

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, AUGUST 4, 2022, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of July 7, 2022.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **GAZEBO PARK APARTMENT COMPLEX ACCESSORY BUILDING EXPANSION.** Special Use Amendment application by GPark LLC, for expansion of two detached garages within the Gazebo Park apartment complex, the 4-car garage to be expanded by 400 square feet to a 6-car garage, and another 4-car garage by 600 square feet, to a 7-car garage (the overall parking within this apartment complex would increase from 48 to 50 parking spaces), property located at approximately 6300-6346 South 35th Street, zoned R-8 Multiple-Family Residence District; Tax Key No. 714-9990-004. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**
2. **RAJEEV K. NAGUBANDI AND KARTAYANI RAVVA DECK INSTALLATION [recommendation to Board of Zoning and Building Appeals].** Application by Rajeev K. Nagubandi and Kartayani Ravva for an Area Exception from Table 15-3.0203 of the Unified Development Ordinance to allow for the installation of a deck onto an existing single-family residence (15.94% lot coverage (2,224 square feet)), exceeding the 15% (2,092 square feet) maximum lot coverage standard in an R-3 Suburban/Estate Single Family Residence District, by approximately .94%, for property located at 8774 South Buckhorn Grove Way, property zoned R-3 Suburban/Estate Single-Family Residence District; Tax Key No. 853-0132-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**
3. **SANJAY PATEL SINGLE-FAMILY RESIDENCE CONSTRUCTION [recommendation to Board of Zoning and Building Appeals].** Application by Sanjay Patel for an Area Exception from Table 15-3.0204 of the Unified

Development Ordinance to allow for construction of a new single-family home in Oakes Estates subdivision, with maximum lot coverage of 16.84% (7,070 square feet), exceeding the R-3E Suburban/Estate Single-Family Residence District maximum lot coverage standard of 15% (6,297 square feet) by approximately 1.84% (residence structure will have a footprint of 4,543 square feet, plus an attached garage (1,118 square feet), a courtyard (569 square feet) and a deck with stairs (840 square feet), property located at 7406 South Cambridge Drive, zoned R-3E Suburban/Estate Single-Family Residence District; Tax Key No. 754-0077-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. Business Matters (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **PAYNE AND DOLAN, INC. QUARRY BIENNIAL REPORT TO THE PLAN COMMISSION**
2. **JOSE D. SANDOVAL LAND COMBINATION.** Land Combination application by Jose D. Sandoval to combine Parcel 1 and Outlot 1 of Certified Survey Map No. 6022 (Parcel 1, 1.19 acres, Outlot 1, 3.53 acres; resulting area approximately 4.71 acres), property zoned R-3 Suburban/Estate Single-Family Residence District and FW Floodway District; Tax Key No. 886-9989-003.

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: August 18, 2022

**City of Franklin
Plan Commission Meeting
July 7, 2022
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the July 7, 2022, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Kevin Haley and Adam Burckhardt, and Assistant City Engineer Tyler Beinlich. Excused were Patricia Hogan and Alderwoman Shari Hanneman. Also present were Director of Economic Development John Regetz, Planning Manager Heath Eddy and Principal Planner Régulo Martínez-Montilva.

B. Approval of Minutes

1. Regular Meeting of June 23, 2022.

Commissioner Leon moved and Commissioner Haley seconded a motion to approve the June 23, 2022, regular meeting minutes. On voice vote, all voted ‘aye’; motion carried (4-0-2).

C. Public Hearing Business Matters

1. DANIEL M. AHLER AND CHARMAINE AHLER SINGLE-FAMILY RESIDENCE BUILDING ADDITION [recommendation to Board of Zoning and Building Appeals].

Application by Daniel M. Ahler and Charmaine Ahler for an Area Exception (in conjunction with a Variance to be reviewed by the Board of Zoning and Building Appeals only) from Table 15-3.0203 of the Unified Development Ordinance to allow for the addition of a new master suite, a laundry room and mudroom on the first floor of the existing single-family residence as well as a larger attached garage (17.87% lot coverage (2,612 square feet)), exceeding the 15% (2,098 square feet) maximum lot coverage standard in an R-3 Suburban/Estate Single Family Residence District, by approximately 2.87%, for property located at 10605 West Monastery Drive, property zoned R-3 Suburban/Estate Single-Family Residence District; Tax Key No. 795-0066-000.

The Official Notice of Public hearing for an Area Exception was read in to the record by Planning Manager Heath Eddy and the Public Hearing was opened at 7:05 p.m. and closed at 7:05 p.m.

Principal Planner Régulo Martínez-Montilva presented the request by Daniel M. Ahler and Charmaine Ahler for an Area Exception (in conjunction with a Variance to be reviewed by the Board of Zoning and Building Appeals only) from Table 15-3.0203 of the Unified Development Ordinance to allow for the addition of a new master suite, a laundry room and mudroom on the first floor of the existing single-family residence as well as a larger attached garage (17.87% lot coverage (2,612 square feet)), exceeding the 15% (2,098 square feet) maximum lot coverage standard in an R-3 Suburban/Estate Single Family Residence District, by approximately 2.87%, for property located at 10605 West Monastery Drive, property zoned R-3 Suburban/Estate Single-Family Residence District; Tax Key No. 795-0066-000.

Commissioner Burckhardt moved and Commissioner Leon seconded a motion to recommend approval of an application for an Area Exception to allow for a maximum lot coverage of 17.87% (2,612 square feet) [application requests an Area Exception from table 15-3.0203 of the Unified Development Ordinance to exceed the R-3

Suburban/Estate Single-Family Residence District maximum lot coverage standard of 15% (2,098 square feet) by approximately 2.87%, to allow for the addition of a new master suite, a laundry room and mudroom on the first floor of the existing single-family residence as well as a larger attached garage, for property located at 10605 West Monastery Drive. On voice vote, all voted ‘aye’; motion carried (4-0-2).

D. Business Matters

1. FIDUCIARY REAL ESTATE DEVELOPMENT, INC. MULTI-FAMILY APARTMENT COMPLEX WITH A CLUBHOUSE

DEVELOPMENT. Certified Survey Map application by Fiduciary Real Estate Development, Inc. (CCM-9801 27th Franklin, LLC, property owner), to combine the existing tax parcels into a single parcel for the development of the previously approved multi-family development to be called “The Seasons at Franklin”, properties located at 9801 South 27th Street and 9605 South 29th Street, zoned B-4 South 27th Street Mixed-Use Commercial District: Tax Key Nos. 902-9965-006 and 902-9966-001.

Planning Manager Heath Eddy presented the request by Fiduciary Real Estate Development, Inc. (CCM-9801 27th Franklin, LLC, property owner), to combine the existing tax parcels into a single parcel for the development of the previously approved multi-family development to be called “The Seasons at Franklin”, properties located at 9801 South 27th Street and 9605 South 29th Street, zoned B-4 South 27th Street Mixed-Use Commercial District: Tax Key Nos. 902-9965-006 and 902-9966-001.

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to recommend approval of a Resolution conditionally approving a 1 lot Certified Survey Map, being parcel 1 of Certified Survey Map No. 6044, recorded on reel 3419, images 833-835, as document No. 7026244, and lands, in the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 25, Township 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin (9801 South 27th Street and 9605 South 29th Street). On voice vote, all voted ‘aye’; motion carried (4-0-2).

Adjournment

Commissioner Leon moved and Commissioner Haley seconded to adjourn the Plan Commission meeting of July 7, 2022 at 7:10 p.m.. On voice vote, all voted ‘aye’; motion carried (4-0-2).



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.1.

Meeting of August 4, 2022

SPECIAL USE AMENDMENT

RECOMMENDATION: City Development Staff recommends approval of this special use amendment, subject to conditions set forth in the attached draft resolution.

Property Owner:	GPark LLC
Applicant:	GPark LLC
Property Address/Tax Key Number:	6300-6346 S. 35th Street / 719 9990 004
Aldermanic District:	District 3
Agent:	Chester Daxe
Zoning District:	R-8 Multiple-Family Residence District
Use of Surrounding Properties:	East: Two-family residential South and west: Multi-family residential North: Residential (City of Greenfield)
Special Use Proposal:	Expansion of two accessory buildings at the Gazebo Park apartment complex
Staff Planner:	Régulo Martínez-Montilva, AICP, Principal Planner

Special Use Amendment application received on June 6, 2022, to expand two accessory buildings at the Gazebo Park apartment complex: a 4-car garage to be expanded by 400 square feet to a 6-car garage and another 4-car garage by 600 square feet to a 7-car garage. The overall parking of this apartment complex would increase from 48 to 50 parking spaces. The proposed additions would match the existing building materials: vinyl siding, shutters and shingles. Previous Special Use amendments for accessory buildings on this site include resolutions 2009-6579, 2012-6812, 2014-7007 and 2017-7280.

The development, known as Gazebo Park, was approved in 1983 via Resolution 83-2091. A 2 ½ car detached garage was approved in 1985 via Resolution No. 85-2581 for the storage of maintenance materials. The property owner received approval of a 20-foot by 32-foot six-inch 3 ½-car garage in 2009 via Resolution No. 2009-6579 and a 20-foot by 42-foot 4 ½-car garage in 2012 via Resolution No. 2012-6812. Resolution No. 2014-7007 allowed for construction of a 4-car detached garage, and Resolution No. 2017-7280 for construction of 5-car detached garage.

Per Resolution No. 83-2091, 2 parking spaces are required per each efficiency, one bedroom and two bedroom units and 2.5 parking spaces are required for each three or more bedroom unit. The applicant has indicated that a total of forty-eight parking spaces are required. The total number of parking spaces will increase from 48 to 50 parking spaces. Staff is unaware of any parking issues on the site.

The proposed garage expansions meet all R-8 District Development Standards. Note that the R-8 District Special Use Option for multi-family attached dwellings units with more than two dwelling units per structure requires a minimum Open Space Ratio (OSR) of 0.35. OSR is the number derived by dividing the open space of the site by the base site area, and includes natural resource features. Per previous 2017 staff report, the estimated greenspace was approximately 34,500 square feet. The site has an area of approximately 96,267 square feet, resulting in an OSR of about 0.36. With the proposed garage expansion, the greenspace would be reduced by 400 square feet and the resulting OSR of 0.354 would remain in compliance.

The applicant has illustrated double LED floodlights on the building elevations facing the parking lot and one side elevation of the garages. Staff finds that these spotlights will not cause any adverse impacts to the adjacent properties. The applicant is not proposing any new landscaping.

STAFF RECOMMENDATION

City Development staff recommends approval of this Special Use amendment application, subject to the conditions set forth in the attached resolution.

RESOLUTION NO. 2022-_____

A RESOLUTION TO AMEND RESOLUTION NOS. 79-1562, 83-2091, 85-2581, 2009-6579, 2012-6812, 2014-7007 AND 2017-7280 IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR THE GAZEBO PARK APARTMENT COMPLEX PROPERTY LOCATED AT APPROXIMATELY 6300-6346 SOUTH 35TH STREET TO ALLOW FOR EXPANSION OF TWO DETACHED GARAGES WITHIN THE APARTMENT COMPLEX
(GPARK LLC, APPLICANT)

WHEREAS, GPark LLC having petitioned the City of Franklin for the approval of an amendment to Resolution Nos. 79-1562, 83-2091, 85-2581, 2009-6579, 2012-6812, 2014-7007 and 2017-7280, conditionally approving a Special Use to allow for the construction, location and operation of a multiple family housing development upon property located at approximately 6300-6346 South 35th Street, such property being zoned R-8 Multiple-Family Residence District, more particularly described as follows:

Parcel One (1) of Certified Survey Map No. 4438, recorded on March 13, 1984, on Reel 1620, Image 105, as Document No. 5699798, being a redivision of Parcels One (1), Two (2) and Three (3) of Certified Survey Map No. 3755, being a part of the Northwest One-quarter (1/4) of the Northeast One-quarter (1/4) of Section One (1), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, Milwaukee County, Wisconsin; Tax Key Number: 714-9990-004; and

WHEREAS, such proposed amendment being for the purpose of expanding two detached garages within the Gazebo Park apartment complex, the 4-car garage to be expanded by 400 square feet to a 6-car garage, and another 4-car garage to be expanded by 600 square feet, to a 7-car garage (the overall parking within this apartment complex would increase from 48 to 50 parking spaces); and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 4th day of August, 2022, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not

GPARK LLC – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2022-_____

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cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of GPark LLC for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this amendment to Special Use is approved only for the use of the subject property by GPark LLC, successors and assigns, for the Gazebo Park Apartments detached garages expansion, which shall be developed in substantial compliance with and constructed, operated and maintained by GPark LLC, pursuant to those plans City file-stamped June 6, 2022 and annexed hereto and incorporated herein as Exhibit A.
2. GPark LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Gazebo Park Apartments detached garages expansion project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon GPark LLC and the Gazebo Park Apartments detached garages expansion project for the property located at approximately 6300-6346 South 35th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event GPark LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

GPARK LLC – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2022-_____

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BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution Nos. 79-1562, 83-2091, 85-2581, 2009-6579, 2012-6812, 2014-7007 and 2017-7280, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the detached garages expansion.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

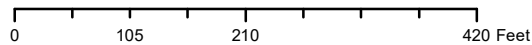
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

6300-6346 S. 35th Street
TKN: 714 9990 004



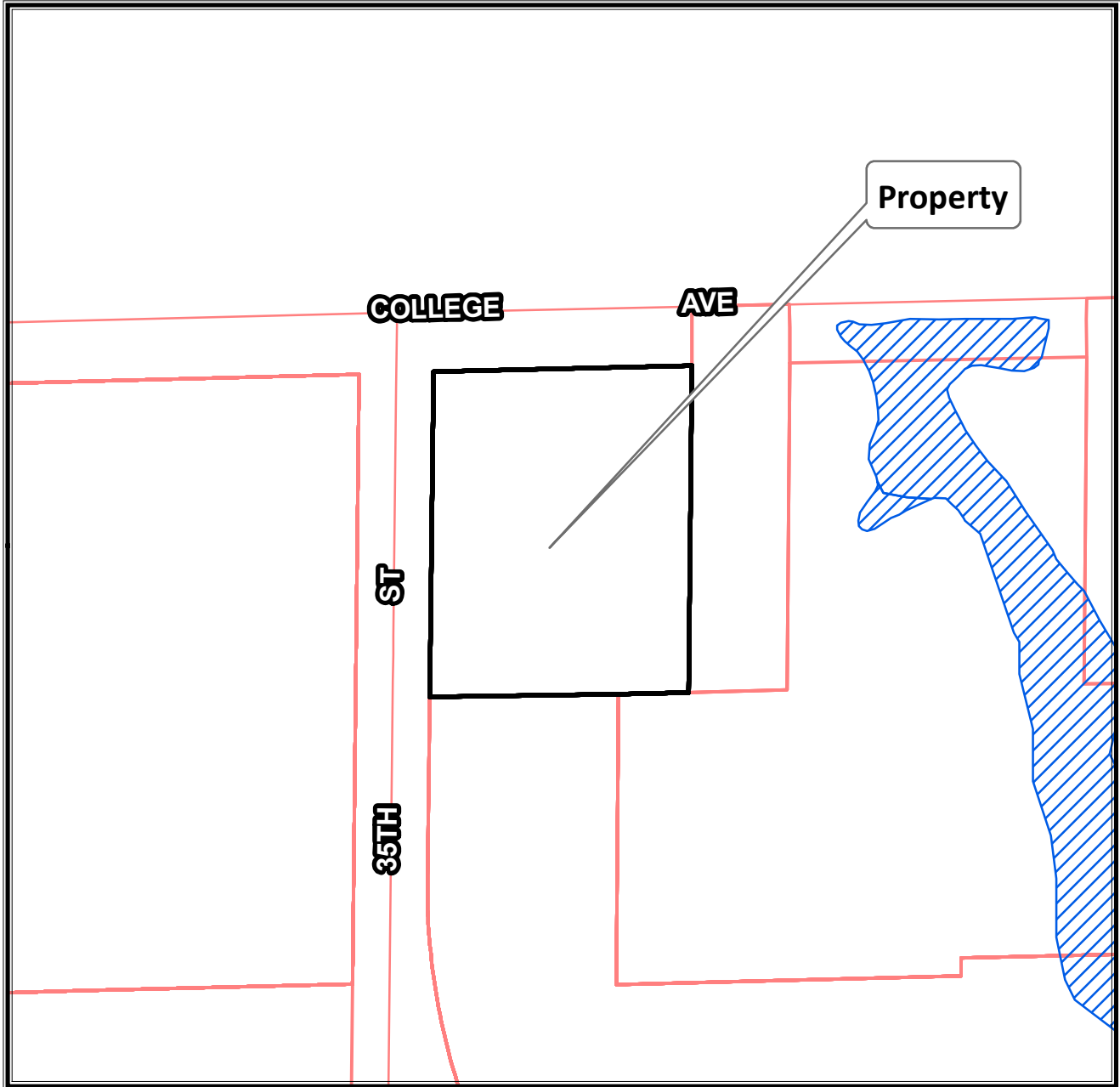
Planning Department
(414) 425-4024



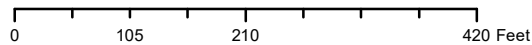
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



6300-6346 S. 35th Street
TKN: 714 9990 004



Planning Department
(414) 425-4024

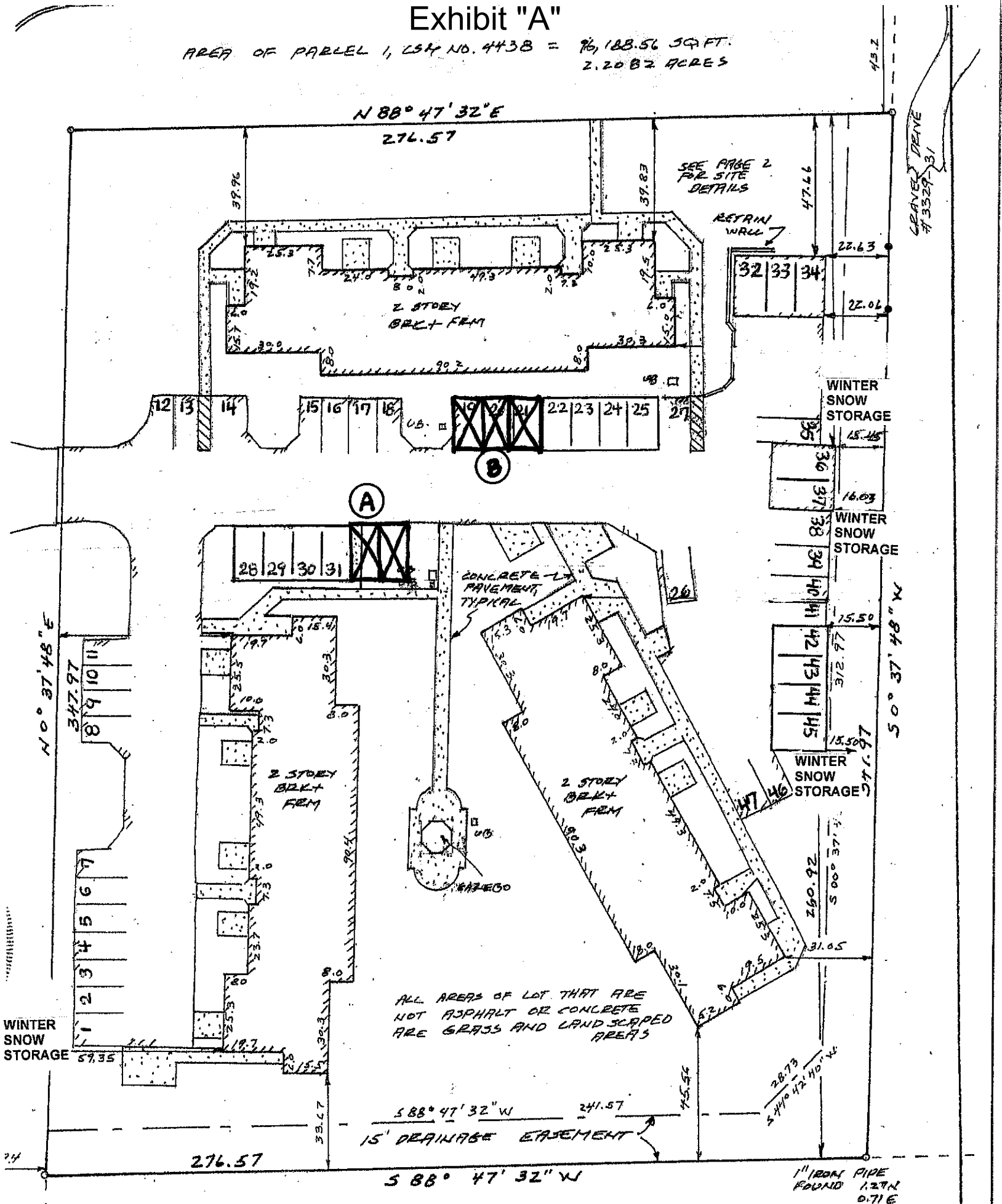


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Exhibit "A"

AREA OF PARCEL 1, LSH NO. 4438 = 96,188.56 SQ. FT.
2.2082 ACRES



N 88° 47' 32" E

276.57

SEE PAGE 2 FOR SITE DETAILS

RESTRAIN WALL

2 STORY BRK + FRM

WINTER SNOW STORAGE

A

B

WINTER SNOW STORAGE

CONCRETE PAVEMENT TYPICAL

WINTER SNOW STORAGE

2 STORY BRK + FRM

2 STORY BRK + FRM

ALL AREAS OF LOT THAT ARE NOT ASPHALT OR CONCRETE ARE GRASS AND LAND SCAPED AREAS

588° 47' 32" W

15' DRAINAGE EASEMENT

588° 47' 32" W

1" IRON PIPE FOUND 1.27M 0.71E

MEMORANDUM

Date: June 27, 2022
To: Chester Daxe, GPark, LLC
From: Department of City Development
Régulo Martínez-Montilva, AICP, Principal Planner
RE: Application for Special Use amendment – Gazebo Park, expansion of 2 detached garages
6300-6346 S. 35th Street, Franklin WI-53132

Staff comments are as follows for the Special Use amendment application received on June 6, 2022:

City Development Department comments

1. City Development Department staff has no comments regarding this Special Use amendment.

Engineering Department comments

2. *I have no comments on the Special Use Amendment. Please, kindly have the applicant use the attached plat survey and show the proposed garage extension for building permit purposes.*

Fire Department comments

3. *Follow all relevant WI DSPPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.*
4. *Fire Extinguisher placement as per NFPA 10.*
5. *At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.*

Inspection Services Department comments

6. *Structures shall be designed and constructed in accordance with the Wisconsin Commercial Building Code. Building separation distance requirements in the code will apply.*
7. *Project will require separate Building and Electrical Permits (if wiring is involved).*

Police Department comments

8. *The PD has no comment regarding this request.*

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: 04-20-2022

STAMP DATE: **Franklin** only

JUN 06 2022

City Development

COMMON COUNCIL REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME: Chester Daxe		NAME: Chester Daxe	
COMPANY: GPark LLC		COMPANY: GPark LLC	
MAILING ADDRESS: 79 Ashbourne Rd		MAILING ADDRESS: 79 Ashbourne Rd	
CITY/STATE: Columbus, OH	ZIP: 43209	CITY/STATE: Columbus, OH	ZIP: 43209
PHONE: 414-629-7704		PHONE: 414-629-7704	
EMAIL ADDRESS: chdaxe@yahoo.com		EMAIL ADDRESS: chdaxe@yahoo.com	

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 6300-6346 S 35th St	TAX KEY NUMBER: 714 9990 004
PROPERTY OWNER: GPark LLC	PHONE: 414-629-7704
MAILING ADDRESS: 79 Ashbourne Rd	EMAIL ADDRESS: chdaxe@yahoo.com
CITY/STATE: Columbus, OH	ZIP: 43209
DATE OF COMPLETION:	office use only

APPLICATION TYPE

Please check the application type that you are applying for

- Concept Review
 Comprehensive Master Plan Amendment
 Planned Development District
 Rezoning
 Special Use / Special Use Amendment
 Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.
 Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
NAME & TITLE: Chester Daxe, Member	DATE: 04-20-2022
NAME & TITLE: Chester Daxe, Member	DATE: 04-20-2022
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE:	DATE:
NAME & TITLE:	DATE:

RESPONSE TO THE GENERAL STANDARDS

6-1-2022

A. General standards.

1. Ordinance and Comprehensive Master Plan Purposes and Intent.

The proposal meets the R-8 standards and the development is consistent with multi-Family residential use. The property consists of three 8-family buildings built in 1984 Along with a 2-car garage built in 1986 and a 3 ½-car garage built in 2010 and a 4 ¼-car garage built in 2012 and a 4-car garage built in 2014 and another 4-car garage built in 2017 on 2.2 acres. The site is 96,238 square feet while the three residential buildings cover 14,994 square feet.

2. No Undue Adverse Impact.

There is no impact on neighboring properties as the proposed garage additions are completely surrounded by the existing 8-family buildings and garages and do not border a neighboring property or the streets. We propose to replace 400 square feet of grass with the extension of garage (A) and 600 square feet of blacktop parking with the extension of garage (B). The total number of parking spaces is increased by two.

3. No Interference with Surrounding Development.

See above #2 answer.

4. Adequate Public Facilities.

The standard is not applicable as there is no need for public facilities or services other than police and fire protection.

5. No traffic Congestion.

The proposed five indoor parking spaces simply provide convenience for the existing tenants and do not bring additional vehicles onto the property.

6. No Destruction of Significant Features.

The existing paved parking area and the existing grass area is proposed to be replaced with indoor parking with no other changes whatsoever.

7. Compliance with Standards.

The proposed garage extensions are compliant with R-8 standards.

B. Special Standards for Specified Special Uses.

N/A

C. Considerations.

1. Public Benefit.

N/A

2. Alternative Locations

N/A

3. Mitigation of Adverse Impacts.

N/A

4. Establishment of Precedents of Incompatible Uses in the Surrounding Area.

N/A

Name of Property: GAZEBO PARK

Owner of property: GPARK LLC
79 Ashbourne Rd
Bexley, OH 43209

PROJECT NARRATIVE 6-1-2022
6300-6346 S 35th St, Franklin WI 53132

The project consists of two additions to two existing garages. 4-car garage (A) would be expanded by an additional 400 square feet to a 6-car garage and 4-car garage (B) would be expanded by an additional 600 square feet to a 7-car garage. The locations have been drawn on the property survey. There would be a net increase of two parking spaces from the present total of 48 parking spaces to 50 parking spaces.

There would be no change from the existing total of six outside ADA parking spaces which are designated by ADA signs. There are also two indoor ADA parking spaces. The total number of ADA parking spaces is eight. No additional ADA parking spaces are proposed.

No other changes of any type are contemplated for the existing buildings or features of the property, other than restoring the asphalt paving approach to the newly enlarged garages.

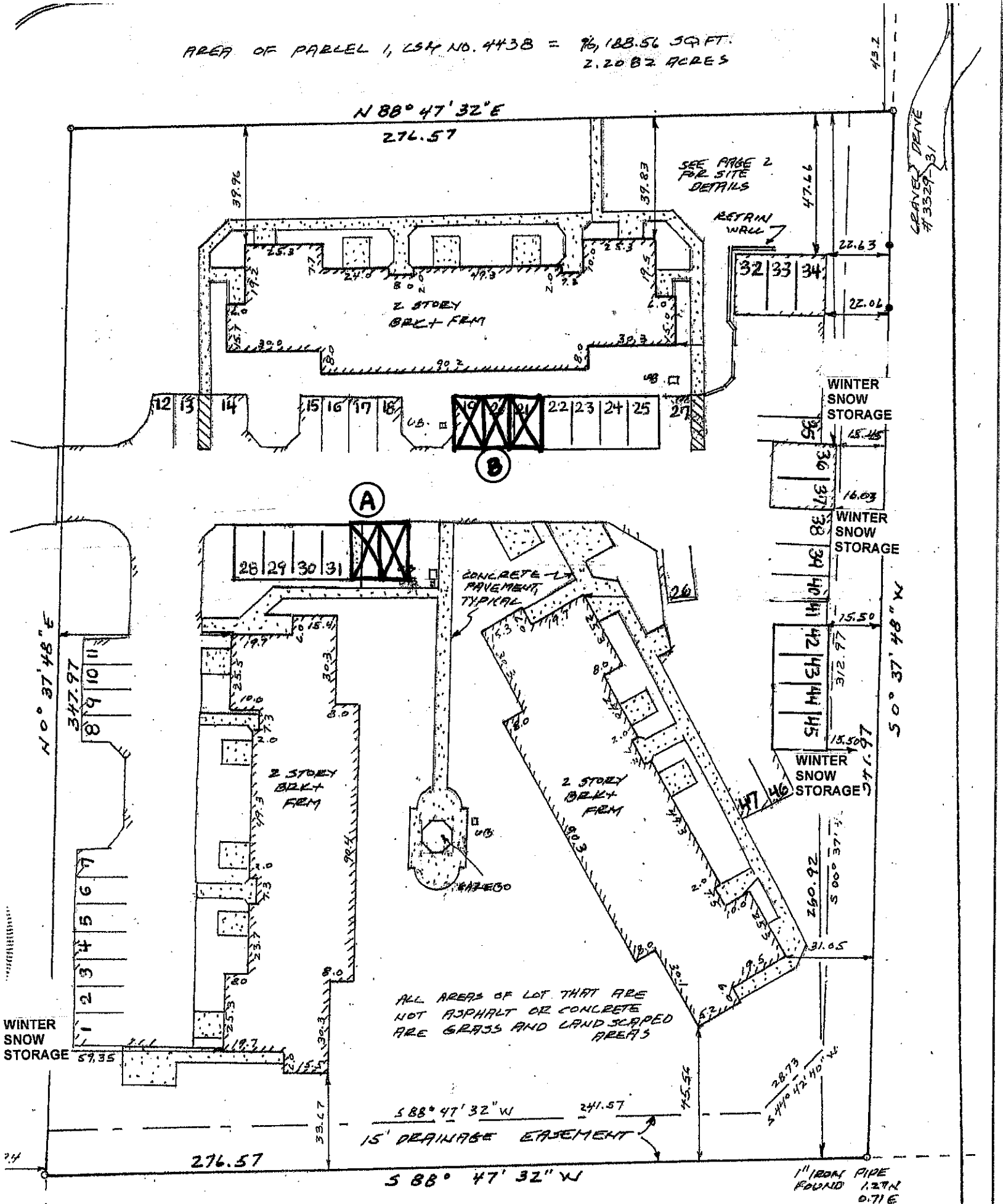
The proposed changes would in terms of architectural character resemble the existing garage buildings on the property.

No landscaping areas would be added. The lawn areas bordering the new garages will be restored up to the new garages. The amount of green space to be eliminated measures 20' by 20'.

The garage floor elevation shall be specified by the building inspector.

No additional keys will be supplied, as the master keys in the Knox box will cover the existing garage service doors.

AREA OF PARCEL 1, LSH NO. 443B = 96,188.56 SQ. FT.
2.2082 ACRES



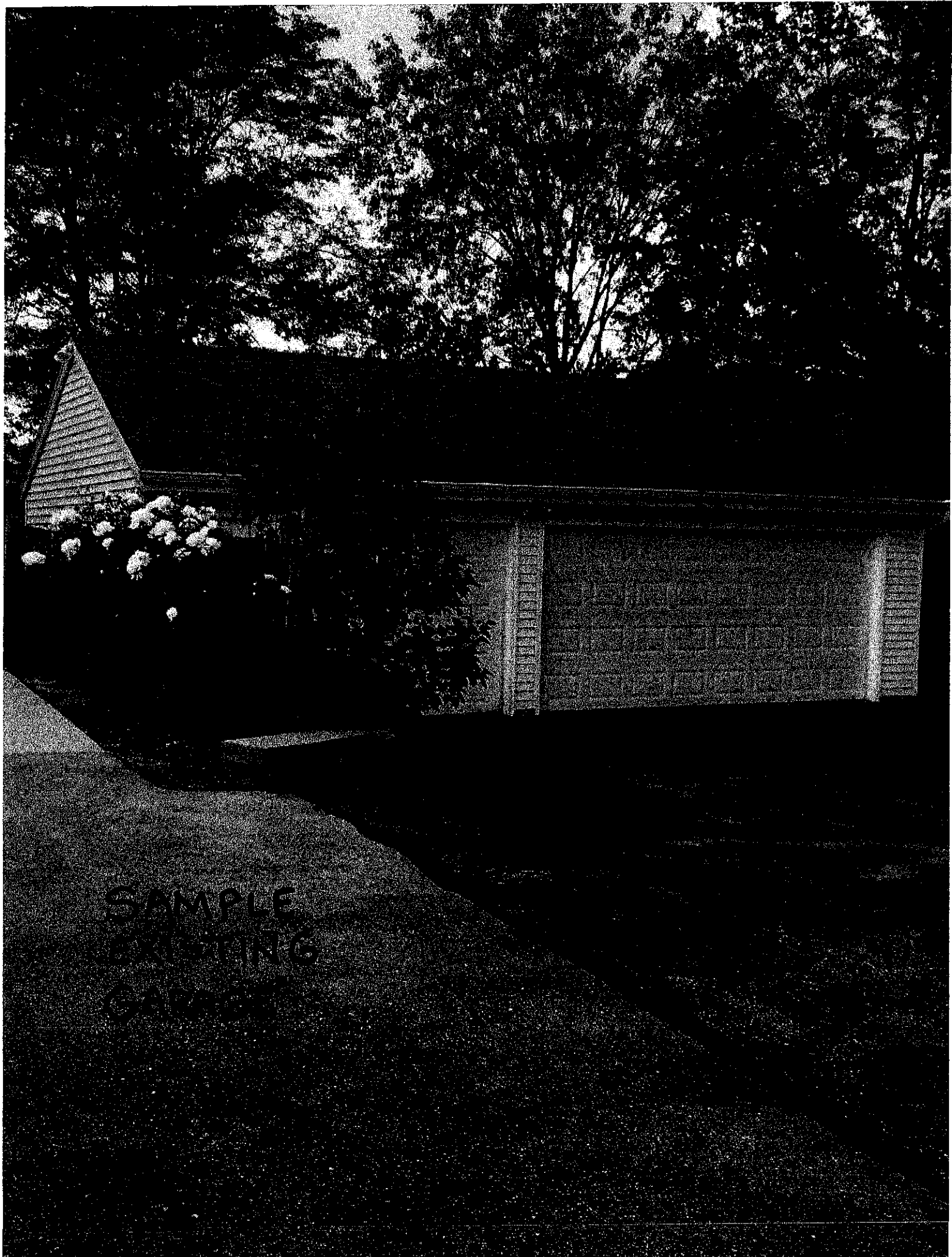
GRAVEL DRIVE #3329-31

N 0° 37' 48" E

N 8° 37' 48" W

15' DRAINAGE EASEMENT

1" IRON PIPE FOUND 1.27N 0.71E



SAMPLE
EXISTING

6300-6346 S. 35th St, Franklin

Name of property: GAZEBO PARK

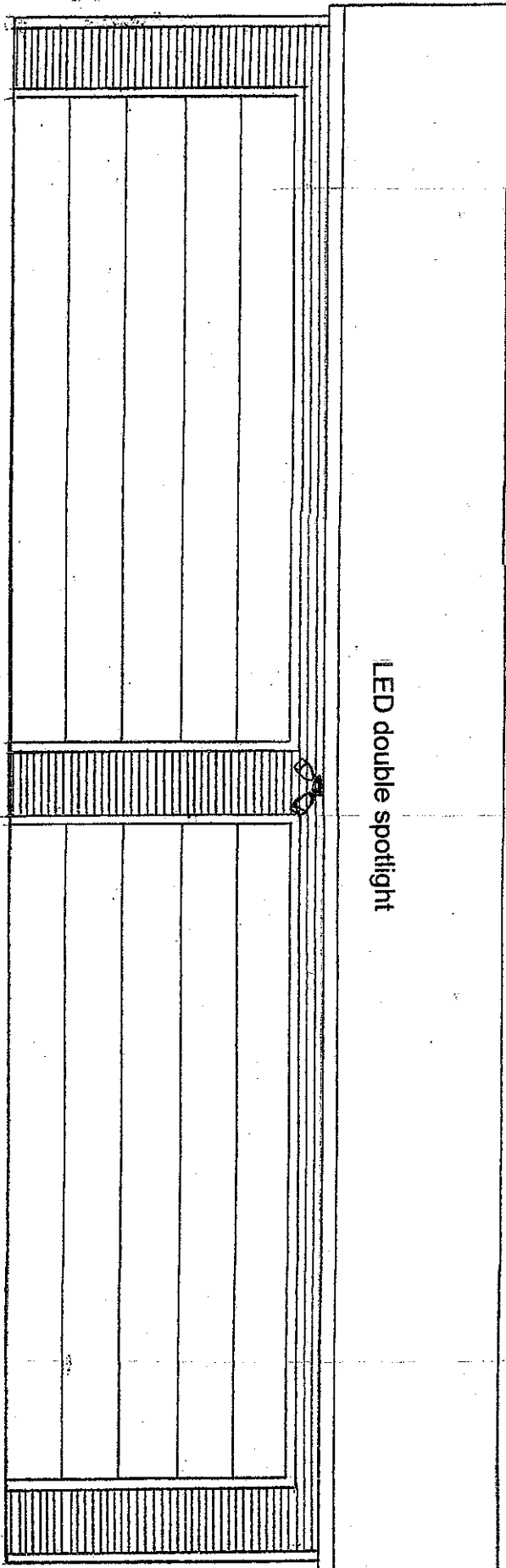
Scale: 1/2" = 1'-0"

Owner of property: GPark LLC
~~6568 G 27th St, Suite 2117B~~
Oak Creek, WI 53154

SAMPLE OF EXISTING

The proposed vinyl siding, shutters & roofing shingles are exact matches to the existing materials.

LED double spotlight



Both garage doors & the passage door are colonial style stamped metal with integrated panels, that match the existing doors.

One double spotlight will be mounted on the eave, ABOVE the overhead doors.

