

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, DECEMBER 1, 2022, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of November 17, 2022.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) MIXED-USE BUILDING ADDITION TO THE BALLPARK COMMONS DEVELOPMENT.** Unified Development Ordinance §15-3.0442 Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Amendment (Major) application by M1 at Ballpark Commons LLC, Zim-Mar Properties, LLC, property owner, to allow for a three-story Mixed-Use building with residential units on the ground floor (as well as commercial units, allowed by the District) and upper floors, at the southeast corner of West Rawson Avenue and South Ballpark Drive, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 754-9006-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**
2. **THE RETREAT (TEMPORARY NAMESAKE) REDEVELOPMENT: CREATION OF A NEW RESIDENTIAL AND COMMERCIAL PLANNED DEVELOPMENT DISTRICT.** Comprehensive Master Plan Amendment and Planned Development District and Rezoning applications by Wetland Treehouse LLC, Rawson-Loomis, LLC, current property owner, to amend the Future Land Use Map designation of an approximately 51.61 acre parcel of land from Commercial Use and Areas of Natural Resource Features Use to Mixed Use, and to create The Retreat (temporary namesake), a new mixed-use, luxury residential and commercial planned development district which includes 358 apartments, 2.52 acres of retail outlots, a public street connecting Terrace Drive with South Loomis Road, private drives to serve 10 multi-family buildings, 2 townhouse clusters and a clubhouse, with resident amenities including patio space with an

outdoor kitchen and private pool, and adjacent outdoor uses including pickleball courts, putting and chipping green, professionally managed gardens and open green space, on the approximately 51.61 acres of land located at 8301 West Old Loomis Road, and to rezone the property from R-6 Suburban Single-Family Residence District and C-1 Conservancy District to Planned Development District No. 41 (*currently named The Retreat*); Tax Key No. 755-9997-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

3. **GO RITEWAY TRANSPORTATION GROUP SCHOOL BUS TRANSPORTATION OFFICE OPERATION.** Special Use Amendment application by Roland J. Bast, co-owner of GO Riteway Transportation Group, for a recruitment, training and regional office for GO Riteway Transportation Group, and providing school bus transportation for the City of Franklin School District (hours of operation from 6:00 a.m. to 5:30 p.m., Monday through Friday and a limited number of buses may have an athletic charter on Saturdays; 20 car parking spaces in the front of the building (west side of lot) and 12 bus parking spaces on the south side of the lot), commencing at the beginning of the 2023 school year (a second, current, GO Riteway location will also serve Franklin School District from the east, office located at 7433 South 10th Street, in Oak Creek, WI), upon property zoned M-1 Limited Industrial District and C-1 Conservancy District, located at 11141 West Forest Home Avenue; Tax Key No. 704-9990-003 [the existing Special Use is for an over-the-road trucking company and school buses (Standard Industrial Code no. 4151) as well as overnight parking require a Special Use approval]. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

E. **Adjournment**

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: December 15, 2022

**City of Franklin
Plan Commission Meeting
November 17, 2022
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the November 17, 2022, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Alderwoman Shari Hanneman, Commissioner Patrick Leon and City Engineer Glen Morrow. Absent were Commissioners Kevin Haley, Adam Burckhardt and Patricia Hogan. Also present was Principal Planner Régulo Martínez-Montilva and Associate Planner Marion Ecks.

B. Approval of Minutes

1. Regular Meeting of November 3, 2022.

Alderwoman Hanneman moved and City Engineer Morrow seconded a motion to approve the November 3, 2022 meeting minutes. On voice vote, all voted ‘aye’; motion carried (4-0-3).

C. Public Hearing Business Matters

1. None.

D. Business Matters

1. **UNIFIED DEVELOPMENT ORDINANCE (UDO) REWRITE TASK FORCE:** session with project consultants Houseal Lavigne Associates and Birchline Planning, re: articles: 5. General Development Standards and 6. Sign Standards.

Principal Planner Regulo Martinez-Montilva introduced the project consultants. Ruben Shell and Jackie Wells of Houseal Lavigne Associates presented the draft articles: 5. General Development Standards and 6. Sign Standards.

No action taken.

Adjournment

Commissioner Leon moved and Alderwoman Hanneman seconded to adjourn the Plan Commission meeting of November 17, 2022 at 8:32 p.m.. On voice vote, all voted ‘aye’; motion carried (4-0-3).



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION
Meeting of December 1, 2022
Major Amendment to PDD No. 37

Item C.1.

RECOMMENDATION: City Development staff recommends approval of the request to allow for apartments in the ground floor along Rawson Avenue, and denial of this request along S. Ballpark Drive. City Development staff recommends approval of the request to reduce the minimum floor area for apartments to 692 square feet.

Project name:	M1 mixed use building, PDD Major Amendment to allow for ground floor apartments and 692-sf studio apartments
Property Owner:	Zim-Mar Properties, LLC
Applicant:	M1 at Ballpark Commons, LLC
Agent:	Emily C. Cialdini. Mandel Group, Inc.
Property Address/TKN:	SE corner of Rawson Ave and Ballpark Dr / 754 9006 000
Aldermanic District:	District 2
Zoning District:	PDD 37 – The Rock Sports Complex/Ballpark Commons
Staff Planner:	Régulo Martínez-Montilva, AICP, Principal Planner
Submittal date:	10-06-2022
Application number:	PPZ22-0162

The applicant is proposing a three-story mixed use building: 5,643 sf of commercial space and 78 apartments. The applicant is requesting 2 changes to the PDD ordinance:

1. To allow for apartments on the ground floor level.
2. To reduce the minimum floor area for apartments from 700 to 692 square feet.

Apartments in the ground floor level:

This site is located in the Ballpark Commons Mixed Use area of Planned Development District (PDD) No. 37, this area allows for “Mixed-use buildings up to four stories in height, with residential apartments on the upper three floors” (Ord. 2019-2368, Section 15-3.0442C). Therefore, ground floor apartments are not allowed, only office, commercial and retail uses are allowed on the ground floor. The intent of this area is to “provide single-story retail buildings and multi-story mixed use buildings with ground floor office/commercial/retail uses, and upper story residential apartments, roof-top and/or outdoor seating, fountains, gardens, plazas...”.

The ground level gross area is 28,819 square feet, the applicant is proposing 5,643 square feet for commercial use and the remaining area for 20 apartments, entry/lease room, club room, mechanical room and circulation areas. As justification for this request, the applicant stated that “several of the residential units will be positioned on the first floor at grade level allowing for ‘walk up’ residential patios. We saw

tremendous success with first floor units at Velo Village, specifically from pet owners. The first-floor units achieved some of the highest rent.”

Per PDD Ordinance No. 2019-2368, section 15-3.0442, the Ballpark Commons Mixed Use area is intended to:

1. *To be located at the southeast and southwest corners of the intersection of Rawson Avenue and Ballpark Drive.*
2. *Provide single-story retail buildings and multi-story mixed use buildings with ground floor office/commercial/retail uses, and upper story residential apartments, roof-top and/or outdoor seating, fountains, gardens, plazas, and/or and other similar shared amenities that are compatible in function, form, and operation.*

Staff comment: This request to allow for ground floor apartments is contrary to the intent of this Mixed Use area. The Ballpark Commons PDD provides the Multi-Family Residence Area where apartments are permitted on the ground and upper floors, such as the Velo Village apartments.

3. *Provide both on-street and off-street parking for tenants and customers, including underground parking for all multi-story buildings and formal shared parking arrangements with the adjacent multi-family residential area.*
4. *Provide a pedestrian-oriented environment.*

Staff comment: Along S. Ballpark Drive, ground floor commercial/retail/office uses will benefit from the proximity to the existing sidewalk. Along Rawson Avenue, a 30-foot landscape bufferyard runs along the entire frontage which creates a barrier between the proposed building and the existing sidewalk, so ground floor apartments are appropriate along Rawson Avenue due to the privacy and noise barrier effect of the landscape buffer (see landscape plan sheet L100).

5. *Provide superior four-sided architecture.*
6. *Require that new residential development meet the R-8 Multiple-Family Residence District Development Standards in Table 15-3.0209.*

City Development staff is concerned with this request because it contradicts objective #2. However, due to the special condition created by the landscape buffer along Rawson Avenue as noted above. City Development staff recommends approval of this request to allow for apartments on the ground floor along Rawson Avenue, and denial of this request along S. Ballpark Drive.

Minimum floor area reduction:

The applicant is proposing 2 studio apartments out of the total 78 apartments, these studio apartments would be located on the second and third floor and would have a floor area of 692 square feet. Per the PDD Ordinance No. 2019-2368, Table 15-3.0442.D.2, the minimum dwelling unit size is 700 square feet.

It is noted that the minimum living area for commercial apartments is 900 square feet for most business zoning districts (i.e. B-1, B-2 and B-3). However, the local comprehensive plan recommends that “the City continue to review multi-family developments on a case-by-case basis, with particular emphasis upon neighborhood compatibility and high quality development (Chapter 6: Housing, page 6-37). This floor area reduction is not changing the land use, so neighborhood compatibility is not affected.

City Development staff consulted with the Inspection Services Department regarding building code standards for studio apartments or efficiency dwellings units as described in the 2015 International Building Code®. Section 1208.4.1 states that “the unit shall have a living room of not less than 220 square feet (20.4 m²) of floor area. An additional 100 square feet (9.3 m²) of floor area shall be provided for each occupant of such unit in excess of two”. Therefore, the proposed studio apartments exceed the minimum area indicated in the building code.

Site Plan and Special Use:

Note that this PDD Major Amendment is only to allow for ground floor apartments and smaller studio apartments. Site Plan and Special Use approvals are still required for this building, the applicant submitted these applications on November 7.

Staff Recommendation:

City Development staff recommends approval of the request to allow for apartments on the ground floor along Rawson Avenue, and denial of this request along S. Ballpark Drive.

City Development staff recommends approval of the request to reduce the minimum floor area for apartments to 692 square feet.

ORDINANCE NO. 2022-_____

AN ORDINANCE TO AMEND §15-3.0442 OF THE UNIFIED DEVELOPMENT ORDINANCE PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) TO ALLOW FOR A THREE STORY MIXED-USE BUILDING WITH RESIDENTIAL UNITS ON THE GROUND FLOOR (AS WELL AS COMMERCIAL UNITS, ALLOWED BY THE DISTRICT)

(M1 AT BALLPARK COMMONS LLC, APPLICANT)
(AT APPROXIMATELY THE SOUTHEAST CORNER OF WEST RAWSON AVENUE AND SOUTH BALLPARK DRIVE)

WHEREAS, Section 15-3.0442 of the Unified Development Ordinance provides for and regulates Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), same having been created by Ordinance No. 2012-2089 and later amended by: Standards, Findings and Decision for a Special Exception to Certain Natural Resource Provisions Dated March 19, 2013; Ordinance No. 2013-2101; Ordinance No. 2016-2212; Ordinance No. 2017-2278, Ordinance No. 2018-2312, Resolution No. 2018-7339, Standards, Findings, and Decision for a Special Exception to Certain Natural Resource Provisions dated January 9, 2018, Ordinance No. 2018-2318, Ordinance No. 2018-2324, Ordinance No. 2018-2323 (re: Buildings B1 thru B4), 2018-2323, Ordinance No. 2019-2368, Ordinance No. 2021-2462 and Ordinance No. 2021-2488, with such District primarily being located at 7095 South Ballpark Drive, bearing Tax Key Nos. 708-8996-002, 744-1003-000, 744-1004-000, 744-1005-000, 744-1007-000, 744-1008-000, 744-1009-000, 744-1010-000, 754-9001-000, 754-9002-000, 754-9006-000, 754-9007-000, 754-9008-000, and is more particularly described below; and

WHEREAS, Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) currently includes those lands legally described as follows:

PDD BOUNDARY

PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHEAST 1/4, AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; AND THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 21 EAST, AND THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4; AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN; COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST

1/4 OF SECTION 4; THENCE NORTH 88°42'47" EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 SECTION, 1452.10 FEET TO LOOMIS ROAD (STATE TRUNK HIGHWAY "36") REFERENCE LINE AS SHOWN IN WISCONSIN DEPARTMENT OF TRANSPORTATION PLAT OF RIGHT OF WAY PROJECT NUMBER F064-I(5)/2240-02-22, DATED JULY 3, 1956 AND THE POINT OF BEGINNING; THENCE SOUTH 49°45'51" WEST ALONG SAID REFERENCE LINE, 908.15 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY 1280.09 FEET ALONG SAID REFERENCE LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, WHOSE RADIUS IS 3819.72 FEET AND WHOSE CHORD BEARS SOUTH 40°09'15" WEST, 1274.10 FEET TO A POINT OF TANGENCY; THENCE SOUTH 30°33'51" WEST ALONG SAID REFERENCE LINE, 912.57 FEET; THENCE NORTH 59°26'09" WEST, 146.77 FEET TO THE SOUTHEAST CORNER OF STONE HEDGE SUBDIVISION ADDITION NO. 1; THENCE NORTH 00°11'17" WEST ALONG THE EAST LINE OF SAID STONE HEDGE SUBDIVISION ADDITION, 2266.74 FEET TO THE NORTH RIGHT OF WAY LINE OF WEST RAWSON AVENUE; THENCE NORTH 88°31'09" EAST ALONG SAID NORTH RIGHT OF WAY LINE 393.64 FEET; THENCE NORTH 76°43'11" EAST 212.76 FEET TO A POINT ON THE EAST LINE OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3107; THENCE NORTH 00°21'06" WEST ALONG THE EAST LINE OF SAID PARCEL 1 AND ALONG THE EAST LINE OF LOTS 14, 13, AND 12 OF BLOCK 1 OF WHITNALL VIEW SUBDIVISION ADDITION NO. 1, 809.21 FEET TO THE NORTHEAST CORNER OF SAID LOT 12; THENCE SOUTH 88°41'11" WEST ALONG THE NORTH LINE OF SAID LOTS 12 AND 11 OF SAID WHITNALL VIEW SUBDIVISION ADDITION, 484.57 FEET TO THE NORTHWEST CORNER OF SAID LOT 11; THENCE NORTH 00°21'07" WEST ALONG THE EAST LINE OF LOTS 10 AND 9 OF SAID WHITNALL VIEW SUBDIVISION, 400.06 FEET TO THE NORTHEAST CORNER OF SAID LOT 9, SAID POINT BEING ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE NORTH 88°41'11" EAST ALONG SAID NORTH LINE, 544.58 FEET TO THE EAST LINE OF SAID SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°21'07" EAST ALONG SAID EAST LINE OF SAID SOUTHWEST 1/4, 35.86 FEET; THENCE NORTH 88°42'30" EAST, 662.58 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE WEST 1/4 OF SAID 1/4 SECTION; THENCE NORTH 00°22'39" WEST, 1349.21 FEET; THENCE NORTH 88°33'16" EAST 1252.39, FEET; THENCE SOUTH 00°19'12" EAST, 367.35 FEET; THENCE NORTH 54°02'33" EAST, 648.24 FEET; THENCE NORTH 88°33'16" EAST, 204.06 FEET TO THE EAST LINE OF SAID NORTHEAST 1/4 OF SECTION 4, BEING THE CENTERLINE OF SOUTH 76TH STREET; THENCE SOUTH 00°19'12" EAST ALONG SAID EAST LINE, 519.27 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST

1/4 OF SECTION 4; THENCE SOUTH 00°25'03" EAST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 4, 1659.84 FEET TO SAID REFERENCE LINE; THENCE SOUTH 49°45'51" WEST ALONG SAID REFERENCE LINE, 1561.74 FEET TO THE POINT OF BEGINNING. CONTAINING IN ALL 8,951,502 SQUARE FEET (205.498 ACRES) OF LAND, MORE OR LESS.

WHEREAS, the Mixed-Use Building M-1 site within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) currently includes those lands legally described as follows:

Lot 1 of Certified Survey Map No. 9078 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on October 16, 2018 as Document No. 10820171, being a redivision of Lots 3 and 4 of Certified Survey Map No. 9042 and lands in the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

WHEREAS, M1 at Ballpark Commons LLC, having petitioned for a further amendment to Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) to allow for a three-story mixed-use building with residential units on the ground floor (as well as commercial units, allowed by the District) at the southeast corner of West Rawson Avenue and South Ballpark Drive; and

WHEREAS, the City of Franklin Plan Commission on the 1st day of December, 2022, having reviewed the proposed amendment to Planned Development District No. 37 and thereafter having recommended to the Common Council that the proposed amendment be approved subject to the conditions and restrictions included herewith; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission, and having determined that the proposed amendment to Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin, and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Section 15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, as previously amended, is hereby amended specifically and only with regard to the Planned Development District No. 37 M1 at Ballpark Commons mixed-use development located at approximately the southeast corner of West Rawson Avenue and South Ballpark Drive, to allow for a three-story mixed-use building with residential units on the ground floor (as well as commercial units, allowed by the District).

SECTION 2: Table 15-3.0442C.C.1.b. of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows: Mixed use buildings up to four stories in height, residential apartments are permitted on the ground and upper floors.

SECTION 3: All other applicable terms and provisions of §15-3.0442, shall apply to the subject M1 at Ballpark Commons LLC Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) mixed-use development located at approximately the southeast corner of West Rawson Avenue and South Ballpark Drive, and all terms and provisions of §15-3.0442 as existing immediately prior to the adoption of this Ordinance, except as amended hereunder, shall remain in full force and effect.

SECTION 4: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 5: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 6: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022, by Alderman _____.

ORDINANCE NO. 2022-_____

Page 5

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

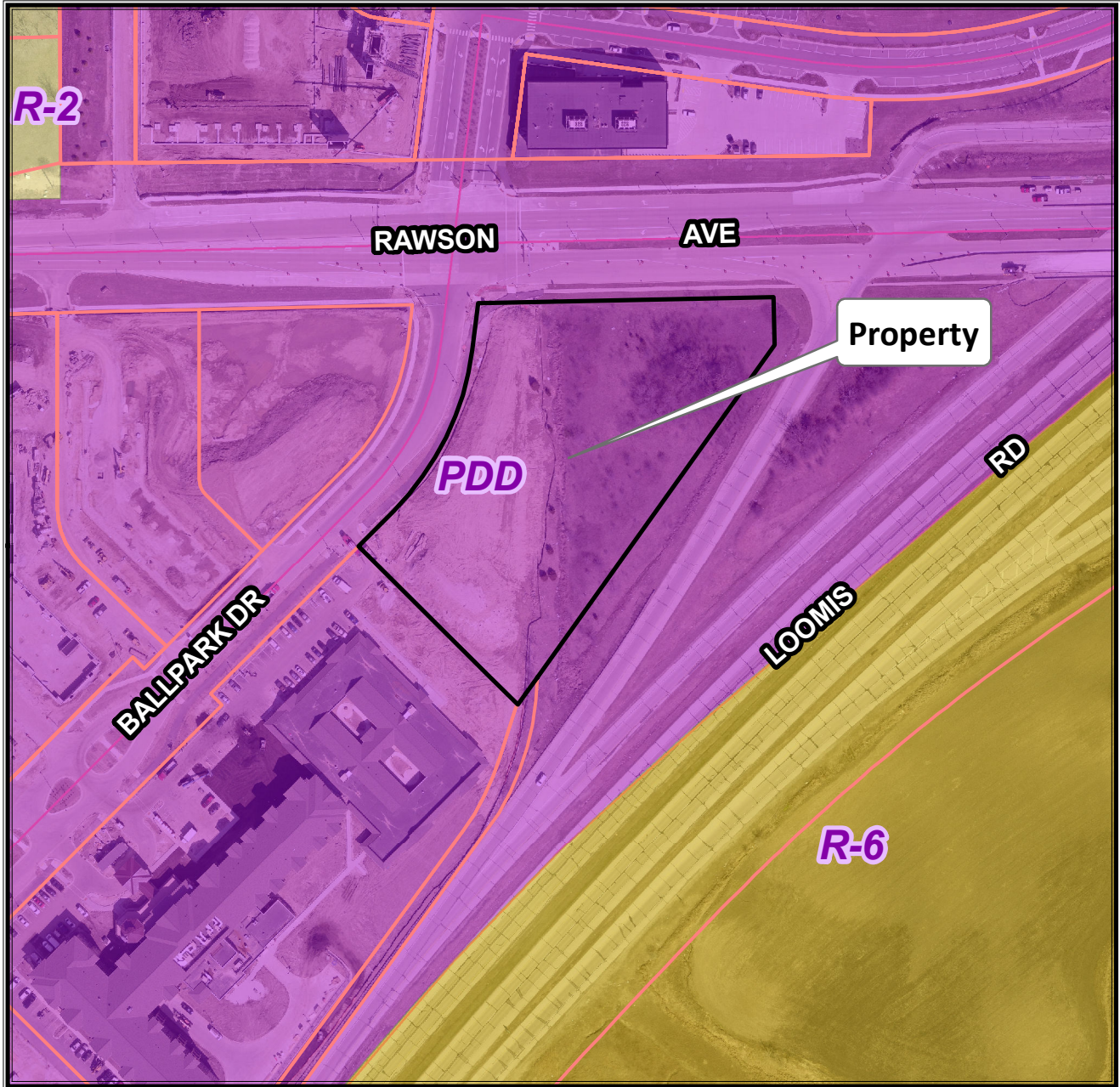
Stephen R. Olson, Mayor

ATTEST:

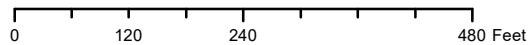
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

TKN: 754 9006 000



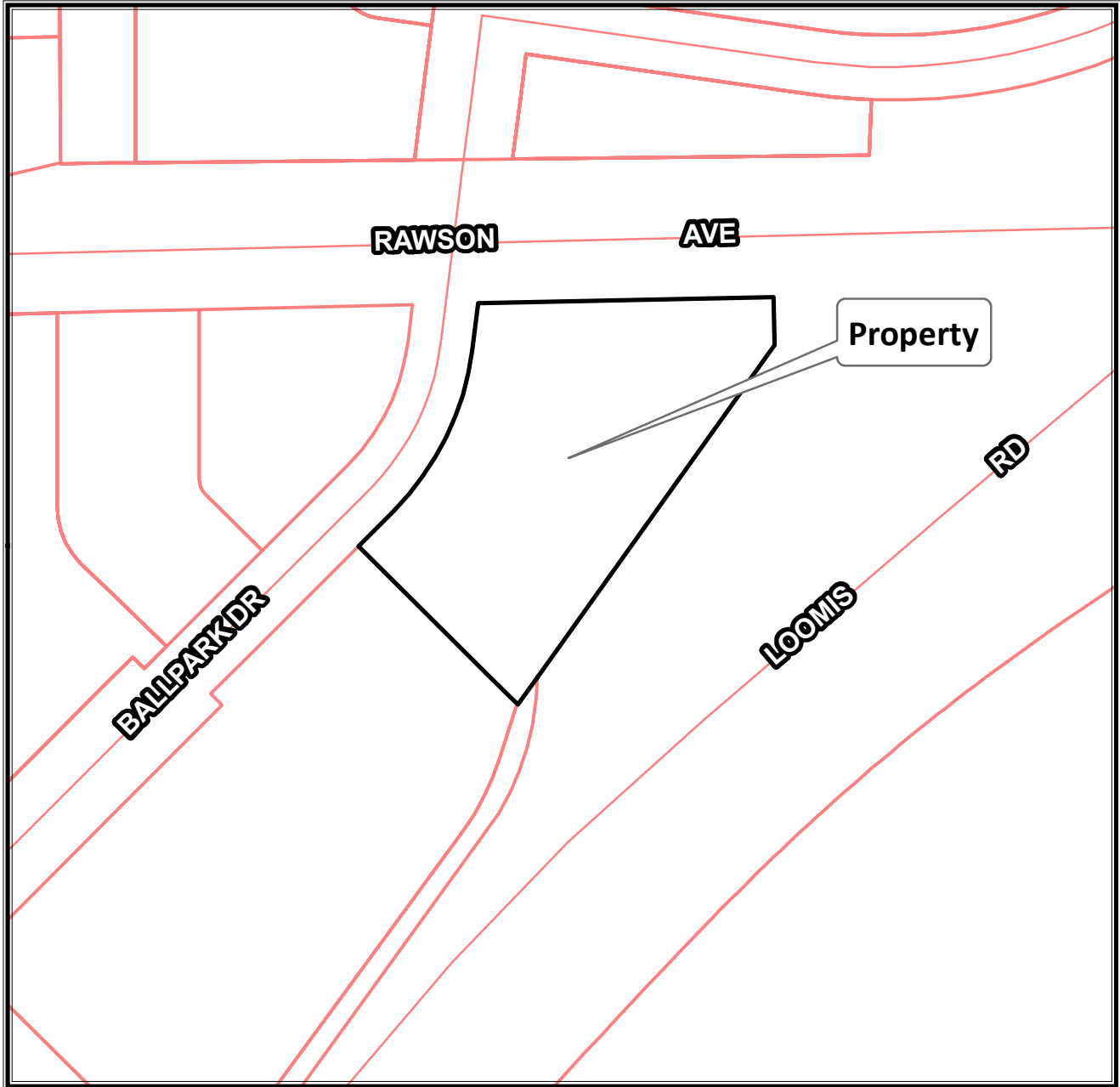
Planning Department
(414) 425-4024



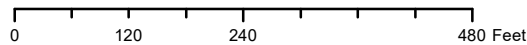
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



TKN: 754 9006 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



MEMORANDUM

Date: November 11, 2022
To: Emily Cialdini. Mandel Group, Inc.
From: Department of City Development
Régulo Martínez-Montilva, AICP, Principal Planner
RE: Staff comments for Major PDD Amendment, M1 Building at Ballpark Commons (BPC)
SE corner of Rawson Ave and Ballpark Dr / 754 9006 000

Staff comments are as follows for the above-referenced application received on October 6, 2022:

City Development Department comments

1. In your cover letter, you requested the following:
 1. Residential units at the first floor.
 - City Development staff is concerned with this request because it contradicts the intent of the Mixed Use area of the Ballpark Commons Planned Development District (PDD), which is to “provide single-story retail buildings and multi-story mixed use buildings with ground floor office/commercial/retail uses, and upper story residential apartments, roof-top and/or outdoor seating, fountains, gardens, plazas, and/or and other similar shared amenities that are compatible in function, form, and operation”.
 2. Studio units that are smaller than the required minimum one-bedroom unit size of 700 square feet.
 - The Planned Development District ordinance, Table 15-3.0442D.2. establishes an average dwelling unit size for one (1) bedroom dwelling units of 700 square feet, not a minimum. The average apartment floor area of your project is 866 square feet, so this request is not necessary.
 3. Reduction to the minimum setback requirement.
 - This request will be reviewed with the Site Plan and Special Use applications.

