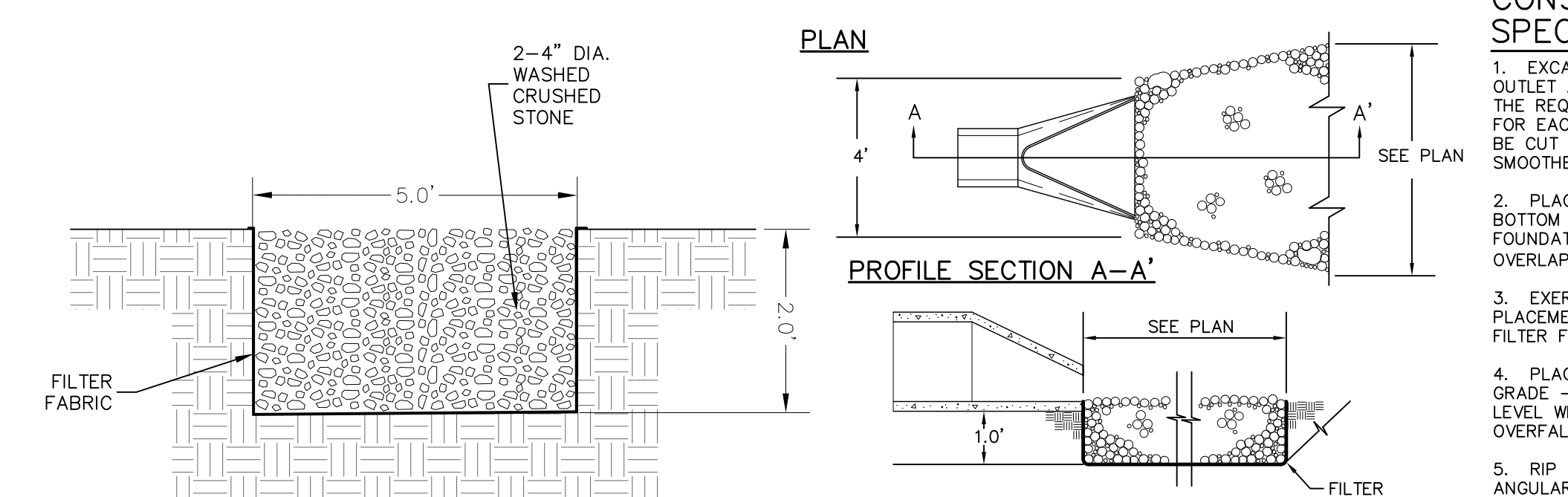
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
- GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
- FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
- SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



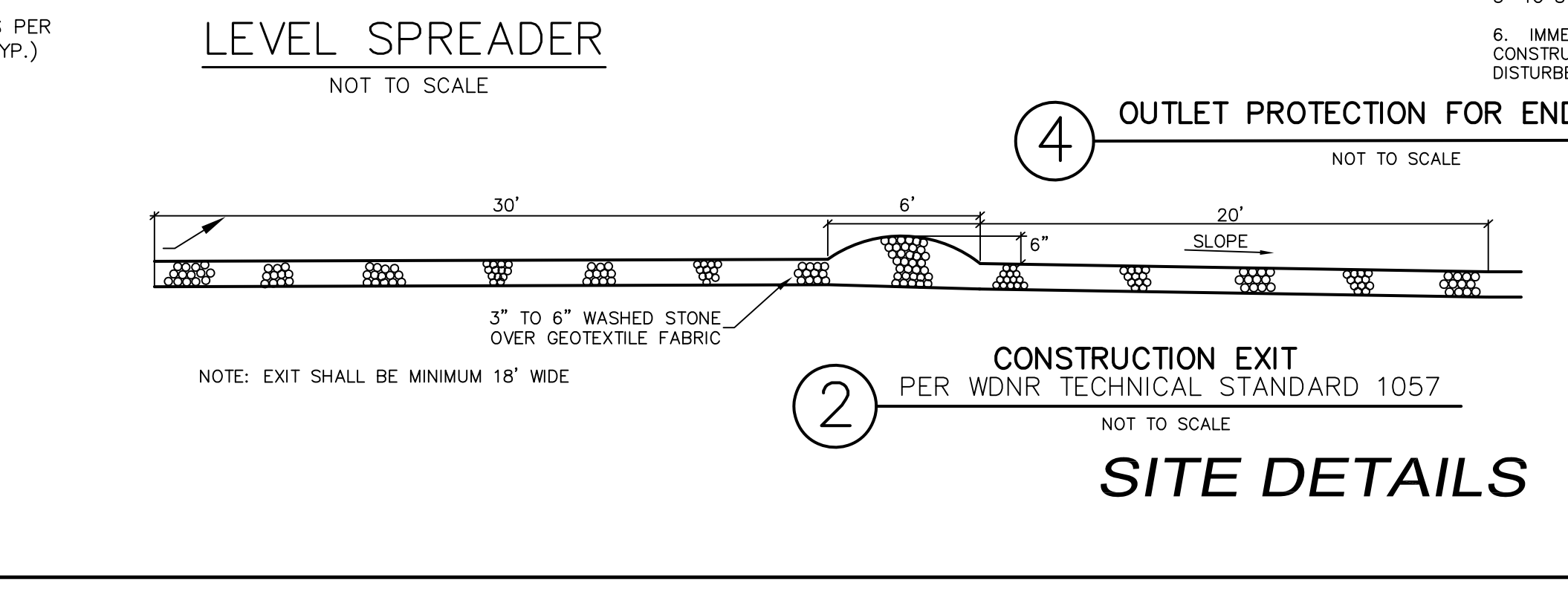
- INSTALL IN ALL STORM INLETS AND CATCH BASINS LOCATED WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. AFTER CURB AND GUTTER OR PAVEMENT CONSTRUCTION ALL INLET PROTECTION SHALL BE TYPE D-M.



- CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
- LOCATE POSTS PER DNR CPS (1056).
- WHEN JOINTS ARE NECESSARY REFER TO DNR CPS (1056).
- FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB./LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
- THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 6" TRENCH.
- THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
- POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.
- USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
- USE WSDOT APPROVED SILT FENCE.



- EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
- PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
- EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
- PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
- RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
- IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

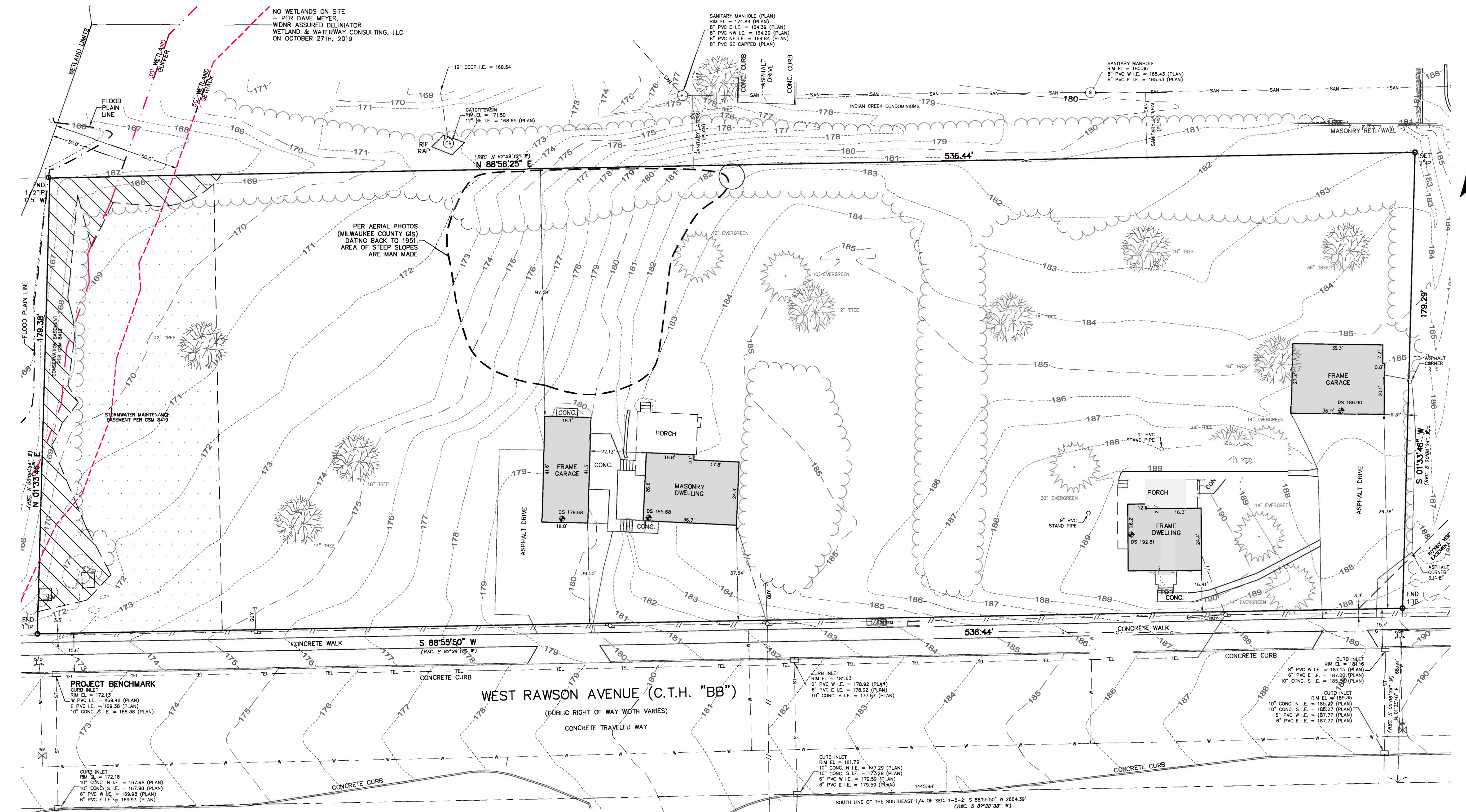


- CONSTRUCTION EXIT PER WDNR TECHNICAL STANDARD 1057
 NOT TO SCALE

KIDS CONNECTION
 WEST RAWSON AVENUE

CJE NO.: 1945R8
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C4.0



LEGAL DESCRIPTIONS:

LOT 1 OF CERTIFIED SURVEY MAP NO. 8419, PART OF THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.
 CONTAINING: 96,101 SQUARE FEET OR 2.2062 ACRES

NOTES:

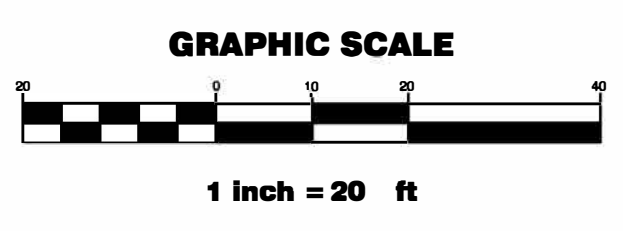
- LEGAL DESCRIPTION FROM CSM 8419.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0162E, WITH A DATE OF IDENTIFICATION OF 02/26/2008, IN COMMUNITY NO. 550273, THE CITY OF FRANKLIN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- PROJECT BENCHMARK - NORTH RIM OF CATCH BASIN FOUND TO THE WEST OF SUBJECT PROPERTY AT FLOW LINE AS SHOWN EL = 172.13
- ELEVATIONS BASED ON INFORMATION FROM INFORMATION FROM CLIENT AND ARE AT CITY OF FRANKLIN DATUM.
- SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), MILWAUKEE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).
- WETLANDS LIMITS PER WDNR SURFACE WATER DATA VIEWER GIS

NATURAL RESOURCES

- STEEP SLOPES - NONE - STEEP SLOPES MAN MADE
- WOODLANDS - NONE
- LAKES AND PONDS - NONE
- STREAMS - NONE
- SHORE BUFFER - NONE
- FLOOD PLAIN - NONE. FLOOD PLAIN LOCATED ADJACENT TO SITE
- WETLANDS - NONE
- WETLAND BUFFER (TAKEN FROM ADJACENT WETLANDS) - 1,399 S.F.
- WETLAND SETBACK (TAKEN FROM ADJACENT WETLANDS) - 4,166 S.F.
- PREVIOUSLY APPROVED AREA RESERVED FOR OPEN SPACE (CONSERVATION EASEMENT CSM 8419) - 4,164 S.F.

SITE INTENSITY AND CAPACITY CALCULATIONS

ZONING: B-4
 BASE SITE AREA = 2.2062 ACRES - 0.0956 ACRES OF CONSERVATION AREA = 2.1106 ACRES
 TOTAL RESOURCE PROTECTION LAND (WETLAND BUFFER AREA) = 0.0321 ACRES
 MIN. REQUIRED ON-SITE LANDSCAPE SURFACE 2.1106 X 0.30 = 0.6332 ACRES
 NET BUILDABLE SITE AREA = 2.1106 - 0.6332 = 1.4774 ACRES
 NOTE: B-4 ZONING DOES NOT PROVIDE FOR NFAR OR GFAR



NATURAL RESOURCE PROTECTION PLAN

PROJECT

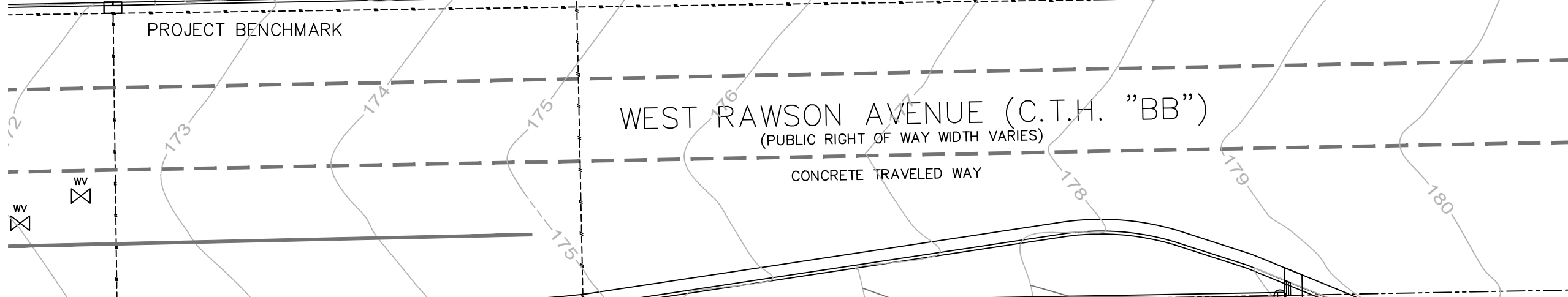
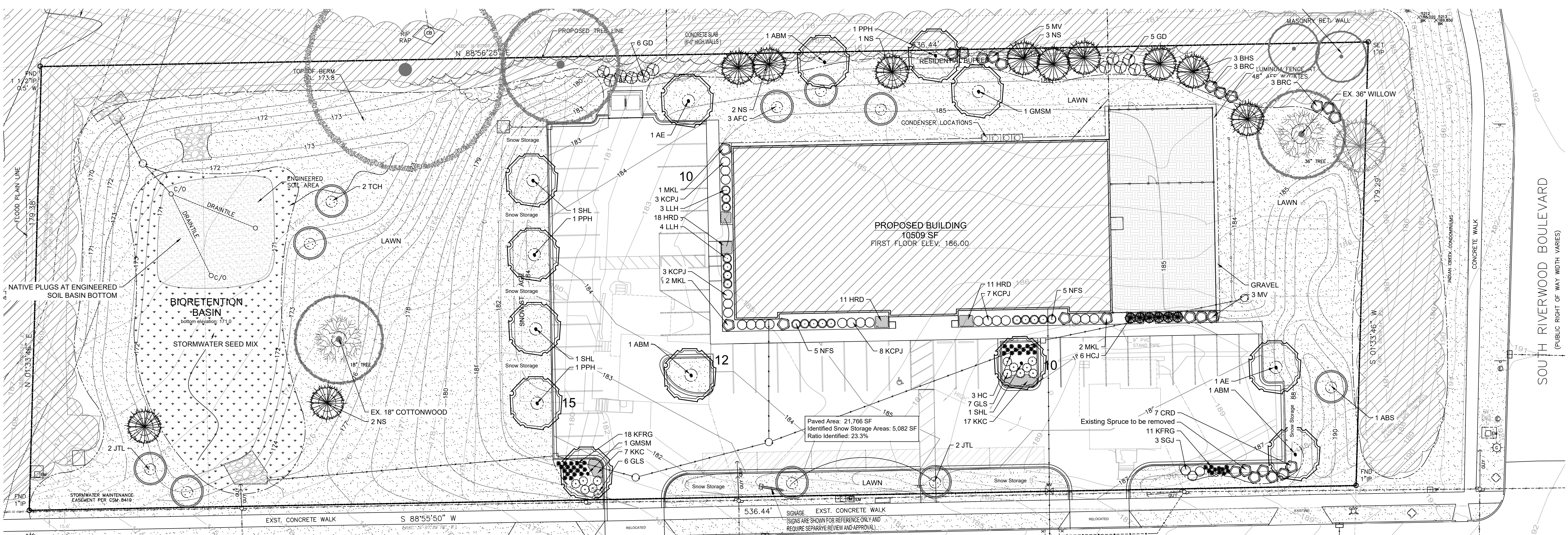