Building height 13'-0" or 1.3 stories

EXISTING ELEVATION

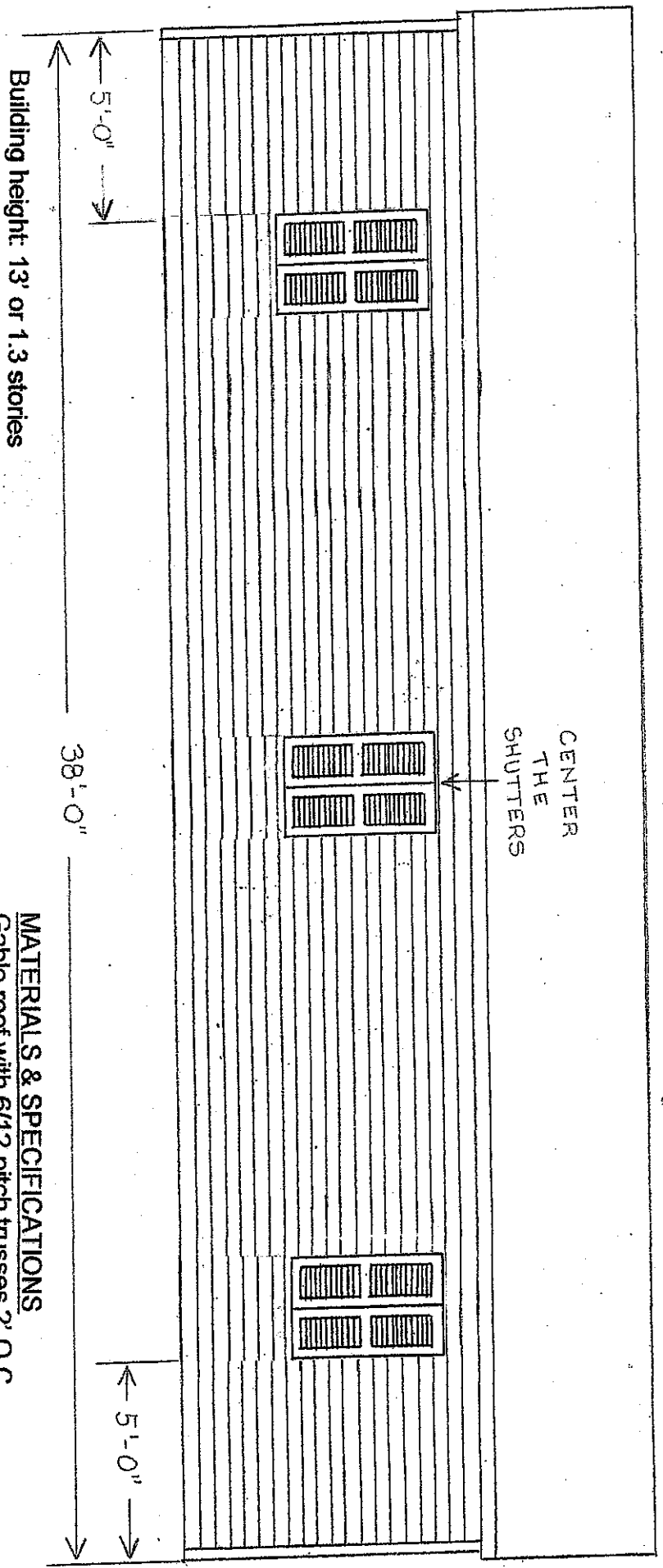
6300-6346 S. 35th St, Franklin
Scale: 1/4" = 1'-0"

Name of property
GAZEBO PARK

SAMPLE OF EXISTING

Owner of property:
GPark LLC
~~6500 S. 27th St, Oak Creek, WI 53018~~
Oak Creek, WI 53018

NORTH ELEVATION



MATERIALS & SPECIFICATIONS

- Gable roof with 6/12 pitch trusses 2' O.C
- Roof shingles by: Oakridge in "driftwood" color (30 year)
- Siding, solid vinyl by: Royal in "beige" color, double 4" lap (Siding & roofing are exact match for existing buildings)
- Eaves & gable trim & door frames to be white
- 2x4 wall framing material
- 0" gable & 12" eave overhangs
- 7/16" OSB wall sheathing
- 7/16" OSB roof sheathing

6300-6346 S. 35th St, Franklin

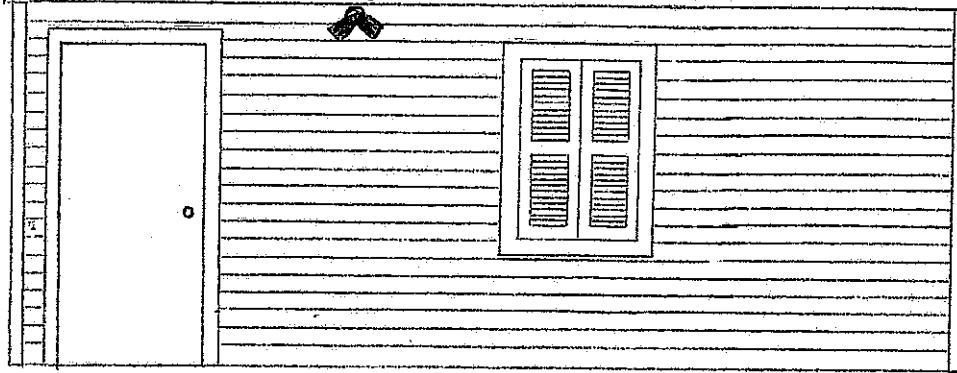
Name of property: GAZEBO PARK

Scale: 1/4" = 1'-0"

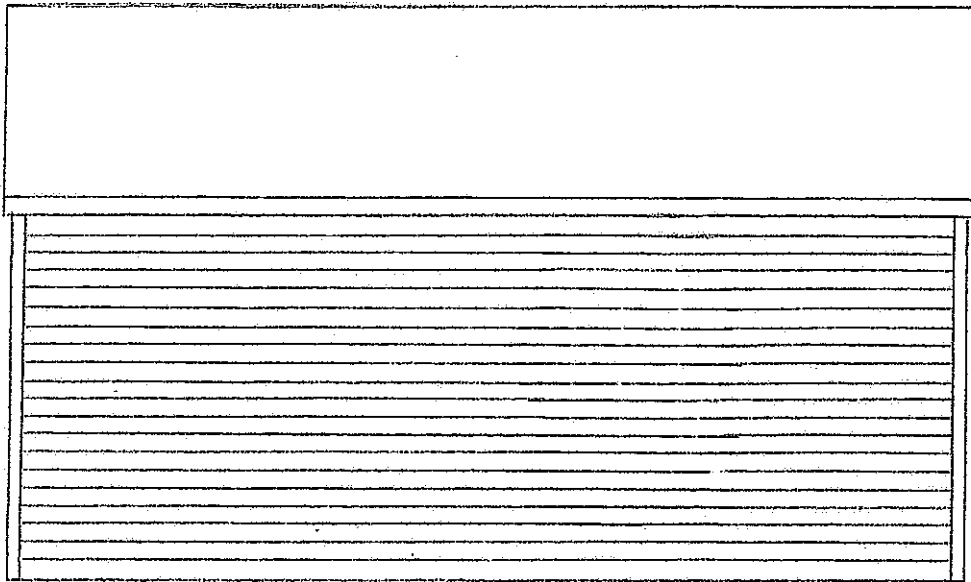
SAMPLE OF EXISTING

The proposed vinyl siding, shutters & roofing shingles are exact matches to the existing materials.

Double LED floodlight



WEST ELEVATION



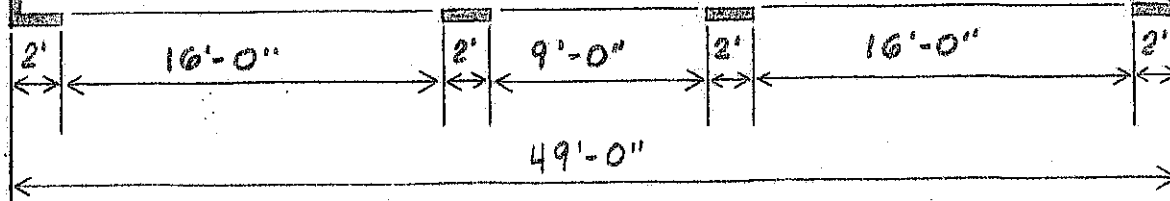
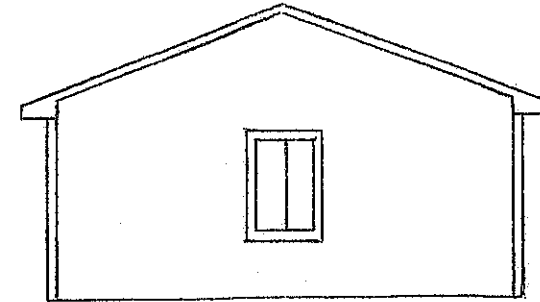
EAST ELEVATION

MATERIALS & SPECIFICATIONS

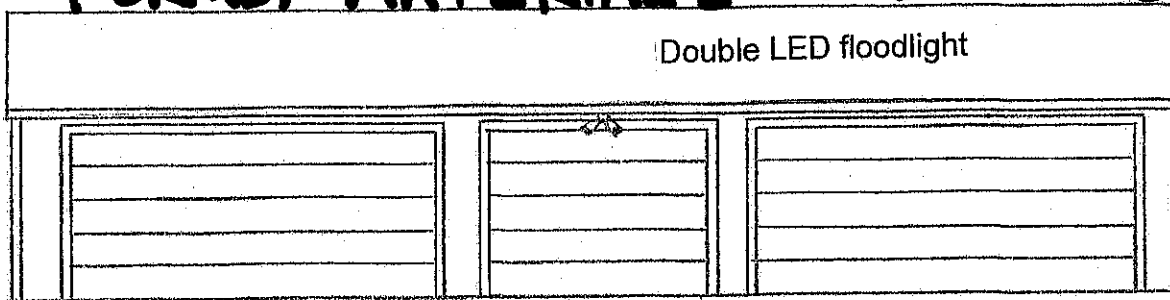
Gable roof with 6/12 pitch, Trusses 2' O.C.
Roof Shingles by: Oakridge in "driftwood" color (30 year)
Siding, solid vinyl by: Royal in "beige" color, double 4" lap
Siding & roofing are exact match to three existing newer garages
Shutters & Colonial style overhead doors also match existing
Eaves & gable trim & door frames to be white
2x4 wall framing material
0" gable overhang & 12" eave overhang
7/16" OSB wall sheathing & 7/16" OSB roof sheathing

*** EXAMPLE**

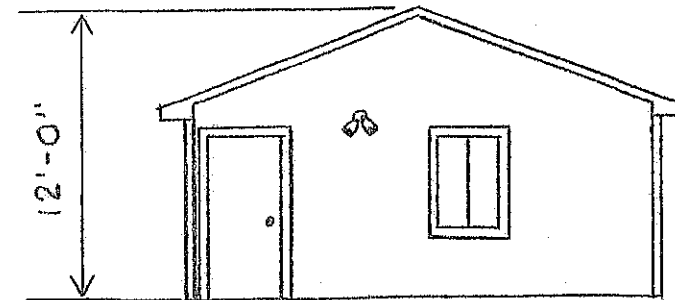
Scale: 1/8" = 1'-0"



*** CONCEPT: GARAGE EXTENSIONS WILL MATCH EXISTING FORMS, MATERIALS & DETAILS**

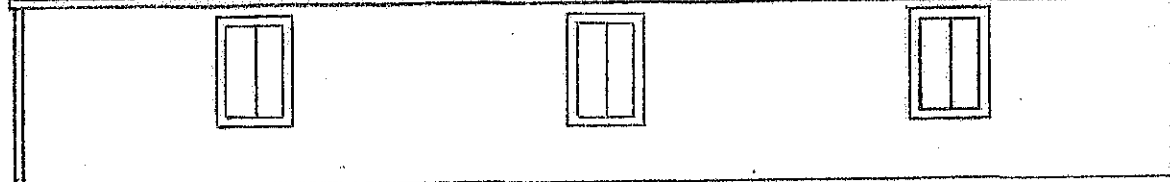


Double LED floodlight



12'-0"

The shutter bottom height should align with existing shutter heights.
Center shutter pairs on each of the overhead doors.



GAZEBO PARK
6300-6346 S. 35th ST, FRANKLIN
Owned by: GPark LLC
6508 S. 27th St, Suite 9 #176
Oak Creek, WI 53154



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.2.

Meeting of August 4, 2022

Area Exception

RECOMMENDATION: City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant’s recommended findings and consideration of any comments provided at the public hearing.

Project Name:	Nagubandi, Area Exception for lot coverage increase
Project Address:	8774 S. Buckhorn Grove Way
Applicant:	Nagubandi, Rajeev K.
Property Owner:	Nagubandi, Rajeev K. and Ravva, Kartayani
Current Zoning:	R-3 Suburban/Estate Single Family Residence District
Use of Surrounding Properties:	Residential single-family (Aspen Woods subdivision)
Applicant’s Action Requested:	Recommendation for approval of Area Exception
Planner:	Régulo Martínez-Montilva, AICP, Principal Planner

INTRODUCTION:

Area Exception to allow for a lot coverage of 15.94% (2,224 square feet) for the installation of new deck, exceeding the R-3 Suburban/Estate Single Family Residence District maximum lot coverage standard of 15.00% (2,092 square feet). The area of the subject property is 13,950 square feet.

PROJECT ANALYSIS:

The process to grant an Area Exception involves review and recommendation of the Plan Commission followed by approval by the Board of Zoning and Building Appeals.

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%. Section 15-10.0209.G. of the Unified Development Ordinance (UDO) specifically lists Standards to be reviewed to grant or deny an Area Exception, which the Plan Commission and Board of Zoning and Building Appeals will use to consider the request.

Lot coverage is defined as “the area of a zoning lot occupied by the principal building or buildings, accessory structure(s) and accessory building(s)”. For example, structures that count towards lot coverage include: principal buildings or dwellings, garages, sheds, swimming pools and associated paved surfaces within 4 feet from the pool, decks, any structures with a cover or canopy, etc. This Lot Coverage definition should not be confused with Impervious Surface Ratio (ISR) as driveways and walkways count towards ISR but not for lot coverage.

Maximum lot coverage calculation:

- The property area is 13,950 square feet (sf).
- Per UDO Table 15-3.0203, the maximum lot coverage is 15% in the R3 Suburban/Estate Single-Family Residence District where the subject property is located. Based on the property area, the maximum lot coverage for this property is 2,092 sf.
- The existing lot coverage of the principal building and attached garage is 13.8% (1,928 sf).
- The proposed deck for which this Area Exception has been requested would be 296 sf, with a resulting lot coverage of 15.94% (2,224 sf).
- With approval of an Area Exception, the maximum lot coverage may be increased up to 20% over the maximum permitted lot coverage in this zoning district (15%), resulting in 18% (2,511 sf). Therefore, this request falls within the allowable increase if the Area Exception is granted.

	Description	Lot coverage	
		Percent of lot area Lot area: 13,950 sf	Measured in square feet (sf)
Existing conditions	Principal building and attached garage	13.8%	1,928 sf
Proposal	Existing structures and new deck	15.9%	2,224 sf
Maximum permitted by right	Maximum lot coverage in the R3 Suburban/Estate Single-Family Residence District without the need of an Area Exception	15.0%	2,092 sf
Maximum increase with Area Exception	Per UDO Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%.	18.0%	2,511 sf

Engineering Department comments

- *No comments on the proposed area exception. However, for the building permit submittal, please include a plat of survey showing the proposed deck and its offset distance from the property line. They may use the plat of survey on file and add the proposed deck. The plat must be scalable.*

Fire Department comments

- *The fire department has no comments.*

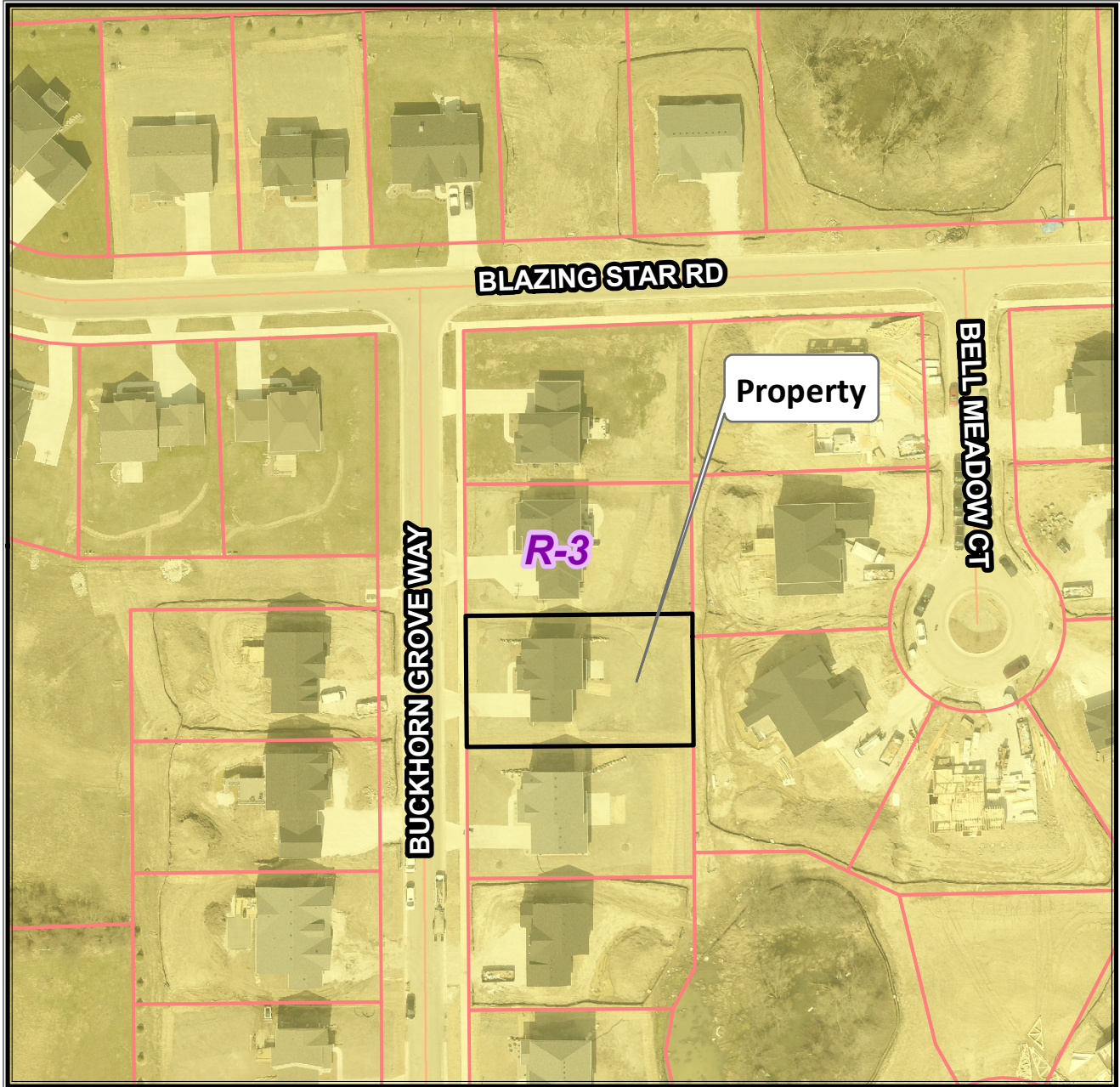
Inspection Services Department comments

- *If the proposal is approved, applicant should be advised that a Building Permit is required for the deck. Inspection Services has no further comments on the proposal at this time.*

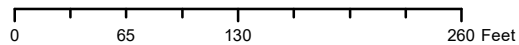
STAFF RECOMMENDATION

City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant's recommended findings and consideration of any comments provided at the public hearing.

8774 S. Buckhorn Grove Way
TKN: 853 0132 000



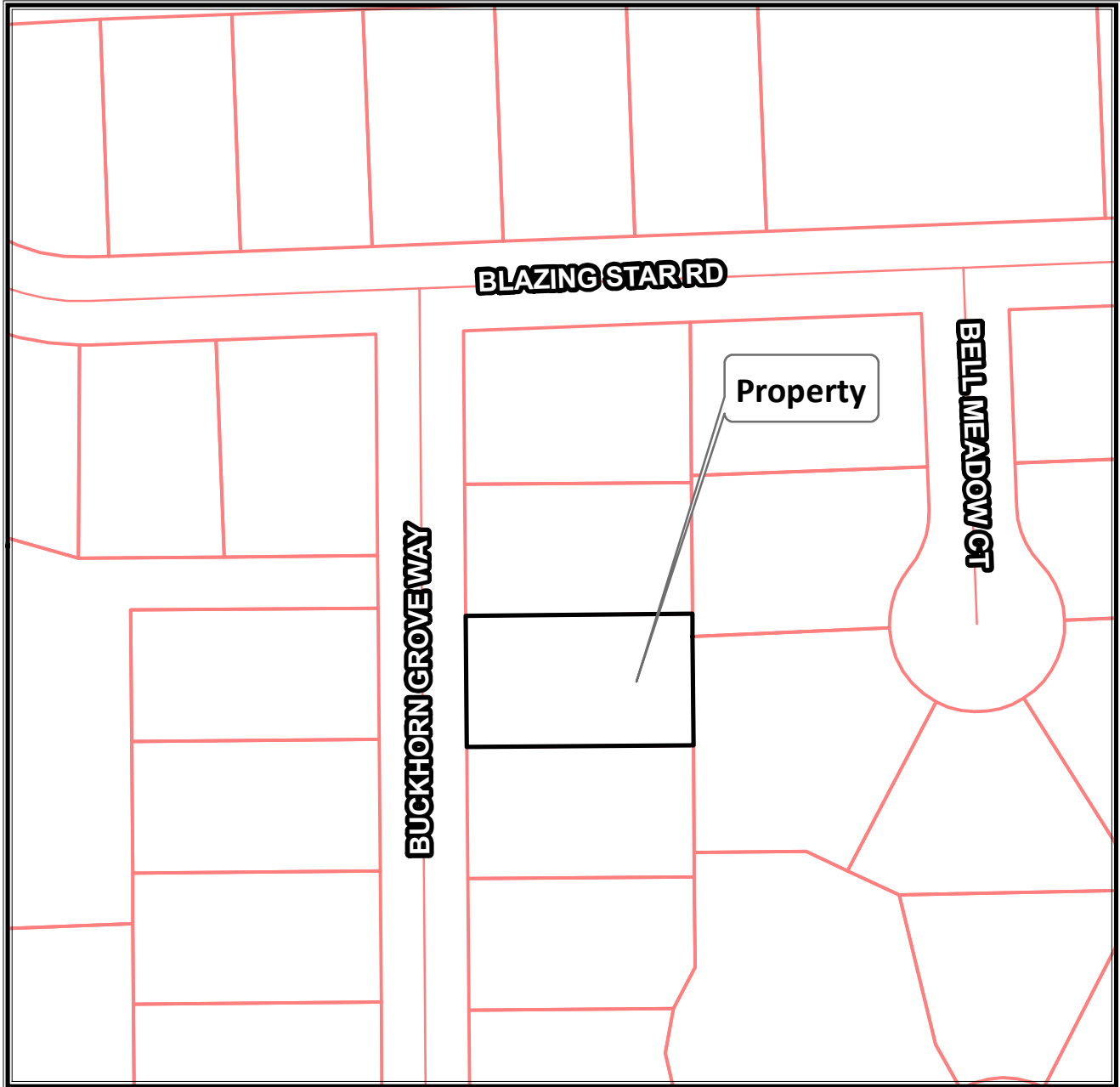
Planning Department
(414) 425-4024



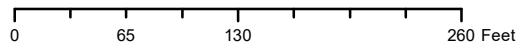
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



8774 S. Buckhorn Grove Way
TKN: 853 0132 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: 06/13/2022
 STAMP DATE: city use only
Franklin
 JUN 13 2022
City Development

BOARD OF ZONING AND BUILDING APPEALS REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: RAJEEV K NAGUBANDI	NAME:
COMPANY:	COMPANY:
MAILING ADDRESS: 8774 S BUCKHORN GROVE WAY	MAILING ADDRESS:
CITY/STATE: FRANKLIN ZIP: 53132	CITY/STATE: ZIP:
PHONE: 925-353-8760	PHONE: 925-353-8760
EMAIL ADDRESS: rajeevn.03@gmail.com	EMAIL ADDRESS: rajeevn.03@gmail.com

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 8774 S Buckhorn Grove Way, Franklin, WI - 53132	TAX KEY NUMBER: 853-0132-000
PROPERTY OWNER: RAJEEV K NAGUBANDI	PHONE: 925-353-8760
MAILING ADDRESS: 8774 S Buckhorn Grove Way	EMAIL ADDRESS: rajeevn.03@gmail.com
CITY/STATE: Franklin ZIP: 53132	DATE OF COMPLETION: office use only

APPLICATION TYPE

Please check the application type that you are applying for

Area Exception Minor Variance Sign Variance and Appeals Variance and Appeals

Most requests require Board of Zoning and Building Appeals approval.

Applicant is responsible for providing Board of Zoning and Building Appeals resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for BZBA approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
NAME & TITLE: MR. RAJEEV NAGUBANDI DATE: 6/13/22	NAME & TITLE: DATE:
PROPERTY OWNER SIGNATURE: 	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: MRS. KARTAYANI RAVVA DATE: 6/13/22	NAME & TITLE: DATE:

PROJECT NARRATIVE

PROPERTY DESCRIPTION

8774 S BUCKHORN GROVE WAY is located in Franklin City close to intersection Puetz Rd & 51st st which come under R-3 zoning district. This rectangular piece of property is approximately 0.32 acre with 2400 sqft single family home built in it. This 2-story building has 4 bedrooms, 2.5 bath, 2-car garage and 144 sqft concrete patio. Since this property has 4' exposure, there are retaining walls on north side of the house. This home is currently occupied by property owner since it was built.

DIMENSIONAL REQUIREMENTS

R-3 zoning district allows maximum lot coverage area of 15%. Since this lot area is 13,950 sqft, maximum lot coverage for this property is 2,092 sqft. As of today, current structure built on this lot has reached to 1,928 sqft (Please see attached permits).

PROPOSED PROJECT

Proposed project is to build a new deck in the backyard over the concrete patio leaving it untouched and make deck size to 296 sqft which will exceed maximum lot coverage. This deck will also have railings installed to provide secure play area for infants and toddlers. For multiple reasons homeowner wanted to build a new deck which are listed here but not limited to

1. To prevent accidents while kids are playing in open space which is large enough.
2. Enjoy family time and gatherings.
3. Privacy and easily accessible from the building.



Standards in the Review of Area Exceptions

Date: 6/13/22

Case No. _____

Property Owner: RAJEEV NAGUBANDI

Property Address: 8774 S BUCKHORN GROVE WAY, WI - 53132

Section 15-10.0209G of the City of Franklin Unified Development Ordinance specifically lists Standards to be reviewed by the Board of Zoning and Building Appeals to grant or deny an Area Exception. The Standards are:

1. That the area exception will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Proposed deck will not endanger the public health, safety, comfort or general welfare

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or diminished by the area exception.

Proposed deck for area exception will not diminish or impair the use, value or enjoyment of other property in the neighborhood for purposes already established in no foreseeable manner

3. That the area exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Proposed deck will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district

4. That the area exception will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire within the neighborhood.

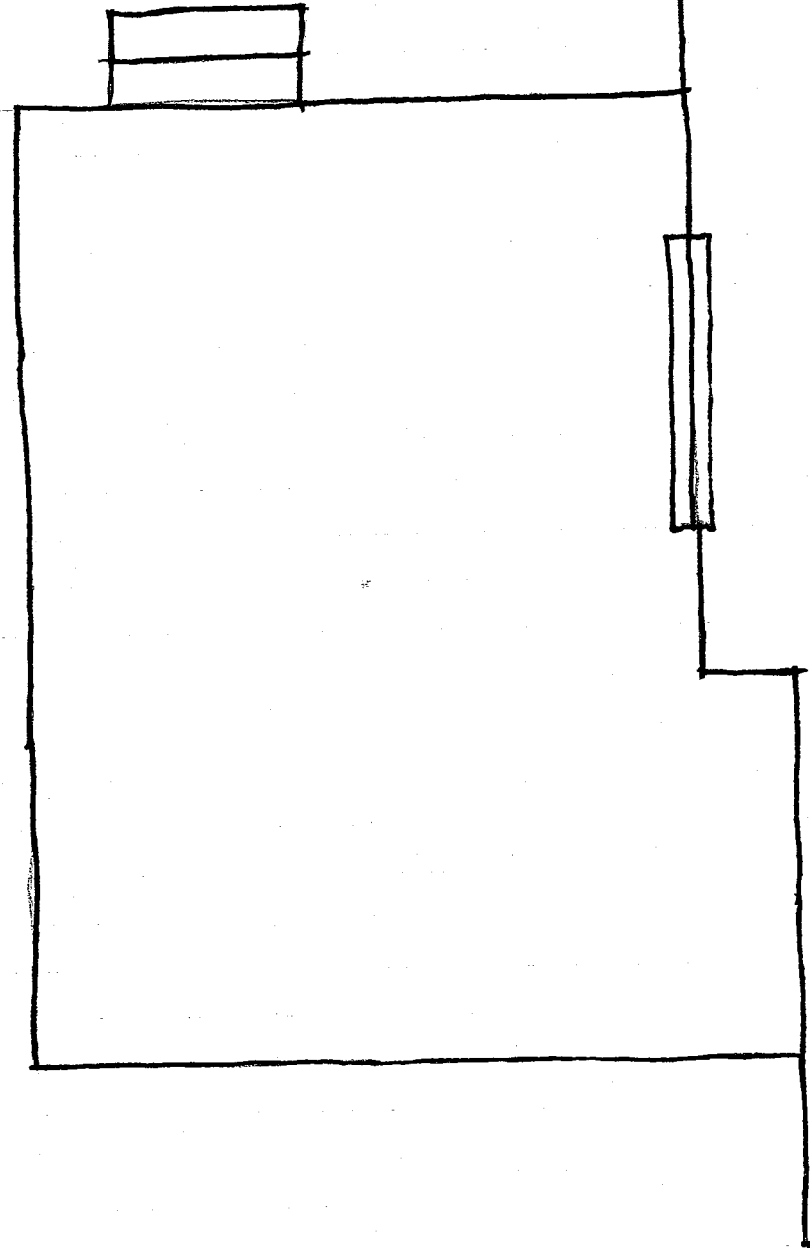
Proposed deck will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire within neighborhood

5. That the area exception shall be in harmony with the general purpose and intent of this Unified Development Ordinance.

Proposed deck will be in harmony with the general purpose and intent of this unified development ordinance

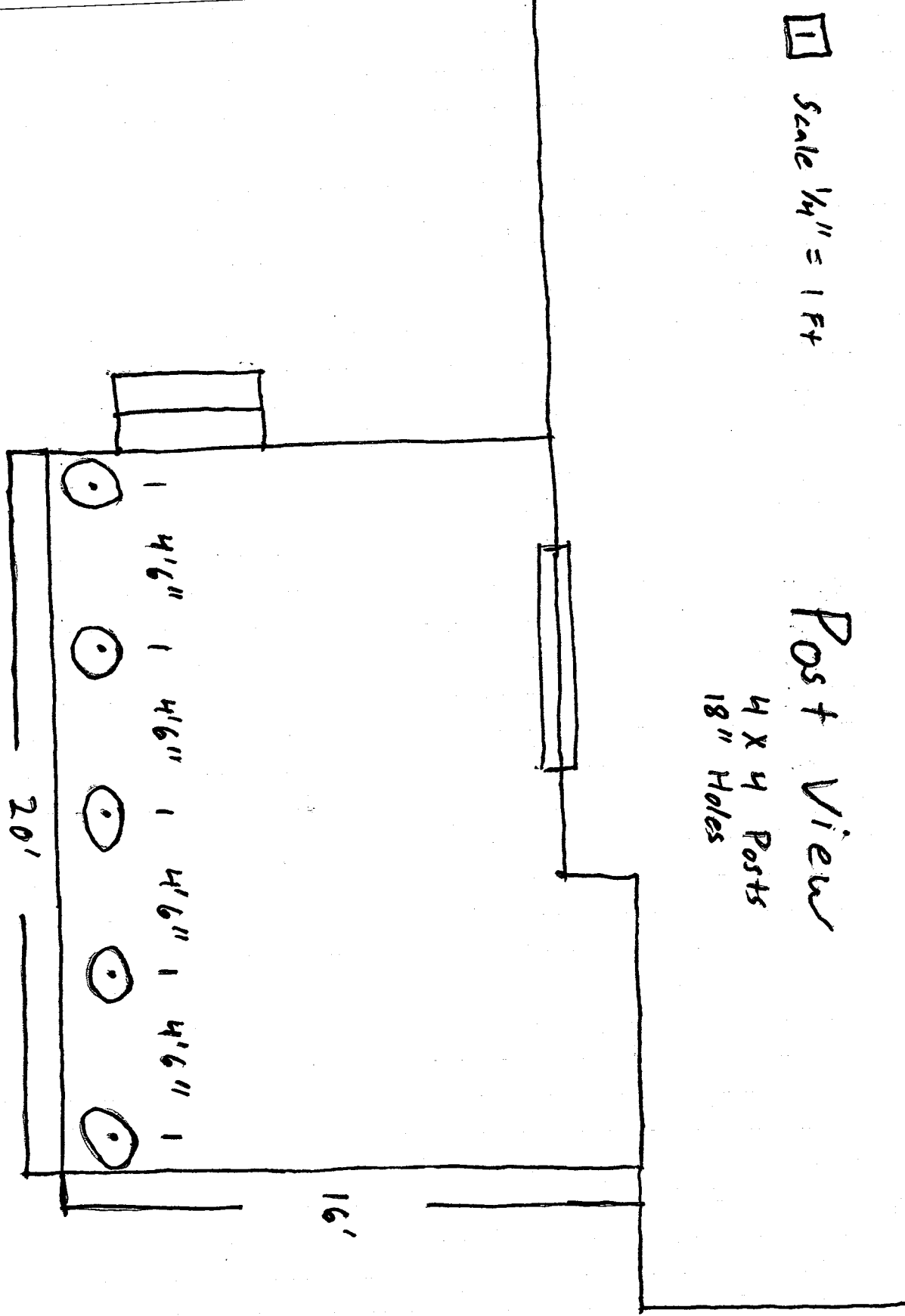
□ Scale $\frac{1}{4}'' = 1 \text{ Ft}$

Plain View



Scale 1/4" = 1 Ft

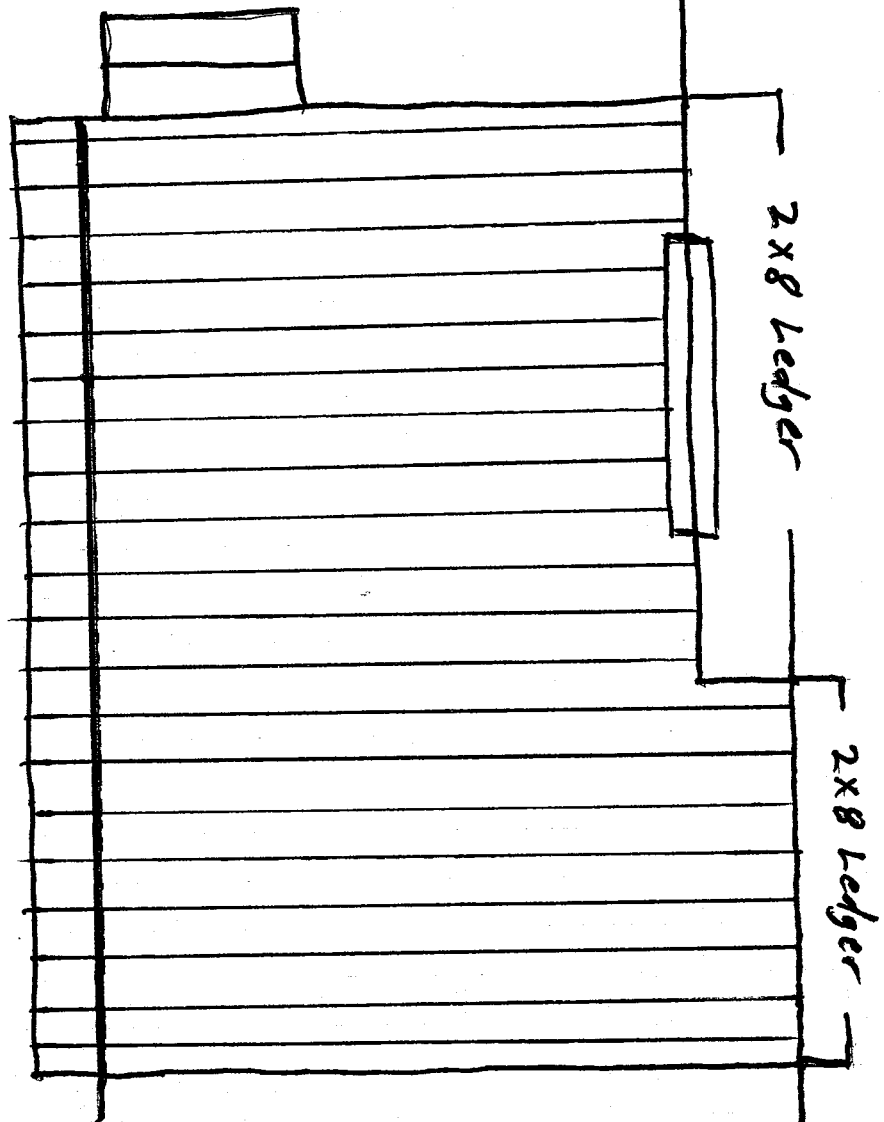
Post View
4 X 4 Posts
18" Holes



1 Scale 1/4" = 1 Ft

Joist Layout View

2x8 Joists 12" OC



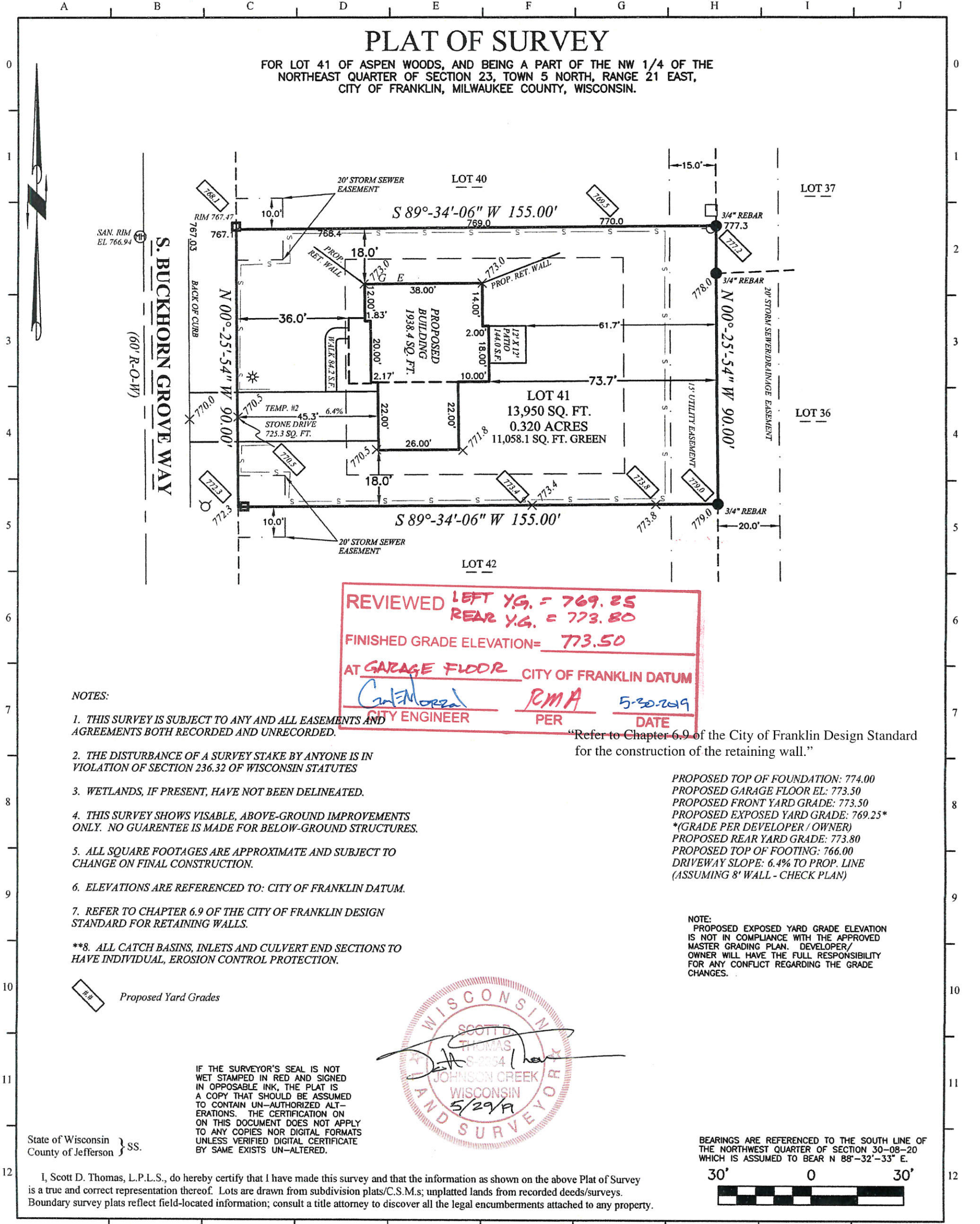
(2) 2x8 Beam

8774 S. BUCKHORN GROVE WAY

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS
202 West Street Johnson Creek, WI 53038 (920) 699-3305

PLAT OF SURVEY

FOR LOT 41 OF ASPEN WOODS, AND BEING A PART OF THE NW 1/4 OF THE NORTHEAST QUARTER OF SECTION 23, TOWN 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.