Engineering Department comments

2. *Engineering has no comments on the request for the PDD Major Amendment.*
3. *Must submit the Engineering plans and stormwater management plan for review and approval.*

Inspection Services Department comments

4. *Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code, including specific attention being given to the fire separation distance requirements in Table 602.*

Fire Department comments

5. *The PD has no comment regarding this request. Franklin Fire Department Construction and Alteration Requirements (2021-2022)*
 1. *Follow all relevant WI DSPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.*
 2. *Pre-existing fire alarm and fire sprinkler systems shall be maintained in compliance with relevant code.*
 3. *Fire Extinguisher placement as per NFPA 10.*
 4. *Fire Department Connection (FDC), and hydrant placement and density must be acceptable to AHJ (applies to new construction).*
 5. *At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.*
 6. *Master Key set required for placement in Knox Box (if required).*
 7. *Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>*
6. *NOTE: The Fire Department is NOT adequately staffed to absorb the impact on emergency and non-emergency call volume associated with the additional 1,030 residences associated with this and other related planned residential developments , associated commercial and vehicle traffic, and required fire inspection work-load; in addition to the ongoing high-density single family development in the southwest quadrant and multifamily development along the south 27th Street corridor.*

Police Department comments

7. *The PD has no comment regarding this request.*

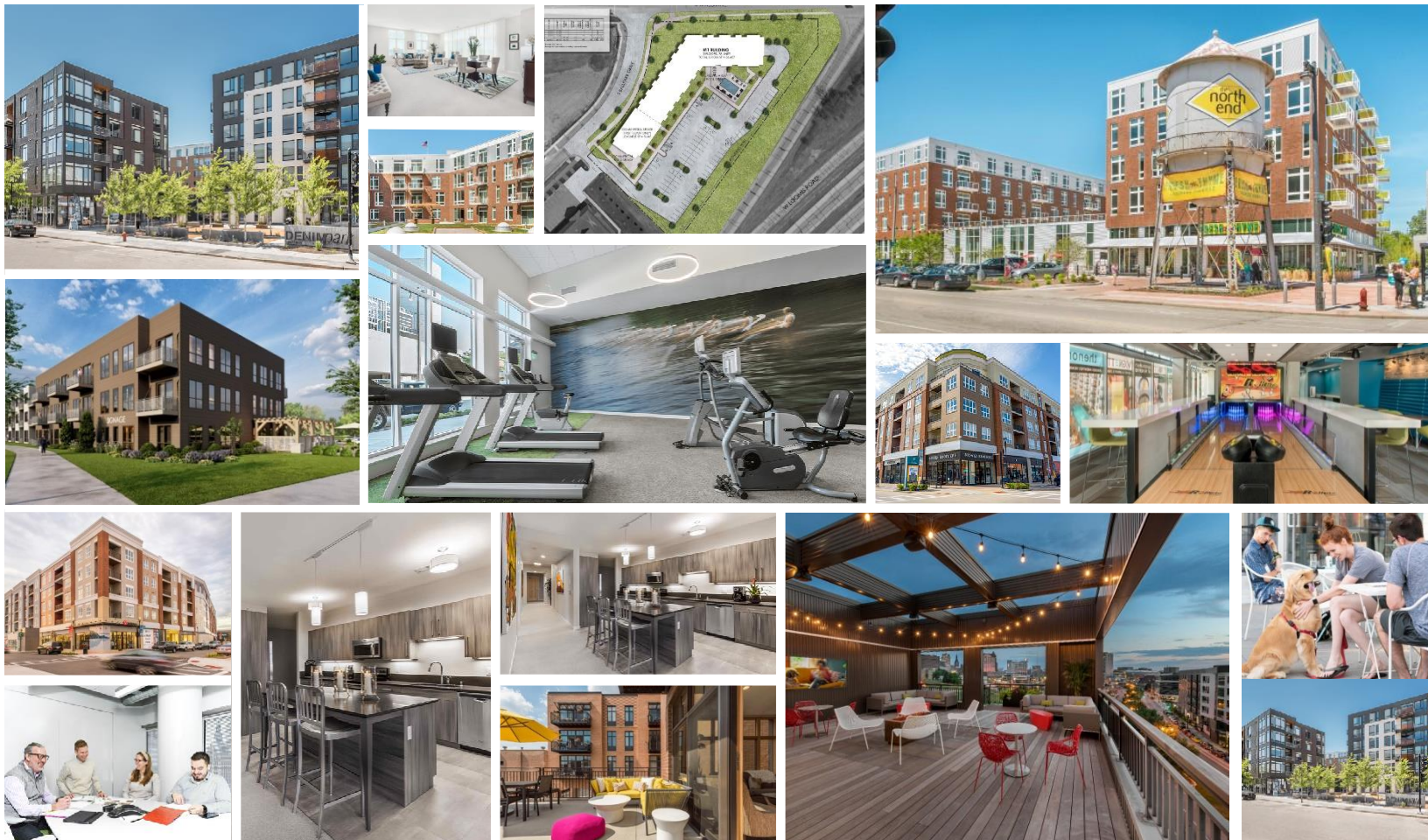
M1 at Ballpark Commons

Ballpark Dr. & Rawson Ave.

City of Franklin

Planned Development District 37

Major Amendment



October 6th, 2022



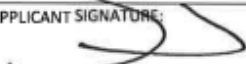
Prepared By:
Mandel Group, Inc.
ROC Ventures



TABLE OF CONTENTS

City of Franklin Application for PDD Major Amendment and UDO Text Amendment.....	03
Application Cover Letter.....	04
The Development Team.....	05-08
Mandel Group, Inc.....	05
ROC Ventures.....	06
Design Team.....	07-08
JLA Architects.....	07
The Sigma Group.....	08
Development Considerations.....	09-18
Project Vision.....	09-10
Program Statement.....	11-12
Collaborative Design Approach.....	13
Project Budget & Structuring a Public-Private Partnership.....	14-15
Development Schedule.....	17
Exhibit A – Baker Tilly Economic Impact Analysis.....	18
The Need for Apartments.....	19
Letters of Recommendation.....	20-22
Village of Fox Point.....	20
Old National Bank.....	21
CIBC Bank USA.....	22
Development Plans.....	Attached Separately
1) Architectural Site Plan	
a. Building Floor Plans	
b. Building Elevations	
c. Renderings	
d. Representative Imagery of Interior Design	
2) Preliminary Civil Engineering Plans	
a. Site Survey	
b. Erosion Control Plan	
c. Site Demolition Plan	
d. Grading Plan	
e. Utility Plan	
f. Details & Specifications	
3) Preliminary Landscape Design	
4) Natural Resource Protection Plan	
5) Wetland Delineation Report	
6) WNDR Wetland Exemption Letter	
7) ALTA Survey	
8) Site Intensity Calculations	
9) Word Document Legal Description of Subject Property	

CITY OF FRANKLIN APPLICATION FOR PLANNED DEVELOPMENT DISTRICT, COMPREHENSIVE PLAN AMENDMENT AND UDO TEXT AMENDMENT

Planning Department 9229 West Loomis Road Franklin, Wisconsin 53132 generalplanning@franklinwi.gov (414) 425-4024 franklinwi.gov		APPLICATION DATE: _____ STAMP DATE: _____ city use only
COMMON COUNCIL REVIEW APPLICATION		
PROJECT INFORMATION [print legibly]		
APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: M1 at Ballpark Commons LLC	NAME: Emily Cialdini	
COMPANY: An affiliate of Mandel Group, Inc.	COMPANY: Mandel Group, Inc.	
MAILING ADDRESS: 330 E Kilbourn Ave, Ste 600 South		MAILING ADDRESS: 330 E Kilbourn Ave, Ste 600 South
CITY/STATE: Milwaukee, WI ZIP: 53202	CITY/STATE: Milwaukee, WI ZIP: 53202	
PHONE: 414-270-2764		PHONE: 414-270-2764
EMAIL ADDRESS: ecialdini@mandelgroup.com		EMAIL ADDRESS: ecialdini@mandelgroup.com
PROJECT PROPERTY INFORMATION		
PROPERTY ADDRESS: 8240 W Old Loomis Road, Franklin, WI		TAX KEY NUMBER: 754-9006-000
PROPERTY OWNER: Zim-Mar Properties LLC		PHONE: 414-224-9283
MAILING ADDRESS: 7044 S Ballpark Drive		EMAIL ADDRESS: tomj@rocventures.org
CITY/STATE: Franklin, WI ZIP: 53132		DATE OF COMPLETION: _____ office use only
APPLICATION TYPE		
Please check the application type that you are applying for		
<input type="checkbox"/> Concept Review <input type="checkbox"/> Comprehensive Master Plan Amendment <input checked="" type="checkbox"/> Planned Development District <input type="checkbox"/> Rezoning <input type="checkbox"/> Special Use / Special Use Amendment <input type="checkbox"/> Unified Development Ordinance Text Amendment		
Most requests require Plan Commission review and Common Council approval. Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.		
SIGNATURES		
The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13. (The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).		
<input checked="" type="checkbox"/> I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.		
PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE: 	
NAME & TITLE: Thomas Johns, CFO DATE: 09/29/2022	NAME & TITLE: _____ DATE: 10/6/22	
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE: 	
NAME & TITLE:	NAME & TITLE: Emily Cialdini, Sen. Dev. DATE: 10/6/22	

APPLICATION COVER LETTER

October 6, 2022

Régulo Martínez-Montilva, AICP
Principal Planner - Department of City Development City
of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Dear Mr. Martinez-Montilva:

Mandel Group, Inc. ("Mandel") in conjunction with Roc Ventures LLC is pleased to present our application and associated materials for consideration for a Major Planned Development District Amendment to PDD 37 for our proposed mixed-use development M1 at Ballpark Commons, located at the southeast corner of Rawson Avenue and Ballpark Drive in the City of Franklin.

We believe the following submission is comprehensive and includes all required materials for consideration by Staff, the Plan Commission and Common Council. The concept provided herein is consistent with the uses in PDD 37, however, we are requesting amendment that would allow for the following:

- (1) residential units at the first floor,
- (2) studio units that are smaller than the required minimum one-bedroom unit size of 700 square feet, and
- (3) reductions to the minimum setback requirement.

Included within our submittal is representative building architecture, including renderings and building elevations. The architecture is, however, a work in progress. Additional refinement will incorporate staff and elected official feedback. We look forward to hearing and integrating the best ideas.

We are grateful for the opportunity to again partner with the City of Franklin on this exciting redevelopment and we thank you for your time in reviewing our application concept plans. We respectfully request to be placed on the November 3rd Plan Commission Agenda. We welcome the chance to answer any questions you have regarding our team and redevelopment concept.

Very Truly Yours,



Emily Cialdini
Senior Development
Associate
ecialdini@mandelgroup.com
414-270-2764

THE DEVELOPMENT TEAM

Mandel Group, Inc.

Mandel Group, Inc., ("MGI") is an integrated real estate services firm with operations in acquisition, development, construction, property management and disposition in key Midwestern markets. Since our inception in 1991, we have closed over \$1 billion in real estate transactions. Leadership in product design, excellence in control over the construction process and skill in creating value and providing customer-friendly, high-level management have gained Mandel the respect of its capital partners, investors and lenders – and the loyalty of our residents.

The quality of our work has earned us the reputation of metro Milwaukee's premier real estate development firm and has been nationally and globally recognized, including Urban Land Institute's Award for Excellence. All of our developments continue to receive awards from industry groups for the quality of their design including Property Excellence (2021, 2022), Best Curb Appeal (2018-2022) and Outstanding Community Amenities (2021). Our Chiswick at Dunwood apartment community received from the Milwaukee Metropolitan Sewerage District the Green Luminary Award for outstanding, environmentally sensitive green infrastructure.

We believe in creating best-in-class apartment communities and our efforts in the City of Franklin will be no exception. For this development, Mandel has retained top consultants in the industry including Continuum Architects and Planners and Sigma Engineering. Both firms have relevant experience in the City of Franklin and surrounding communities.

I will be working in conjunction with Ian Martin, President of Mandel Group, on the implementation of the project. Ian has over 20 years of experience in commercial real estate development and has developed over 5,000 multifamily units across the country. As Senior Development Associate, I have over 8 years of experience in commercial real estate and have assisted in the development of roughly 1,500 units. We thank you for your time and the opportunity to present our concept plans.



Ian B. Martin President



Emily Cialdini
Senior Development Associate

ROC Ventures

ROC Ventures manages a collection of brands in the sports, entertainment, and real estate sectors. These include the Milwaukee Wave, the Milwaukee Milkmen, The Rock Sports Complex, a collegiate baseball franchises located in Indiana, the Ballpark Commons development, and more.

ROC stands for "Return on Community," a goal which informs each and every endeavor undertaken by the organization. ROC Ventures is led by Michael Zimmerman, Owner and Executive Officer. Since 2004, Zimmerman has owned and operated 30 businesses in the healthcare, sports and entertainment industries. The healthcare companies are now working collectively with over 80 percent of our nation's hospitals. Zimmerman has been featured in HFM Magazine, HealthLeaders, Modern Healthcare, AAHAM, and The Wall Street Journal.



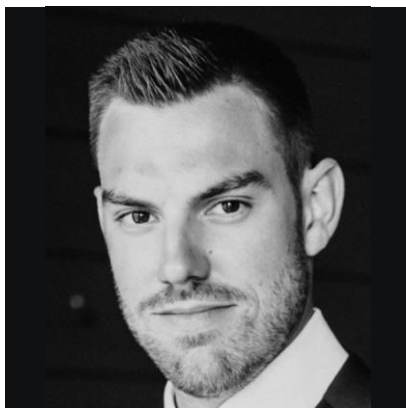
Mike Zimmerman
Owner, CEO



Tom Johns
Finance



Jim Pekar
Investor



Peter Pekar
Investor



THE DESIGN TEAM

JLA

JLA Architects was established in 2007 by Joseph Lee in Madison, Wis. As a client service-based firm, we collaborate with clients to develop real-world solutions that meet their project's goals. Our firm has three offices in the U.S. including full-service offices in Wisconsin & Colorado. In 2017, we opened a second office in the Historic Third Ward of Milwaukee to better serve our Eastern Wisconsin clients. We opened our third office in Denver, Colorado in the fall of 2021 serving the entire Front Range. We assist clients at every phase of the real estate development process from project feasibility to building construction and final marketing.

Spotlight Projects

- Velo Village, Wauwatosa
- Taxco Apartments, Milwaukee
- Forte at 84 South, Greenfield



Joseph M. Lee
AIA, NCARB
Principal



Sixto O. Villegas
AIA | LEED AP
BD+C
Design Architect



Joe Haider
Project Specialist

The Sigma Group

The Sigma Group, Inc. (Sigma) is a full-service consulting and civil engineering firm. Our Milwaukee-based staff includes registered professional engineers in civil, environmental, and chemical disciplines; registered land surveyors; construction inspectors; certified asbestos supervisors / inspectors; certified lead inspectors / risk assessors; Certified Hazardous Materials Managers, professional geologists and hydrogeologists, as well as additional engineering technicians, scientists and compliance specialists.

Spotlight Projects

- The Seasons, Franklin
- The Reef, Wauwatosa
- State Street Station, Wauwatosa
- Stitchweld, Milwaukee
- 22 Slate, Madison



Chris Carr, PE
Vice President/Co-Chief
Operating Officer/Civil
Engineering Group Leader

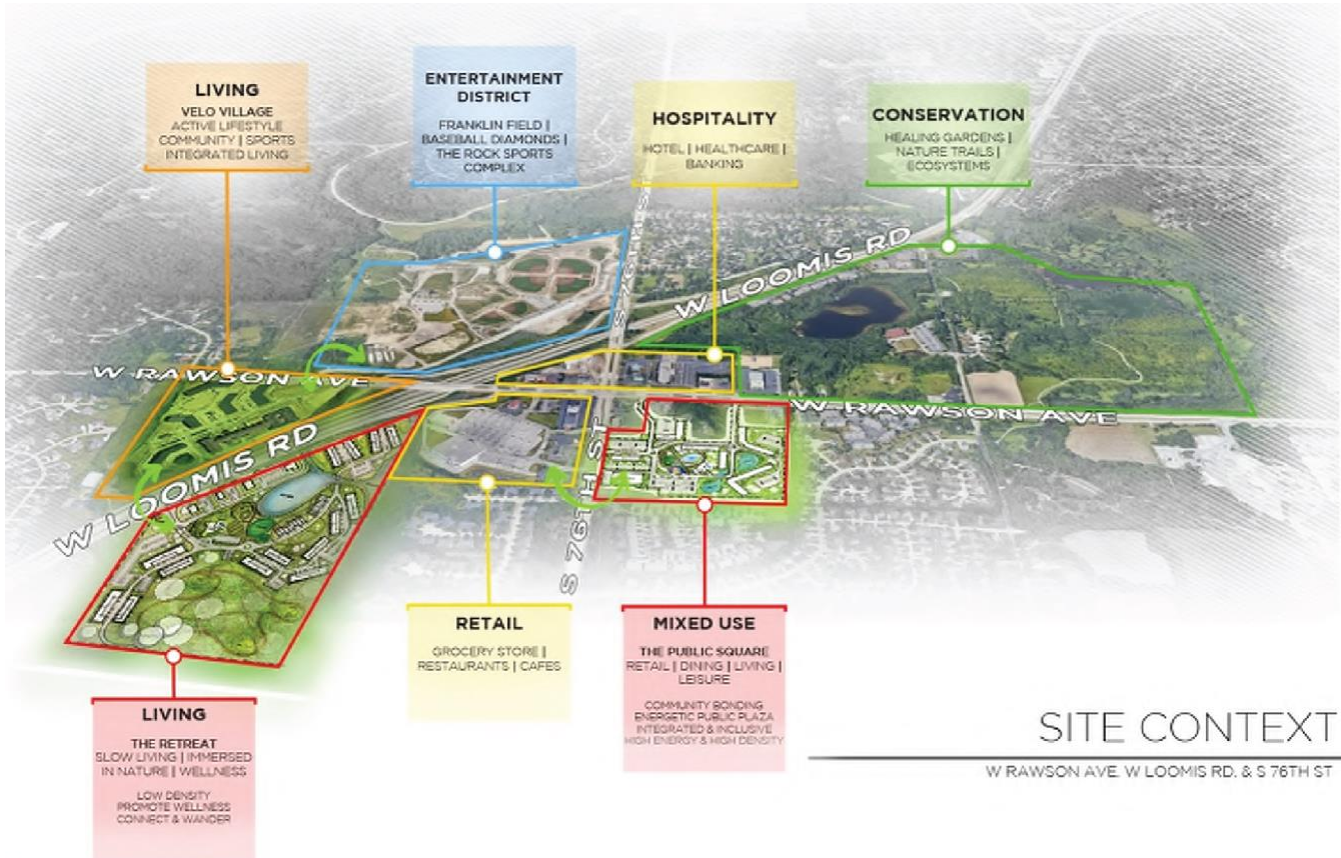


James Leedom, PE, LEED AP Senior
Project Engineer

DEVELOPMENT CONSIDERATIONS

Project Vision

"M1 at Ballpark Commons"¹ completes one of the last remaining developable sites in the Ballpark Commons master planned active lifestyle and entertainment district. The proposed development contemplated herein is consistent with the prior identified uses for the site in PDD 37 and leverages the City's prior investment in Ballpark Commons by making this vision a reality.



continum

FRANKLIN FARMS - SITE CONTEXT

CAP PROJECT #: M2201-07 07/14/2022

Incorporated within our proposal is concept architecture including elevations and renderings. We understand that building architecture and landscaping will need to be refined as we advance through the zoning process. The exterior architecture presented here is cohesive with, but not identical to Velo Village and the surrounding Ballpark Commons uses.

We believe a development that includes a mix of housing, paired with new commercial is still the right solution for this corner of Ballpark Commons. The housing component is a carefully considered real estate response to demographic changes that reflect on housing preferences and strong, demonstrated demand for luxury rental housing in the Franklin submarket. The residential housing will include a wide variety of unit styles and mixes ranging from studio units to three bedrooms, intended to meet the needs of a wide cross section of the City's population. The studio units are smaller than the minimum required one-bedroom size within the PDD.

¹ M1 at Ballpark Commons is a temporary namesake for the development. We are underway on branding and an official development name will be shared in the near future.

In our experience with Velo Village, prospects were looking for both smaller studio units and three-bedrooms units. We hope to fill a need within this neighborhood for a variety of unit styles.

The development will appeal to those preferring the flexibility and maintenance-free lifestyle that rental housing offers to those aspiring to home ownership. New businesses will be supported by the existing community but also by the new population generated by the housing component of the redevelopment.



Program Statement

The M1 at Ballpark Commons site is roughly 3 acres. We propose to redevelop the site into the following uses:

Luxury Apartments

Approximately seventy-eight (78) apartment units in a three-story building. The apartments will be served by roughly one-to-one underground parking. Several of the residential units will be positioned on the first floor at grade level allowing for 'walk up' residential patios. We saw tremendous success with first floor units at Velo Village, specifically from pet owners. The first-floor units achieved some of the highest rent. Additional surface parking provides sufficient parking for residents and guests.

Mandel prides itself on delivering the best finishes and amenities to each market in which we develop. Special attention will be paid to interior and exterior finish level to ensure M1 at Ballpark Commons will be one of the finest in the Franklin submarket. Units ranging from studios to three-bedrooms will feature top-of-the-line finishes - quartz countertops, stainless steel appliances, and hard surface plan flooring. Representative interior design of other Mandel developments, including our Velo Village development are included herein.

Commercial Uses

Roughly 6,000 square feet of commercial and retail uses are ideally positioned along Ballpark Drive on the first floor. We have had on-going discussions with two retailers for the space. A high-end craft beer and wine operator with sizeable retail operations will occupy roughly 4,000 square feet and adjacent outdoor patio space. An existing Franklin salon will relocate their operations to the balance of 2,000 square feet.



Resident Amenities

The development will include a high-end amenity package including a first-floor clubroom with indoor/outdoor bar space adjacent to a resident pool. Leasing offices and a fitness center are also found on the first floor.

Pedestrian Connectivity

Pedestrian connectivity has been integral to the success of Ballpark Commons. The M1 building will include sidewalks connecting to exiting pedestrian pathways to ensure ease of access to all parts of Ballpark Commons.

Natural Resource Protection

There are existing wetlands on site, however, they are emergent, artificial wetlands that were exempt per 2/27/2017 WDNR Artificial Exemption Determination Letter. There is also a small stand of trees that is not large enough to be considered woodland. A draft Natural Resource Protection Plan is included herein.



Collaborative Design Approach

The plans included herein reflect a highly considered design solution that incorporates good design principles and is consistent with the underlying uses and plans of PDD 37. Throughout the development process we are sure to encounter challenges and opportunities that will inform our design going forward. As with all Mandel development, we will continue to solicit feedback from stakeholders including elected officials and staff. It is our experience that the best projects are those informed by a reasonable, constructive conversation with all stakeholders. Outreach is a hallmark of all Mandel developments and we will continue to do the same in the City of Franklin.



Project Budget & Structuring a Public-Private Partnership

Redevelopment efforts of the contemplated size and complexity require access to debt, equity, and sometimes, funds obtained through a public-private partnership. Mandel has deep experience and significant bandwidth related to each source of capital. We are fortunate to work with all major lending institutions in this marketplace. In the past two years, Mandel secured construction loans ranging in size from \$20m to \$63m. We are proud to include in this package letters of recommendation from lending partners. Mandel has a deep well of private investors, including high net-worth individuals, family offices and institutional investors. In our most recent equity offering we raised nearly \$12m of cash in five days. We are confident that sourcing cash equity for this redevelopment effort is achievable.

Mandel has extensive and recent experience structuring public-private partnerships to facilitate redevelopment plans, including with the City of Franklin. These public-private partnerships work best, in our opinion, when they are the biproduct of a transparent, collaborative discussion with City officials. We recently negotiated tax incremental financing and subordinate debt agreements with the City of West Allis and the City of Wauwatosa. We are proud of the huge success of our public-private partnership with the City of Franklin on Velo Village.

We know some form of public-private partnership will be required to bring this project vision to reality. Our project budget and proforma are preliminary at this point and we will develop the budget in coordination with a general contractor an estimate based on advanced conceptual designs. Mandel will continue to refine those numbers through plan progression and development. However, we know today, there are two factors driving the need for a public-private partnership: (a) unique site conditions and (b) the “value gap” for luxury apartments.

The subject property, like many redevelopment efforts, is characterized by some unique site conditions. First, the site will require environmental remediation due to limited environmental contamination. Furthermore, the site topography is challenging with a roughly 20-foot grade change across the site. With further advancement of critical site due diligence, we will continue to identify and quantify the major risk points in our development budget. We also know that the development, with the higher quality finishes and commercial uses will cost more to construct than their estimated future value. This will create a “value gap”.