KID'S CONNECTION

West Rawson Ave
Franklin, Wisconsin

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
6.1.20	ISSUE TO OWNER
6.5.20	REVISED PER OWNER
7.31.20	REVISED CIVIL
10.05.20	CITY COMMENTS
10.07.20	CITY COMMENTS
2.28.21	REVISED CIVIL
3.01.21	REVISED PLANTINGS



Zoning Classification: B-4

Area of Lot: 96,100.7 SF
Area of Building: 10,509.0 SF
Area of Parking/Walks: 22,012.5 SF
Area of Greenspace: 63,579.2 SF
Landscape Surface Ratio: 66.16%

Minimum Landscape Standards
One (1) of every plant type per 5 parking spaces.

Number of Parking Spaces: 47 Spaces

Required Number of Shade Trees: 9.4 Trees
Required Number of Ornamental Trees: 9.4 Trees
Required Number of Evergreen Trees: 9.4 Trees
Required Number of Shrubs: 9.4 Shrubs

Bufferyard Requirements
When adjacent to residential, an additional 20% of each plant type to be added in the bufferyard area.

Required Number of Additional Shade Trees: 1.9 Trees
Required Number of Additional Ornamental Trees: 1.9 Trees
Required Number of Additional Evergreen Trees: 1.9 Trees
Required Number of Additional Shrubs: 1.9 Shrubs

Minimum Plant Sizes

Shade Tree: 2.5" Caliper
Ornamental Tree: 1.5" Caliper
Evergreen Tree: 4" Tall
Bufferyard Evergreen Tree: 6" Tall
Shrubs: 36" Tall

Landscape Diversity

Plantings	Min. Species	Min. Of Each species
5 to 11	2	2
12 to 20	3	4
21 to 30	4	5
31 to 40	4	6
41 to 50	4	8
51 & up	4	10

Total Number of Proposed Plantings:

Shade Tree: 13
Ornamental Tree: 10
Evergreen Trees: 11
Shrubs: 97

- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - GMSM Green Mountain Sugar Maple
 - PPH Prairie Pride Hackberry
 - SHL Skyline Honeylocust
 - AE Accolade Elm

- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - TCH Thornless Cockspear Hawthorn
 - AFC Adams Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac

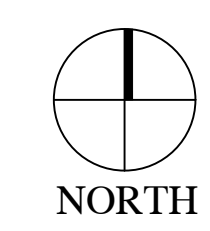
- EVERGREEN TREES**
- HCJ Hetzi Columnar Juniper (upright)
 - NS Norway Spruce
 - BHS Black Hills Spruce

- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfritzer Juniper

- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
 - GD Gray Dogwood
 - CRD Cardinal Redtwig Dogwood
 - LLH Little Lime Hydrangea
 - GLS Gro Low Fragrant Sumac
 - NFS Neon Flash Spirea
 - MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylily
 - KKC Dwarf Catmint



OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGERS' HOTLINE 811 or 1-800-242-8811
M.W. AREA 259-1181
WIS. STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

INFILTRATION SWALE SEED MIX

CODE REQUIREMENTS

PLANT ABBREVIATIONS

Agrecol Native Nursery
2918 Agriculture Drive
Madison, WI 53718
608-226-2544
www.agrecol.com

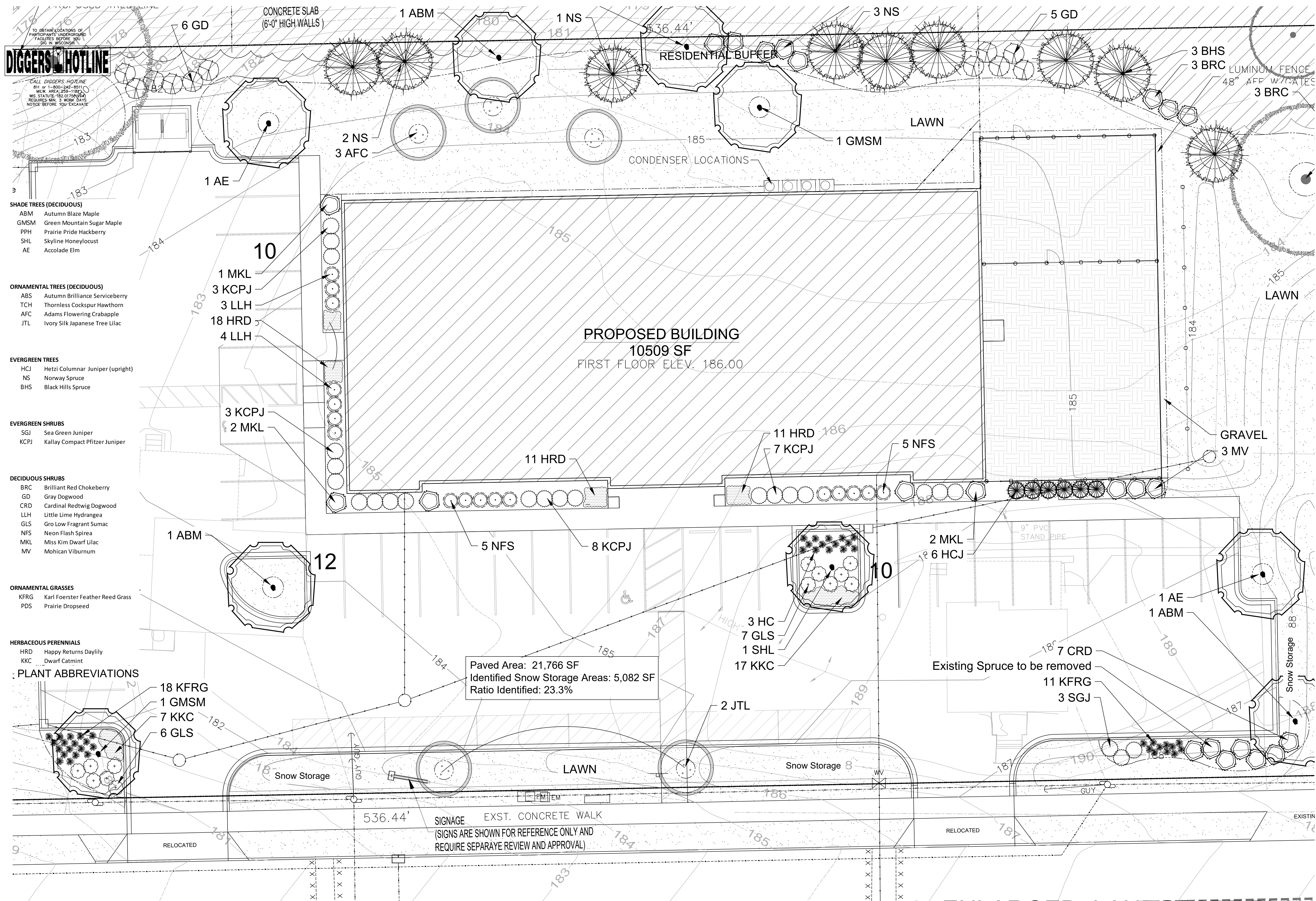
Seeding Rate: 9.00 PLS/LBS Acre 73.00 PLS/LBS SF

Infiltration Swale Seed Mix

WILDFLOWERS		OZ/ACRE
Alisma subcordatum	Common Water Plantain	2.00
Asclepias incarnata	Marsh Milkweed	6.00
Aster novae-angliae	New England Aster	2.00
Desmodium canadense	Canada Tick Trefoil	4.00
Ratbida pinnata	Yellow Coneflower	3.00
Rudbeckia hirta	Black-Eyed Susan	2.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	2.00
Solidago ohioensis	Ohio Goldenrod	1.00
Verbena hastata	Blue Vervain	1.75
Vernonia fasciculata	Ironweed	2.00
GRASSES, SEDGES & RUSHES		
Andropogon gerardii	Big Bluestem	10.00
Bromus ciliatus	Fringed Brome	36.00
Carex comosa	Bristly Sedge	5.00
Carex vulpinoidea	Brown Fox Sedge	1.50
Elymus virginicus	Virginia Wild Rye	36.00
Glyceria straita	Fowl Manna Grass	2.00
Panicum virgatum	Switch Grass	3.00
Scirpus atrovirens	Dark-Green Bullrush	0.50
Scirpus cyperinus	Wool Grass	0.25
Sorghastrum nutans	Indian Grass	16.00
Spartina pectinata	Prairie Cord Grass	8.00

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-245-8511
NEW AREA: 259-1182
MS STATUTE: 182.075(9)(a)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - GMSM Green Mountain Sugar Maple
 - PPH Prairie Pride Hackberry
 - SHL Skyline Honeylocust
 - AE Accolade Elm

- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - TCH Thornless Cocksbur Hawthorn
 - AFC Adams Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac

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- HCJ Hetzi Columnar Juniper (upright)
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- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
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 - CRD Cardinal Redtwig Dogwood
 - LLH Little Lime Hydrangea
 - GLS Gro Low Fragrant Sumac
 - NFS Neon Flash Spirea
 - MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylily
 - KKC Dwarf Catmint

PLANT ABBREVIATIONS

- 18 KFRG
- 1 GMSM
- 7 KKC
- 6 GLS

Paved Area: 21,766 SF
Identified Snow Storage Areas: 5,082 SF
Ratio Identified: 23.3%

SIGNAGE EXST. CONCRETE WALK
(SIGNS ARE SHOWN FOR REFERENCE ONLY AND
REQUIRE SEPARAYE REVIEW AND APPROVAL)



2746 South 166th Street
New Berlin, WI 53151
ph: 262-786-4640



KID'S CONNECTION

West Rawson Ave
Franklin, Wisconsin

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
6.1.20	ISSUE TO OWNER
6.5.20	REVISED PER OWNER
7.31.20	REVISED CIVIL
10.05.20	CITY COMMENTS
10.07.20	CITY COMMENTS
2.28.21	REVISED CIVIL
3.01.21	REVISED PLANTINGS

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

ENLARGED LANDSCAPE PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 20-035

DATE 3.01.21

SHEET NUMBER

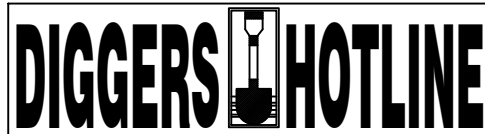
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ENLARGED LANDSCAPE PLAN

Scale: 1" = 10'0"

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE 811 or 1-800-242-8511 M.W. AREA 259-1181 WIS. STATUTE 182.075(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

Agrecol

Agrecol Native Nursery
10101 North Casey Road
Evansville, Wisconsin 53536
608.884.4640
www.agrecol.com

Rainwater Renewal Garden (Sunny Locations)

64 Plant Plugs per tray; Covers 75-125 SF
each planting plug to minimally measure: 2.5"x2.5"x3.5"

Botanical Name	Common Name	Quantity
<i>Agastache foeniculum</i>	Lavendar Hyssop	4
<i>Aster ericoides</i>	Heath Aster	4
<i>Blephilia hirsuta</i>	Hairy Wood Mint	4
<i>Carex comosa</i>	Bristly Sedge	4
<i>Carex hystericina</i>	Porcupine Sedge	4
<i>Carex vulpinoidea</i>	Brown Fox Sedge	4
<i>Echinacea purpurea</i>	Purple Coneflower	4
<i>Eupatorium perfoliatum</i>	Boneset	4
<i>Glyceria canadensis</i>	Rattlesnake Grass	4
<i>Iris virginica</i>	Souther Blue Flag Iris	4
<i>Liatris spicata</i>	Marsh Blazing Star	4
<i>Lobelia siphilitica</i>	Great Blue Lobelia	4
<i>Pycnanthemum virginianum</i>	Mountain Mint	4
<i>Solidago ohioensis</i>	Ohio Goldenrod	4
<i>Verbena hastata</i>	Blue Vervain	4
<i>Zizia aptera</i>	Heart-Leaved Golden Alexanders	4
Total		64.00

Approximate area of coverage: Total acreage of Bio-Filtration Area (SF):	1,985
Rainwater Renewal Garden (Sunny Locations) 2 trays of 32 plants per tray; (75-125 SF per kit coverage):	20 # of kits

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, impropely transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nurseries(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if present) from the top of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining of the burlap and remove the twine. Provide three slow release fertilizer for each tree planting.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 2/3 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spa edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clear definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant Preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Reto-tilt the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
 - Per 100 SF of bed area (Soil Amendment composition):
 - 3/4 CY Peat Moss or Mushroom Compost
 - 3/4 CY blended/pulverized Topsoil
 - 3/4 CY composted manure
 - In retio-tilled beds only, also include in above mixture:
 - 2 lbs Starter Fertilizer
- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only granular soil based according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid lightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #8 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing red canary grass is NOT acceptable as a mulch covering.