REVIEWED LEFT Y.G. = 769.25
REAR Y.G. = 773.80
FINISHED GRADE ELEVATION = 773.50
AT GARAGE FLOOR CITY OF FRANKLIN DATUM
CITY ENGINEER PER DATE
5-30-2019

NOTES:

1. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS BOTH RECORDED AND UNRECORDED.
 2. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS IN VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES
 3. WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED.
 4. THIS SURVEY SHOWS VISABLE, ABOVE-GROUND IMPROVEMENTS ONLY. NO GUARENTEE IS MADE FOR BELOW-GROUND STRUCTURES.
 5. ALL SQUARE FOOTAGES ARE APPROXIMATE AND SUBJECT TO CHANGE ON FINAL CONSTRUCTION.
 6. ELEVATIONS ARE REFERENCED TO: CITY OF FRANKLIN DATUM.
 7. REFER TO CHAPTER 6.9 OF THE CITY OF FRANKLIN DESIGN STANDARD FOR RETAINING WALLS.
- **8. ALL CATCH BASINS, INLETS AND CULVERT END SECTIONS TO HAVE INDIVIDUAL, EROSION CONTROL PROTECTION.

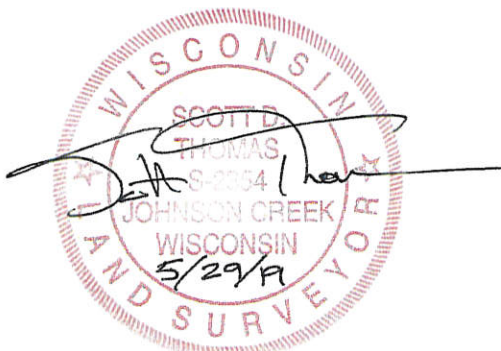
"Refer to Chapter 6.9 of the City of Franklin Design Standard for the construction of the retaining wall."

PROPOSED TOP OF FOUNDATION: 774.00
PROPOSED GARAGE FLOOR EL: 773.50
PROPOSED FRONT YARD GRADE: 773.50
PROPOSED EXPOSED YARD GRADE: 769.25*
*(GRADE PER DEVELOPER/ OWNER)
PROPOSED REAR YARD GRADE: 773.80
PROPOSED TOP OF FOOTING: 766.00
DRIVEWAY SLOPE: 6.4% TO PROP. LINE
(ASSUMING 8' WALL - CHECK PLAN)

NOTE:
PROPOSED EXPOSED YARD GRADE ELEVATION IS NOT IN COMPLIANCE WITH THE APPROVED MASTER GRADING PLAN. DEVELOPER/ OWNER WILL HAVE THE FULL RESPONSIBILITY FOR ANY CONFLICT REGARDING THE GRADE CHANGES.

Proposed Yard Grades

IF THE SURVEYOR'S SEAL IS NOT WET STAMPED IN RED AND SIGNED IN OPPOSABLE INK, THE PLAT IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UN-AUTHORIZED ALTERATIONS. THE CERTIFICATION ON ON THIS DOCUMENT DOES NOT APPLY TO ANY COPIES NOR DIGITAL FORMATS UNLESS VERIFIED DIGITAL CERTIFICATE BY SAME EXISTS UN-ALTERED.



State of Wisconsin }
County of Jefferson } SS.

I, Scott D. Thomas, L.P.L.S., do hereby certify that I have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof. Lots are drawn from subdivision plats/C.S.M.s; unplatted lands from recorded deeds/surveys. Boundary survey plats reflect field-located information; consult a title attorney to discover all the legal encumbrments attached to any property.

BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 30-08-20 WHICH IS ASSUMED TO BEAR N 88°-32'-33" E.



NOTE: EXCAVATOR AND MASON MUST VERIFY AT LEAST TWO BENCH MARKS SHOWN ABOVE.

LEGEND:

- | | | |
|------------------------------|----------------------------|--|
| ● Lot Corner (Found) w/desc. | ■ Proposed Catch Basin | X## Existing Elevation (Per Excel Engineering As-Built Job No.: 1744700) |
| □ Elec. Trans. Box | * Proposed Light Post | |
| ⊕ Man Hole | ├ Lateral End | |
| ○ Utility Pedestal | ⊖ Offset Stake | |
| ⊕ Fire Hydrant | — Platted Utility Easement | |
| ⊕ Water Valve | — Building Setback Line | |
| E Proposed Electric Service | — s — Proposed Silt Fence | |
| G Proposed Gas Service | | |

PROJECT: 7100.0041

BUILDER: Veridian Homes
6801 South Towne Drive
Madison, WI 53713
Ph: (608) 226-3100
Fax: (608) 226-0600
www.veridianhomes.com

Digitally signed by Scott D. Thomas
DN: cn=Scott D. Thomas, o=Holland & Thomas, LLC, ou, email=sdthomas@tds.net, c=US
Date: 2019.05.29 08:41:28 -05'00'

Lot 41AW

TO: CITY OF FRANKLIN, ENGINEERING DEPT.

SUBJECT: FINISHED DRIVEWAY GRADE

NOTE: The maximum allowable driveway grade for the city of Franklin is 10%. This would be the grade established from the rear of the driveway approach to the garage floor. Under normal conditions, a suggested grade would be established between 1% and 6%.

Driveway grade as submitted 6.4 %.

ENGINEERING DEPARTMENT RECOMMENDS:

- Lower garage floor _____ courses.
- Reverse garage/house location.
- Move house location upon lot.
- Other: _____
- House and lot are incompatible.

I, Veridian Homes, LLC (PRINT), as owner of the property at 8774 South Buckhorn Grove Way in the City of Franklin, am aware that the garage of the driveway at the above address is established in excess of 6%. I am aware of the alternatives available, (ie. Additional step(s), reverse the position of the house, house/garage relocation, etc.) and do accept the driveway grade as approved on the plat of survey.

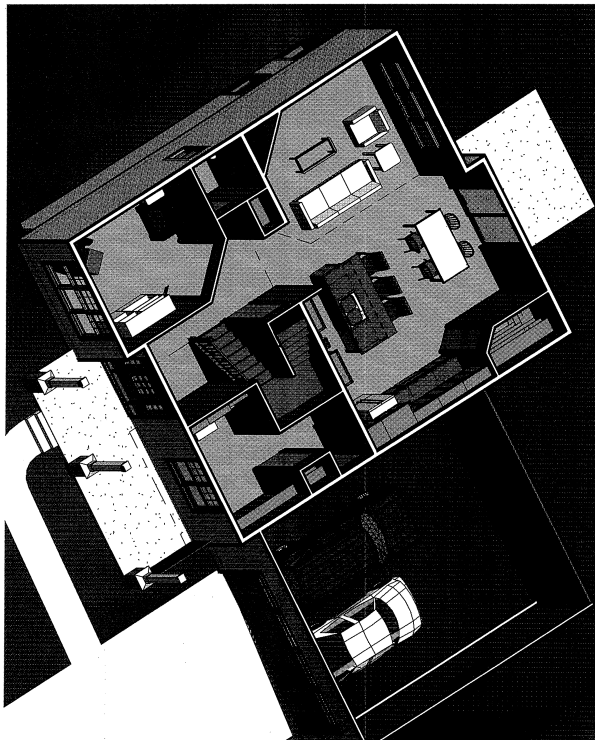
Flora Louisa
Signed

5-29-19
Date

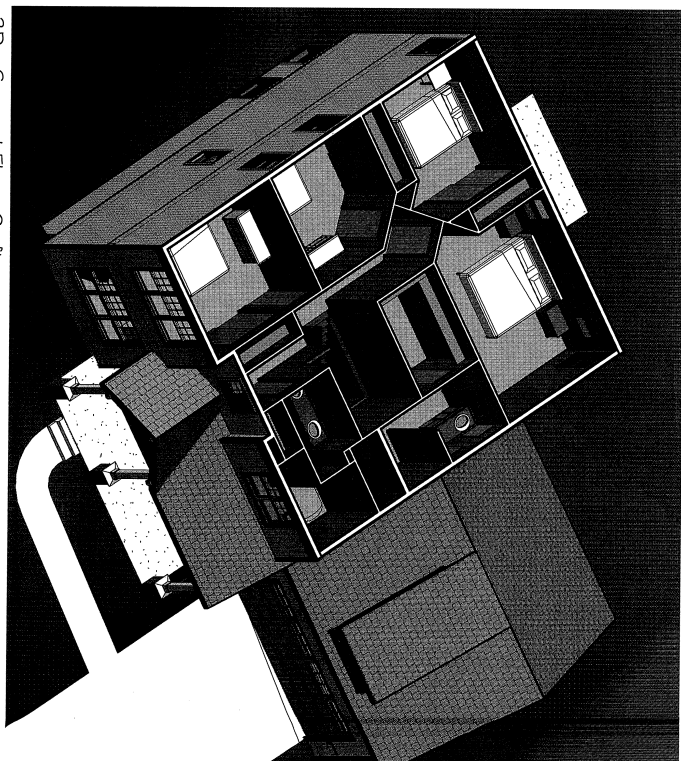
Please return to:

Franklin Engineering Department
9229 W. Loomis Road
Franklin, WI 53132

3D - First Floor Craftsman



3D - Second Floor Craftsman



Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

CRO.1	Print Date:	Model: MARGOT
	5/13/2019	Elevation: Craftsman
	2:10:20 PM	Drawn By: DRK Date: 4/19/2019

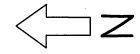
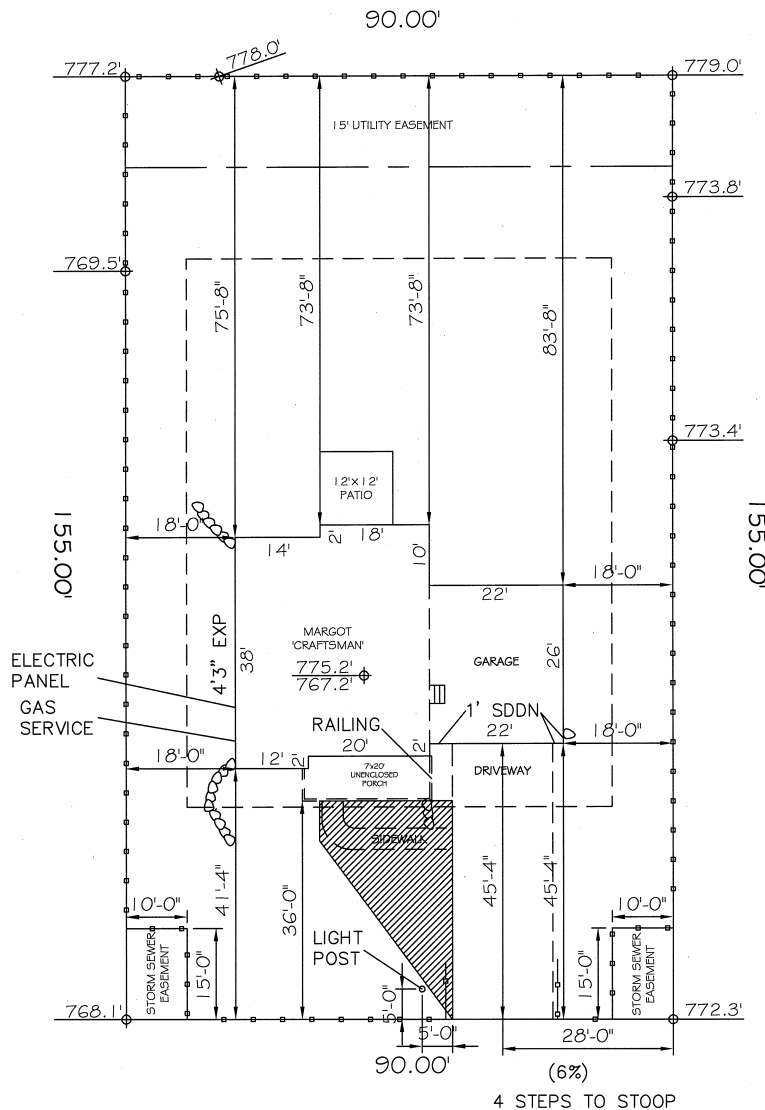

VERIDIAN HOMES
 6801 South Towne Drive
 Madison, WI 53713
 Phone 608.226.3100
 Fax 608.226.0600

Custom Designed For:	R. KUMAR NAGUBANDI & K. RAVVA
Homesite / Neighborhood:	41 ASPEN WOODS
Address:	8774 S. BUCKHORN GROVE WAY FRANKLIN, WI 53132
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	

PHASE 1
 LOT 41
 13,950 S.F.

12' MAX DECK/PATIO DEPTH
 NO PORCH ENCROACHMENT

PERMIT PLANS



GR
 2'-0"
 CUT

XXXX.X' = FINAL GRADE
 (XXXX.X') = EXISTING GRADE

LANDSCAPE KEY	
REFER TO SUBDIVISION ADDENDUM	
	SHADE TREE
	ORNAMENTAL TREE
	CONIFER
	ROCK RETAINING WALL
	STRAW EROSION MATT.
KEY	
	STD. SETBACK LINE
	VARIANCE SETBACK
	EASEMENT SETBACK
	DRAINAGE ARROW
	RETAINING WALL ARROW
	EROSION CONTROL
	MAIN TRANSFORMER
	SM. TRANSFORMER

S. BUCKHORN GROVE WAY

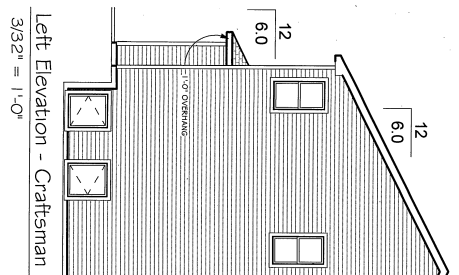
NOTE:
 *EROSION MATTING TO BE APPLIED AND INSTALLED BY LANDSCAPING CONTRACTOR AT TIME OF FINE GRADE AND SEED
 *RETAINING WALL SYMBOLS ARE ONLY TO REPRESENT WHERE THEY ARE NEEDED-IT IS UP TO THE LANDSCAPER TO DETERMINE THE LENGTH NEEDED AND IN WHAT DIRECTION THEY SHOULD BE PLACED.

HOMESITE: 41	CUSTOMER: R. KUMAR NAGUBANDI & S. RAVVA
NEIGHBORHOOD: ASPEN WOODS	ADDRESS: 8774 S. BUCKHORN GROVE WAY
MODEL: MARGOT CRAFTSMAN	FRANKLIN, WI 53132
SITE AREA: 13,950 SQ. FT.	CUSTOMER APPROVAL: _____ DATE: / / 19 _____ DATE: / / 19 _____ DATE: / / 19
IMPERVIOUS AREA: 2,820 SQ. FT.	
SCALE: 1"=20'-0"	VH APPROVAL: APR 26 2019
DRAWN BY: DRK	_____ DATE: / / 19
DATE: 4/19/2019	

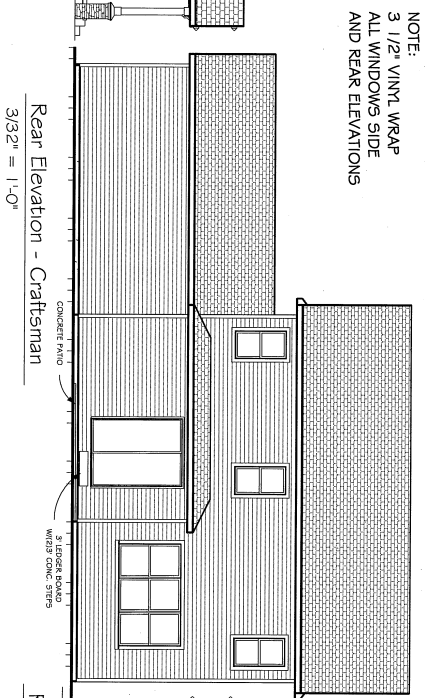
ZONED: R-3
MINIMUM SETBACKS
FRONT: 35'
REAR: 30'
SIDE: 10'
TOTAL SIDE: 20'
CORNER SIDE: 25'

VERIDIAN HOMES

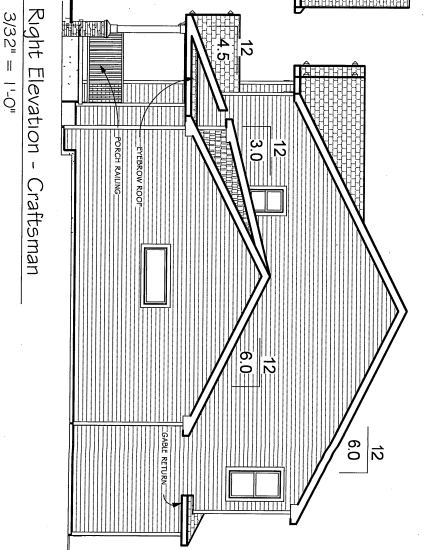
6801 South Towne Drive
 Madison, WI 53713
 (608)226-3100 Fax: (608)226-0600



Left Elevation - Craftsman
3/32" = 1'-0"



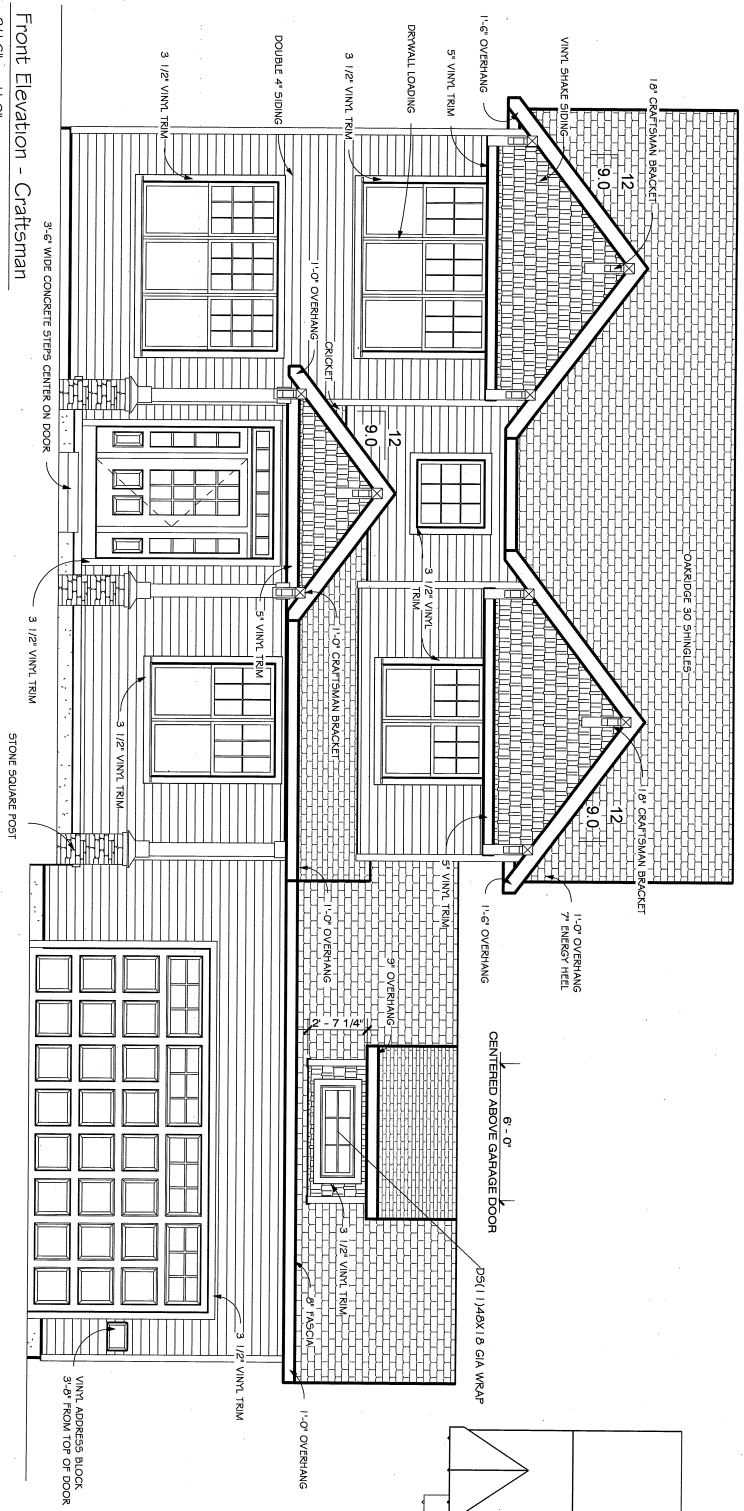
Rear Elevation - Craftsman
3/32" = 1'-0"



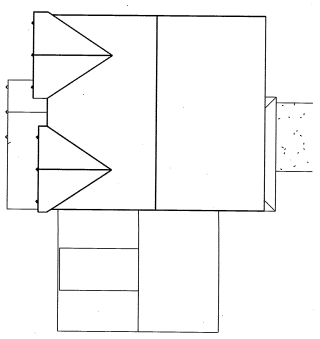
Right Elevation - Craftsman
3/32" = 1'-0"

NOTE:
3 1/2" VINYL WRAP
ALL WINDOWS, SIDE
AND REAR ELEVATIONS

Front Elevation - Craftsman
3/16" = 1'-0"



Roof Plan
3/64" = 1'-0"



Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from those shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

CR2	Print Date:	5/13/2019
	Model:	MARGOT
	Elevation:	Craftsman
	Drawn By:	DRK Date: 4/19/2019

VERIDIAN HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: R. KUMAR NAGUBANDI & K. RAVVA
 Homesite / Neighborhood: 41 ASPEN WOODS
 Address: 8774 S. BUCKHORN GROVE WAY
 FRANKLIN, WI 53132

Customer Approval:

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CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.3.

Meeting of August 4, 2022

Area Exception

RECOMMENDATION: City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant’s recommended findings and consideration of any comments provided at the public hearing.

Project Name:	Patel, Area Exception for lot coverage increase
Project Address:	7406 S. Cambridge Drive
Applicant:	Patel, Sanjay
Property Owner:	Patel, Sanjay
Agent:	Wamser, Steve
Current Zoning:	R-3E Suburban/Estate Single Family Residence District
Use of Surrounding Properties:	Residential single-family
Applicant’s Action Requested:	Recommendation for approval of Area Exception
Planner:	Régulo Martínez-Montilva, AICP, Principal Planner

INTRODUCTION:

Area Exception to allow for a lot coverage of 16.84% (7,070 square feet) for a new single-family home in the Oakes Estates subdivision, exceeding the R-3E Suburban/Estate Single Family Residence District maximum lot coverage standard of 15% (6,297 square feet). The area of the subject property is 41,984 square feet.

According to the applicant’s calculation, the residence structure would have a footprint of 4,543 square feet; plus an attached garage (1,118 sf), a courtyard (569 sf) and a deck with stairs (840 sf).

This is the third Area Exception application in the Oaks Estates subdivision (platted in 2020) to be heard by the Plan Commission and the Board of Zoning and Building Appeals this year.

PROJECT ANALYSIS:

The process to grant an Area Exception involves review and recommendation of the Plan Commission and decision by the Board of Zoning and Building Appeals.

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%. Section 15-10.0209.G. of the Unified Development Ordinance (UDO) specifically lists Standards to be reviewed to grant or deny an Area Exception, which the Plan Commission and Board of Zoning and Building Appeals will use to consider the request.

Lot coverage is defined as “the area of a zoning lot occupied by the principal building or buildings, accessory structure(s) and accessory building(s)”. For example, structures that count towards lot coverage include: principal buildings or dwellings, garages, sheds, swimming pools and associated paved surfaces within 4 feet from the pool, decks, any structures with a cover or canopy, etc. This Lot Coverage definition should not be confused with Impervious Surface Ratio (ISR) as driveways and walkways count towards ISR but not for lot coverage.

Maximum lot coverage calculation:

- The property area is 41,984 square feet (sf).
- Per UDO Table 15-3.0203, the maximum lot coverage is 15% in the R-3E Suburban/Estate Single-Family Residence District where the subject property is located. Based on the property area, the maximum lot coverage for this property is 6,297 sf.
- According to the applicant’s calculation, the residence structure would have a footprint of 4,543 square feet; plus an attached garage (1,118 sf), a courtyard (569 sf) and a deck with stairs (840 sf). For a total lot coverage of 16.84% (7,070 sf).
- With approval of an Area Exception, the maximum lot coverage may be increased up to 20% over the maximum permitted lot coverage in this zoning district (15%), resulting in 18% (7,557 sf). Therefore, your request falls within the allowable increase if the Area Exception is granted.

	Description	Lot coverage	
		Percent of lot area Lot area: 41,984 sf	Measured in square feet (sf)
Proposal	Principal building and accessory structures	16.84%	7,070 sf
Maximum permitted by right	Maximum lot coverage in the R-3E Suburban/Estate Single-Family Residence District without the need of an Area Exception	15.00%	6,297 sf
Maximum increase with Area Exception	Per UDO Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%.	18.00%	7,557 sf

Engineering Department comments

- *Engineering has no comments on the Area Exception per the Zoning District requirements. However, the maximum impervious cannot exceed 30% of the lot area per the approved Storm Water Management Plan.*

Fire Department comments

- *The fire department has no comments.*

Police Department comments

- *The PD has no comment regarding this request.*

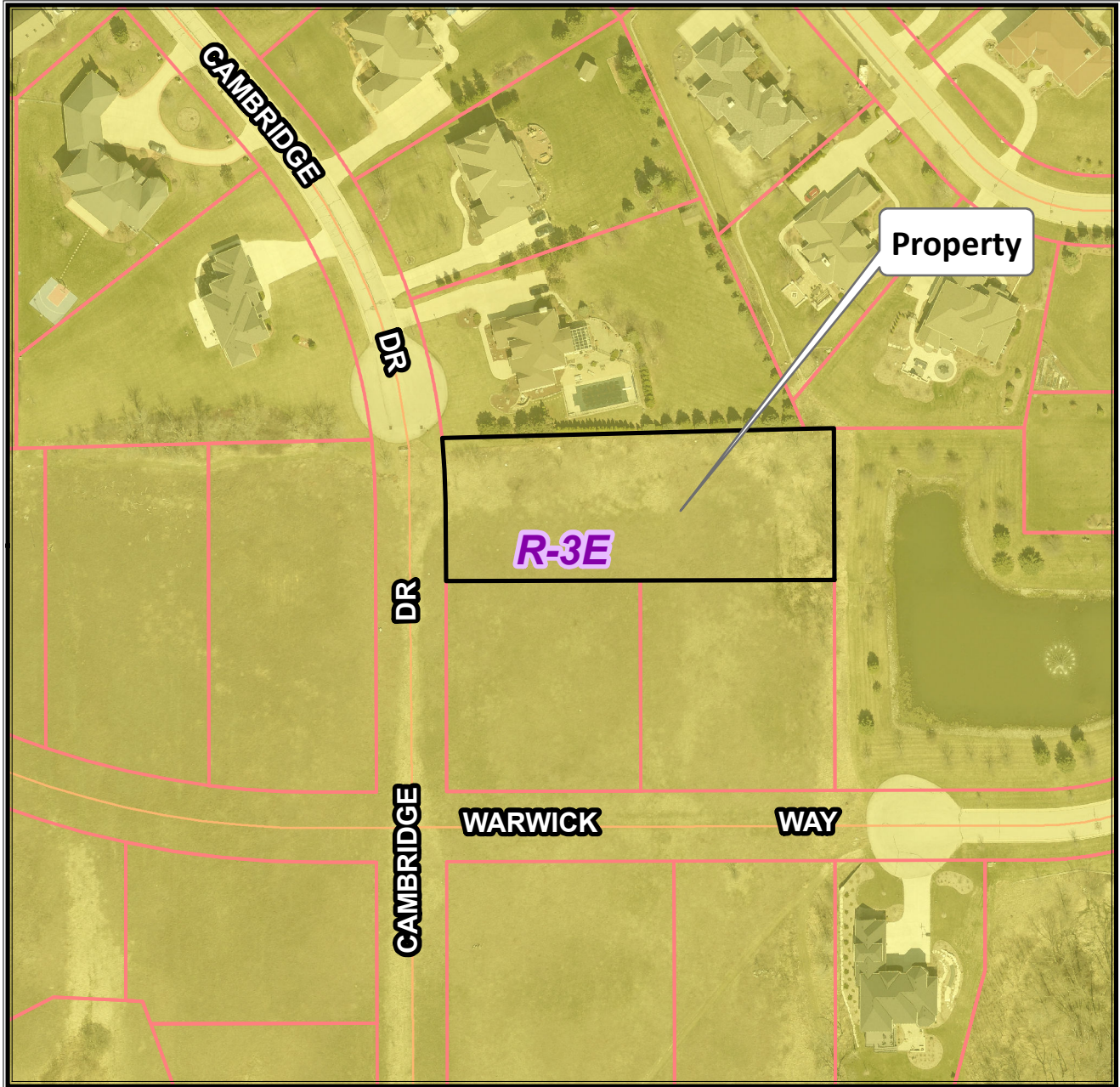
Inspection Services Department comments

- *Inspection Services has no comments on the proposal at this time.*

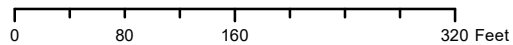
STAFF RECOMMENDATION

City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant's recommended findings and consideration of any comments provided at the public hearing.

7406 S. Cambridge Drive
TKN: 754 0077 000



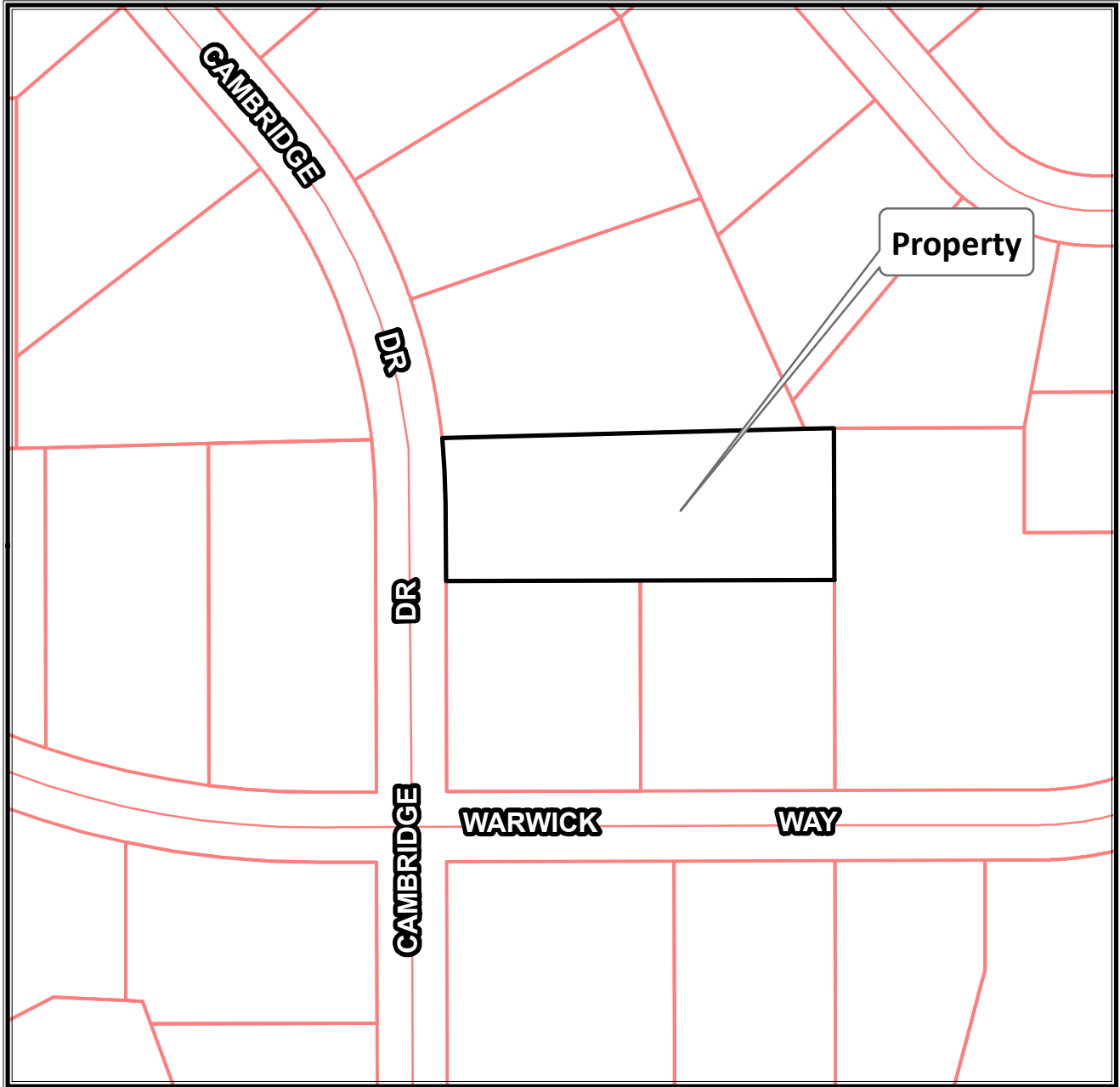
Planning Department
(414) 425-4024



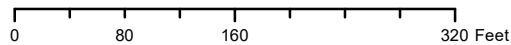
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



7406 S. Cambridge Drive
TKN: 754 0077 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
generalplanning@franklinwi.gov
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: 4/19/2022

STAMP DATE: city use only

BOARD OF ZONING AND BUILDING APPEALS REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Sanjay Patel	NAME: Steve Wamser
COMPANY:	COMPANY: Synergy Homes WI, LLC
MAILING ADDRESS: 4157 W. Whispering Pass	MAILING ADDRESS: PO Box 321486
CITY/STATE: Franklin ZIP: 53132	CITY/STATE: Franklin ZIP: 53132
PHONE: 414-807-6603	PHONE: 414-690-2533
EMAIL ADDRESS: sanjay13@outlook.com	EMAIL ADDRESS: steve@synergyhomeswi.com

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 7406 S. Cambridge Drive	TAX KEY NUMBER: 7540077000
PROPERTY OWNER: Sanjay Patel	PHONE: 414-690-2533
MAILING ADDRESS: 4157 W. Whispering Pass	EMAIL ADDRESS: steve@synergyhomeswi.com
CITY/STATE: Franklin ZIP: 53132	DATE OF COMPLETION: office use only

APPLICATION TYPE

Please check the application type that you are applying for

Area Exception
 Minor Variance
 Sign Variance and Appeals
 Variance and Appeals

Most requests require Board of Zoning and Building Appeals approval.

Applicant is responsible for providing Board of Zoning and Building Appeals resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for BZBA approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
NAME & TITLE: Sanjay Patel	NAME & TITLE: Steven D. Wamser
DATE: 4-19-2022	DATE: 4-19-2022
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE:	NAME & TITLE:
DATE:	DATE:



April 19, 2022

Heath Eddy
Planning Manager
City of Franklin

Dear Mr. Eddy

I'm writing you in regards to 7406 S. Cambridge Drive Franklin, WI 53132. The home designed for The Patel family is consistent in size and scope of the other homes in Oakes Estates. There are many large multi-million dollar homes in the development and we are requesting approval to increase area coverage above the 15% for this home to be constructed as drawn which includes an open air patio and open air front courtyard.

I have attached the survey, home plans, signed affidavit, color renderings of the home. This was also approved by the Developer Max Oakes. Please note the color renderings are inspiration only and do not represent the plans exactly as drawn.

Thank You,
Steve Wamser
Synergy Homes WI, LLC
www.synergyhomeswi.com
414-690-2533

Synergy Homes WI, LLC.
PO Box 321486, Franklin, WI 53132
steve@synergyhomeswi.com
414 690 2533

Questions to be Answered by the Applicant for Zoning Appeal or Variance

Date: 6/15/2022

Case No. _____

Property Owner: Sanjay Patel

Property Address: 7406 S. Cambridge Drive Franklin, WI 53132

Section 15-9.0105 / Section 15-9.0106 of the City of Franklin Unified Development Ordinance specifically lists Questions to be Answered by the Applicant to be reviewed by the Board of Zoning and Building Appeals to grant or deny a Variance or an Appeal. The Questions to be Answered are:

1. Indication of the section(s) of the Ordinance being *appealed* or from which a *variance* is requested.

R3E Zoning

Home structure will exceed 15% when this variance is approved.

2. Statement regarding the *appeal* requested, giving distances and dimensions where appropriate; or, in the case of an *appeal* of a decision of the Zoning Administrator or Building Inspector, the circumstances and appeal being requested.

Statement regarding the *variance* requested, giving distances and dimensions where appropriate.

We are requesting a courtyard to be added to the front of the house and to the rear of the property making the garage larger to accommodate a 4th garage stall.

3. Statement of the reason(s) for the request.

When architect drew the plans in 2020 and 2021 there was confusion and misscommunication between architect and Franklin zoning in regards to porches/open air patios and courtyards.

The home will be ascetically more pleasing with the courtyard and 4 car garage.

4. Statement of the exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district and which cause the hardship. [Note: *Economic hardship and self-imposed hardship are not grounds for the granting of a variance.*]

This is the 3rd home in the neighborhood that has requested a variance over the 15% in the R3E zoning. Franklin zoning should look to increase this zoning percentage to 25% as homeowners wanted to build estate type homes on half acre to 1 acre city lots is more common nowadays.

5. Date of any previous application for an appeal/variance and the disposition of the previous application (if any).

I began to apply for this back on 4/19/2022 but we decided to modify the plan and acquire building permit first and then apply for variance.

S+J RESIDENCE

OAKES ESTATES

7406 S CAMBRIDGE DRIVE
FRANKLIN, WI 53132

PROJECT #200810

BOARD OF ZONING & APPEALS
JUNE 13, 2022

ANSI SQFT TOTALS

BASEMENT: 3,360 SQ.FT.
FIRST FLOOR: 4,015 SQ.FT.
SECOND FLOOR: 2,689 SQ.FT.

TOTAL: 10,064 SQ.FT.

+ GARAGE: 1,056 SQ.FT.
+ STORAGE: 649 SQ.FT.
+ EXTERIOR: 1,116 SQ.FT.

TOTAL ALL INT: 11,769 SQ.FT. (EXCLUDES EXT.)