Mandel Group has a long history of developing and operating luxury apartments that stand the test of time. Our communities look as good in 10 years as they do the day they open. Our strategy requires higher quality design and construction, which cost a little bit more. Our leasing and maintenance teams actively manage our communities with an eye toward customer service and long-term quality. We do not defer necessary repairs and maintenance in an effort to squeeze every drop of profit out of a community.

The precise terms of the public-private partnership and corresponding development agreement will be negotiated in good faith with the City of Franklin and their consultants. While the specific terms will take some time to finalize, we are pleased to offer the following:

Developer Financed or "Pay Go" Structure

Mandel proposes to structure any tax incremental agreement as "developer financed" to eliminate the City's financial risk. That is, Mandel will obtain all the required debt and equity to finance the project. If we create the tax increment by executing on the redevelopment as promised then we share in that increment.

Mutually Agreeable Redevelopment

Mandel will include in the development agreement a provision obligating it to construct precisely what is approved by the City. It is reasonable for the City to want to know exactly what it is getting and we are happy to provide such assurances.

Public Access Easement

Mandel proposes to redevelop a portion of site for "town center" public uses and associated infrastructure like public parking and walking trails. We expect such a promise to be documented in a legally binding easement that runs with the land.

Cost Savings

Mandel will agree to a cost savings provision. We will provide to the City a development budget prior to commencement of construction. If we are able to construct and stabilize the property for less than set forth in the budget we agree to share those savings with the City.

Participation in Additional Earnings

The terms of a public-private partnership will be based, in part, on costs and projected performance, or investor returns. If those investor returns exceed a mutually agreeable benchmark, Mandel agrees to share those enhanced returns with the City.

It is our hope that the foregoing summary demonstrates a productive and collaborative approach to deal structuring. If the PDD is approved, we would advance the specific terms of the public-private partnership in earnest. More specific budget estimates and underwriting will be set forth in the confidential and proprietary financial modeling provided to the City as part of our TIF application.



Development Schedule

Entitlement & TIF ApprovalsAugust 2022 - April 2023


PermittingApril 2023 - June 2023

Construction StartOctober 2023



M1 at Ballpark Commons

FRANKLIN, WISCONSIN



M1 at Ballpark Commons completes one of the last remaining sites in the Ballpark Commons active lifestyle and entertainment district. Our concept includes seventy-eight (78) apartment units in a four-story structure with roughly one-to-one underground parking and approximately 6,000 square feet of first floor commercial space. Resident amenities will include a resident clubhouse and outdoor pool along with associated leasing offices.

Construction Impact

Economic Output and Labor Income



Construction Supply Chain

Based on industry data for the local area, an estimated 56% of the goods and services that construction of the facility will require can be provided within the region.



Operational Impacts

Annual Economic Output and Labor Income



\$44.8M

ECONOMIC OUTPUT OVER THE NEXT 10 YEARS

Operational Supply Chain

Based on industry data for the local area, an estimated 67% of the goods and services that the facility will require to operate can be provided within the region.

Local Expenditures

Based on industry patterns in the local area, it is estimated that use of the town center will result in the expenditure of approximately \$0.5 million in disposable income.

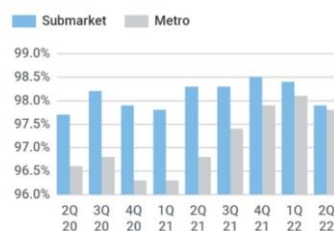
Baker Tilly US, LLP trading as Baker Tilly is a member of the global network of Baker Tilly International Ltd., the members of which are separate and independent legal entities. © 2022 Baker Tilly US, LLP

THE NEED FOR APARTMENTS

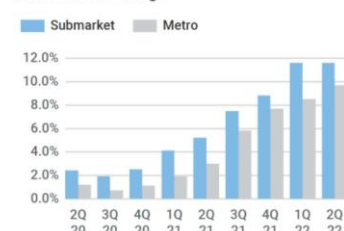
- Homeownership rates are at 40-year historic lows.
- Millennials delaying household formation and homeownership.
- Millennials burdened with student debt that has limited their saving for a down payment.
- The average sales price for homes continues to rise.
- Interest rates on home mortgages continue to rise.
- Largest growing renter demographic over the last ten years has been the baby boomer cohort.
- Generation Z is demonstrating a strong propensity to rent.
- Life cycle housing creates healthy, viable communities. Apartments offer a housing solution that allows younger families looking to buy in the community the opportunity to rent. Apartments offer empty nesters the opportunity to remain the communities they are rooted, but with added flexibility and long-term maintenance.
- Franklin submarket apartment fundamentals are strong - 96%+ occupancy and double digit rent growth the past three quarters.
- Marginal demand analysis of income qualified renter growth vs. units in pipeline demonstrates a surplus demand of 200 units.
- Velo Village's record setting lease-up at 30 units per month demonstrates strong demand of immediate area.

Income Eligible Renter Population Primary Market Area (10-Mile of Franklin City Center)		
Year	2022	2027
Total Population	518,612	512,083
Households Total	214,301	212,468
Renter-Occupied Households	82,401	79,375
Income Brackets		
	Total Households	Total Households
\$50,000 - \$74,999	40,002	36,577
\$75,000 - \$99,999	30,817	29,873
\$100,000 - \$149,999	41,423	50,243
\$150,000 - \$199,999	15,862	22,756
\$200,000+	10,842	13,293
	Total Households	Total Households
Total # of Income-Eligible Households	138,946	152,742
% Renter-Occupied	38.45%	37.36%
# Income-Eligible Renter-Occupied Households	53,426	57,062

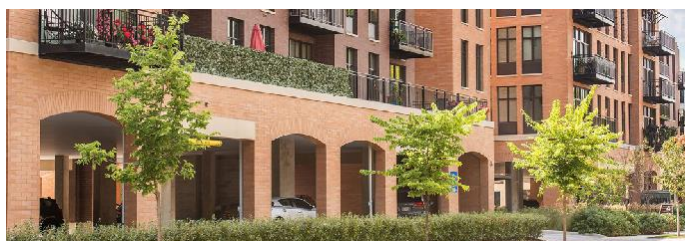
Occupancy



Annual Rent Change



Marginal Demand Analysis		
a	Income Qualified Renter Households 2022	53,426
b	Income Qualified Renter Households 2027	57,062
c	Increase in Income Qualified Renter Households	3,636
d	# Units in Pipeline	2,575
e	Subject Units	1,003
f	Total New Supply (d+e)	3,578
g	New Units at Balanced Market (96%)	3,435
h	Net Excess Demand (c-g)	201



LETTERS OF RECOMMENDATION



VILLAGE OF FOX POINT
MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT WI 53217-3505
414-351-8900
FAX 414-351-8509

September 28, 2022

City of Franklin Common Council
Franklin City Hall
9229 W. Loomis Road
Franklin, WI. 53132

To Whom It May Concern:

It is my understanding that Mandel Group ("Mandel") is pursuing a variety of mixed-use and residential development opportunities within the City of Franklin. Most recently, we had the pleasure of working closely with Mandel on the Chiswick Apartments in the Village of Fox Point.

Mandel's attention to detail and responsiveness to the neighbor concerns was unmatched in the community. They set a great example for continued excellence within the Village and certainly raised the bar for developer expectations going forward.

We were very pleased to work with their team on creating a development which has been extremely successful for not only Mandel Group but also the Village as a whole.

Should the opportunity present itself, we would certainly welcome working with them again.

Ian Martin, Emily Cialdini and the Mandel team were always extremely responsive to inquiries from my office and made appropriate modifications to design as suggested by citizens at public meetings. They listened and worked hard to be a good neighbor in the community.

Please contact me should you have any questions.

Sincerely,

Scott Botcher
Village Manager
Village of Fox Point



September 30, 2022

City of Franklin Common Council
Franklin City Hall
9229 W. Loomis Road
Franklin, WI. 53132

To Whom It May Concern:

It is my understanding that Mandel Group is pursuing a variety of mixed-use and housing development opportunities in the City of Franklin.

CIBC Bank USA (previously The PrivateBank and Trust Co.) has had an ongoing and broad banking relationship with Mandel and its project affiliates for over 18 years. We have come to know first-hand Mandel's unsurpassed development and management expertise, professionalism, and attention to detail; thus, we hold the company's leadership and employees in the highest regard and recommend them to you.

Over the past 18 years we have provided Mandel with a full range of banking and credit services – as depository, letter of credit provider, bridge loan lender, and construction lender. During this time we have financed several of Mandel's multifamily development projects, the most recent of which is Velo Village apartments in Franklin. We will certainly be interested in discussing with Mandel the lending opportunities associated with your projects.

Please feel free to contact me at 414.291.7117 if you have questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "James Roemer".

James Roemer
Managing Director



October 4, 2022

City of Franklin Common Council
Franklin City Hall
9229 W. Loomis Road
Franklin, WI. 53132

To Whom It May Concern:

It is my understanding that Mandel Group is pursuing a variety of mixed-use and residential development opportunities in the City of Franklin. Mandel Group and Old National Bank have had a successful banking relationship since 2014. Over our history, Old National has financed several of Mandel's developments including Echelon apartments in Wauwatosa, DoMus apartments in Milwaukee and The Chiswick at Dunwood in Fox Point. All have led to successful development for both the bank and Mandel.

We currently have two developments with Mandel including Taxco apartments in Walker's Point, Milwaukee and Bridgewalk in Waukesha. Our current commitments with Mandel total over \$68 million.

With Mandel's ability to execute large and complex developments, customer focused management expertise and attention to detail and identifying solutions, we look forward to financing additional development with their company. We respect their ability to manage risk and in-house capacity for every aspect of real estate development.

We would look forward to the opportunity to finance additional development with their company. Please don't hesitate to reach out if you have further questions.

Sincerely,

Nicole R Willoughby

Nicole R. Willoughby, CCIM
Vice President - Commercial Real Estate Relationship Manager
T: 414-290-7040
Nicole.Willoughby@Oldnational.com
Old National Bank
788 North Jefferson Street, Suite 900
Milwaukee, WI 53202

W RAWSON AVE

BPC MIXED USE - CONCEPTUAL PROJECT DATA

UNIT NAME	1 BED			2 BEDROOMS				TOTAL UNITS	TOTAL BEDROOMS	NET LEASABLE COMMERCIAL	NET LEASABLE RESIDENTIAL	GROSS AREA	EFFICIENCY	PARKING AREA	COVERED PARKING	SURFACE PARKING: RESIDENTIAL	SURFACE PARKING: COMMERCIAL	PARKING RATIO
	A1	B1	B2	D1	D2	D3	D4											
BEDROOMS AREA (S.F.)	692	730	702	1,120	1,162	1,206	1,374											
FLOOR	3	18	1	2	2	4	1	29	38		25,294	28,819	87.8%					
	2	1	18	1	2	2	4	1	29	38	25,294	28,819	87.8%					
	1	0	15	0	2	0	2	1	20	25	5,643	16,976	78.5%			54	45	8.07 sq. ft/unit
	LL																	
TOTALS	2	51	2	6	4	10	3	78	101	5,643	67,568	84.47%	30,147	76	54	45	1.87	1.29
PERCENT	2.6%	65.4%	2.6%	7.7%	5.1%	12.8%	3.8%											

866 Average N.S.F. per unit
1,036 Average G.S.F. per unit (not including commercial area)



JLA
ARCHITECTS

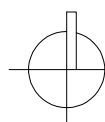
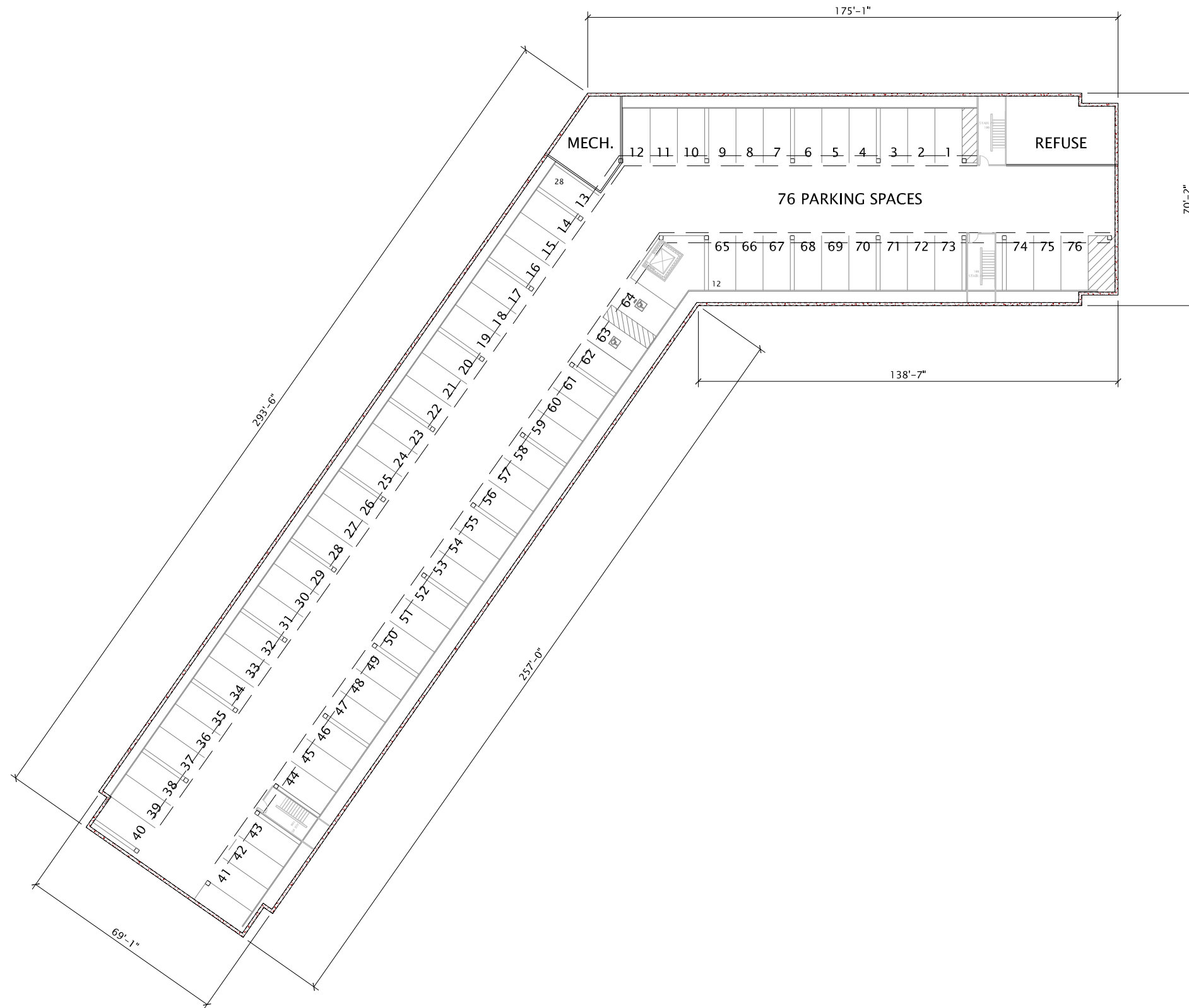
BALL PARK COMMONS MIXED USE DEVELOPMENT
RENDERED MASTERPLAN

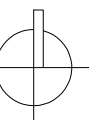
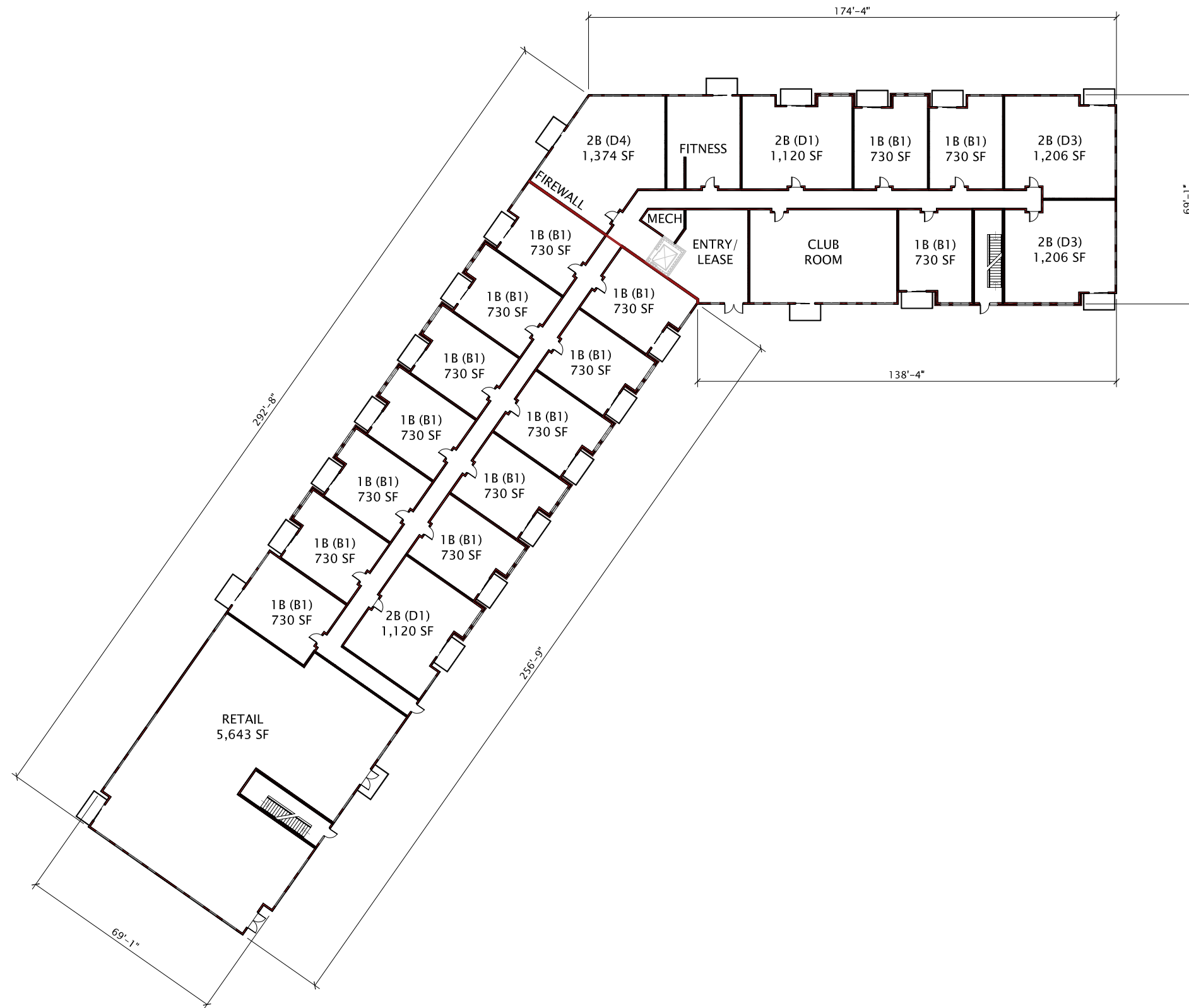
OCTOBER 3, 2022

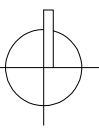
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MANDEL GROUP





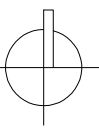


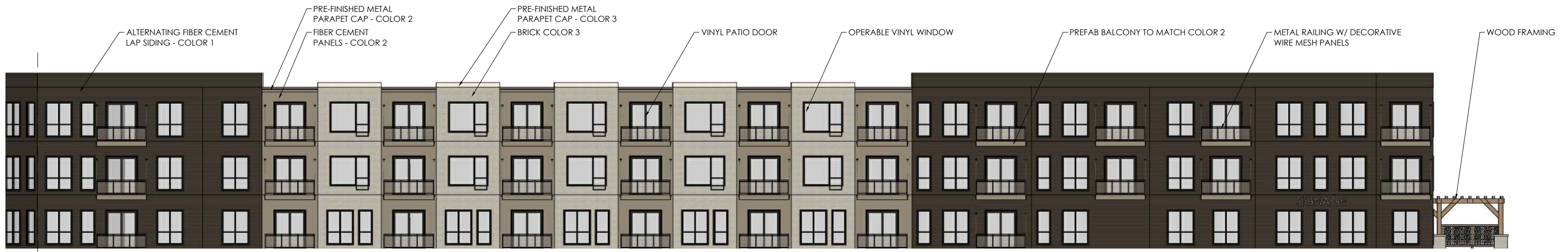
BPC MIXED USE - CONCEPTUAL PROJECT DATA

October 3, 2022

UNIT NAME	STUDIO	1 BED		2 BEDROOMS				TOTAL UNITS	TOTAL BEDROOMS	NET LEASABLE: COMMERCIAL	NET LEASABLE: RESIDENTIAL	GROSS AREA	EFFICIENCY	PARKING AREA	COVERED PARKING	SURFACE PARKING: RESIDENTIAL	SURFACE PARKING: COMMERCIAL	PARKING RATIO	
	A1	B1	B2	D1	D2	D3	D4												
BEDROOMS	1	1	1	2	2	2	2												
AREA (S.F.)	692	730	702	1,120	1,162	1,206	1,374												
FLOOR	3	1	18	1	2	2	4	1	29	38	-	25,296	28,819	87.8%					
	2	1	18	1	2	2	4	1	29	38	-	25,296	28,819	87.8%					
	1	0	15	0	2	0	2	1	20	25	5,643	16,976	28,819	78.5%		54	45	8.0 / 1K (Retail)	
	LL										-	-			30,147	76			PER UNIT PER BR
TOTALS	2	51	2	6	4	10	3	78	101	5,643	67,568	86,457	84.7%	30,147	76	54	45	1.67	1.29
PERCENT	2.6%	65.4%	2.6%	7.7%	5.1%	12.8%	3.8%												
	2.6%	67.9%		29.5%															

866 Average N.S.F. per unit
 1,036 Average G.S.F per unit (not including commercial area)





① WEST ELEVATION
SCALE: 1" = 20'



③ EAST LONG ELEVATION
SCALE: 1" = 20'



JLA
ARCHITECTS

BALL PARK COMMONS MIXED USE DEVELOPMENT

ELEVATIONS

OCTOBER 3, 2022



① EAST SHORT ELEVATION
SCALE: 1" = 20'

② NORTH ELEVATION
SCALE: 1" = 20'



③ SOUTH SHORT ELEVATION
SCALE: 1" = 20'

④ SOUTH LONG ELEVATION
SCALE: 1" = 20'



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BALL PARK COMMONS MIXED USE DEVELOPMENT

CONCEPTUAL PERSPECTIVE – SOUTHWEST VIEW

OCTOBER 3RD, 2022



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BALL PARK COMMONS MIXED USE DEVELOPMENT

CONCEPTUAL PERSPECTIVE – EAST VIEW

OCTOBER 3, 2022



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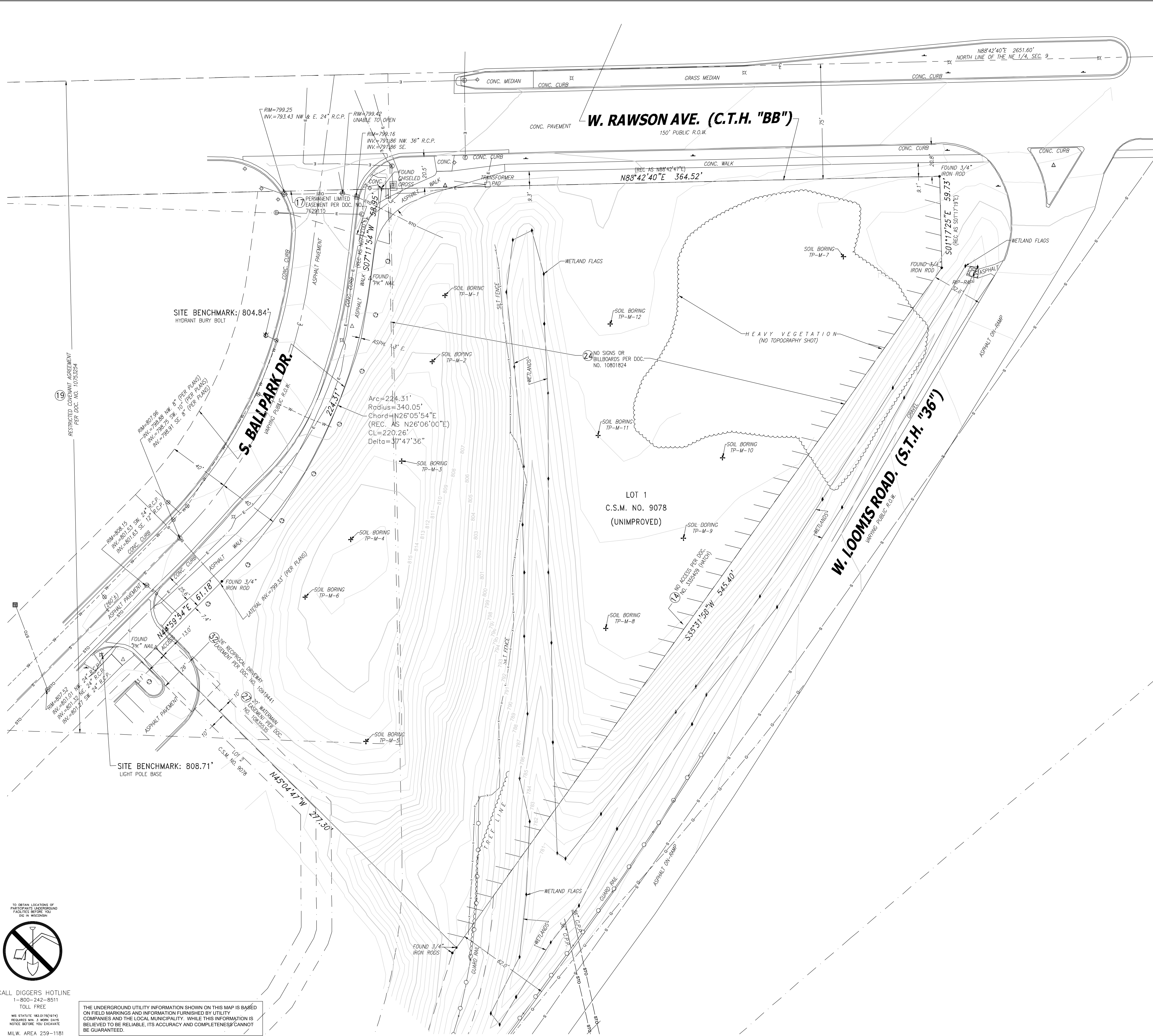
BALL PARK COMMONS MIXED USE DEVELOPMENT