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	CONT.	ROOT	SPECIFICATION / NOTES	PLANT SPACING
ORNMAMENTAL GRASSES								
KFRG	29	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant		15-18"
POS	14	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant		18"
HERBACEOUS PERENNIALS								
HRD	40	Hemerocallis 'Happy Returns	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped		18"
KKC	24	Nepeeta faasseni 'Kit Cat'	Dwarf Catmint	#1	Pot	Full, well rooted plant, evenly shaped		24"
PLANT KEY QUANTITY BOTANICAL NAME COMMON NAME CONTAINER SIZE CONT. ROOT SPECIFICATION / NOTES PLANT SPACING								
LAWN								
LAWN	41610	Lawn Establishment Area / Grading Area		SF		Reinder's Deluxe 50 Seed Mix (800-785-3301)		
SWSM PLUGS								
SWSM	5350	Stormwater Seed Mix	see plan for area delineation	SF		Agrecol Infiltration Swale Seed Mx		
PLUGS	1985	Native Plug Plantings	see plan for area delineation	SF		Agrecol Rainwater Renewal Garden (Plant Plugs)		
	4690	Erosion Matting for sloped seeded areas	see plan for area delineation	SF		EroTec DS75 Erosion Control Blanket (or approved equal)		

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	CONT.	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Deciduous Shrub								
BRB	6	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	Cont.	Full, well rooted plant, evenly shaped		48"
GD	11	Cornus racemosa	Gray Dogwood	60"	Cont.	Full, well rooted plant, evenly shaped		60"
CRD	7	Cornus sericea 'Cardinal'	Cardinal Redtwig Dogwood	42"	Cont.	Full, well rooted plant, evenly shaped		48"
LLH	7	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	24"	Cont.	Full, well rooted plant, evenly shaped		42"
GLS	13	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	18-24"	Cont.	Full, well rooted plant, evenly shaped		42"
NFS	10	Spiraea bumalida 'Neon Flash'	Neon Flash Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped		60"
MKL	5	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	30"	Cont.	Full, well rooted plant, evenly shaped		60"
WV	8	Viburnum lantana 'Mohican'	Mohican Viburnum	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance		60"

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	CONT.	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Hardscape Materials								
	6	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 430 SF			TN	2" depth	
	270	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black DuraFlex Finish			LF		
	455	Landscape Fabric				SF		
	35	Shredded Hardwood Mulch (3" depth)	Area: 3,770 SF			CY	Bark Mulch; apply Preemergent after installation of mulch	
	23	Soil Amendments (2" depth)	Area: 3,770 SF			CY		
	145	Pulverized Topsoil (Lawn Area)	Area: 46,980 SF			CY		
	23	Pulverized Topsoil (2" over bed areas)	Area: 3,770 SF			CY		

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan- including the graphics and notations depicted therein- shall govern.

Seed Compositions:	Seed at rate of 150-200# per acre
Reinder's Deluxe 50 Seed Mix (800-785-3301):	
20% Kentucky Bluegrass (Good Quality)	
15% Newcourt Kentucky Bluegrass	15% Quebec Perennial Ryegrass
15% Ken Blue Kentucky Bluegrass	10% Fiesta III Perennial Ryegrass
25% Creeping Red Fescue	

NATIVE "PLUG" PLANTINGS

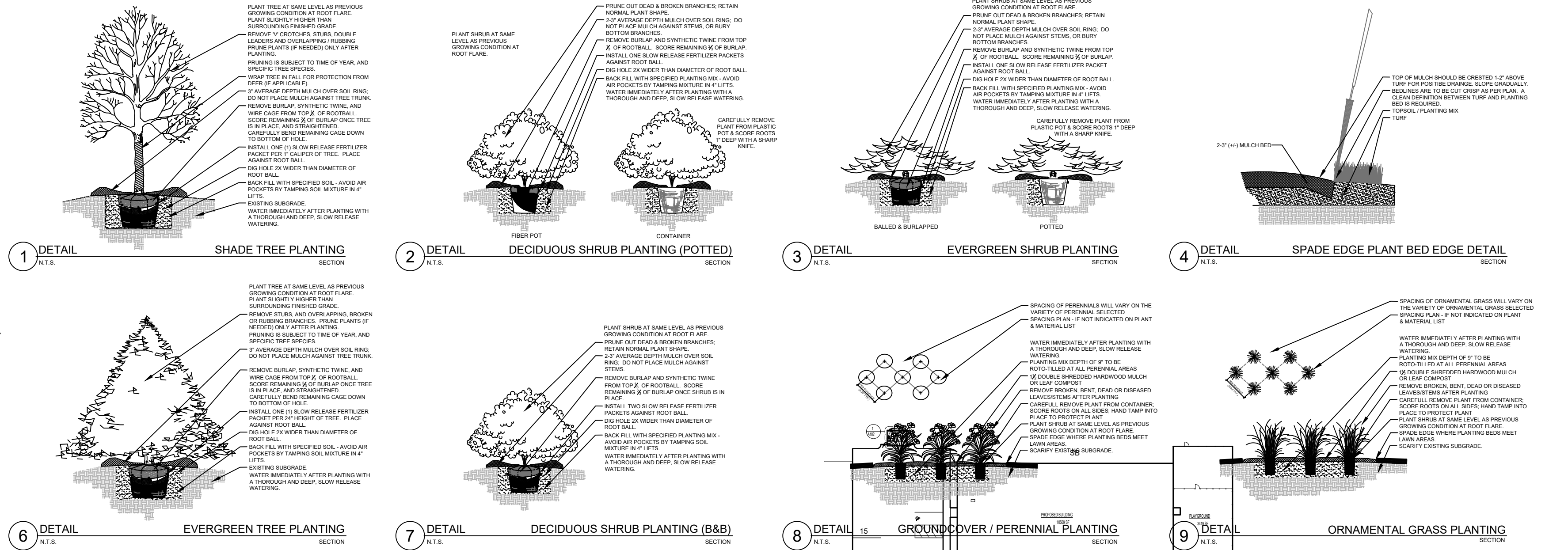
LANDSCAPE GENERAL NOTES

PLANT & MATERIAL SCHEDULE



HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.539.5733
david@wdvheller.com
www.wdvheller.com



PLANTING & HARDSCAPE DETAILS

ANDERSON ASHTON DESIGN / BUILD

2746 South 166th Street
New Berlin, WI 53151
ph: 262-786-4640



KID'S CONNECTION

West Rawson Ave
Franklin, Wisconsin

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
6.1.20	ISSUE TO OWNER
6.5.20	REVISED PER OWNER
7.31.20	REVISED CIVIL
10.05.20	CITY COMMENTS
10.07.20	CITY COMMENTS
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3.01.21	REVISED PLANTINGS

Information contained herein is based on survey information, field inspection, and believed to be accurate.

LANDSCAPE DETAIL, NOTES, & SCHEDULES

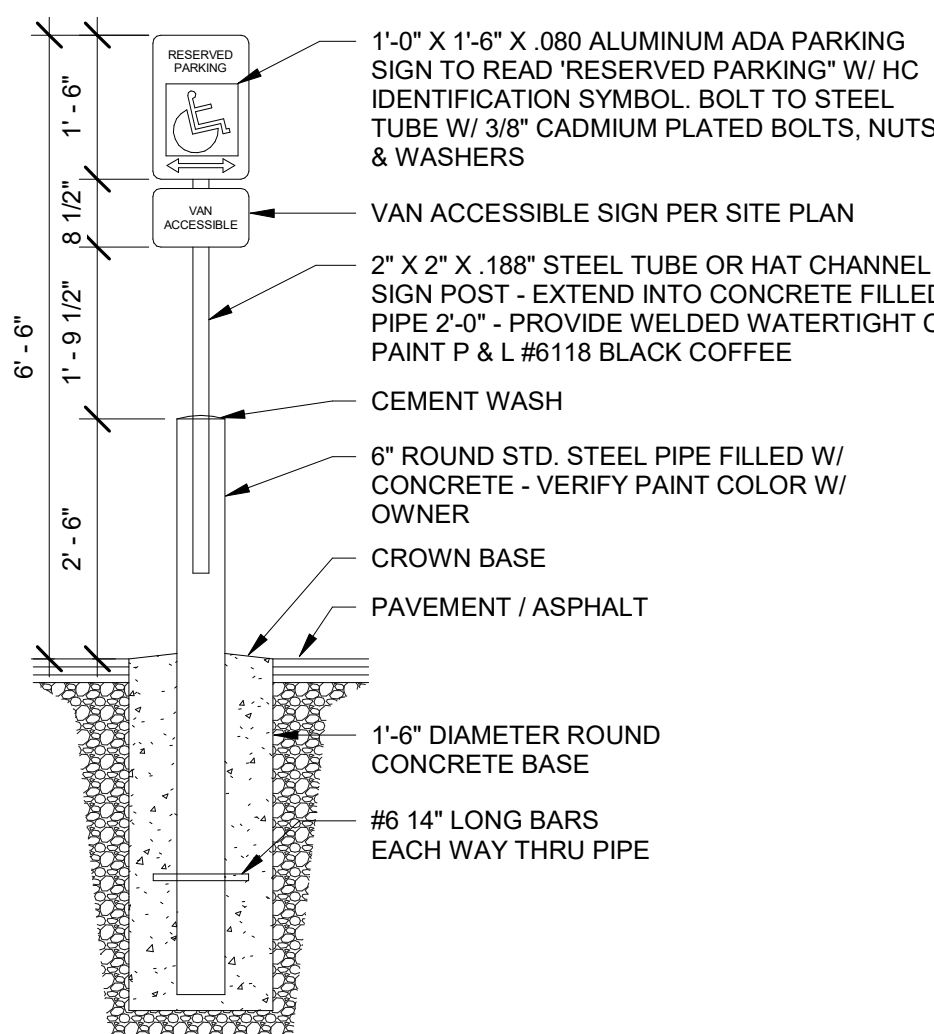
PROJECT MANAGER	WDH
PROJECT NUMBER	20-035
DATE	3.01.21
SHEET NUMBER	

L 1.2

ZONING	
ZONED:	B4 - S 27th Street Mixed Use Commercial District
MIN. BUILDING SETBACKS (FT):	FRONT & STREET YARD: 30' SIDE YARD @ CORNER: 30' INTERIOR SIDE YARD: 10' REAR YARD: 30'
PAVING SETBACKS (FT):	FRONT & STREET YARD: 10' INTERIOR SIDE YARD: 10' REAR YARD: 10'
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: 45' ACCESSORY BUILDING: 35'
PARKING	
PARKING STALLS:	
TOTAL STALLS REQUIRED (3 X LIC. CHILD PLUS 6 FOR QUEUE):	AS CALCULATED 47
TOTAL ACCESSIBLE STALLS REQUIRED: (1) VAN ISLE 9' (1) STANDARD 5' ISLE	2
TOTAL STALLS PROPOSED:	47
TOTAL ACCESSIBLE STALLS PROPOSED:	(2)

ASPHALT PAVING WORK

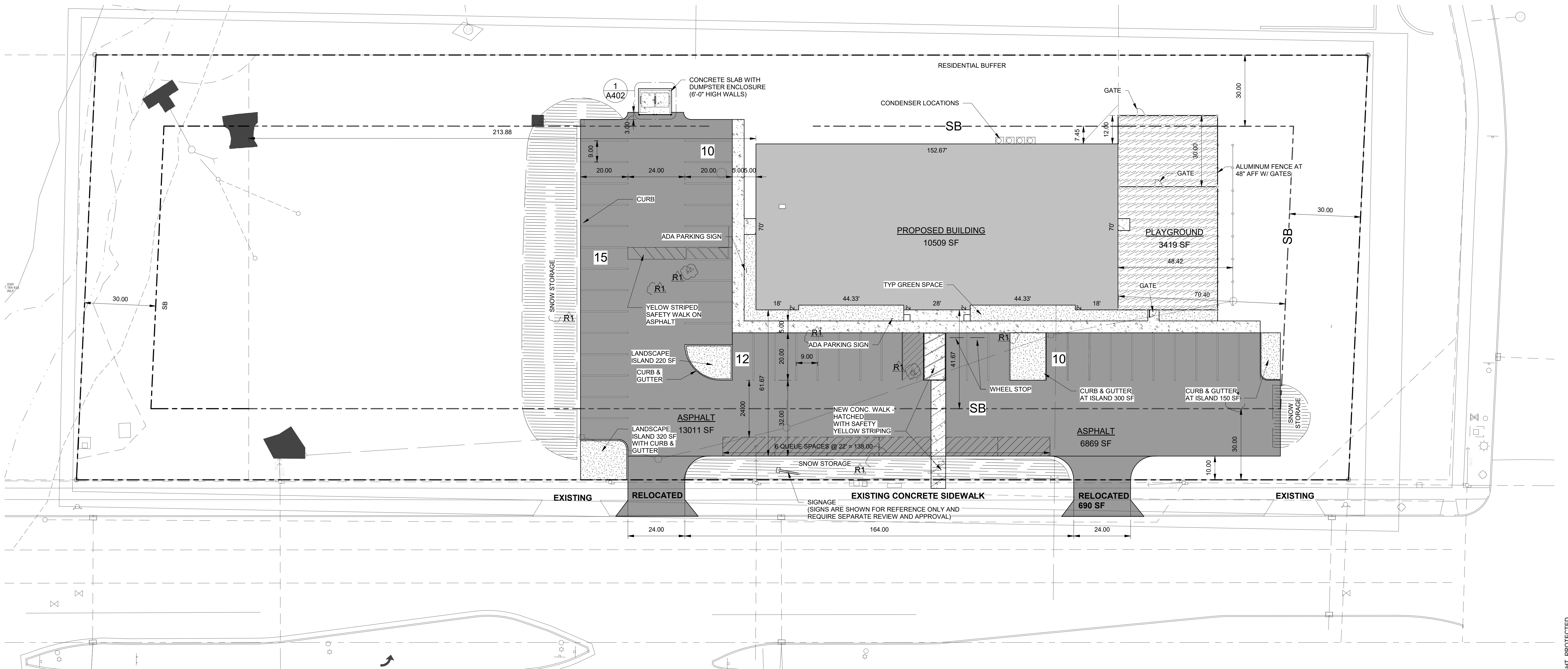
- FURNISH AND INSTALL A 8" CRUSHED AGGREGATE BASE AT THE ASPHALT PAVING PARKING AREAS.
- FINE GRADE AND COMPACT STONE BASE.
- FURNISH AND INSTALL A 4" (TWO LIFT) AVG. THICKNESS COMPACTED ASPHALT PAVEMENT AT TRUCK/DRIVE AREAS
- FURNISH AND INSTALL ALL PARKING STALL STRIPING, H.C. SYMBOLS, & H.C. SIGNS ON METAL POSTS.