IMPERVIOUS SURFACE COVERAGE %

HOUSE: 4,543 SQFT
GARAGE: 1,118 SQFT
DECK W/STAIRS: 840 SQFT
COURTYARD: 569 SQFT
TOTAL DRIVE AREA: 5,356 SQFT

TOTAL USAGE: 12,426 (29.60%)

TOTAL LOT SIZE: 41,984 SQFT

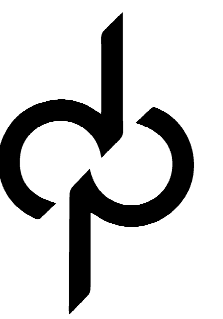
LOT COVERAGE

HOUSE: 4,543 SQFT
GARAGE: 1,118 SQFT
COURTYARD: 569 SQFT
DECK W/STAIRS: 840 SQFT

TOTAL COVERAGE: 7,070 SQFT (16.84%)

SHEET CONTENTS

AS 1.01	SITE PLAN & PERMEABILITY
A 1.00	FOUNDATION PLAN
A 1.01	MAIN FLOOR PLAN
A 1.02	UPPER FLOOR PLAN
A 1.03	LOWER FLOOR PLAN
A 1.04	PARTIAL FLOOR PLAN
A 1.05	ROOF PLAN
A 1.21	ENLARGED COURTYARD
A 1.36	ENLARGED DECK & STAIRS
A 1.37	ENLARGED WALKOUT
A 2.01	ELEVATIONS
A 2.02	ELEVATIONS
A 3.21	WALL SECTION
ME 1.00	HVAC DIAGRAMS



DIPEN PATEL ARCHITECTURAL DESIGNER
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

SYNERGY HOMES WI CONTRACTOR
PO Box 321486
Franklin, WI 53132
p.414.690.2533

PATERA LLC STRUCTURAL ENGINEER
2501 S. Sunny Slope Rd.
New Berlin, WI 53151
p.262.786.6776

S+J RESIDENCE

Project No: 200810

(LOT 7) S CAMBRIDGE DRIVE
FRANKLIN, WI 53132

100% CD SET

DATE ISSUED:
JUNE 13, 2022

PERMIT SET AREA EXCEPTION DRAWINGS

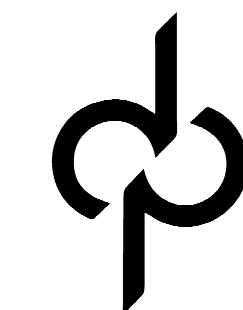
NOTE: Please refer to contractor/engineer for any applicable building codes.

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COVER SHEET

G 0.00





DIPEN PATEL ARCHITECTURAL DESIGNER
 3600 W 153rd St.
 Leawood, KS 66224
 p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
 3600 W 153rd St.
 Leawood, KS 66224
 p.816.686.2234

SYNERGY HOMES WI CONTRACTOR
 PO Box 321486
 Franklin, WI 53132
 p.414.690.2533

PATERA LLC STRUCTURAL ENGINEER
 2501 S. Sunny Slope Rd.
 New Berlin, WI 53151
 p.262.786.6776

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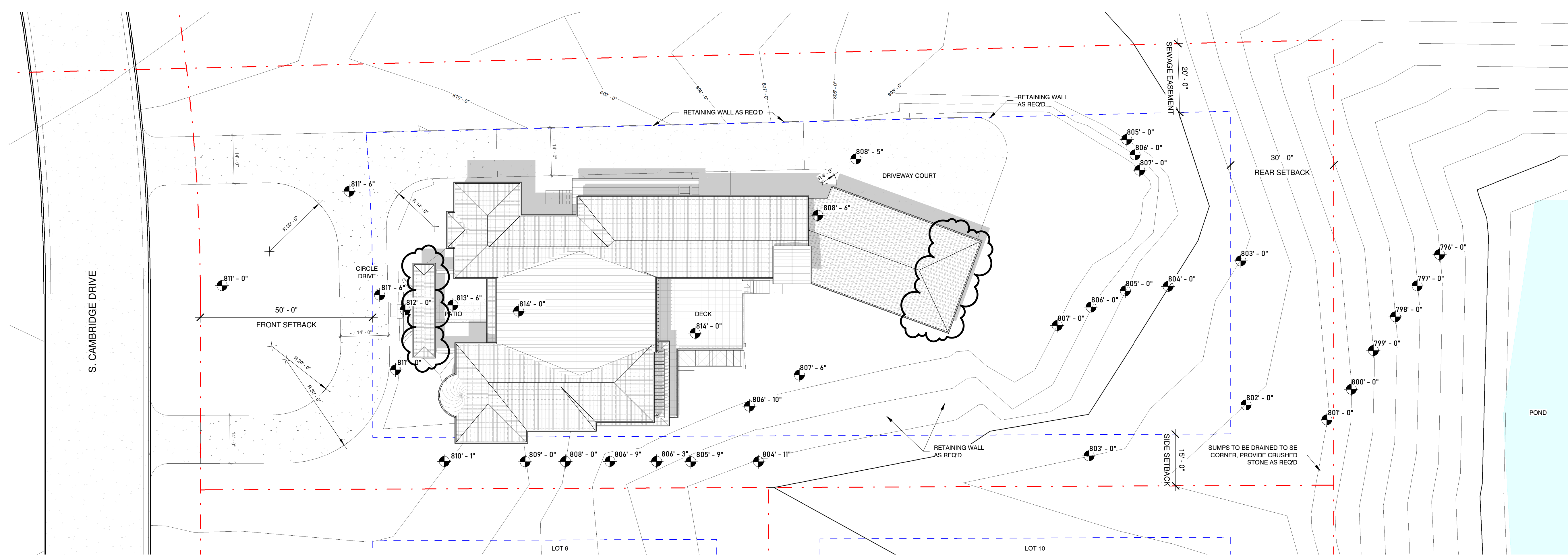
DATE ISSUED:
 JUNE 13, 2022

**PERMIT SET
 AREA EXCEPTION
 DRAWINGS**

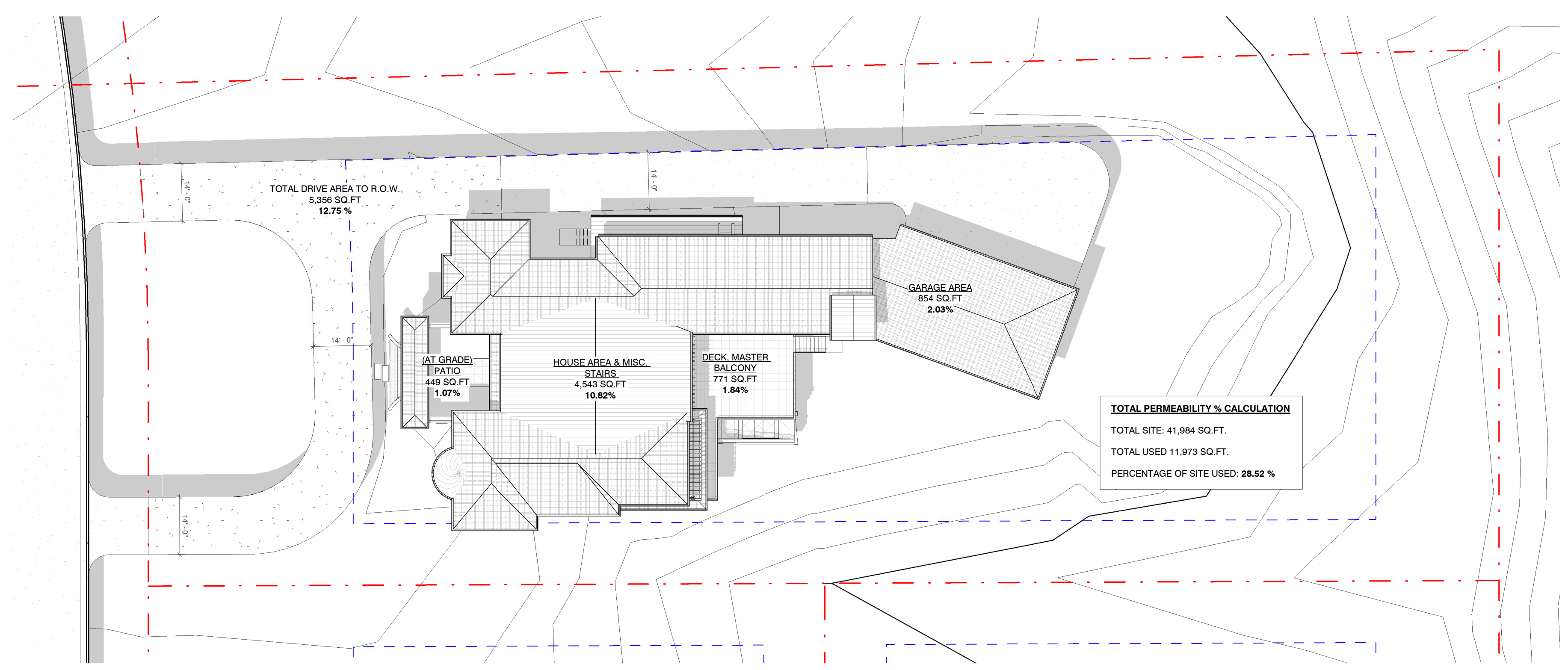
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SITE PLAN
AS 1.01



A) SITE PLAN
 1/16" = 1'-0"



B) PERMEABILITY CALCULATIONS
 1" = 20'-0"

A

B

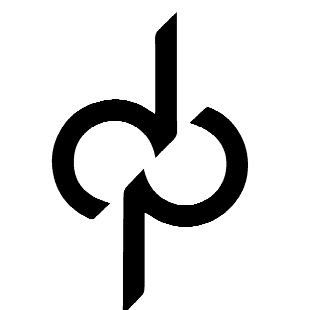
C

D

E

F

1 2 3 4 5 6 7 8



DIPEN PATEL ARCHITECTURAL DESIGNER
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

SYNERGY HOMES WI CONTRACTOR
PO Box 321486
Franklin, WI 53132
p.414.690.2533

PATERA LLC STRUCTURAL ENGINEER
2601 S. Sunny Slope Rd.
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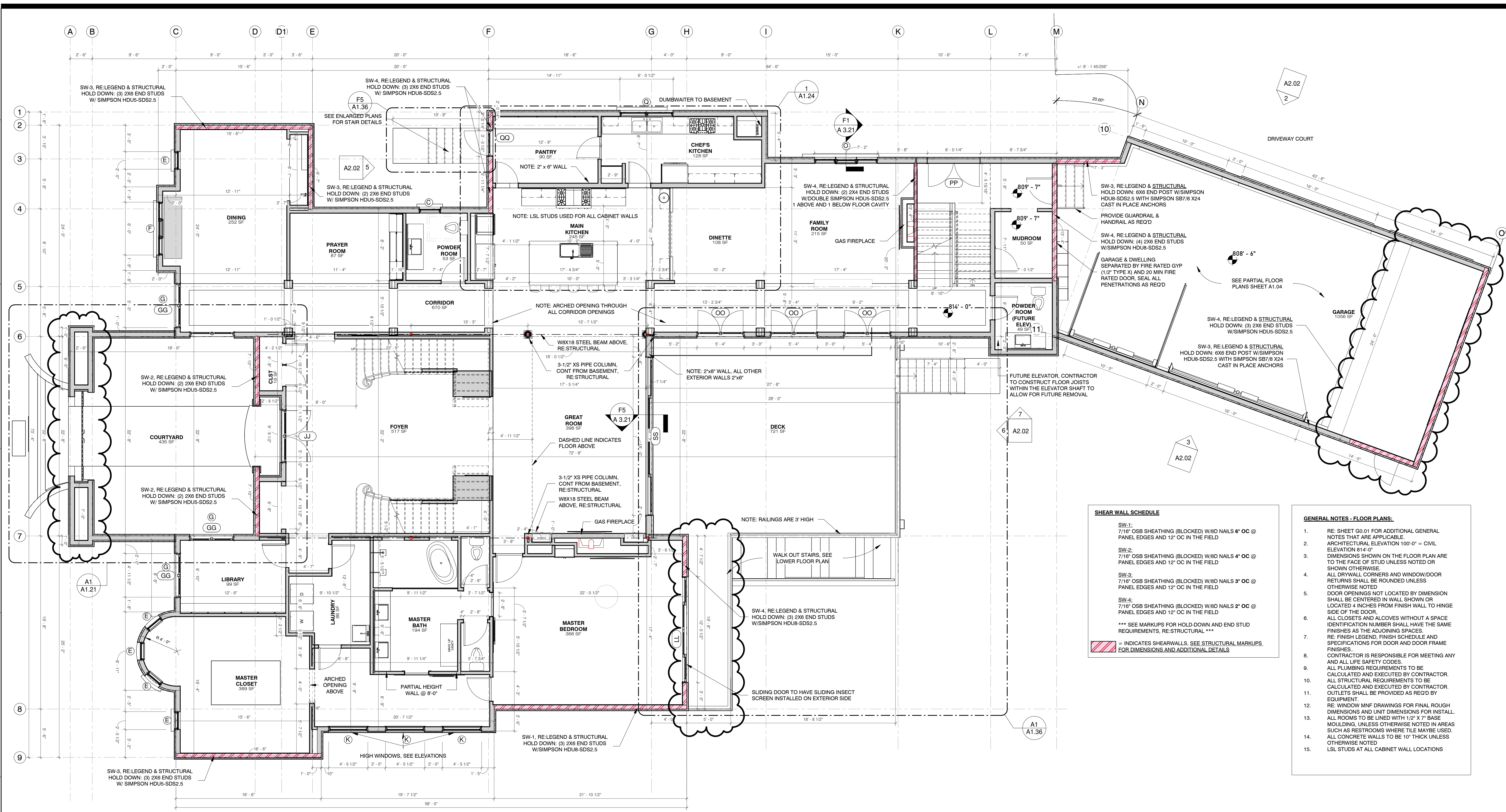
PERMIT SET AREA EXCEPTION DRAWINGS

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MAIN FLOOR PLAN

A1.01



SHEAR WALL SCHEDULE

SW-1:
7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 6" OC @ PANEL EDGES AND 12" OC IN THE FIELD

SW-2:
7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 4" OC @ PANEL EDGES AND 12" OC IN THE FIELD

SW-3:
7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 3" OC @ PANEL EDGES AND 12" OC IN THE FIELD

SW-4:
7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 2" OC @ PANEL EDGES AND 12" OC IN THE FIELD

*** SEE MARKUPS FOR HOLD-DOWN AND END STUD REQUIREMENTS, RE-STRUCTURAL ***

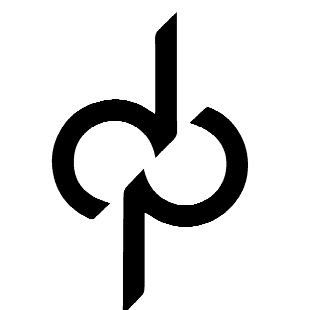
▨ INDICATES SHEARWALLS. SEE STRUCTURAL MARKUPS FOR DIMENSIONS AND ADDITIONAL DETAILS

- GENERAL NOTES - FLOOR PLANS:**
- RE-SHEET 00.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION 814'-0"
 - DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE
 - ALL DRYWALL CORNERS AND WINDOW/DOOR RETURNS SHALL BE ROUNDED UNLESS OTHERWISE NOTED
 - DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL, SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR.
 - ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
 - RE-FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
 - CONTRACTOR IS RESPONSIBLE FOR MEETING ANY AND ALL LIFE SAFETY CODES.
 - ALL PLUMBING REQUIREMENTS TO BE CALCULATED AND EXECUTED BY CONTRACTOR.
 - ALL STRUCTURAL REQUIREMENTS TO BE CALCULATED AND EXECUTED BY CONTRACTOR.
 - OUTLETS SHALL BE PROVIDED AS REQ'D BY EQUIPMENT.
 - RE WINDOW MANF DRAWINGS FOR FINAL ROUGH DIMENSIONS AND UNIT DIMENSIONS FOR INSTALL.
 - ALL ROOMS TO BE LINED WITH 1/2" X 7' BASE MOLDING, UNLESS OTHERWISE NOTED IN AREAS SUCH AS RESTROOMS WHERE TILE MAYBE USED.
 - ALL CONCRETE WALLS TO BE 10" THICK UNLESS OTHERWISE NOTED
 - LSL STUDS AT ALL CABINET WALL LOCATIONS

1 MAIN FLOOR
3/16" = 1'-0"
N

ANSI MAIN LEVEL					
Level	Number	Name	Area	Department	
MAIN FLOOR	56	LIBRARY	99 SF	N	
MAIN FLOOR	57	PRAYER ROOM	57 SF	N	
MAIN FLOOR	58	FOYER	517 SF	N	
MAIN FLOOR	59	GREAT ROOM	398 SF	N	
MAIN FLOOR	64	MASTER BATH	194 SF	N	
MAIN FLOOR	68	CHEF'S KITCHEN	298 SF	N	
MAIN FLOOR	69	PANTRY	90 SF	N	
MAIN FLOOR	72	MASTER BEDROOM	368 SF	N	
MAIN FLOOR	77	FAMILY ROOM	215 SF	N	
MAIN FLOOR	78	DINETTE	108 SF	N	
MAIN FLOOR	79	MAIN KITCHEN	245 SF	N	
MAIN FLOOR	80	CORRIDOR	670 SF	N	
MAIN FLOOR	2	MASTER CLOSET	389 SF	N	
MAIN FLOOR	124	DINING	252 SF	N	
MAIN FLOOR	125	LAUNDRY	86 SF	N	
MAIN FLOOR	161	CLST	16 SF	N	
MAIN FLOOR	162	POWDER ROOM	53 SF	N	
MAIN FLOOR	171	POWDER ROOM (FUTURE ELEV)	49 SF	N	
MAIN FLOOR	170	MUDROOM	50 SF	N	
Grand total:	19		4014 SF		

MAIN LEVEL ALL					
Level	Number	Name	Area	Department	
MAIN FLOOR	56	LIBRARY	99 SF	N	
MAIN FLOOR	57	PRAYER ROOM	57 SF	N	
MAIN FLOOR	58	FOYER	517 SF	N	
MAIN FLOOR	59	GREAT ROOM	398 SF	N	
MAIN FLOOR	63	COURTYARD	435 SF	N	OUTDOOR
MAIN FLOOR	64	MASTER BATH	194 SF	N	
MAIN FLOOR	68	CHEF'S KITCHEN	298 SF	N	
MAIN FLOOR	69	PANTRY	90 SF	N	
MAIN FLOOR	72	MASTER BEDROOM	368 SF	N	
MAIN FLOOR	77	FAMILY ROOM	215 SF	N	
MAIN FLOOR	78	DINETTE	108 SF	N	
MAIN FLOOR	79	MAIN KITCHEN	245 SF	N	
MAIN FLOOR	80	CORRIDOR	670 SF	N	
MAIN FLOOR	82	GARAGE	1056 SF	N	GROSS
MAIN FLOOR	2	MASTER CLOSET	389 SF	N	
MAIN FLOOR	124	DINING	252 SF	N	
MAIN FLOOR	125	LAUNDRY	86 SF	N	
MAIN FLOOR	148	DECK	721 SF	N	OUTDOOR
MAIN FLOOR	149	MASTER BALCONY	Redundant Room	N	OUTDOOR
MAIN FLOOR	161	CLST	16 SF	N	
MAIN FLOOR	162	POWDER ROOM	53 SF	N	
MAIN FLOOR	171	POWDER ROOM (FUTURE ELEV)	49 SF	N	
MAIN FLOOR	170	MUDROOM	50 SF	N	
Grand total:	23		6227 SF		



DIPEN PATEL ARCHITECTURAL DESIGNER
 3600 W 153rd St.
 Leawood, KS 66224
 p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
 3600 W 153rd St.
 Leawood, KS 66224
 p.816.686.2234

SYNERGY HOMES WI CONTRACTOR
 PO Box 321486
 Franklin, WI 53132
 p.414.590.2533

PATERA LLC STRUCTURAL ENGINEER
 2501 S. Sunny Slope Rd.
 New Berlin, WI 53151
 p.262.786.6776

- GENERAL NOTES - FLOOR PLANS:**
- RE: SHEET 00.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION 814'-0"
 - DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE.
 - ALL DRYWALL CORNERS AND WINDOW/DOOR RETURNS SHALL BE ROUNDED UNLESS OTHERWISE NOTED.
 - DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR.
 - ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
 - RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
 - CONTRACTOR IS RESPONSIBLE FOR MEETING ANY AND ALL LIFE SAFETY CODES.
 - ALL PLUMBING REQUIREMENTS TO BE CALCULATED AND EXECUTED BY CONTRACTOR.
 - ALL STRUCTURAL REQUIREMENTS TO BE CALCULATED AND EXECUTED BY CONTRACTOR.
 - OUTLETS SHALL BE PROVIDED AS RECD BY EQUIPMENT.
 - RE: WINDOW MFR DRAWINGS FOR FINAL ROUGH DIMENSIONS AND UNIT DIMENSIONS FOR INSTALL.
 - ALL ROOMS TO BE LINED WITH 1/2" X 7" BASE MOULDING UNLESS OTHERWISE NOTED IN AREAS SUCH AS RESTROOMS WHERE TILE MAYBE USED.
 - ALL CONCRETE WALLS TO BE 10" THICK UNLESS OTHERWISE NOTED.
 - LSL STUDS AT ALL CABINET WALL LOCATIONS.

- SHEAR WALL SCHEDULE**
- SW-1: 7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 6" OC @ PANEL EDGES AND 12" OC IN THE FIELD
- SW-2: 7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 4" OC @ PANEL EDGES AND 12" OC IN THE FIELD
- SW-3: 7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 3" OC @ PANEL EDGES AND 12" OC IN THE FIELD
- SW-4: 7/16" OSB SHEATHING (BLOCKED) W/8D NAILS 2" OC @ PANEL EDGES AND 12" OC IN THE FIELD
- *** SEE MARKUPS FOR HOLD-DOWN AND END STUD REQUIREMENTS, RE:STRUCTURAL ***
- INDICATES SHEARWALLS. SEE STRUCTURAL MARKUPS FOR DIMENSIONS AND ADDITIONAL DETAILS

S + J RESIDENCE

Project No: 200810

(LOT 7) S CAMBRIDGE DRIVE
 FRANKLIN, WI 53132

100% CD SET

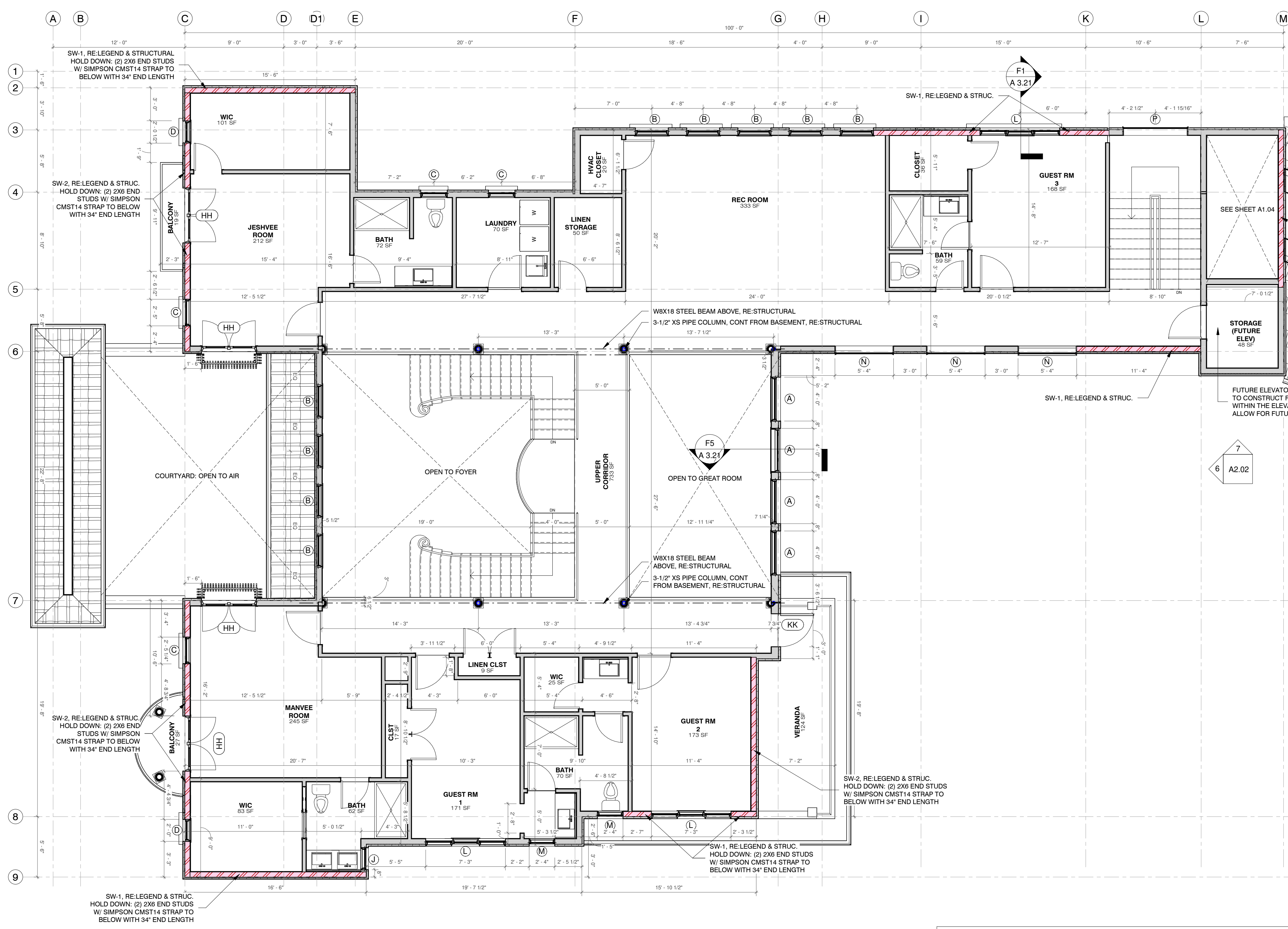
DATE ISSUED:
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**PERMIT SET
 AREA EXCEPTION
 DRAWINGS**

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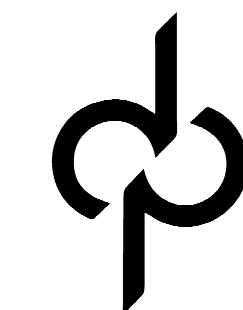
**UPPER FLOOR PLAN
 A1.02**



1 UPPER FLOOR
 3/16" = 1'-0"

ANSI UPPER LEVEL				
Level	Number	Name	Area	Department
UPPER FLOOR	8	JESHVEE ROOM	212 SF	N
UPPER FLOOR	10	LINEN STORAGE	50 SF	N
UPPER FLOOR	11	GUEST RM 3	168 SF	N
UPPER FLOOR	12	CLOSET	36 SF	N
UPPER FLOOR	13	BATH	59 SF	N
UPPER FLOOR	14	REC ROOM	333 SF	N
UPPER FLOOR	16	BATH	62 SF	N
UPPER FLOOR	17	WIC	83 SF	N
UPPER FLOOR	18	GUEST RM 1	171 SF	N
UPPER FLOOR	19	CLST	17 SF	N
UPPER FLOOR	20	LAUNDRY	70 SF	N
UPPER FLOOR	21	BATH	70 SF	N
UPPER FLOOR	22	WIC	25 SF	N
UPPER FLOOR	23	GUEST RM 2	173 SF	N
UPPER FLOOR	25	BATH	72 SF	N
UPPER FLOOR	91	UPPER CORRIDOR	733 SF	N
UPPER FLOOR	126	MANVEE ROOM	245 SF	N
UPPER FLOOR	127	WIC	101 SF	N
UPPER FLOOR	157	LINEN CLST	9 SF	N
Grand total: 19			2689 SF	

UPPER LEVEL ALL				
Level	Number	Name	Area	Department
UPPER FLOOR	8	JESHVEE ROOM	212 SF	N
UPPER FLOOR	10	LINEN STORAGE	50 SF	N
UPPER FLOOR	11	GUEST RM 3	168 SF	N
UPPER FLOOR	12	CLOSET	36 SF	N
UPPER FLOOR	13	BATH	59 SF	N
UPPER FLOOR	14	REC ROOM	333 SF	N
UPPER FLOOR	16	BATH	62 SF	N
UPPER FLOOR	17	WIC	83 SF	N
UPPER FLOOR	18	GUEST RM 1	171 SF	N
UPPER FLOOR	19	CLST	17 SF	N
UPPER FLOOR	20	LAUNDRY	70 SF	N
UPPER FLOOR	21	BATH	70 SF	N
UPPER FLOOR	22	WIC	25 SF	N
UPPER FLOOR	23	GUEST RM 2	173 SF	N
UPPER FLOOR	25	BATH	72 SF	N
UPPER FLOOR	91	UPPER CORRIDOR	733 SF	N
UPPER FLOOR	126	MANVEE ROOM	245 SF	N
UPPER FLOOR	127	WIC	101 SF	N
UPPER FLOOR	130	HVAC CLOSET	20 SF	GROSS
UPPER FLOOR	157	LINEN CLST	9 SF	N
UPPER FLOOR	176	STORAGE (FUTURE ELEV)	48 SF	GROSS
UPPER FLOOR	167	VERANDA	124 SF	OUTDOOR
UPPER FLOOR	189	STORAGE	85 SF	GROSS
UPPER FLOOR	195	BALCONY	19 SF	OUTDOOR
UPPER FLOOR	196	BALCONY	27 SF	OUTDOOR
Grand total: 25			3013 SF	



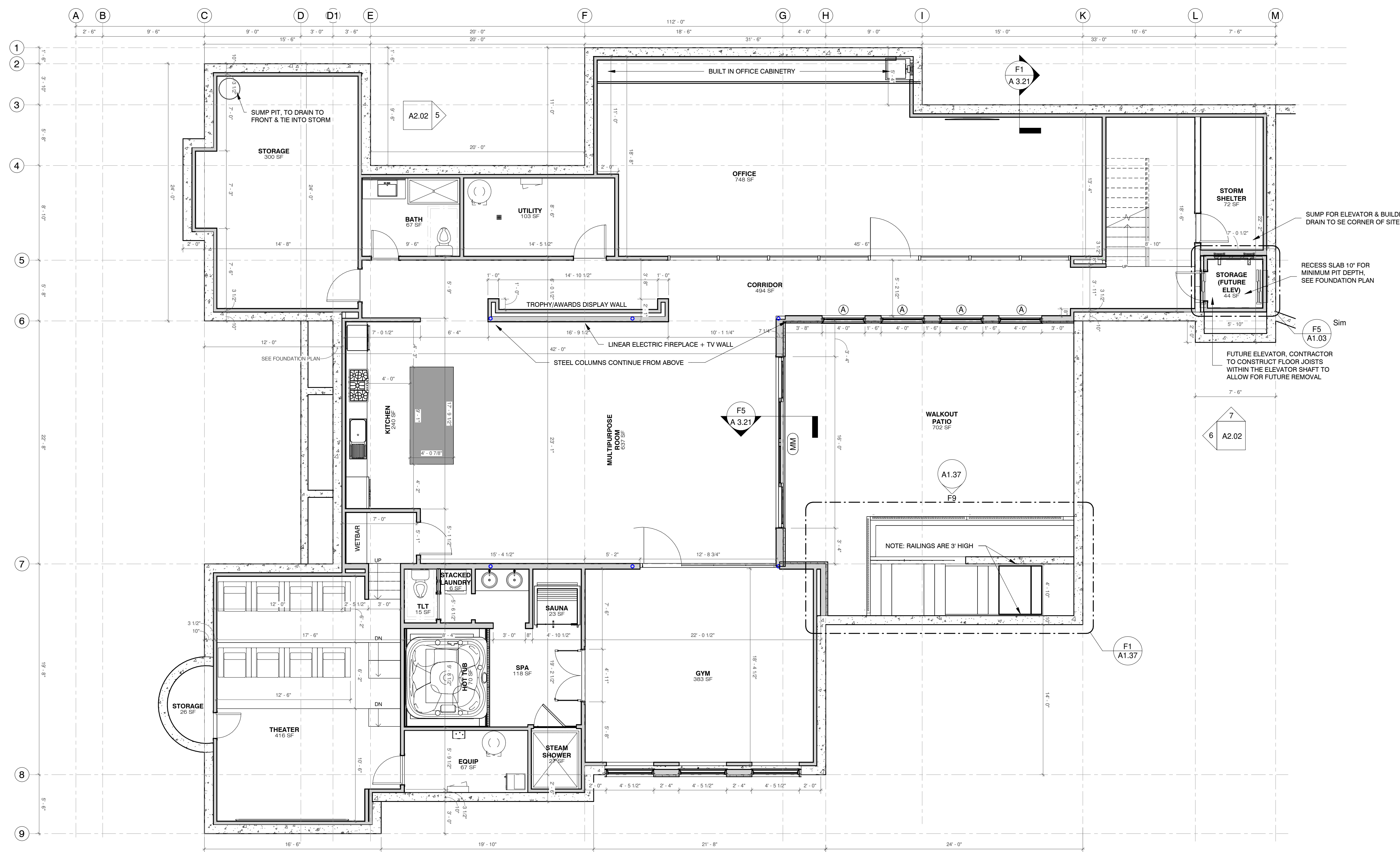
DIPEN PATEL ARCHITECTURAL DESIGNER
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

SYNERGY HOMES WI CONTRACTOR
PO Box 321486
Franklin, WI 53132
p.414.690.2533

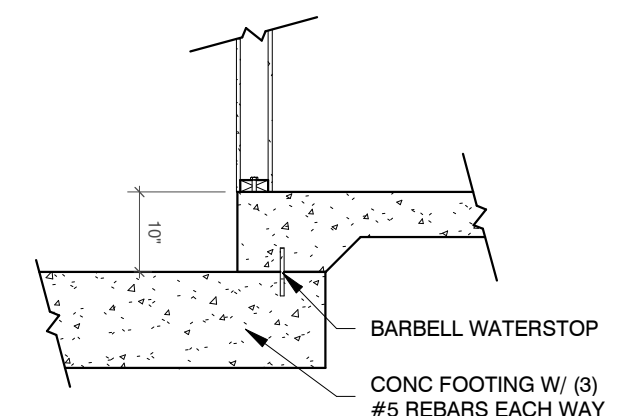
PATERA LLC STRUCTURAL ENGINEER
2501 S. Sunny Slope Rd.
New Berlin, WI 53151
p.262.786.6776

- GENERAL NOTES - FLOOR PLANS:**
- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION 81'-4"-0"
 - DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE.
 - ALL DRYWALL CORNERS AND WINDOW/DOOR RETURNS SHALL BE ROUNDED UNLESS OTHERWISE NOTED.
 - DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4" INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR.
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 - RE: WINDOW MFR DRAWINGS FOR FINAL ROUGH DIMENSIONS AND UNIT DIMENSIONS FOR INSTALL. ALL ROOMS TO BE LINED WITH 1/2" X 7" BASE MOULDING, UNLESS OTHERWISE NOTED IN AREAS SUCH AS RESTROOMS WHERE TILE MAYBE USED.
 - ALL CONCRETE WALLS TO BE 10" THICK UNLESS OTHERWISE NOTED.
 - LSL STUDS AT ALL CABINET WALL LOCATIONS.