CONCEPTUAL PERSPECTIVE – NORTHWEST VIEW

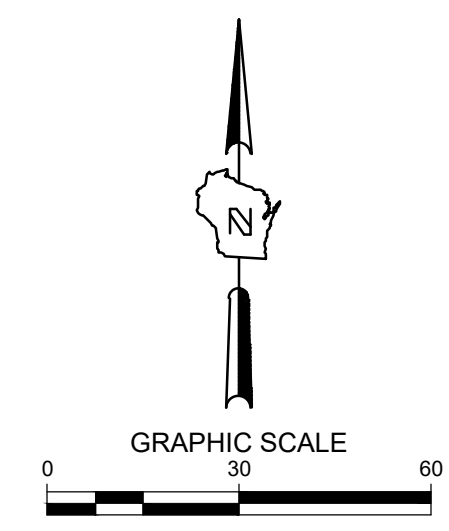
OCTOBER 3, 2022

REPRESENTATIVE INTERIOR DESIGN - MANDEL DEVELOPMENTS





THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



- LEGEND:**
- SECTION 1/4 SECTION LINE
 - PROPERTY LINE
 - EASEMENT
 - X- CHAIN LINK FENCE
 - TREE LINE
 - OH- OVERHEAD UTILITY LINE
 - E- ELECTRIC
 - TEL- TELEPHONE
 - FO- FIBER OPTIC
 - CTV- CABLE TV
 - SAN- SANITARY SEWER
 - FM- FORCE MAIN
 - ST- STORM SEWER
 - W- WATER MAIN
 - G- GAS
 - 670- EXISTING CONTOUR
 - WET- WETLAND
 - FP- FLOODPLAIN
 - MANHOLE
 - ⊕ CATCH BASIN
 - ⊙ CATCH BASIN (ROUND)
 - ⊕ ROOF DRAIN
 - ⊕ HYDRANT
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ UTILITY POLE
 - ⊕ GUY WIRE
 - ⊕ GAS METER
 - ⊕ ELECTRIC METER
 - ⊕ UTILITY PEDESTAL
 - ⊕ TRAFFIC SIGNAL
 - ⊕ LIGHT POLE
 - ⊕ SOIL BORING
 - ⊕ MONITORING WELL
 - IRON PIPE FOUND/SET
 - REBAR FOUND/SET
 - ⊕ CHISELED CROSS FOUND/SET
 - ⊕ PK NAIL FOUND/SET
 - SPIKE/NAIL
 - ⊕ MONUMENT
 - ⊕ BENCHMARK
 - ⊕ SIGN
 - DECIDUOUS TREE
 - ⊕ CONIFEROUS TREE
 - BUSH
 - POST

- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CHAPUT LAND SURVEYS ON FEBRUARY 2022.
 4. DATUM FOR THE PROJECT SURVEY IS NAD 27. BENCHMARK FOR THE PROJECT SURVEY IS ----.
 5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI
SITE SURVEY

PRELIMINARY
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CONSTRUCTION

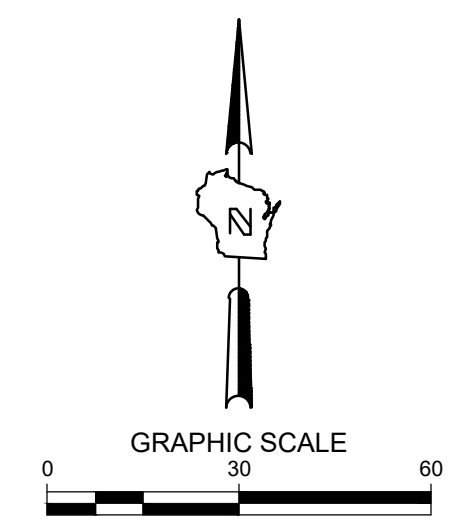
SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	9/19/2022
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C001

TO OBTAIN LOCATIONS OF
 PARTICIPANT'S LANDS/PROPERTY
 FACILITIES BEFORE YOU
 DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE STRIVE TO BE THE MOST
 RELIABLE AND ACCURATE
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



- LEGEND:**
- PROPOSED SILT FENCE
 - PROPOSED TRACKING PAD
 - PROPOSED EROSION MATTING WISDOT APPROVED CLASS 1 TYPE B
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - CURB REMOVAL
 - TREE REMOVAL
 - STRUCTURE REMOVAL

BALLPARK COMMONS M1
 8240 OLD LOOMIS RD
 FRANKLIN, MILWAUKEE COUNTY, WI
 EROSION CONTROL PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

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 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. SEE SHEET C401 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	2022.09.23
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C002



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

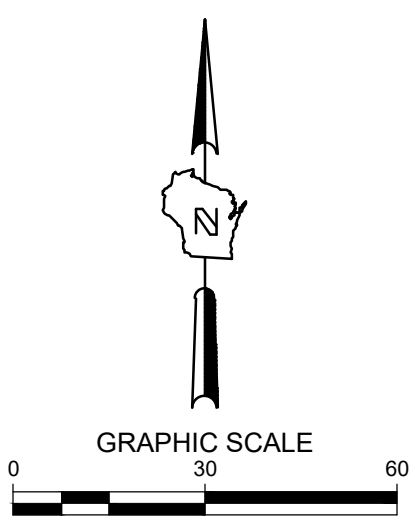
TO OBTAIN LOCATIONS OF
 PUBLIC UTILITIES
 FACILITIES BEFORE YOU
 DIG IN MICHIGAN

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SITE INFORMATION		
SITE AREA	135979.5	3.122 AC
SITE DISTURBED AREA	135979.5	3.122 AC
EXISTING IMPERVIOUS AREA	135979.5	3.122 AC 100.0 %
PROPOSED IMPERVIOUS AREA	85273.5	1.958 AC 62.7 %
TOTAL PARKING SPACES	96	
ADA PARKING SPACES	3	

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



- LEGEND:**
- (A C401) 5" THICK CONCRETE WALK
 - (B C401) CONCRETE PAVEMENT
 - (C C401) HEAVY-DUTY ASPHALT SURFACE
 - (D C401) CURB & GUTTER (ACCEPT)
 - (D C401) CURB & GUTTER (REJECT)

BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI

SITE DIMENSION PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

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 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
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 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

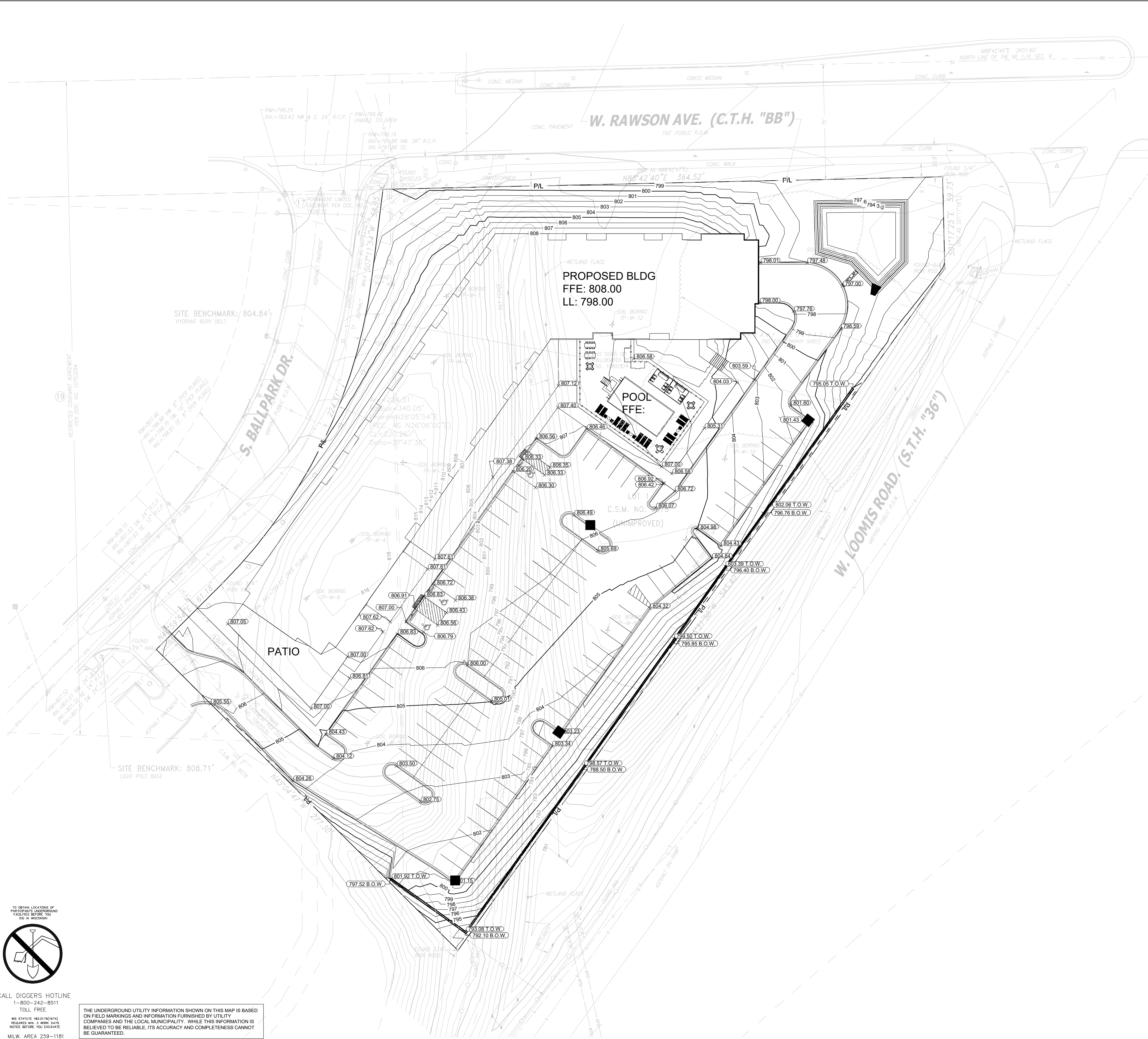
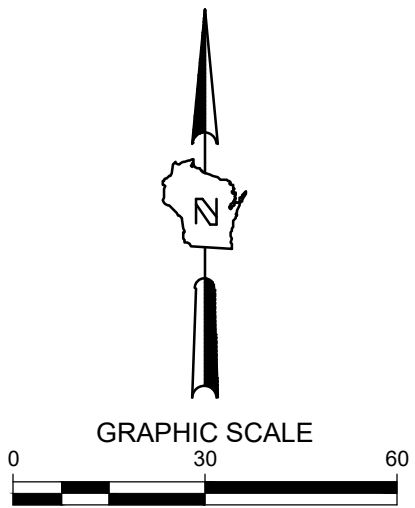
SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	9/23/2022
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C100

TO OBTAIN LOCATIONS OF
 PARTIAL LATERALS
 FACILITIES BEFORE YOU
 DIG IN MICHIGAN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

MS 874 (REV. 10/20/19)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

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- 5 — EXISTING CONTOUR
- 5 — PROPOSED CONTOUR
- 100.50 T.O.C. / 100.00 F.L. — PROPOSED CURB & GUTTER SPOT GRADE
- 100.00 — T.O.C. TOP OF CURB GRADE
- 100.00 — F.L. FLOW LINE CURB GRADE
- 100.00 — PROPOSED ASPHALT SPOT GRADE
- 100.00 — EXISTING SURFACE SPOT GRADE (MATCH)

BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI
GRADING PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

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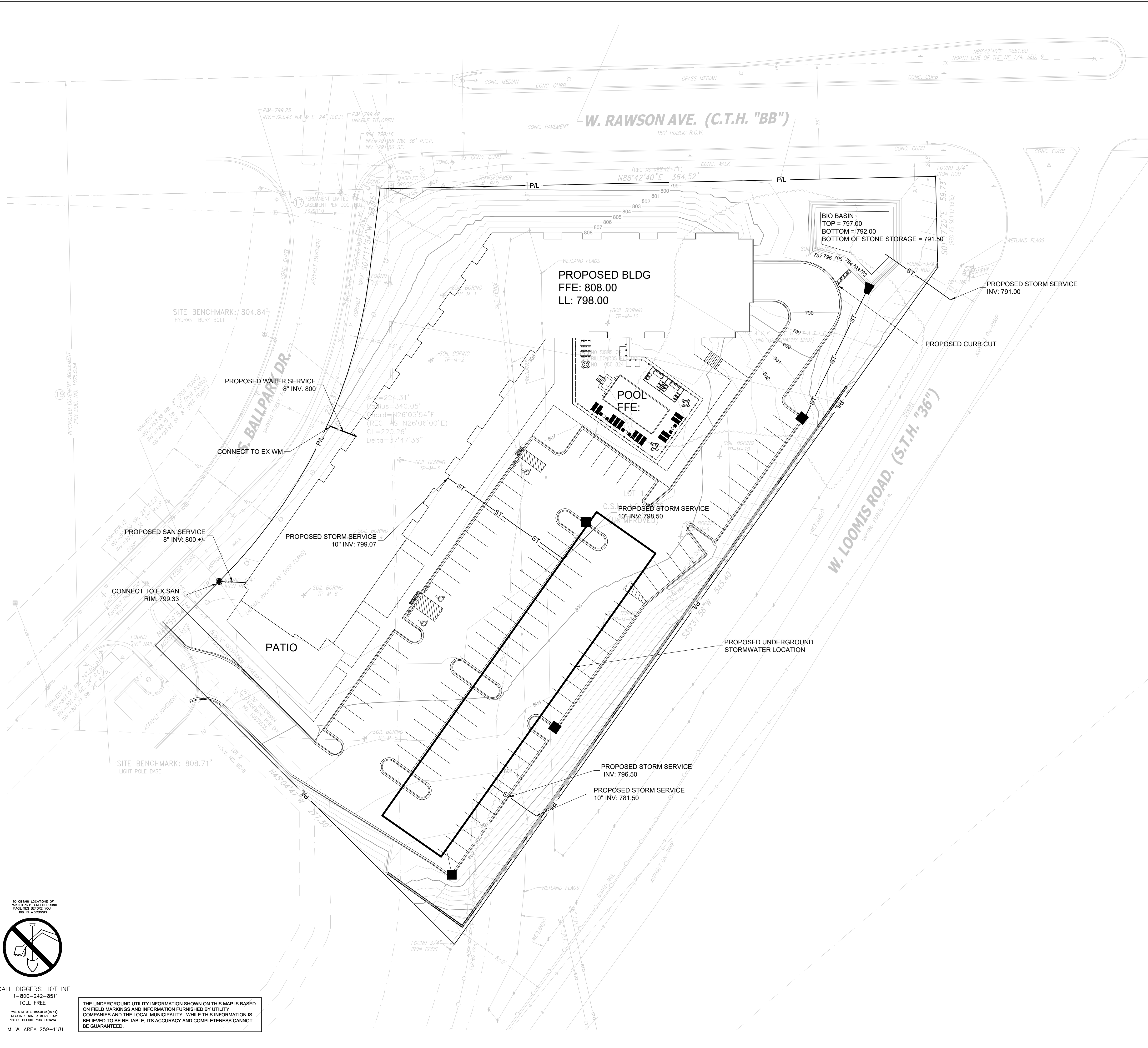
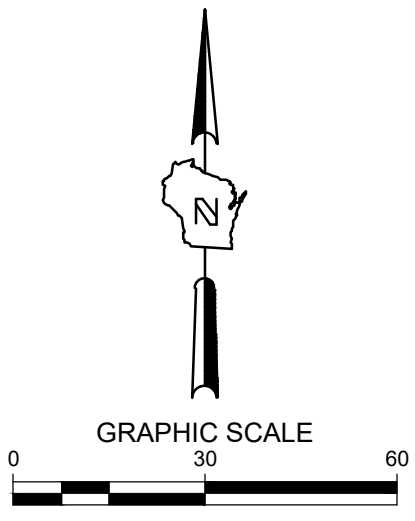
SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	9/23/2022
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C200



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

TO OBTAIN LOCATIONS OF PUBLIC UTILITIES, CONTACT THE UTILITIES BEFORE YOU EXCAVATE.

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- LEGEND:**
- W— PROPOSED WATER SERVICE
 - SAN— PROPOSED SANITARY SERVICE
 - ST— PROPOSED STORM SEWER
 - DT— PROPOSED DRAIN TILE (UNDERDRAIN)
 - E— PROPOSED ELECTRICAL SERVICE
 - T— PROPOSED TELEPHONE SERVICE
 - G— PROPOSED GAS SERVICE
 - (A) PROPOSED STORM INLET
 - (B) PROPOSED STORM MANHOLE
 - (C) PROPOSED SANITARY MANHOLE

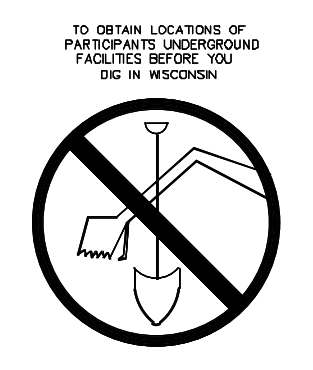
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 - ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
 - PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
 - WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
 - PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
 - COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
 - IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
 - WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
 - INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO'S: 44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.

BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI

UTILITY PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

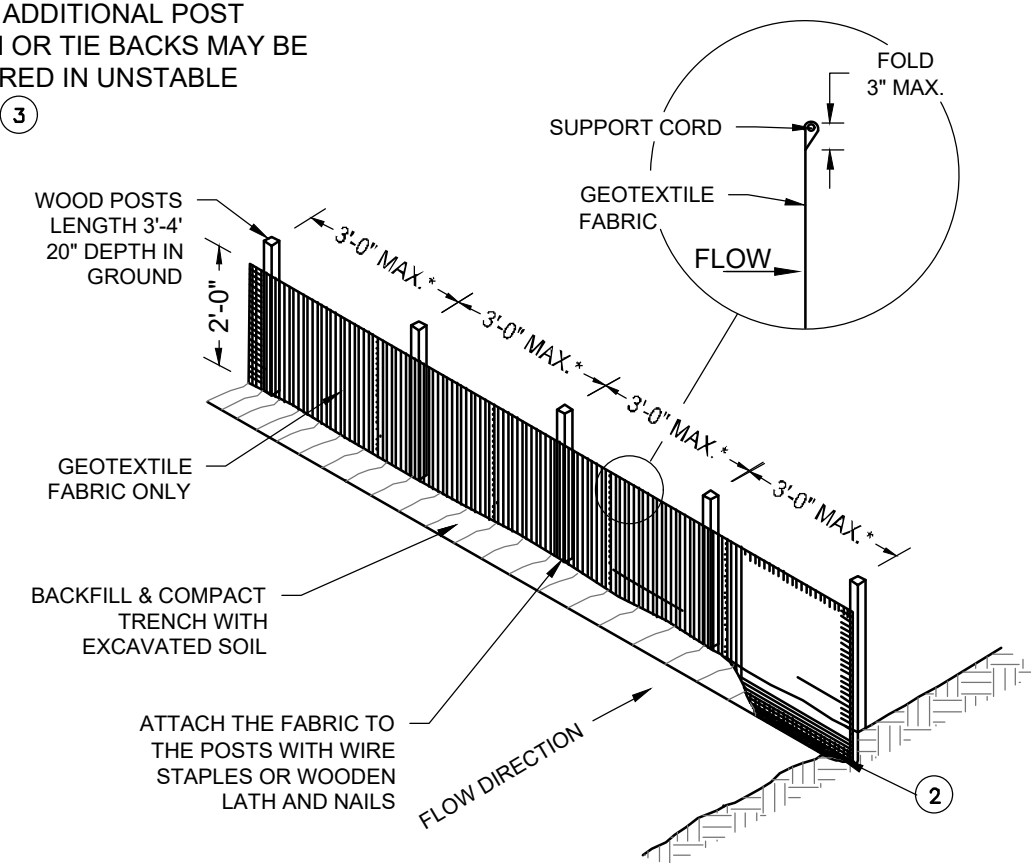
SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	9/23/2022
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	C300



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WE STATE (430.036/914)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

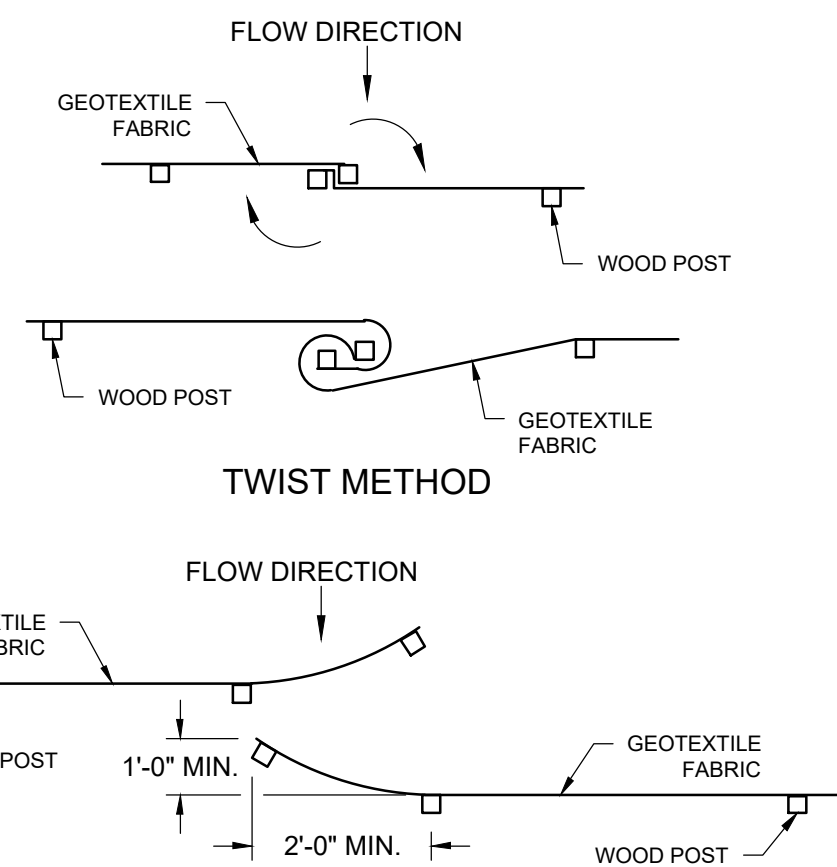
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS (3)

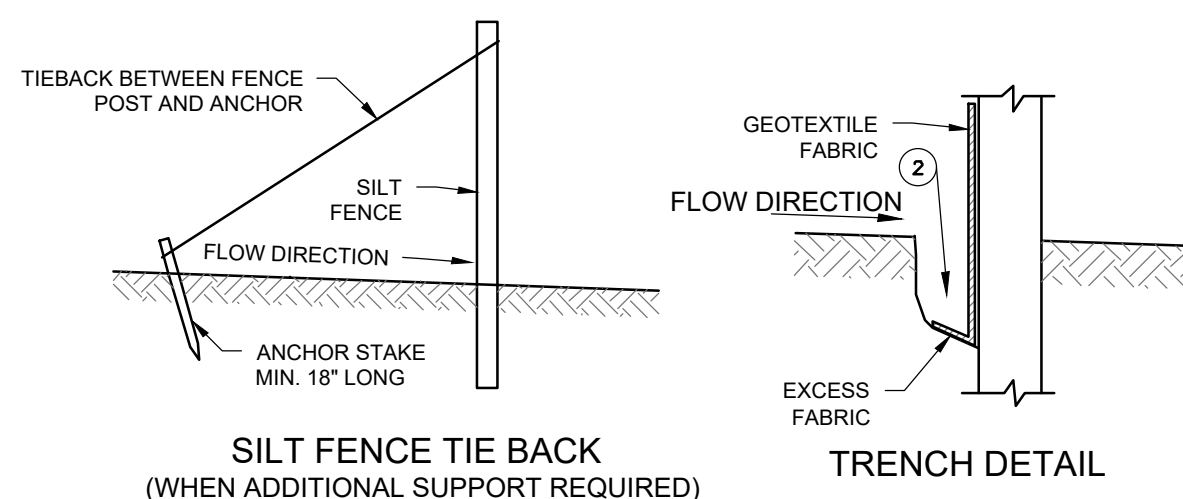


* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

SILT FENCE



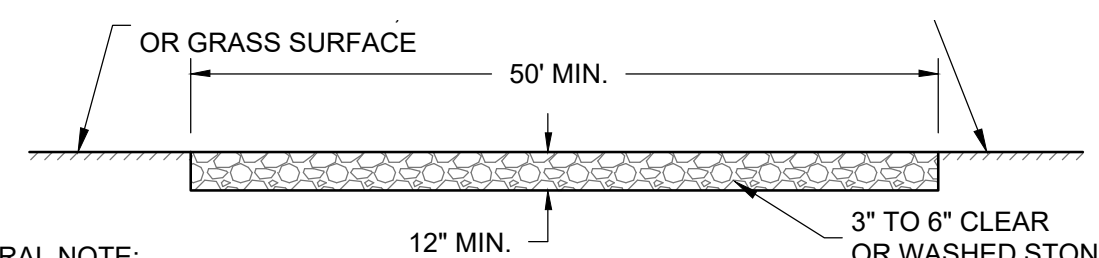
HOOK METHOD
JOINING TWO LENGTHS OF SILT FENCE



GENERAL NOTES

- HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL. IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
- SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
- THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

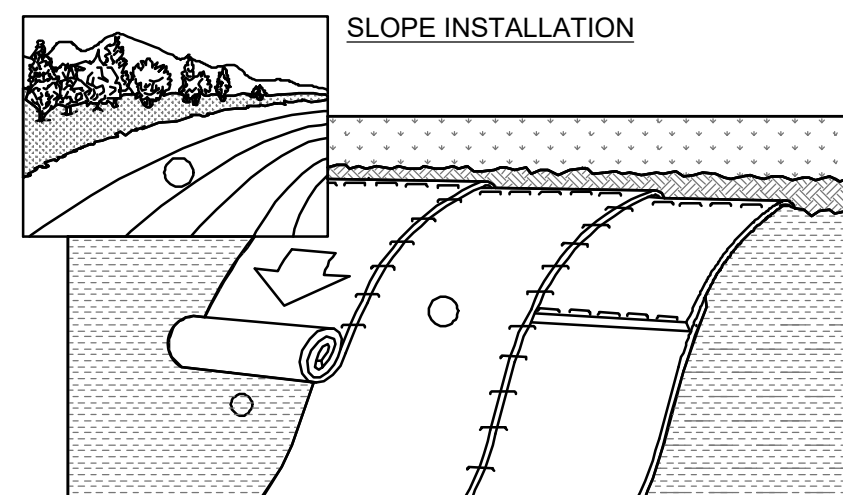
A EROS SILT FENCE - WDNR TS-1056
SCALE: 1" = 1'



GENERAL NOTE:

- STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
- AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

B EROS CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE: 1" = 1'



- ECRMs (EROSION CONTROL REVEGATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
- THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
- TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
- AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.