ADA PARKING SIGN

GENERAL SITE NOTES:

- VISIT JOB SITE TO VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. MEET WITH GENERAL CONTRACTOR PRIOR TO STARTING.
- REMOVE EXISTING TREES ALONG WITH ROOTS AS REQUIRED @ PROPOSED BUILDING AND PAVING AREAS.
- STRIP AND REMOVE ALL REMAINDER VEGETATION & X"± TOP SOIL FROM WITHIN THE BUILDING AND PAVING AREAS. STOCKPILE REUSABLE, UNCONTAMINATED TOPSOIL AND PROVIDE FOR ALL EXCESS MATERIAL TO BE TRUCKED OFF SITE. RESPREAD SALVAGED TOPSOIL OVER DISTURBED AREAS TO APPROX. 4" DEPTH AFTER CONSTRUCTION IS FINISHED.
- CUT (OR FILL) THE BUILDING AREA +5.0' BEYOND PERIMETER OF THE BUILDING
- CUT THE FLOOR AREA TO THE SUB-GRADE ELEVATION. (THE PERIMETER FOUNDATION FOOTINGS TO BE EXCAVATED BY CONC. CONTR. TO THE REQUIRED DEPTHS PER THE FOUNDATION PLAN). BENCH GRADE BACK PER CURRENT OSHA CODE STANDARDS PART #1926 IF REQ'D BY THE G.C. FOR THE PROJECT
- PROOF ROLL BUILDING AREA FOR ANY SOFT MATERIALS. REPORT ANY SOFT SPOTS TO THE GENERAL CONTRACTOR.
- ALL FILL MATERIAL FOR BRINGING GRADES UP TO SUB-GRADE ELEVATIONS SHALL BE GRANULAR OR CLEAN COMPACTABLE CLAY AND APPROVED BY ANDERSON-ASHTON.
- ALL EXTERIOR BACKFILL MATERIAL FOR STANDARD FROST FOUNDATION WALLS SHALL BE CLEAN COMPACTABLE CLAY. INTERIOR BACKFILL MATERIAL SHALL BE 3/4" CLEAR STONE.
- ALL BACKFILL & FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY ANDERSON-ASHTON PRIOR TO PLACEMENT. ALL FILL MATERIALS SHALL BE COMPACTED IN 8" MAX. LIFTS @ 95% MODIFIED PROCTOR.
- PREPARE THE PAVING AREA AS SHOWN ON THE CONSTRUCTION DOCUMENTS TO ± 0.10'
- PREPARE ALL SWALES AS SHOWN ON PLAN TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION.
- RETURN AFTER THE BUILDING IS ENCLOSED & FINISH GRADE AND TOPSOIL AROUND PERIMETER OF BUILDING. ALSO, FINISH GRADE AROUND ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND UTILITY TRENCHES.
- GRADING CONTRACTOR SHALL FIX AND REPAIR PARKING AREA AND DRIVES AS REQUIRED AFTER UTILITY AND OTHER WORK THAT MAY DISTURB THE SOIL AND/OR GRAVEL BASE BEFORE PAVING BEGINS. GRADING CONTRACTOR SHALL SMOOTH DRUM ROLL ALL PARKING AREAS AND DRIVES BEFORE PAVING BEGINS.
- GRADING CONTRACTOR SHALL BE PREPARED TO HANDLE ALL SPOILS WHICH MAY INCLUDE ON SITE STORAGE AND TRUCKING OFF SITE. GRADER TO GET PRIOR APPROVAL FROM G.C. FOR PLACEMENT OF STOCKPILE SITES PRIOR TO STARTING STRIPPING OF TOPSOIL.
- AWARDED GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE LABOR AND MATERIAL NEEDED FOR SUPPLYING ANY TRAFFIC CONTROL BARRIERS OR SIGNS AS NEEDED PER LOCAL OR D.O.T. CODES & REGULATIONS DUE TO ANY ROAD WORK OUTSIDE OF PROPERTY LINES
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MIN DISTANCE OF 10' MEASURED PERP. TO THE FACE OF THE FOUNDATION WALL.

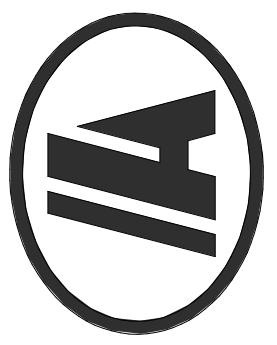


1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

REVISIONS

R1	10/2/2020	RELOCATE ADA STALL - WHEEL STOP - ADA SIGN - PEDESTRIAN WALKWAY - SNOW STORAGE
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ANDERSON ASHTON
DESIGN / BUILD
2748 South 188th Street
Greenfield, WI 53222
Phone: (262) 222-1100
WWW.ANDERSONASHTON.COM

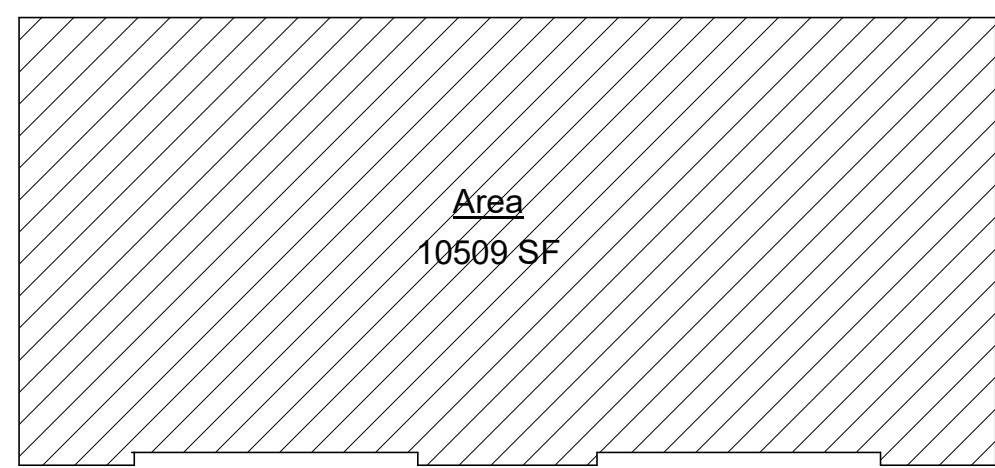


PROPOSED BUILDING FOR:
KIDS CONNECTION
3130 RAWSON AVE. FRANKLIN, WI

DRAFTED	UH
BY	NTL-F
DESIGNER	NTL-F
ISSUE:	3/4/2021 2:26:43 PM
SUBMITTAL	3-5-2021
DATE:	
DESIGN NO.	
CONSTRUCTION NO.	3859
ARCHITECTURAL SITE PLAN	

AS01

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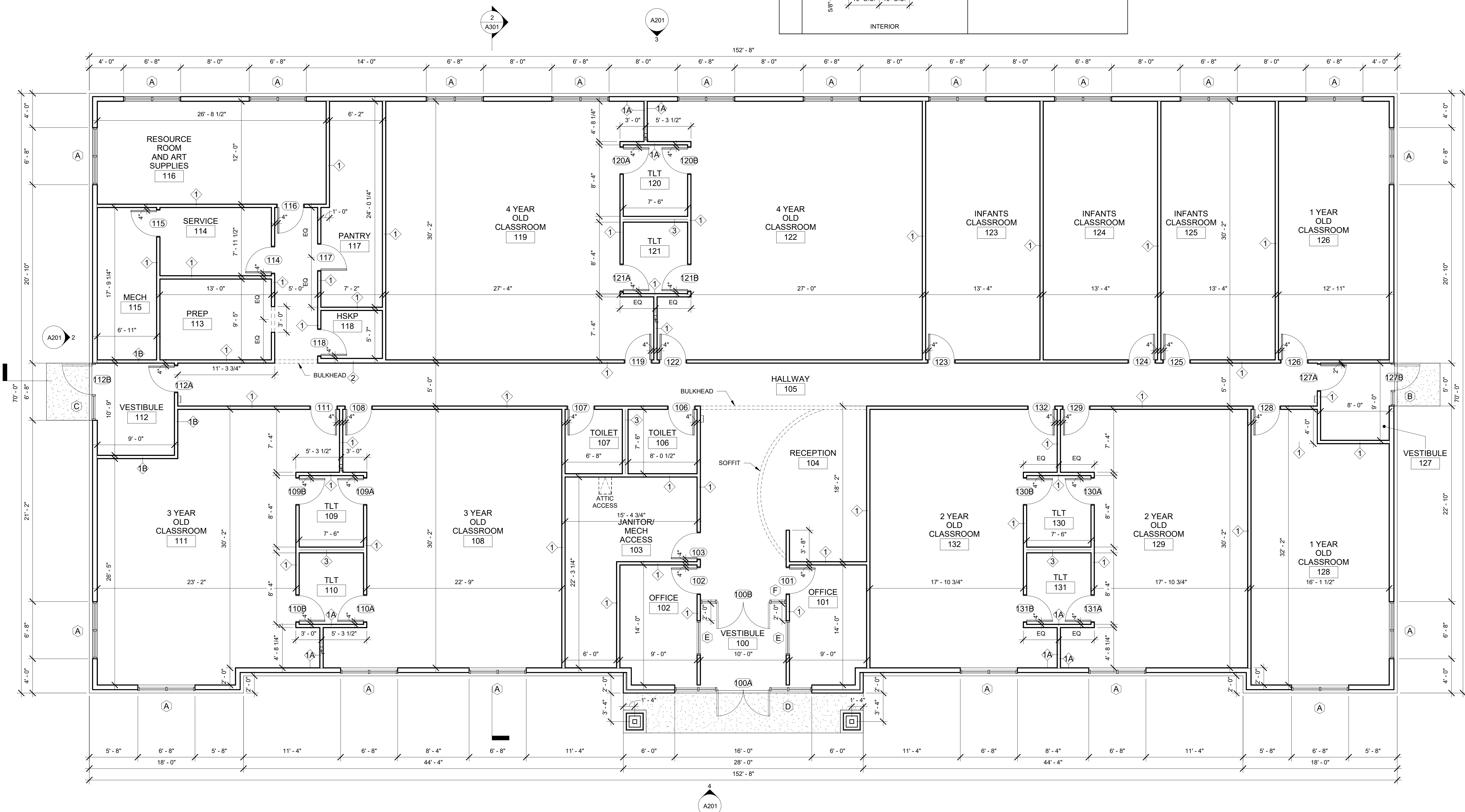
BUILDING AREA LEGEND

Gross Building Area

WALL SCHEDULE

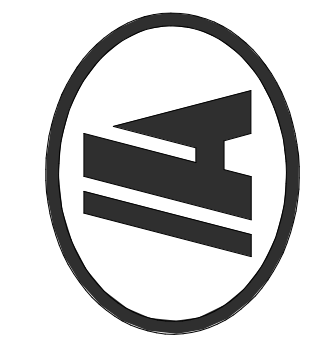
TAG	DETAIL	DESCRIPTION	TAG	DETAIL	DESCRIPTION
1		PARTITION WALL - 5/8" GYPSUM WALL BOARD - 2X4 STUDS @ 16" ON CENTER - 3-1/2" BLANKET INSULATION - 5/8" GYPSUM WALL BOARD - EXTEND WALL TO WOOD TRUSS ABOVE	3		PLUMBING WALL - 5/8" GYPSUM WALL BOARD - DOUBLE 2X4 STUDS @ 16" ON CENTER - (2) LAYERS OF 3-1/2" BLANKET INSULATION - 5/8" GYPSUM WALL BOARD - EXTEND WALL TO WOOD TRUSS ABOVE
1A		- COLORED FRP ON CLASSROOM SIDE TO 4'-0" AFF - INPRO OR EQUAL (COLOR: TBD)			
1B		- TILE ON VESTIBULE SIDE (SEE SCHEDULE FOR DETAILS) ON TILE BACKER ON 2X4 STUDS			
2		PLUMBING WALL - 5/8" GYPSUM WALL BOARD - 2X6 STUDS @ 16" ON CENTER - 5-1/2" BLANKET INSULATION - 5/8" GYPSUM WALL BOARD - EXTEND WALL TO WOOD TRUSS ABOVE			

NOTE:
 1. CARPENTER TO INCLUDE SLIP TRACK @ ROOF TRUSSES FOR ALL FULL HEIGHT INTERIOR WALLS
 2. CARPENTER TO PROVIDE FOR MOVEMENT AT PERIMETER ROOF WALL DRYWALL JUNCTIONS
 3. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT WET/ DAMP LOCATIONS
 4. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON APPLIED WALL FINISHES
 5. CARPENTER TO PROVIDE BLOCKING AS NEEDED FOR BATHROOM ACCESSORIES & CUBBIES/COATS
 6. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION ON SHEAR WALLS



REVISIONS

ANDERSON-ASHTON, INC.
 DESIGN /
 8700 North 16th
 Shorewood, WI
 WWW.ANDERSONASHTON.COM



PROPOSED BUILDING FOR:
KIDS CONNECTION
 3130 RAWSON AVE, FRANKLIN, WI

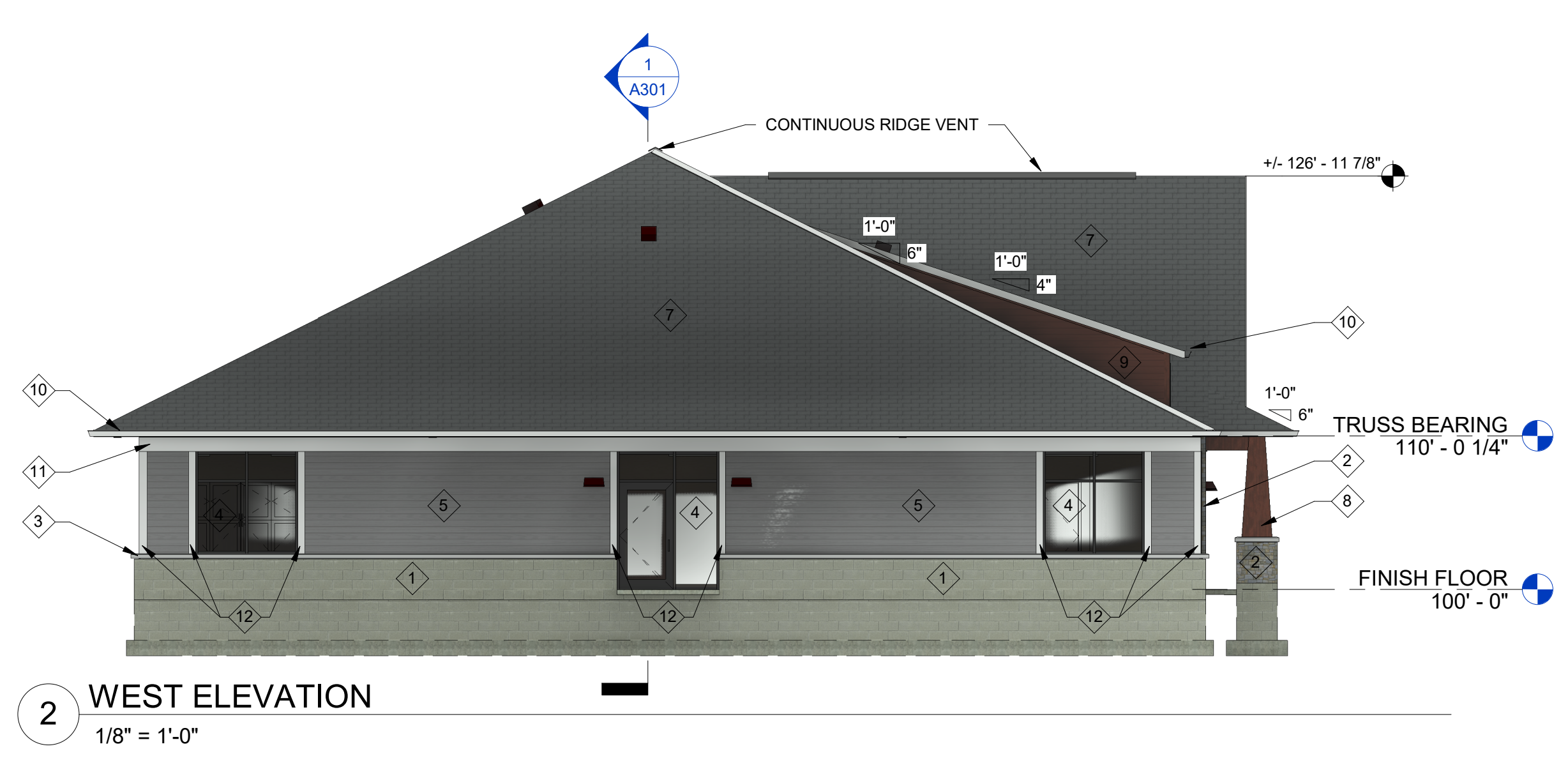
DRAFTED BY: UH
 DESIGNER: NTL-F
 ISSUE: 3/4/2021 2:14:25 PM
 SUBMITTAL DATE: 3-5-2021
 DESIGN NO.: ..
 CONSTRUCTION NO.: 3859