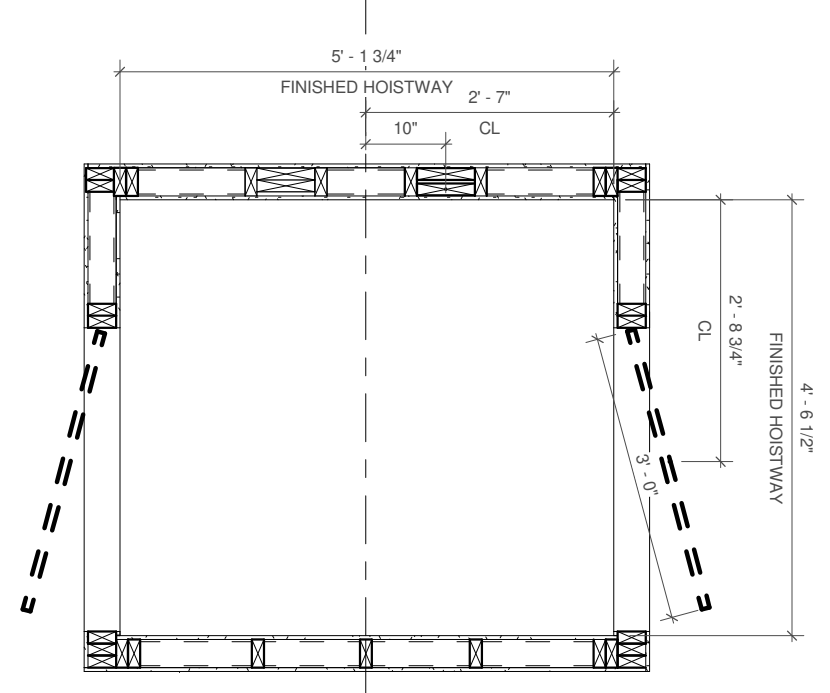


F1 BASEMENT FLOOR
3/16" = 1'-0"

F3 ELEV PIT
1/2" = 1'-0"



F5 ELEV FRAMING
1/2" = 1'-0"



FINISHED HOISTWAY NOTES

- 10" MIN PIT DEPTH
- A LOAD BEARING WALL IS REQUIRED TO SUSTAIN RAIL REACTION
- HOISTWAY IS REQUIRED TO BE FREE OF ALL PIPES, WIRING, & OBSTRUCTIONS NOT RELATED TO THE OPERATION OF ELEVATOR

ANSI BASEMENT LEVEL				
Level	Number	Name	Area	Department
BASEMENT FLOOR	31	OFFICE	748 SF	N
BASEMENT FLOOR	96	STORM SHELTER	72 SF	N
BASEMENT FLOOR	116	THEATER	416 SF	N
BASEMENT FLOOR	119	MULTIPURPOSE ROOM	637 SF	N
BASEMENT FLOOR	120	GYM	383 SF	N
BASEMENT FLOOR	121	BATH	67 SF	N
BASEMENT FLOOR	152	STORAGE (FUTURE ELEV)	44 SF	N
BASEMENT FLOOR	180	SPA	118 SF	N
BASEMENT FLOOR	185	TLT	15 SF	N
BASEMENT FLOOR	191	HOT TUB	70 SF	N
BASEMENT FLOOR	192	STACKED LAUNDRY	6 SF	N
BASEMENT FLOOR	193	STEAM SHOWER	27 SF	N
BASEMENT FLOOR	194	SAUNA	23 SF	N
BASEMENT FLOOR	197	KITCHEN	240 SF	N
BASEMENT FLOOR	198	CORRIDOR	494 SF	N
Grand total:			3360 SF	

BASEMENT LEVEL ALL				
Level	Number	Name	Area	Department
BASEMENT FLOOR	31	OFFICE	748 SF	N
BASEMENT FLOOR	96	STORM SHELTER	72 SF	N
BASEMENT FLOOR	116	THEATER	416 SF	N
BASEMENT FLOOR	119	MULTIPURPOSE ROOM	637 SF	N
BASEMENT FLOOR	120	GYM	383 SF	N
BASEMENT FLOOR	121	BATH	67 SF	N
BASEMENT FLOOR	150	WALKOUT PATIO	702 SF	OUTDOOR
BASEMENT FLOOR	152	STORAGE (FUTURE ELEV)	44 SF	N
BASEMENT FLOOR	180	SPA	118 SF	N
BASEMENT FLOOR	181	STORAGE	300 SF	GROSS
BASEMENT FLOOR	184	UTILITY	103 SF	GROSS
BASEMENT FLOOR	185	TLT	15 SF	N
BASEMENT FLOOR	186	EQUIP	67 SF	GROSS
BASEMENT FLOOR	190	STORAGE	26 SF	GROSS
BASEMENT FLOOR	191	HOT TUB	70 SF	N
BASEMENT FLOOR	192	STACKED LAUNDRY	6 SF	N
BASEMENT FLOOR	193	STEAM SHOWER	27 SF	N
BASEMENT FLOOR	194	SAUNA	23 SF	N
BASEMENT FLOOR	197	KITCHEN	240 SF	N
BASEMENT FLOOR	198	CORRIDOR	494 SF	N
Grand total:			4557 SF	

S+J RESIDENCE

Project No: 200810

(LOT 7) S CAMBRIDGE DRIVE
FRANKLIN, WI 53132

100% CD SET

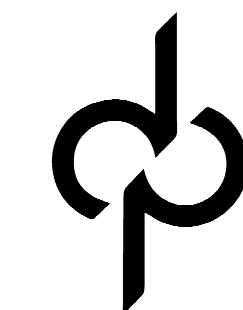
DATE ISSUED:
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**PERMIT SET
AREA EXCEPTION
DRAWINGS**

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**LOWER FLOOR PLAN
A1.03**



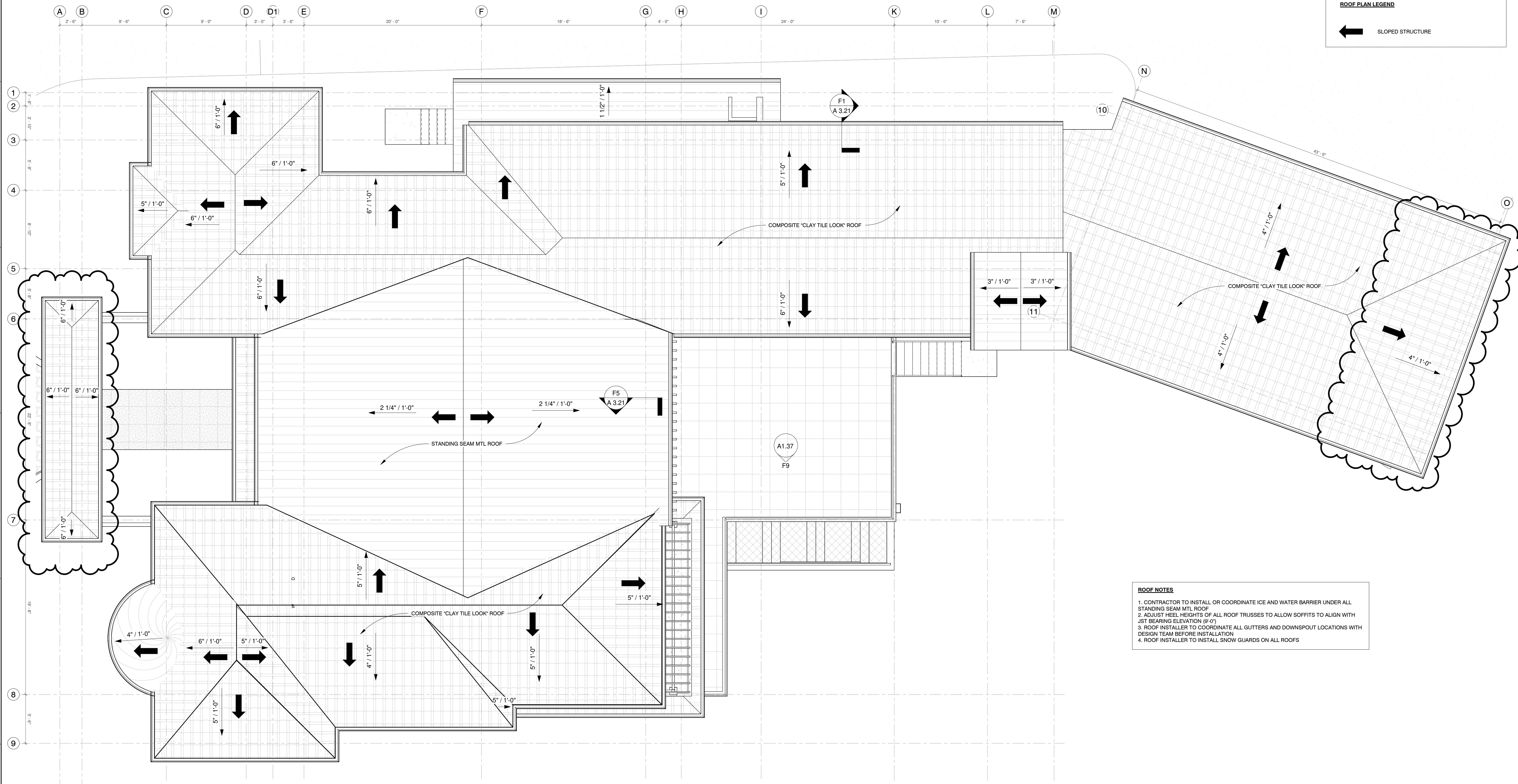
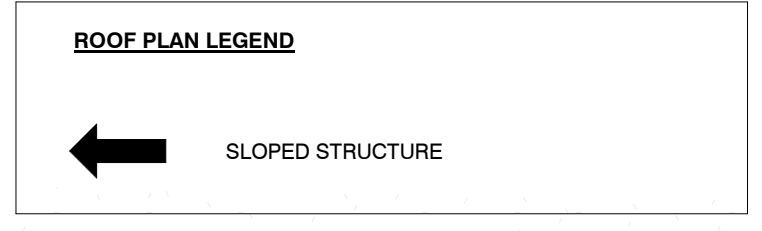
DIPEN PATEL ARCHITECTURAL DESIGNER
 3600 W 153rd St.
 Leawood, KS 66224
 p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
 3600 W 153rd St.
 Leawood, KS 66224
 p.414.690.2533

SYNERGY HOMES WI CONTRACTOR
 PO Box 321486
 Franklin, WI 53132
 p.414.690.2533

PATERA LLC STRUCTURAL ENGINEER
 2501 S. Sunny Slope Rd.
 New Berlin, WI 53151
 p.262.786.6776

- GENERAL NOTES - ROOF PLANS:**
1. RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE
 2. DIMENSIONS SHOWN ON THE ROOF PLAN ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FCM), FACE OF CONCRETE WALLS (FCO), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
 3. PROVIDE 1/2" / FT. TAPERED INSULATION.
 4. CONTRACTOR TO DETERMINE FINAL SIZE OF DRAINS AND PIPES REQ'D TO PROPERLY DRAIN THE ROOF.
 5. SLOPES AND CRICKETS TO BE CONFIRMED BY CONTRACTOR OR ROOFING CONTRACTOR.
 6. ALL WALLS TO HAVE COPINGS AND FLASHING AS REQ'D.
 7. CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ROOF IS PROPERLY CONSTRUCTED AND LEAK FREE.
 8. ALL DRAINS TO BE TIED BACK INTO STORM WATER LINES, OVERFLOW DRAINS, CONSULT DESIGNER. PROVIDE DOWNSPOUTS AND GUTTERS AS REQ'D. APPROVE LOCATIONS WITH DESIGNER.
 - 9.



- ROOF NOTES**
1. CONTRACTOR TO INSTALL OR COORDINATE ICE AND WATER BARRIER UNDER ALL STANDING SEAM MTL ROOF
 2. ADJUST HEEL HEIGHTS OF ALL ROOF TRUSSES TO ALLOW SOFFITS TO ALIGN WITH JST BEARING ELEVATION (9'-0")
 3. ROOF INSTALLER TO COORDINATE ALL GUTTERS AND DOWNSPOUT LOCATIONS WITH DESIGN TEAM BEFORE INSTALLATION
 4. ROOF INSTALLER TO INSTALL SNOW GUARDS ON ALL ROOFS

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Project No: 200810
 (LOT 7) S CAMBRIDGE DRIVE
 FRANKLIN, WI 53132

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 AREA EXCEPTION
 DRAWINGS**

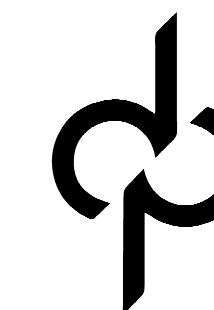
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**ROOF PLAN
 A1.05**

① T.O. ROOF
 3/16" = 1'-0"





DIPEN PATEL ARCHITECTURAL DESIGNER
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
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Leawood, KS 66224
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FRANKLIN, WI 53132

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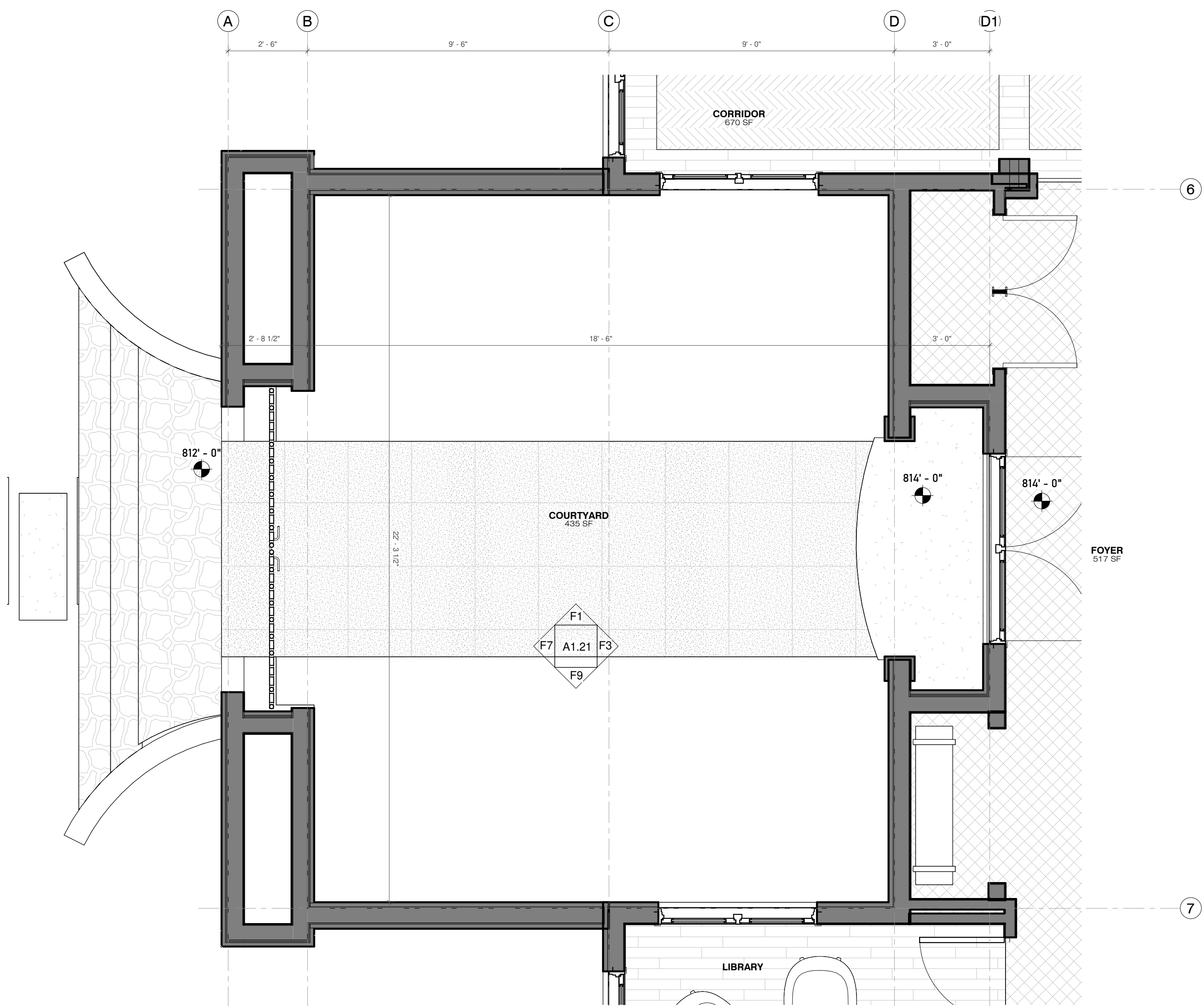
PERMIT SET AREA EXCEPTION DRAWINGS

NOTE: Please refer to contractor/engineer for any applicable building codes.

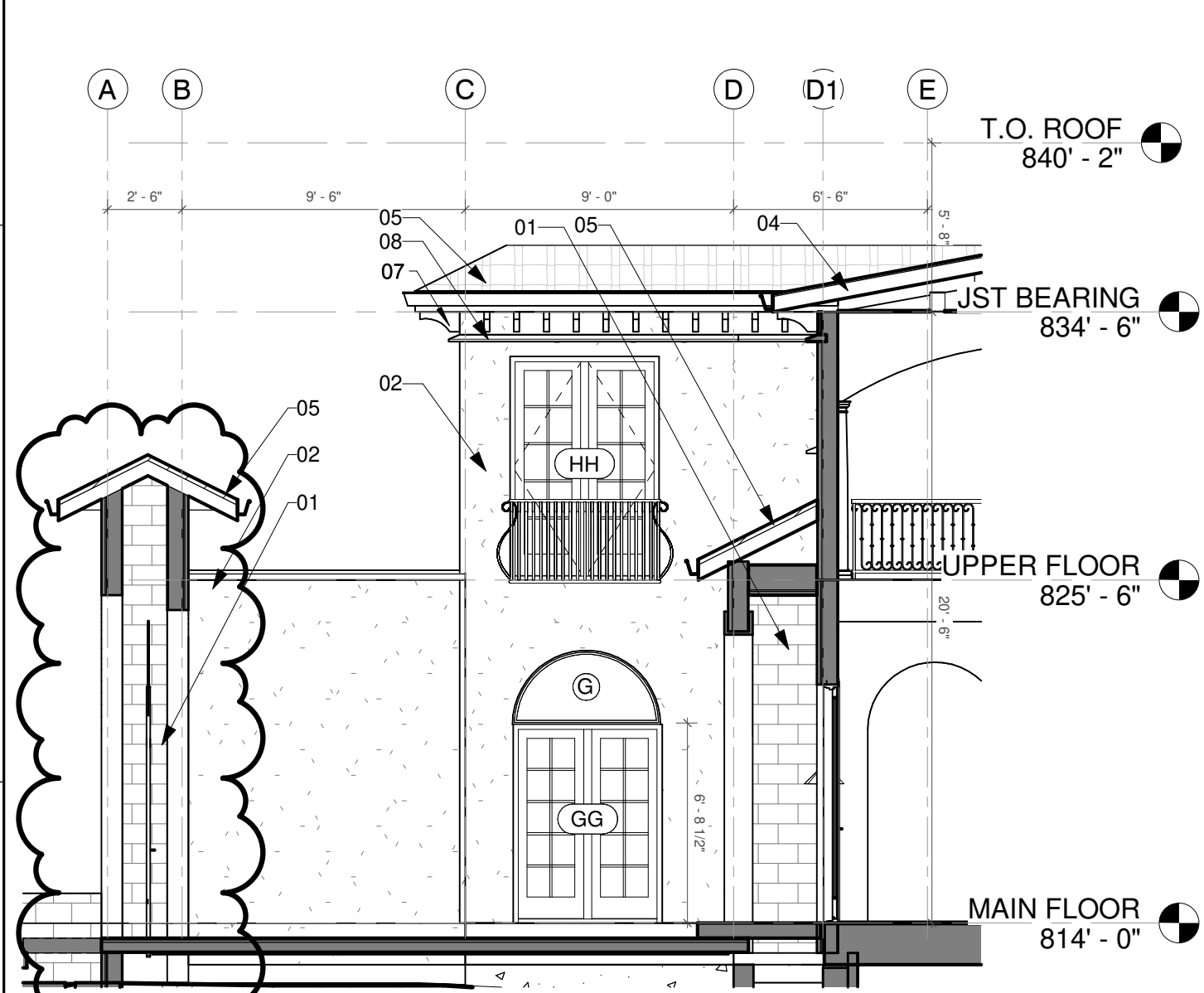
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ENLARGED COURTYARD

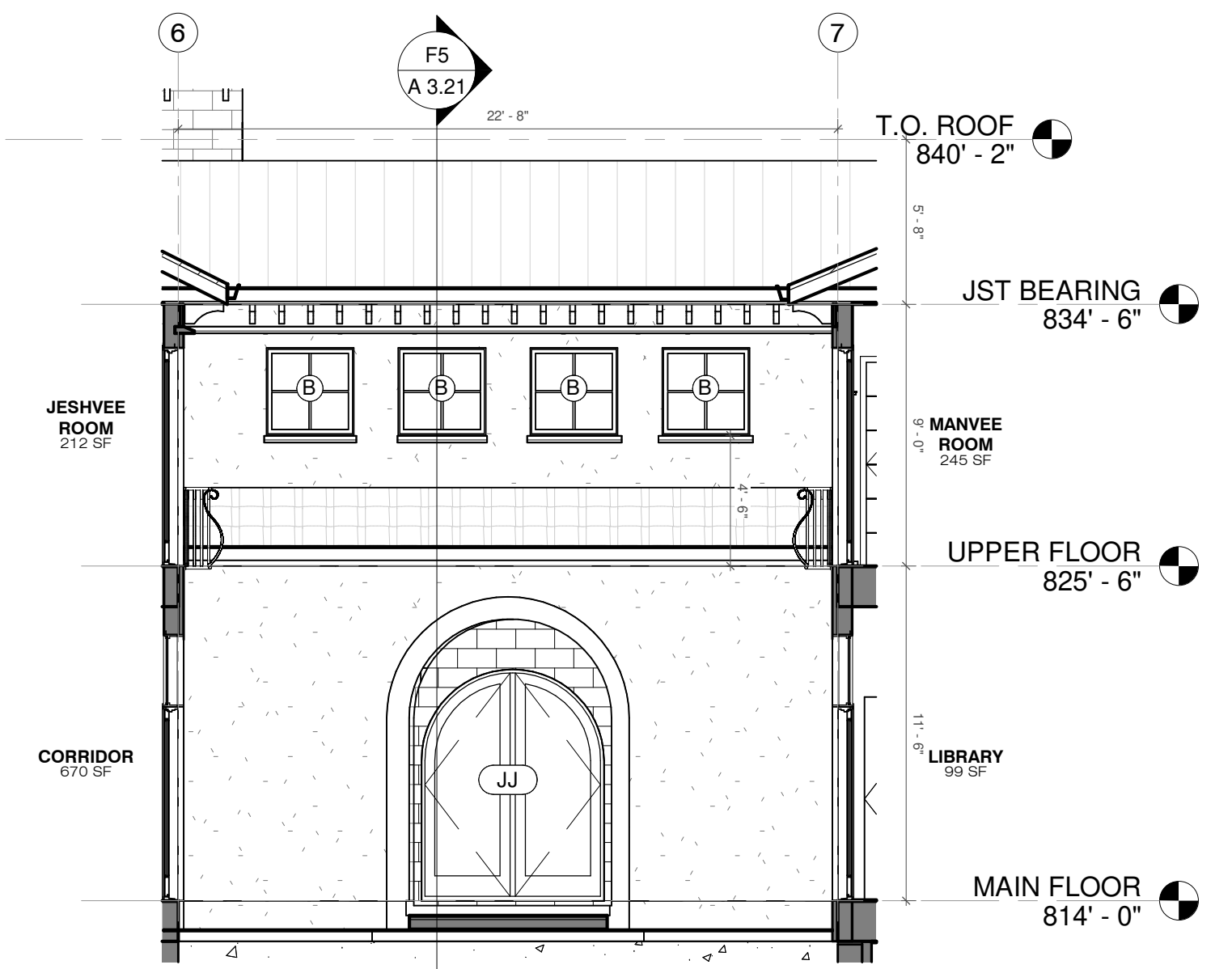
A1.21



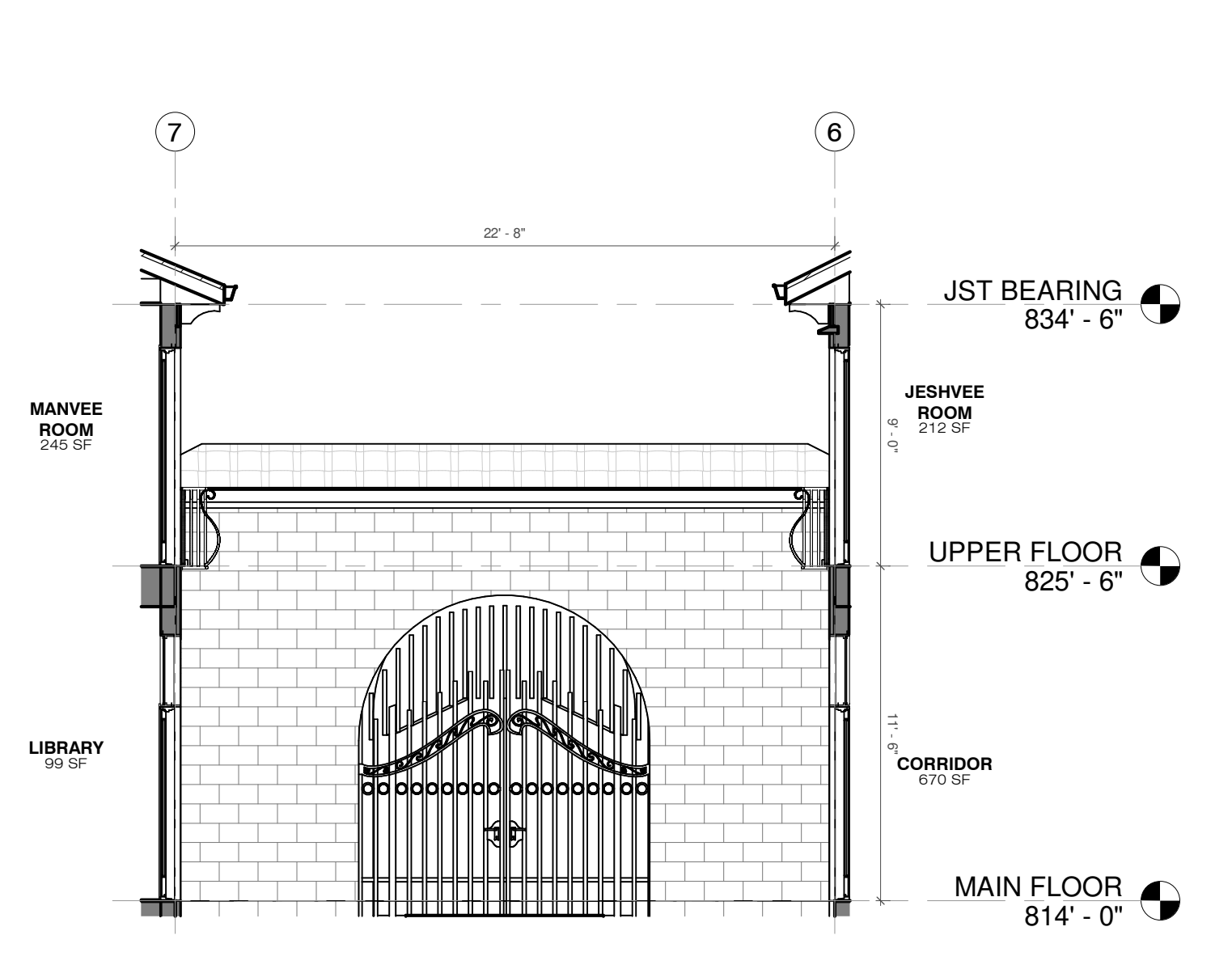
A1 ENLARGED COURTYARD PLAN
3/8" = 1'-0"



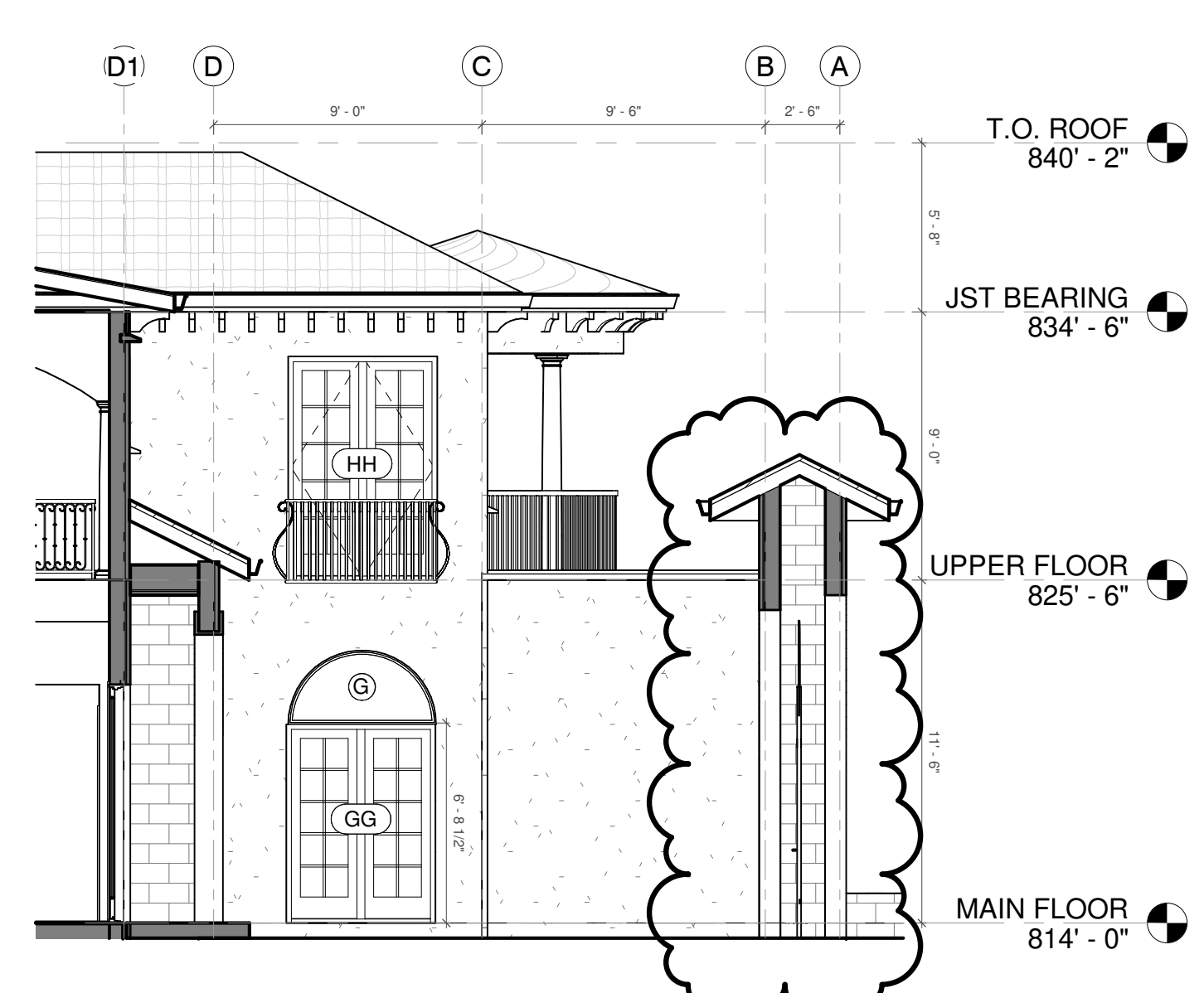
F1 COURTYARD-WEST
3/16" = 1'-0"



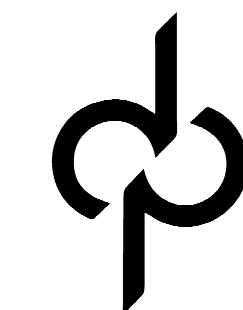
F3 COURTYARD-NORTH
3/16" = 1'-0"



F7 COURTYARD-SOUTH
3/16" = 1'-0"



F9 COURTYARD-EAST
3/16" = 1'-0"



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 Leawood, KS 66224
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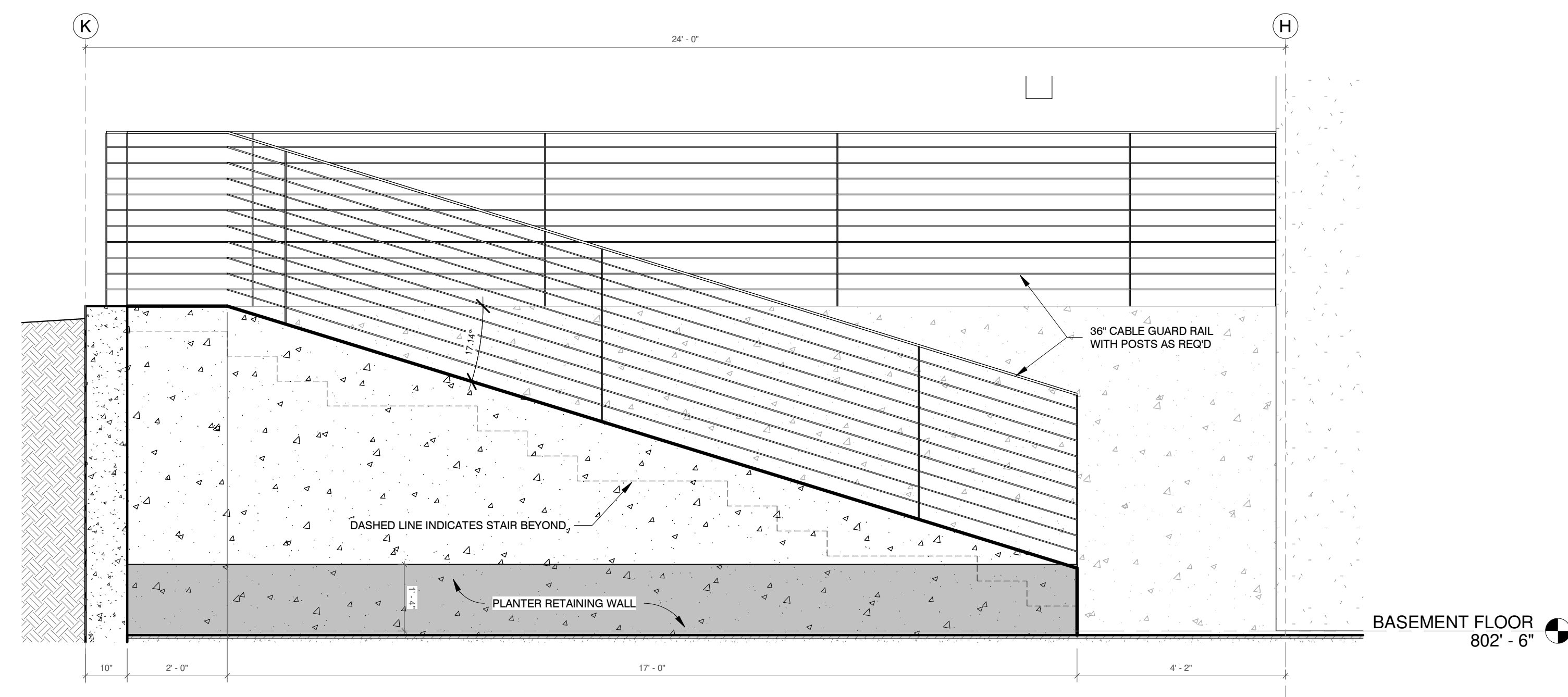
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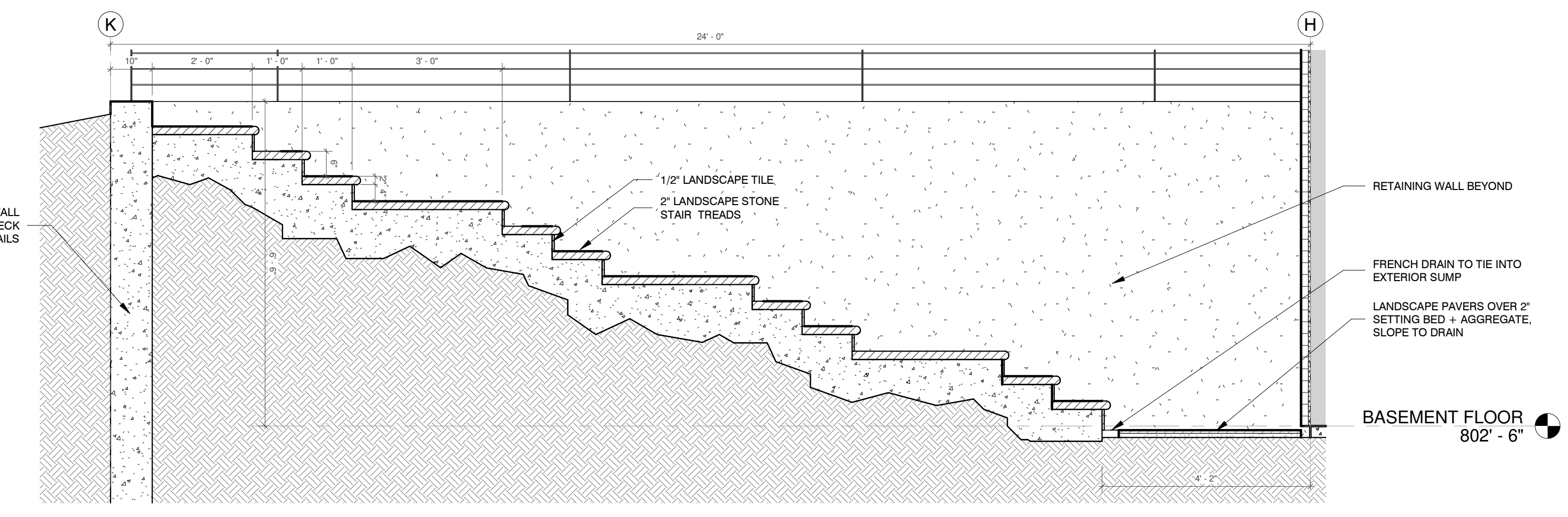
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ENLARGED WALKOUT
A1.37



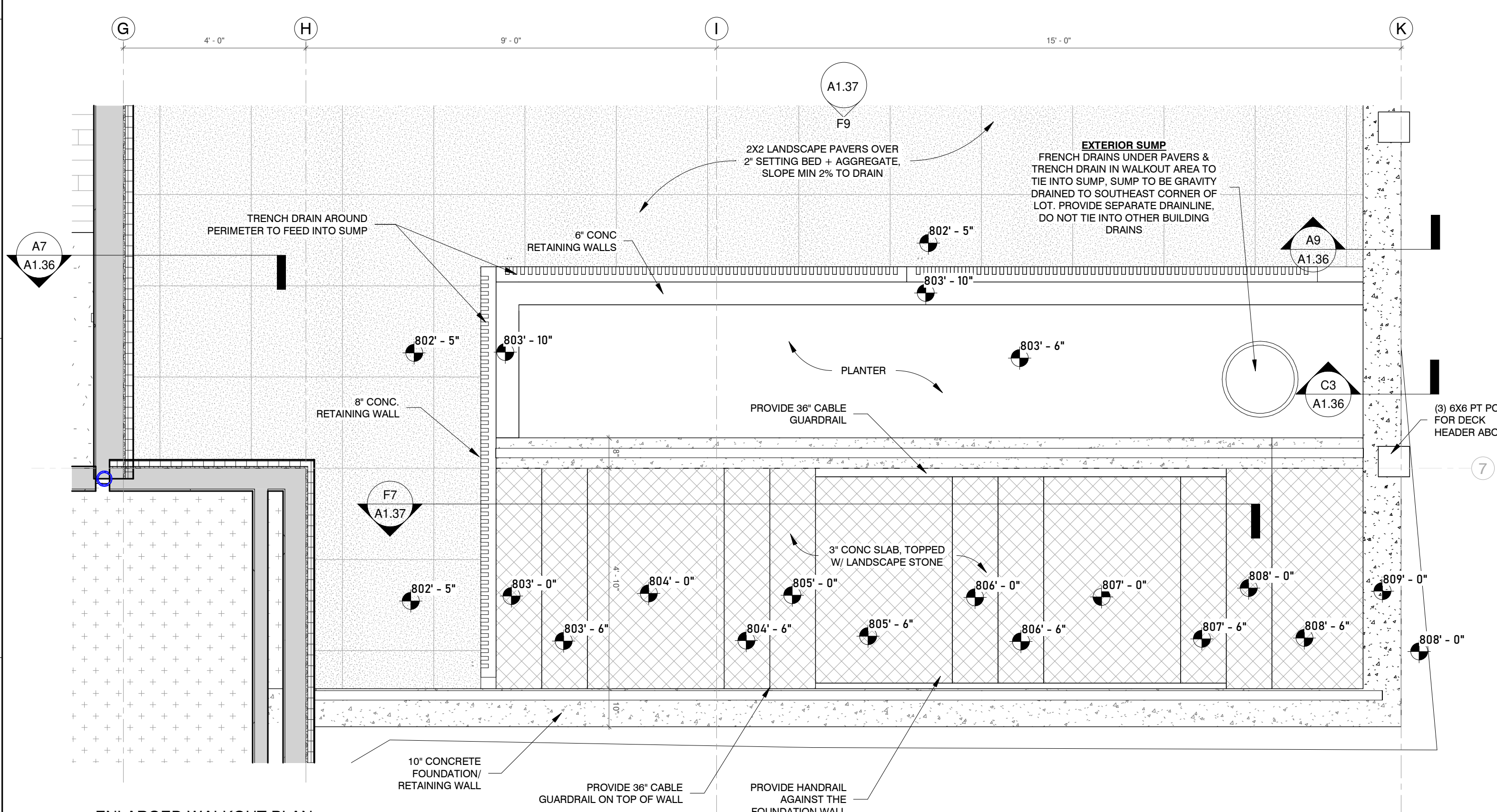
F9 RETAINING WALL ELEVATION
 1/2" = 1'-0"



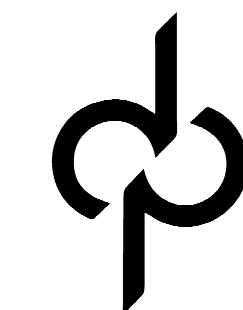
F7 WALK UP STAIR SECTION
 1/2" = 1'-0"

NOTE:
 ALL EXPOSED CONCRETE TO BE COVERED WITH STUCCO TO MATCH BUILDING EPIS TEXTURE & COLOR.
 ALL PLANTER RETAINING WALLS TO BE TOPPED W/ 2" LANDSCAPE STONE. ALL STAIRS TO BE TOPPED W/ LANDSCAPE STONE W/BULLNOSED EDGE.

NOTE:
 ALL SPOT ELEVATIONS INCLUDE LANDSCAPE TOPPING STONE. CONCRETE TO BE POURED 2" BELOW SPOT ELEVATIONS TO ACCOMMODATE LANDSCAPE STONE.