NOTES:

- EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.

C EROS EROSION MATTING - WDNR TS-1052
SCALE: 1" = 1'

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
- CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
- CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
- INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
- STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059 AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
- INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
- REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
- STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING. TO THE SATISFACTION OF THE CITY OF FRANKLIN, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

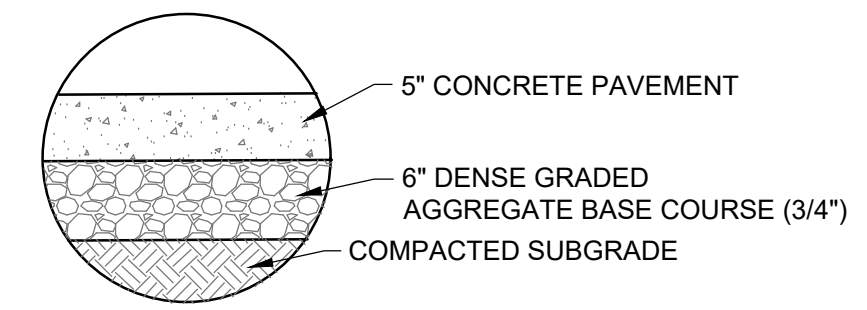
BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI

EROSION CONTROL DETAILS

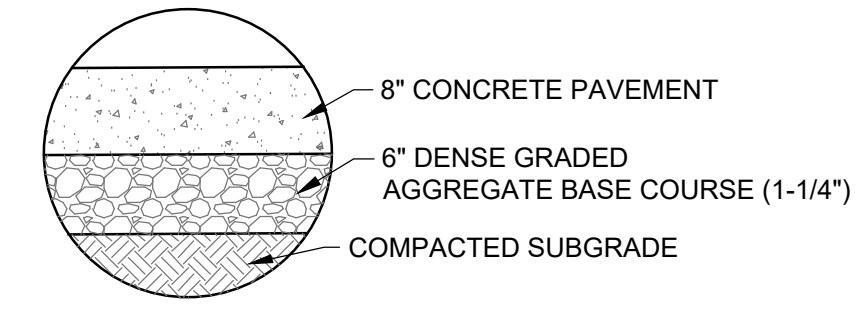
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SCALE:	
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PLOT DATE:	9/22/2022
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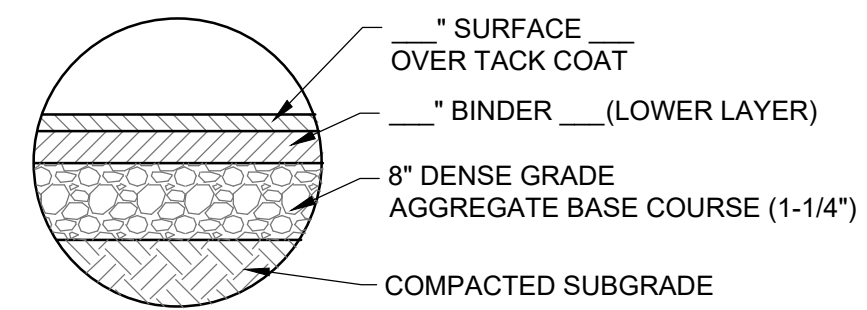
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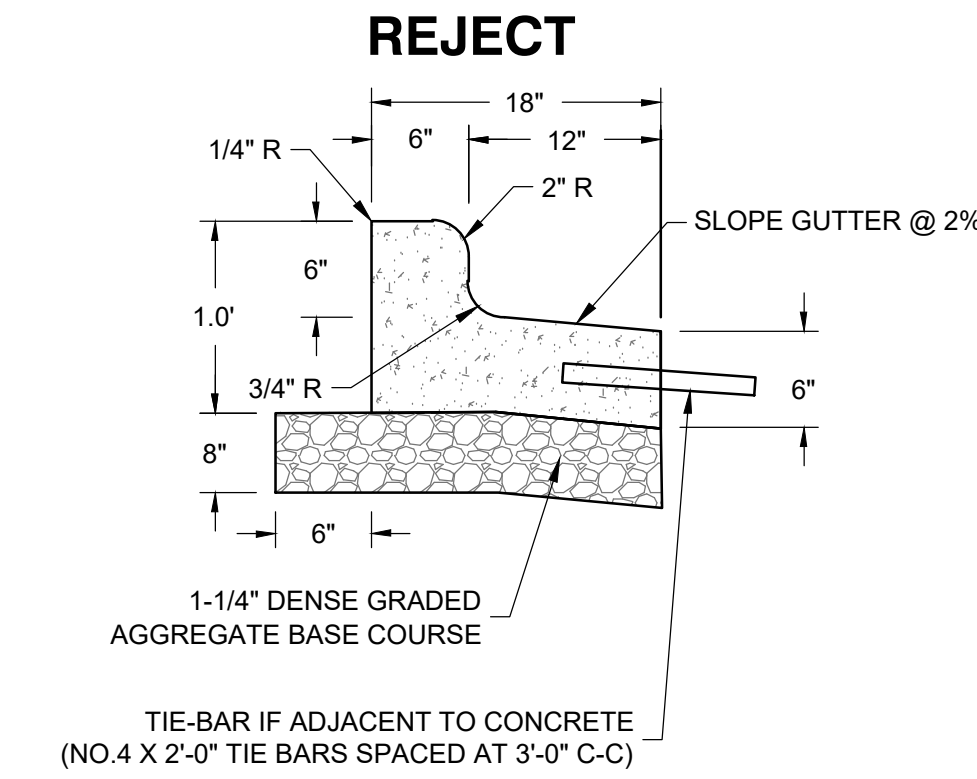
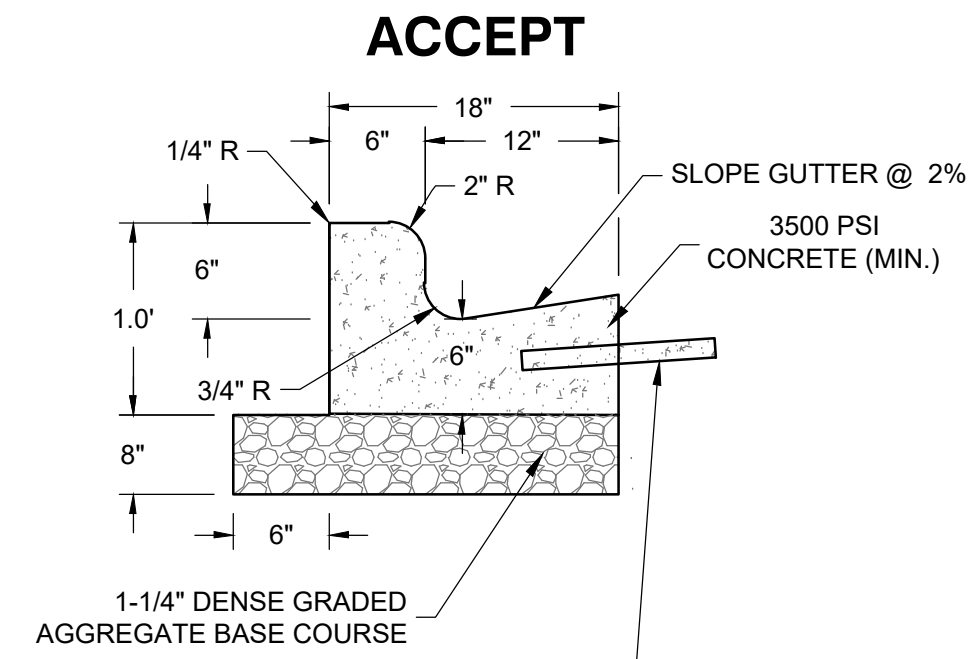
A PAVE_CONCRETE SIDEWALK SECTION
 SCALE: 1" = 1'



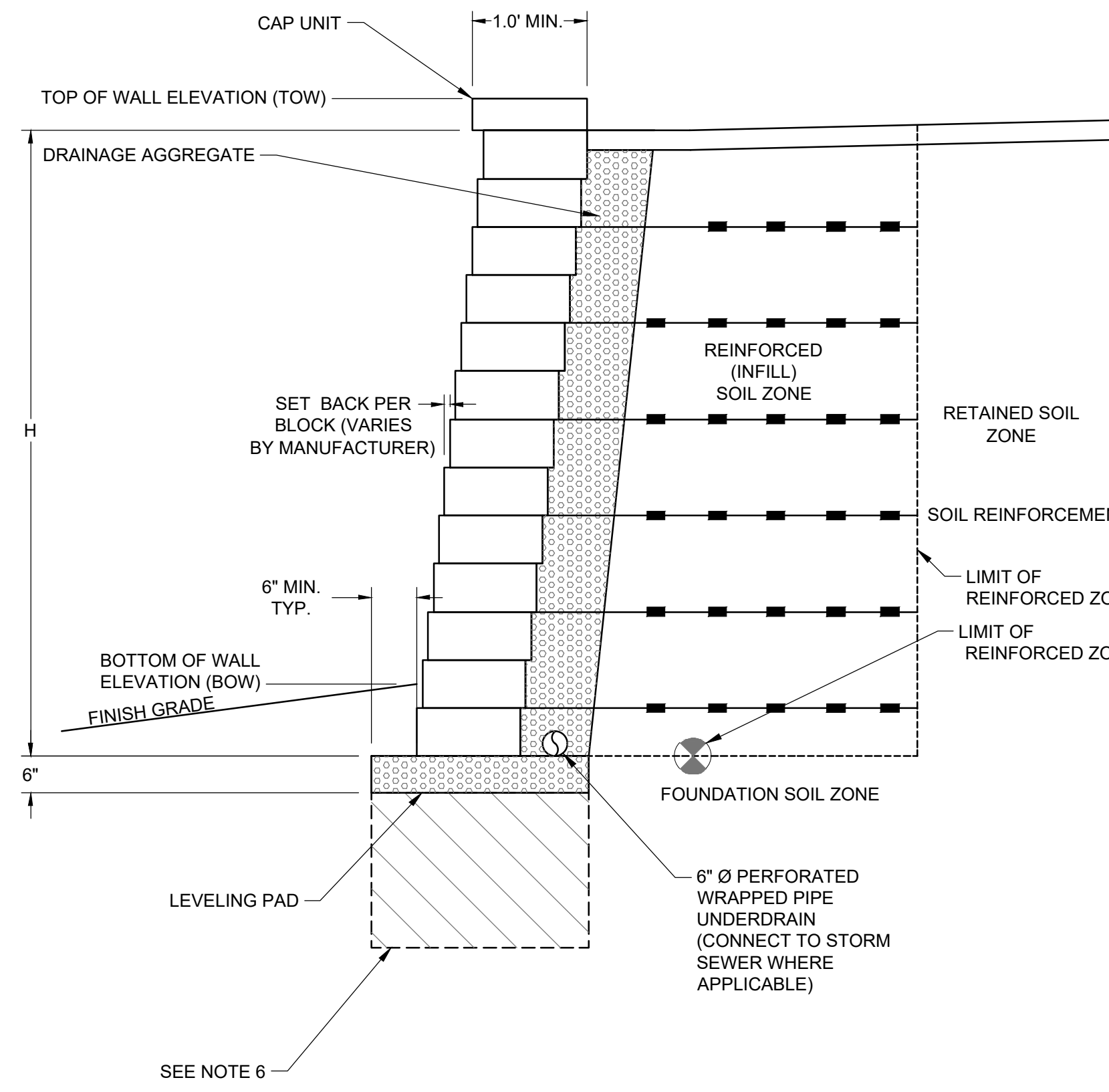
B PAVE_CONCRETE PAVEMENT SECTION
 SCALE: 1" = 1'



C PAVE_ASPHALT PAVEMENT SECTION - HD
 SCALE: 1" = 1'

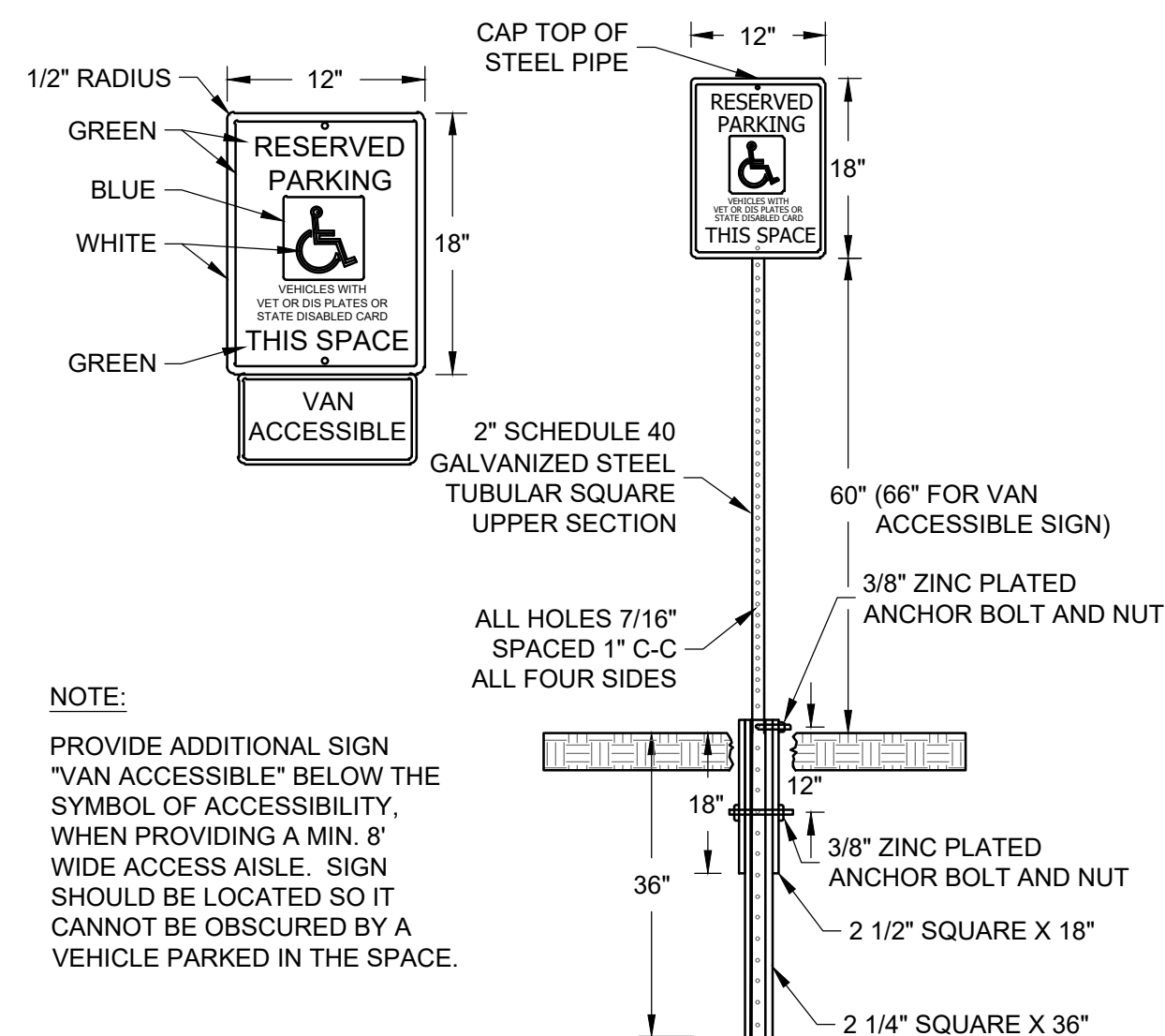
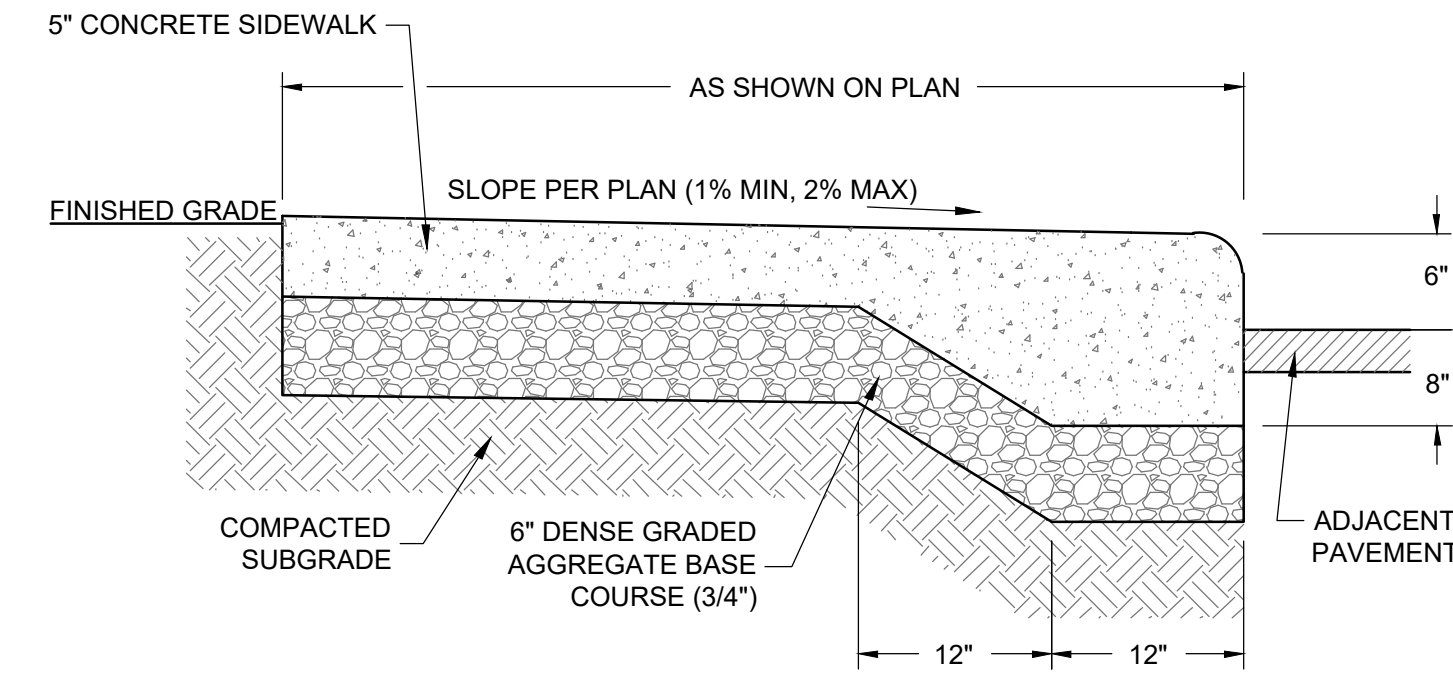


D PAVE_18 INCH CONCRETE CURB AND GUTTER
 SCALE: 1" = 1'

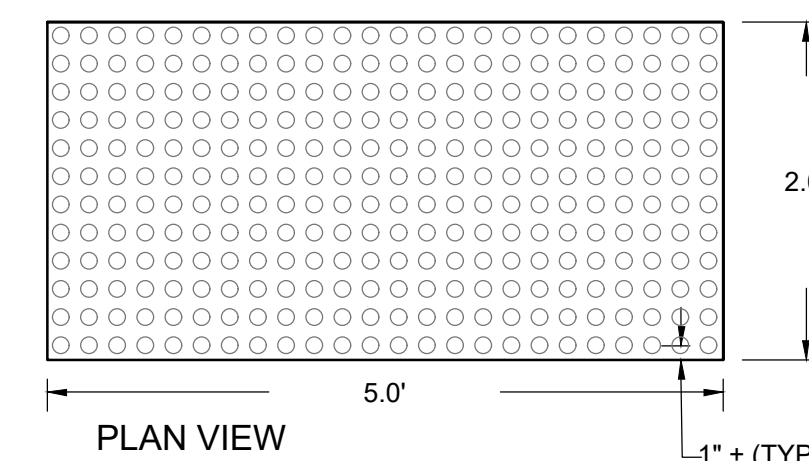
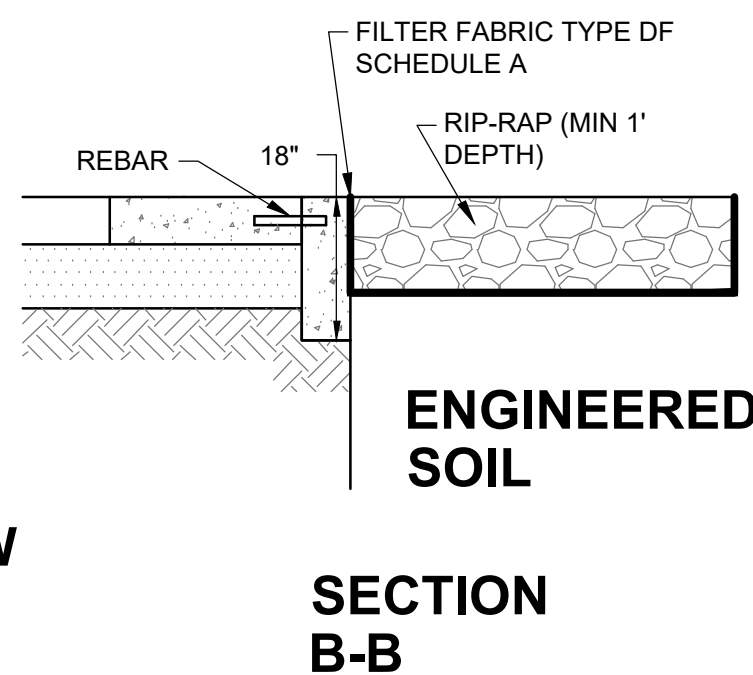
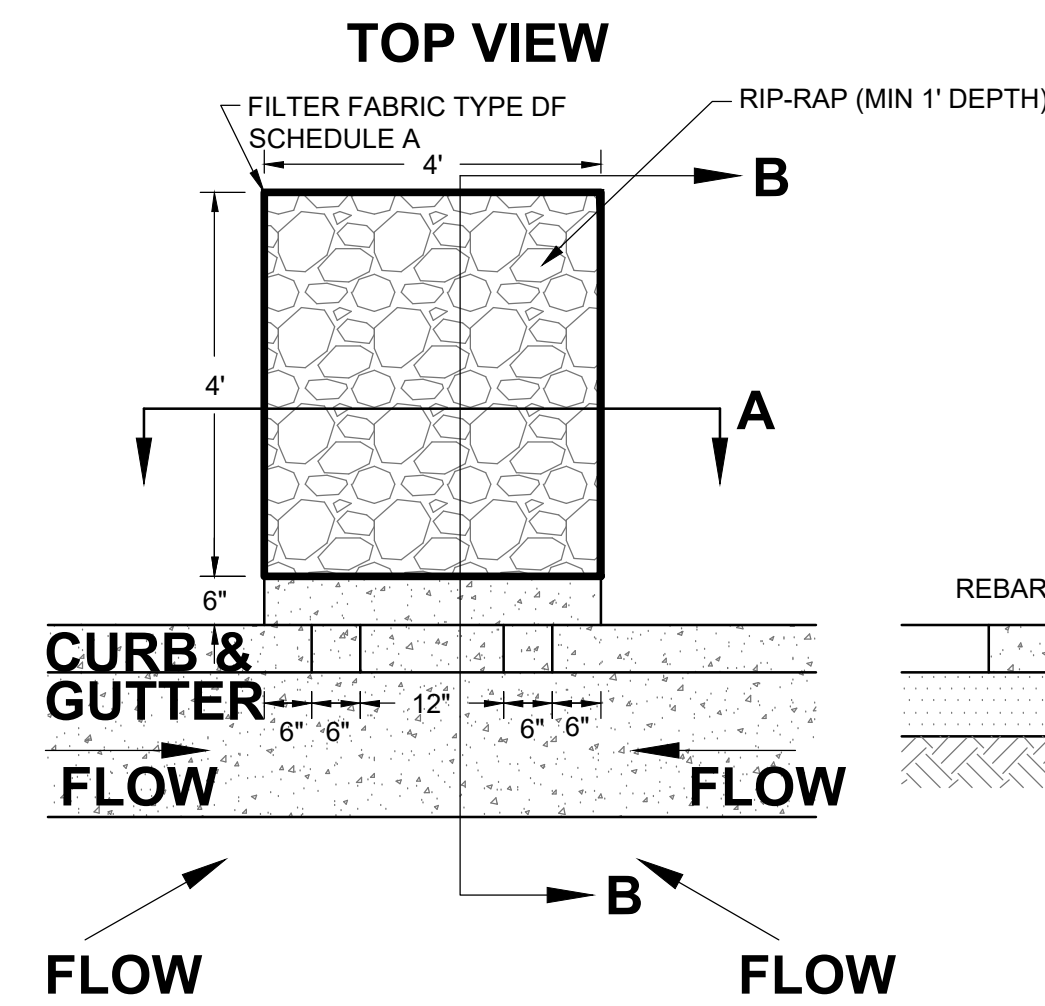