DIMENSION FLOOR PLAN

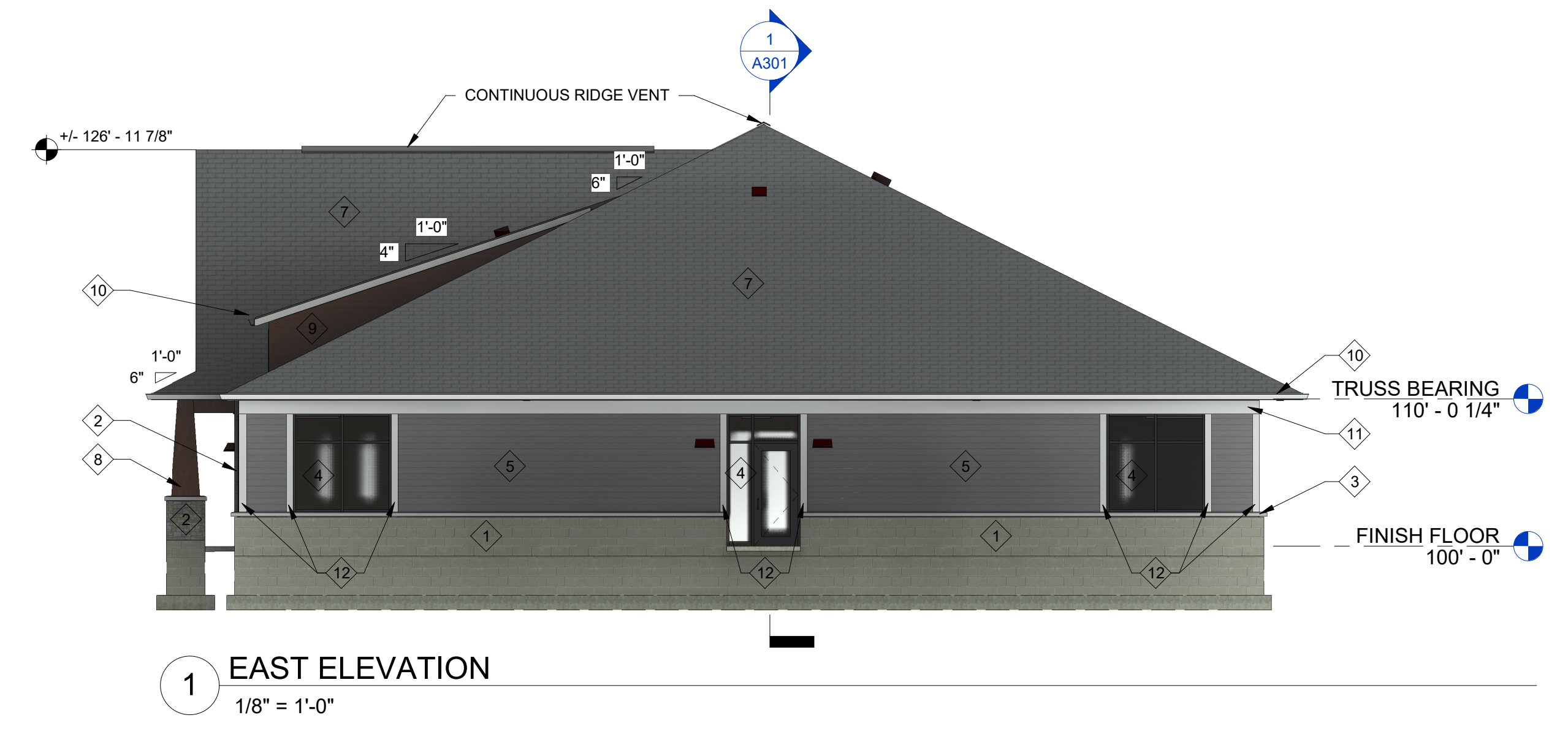
A101

1 WALL DIMENSION FLOOR PLAN
 3/16" = 1'-0"

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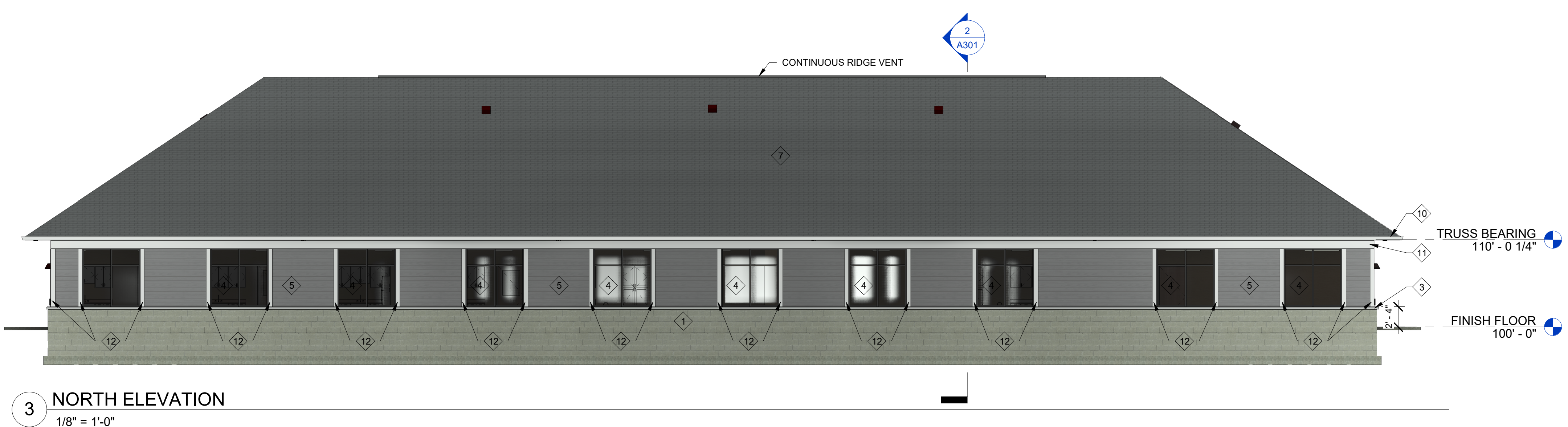
2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



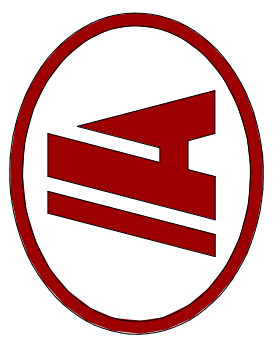
4 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V)
1	4" LIGHT COLORED MASONRY VENEER	NATURAL
2	4" LIGHT COLORED STONE VENEER	TBD
3	CAST STONE SILL/LINTEL	LIMESTONE
4	PREFINISHED ALUMINUM FRAMED WINDOW W/ CLEAR LOW-E 1" INSULATED GLAZING	DARK BRONZE
5	LP SMARTSIDE PREFINISHED LAP SIDING	PELICAN
6	LP SMARTSIDE PREFINISHED SHAKE SIDING (CEDAR TEXTURE)	PELICAN
7	GAF ELK ASPHALT SHINGLES	PEWTER GRAY
8	WOOD BEAMS CLAD IN LP SMARTSIDE PREFINISHED PANELS	MAHOGANY
9	LP SMARTSIDE HORIZONTAL LAP SIDING (CEDAR TEXTURE)	MAHOGANY
10	PREFINISHED GUTTER AND DOWNSPOUT	FROST
11	LP 540 (11.21" X 0.910")	--
12	LP 540 (5.5" X 0.910")	--
13	LP 540 (3.5" X 0.910")	--
14	LP VERTICAL SIDING (ORIENT TO LONG DIMENSION) (15.94" X 0.315")	--
15	PREFINISHED ALUMINUM FRAMED SPANDREL GLAZING	--