F1 ENLARGED WALKOUT PLAN
 1/2" = 1'-0"



DIPEN PATEL ARCHITECTURAL DESIGNER
 3600 W 153rd St.
 Leawood, KS 66224
 p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
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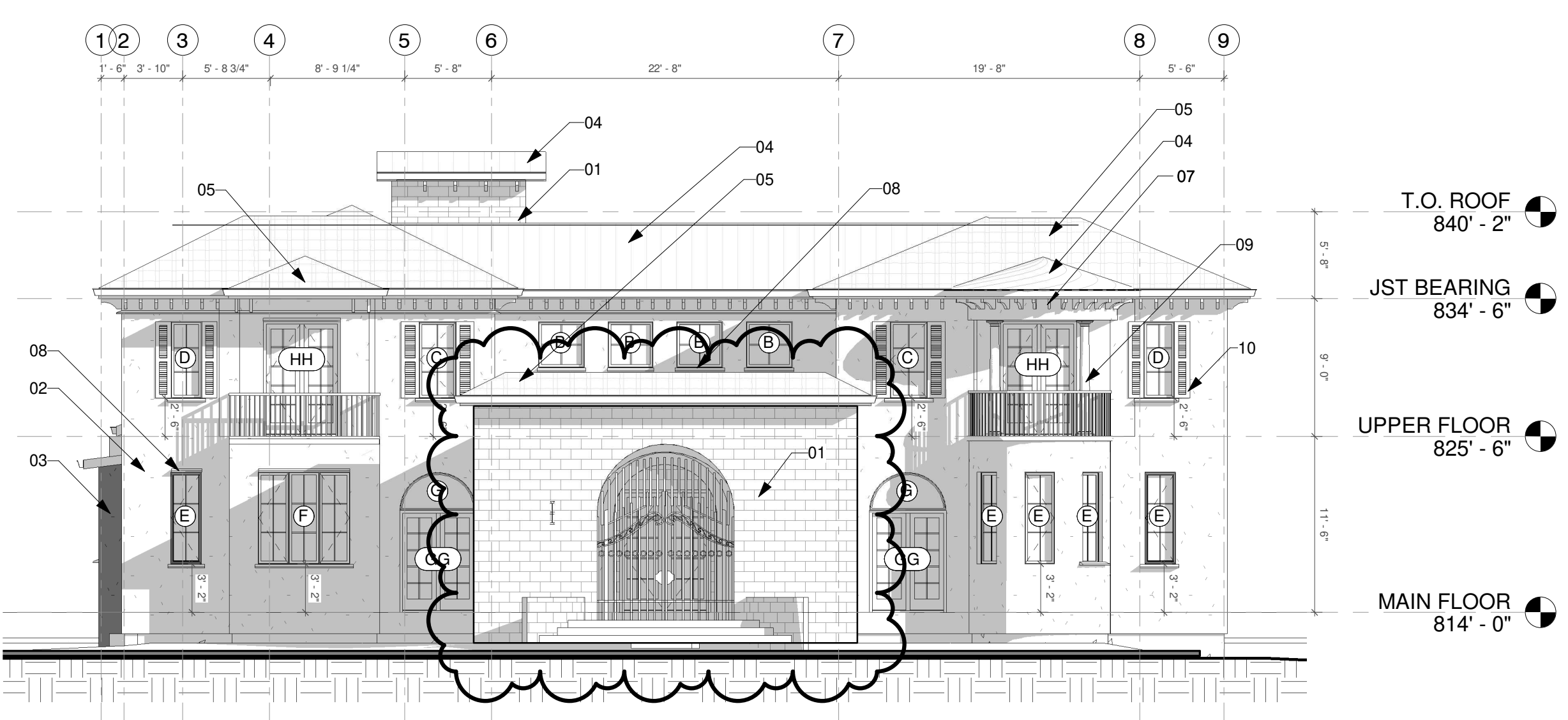
SYNERGY HOMES WI CONTRACTOR
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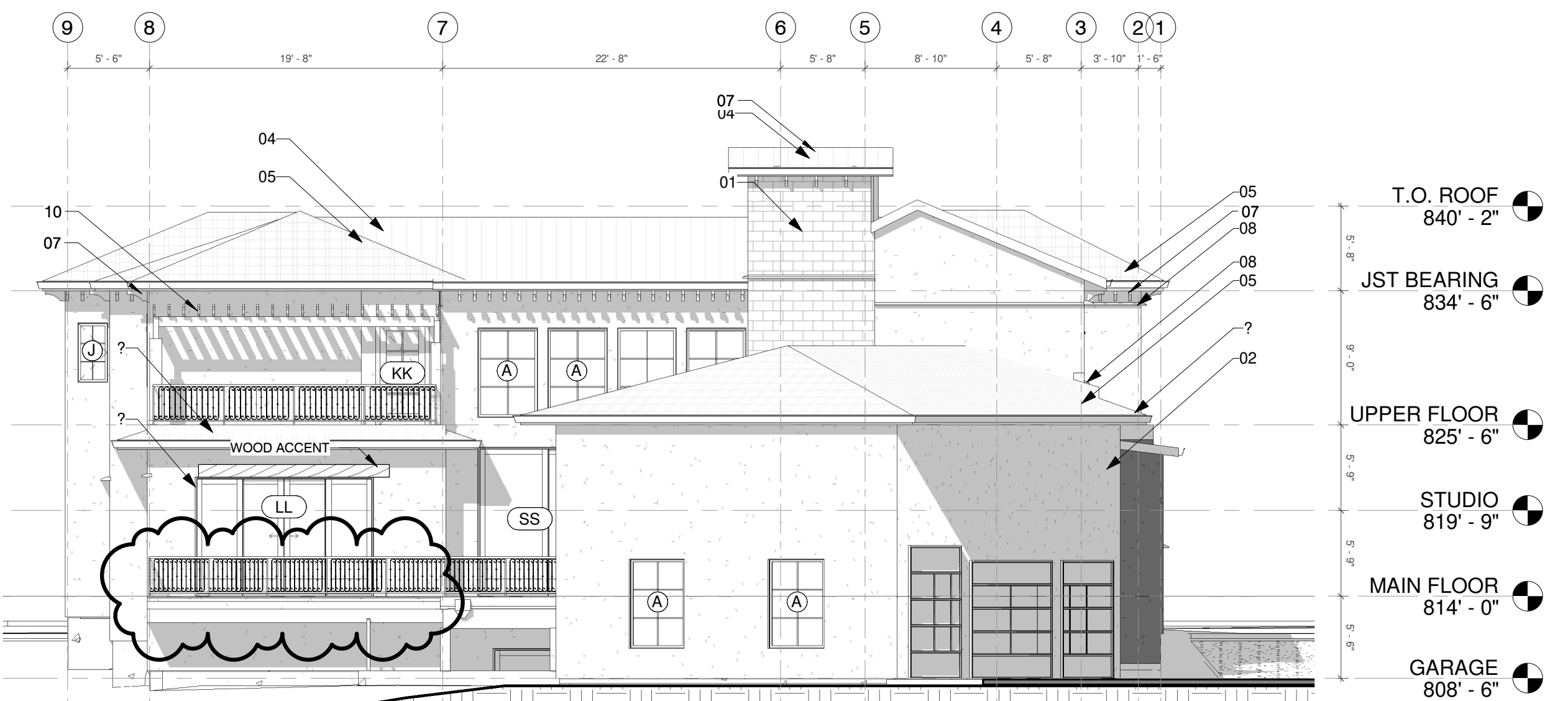
- GENERAL NOTES - EXTERIOR ELEVATIONS:**
- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FCM), FACE OF CONCRETE WALLS (FCW), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
 - RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
 - FINAL ELEVATION SHEETS WITH MATERIALS TO BE SENT AT LATER DATE.
 - CORNICES AND WATER PROOFING DETAILS TBD BY CONTRACTOR.
 - ALL GUTTERS AND DOWNSPOUTS TO BE ROUND STYLE AS REQD.
 - FINAL STEEL WORK DESIGNS TBD.

MATERIALS LEGEND:

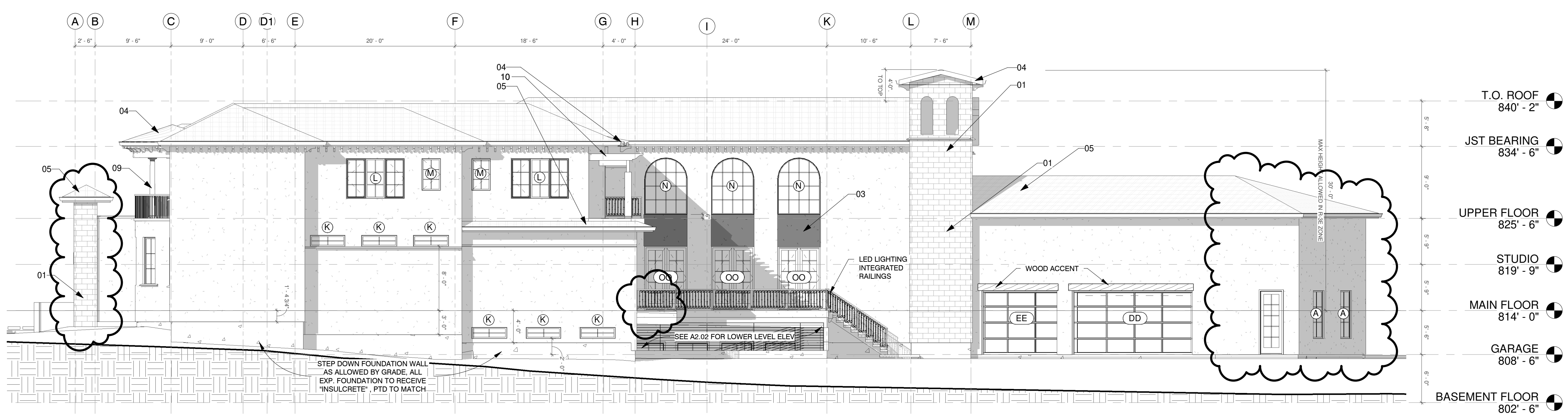
	01 HONED LIMESTONE VENEER LARGE FORMAT WITH MITERED CORNERS
	02 EFIS (LIGHT COLOR)
	03 EFIS (DARK COLOR)
	04 STANDING SEAM ROOF
	05 CLAY TILE LOOK ROOFING SYSTEM PROVIDE ROUNDED GUTTERS, DOWNSPOUT, & COLLECTOR DETAILS
	06 EXP. FOUNDATION CONC. TO BE FINISHED IN INSULCRETE, PTD TO MATCH
	07 CORBEL DETAIL
	08 STUCCO WALL BAND
	09 DECORATIVE COLUMN
	10 PERGOLA SHADING DEVICE



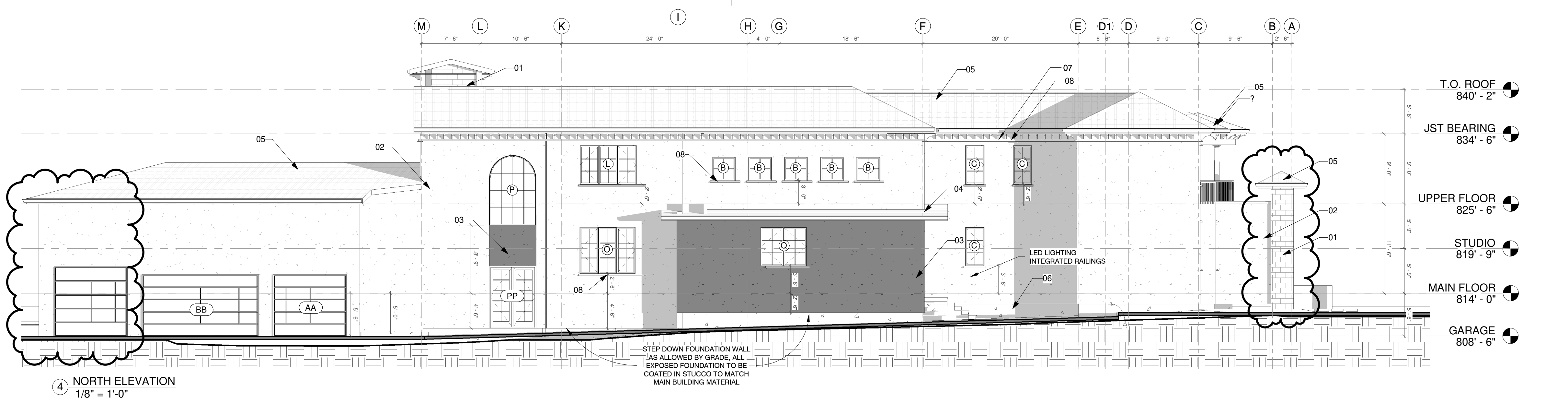
1 WEST ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"



3 SOUTH ELEVATION
 1/8" = 1'-0"



4 NORTH ELEVATION
 1/8" = 1'-0"

S+J RESIDENCE

Project No: 200810

(LOT 7) S CAMBRIDGE DRIVE
 FRANKLIN, WI 53132

100% CD SET

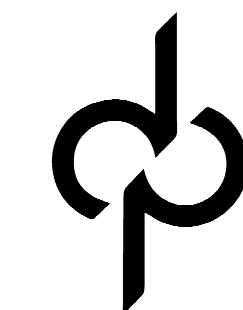
DATE ISSUED:
 JUNE 13, 2022

**PERMIT SET
 AREA EXCEPTION
 DRAWINGS**

NOTE: Please refer to contractor/engineer for any applicable building codes.

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**ELEVATIONS
 A2.01**



DIPEN PATEL ARCHITECTURAL DESIGNER
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

MISHA PATEL INTERIOR COORDINATOR
3600 W 153rd St.
Leawood, KS 66224
p.816.686.2234

SYNERGY HOMES WI CONTRACTOR
PO Box 321486
Franklin, WI 53132
p.414.690.2533

PATERA LLC STRUCTURAL ENGINEER
2601 S. Sunny Slope Rd.
New Berlin, WI 53151
p.262.786.6776

S+J RESIDENCE

Project No: 200810

(LOT 7) S CAMBRIDGE DRIVE
FRANKLIN, WI 53132

100% CD SET

DATE ISSUED:
JUNE 13, 2022

PERMIT SET AREA EXCEPTION DRAWINGS

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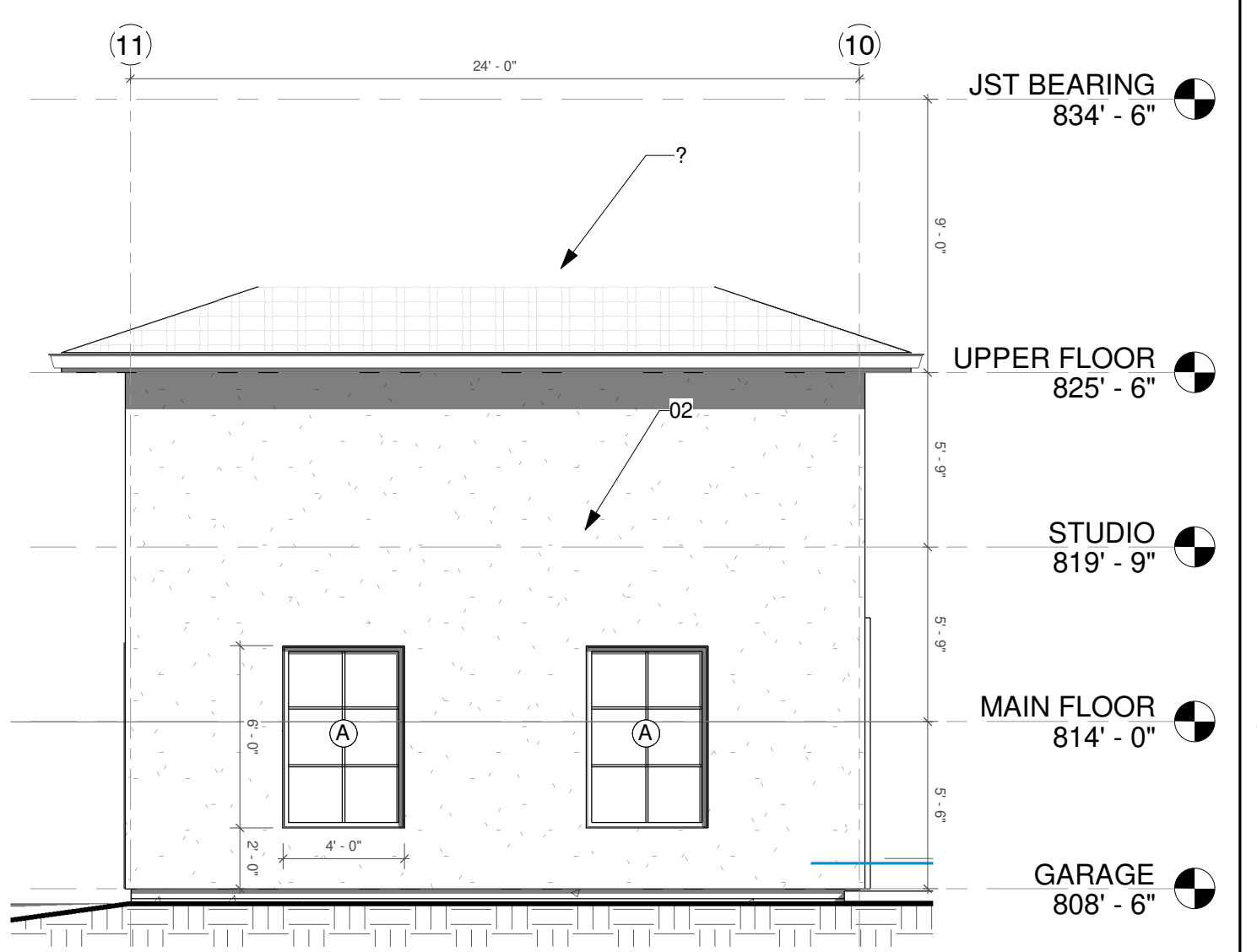
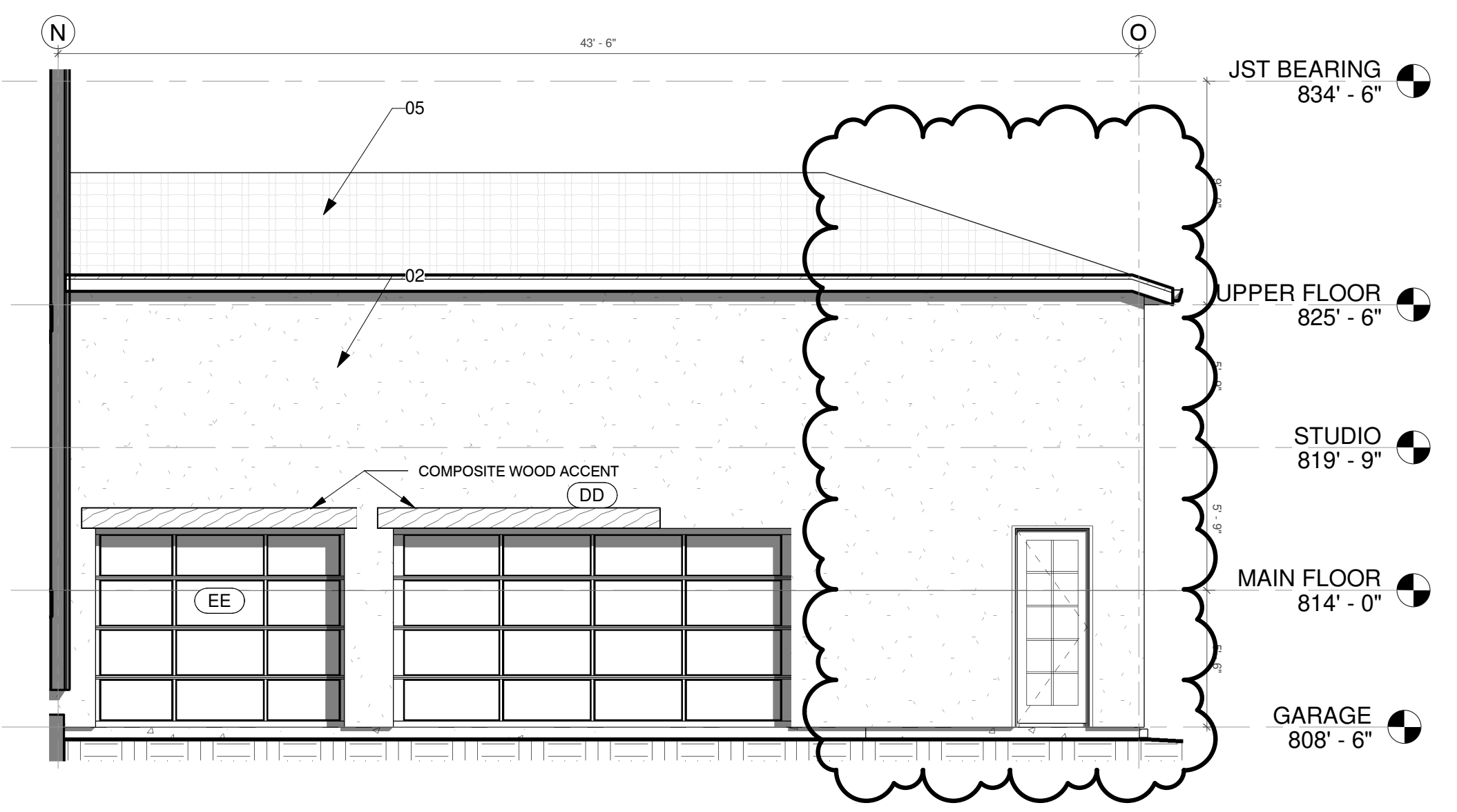
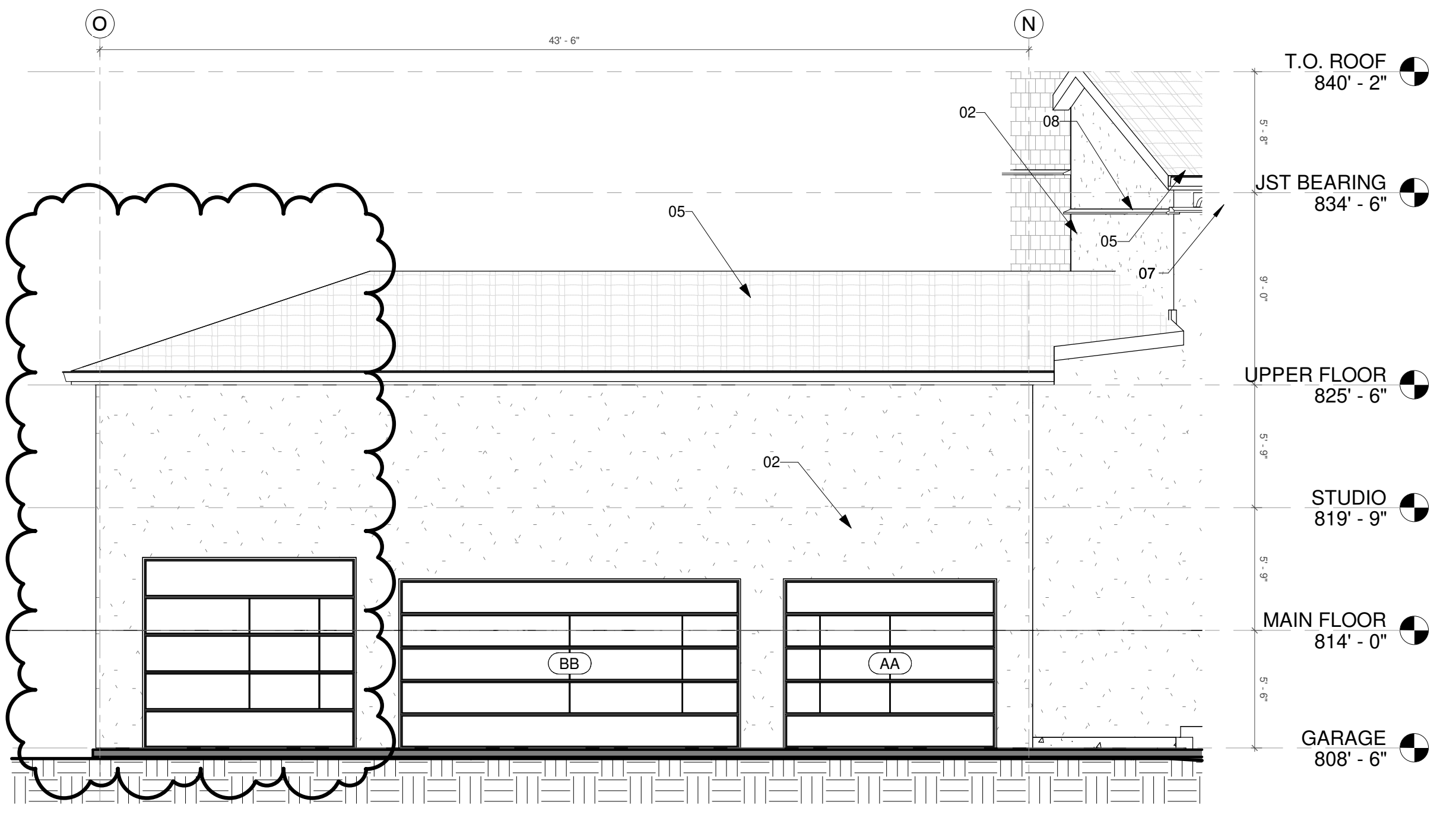
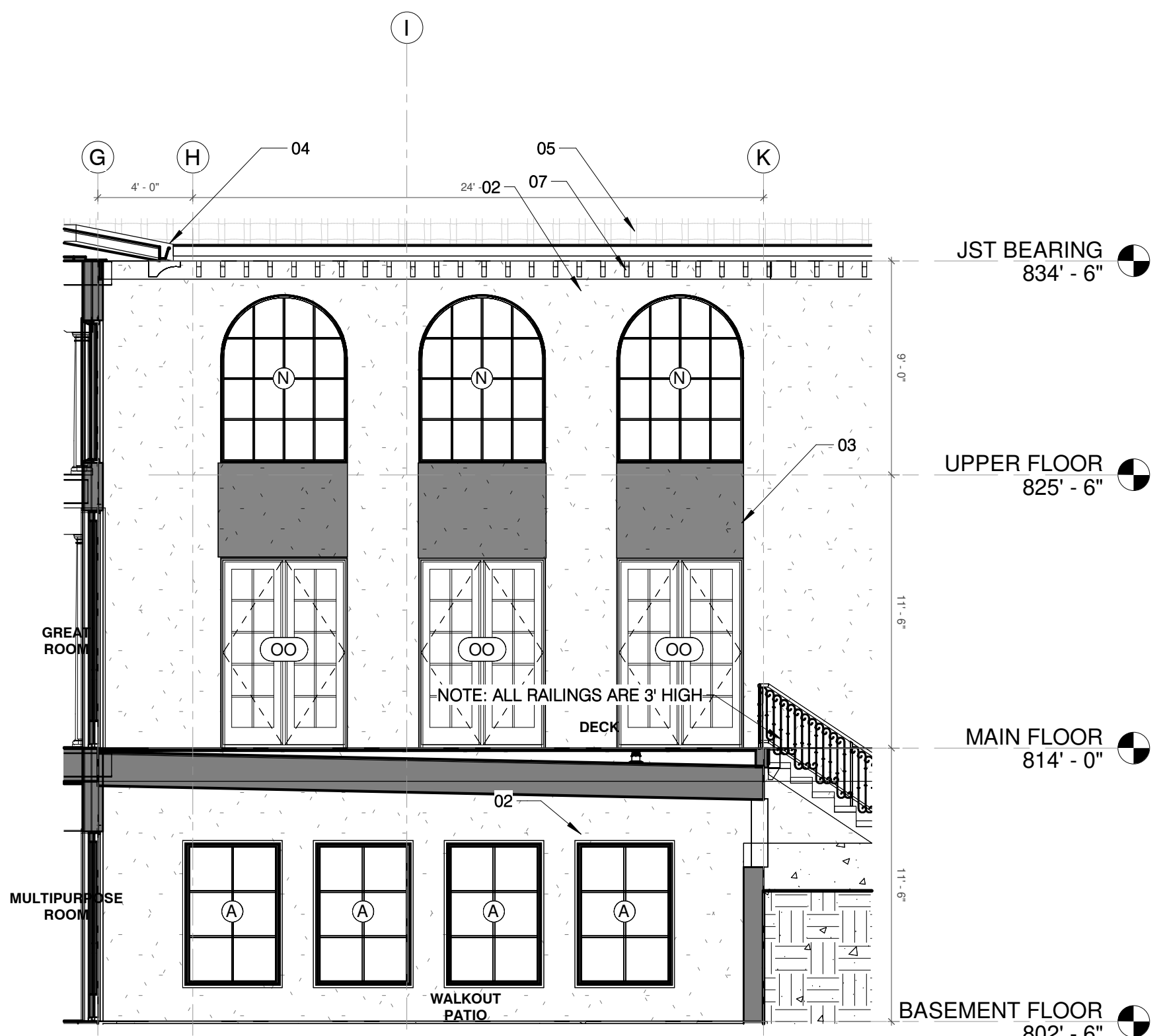
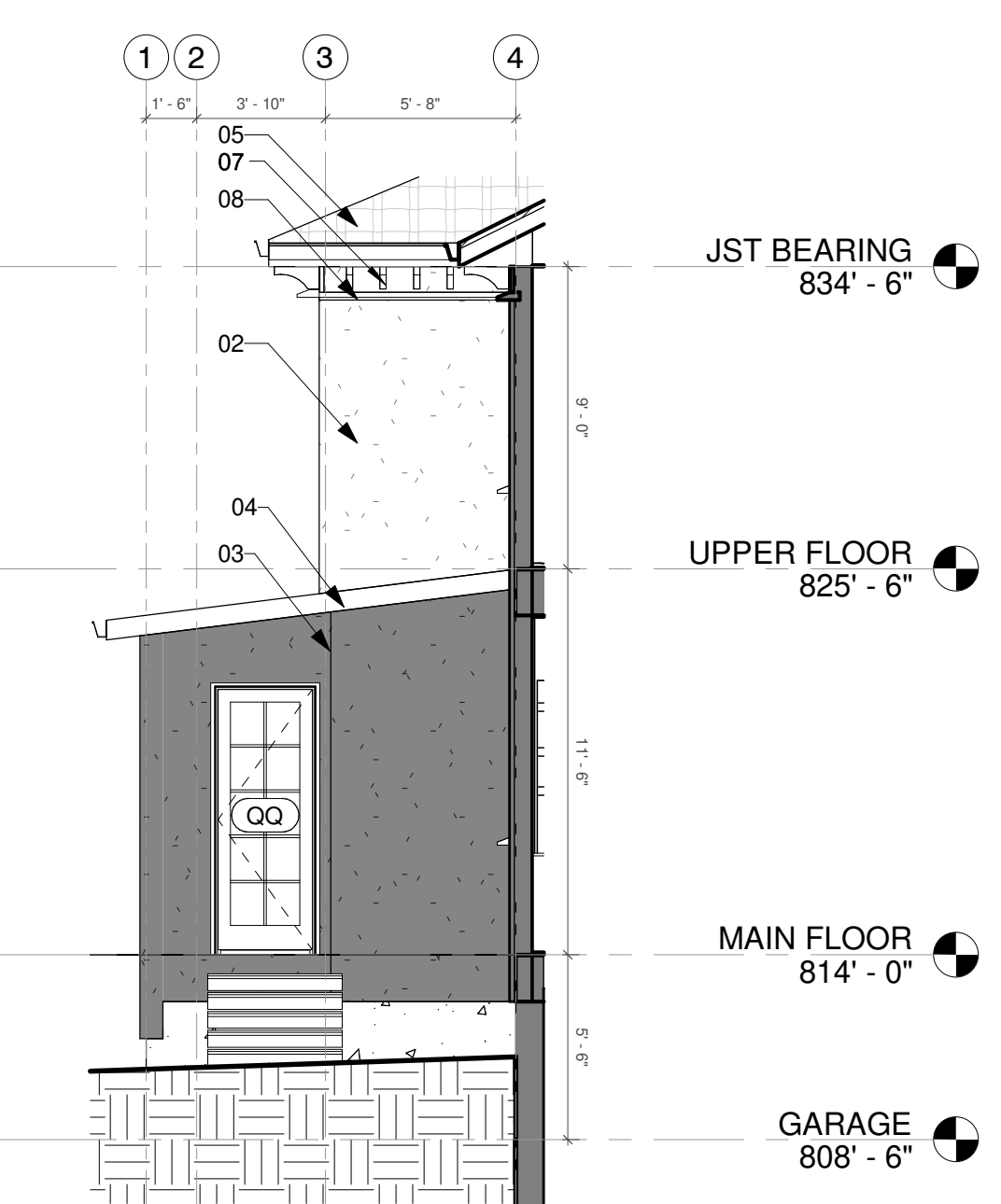
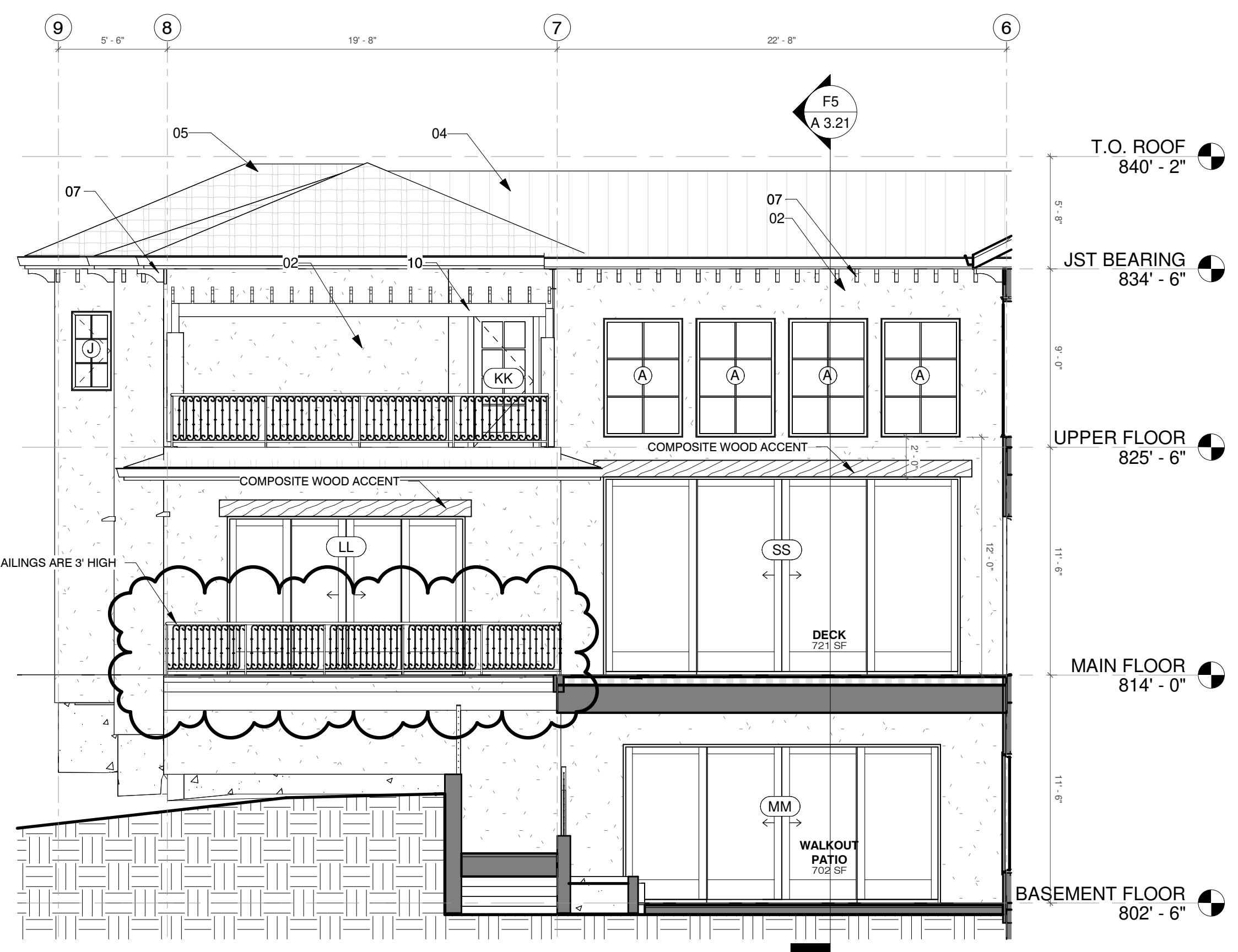
ELEVATIONS

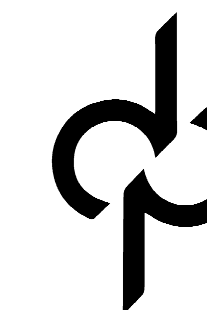
A2.02

- GENERAL NOTES - EXTERIOR ELEVATIONS:**
- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
 - RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
 - FINAL ELEVATION SHEETS WITH MATERIALS TO BE SENT AT LATER DATE.
 - COPINGS AND WATER PROOFING DETAILS TBD BY CONTRACTOR
 - ALL GUTTERS AND DOWNSPOUTS TO BE ROUND STYLE AS REOD
 - FINAL STEEL WORK DESIGNS TBD

MATERIALS LEGEND:

	01 HONED LIMESTONE VENEER LARGE FORMAT WITH MITERED CORNERS
	02 EFIS (LIGHT COLOR)
	03 EFIS (DARK COLOR)
	04 STANDING SEAM ROOF
	05 CLAY TILE LOOK ROOFING SYSTEM PROVIDE ROUNDED GUTTERS, DOWNSPOUT, & COLLECTOR DETAILS
	06 EXP. FOUNDATION CONC. TO BE FINISHED IN INSULCRETE, PTD TO MATCH
	07 CORBEL DETAIL
	08 STUCCO WALL BAND
	09 DECORATIVE COLUMN
	10 PERGOLA SHADING DEVICE