NOTES:

1. RETAINING WALL SYSTEM SHALL BE KEYSTONE, ROCKWOOD, OR APPROVED EQUAL.
2. TYPICAL SECTION IS FOR CONCEPTUAL DESIGN ONLY. THE CONTRACTOR SHALL PROVIDE COMPLETE DESIGN, PLANS, DETAILS, SPECIFICATIONS, AND STAMPED AND SEALED SHOP DRAWINGS AND STABILITY CALCULATIONS FOR THE RETAINING WALLS TO THE ENGINEER. THE RETAINING WALL MANUFACTURER SHALL PROVIDE TECHNICAL ASSISTANCE TO THE CONTRACTOR DURING CONSTRUCTION. THE COST OF THESE ITEMS SHALL BE INCLUDED.
3. STAMPED AND SEALED RETAINING WALL DESIGN, PLANS, DETAILS AND CALCULATIONS SHALL BE PROVIDED TO THE CITY.
4. GEOGRID REINFORCEMENT SPACING AND LENGTH PER MANUFACTURER'S ENGINEER RECOMMENDATIONS.
5. GEOTECHNICAL ENGINEER MAY REQUIRE THAT ADDITIONAL DRAIN PIPING IS NEEDED DEPENDENT UPON SOILS ENCOUNTERED DURING WALL CONSTRUCTION.
6. WALL STRUCTURE TO BE VERIFIED WITH GEOTECHNICAL ENGINEER.
7. ANY SPECIAL TREATMENT SOILS BELOW LEVELING PAD WHICH ARE SUBJECT TO FROST HEAVE SHALL BE DESIGNED BY STRUCTURAL ENGINEER OF RECORD.
8. PLANS, ELEVATIONS, AND DETAILS SHOWN ON THESE DRAWINGS ARE INTENDED TO INDICATE WALL LOCATIONS, LENGTHS, HEIGHTS, AND DETAILS COMMON TO THE WALL SYSTEM SELECTED. THE CONTRACTOR SHALL VERIFY THAT THE WALL SYSTEM SELECTED WILL CONFORM TO THE REQUIRED ALIGNMENTS AND DETAILS.
9. THE RETAINING WALL IS TO BE DESIGNED USING THE ELEVATIONS GIVEN ON THIS SHEET AND GRADING PLAN SHEETS.
10. STYLE AND COLOR OF THE MODULAR BLOCK SHALL BE SELECTED BY THE OWNER AND ARCHITECT.
11. PROTECTIVE RAILINGS/GUARD RAILS REQUIRED FOR ALL RETAINING WALLS ADJACENT TO PEDESTRIAN PATHS TO BE VERIFIED BY WALL DESIGNER, ARCHITECT, AND LOCAL JURISDICTION.

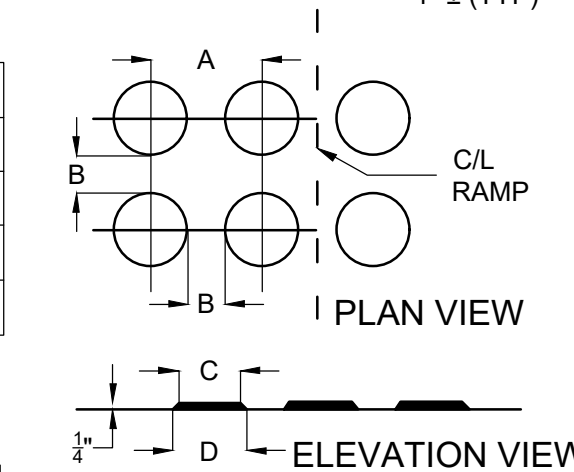


NOTE:
 PROVIDE ADDITIONAL SIGN "VAN ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY, WHEN PROVIDING A MIN. 8' WIDE ACCESS AISLE. SIGN SHOULD BE LOCATED SO IT CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.



	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	X	X
D	0.9"	1.4"

X = THE C DIMENSIONS IS 50% TO 65% OF THE D DIMENSION



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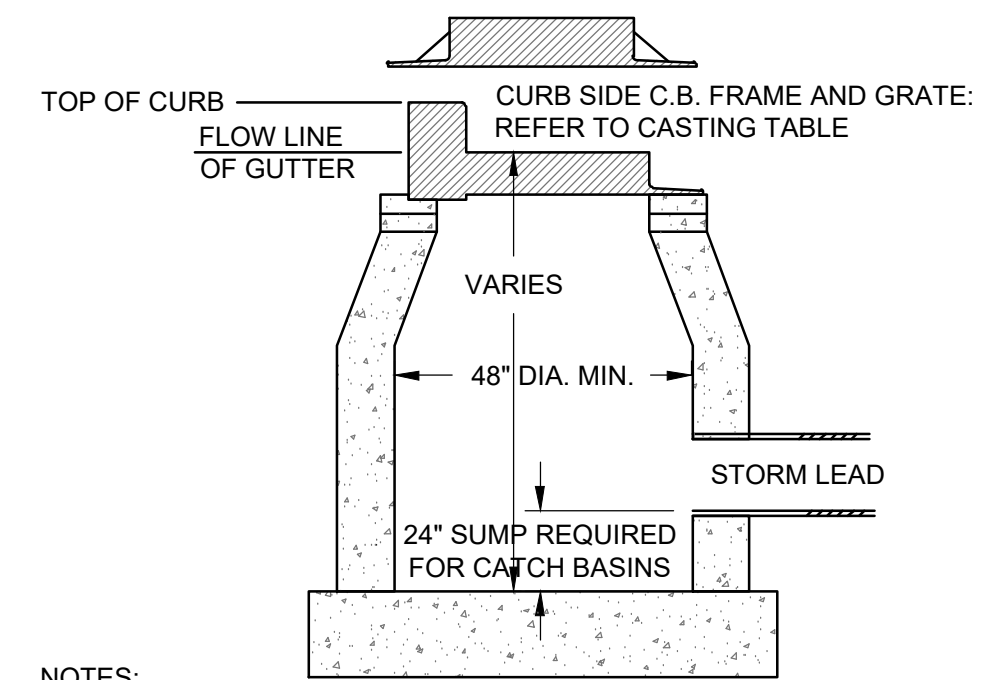
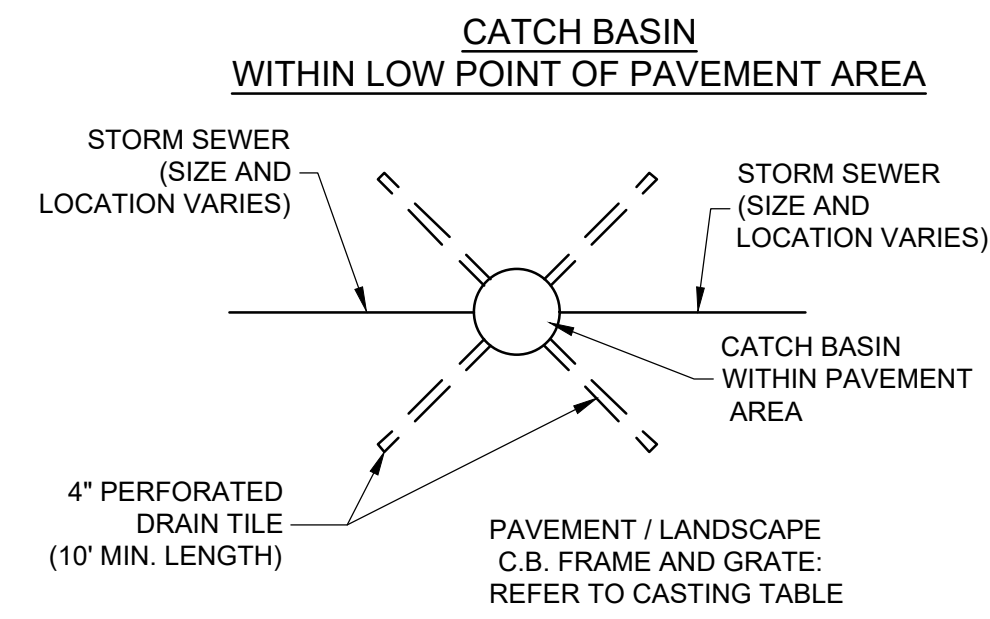
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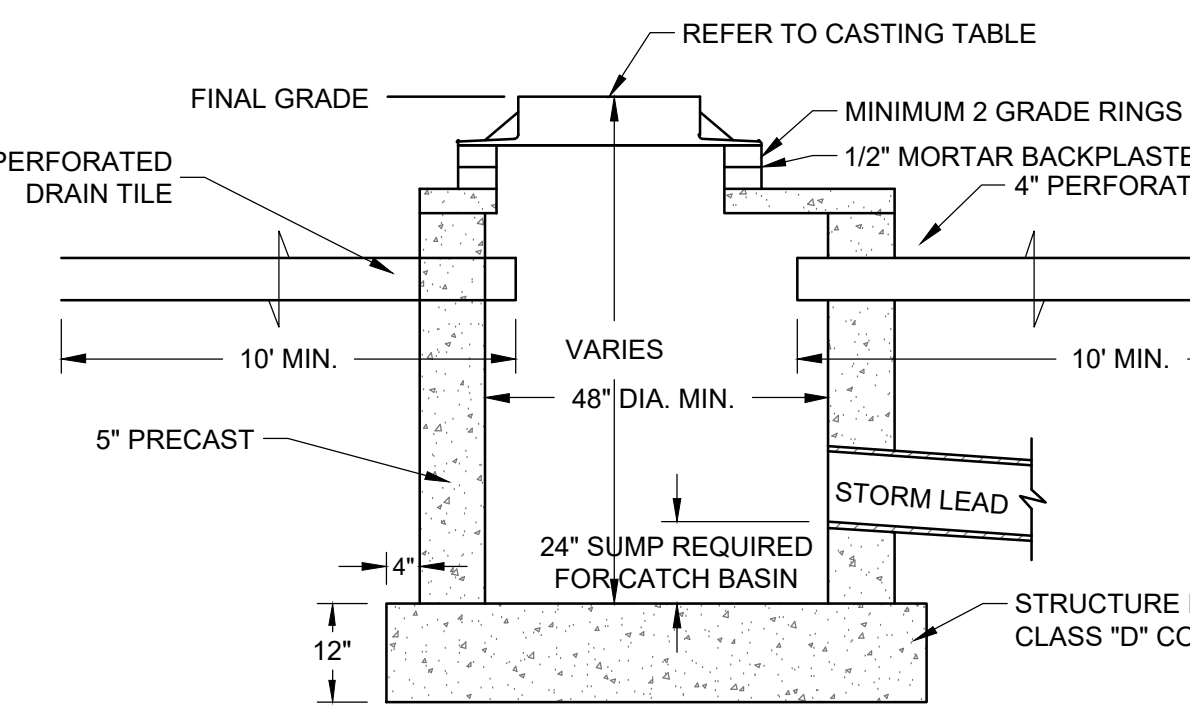
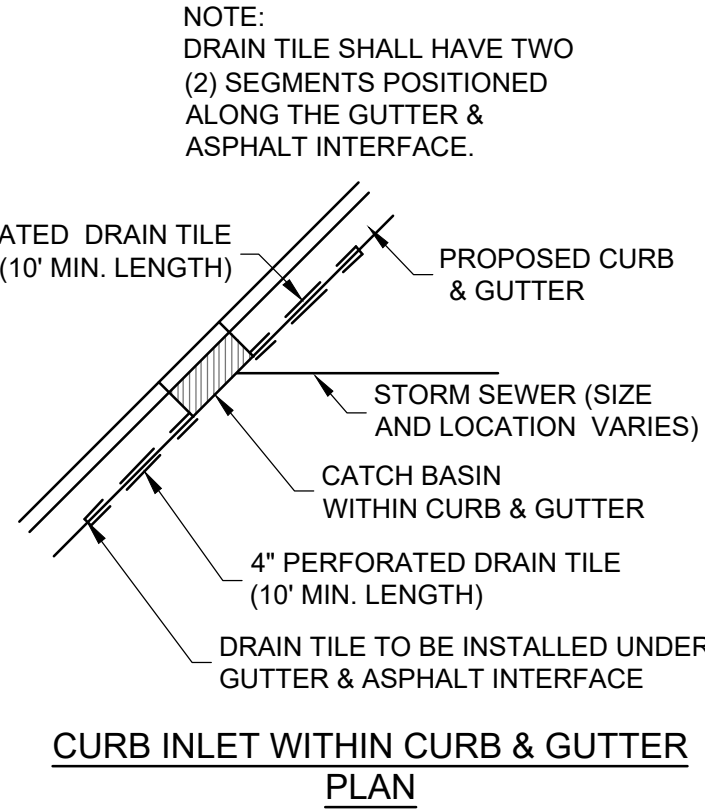
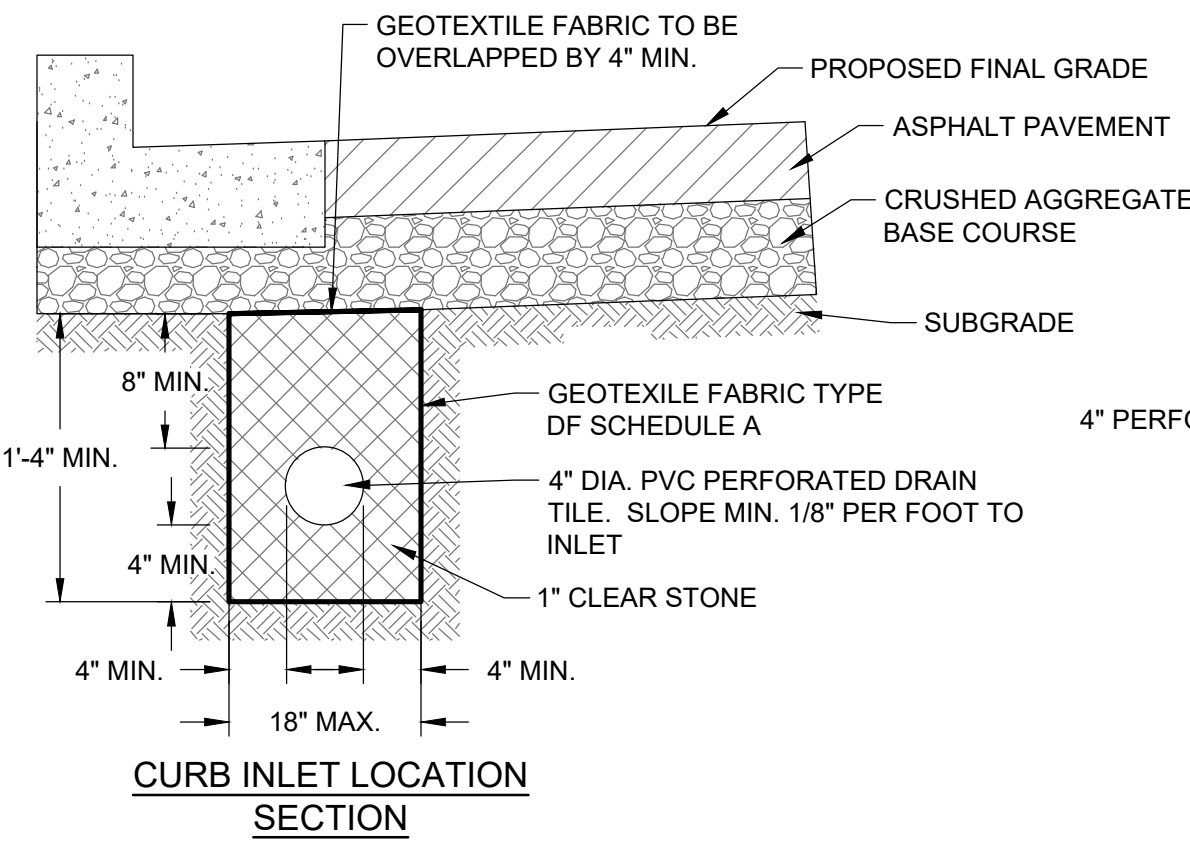
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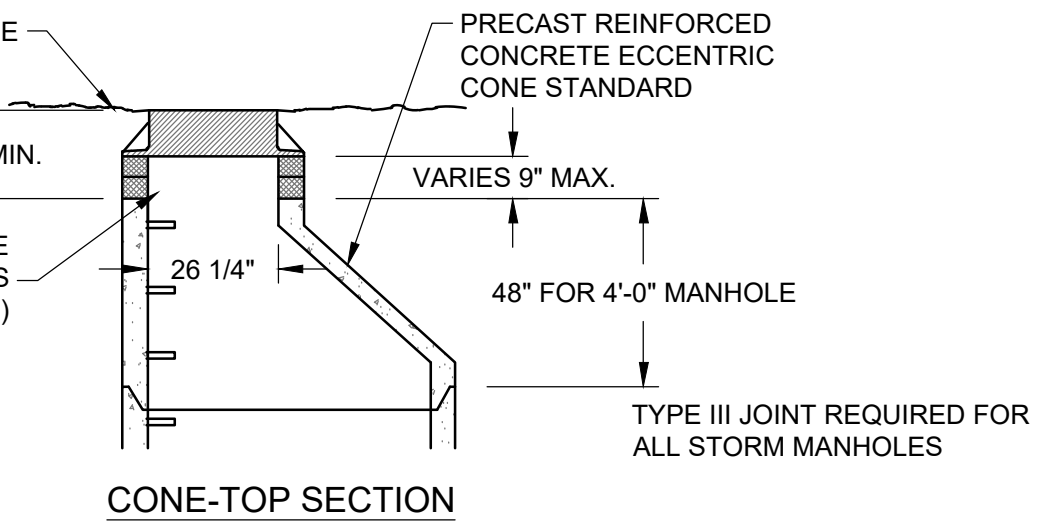
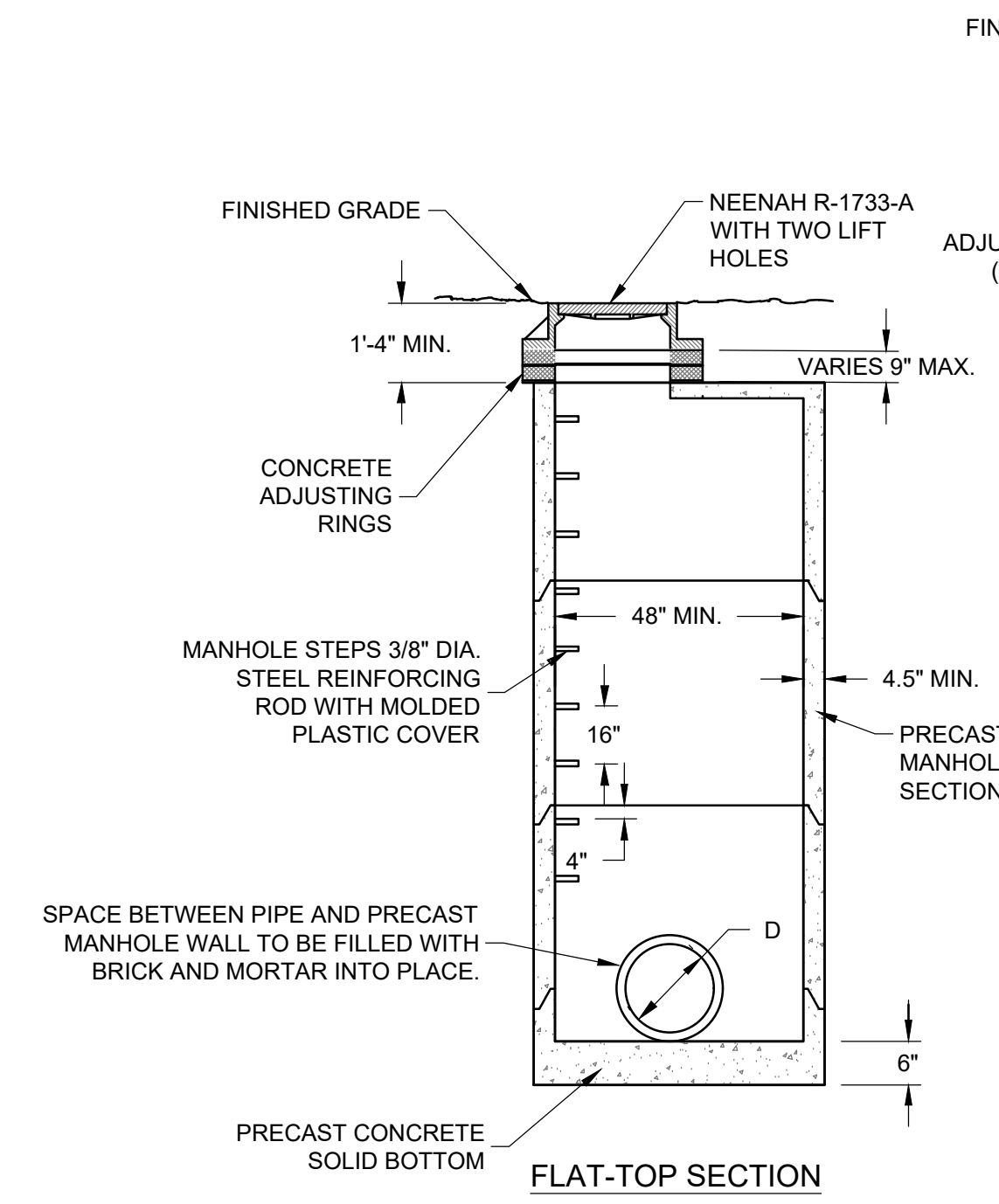
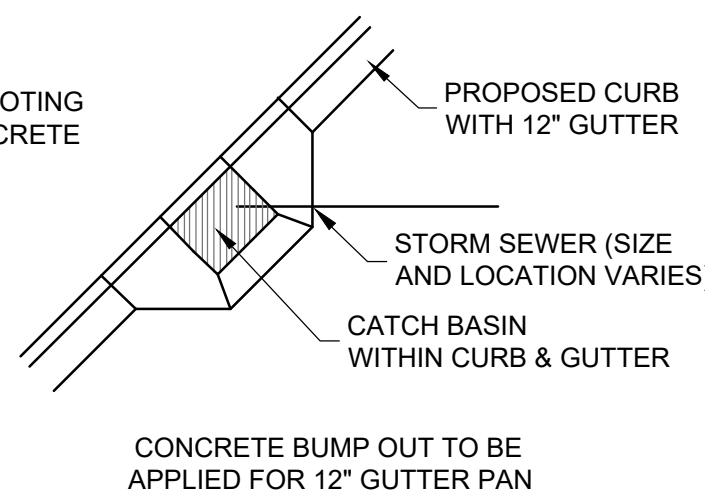
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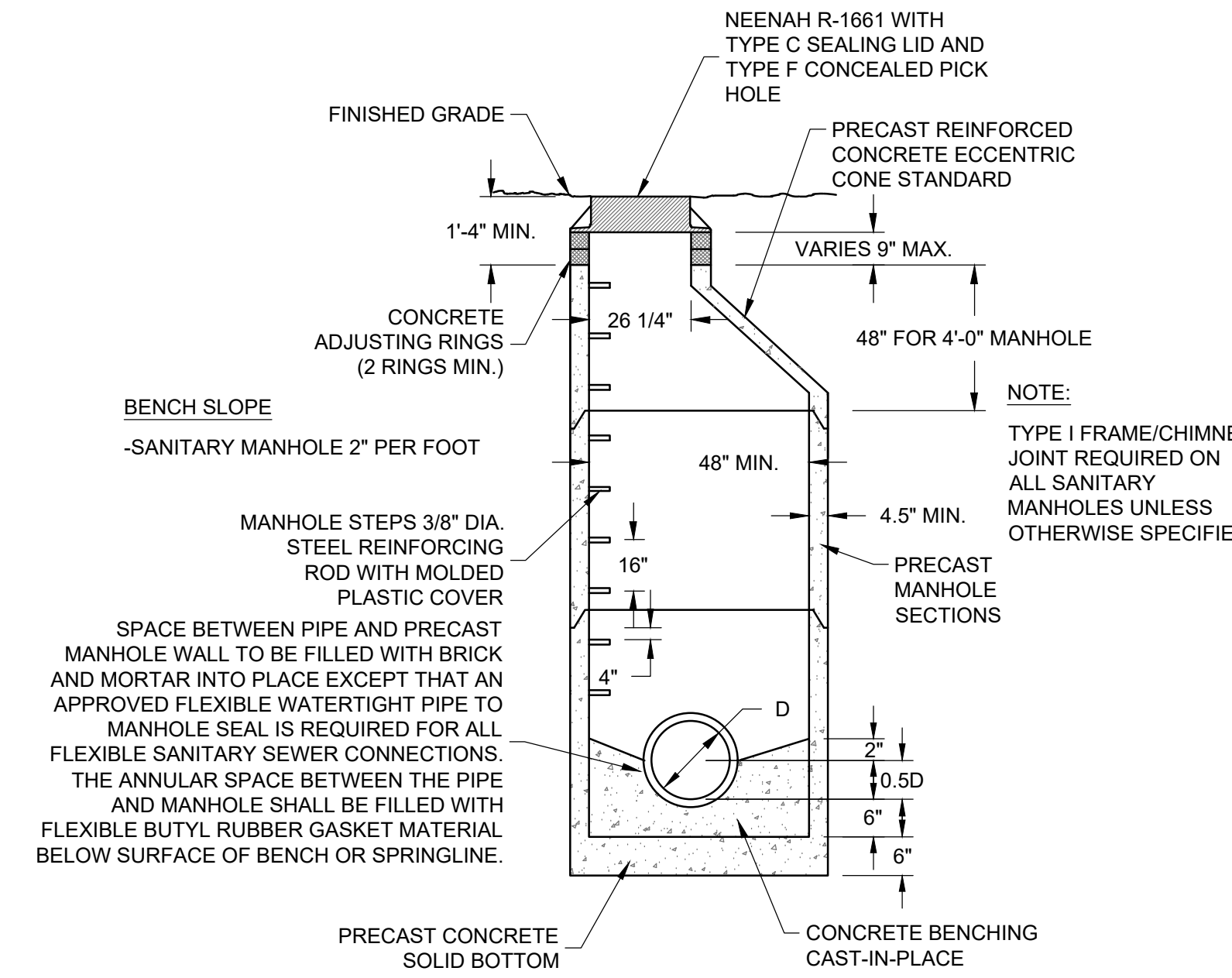
- NOTES:**
- ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
 - CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 - 3" BEDDING OF STONE UNDER BASE REQUIRED ON WET SUB-GRADE.
 - UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.