ANDERSON-ASHTON, INC.
DESIGN / ENGINEERING
166th Street, WI
Franklin, WI
WWW.ANDERSONASHTON.COM



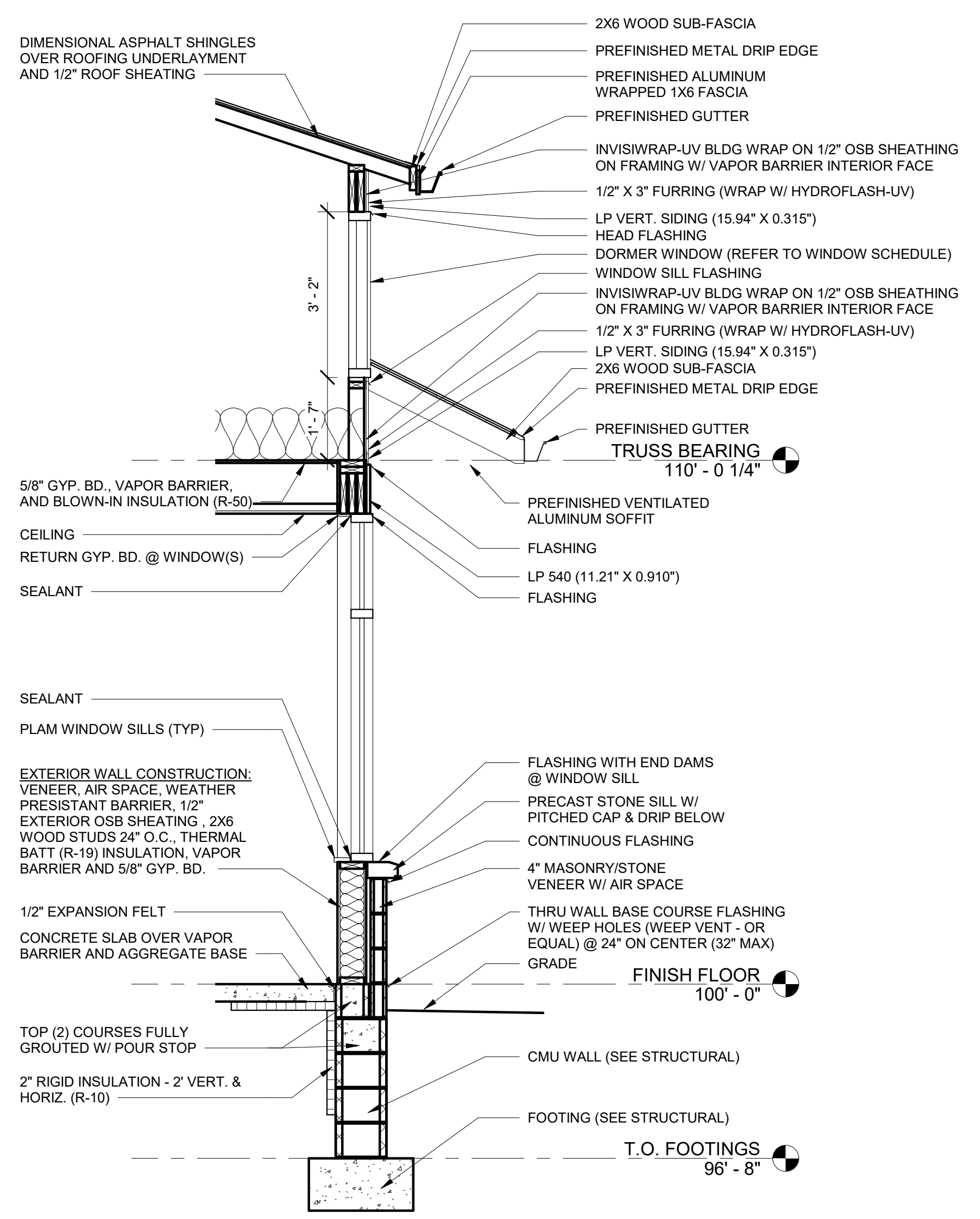
PROPOSED BUILDING FOR:
KIDS CONNECTION
3130 RAWSON AVE, FRANKLIN, WI

DRAFTED BY: UH
DESIGNER: NTL-F
ISSUE: 3/5/2021 8:56:00 AM
SUBMITTAL DATE: 3-5-2021
DESIGN NO.: --
CONSTRUCTION NO.: 3859

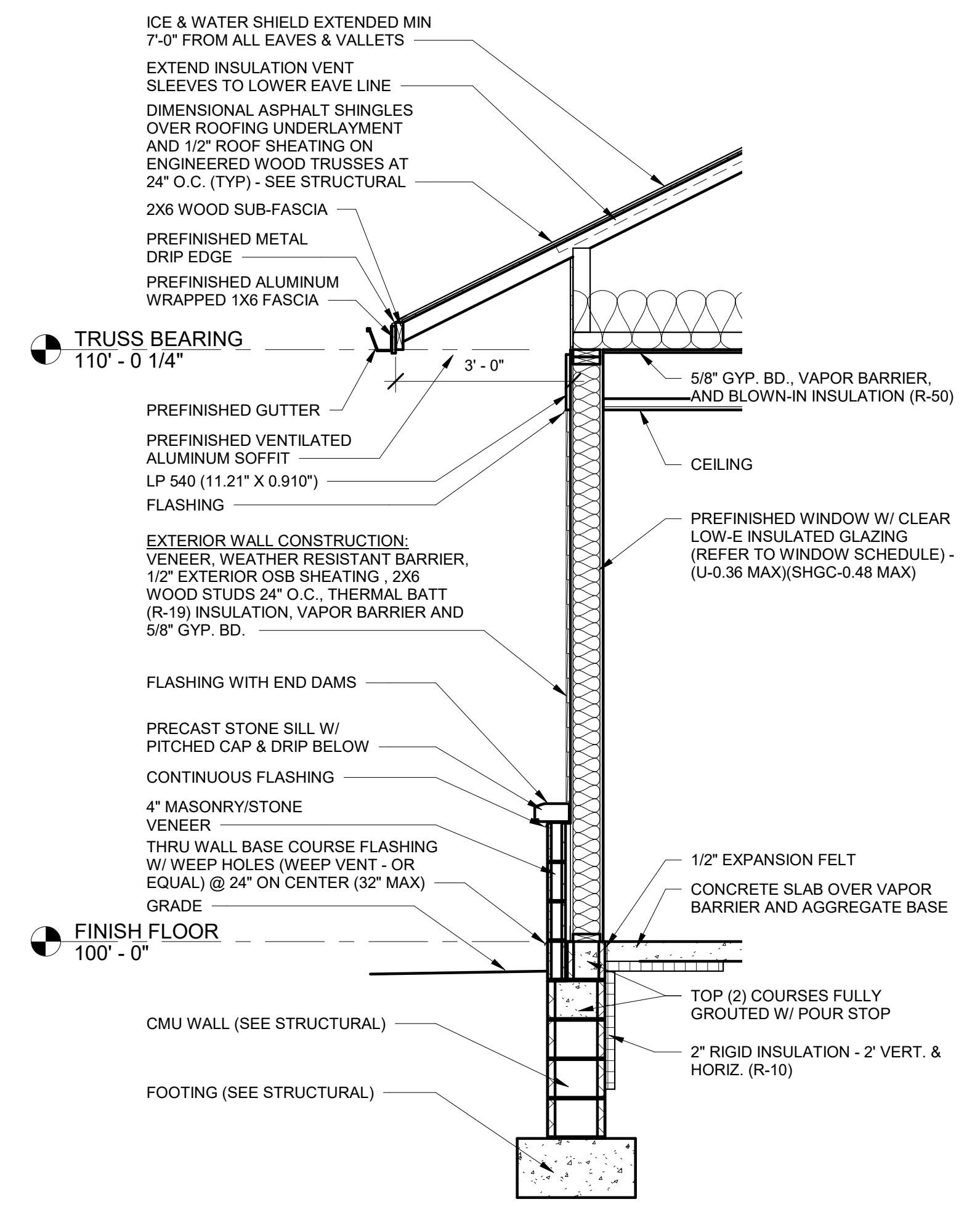
EXTERIOR ELEVATIONS

A201

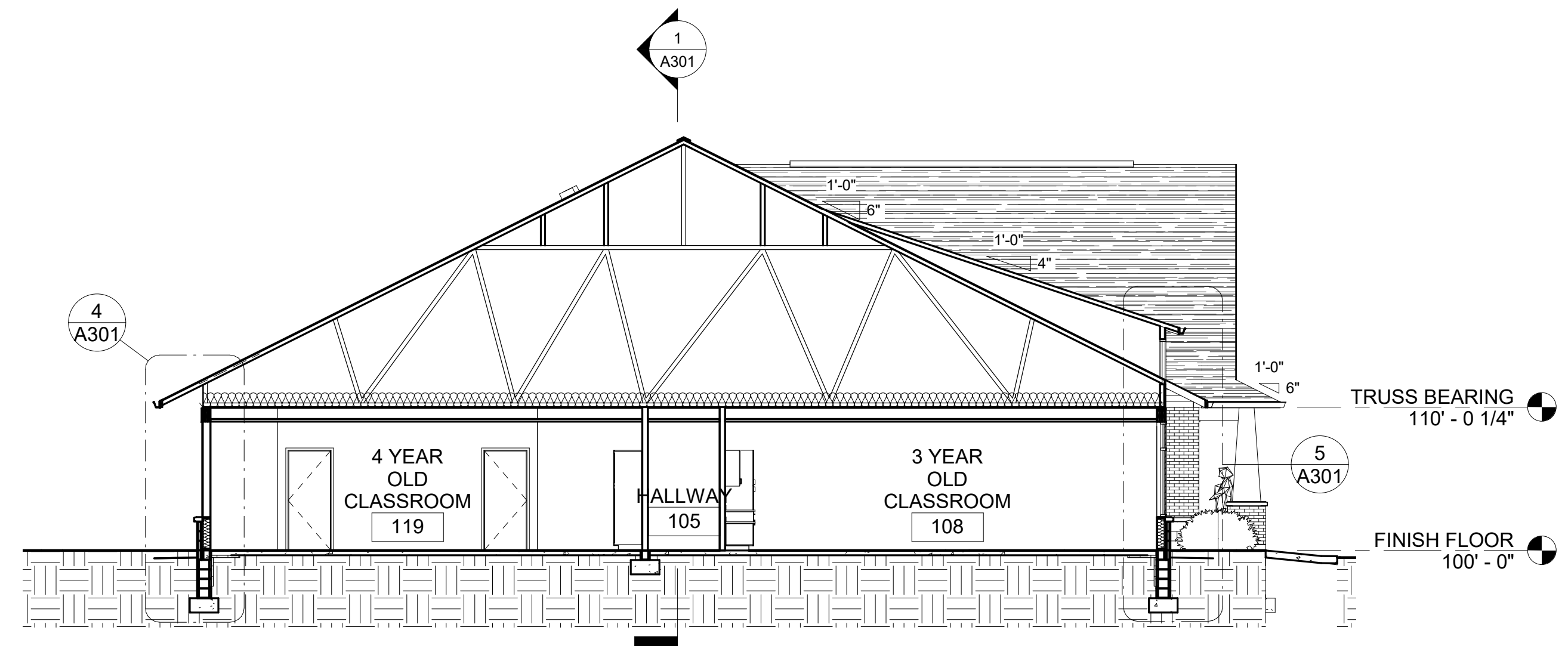
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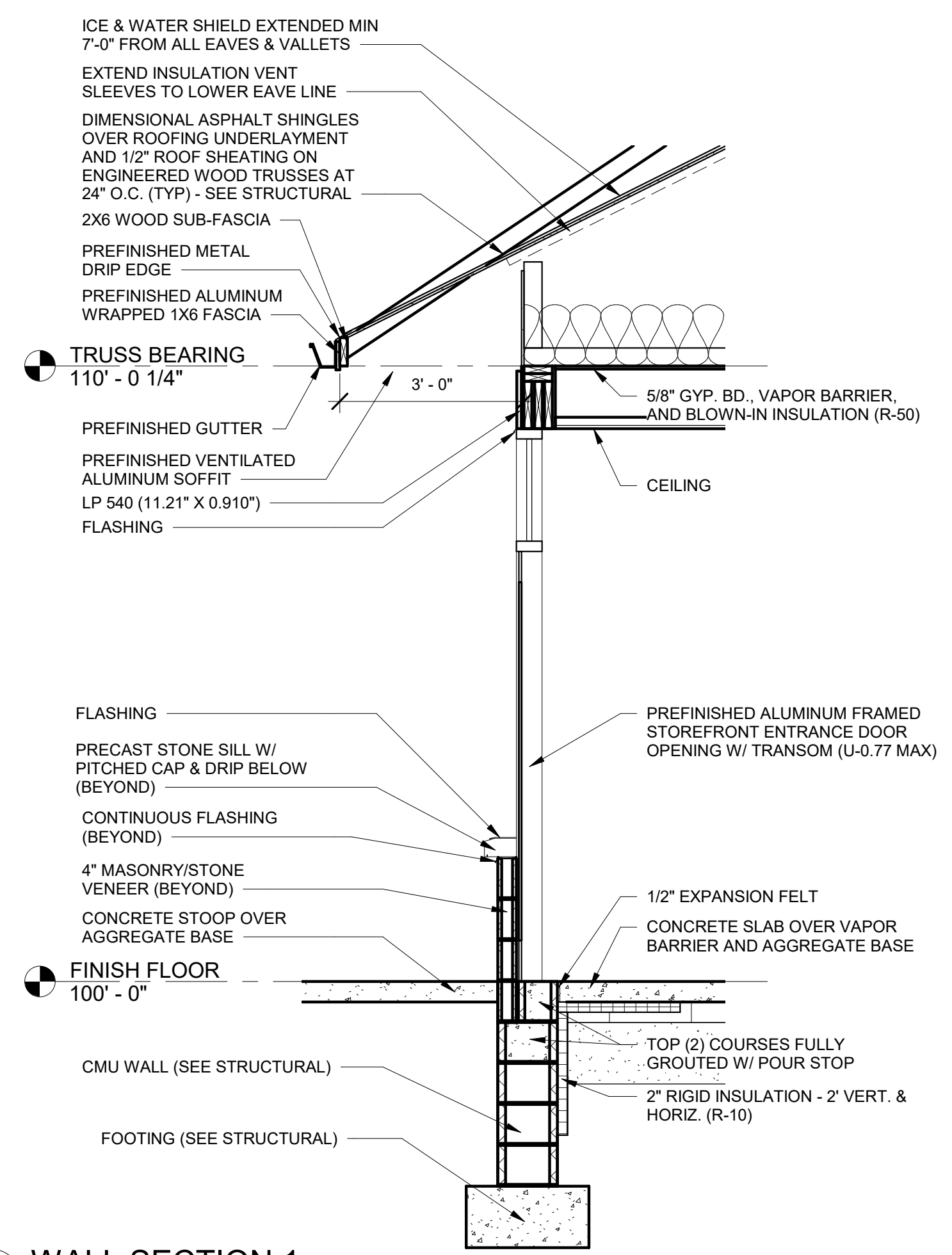
5 WALL SECTION 3
 1/2" = 1'-0"



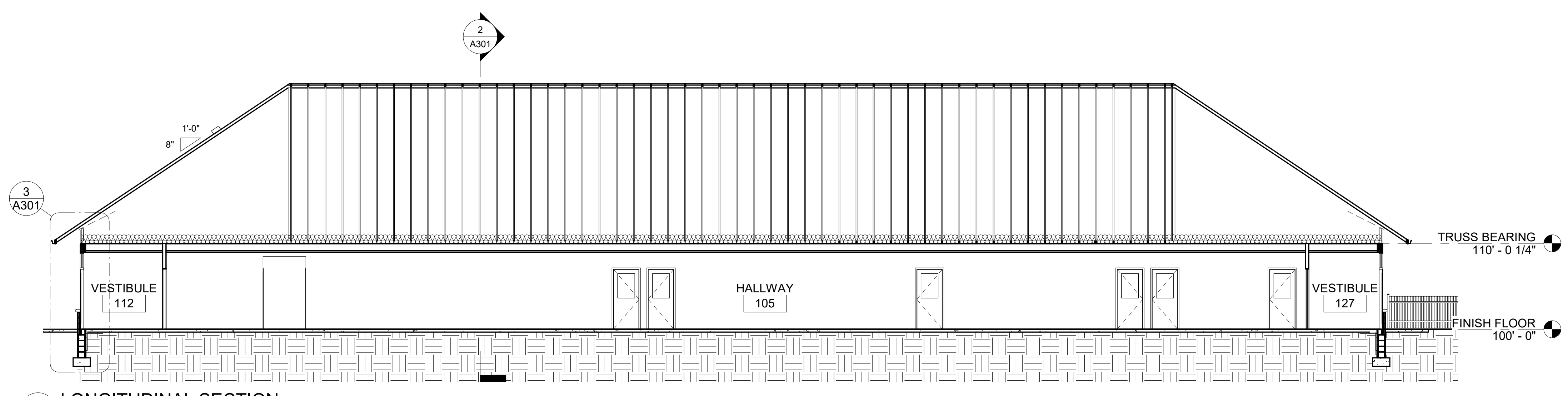
4 WALL SECTION 2
 1/2" = 1'-0"



2 TRANSVERSE SECTION
 1/8" = 1'-0"

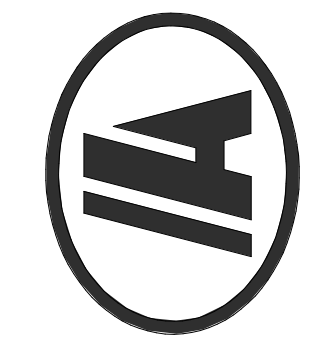


3 WALL SECTION 1
 1/2" = 1'-0"



1 LONGITUDINAL SECTION
 1/8" = 1'-0"

ANDERSON-ASHTON, INC.
 DESIGN / ENGINEERING
 1600 North 10th Street, Suite 100
 Franklin, WI 53123
 WWW.ANDERSONASHTON.COM



PROPOSED BUILDING FOR:
KIDS CONNECTION
 3130 RAWSON AVE., FRANKLIN, WI

DRAFTED BY: UH
 DESIGNER: NTL-F
 ISSUE: 3/5/2021 8:22:26 AM
 SUBMITTAL DATE: 3-5-2021
 DESIGN NO.: --
 CONSTRUCTION NO.: 3859

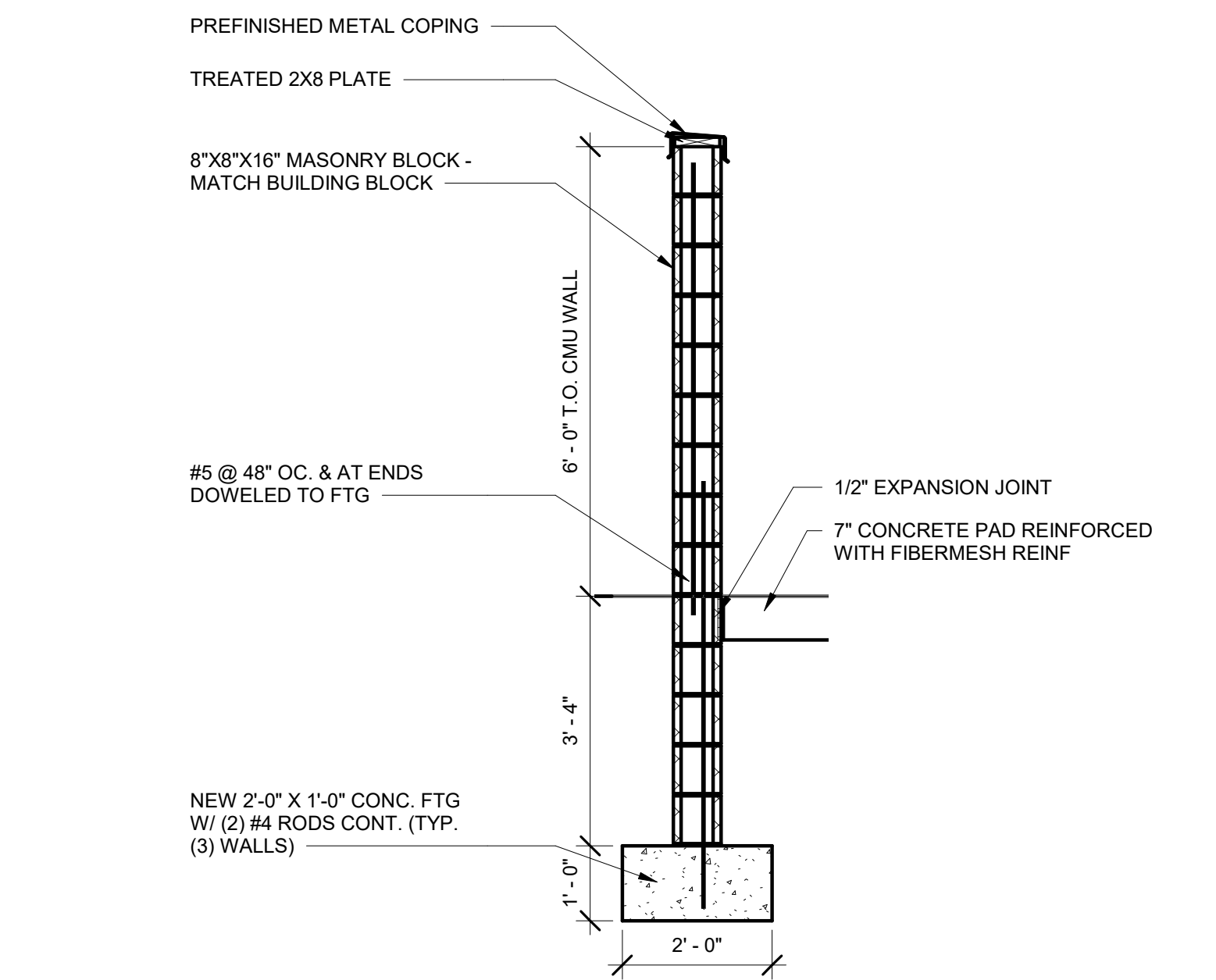
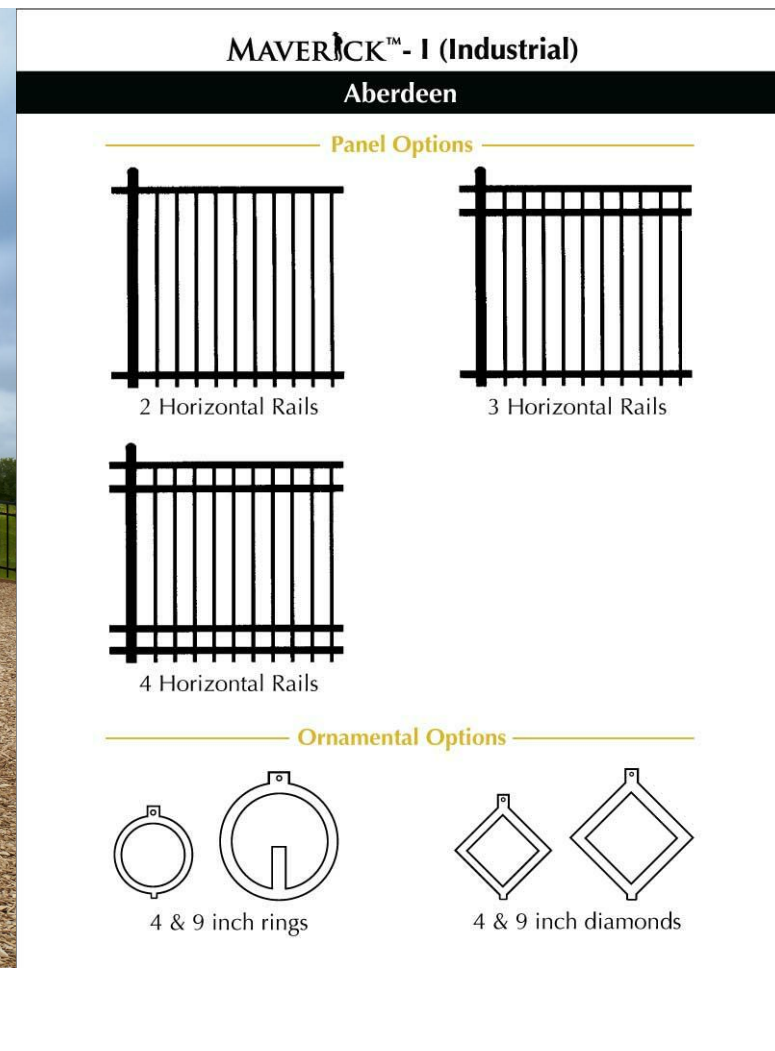
BUILDING & WALL SECTIONS