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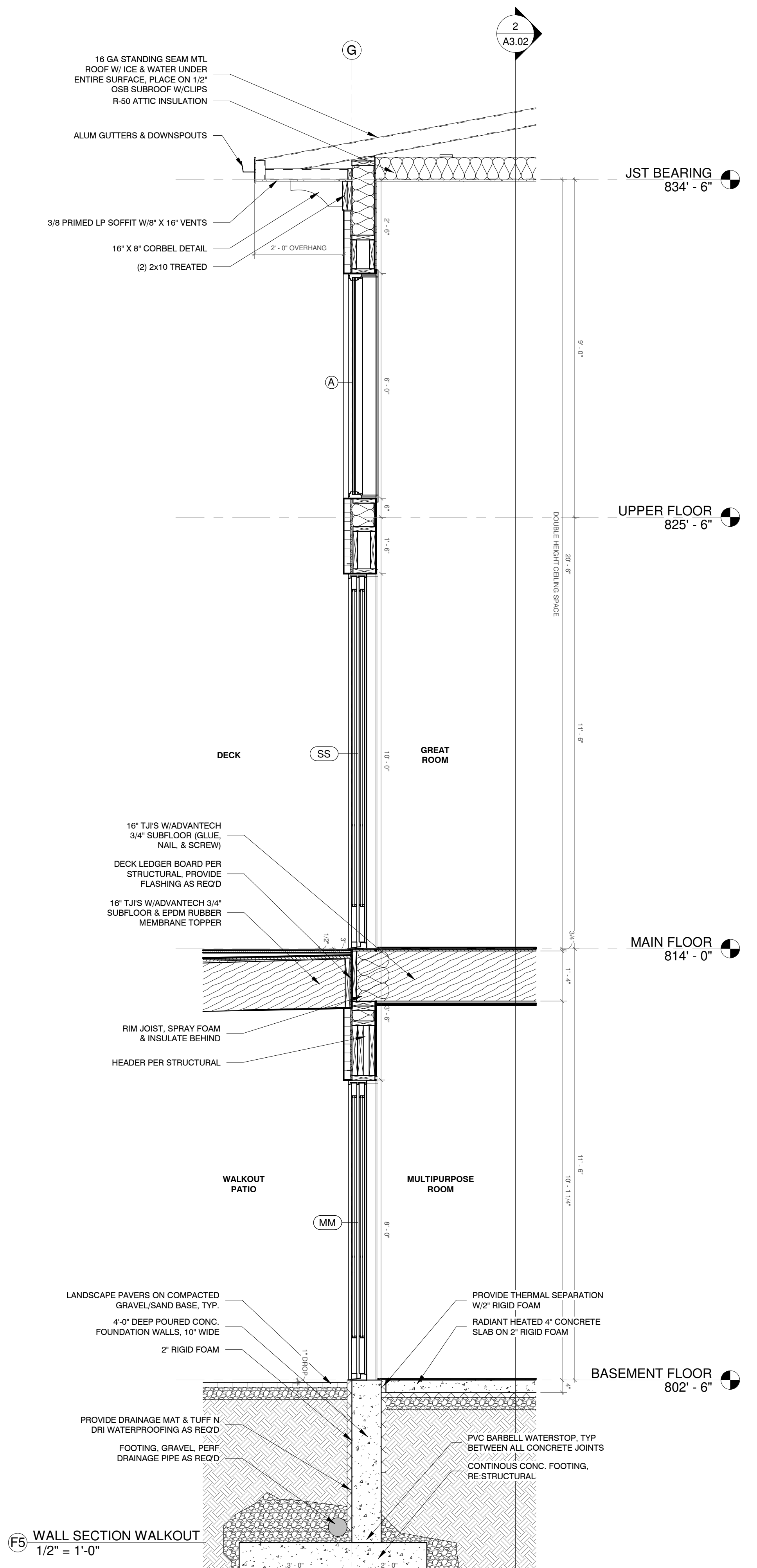
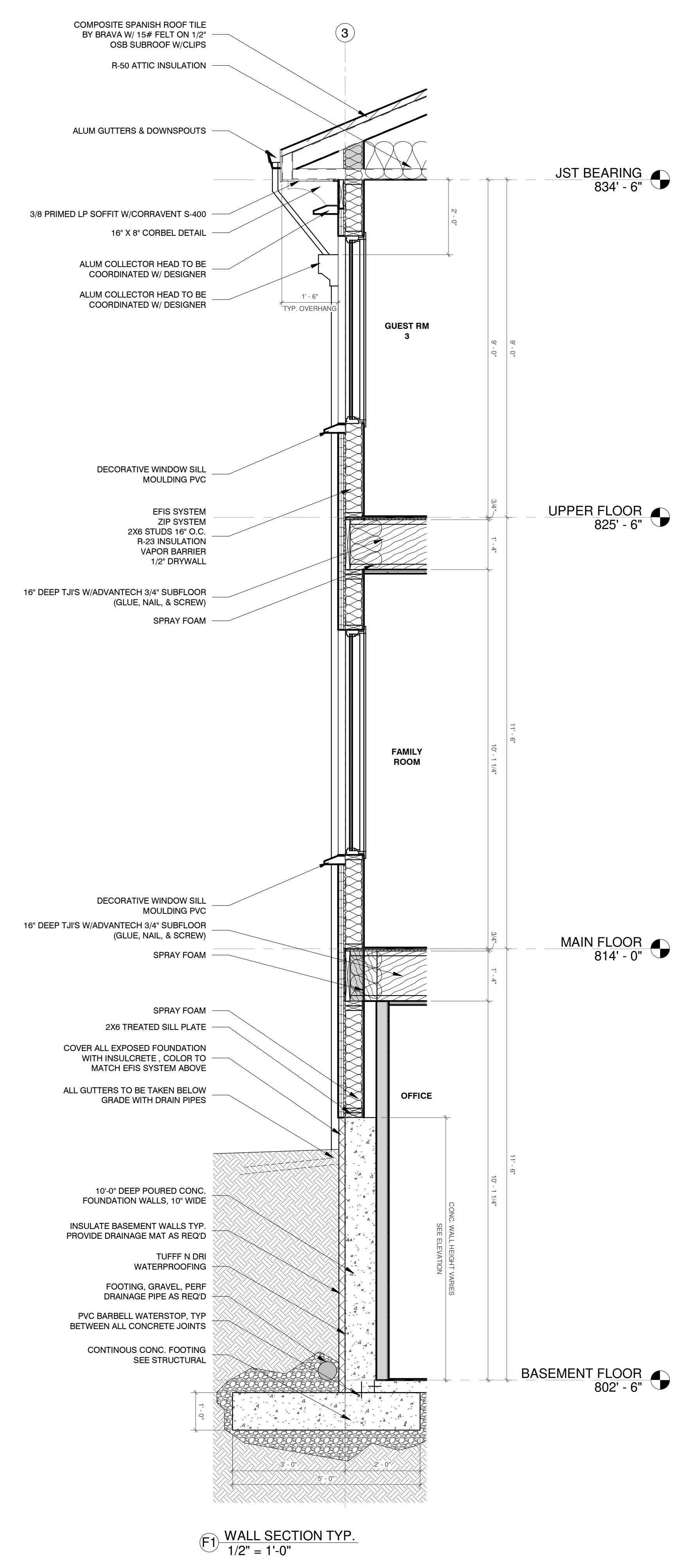
**PERMIT SET
 AREA EXCEPTION
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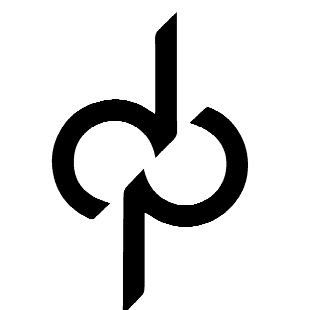
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WALL SECTIONS

A 3.21





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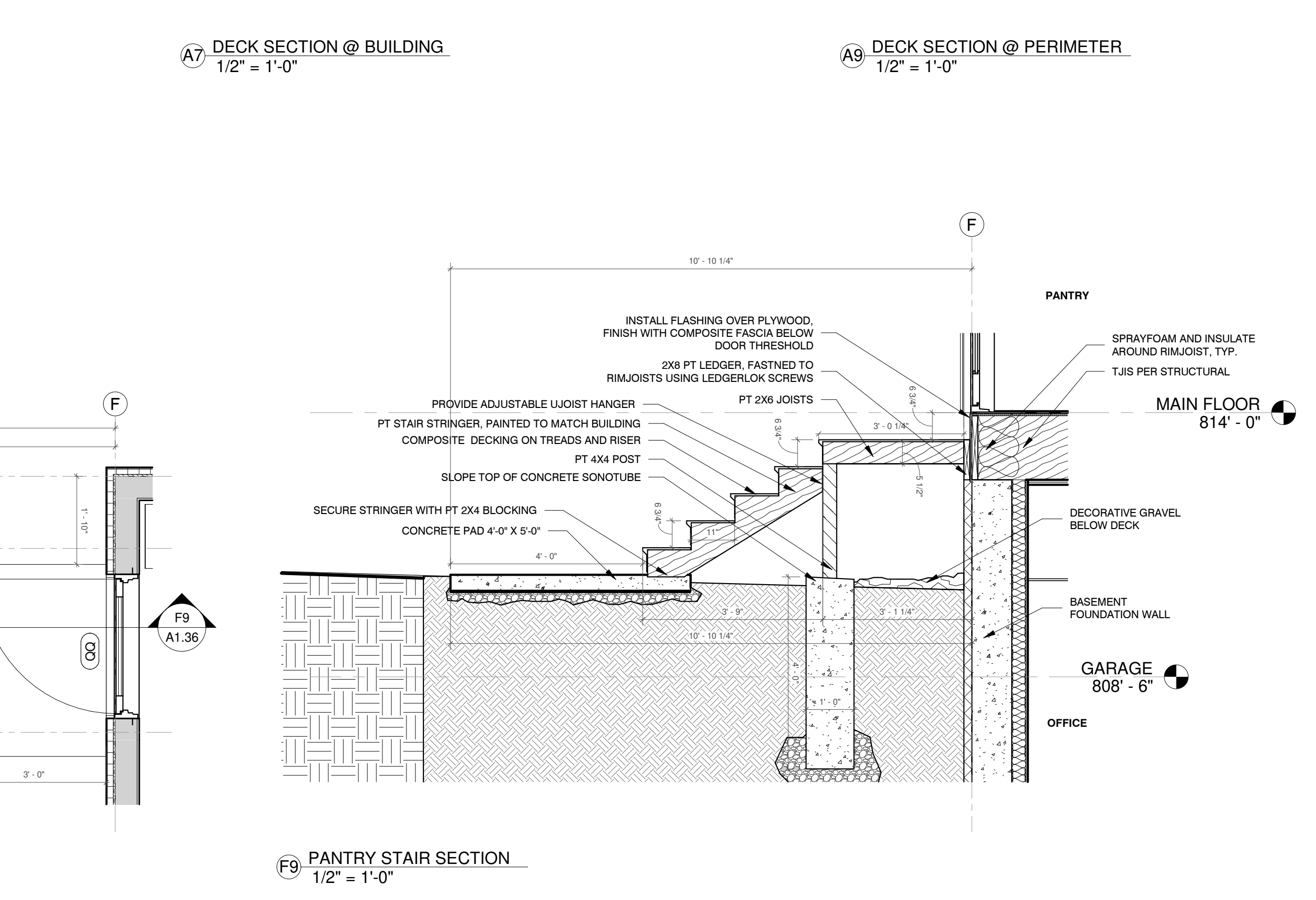
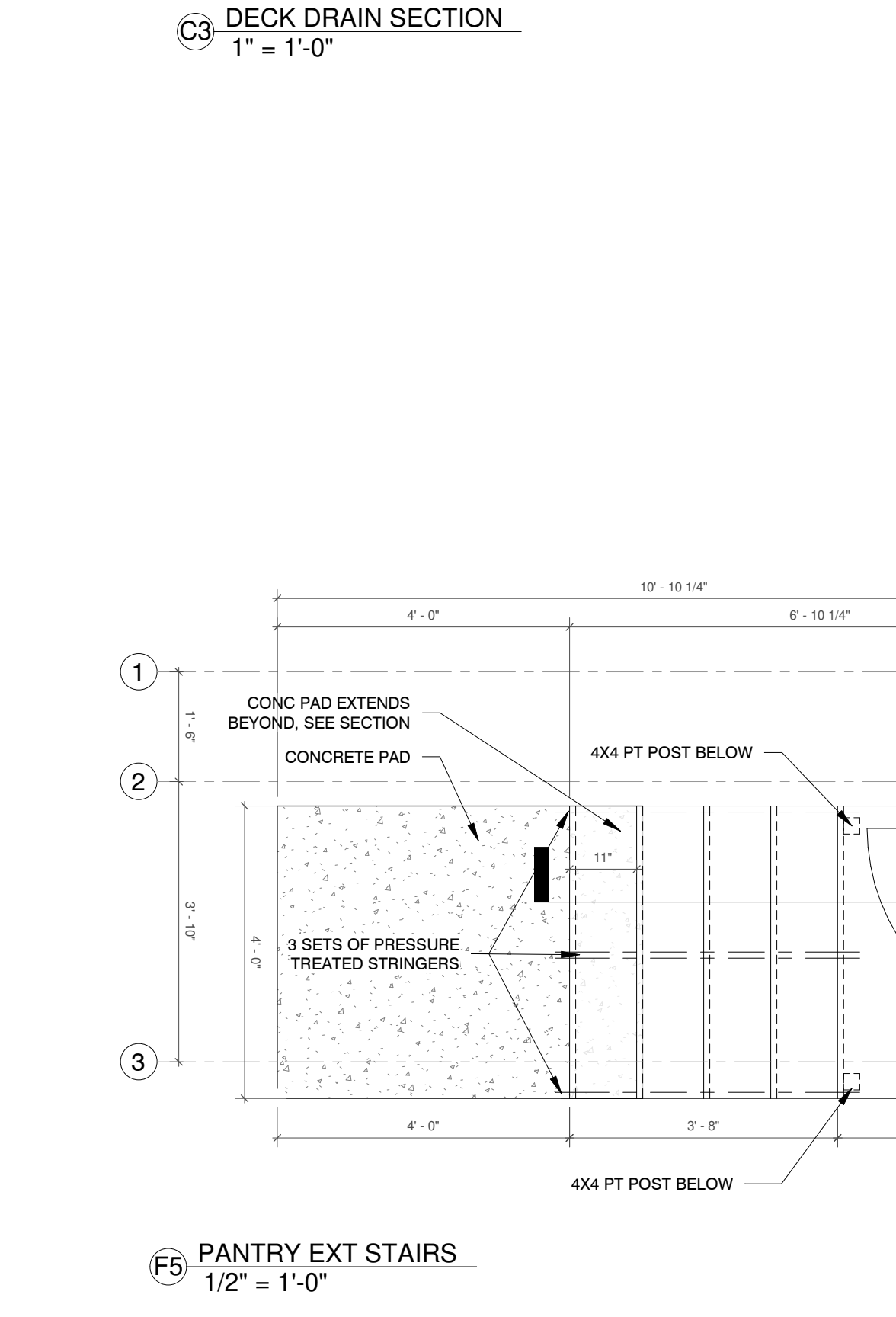
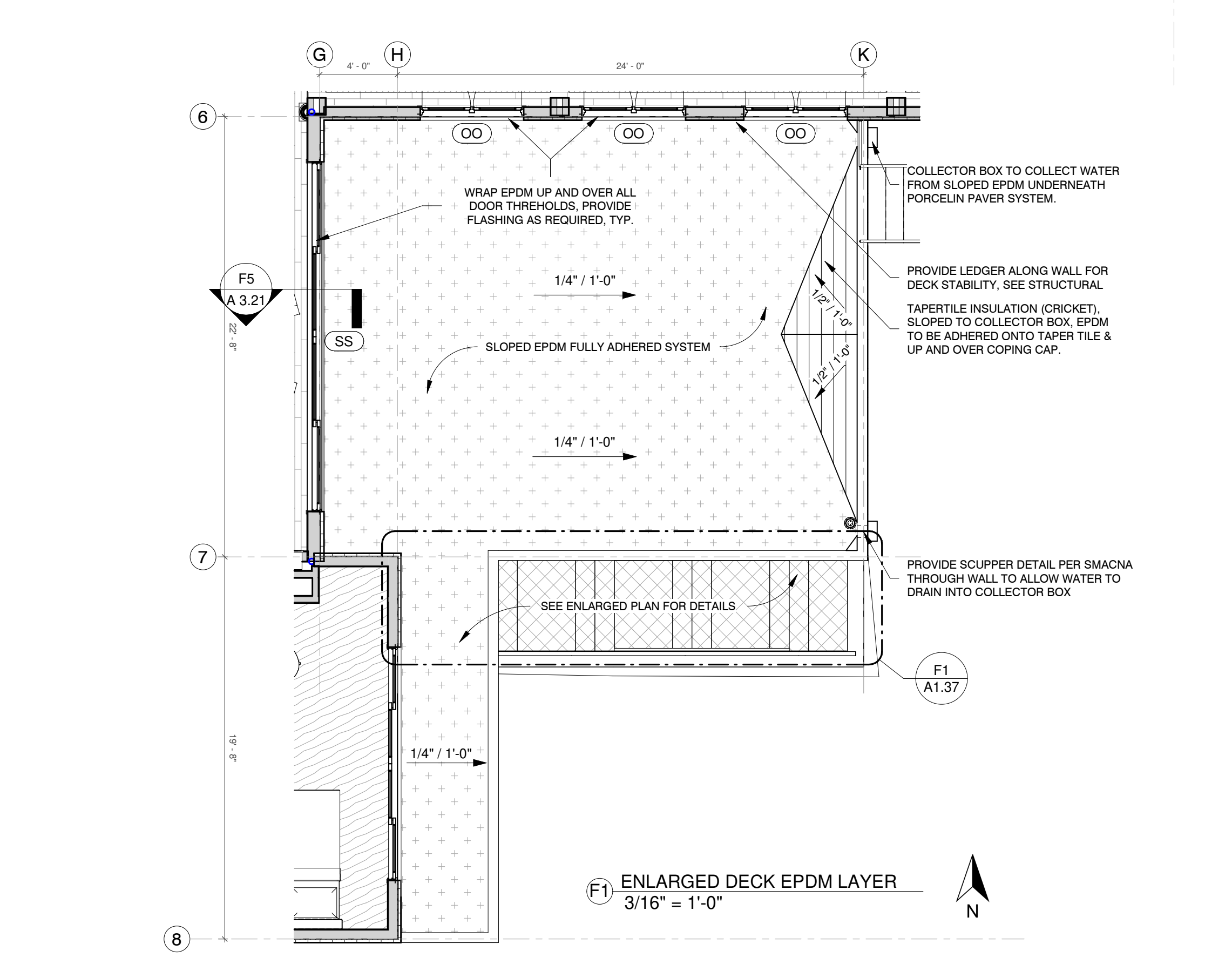
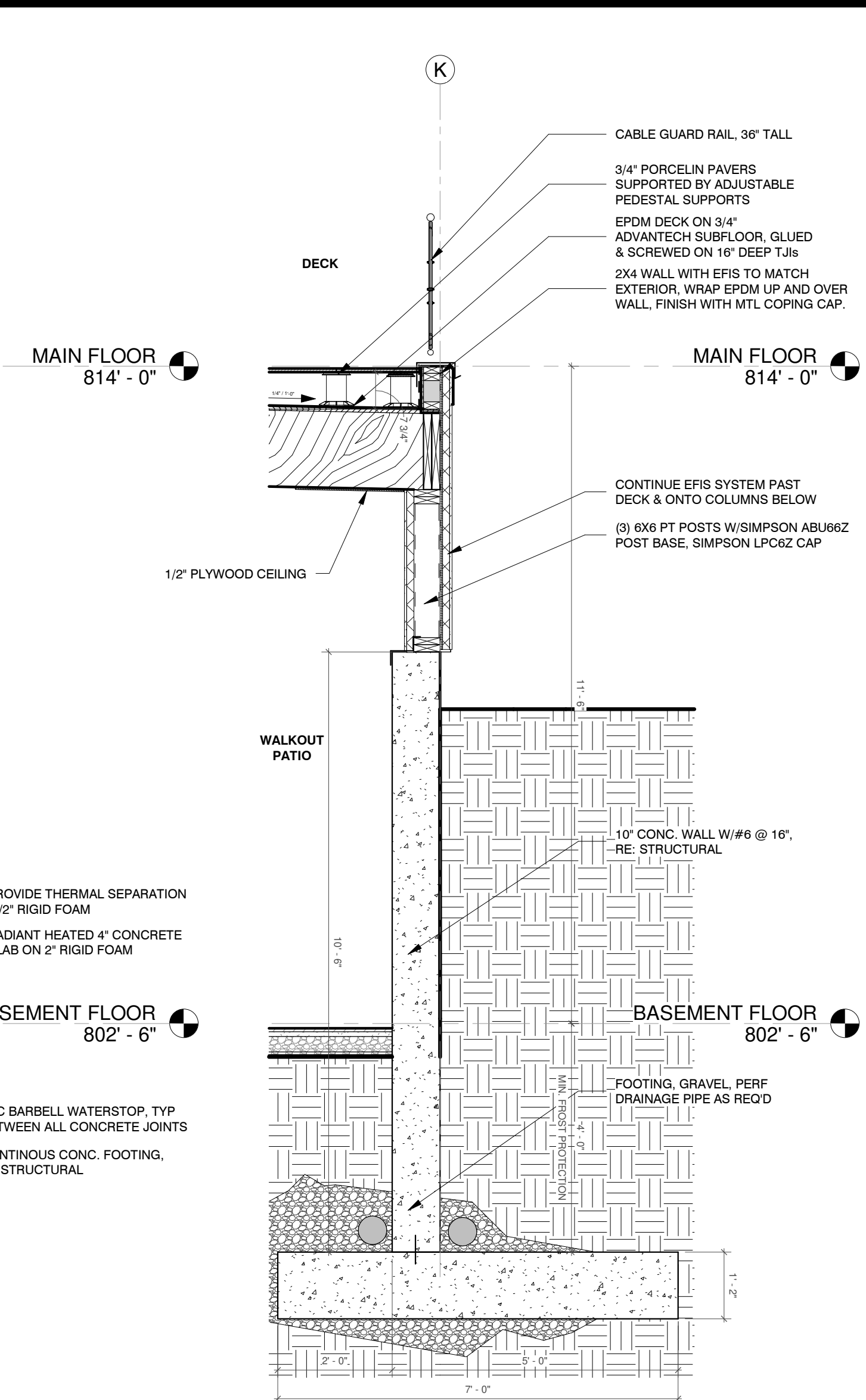
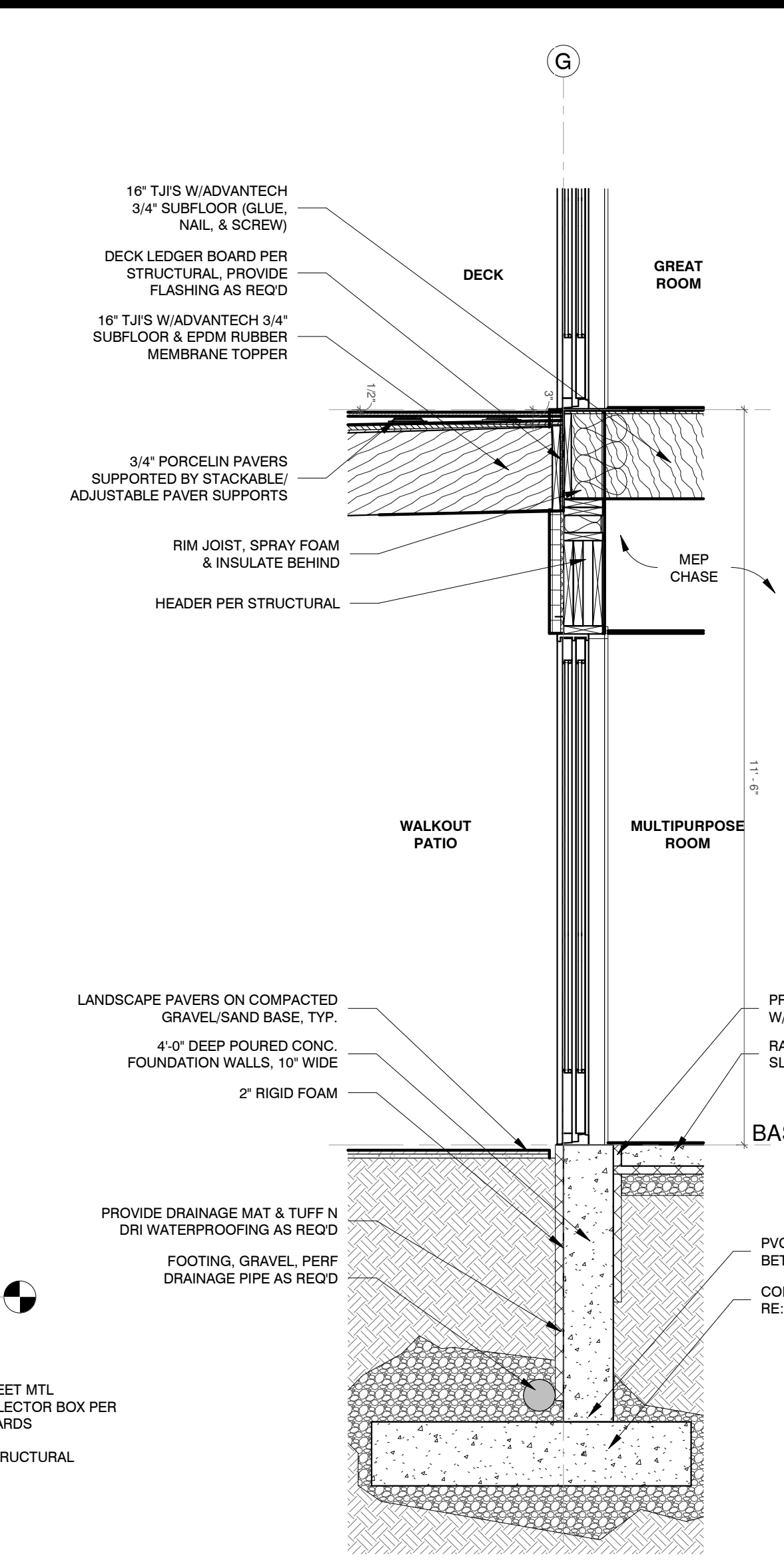
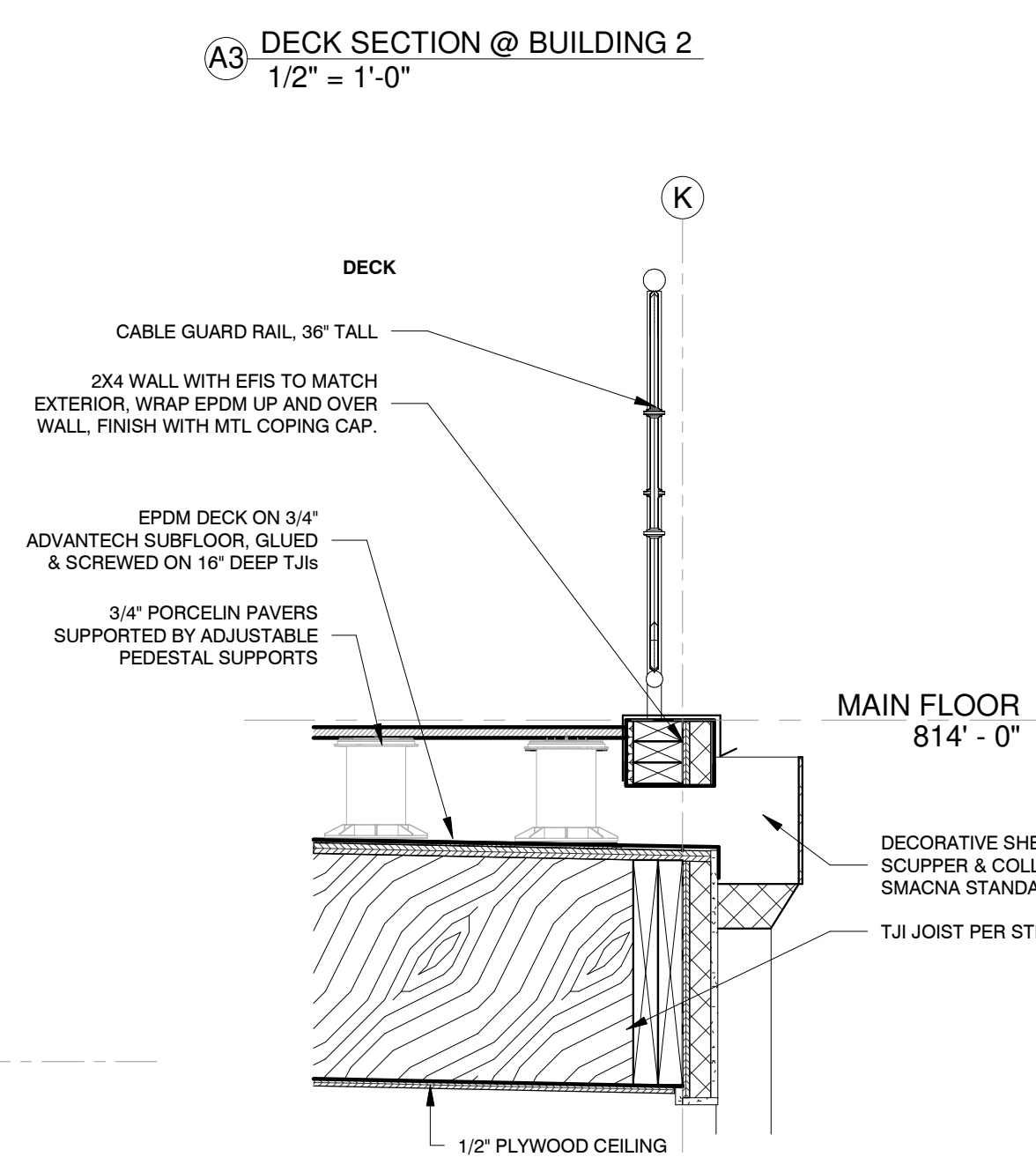
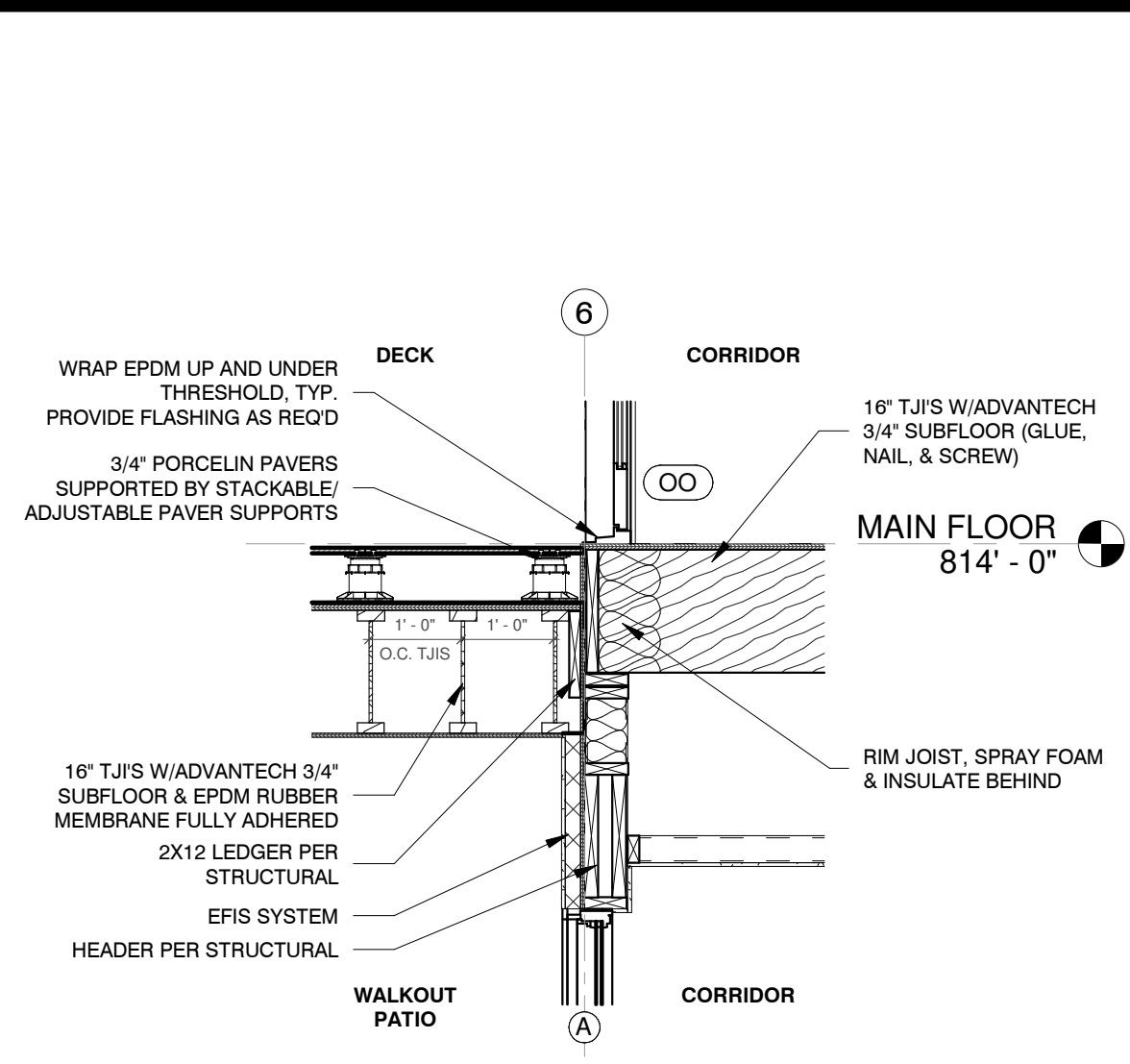
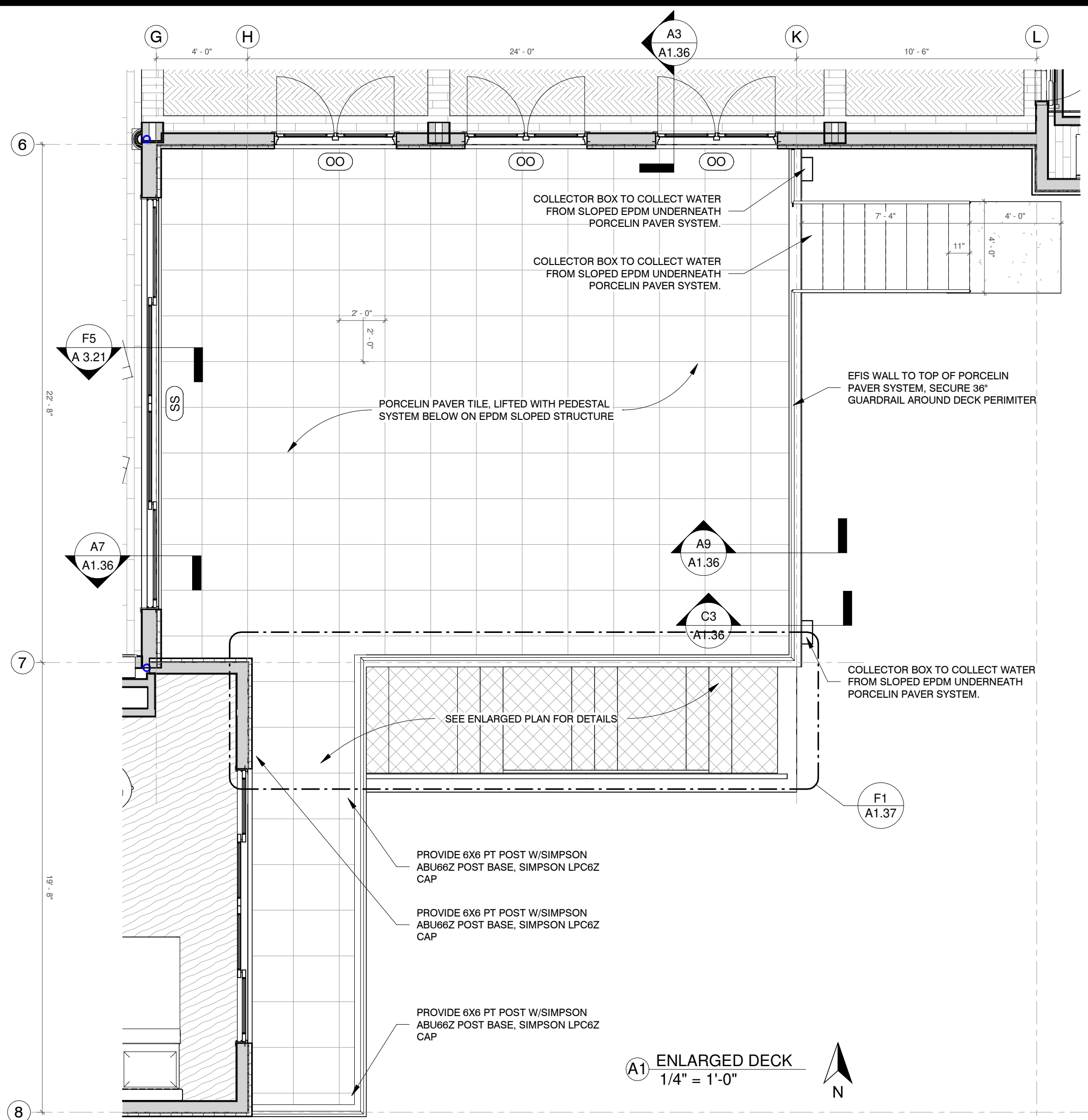
DATE ISSUED:
 JUNE 13, 2022

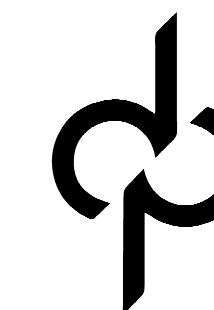
**PERMIT SET
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**ENLARGED DECK & STAIRS
 A1.36**





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3600 W 153rd St.
Leawood, KS 66224
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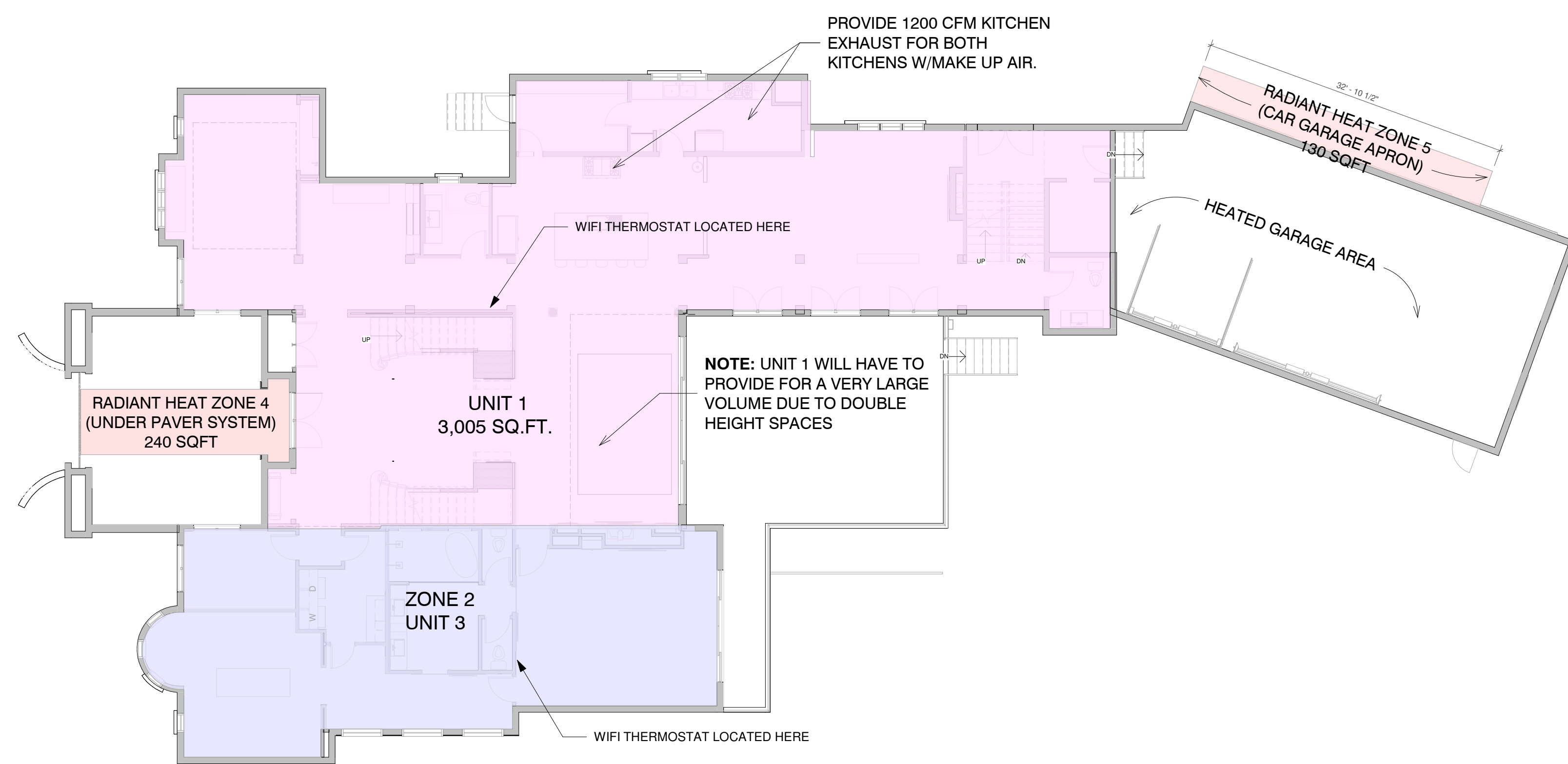
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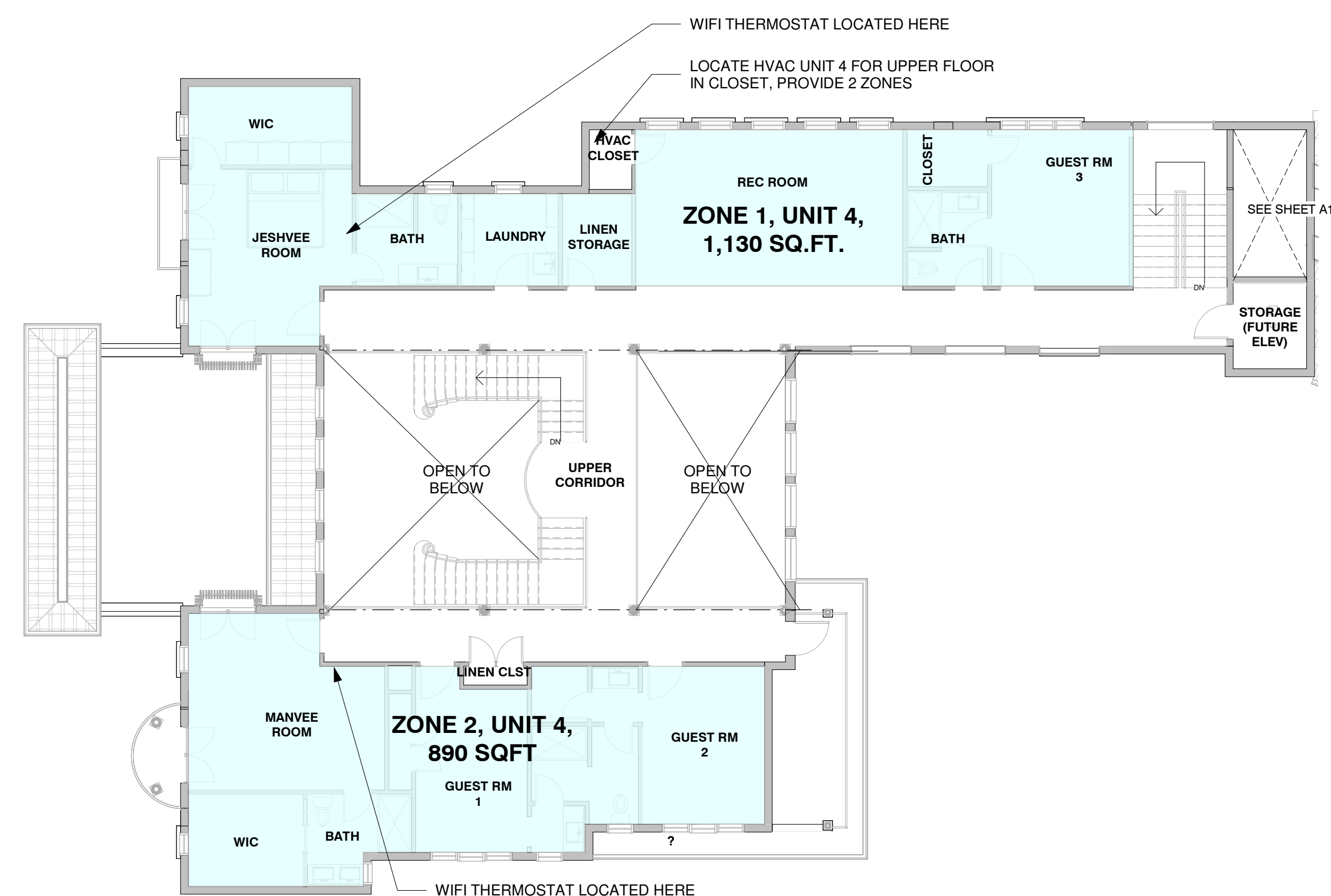
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HVAC DIAGRAMS