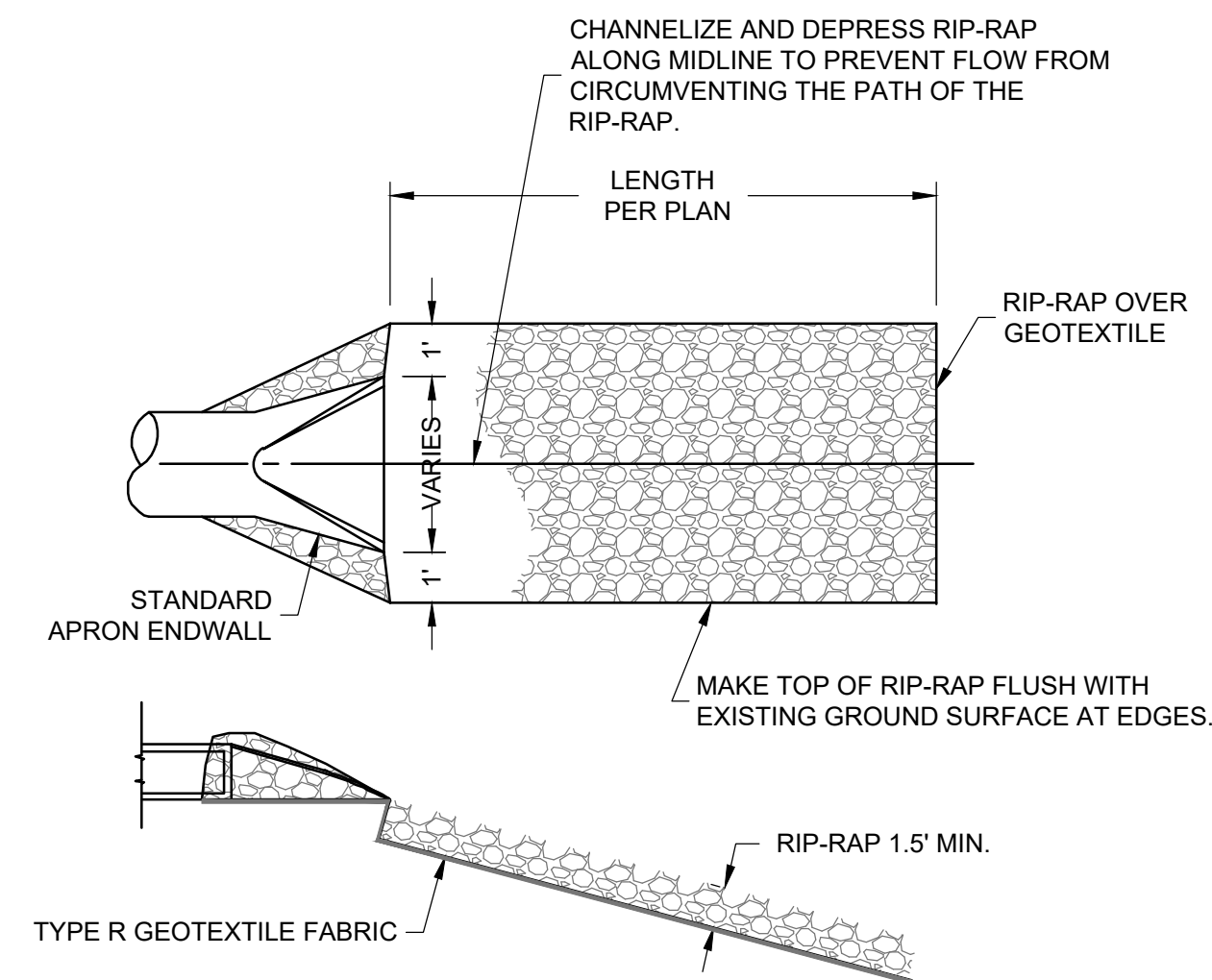
	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3067	A	NEENAH R-3067	A	NEENAH R-3229H	C
AREA INLET	NEENAH R-2050	C				



- NOTES:**
- CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
 - ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 - CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 - JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR, OR FLEXIBLE RUBBER TYPE GASKETS FOR STORM MANHOLES.
 - AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 - 3" OF BEDDING STONE UNDER BASE.
 - UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.



- NOTES:**
- CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
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 - CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 - JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING FLEXIBLE RUBBER TYPE GASKETS.
 - AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 - 3" OF BEDDING STONE UNDER BASE.
 - ALL SANITARY MANHOLES SHALL BE PROVIDED WITH EXTERNAL CHIMNEY SEALS AND SELF-SEALING LIDS WITH CONCEALED PICK HOLES.
 - UNLESS NOTED ON THE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.



- NOTES:**
- INSTALL RIP-RAP WHERE SHOWN ON PLANS.
 - FOR PERMANENT POOL (WET) DETENTION BASINS: EXTEND RIP-RAP FROM OUTFALL TO AT LEAST 10 FEET BEYOND THE NORMAL WATER LEVEL.
 - RIP-RAP SHALL BE MEDIUM RIP-RAP PER WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
 - GEOTEXTILE FABRIC SHALL BE TYPE R PER WISDOT STANDARD SPECIFICATIONS PER HIGHWAY AND STRUCTURE CONSTRUCTION.

GENERAL:

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
- CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

SITE CLEARING:

- EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
- MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
- SALVAGE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
- UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
- DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
- PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
- LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
- PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
- EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
- FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
- REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
- REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

SITE WATER SERVICE:

- COMPLY WITH STANDARDS OF STATE PLUMBING CODE (SPS CH. 382, 384), LOCAL WATER UTILITY REQUIREMENTS AND STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR FIRE-SUPPRESSION AND WATER SERVICE PIPING INCLUDING MATERIALS, FITTINGS, APPURTENANCES, INSTALLATION, TESTING, SERVICE TAPS, ETC. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND STATE PLUMBING CODE OR LOCAL JURISDICTIONAL AUTHORITY, STATE PLUMBING CODE AND LOCAL JURISDICTIONAL AUTHORITY REQUIREMENTS GOVERN.
- DO NOT INTERRUPT SERVICE TO FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY OWNERS OF SUCH FACILITIES AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY WATER-DISTRIBUTION SERVICE.
- WATER SERVICE PIPING MAY BE EITHER DUCTILE IRON WATER PIPE OR PVC WATER PIPE AS ALLOWED BY THE LOCAL WATER UTILITY.
- DUCTILE IRON WATER PIPE CONFORMING TO THE REQUIREMENTS OF THE AMERICAN NATIONAL STANDARD FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST, AWWA C151/A21.51 - LATEST REVISION AND REQUIREMENTS OF CHAPTER 8.18.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
 - CLASS 52
 - CEMENT MORTAR LINING AND INTERNAL AND EXTERNAL BITUMINOUS COATS IN ACCORDANCE WITH SECTION 51.8 OF AWWA C151.
 - PUSH-ON GASKET PIPE
 - PLAIN RUBBER GASKETS
 - BONDING STRAPS TO PROVIDE ELECTRICAL CONDUCTIVITY WITHOUT FIELD TESTING
- JOINTS FOR DUCTILE IRON PIPE: JOINTS SHALL BE RUBBER GASKET JOINTS; CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR RUBBER GASKET JOINTS FOR DUCTILE IRON PRESSURE PIPE AND FITTINGS (ANSI/AWWA C111/A21.11, LATEST EDITION)
- FITTINGS FOR DUCTILE IRON PIPE: CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR DUCTILE IRON AND GRAY IRON FITTINGS, 3" THROUGH 48" FOR WATER ANSI/AWWA C110/A21.10, LATEST EDITION); CLASS 250 MECHANICAL JOINT PIPE FITTINGS; CEMENT LINED; ALL BELLS; ENTIRE FITTING TARRED; CONDUCTIVE MECHANICAL JOINT (NO LEAD) RUBBER GASKETS, FLANGES, AND BOLTS.
- PVC AWWA PIPE: AWWA C900, CLASS 235 WITH BELL END WITH GASKET AND WITH SPIGOT END AND MEETING REQUIREMENTS OF CHAPTER 8.20.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. FITTINGS SHALL BE IN ACCORDANCE WITH CHAPTER 8.22.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. MECHANICAL JOINT, DUCTILE IRON FITTINGS: AWWA C153, DUCTILE-IRON COMPACT PATTERN. GLANDS, GASKETS AND BOLTS: AWWA C111, DUCTILE IRON GLANDS, RUBBER GASKETS AND STEEL BOLTS.
- GATE VALVES: CONFORM TO AWWA C-500 AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN SUITABLE FOR DIRECT BURY.
- VALVE BOXES: CAST IRON CONFORMING TO ASTM DESIGNATION A-48, CLASS 20 AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- FIRE HYDRANTS: TO MEET LOCAL STANDARDS.
- WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS
- GENERAL WATER PIPE INSTALLATION: IN ACCORDANCE WITH CHAPTER 4.3.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- INSTALL DUCTILE-IRON, WATER-SERVICE PIPING ACCORDING TO AWWA C600 AND CHAPTER 4.4.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL DUCTILE IRON PIPE SHALL BE ENCASED IN POLYETHYLENE PER AWWA C105, LATEST EDITION AND IN ACCORDANCE WITH CHAPTER 4.4.4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. ALL JOINTS AND FITTINGS SHALL HAVE POLYETHYLENE ENCASEMENT INSTALLED PER MANUFACTURER'S REQUIREMENTS AND PROCEDURES.
- INSTALL PVC AWWA PIPE ACCORDING TO ASTM F645 AND AWWA M23 AND CHAPTER 4.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NOS:44,45,46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL WATER SERVICE PIPING SUCH THAT THERE IS A MINIMUM OF 6" COVER OVER THE TOP OF THE WATER SERVICE PIPING.

SITE WATER SERVICE CONT.:

- BEDDING AND COVER FOR WATER SERVICE PIPING SHALL BE IN ACCORDANCE WITH SECTION 4.3.3 AND FILE NO. 36 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. TRENCH BACKFILL SHALL BE GRANULAR B BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION ON-SITE.
- INSTALL TRACER WIRE FOR NON-METALLIC WATER SERVICES IN ACCORDANCE WITH SPS SECTION 382.40(8)(K). TRACER WIRE INSULATION COLOR SHALL BE BLUE FOR POTABLE WATER SERVICE PIPING.
- DUCTILE-IRON PIPING, RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 4.4.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- PVC PIPING GASKETED JOINTS: USING JOINING MATERIALS ACCORDING TO AWWA C900. CONSTRUCT JOINTS WITH ELASTOMERIC SEALS AND LUBRICANTS ACCORDING TO ASTM D2774 OR ASTM D3139 AND PIPE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- CONDUCT HYDROSTATIC TESTS IN ACCORDANCE WITH CHAPTER 4.15.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- CLEAN AND DISINFECT WATER SERVICE PIPING IN ACCORDANCE WITH SPS CHAPTER 82.40(8)(I) AND AWWA C651.

SANITARY SEWERAGE:

- ALL PRIVATE SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
- ALL PUBLIC SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
- PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
- MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- MANHOLES DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
- SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
- PIPE JOINT CONSTRUCTION: FOLLOW PIPING MANUFACTURER'S RECOMMENDATIONS; JOIN PVC SEWER PIPE ACCORDING TO ASTM D2321 AND ASTM D 3212 FOR ELASTOMERIC GASKET JOINTS. JOIN DISSIMILAR PIPE MATERIALS WITH NONPRESSURE-TYPE, FLEXIBLE COUPLINGS
- PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
- CLASS B COMPACTED TRENCH SECTION (FILE NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
- AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)H OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS. TEST NEW BUILDING SEWER IN ACCORDANCE WITH SECTION 5.4.0 OF THE STANDARD SPECIFICATIONS. REPLACE LEAKING PIPE USING NEW PIPE MATERIALS AND REPEAT TESTING UNTIL LEAKAGE IS WITHIN ALLOWANCES SPECIFIED.

STORM DRAINAGE:

- ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
- ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
- PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
- REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- HOPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
- CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.
- MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
- SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
- PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
- CLASS B COMPACTED TRENCH SECTION (FILE NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
- CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.
- AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)J OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

EARTH MOVING:

- ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
- CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
- CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
- OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
- FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.
- SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER.
- UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.
- ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL OTHER DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.
- BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57, WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
- SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.
- PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER Tired VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.
- DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINILES SHALL BE 0.5%.
- CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.
- ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.
- WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)
- UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.
- UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557).
- COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
- TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.
- BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.
- PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.
- FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.
- WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.



BALL PARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI

PRELIMINARY
NOT FOR
CONSTRUCTION

SCALE:	NTS
PROJECT NO.:	21234
DESIGN DATE:	----
PLOT DATE:	9/22/2022
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO.:	

C500

CONCRETE PAVING:

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS; CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED, CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

ASPHALTIC PAVING:

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS; CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
5. AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
6. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
7. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
8. HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED.
9. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLodge OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4 INCH FOR BINDER COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE, NO MINUS.
18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS: BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/MILE FOR A CONTINUOUS 4" LINE.
22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SEGMENTAL RETAINING WALL:

1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT AND SUPERVISION TO INSTALL A SEGMENTAL RETAINING WALL SYSTEM IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN AND DIMENSIONS SHOWN ON PLANS.
2. MATERIALS SUBMITTALS: THE CONTRACTOR SHALL SUBMIT MANUFACTURERS' CERTIFICATIONS TWO WEEKS PRIOR TO START OF WORK STATING THAT THE SRW UNITS AND GEOSYNTHETIC REINFORCEMENT MEET THE REQUIREMENTS OF THE DESIGN.
3. DESIGN SUBMITTAL: THE CONTRACTOR SHALL SUBMIT TWO SETS OF DETAILED DESIGN CALCULATIONS AND FINAL RETAINING WALL PLANS FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE BEGINNING OF WALL CONSTRUCTION. ALL CALCULATIONS AND DRAWINGS SHALL BE PREPARED AND SEALED BY A PROFESSIONAL CIVIL ENGINEER (P.E.) (WALL DESIGN ENGINEER) EXPERIENCED IN SRW DESIGN AND LICENSED IN THE STATE WHERE THE WALL IS TO BE BUILT.
4. SEGMENTAL RETAINING WALL (SRW) UNITS SHALL BE MACHINE FORMED, PORTLAND CEMENT CONCRETE BLOCKS SPECIFICALLY DESIGNED FOR RETAINING WALL APPLICATIONS. SRW UNITS SHALL BE VERSA-LOK STANDARD RETAINING WALL UNITS, KEYSTONE RETAINING WALL UNITS, ROCKWOOD RETAINING WALL UNITS OR APPROVED EQUAL.
5. COLOR AND STYLE OF SRW UNITS SHALL BE AS SELECTED BY ARCHITECT AND OWNER FROM MANUFACTURER'S FULL RANGE.
6. SRW UNITS SHALL BE CAPABLE OF BEING ERECTED WITH THE HORIZONTAL GAP BETWEEN ADJACENT UNITS NOT EXCEEDING 1/8 INCH.
7. SRW UNITS SHALL BE SOUND AND FREE OF CRACKS OR OTHER DEFECTS THAT WOULD INTERFERE WITH THE PROPER PLACING OF THE UNIT OR SIGNIFICANTLY IMPAIR THE STRENGTH OR PERMANENCE OF THE STRUCTURE. ANY CRACKS OR CHIPS OBSERVED DURING CONSTRUCTION SHALL FALL WITHIN THE GUIDELINES OUTLINED IN ASTM C 1372.
8. CONCRETE SRW UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM 1372 AND HAVE A MINIMUM NET AVERAGE 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI. COMPRESSIVE STRENGTH TEST SPECIMENS SHALL CONFORM TO THE SAW-CUT COUPON PROVISIONS OF ASTM C140.
9. SRW UNITS' MOLDED DIMENSIONS SHALL NOT DIFFER MORE THAN + 1/8 INCH FROM THAT SPECIFIED, AS MEASURED IN ACCORDANCE WITH ASTM C 140. THIS TOLERANCE DOES NOT APPLY TO ARCHITECTURAL SURFACES, SUCH AS SPLIT FACES.
10. SRW UNITS SHALL BE INTERLOCKED WITH CONNECTION PINS. THE PINS SHALL CONSIST OF GLASS-REINFORCED NYLON MADE FOR THE EXPRESSED USE WITH THE SRW UNITS SUPPLIED.
11. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF HIGH-TENACITY PET GEOGRIDS, HDPE GEOGRIDS, OR GEOTEXTILES MANUFACTURED FOR SOIL REINFORCEMENT APPLICATIONS. THE TYPE, STRENGTH AND PLACEMENT OF THE GEOSYNTHETIC REINFORCEMENT SHALL BE DETERMINED BY PROCEDURES OUTLINED IN THIS SPECIFICATION AND THE NCMA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (3RD EDITION 2009) AND MATERIALS SHALL BE SPECIFIED BY WALL DESIGN ENGINEER IN THEIR FINAL WALL PLANS AND SPECIFICATIONS. THE MANUFACTURERS/SUPPLIERS OF THE GEOSYNTHETIC REINFORCEMENT SHALL HAVE DEMONSTRATED CONSTRUCTION OF SIMILAR SIZE AND TYPES OF SEGMENTAL RETAINING WALLS ON PREVIOUS PROJECTS.
12. THE TYPE, STRENGTH AND PLACEMENT OF THE REINFORCING GEOSYNTHETIC SHALL BE AS DETERMINED BY THE WALL DESIGN ENGINEER, AS SHOWN ON THE FINAL, P.E.-STAMPED RETAINING WALL PLANS.
13. MATERIAL FOR LEVELING PAD SHALL CONSIST OF COMPACTED SAND, GRAVEL, OR COMBINATION THEREOF (USCS SOIL TYPES GP, GW, SP, & SW) AND SHALL BE A MINIMUM OF 6 INCHES IN DEPTH. LEAN CONCRETE WITH A STRENGTH OF 200-300 PSI AND 3 INCHES THICK MAXIMUM MAY ALSO BE USED AS A LEVELING PAD MATERIAL. THE LEVELING PAD SHOULD EXTEND LATERALLY AT LEAST A DISTANCE OF 6 INCHES FROM THE TOE AND HEEL OF THE LOWERMOST SRW UNIT.
14. DRAINAGE AGGREGATE SHALL BE ANGULAR, CLEAN STONE OR GRANULAR FILL MEETING THE FOLLOWING GRADATION AS DETERMINED IN ACCORDANCE WITH ASTM D422:

SIEVE SIZE	PERCENT PASSING
1 INCH	100
3/4 INCH	75-100
NO. 4	0-60
NO. 40	0-50
NO. 200	0-5
15. THE DRAINAGE COLLECTION PIPE SHALL BE A PERFORATED OR SLOTTED PVC, OR CORRUGATED HDPE PIPE. THE DRAINAGE PIPE MAY BE WRAPPED WITH A GEOTEXTILE TO FUNCTION AS A FILTER. DRAINAGE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM F 405 OR ASTM F 758.
16. THE REINFORCED SOIL MATERIAL SHALL BE FREE OF DEBRIS. UNLESS OTHERWISE NOTED ON THE FINAL, P.E.-SEALED, RETAINING WALL PLANS PREPARED BY THE WALL DESIGN ENGINEER, THE REINFORCED MATERIAL SHALL CONSIST OF THE INORGANIC USCS SOIL TYPES GP, GW, SW, SP, SM, MEETING THE FOLLOWING GRADATION, AS DETERMINED IN ACCORDANCE WITH ASTM D422:

SIEVE SIZE	PERCENT PASSING
1 INCH	100
NO. 4	20-100
NO. 40	0-60
NO. 200	0-35
17. THE MAXIMUM PARTICLE SIZE OF POORLY-GRADED GRAVELS (GP) (NO FINES) SHOULD NOT EXCEED 3/4 INCH UNLESS EXPRESSLY APPROVED BY THE WALL DESIGN ENGINEER AND THE LONG-TERM DESIGN STRENGTH (LTD)S OF THE GEOSYNTHETIC IS REDUCED TO ACCOUNT FOR ADDITIONAL INSTALLATION DAMAGE FROM PARTICLES LARGER THAN THIS MAXIMUM.
18. THE PLASTICITY OF THE FINE FRACTION SHALL BE LESS THAN 20.
19. THE PH OF THE BACKFILL MATERIAL SHALL BE BETWEEN 3 AND 9 WHEN TESTED IN ACCORDANCE WITH ASTM G 51.
20. DRAINAGE GEOTEXTILE SHALL CONSIST OF GEOSYNTHETIC SPECIFICALLY MANUFACTURED FOR USE AS A PERMEABLE SOIL FILTER THAT RETAINS SOIL WHILE STILL ALLOWING WATER TO PASS THROUGHOUT THE LIFE OF THE STRUCTURE. THE TYPE AND PLACEMENT OF THE GEOTEXTILE FILTER MATERIAL SHALL BE AS REQUIRED BY THE WALL DESIGN ENGINEER IN THEIR FINAL WALL PLANS AND SPECIFICATIONS.
21. THE DESIGN ANALYSIS FOR THE FINAL, P.E.-STAMPED RETAINING WALL PLANS PREPARED BY THE WALL DESIGN ENGINEER SHALL CONSIDER THE EXTERNAL STABILITY AGAINST SLIDING AND OVERTURNING, INTERNAL STABILITY AND FACIAL STABILITY OF THE REINFORCED SOIL MASS, AND SHALL BE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICE AND THESE SPECIFICATIONS. THE INTERNAL AND EXTERNAL STABILITY ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH THE "NCMA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION" USING THE RECOMMENDED MINIMUM FACTORS OF SAFETY IN THIS MANUAL.
22. EXTERNAL STABILITY ANALYSIS FOR BEARING CAPACITY, GLOBAL STABILITY, AND TOTAL AND DIFFERENTIAL SETTLEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE OWNER'S GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL PERFORM BEARING CAPACITY, SETTLEMENT ESTIMATES, AND GLOBAL STABILITY ANALYSIS BASED ON THE FINAL WALL DESIGN PROVIDED BY THE WALL DESIGN ENGINEER AND COORDINATE ANY REQUIRED CHANGES WITH THE WALL DESIGN ENGINEER.
23. THE GEOSYNTHETIC PLACEMENT IN THE WALL DESIGN SHALL HAVE 100% CONTINUOUS COVERAGE PARALLEL TO THE WALL FACE. GAPPING BETWEEN HORIZONTALLY ADJACENT LAYERS OF GEOSYNTHETIC (PARTIAL COVERAGE) WILL NOT BE ALLOWED.
24. CONTRACTOR'S FIELD CONSTRUCTION SUPERVISOR SHALL HAVE DEMONSTRATED EXPERIENCE AND BE QUALIFIED TO DIRECT ALL WORK AT THE SITE.
25. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE PROJECT GRADING PLANS. CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMIZE OVER-EXCAVATION. OVER-EXCAVATION SHALL BE FILLED WITH COMPACTED INFILL MATERIAL, OR AS DIRECTED BY THE WALL DESIGN ENGINEER, AT THE CONTRACTOR'S EXPENSE.
26. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING STRUCTURES AND UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL ENSURE ALL SURROUNDING STRUCTURES ARE PROTECTED FROM THE EFFECTS OF WALL EXCAVATION. EXCAVATION SUPPORT, IF REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR.
27. FOLLOWING THE EXCAVATION, THE FOUNDATION SOIL SHALL BE EXAMINED BY THE OWNER'S ENGINEER TO ASSURE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS THE ASSUMED DESIGN BEARING STRENGTH. SOILS NOT MEETING THE REQUIRED STRENGTH SHALL BE REMOVED AND REPLACED WITH INFILL SOILS, AS DIRECTED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER.
28. FOUNDATION SOIL SHALL BE PROOF-ROLLED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY AND INSPECTED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF LEVELING PAD MATERIALS.
29. LEVELING PAD SHALL BE PLACED AS SHOWN ON THE FINAL, P.E.-SEALED RETAINING WALL PLANS WITH A MINIMUM THICKNESS OF 6 INCHES. THE LEVELING PAD SHOULD EXTEND LATERALLY AT LEAST A DISTANCE OF 6 INCHES FROM THE TOE AND HEEL OF THE LOWERMOST SRW UNIT.
30. GRANULAR LEVELING PAD MATERIAL SHALL BE COMPACTED TO PROVIDE A FIRM, LEVEL BEARING SURFACE ON WHICH TO PLACE THE FIRST COURSE OF UNITS. WELL-GRADED SAND CAN BE USED TO SMOOTH THE TOP 1/4 INCH TO 1/2 INCH OF THE LEVELING PAD. COMPACTION WILL BE WITH MECHANICAL PLATE COMPACTORS TO ACHIEVE 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D 698).
31. ALL SRW UNITS SHALL BE INSTALLED AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE FINAL, P.E.-SEALED WALL PLANS AND DETAILS OR AS DIRECTED BY THE WALL DESIGN ENGINEER. THE SRW UNITS SHALL BE INSTALLED IN GENERAL ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE SPECIFICATIONS AND DRAWINGS SHALL GOVERN IN ANY CONFLICT BETWEEN THE TWO REQUIREMENTS.
32. FIRST COURSE OF SRW UNITS SHALL BE PLACED ON THE LEVELING PAD. THE UNITS SHALL BE LEVELLED SIDE-TO-SIDE, FRONT-TO-REAR AND WITH ADJACENT UNITS, AND ALIGNED TO ENSURE INTIMATE CONTACT WITH THE LEVELING PAD. THE FIRST COURSE IS THE MOST IMPORTANT TO ENSURE ACCURATE AND ACCEPTABLE RESULTS. NO GAPS SHALL BE LEFT BETWEEN THE FRONT OF ADJACENT UNITS. ALIGNMENT MAY BE DONE BY MEANS OF A STRING LINE OR OFFSET FROM BASE LINE TO THE BACK OF THE UNITS.
33. ALL EXCESS DEBRIS SHALL BE CLEANED FROM TOP OF UNITS AND THE NEXT COURSE OF UNITS INSTALLED ON TOP OF THE UNITS BELOW.