A301

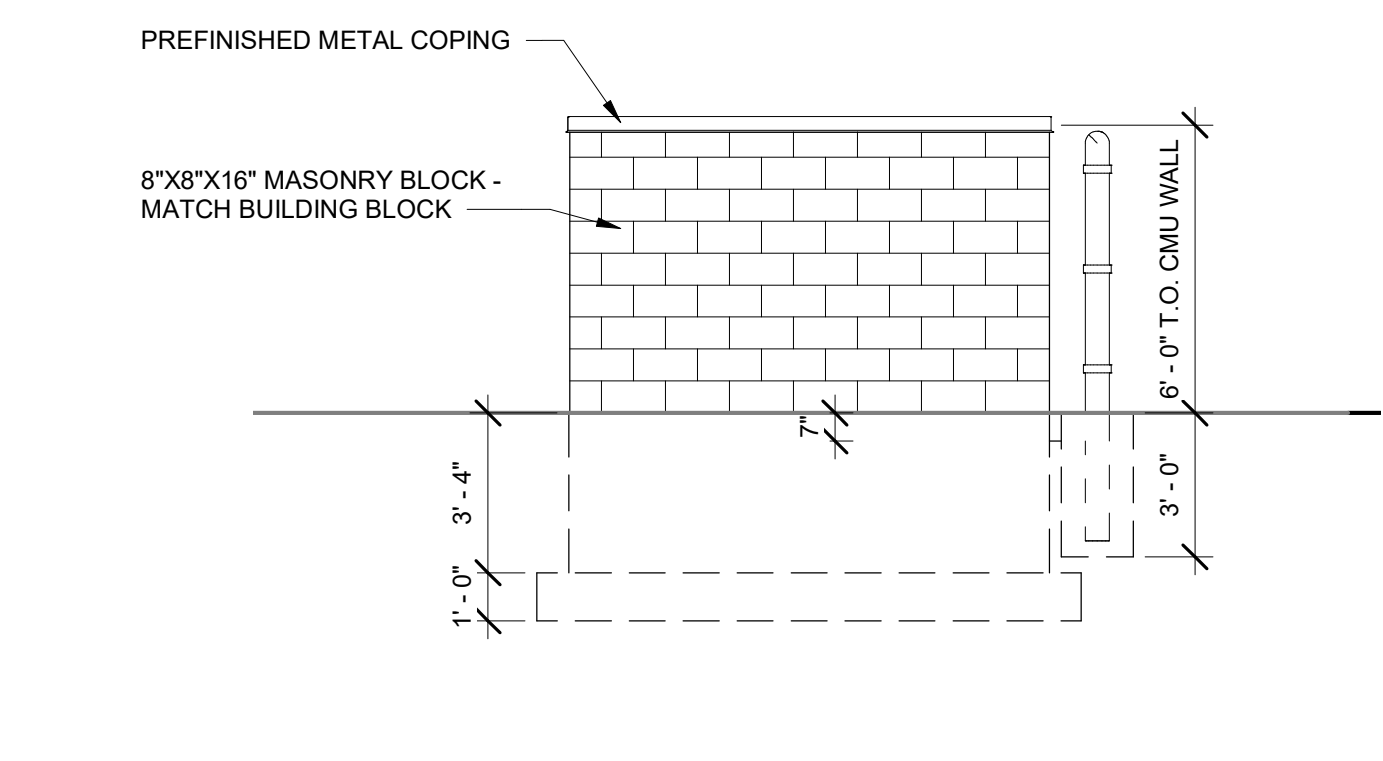
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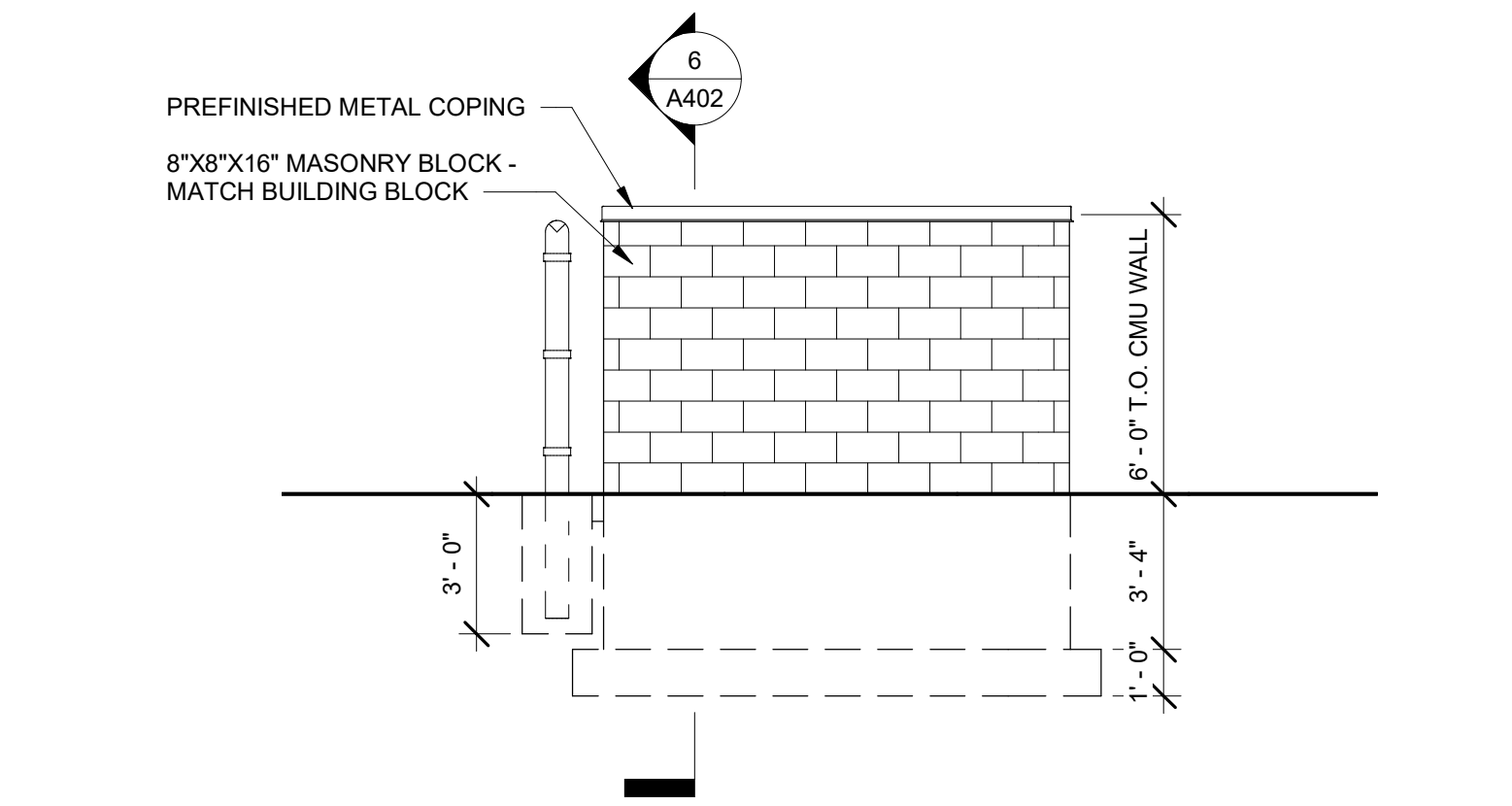
DECORATIVE FENCE



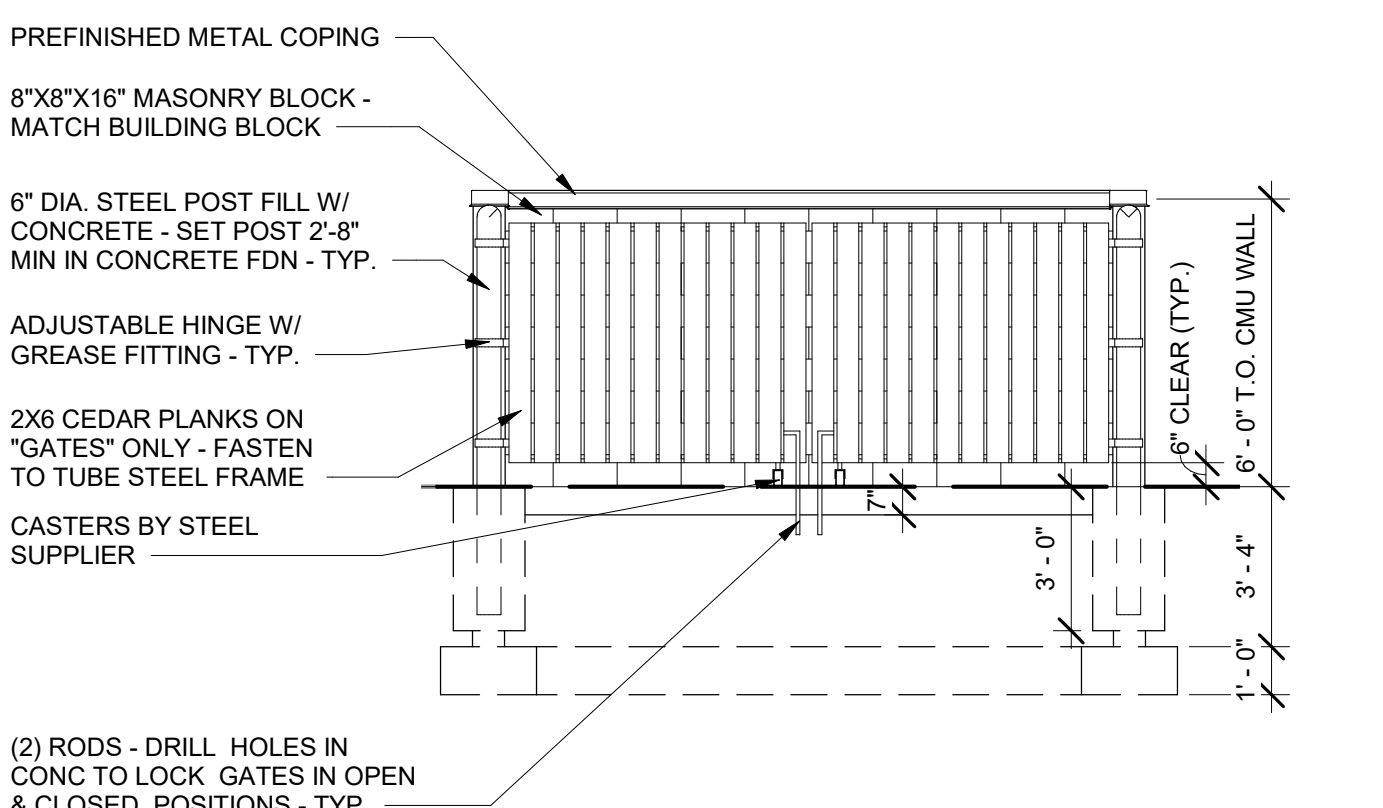
6 DUMPSTER WALL SECTION
1/2" = 1'-0"



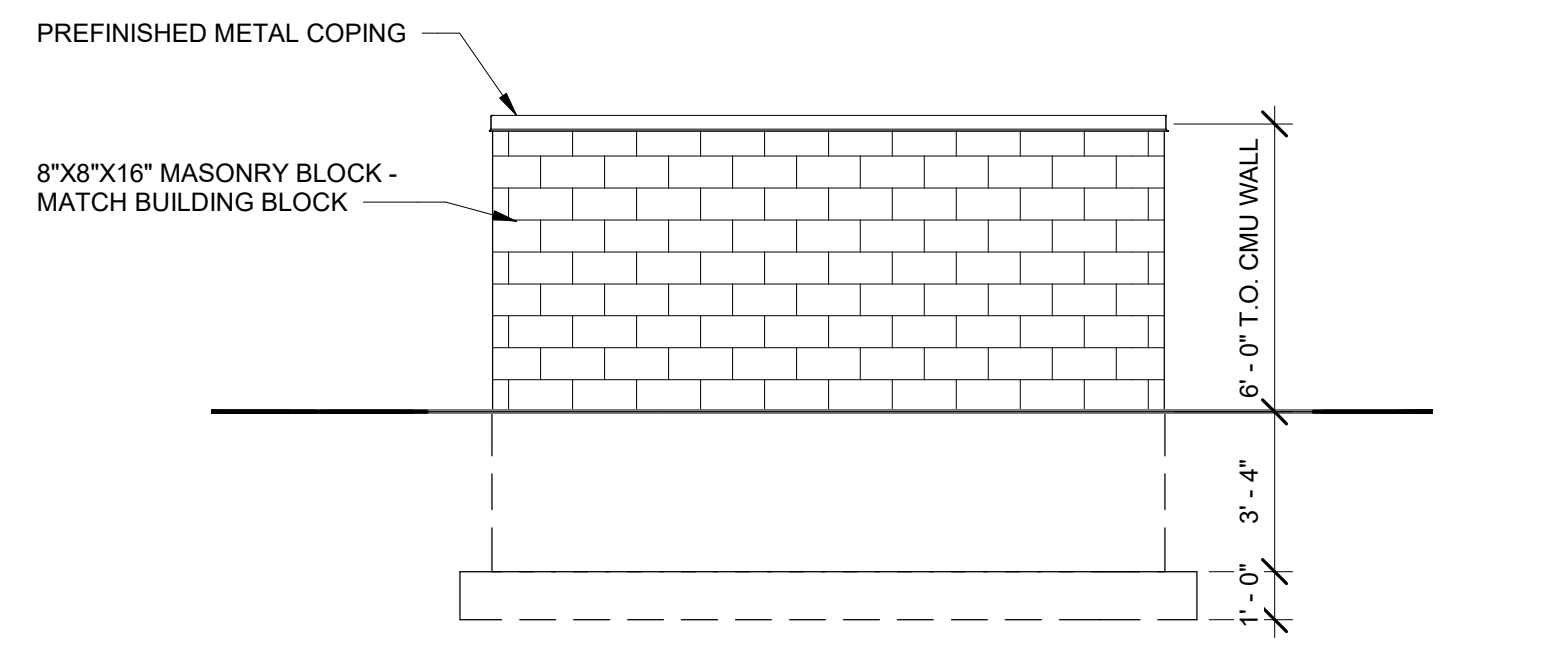
3 DUMPSTER ENCLOSURE WEST ELEVATION
1/4" = 1'-0"