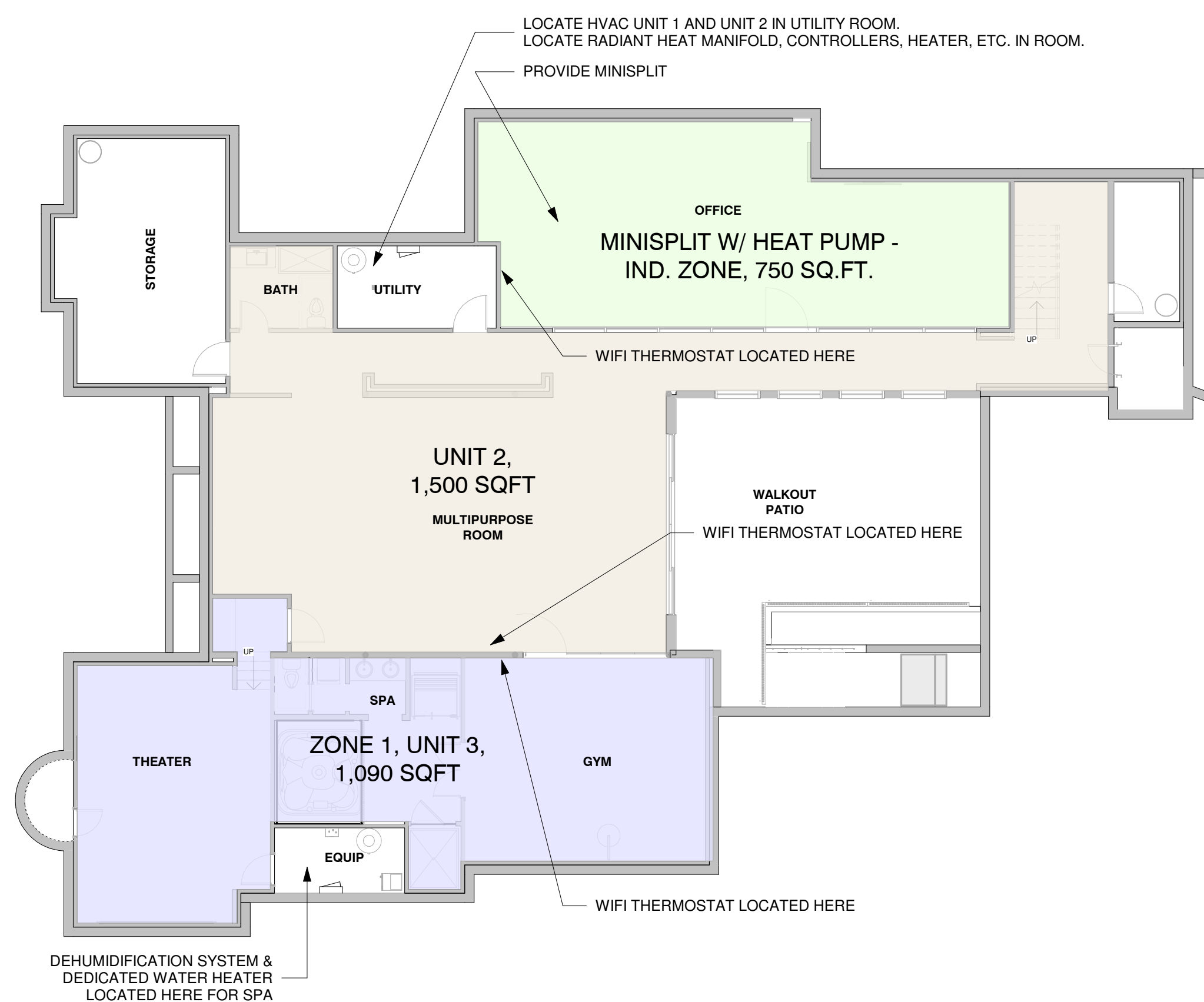
ME 1.00



① HVAC & RADIANT PLAN - MAIN FLOOR
1" = 10'-0"



② HVAC ONLY - UPPER FLOOR
1" = 10'-0"



③ HVAC ONLY - BASEMENT LEVEL
1" = 10'-0"

MEMORANDUM

Date: July 25, 2022
To: Plan Commission
From: Department of City Development
RE: 2020-2021 Franklin Aggregates Quarry Bi-annual reporting.

Per Ordinances 97-1456 and 97-1457 of Planned Development Districts (PDD) 23 and 24, the operator (Payne & Dolan) shall report to the Plan Commission approximately every two (2) years. According to the operator's report (page 2), blasting operations comply with PDD blast limits (0.30 and 0.65 in/sec).

Staff is pleased to present the following updates to the Plan Commission:

- Since 2020, Stantec Consulting Services (city's consultant) presents quarterly reports to the Quarry Monitoring Committee instead of an annual report.
- On November 2, 2021, the Common Council adopted Ordinance 2021-2484 to approve the non-metallic mining reclamation plan for the quarry located in Planned Development Districts 23 and 24.

Régulo Martínez-Montilva, AICP
Principal Planner - Department of City Development

May 12th, 2022

Mr. Regulo Martinez-Montilva
Department of City Development
9229 W. Loomis Road
Franklin, WI 53132

Subject: Biannual Report

Dear Mr. Martinez-Montilva:

As required by PDD #97-1456 & PDD #97-1457 (or PDD #23 and PDD #24), I have enclosed the Biannual Report to the Plan Commission for the Franklin Aggregates quarry located on Rawson Avenue.

Please do not hesitate to contact me in the office at (262) 524-1258, if you have any additional questions and/or would like some additional information.

Sincerely,

Payne & Dolan, Inc.



Clint Weninger, P.G.
Land Resources Manager

Franklin

MAY 17 2022

City Development

I. Site History

- Franklin Aggregate has been in operation since the mid 1940's.
- Payne & Dolan has owned and operated the Franklin Aggregate location since 1983.
- The quarry was operated by Payne & Dolan and Vulcan Materials until June of 2013, when the Vulcan Franklin quarry was purchased by Payne & Dolan. Payne & Dolan is now the sole operator.
- Payne & Dolan operates the quarry in accordance with two (2) Planned Development Districts (PDD), PDD #23 (#97-1456) and PDD #24 (#97-1457), approved by the City Common Council in 1997.

II. Quarry Operations

- Quarry operations include stripping, blasting, crushing, washing and load out of material.
- Limestone was extracted in two areas of the quarry as shown in Figure 3 below.
- Crushing continues to utilize both the crushing plants and typically occurs from approx. early March to mid-December. However, due to the high demand in the local area, one of the crushing plants did not shut down for the winters of 2019 – 2020 and 2020 – 2021 and continued thru the end of the year.
- Quarry operations may be conducted from 6:30 AM – 7:00 PM Monday thru Friday, 7:00 AM – 4:00 PM on Saturdays and no operations on Sundays or various holidays as specified in the PDDs. Hours of operation for blasting and the asphalt plants are different and listed later in other sections.
- Majority of the load out of materials utilized the west entrance along Rawson Avenue, with limited use of the east entrance. Load out occurs throughout the year with reduced hours in the construction off-season.
- Quarry operations will continue to utilize both crushing plants and most of the load out will be through the west entrance.

III. Asphalt Plant Operations

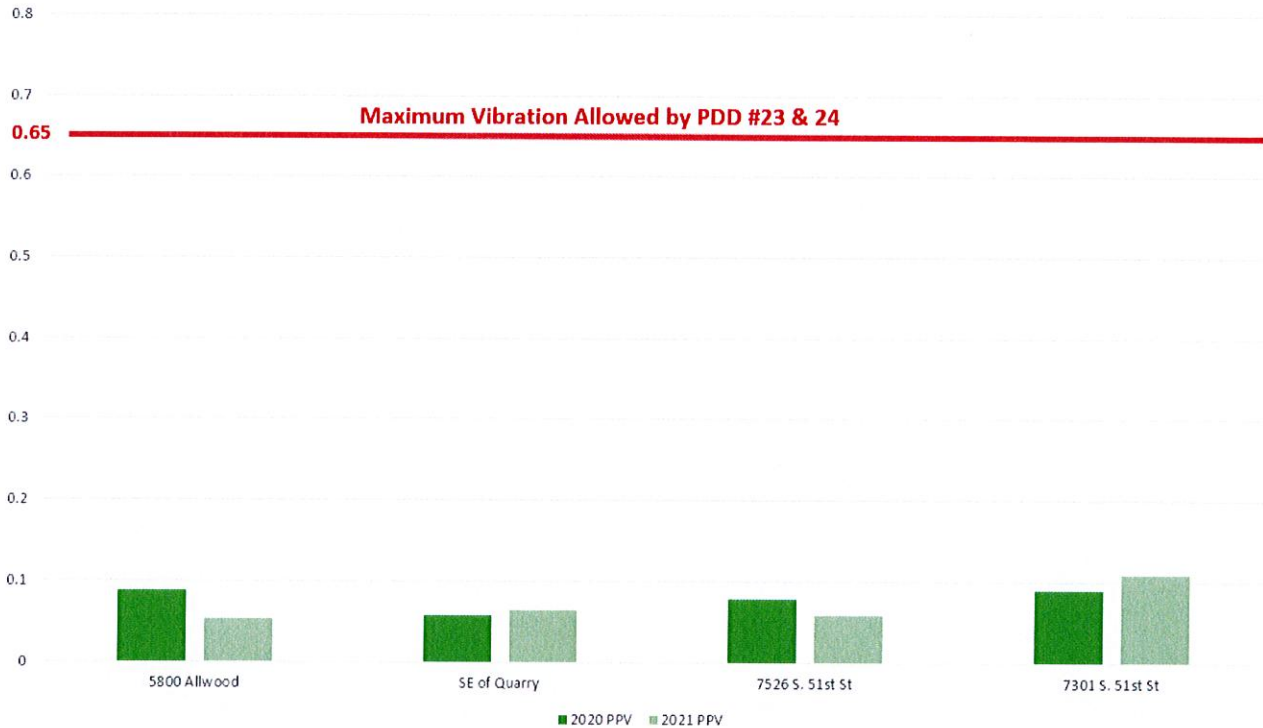
- There are two asphalt plants on site currently owned and operated by Payne & Dolan. The east asphalt plant was purchased by Payne and Dolan from Black Diamond in 2014.
- The west asphalt plant operates on PDD #23 and utilizes the west entrance. The east asphalt plant operates on PDD #24 and utilizes the east entrance.
- Asphalt plant operations may be conducted from 6:00 AM – 7:00 PM Monday thru Friday, 6:00 AM – 4:00 PM on Saturdays and no operation on Sundays per their permit use approvals as specified in the PDDs.
- Asphalt plants typically operate from mid-April thru mid-November, but may vary with market conditions.

IV. Blasting Operations

- Payne & Dolan supervises, implements, and conducts its drilling and blasting program specifically designed for this site. Blasting events are designed at conservative levels and kept well within the limits established by the PDDs.
- All blasting is conducted by experienced personnel licensed with the State of Wisconsin.
- Hours of blasting are restricted to 8:00 AM to 4:00 PM – Monday thru Friday with no blasting taking place on Saturday, Sunday or holidays as listed in the PDDs.

- All blasting events are monitored by four (4) independently calibrated seismographs – operated by Vibra-Tech, a third party vendor.
- City of Franklin personnel and quarry monitoring consultant (Stantec) have access to Vibra-Tech’s seismograph information via a website.
- Stantec, the City of Franklin’s quarry monitoring consultant, has done independent blast monitoring of the quarry and their monitoring results are consistent with Payne & Dolan’s results and confirm that all blasting operations are within the PDD limits.

Average Blasting Results by Seismograph Location - PPV - (2020 - 2021)



V. Other

- Stantec continues to conduct quarry monitoring at the discretion of the City of Franklin Quarry Monitoring Committee.
- Payne & Dolan personnel regularly attends the Quarry Monitoring Committee meetings.
- Payne & Dolan personnel continues to provide site visits and tours of its operations to City officials and representatives from Stantec.
- Quarry tours and site visits have been limited due to Covid in 2020 and 2021.
- At the request of neighbors, Payne & Dolan has a preblast notification process to provide advance notice to neighbors of a blast. The notification process entails sending interested parties a message the day of the blast by either text or email, informing them that blasting would be occurring that day. Currently, there are 49 people on the notification list.
- The Quarry Monitoring Committee recommended approval of the Franklin Aggregates Reclamation Plan and the City of Franklin Plan Commission approved the Reclamation Plan in October 2021. The

City of Franklin Common Council subsequently approved the Reclamation Plan in November 2021. Payne & Dolan updated the reclamation financial assurance per the approved plan.

Figure 1. Site Map showing Property Lines, PDD Locations and Extraction Limits

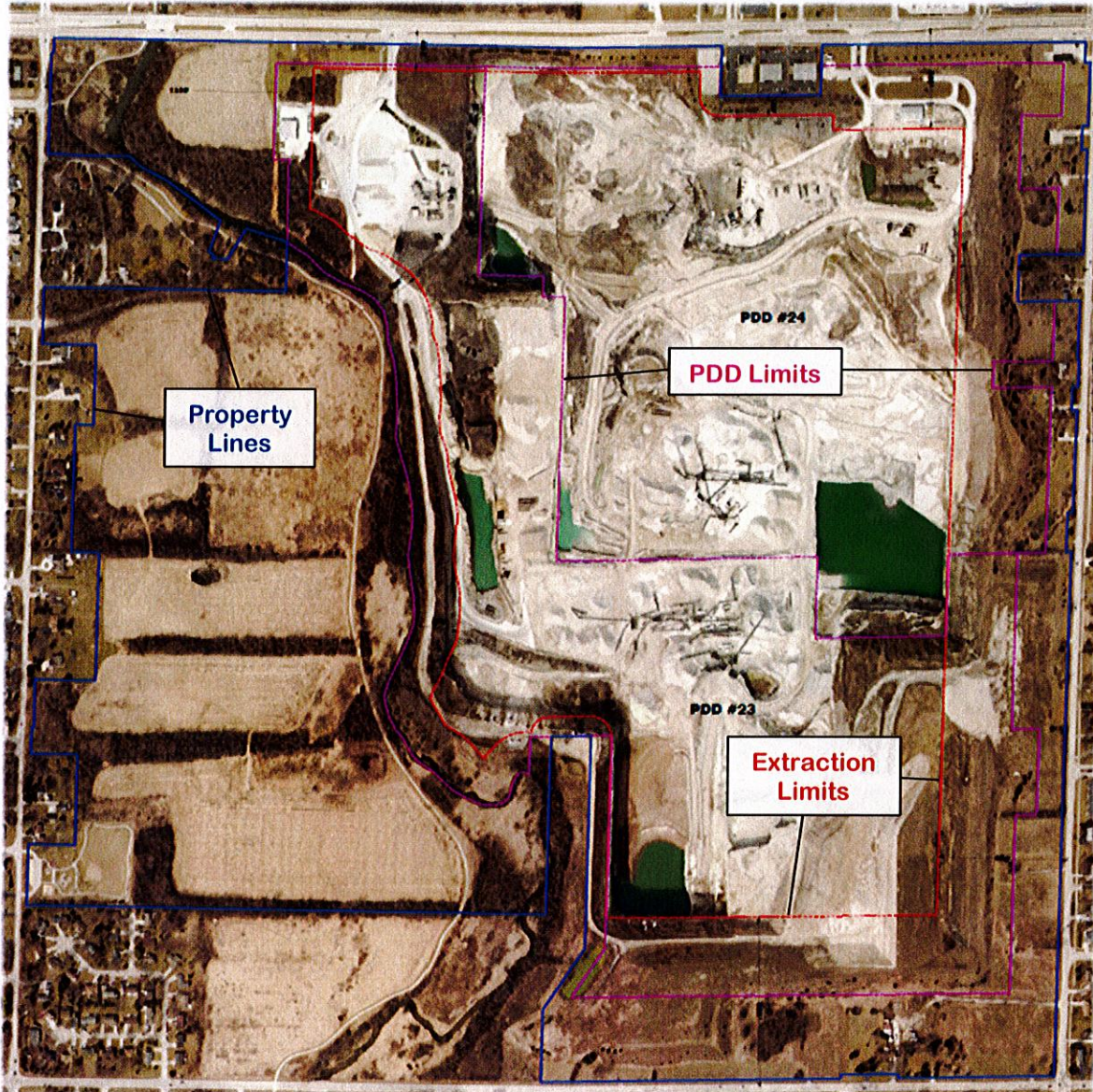


Figure 2. Current Aerial Photo - (October 2021)



Figure 3. Limestone Extraction Areas (2020 – 2021 and 2022 – 2023)
*2022-2023 is a Projection only – subject to change and may vary at discretion of P&D

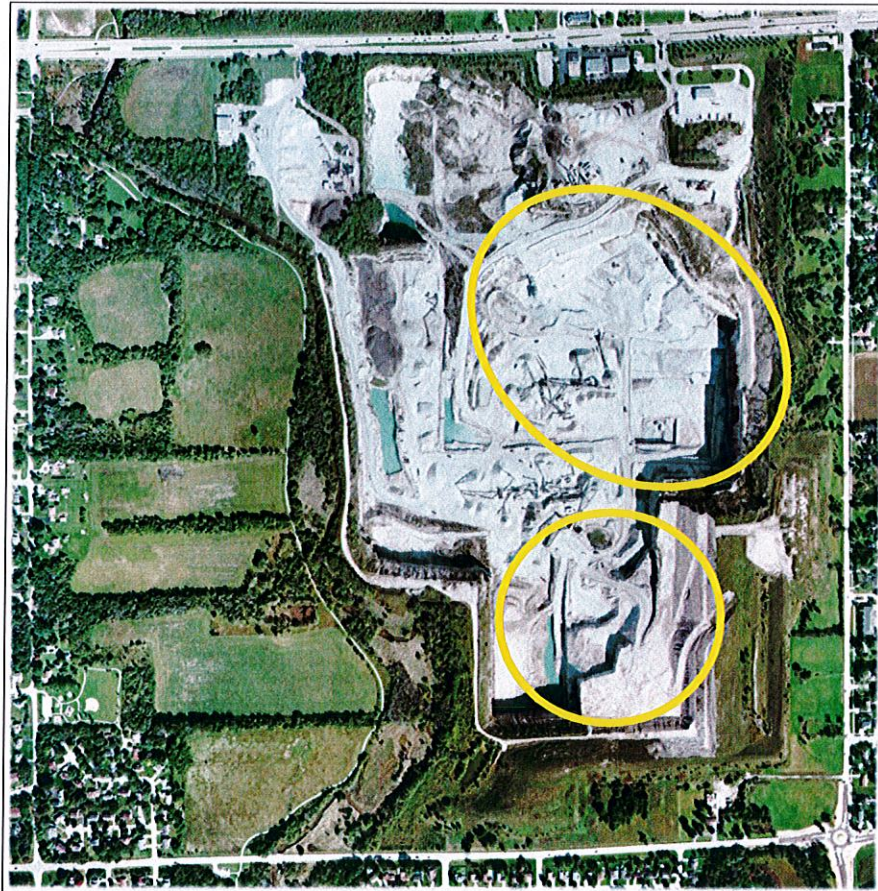
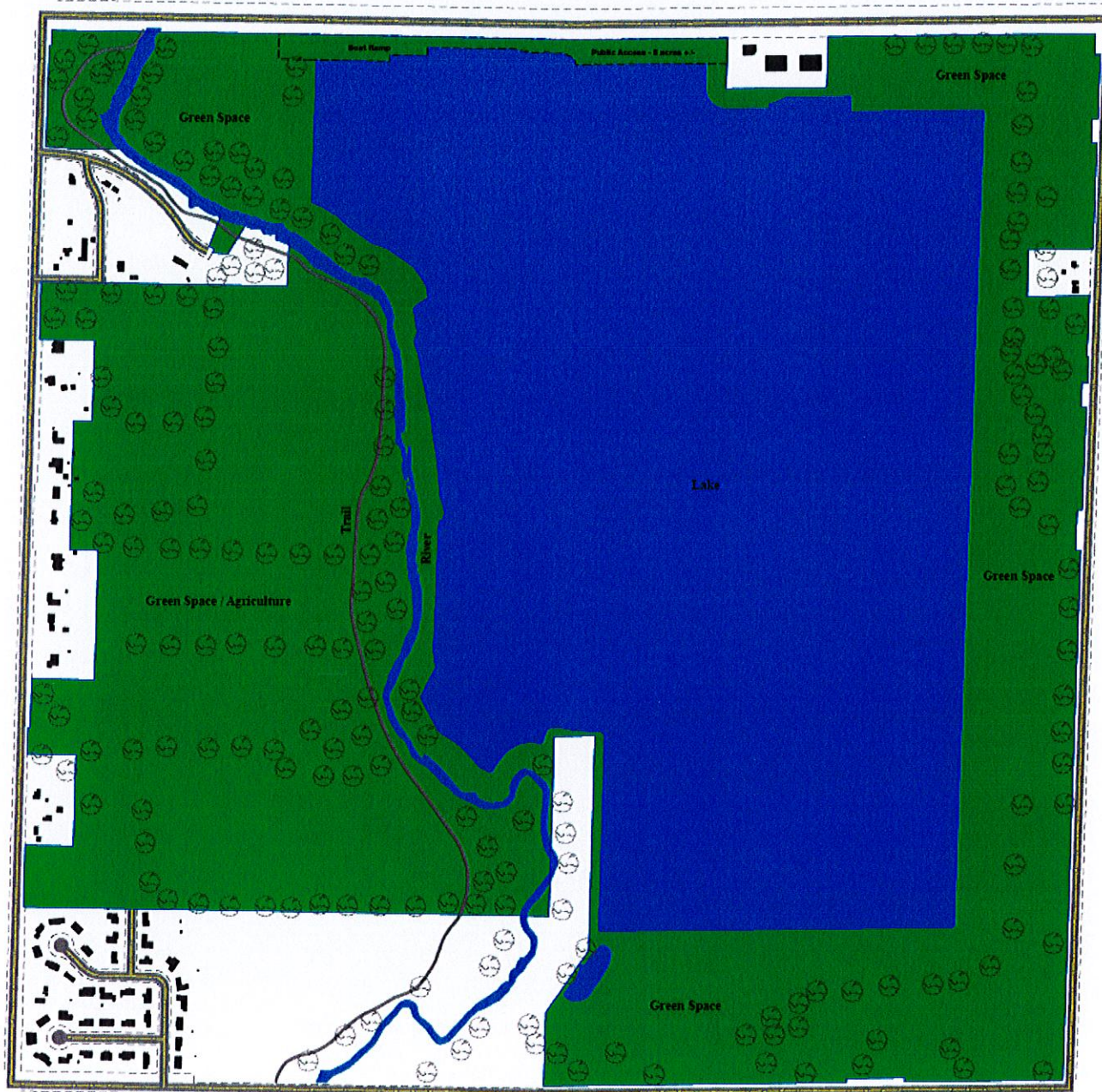


Figure 4. Site Map Showing Conceptual Reclamation Plan





CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item D.2.

Meeting of August 4, 2022

Land Combination

RECOMMENDATION: City Development staff recommends approval of this land combination for 8857 W. St. Martins Rd.

Project Name:	Sandoval Land Combination
Project Address:	8857 W. St. Martins Rd. (TKN 886 9989 003)
Property Owner:	Jose D. Sandoval
Applicant:	Jose D. Sandoval
Agent:	Gregg Blando
Zoning:	R-3 - Suburban/Estate Single-Family Residence District & FW - Floodway District
Use of Surrounding Properties:	R-3 - Suburban/Estate Single-Family Residence District & FW - Floodway District to the north, south, east and west; B-2 - General Business to the northeast
Comprehensive Plan:	Residential and Natural Resources
Applicant Action Requested:	Approval of application for land combination
Planner:	Marion Ecks, Assistant Planner

Pursuant to §15-9.0312.B, of the Unified Development Ordinance, the application for the Land Combination Permit shall be considered “relative to City staff recommendations, the lot area and other dimensional requirements of the zoning district(s) within which the parcels are located, the City of Franklin Comprehensive Master Plan and the planned land use for each of the parcels, present use of the parcels and proposed use of the parcels for the purpose to ensure that upon combination, such properties shall comply with the purposes and provisions of this Ordinance.”

Analysis:

The subject properties are located at 8857 W. St. Martins Rd. (TKN 886 9989 003); they share an address and tax key number. One lot contains a house, and the other is an outlet that was created by a previous land division in anticipation of a road that was never constructed. The applicant would like to complete the process of re-combining the lots to remove the internal lot line and related setbacks.

This land combination otherwise complies with the current zoning of the subject properties, and is consistent with the City of Franklin Comprehensive Master Plan designation.

Staff recommendation:

City Development staff recommends approval of this land combination.

RESOLUTION NO. 2022-_____

A RESOLUTION CONDITIONALLY APPROVING A LAND
COMBINATION FOR PARCEL 1 (TAX KEY NO. 886-9989-003)
AND OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 6022
(8857 WEST ST. MARTINS ROAD)
(JOSE D. SANDOVAL, APPLICANT)

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a proposed land combination for Jose D. Sandoval to unify a parcel of land (1.19 acres) and an adjoining outlot (3.53 acres) located at 8857 West St. Martins Road (Parcel 1 of Certified Survey Map No. 6022 bearing Tax Key No. 886-9989-003), more particularly described as follows:

Part of the SW 1/4 of the SW 1/4 of Section 21, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin; and

WHEREAS, the Plan Commission having reviewed such application and recommended approval thereof and the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed land combination is appropriate for approval pursuant to law upon certain conditions, all pursuant to §15-9.0312 of the Unified Development Ordinance, Land Combination Permits.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the proposed land combination for Jose D. Sandoval, as submitted by Jose D. Sandoval, as described above, be and the same is hereby approved, subject to the following conditions:

1. Jose D. Sandoval, successors and assigns shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Jose D. Sandoval land combination project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon Jose D. Sandoval and the land combination project for the property located at 8857 West St. Martins Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and

JOSE D. SANDOVAL – LAND COMBINATION
RESOLUTION NO. 2022-_____

Page 2

the like, required for and applicable to the project to be developed and as presented for this approval.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

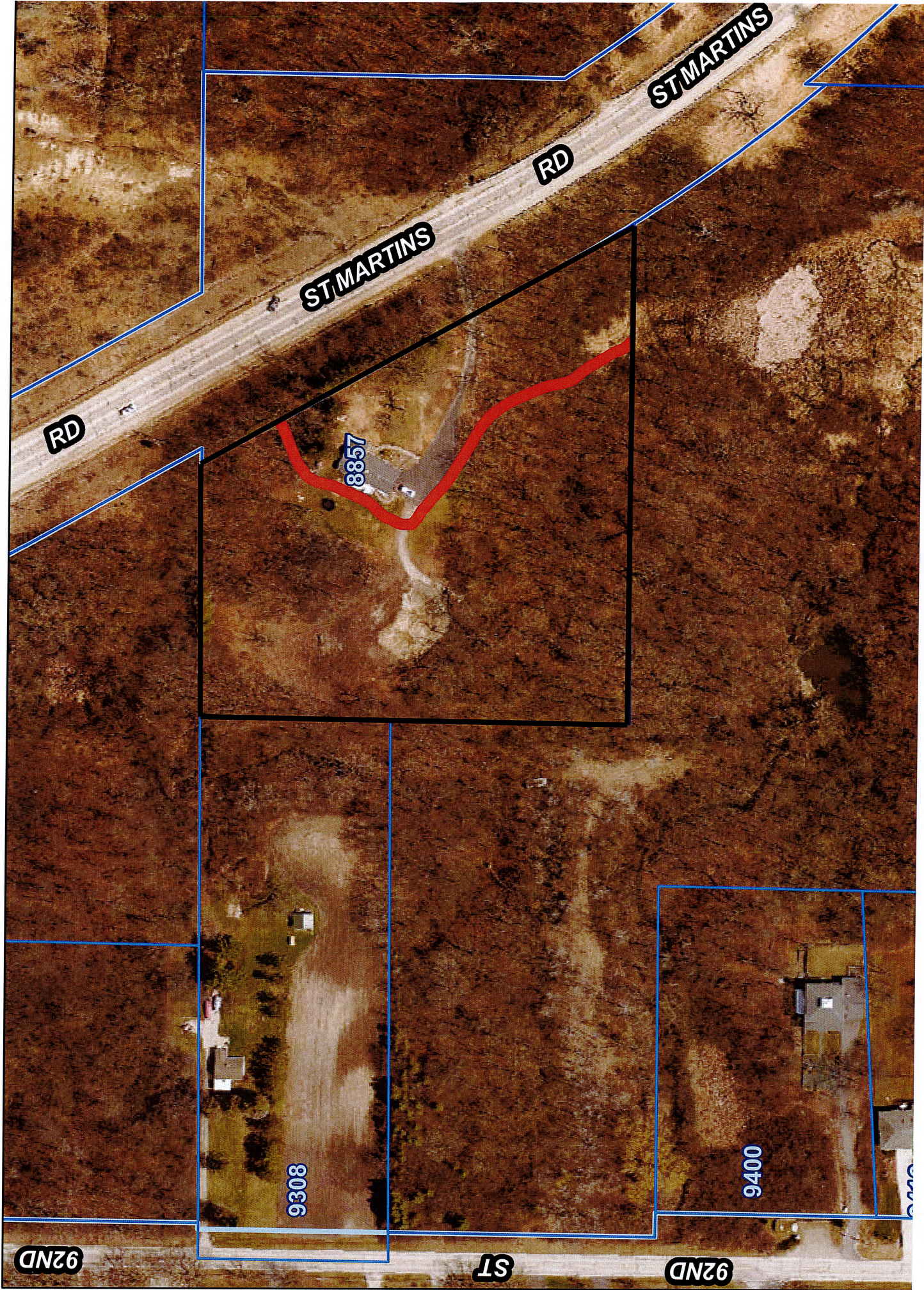
Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

City of Franklin



Land Combination 8857 West St. Martins Road

From: Gregg Blando (greggblando@sbcglobal.net)
To: mecks@franklinwi.gov
Cc: miangelauto@icloud.com; greggblando@sbcglobal.net; golsen@franklinwi.gov
Date: Friday, July 22, 2022 at 01:44 PM CDT

Dear Associate Planner Ecks,

On June 17, 1994 the previous owners of the subject premises petitioned the City of Franklin to split their single lot of 4.72 acres into Parcel 1 consisting of 1.19 acres (with existing single family dwelling) and Outlot 1 consisting of 3.53 acres (vacant land). See attached Certified Survey Map 6022 by Survey Associates Inc. dated 8-25-94 for reference. The CSM 6022 Document was subsequently approved by Mayor Frederick F. Klimetz and the Franklin Common Council September 26, 1994. This Map Document was recorded by the Milwaukee County Register's Office October 4, 1994.

The purpose of this land division was to develop the vacant outlot at a later date. The aforementioned outlot development never took place and the current owner Jose Sandoval's desire is to recombine Parcel 1 & Outlot 1 into a single lot as originally created. For reference regarding this request please see attached Certified Survey by C3E Geomatics dated July 15, 2022.

Therefore, application to City of Franklin Planning Commission for a land combination on the subject premises was made by Mr. Sandoval's Agent Gregg Blando on March 21, 2022. City of Franklin Planning sent a letter response to Mr. Sandoval July 13, 2022.

The following is owner/agent response to Planning Staff Comments:

1. The proposed combined lot meets the standards of the zoning classification(s) per Staff review.
2. There is no development taking place in the FW Floodway District.
3. There are no changes to the existing building at this time on the subject premises.
4. The land combination request meets the requirements of City of Franklin UDO-15-5.0106.I per Staff review.

On behalf of Jose Sandoval, I Gregg Blando as owner's Agent, submit the aforementioned narrative and will attend the 7pm City Plan Commission on August 4, 2022. If Staff has any further questions or comments regarding this matter, please call me at your earliest convenience.

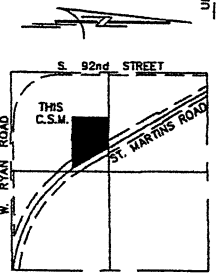
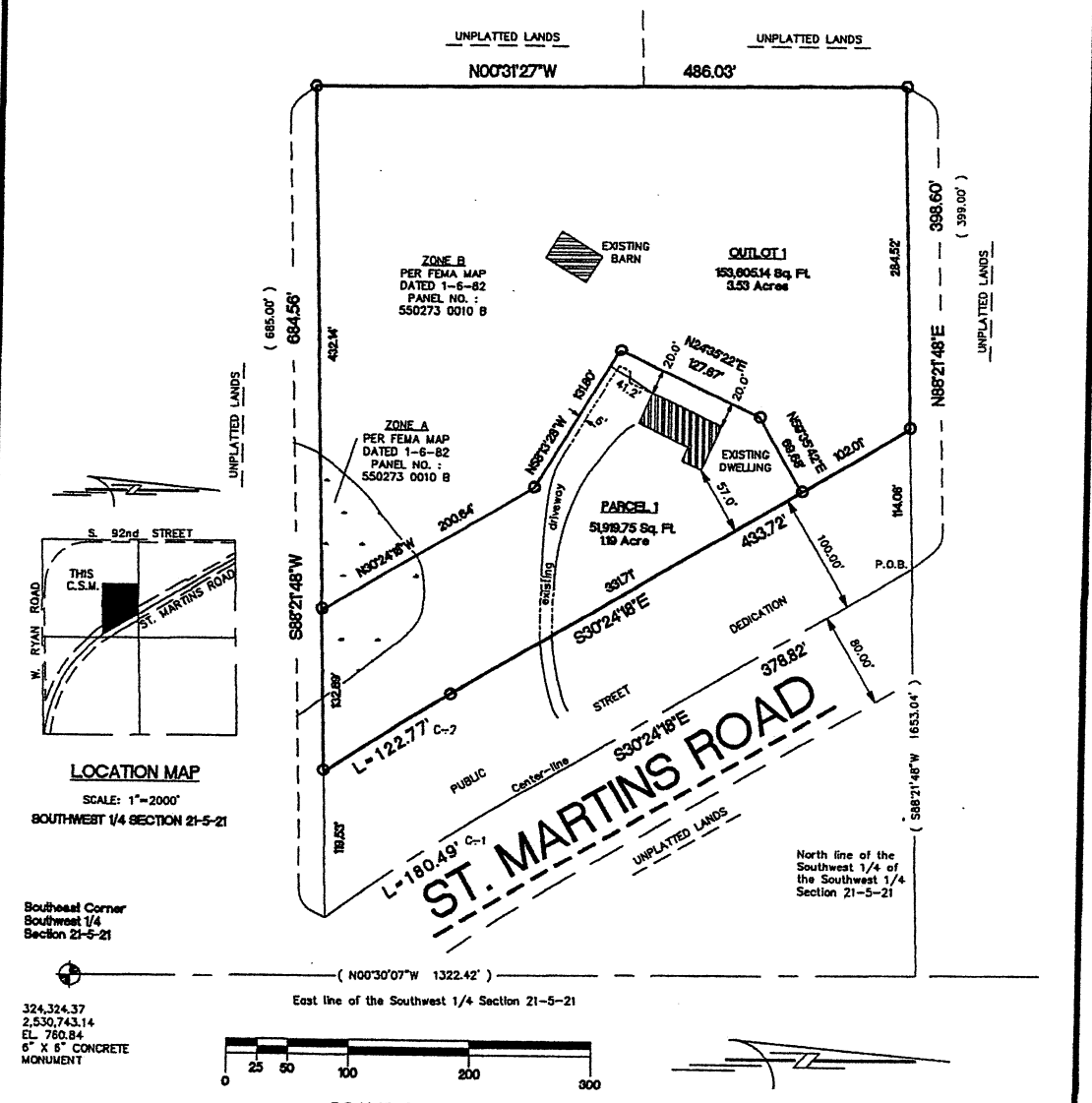
Sincerely,

Gregg Blando

SCANNED
6.16.05 BLM

CERTIFIED SURVEY MAP NO. 6022

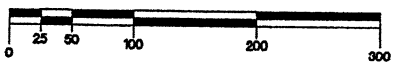
PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 5 NORTH,
RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.



LOCATION MAP
SCALE: 1"=2000'
SOUTHWEST 1/4 SECTION 21-5-21

Southeast Corner
Southwest 1/4
Section 21-5-21

324.324.37
2,530,743.14
EL. 760.84
6" X 8" CONCRETE
MONUMENT



SCALE: 1"=120'

○ DENOTES 1" X 24" SET IRON PIPE WEIGHING NOT LESS THAN 113 LBS./LIN. FOOT

ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SOUTHWEST 1/4 OF SECTION 21-5-21, WHICH IS ASSUMED TO BEAR N00°30'07"W WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE

() DENOTES RECORDED DIMENSION

SURVEYING ASSOCIATES, INC.
2554 N. 100th STREET
WAUWATOSA, WI. 53226
PH-414-257-2212
FAX-414-257-2443

CURVE DATA

CURVE	RADIUS	CHORD	BEARING	DELTA
C-1	1910.08'	180.42'	S33°06'43"E	05°24'50.3"
C-2	2010.08'	122.75'	S32°09'17"E	03°29'58"



Frederick W. Shielski
FREDERICK W. SHIELSKI S-1154

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