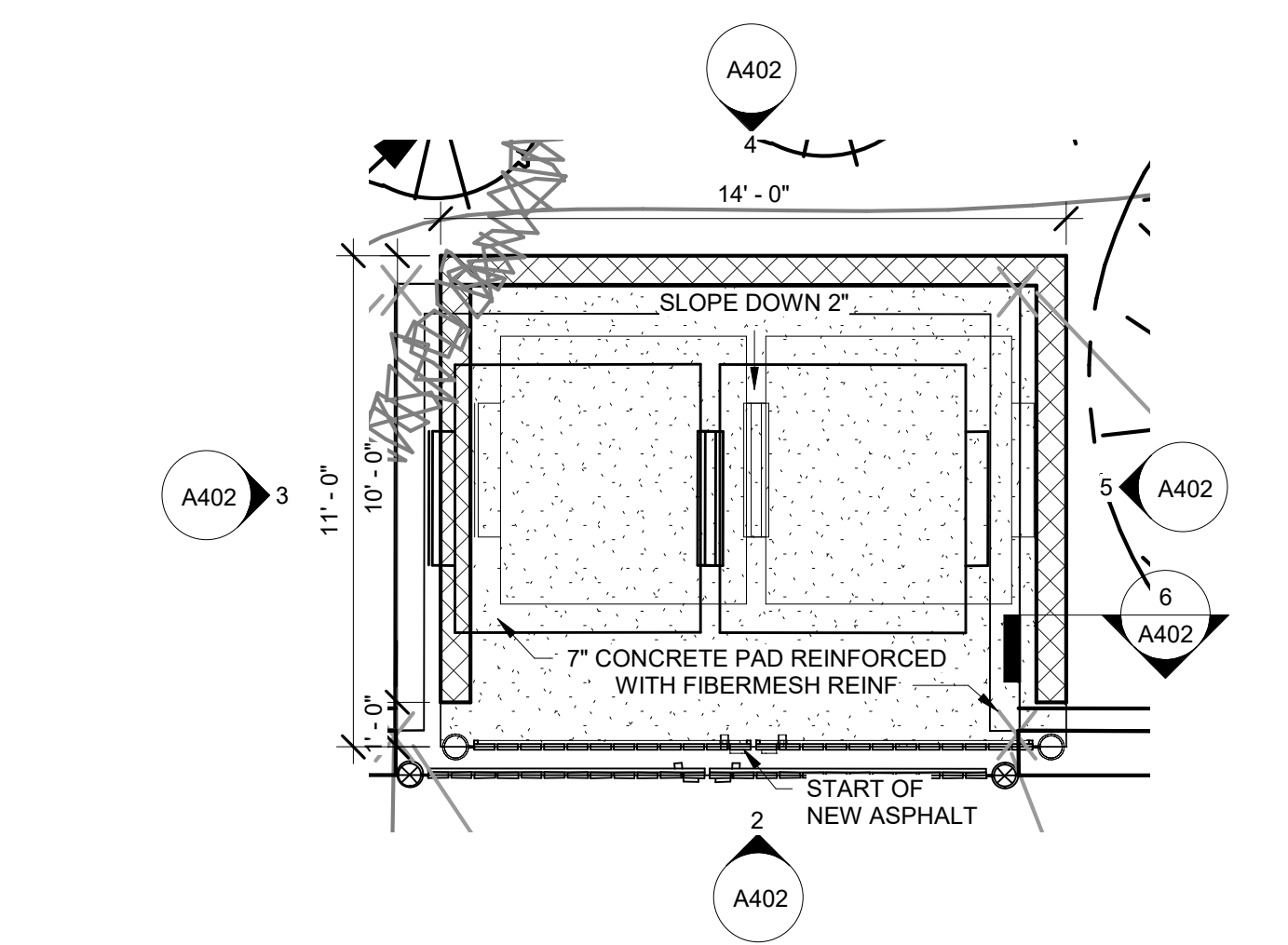
5 DUMPSTER ENCLOSURE EAST ELEVATION
1/4" = 1'-0"



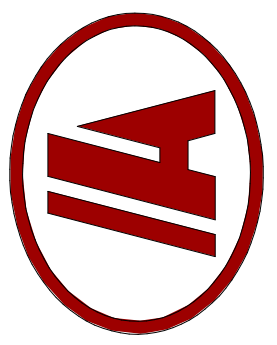
2 DUMPSTER ENCLOSURE SOUTH ELEVATION
1/4" = 1'-0"

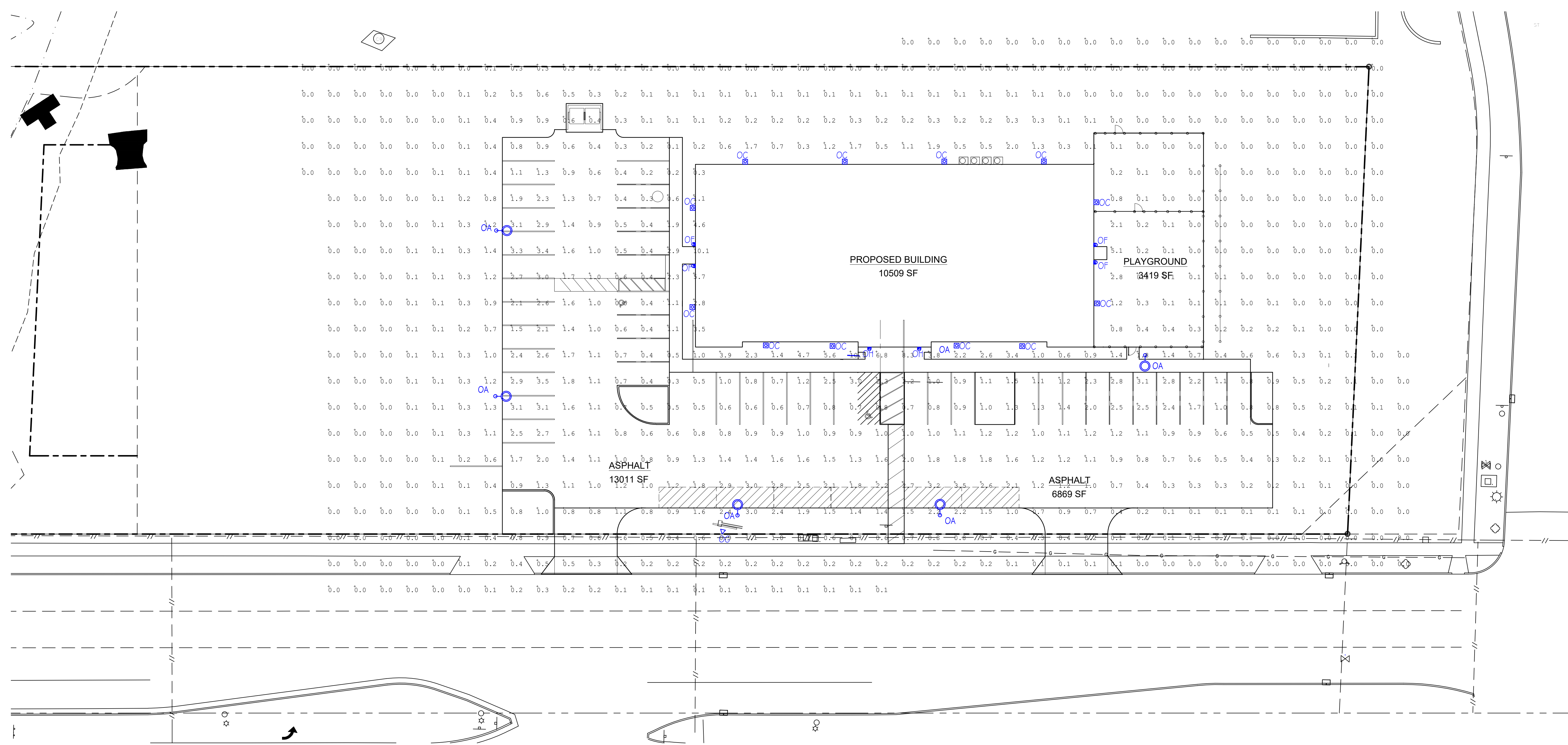


4 DUMPSTER ENCLOSURE NORTH ELEVATION
1/4" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

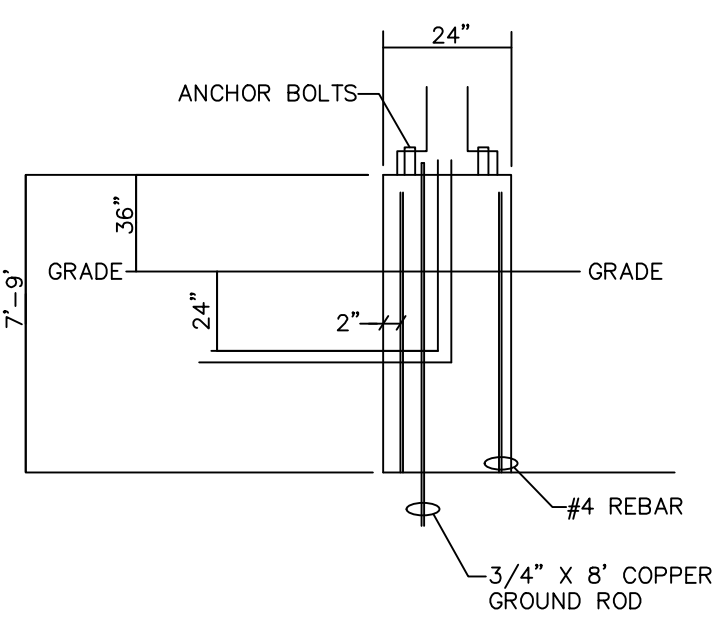




No.	Revision	Date
26.		
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24.		
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4.	REVISED	3-1-21
3.	REVISED	8-28-20
2.	REVISED	8-4-20
1.	REVISED	7-30-20

QTY	SYMBOL/TYPE	DESCRIPTION	MAKE	FIXTURE SCHEDULE LIGHTING FIXTURE CATALOG NO.	LAMP DATA	CEILING TYPE	MOUNTING HEIGHT	VOLTAGE	SEE NOTE
5	OA	LED POLE LIGHT W/ 20' POLE	VISION	FIXTURE: OCN-1-L-14-32C-5-4-UNV-AM-BK-CS-H3-C-LS POLE: RNTA-4R-250-20	70W LED		20'-0" POLE 3'-0" POLE BASE	UNV	
12	OC	LED 6" RECESSED CAN	LITHONIA	SLIM12	14W LED		RECESSED IN SOFFIT	120V	
4	OF	LED CYLINDER UP/DOWN LIGHT	ECONOLIGHT	OWCR4D1022M40BZ	22W LED	WALL MOUNT	7'-0" A.F.G. VERIFY ON SITE	UNV	
1	OG	LED FLOOD LIGHT	RAB	FFLED18N	18W LED	GROUND MOUNT	0'-8" A.F.G. VERIFY ON SITE	UNV	
2	OH	LED OUTDOOR LANTERN	QUORZ/SATCO	WRB407EK / S9895	6.5W LED	WALL MOUNT	7'-0" A.F.G. VERIFY ON SITE	120V	

LIGHTING NOTES:
 1. MULTIPLE PARTS ARE NEEDED TO ASSEMBLE AS A COMPLETE FIXTURE. SEE INSTALLATION INSTRUCTIONS

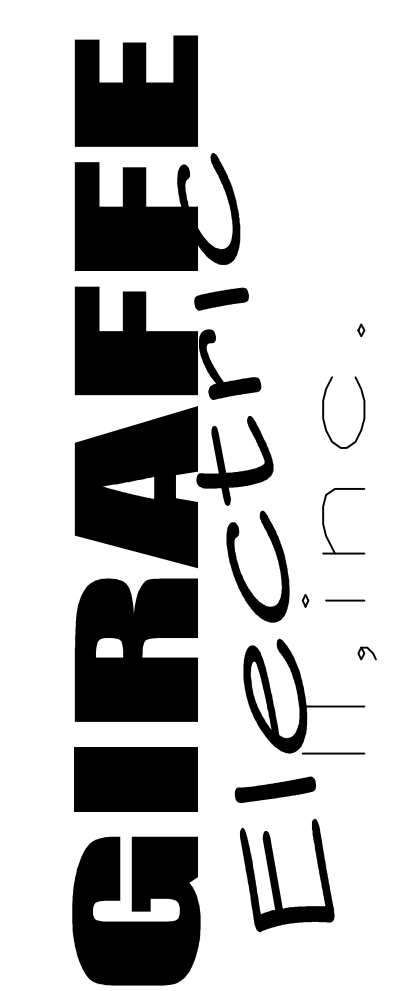


TYPICALLY 24" LIGHT POLE BASE

OPTION # 3-1-21

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label							
Site	Illuminance	Fc	0.64	10.5	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.41	3.5	0.2	7.05	17.50

DISCLAIMER: CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IESNA & CIE STANDARDS AND GOOD PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND FIELD CONDITIONS SUCH AS VOLTAGE AND TEMPERATURE VARIATIONS. INPUT DATA USED TO GENERATE THE ATTACHED CALCULATIONS SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE AND ARCHITECTURAL ELEMENTS SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT CONDITIONS DO NOT MATCH THE INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN MEASURED VALUES AND CALCULATED VALUES.



GIRAFFE ELECTRIC II, INC.
 2025 S WEST AVENUE
 WAUKESHA, WI
 53189
 262-549-6500
 FAX 262-549-6503

PROJECT ADDRESS:
 KIDS CONNECTION
 3130 RAWSON AV
 FRANKLIN, WI 53132

DATE: 5/22/20

DRAWN BY: JDG

REVISIONS:
 DATE:

SHEET NUMBER:
 E-5-0

SHEET TITLE:
 SITE POINT BY POINT PLAN
 OPTION #1

PROJECT NUMBER:

SCALE:
 1"=20'-0"