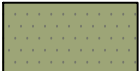


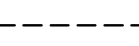
SEGMENTAL RETAINING WALL CONT.:

34. CONNECTION PINS SHALL BE INSERTED THROUGH THE PIN HOLES OF EACH UPPER-COURSE UNIT INTO RECEIVING SLOTS IN LOWER-COURSE UNITS. PINS SHALL BE FULLY SEATED IN THE PIN SLOT BELOW. UNITS SHALL BE PUSHED FORWARD TO REMOVE ANY LOOSENESS IN THE UNIT-TO-UNIT CONNECTION.
 35. PRIOR TO PLACEMENT OF NEXT COURSE, THE LEVEL AND ALIGNMENT OF THE UNITS SHALL BE CHECKED AND CORRECTED WHERE NEEDED.
 36. LAYOUT OF CURVES AND CORNERS SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL PLAN DETAILS OR IN GENERAL ACCORDANCE WITH SRW MANUFACTURER'S INSTALLATION GUIDELINES. WALLS MEETING AT CORNERS SHALL BE INTERLOCKED BY OVERLAPPING SUCCESSIVE COURSES.
 37. PROCEDURES ABOVE SHALL BE REPEATED UNTIL REACHING TOP OF WALL UNITS, JUST BELOW THE HEIGHT OF THE CAP UNITS. GEOSYNTHETIC REINFORCEMENT, DRAINAGE MATERIALS, AND REINFORCED BACKFILL SHALL BE PLACED IN SEQUENCE WITH UNIT INSTALLATION.
 38. ALL GEOSYNTHETIC REINFORCEMENT SHALL BE INSTALLED AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE FINAL P.E.-SEALED RETAINING WALL PLAN PROFILES AND DETAILS, OR AS DIRECTED BY THE WALL DESIGN ENGINEER.
 39. AT THE ELEVATIONS SHOWN ON THE FINAL PLANS, (AFTER THE UNITS, DRAINAGE MATERIAL AND BACKFILL HAVE BEEN PLACED TO THIS ELEVATION) THE GEOSYNTHETIC REINFORCEMENT SHALL BE LAID HORIZONTALLY ON COMPACTED INFILL AND ON TOP OF THE CONCRETE SRW UNITS, TO WITHIN 1 INCH OF THE FRONT FACE OF THE UNIT BELOW. EMBEDMENT OF THE GEOSYNTHETIC IN THE SRW UNITS SHALL BE CONSISTENT WITH SRW MANUFACTURER'S RECOMMENDATIONS. CORRECT ORIENTATION OF THE GEOSYNTHETIC REINFORCEMENT SHALL BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH THE GEOSYNTHETIC MANUFACTURER'S RECOMMENDATIONS. THE HIGHEST-STRENGTH DIRECTION OF THE GEOSYNTHETIC MUST BE PERPENDICULAR TO THE WALL FACE.
 40. GEOSYNTHETIC REINFORCEMENT LAYERS SHALL BE ONE CONTINUOUS PIECE FOR THEIR ENTIRE EMBEDMENT LENGTH. SPLICING OF THE GEOSYNTHETIC IN THE DESIGN-STRENGTH DIRECTION (PERPENDICULAR TO THE WALL FACE) SHALL NOT BE PERMITTED. ALONG THE LENGTH OF THE WALL, HORIZONTALLY ADJACENT SECTIONS OF GEOSYNTHETIC REINFORCEMENT SHALL BE BUTTED IN A MANNER TO ASSURE 100% COVERAGE PARALLEL TO THE WALL FACE.
 41. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOSYNTHETIC REINFORCEMENT. A MINIMUM OF 6 INCHES OF BACKFILL IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOSYNTHETIC. TURNING SHOULD BE KEPT TO A MINIMUM. RUBBER-TIRED EQUIPMENT MAY PASS OVER THE GEOSYNTHETIC REINFORCEMENT AT SLOW SPEEDS (LESS THAN 5 MPH).
 42. THE GEOSYNTHETIC REINFORCEMENT SHALL BE FREE OF WRINKLES PRIOR TO PLACEMENT OF SOIL FILL. THE NOMINAL TENSION SHALL BE APPLIED TO THE REINFORCEMENT AND SECURED IN PLACE WITH STAPLES, STAKES OR BY HAND TENSIONING UNTIL REINFORCEMENT IS COVERED BY 6 INCHES OF FILL.
 43. DRAINAGE AGGREGATE SHALL BE INSTALLED TO THE LINE, GRADES AND SECTIONS SHOWN ON THE FINAL P.E.-SEALED RETAINING WALL PLANS. DRAINAGE AGGREGATE SHALL BE PLACED TO THE MINIMUM THICKNESS SHOWN ON THE CONSTRUCTION PLANS BETWEEN AND BEHIND UNITS (A MINIMUM OF 1 CUBIC FOOT FOR EACH EXPOSED SQUARE FOOT OF WALL FACE UNLESS OTHERWISE NOTED ON THE FINAL WALL PLANS).
 44. DRAINAGE COLLECTION PIPES SHALL BE INSTALLED TO MAINTAIN GRAVITY FLOW OF WATER OUTSIDE THE REINFORCED-SOIL ZONE. THE DRAINAGE COLLECTION PIPE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE FINAL CONSTRUCTION DRAWINGS. THE DRAINAGE COLLECTION PIPE SHALL DAYLIGHT INTO A STORM SEWER OR ALONG A SLOPE, AT AN ELEVATION BELOW THE LOWEST POINT OF THE PIPE WITHIN THE AGGREGATE DRAIN. DRAINAGE LATERALS SHALL BE SPACED AT A MAXIMUM 50-FOOT SPACING ALONG THE WALL FACE.
 45. THE REINFORCED BACKFILL SHALL BE PLACED AS SHOWN IN THE FINAL WALL PLANS IN THE MAXIMUM COMPACTED LIFT THICKNESS OF 8 INCHES AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D 698) AT A MOISTURE CONTENT WITHIN -1% POINT TO +3% POINTS OF OPTIMUM. THE BACKFILL SHALL BE PLACED AND SPREAD IN SUCH A MANNER AS TO ELIMINATE WRINKLES OR MOVEMENT OF THE GEOSYNTHETIC REINFORCEMENT AND THE SRW UNITS.
 46. ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET OF THE BACK OF THE WALL UNITS. COMPACTION WITHIN THE 3 FEET BEHIND THE WALL UNITS SHALL BE ACHIEVED BY AT LEAST THREE PASSES OF A LIGHTWEIGHT MECHANICAL TAMPER, PLATE, OR ROLLER.
 47. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LEVEL OF BACKFILL AWAY FROM THE WALL FACING AND REINFORCED BACKFILL TO DIRECT WATER RUNOFF AWAY FROM THE WALL FACE.
 48. AT COMPLETION OF WALL CONSTRUCTION, BACKFILL SHALL BE PLACED LEVEL WITH FINAL TOP OF WALL ELEVATION. IF FINAL GRADING, PAVING, LANDSCAPING AND/OR STORM DRAINAGE INSTALLATION ADJACENT TO THE WALL IS NOT PLACED IMMEDIATELY AFTER WALL COMPLETION, TEMPORARY GRADING AND DRAINAGE SHALL BE PROVIDED TO ENSURE WATER RUNOFF IS NOT DIRECTED AT THE WALL NOR ALLOWED TO COLLECT OR POND BEHIND THE WALL UNTIL FINAL CONSTRUCTION ADJACENT TO THE WALL IS COMPLETED.
 49. SRW CAPS SHALL BE PROPERLY ALIGNED AND GLUED TO UNDERLYING UNITS WITH VERSA-LOK ADHESIVE. A FLEXIBLE, HIGH-STRENGTH CONCRETE ADHESIVE, RIGID ADHESIVE OR MORTAR ARE NOT ACCEPTABLE.
 50. CAPS SHALL OVERHANG THE TOP COURSE OF UNITS BY 3/4 INCH TO 1 INCH. SLIGHT VARIATION IN OVERHANG IS ALLOWED TO CORRECT ALIGNMENT AT THE TOP OF THE WALL.
 51. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION BY OTHERS ADJACENT TO THE WALL DOES NOT DISTURB THE WALL OR PLACE TEMPORARY CONSTRUCTION LOADS ON THE WALL THAT EXCEED DESIGN LOADS. EXCESSIVE LOADS SUCH AS WATER PRESSURE, TEMPORARY GRADES, OR EQUIPMENT LOADING, HEAVY PAVING OR GRADING EQUIPMENT SHALL BE KEPT A MINIMUM OF 3 FEET BEHIND THE BACK OF THE WALL FACE. EQUIPMENT WITH WHEEL LOADS IN EXCESS OF 150 PSF LIVE LOAD SHALL NOT BE OPERATED WITHIN 10 FEET OF THE FACE OF THE RETAINING WALL DURING CONSTRUCTION ADJACENT TO THE WALL. CARE SHOULD BE TAKEN BY THE GENERAL CONTRACTOR TO ENSURE WATER RUNOFF IS DIRECTED AWAY FROM THE WALL STRUCTURE UNTIL FINAL GRADING AND SURFACE DRAINAGE COLLECTION SYSTEMS ARE COMPLETED.
- BIOFILTRATION BASIN:**
1. BIOFILTRATION BASIN SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004: BIORETENTION FOR INFILTRATION AND THESE SPECIFICATIONS.
 2. ENGINEERED SOIL MIX SHALL CONSIST OF A MIX OF 70 TO 85% SAND AND 15 TO 30% COMPOST BASED ON VOLUME. SAND SHALL MEET THE REQUIREMENTS FOR FINE AGGREGATE SAND SPECIFIED SECTION 501.2.5.3.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION OR MEET ASTM C33 (FINE AGGREGATE CONCRETE SAND).
 3. PRIOR TO PLACEMENT IN THE BIOFILTRATION BASIN, THE ENGINEERED SOIL SHALL BE PREMIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.
 4. THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.
 5. ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER ONE INCH IN DIAMETER. NO OTHER MATERIALS SHALL BE MIXED WITH THESE PLANTING SOIL THAT MAY BE HARMFUL TO PLANT GROWTH OR BE A HINDRANCE TO PLANTING OR MAINTENANCE.
 6. ENGINEERED SOIL AND GRAVEL SHALL BE IN ACCORDANCE WITH THE LATEST WDNR TECHNICAL STANDARD 1004.
 7. PEA GRAVEL SHALL BE GRADED SUCH THAT MINIMUM PARTICLE SIZE IS LARGE ENOUGH TO PREVENT FALLING THROUGH PERFORATIONS OF THE UNDERDRAIN PIPE.
 8. BIOFILTRATION BASIN DRAIN PIPE: 6-INCH SCHEDULE 40 PVC PIPE MEETING PERFORATION REQUIREMENTS OF AASHTO M278 HIGHWAY UNDERDRAIN SPECIFICATIONS WITH 3/8" PERFORATIONS ON 6" CENTERS WITH 4 HOLES PER ROW.
 9. BEEHIVE INLET: NEENAH R-2561, OR EQUAL
 10. RISER STRUCTURE: 36" DIAMETER PRECAST CATCH BASIN STRUCTURE WITH 24" TOP OPENING TO ACCOMMODATE BEEHIVE INLET. IN GENERAL ACCORDANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
 11. GRAVEL STORAGE LAYER (IF INDICATED ON PLANS): COURSE AGGREGATE #2 IN ACCORDANCE WITH SECTION 501.2.5.4.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 12. FILTER FABRIC: GEOTEXTILE FABRIC IN ACCORDANCE WITH SECTION 645.2.2.4 OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 13. EXCAVATE TO GRADES AS INDICATED ON PLANS.
 14. CONSTRUCT TEMPORARY DIVERSION SWALES OR PROVIDE OTHER MEANS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS, AND RUNOFF FROM PREVIOUS AREAS WHICH HAVE NOT YET BEEN STABILIZED, FROM ENTERING THE BIORETENTION AREA.
 15. CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.
 16. COMPACTION AND SMEARING OF THE ENGINEERED SOIL AND TOP SOIL BENEATH THE FLOORS, IN THE SOIL PLANTING BED, AND THE SIDE SLOPES OF THE BASIN, AND COMPACTION OF THE ENGINEERED SOILS IN THE BASIN SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIOFILTRATION BASIN SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIOFILTRATION BASIN INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TYPE TIRES, MARSH EQUIPMENT OR WIDE-TRACK LOADERS.
 17. IF COMPACTION OCCURS AT THE BASE OF THE BIOFILTRATION BASIN, THE SOIL SHALL BE REFRACURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
 18. STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDING DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE UTILIZED.
 19. ANY SEDIMENT ACCUMULATED IN THE BASIN DUE TO CONSTRUCTION ACTIVITIES SHOULD BE REMOVED AND THE ENGINEERED SOIL SHALL BE DEEP TILLED PRIOR TO PLANTING.
 20. IMPERVIOUS LINER SHALL BE 45 MIL FIRESTONE EPDM (GSI PRODUCTS), OR 30 MIL PVC (GSI PRODUCTS), OR EQUAL.

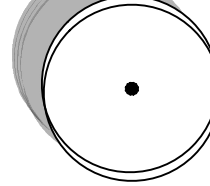
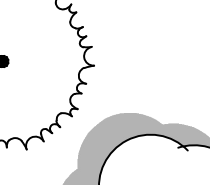
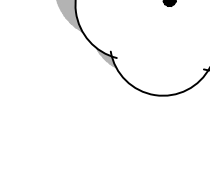
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PLOT DATE:	9/22/2022
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CHECKED BY:	----
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SHEET NO:	



LANDSCAPE LEGEND:

-  TURFGRASS SEED
-  HARDWOOD BARK MULCH PLANT BED
-  DECORATIVE STONE MULCH
-  NATIVE PRAIRIE SEED MIX
-  PLANT EDGING

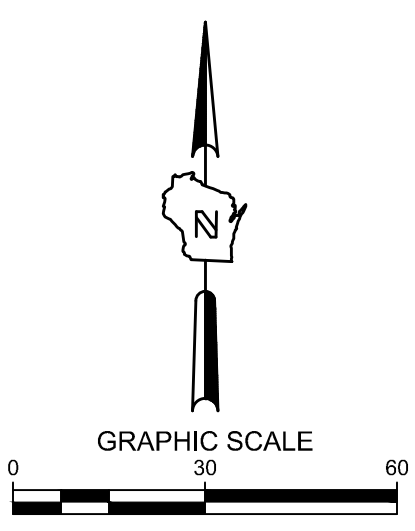
CONCEPT PLANT SCHEDULE

	CANOPY TREE Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple Gleditsia triacanthos inermis / Thornless Honey Locust Quercus bicolor / Swamp White Oak	33
	EVERGREEN TREE Picea glauca / White Spruce Pinus strobus / White Pine	21
	DECORATIVE TREE Amelanchier x grandiflora / Apple Serviceberry Malus x 'Purple Prince' / Purple Prince Crabapple	35
	CONCEPT HARDWOOD BARK MULCH PLANT BED PLANTINGS:	
	DECIDUOUS SHRUBS Diervilla lonicera / Dwarf Bush Honeysuckle Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	17
	EVERGREEN SHRUBS Thuja occidentalis 'Techny' / Techny Arborvitae	8
	ORNAMENTAL GRASSES Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass Panicum virgatum 'Northwind' / Northwind Switch Grass Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass Sesleria autumnalis / Autumn Moor Grass Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed	2,412
	PERENNIALS Hemerocallis x 'Happy Returns' / Happy Returns Daylily Nepeta x 'Walker's Low' / Walker's Low Catmint Rudbeckia fulgida / Coneflower Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage	1,817

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6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



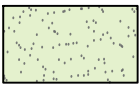

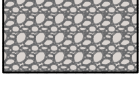

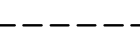
BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI
OVERALL LANDSCAPE PLAN

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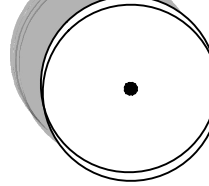
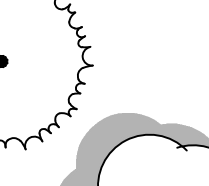
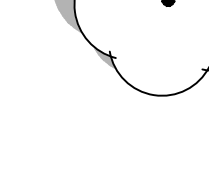
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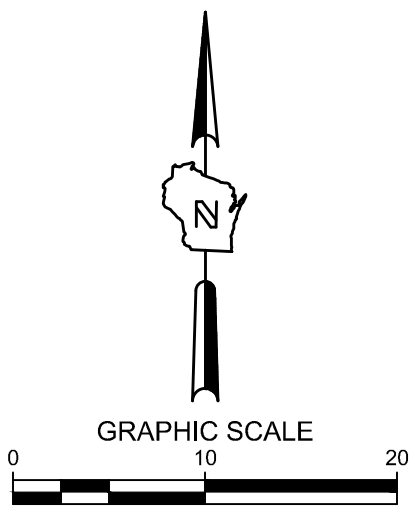
-  TURFGRASS SEED
-  HARDWOOD BARK MULCH PLANT BED
-  DECORATIVE STONE MULCH
-  NATIVE PRAIRIE SEED MIX
-  PLANT EDGING

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BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI

LANDSCAPE ENLARGEMENT

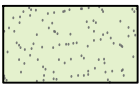
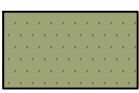
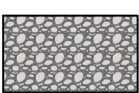

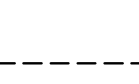
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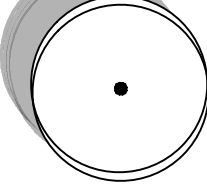
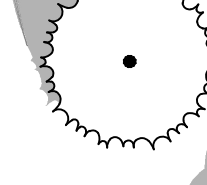
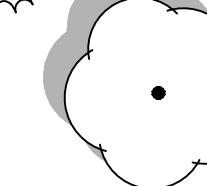
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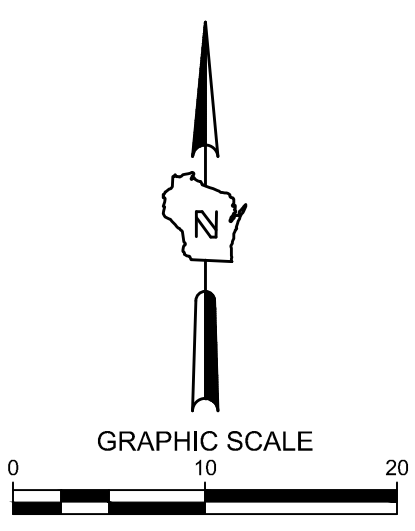
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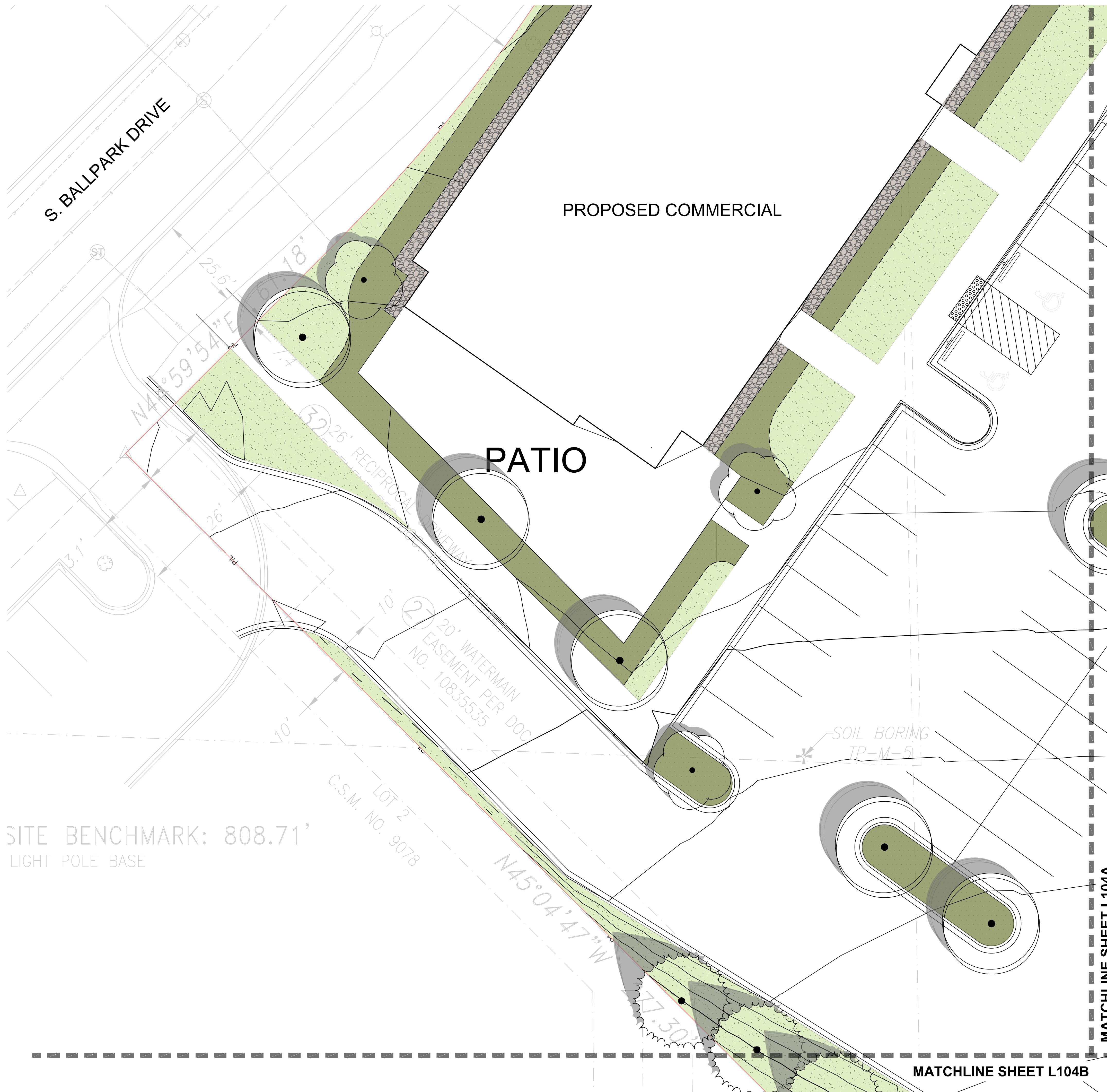
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6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.



BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI
LANDSCAPE ENLARGEMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	9/26/2022
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	L102



SITE BENCHMARK: 808.71'
 LIGHT POLE BASE

LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- DECORATIVE STONE MULCH
- NATIVE PRAIRIE SEED MIX
- PLANT EDGING

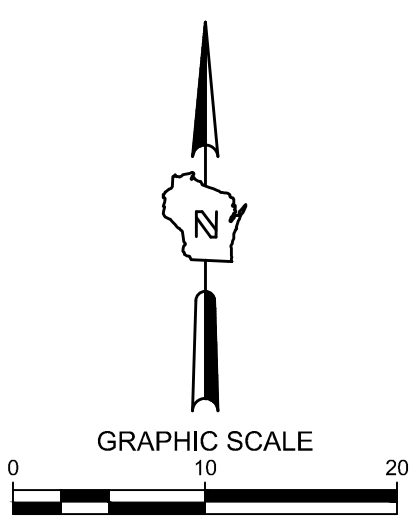
CONCEPT PLANT SCHEDULE

	CANOPY TREE Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple Gleditsia triacanthos inermis / Thornless Honey Locust Quercus bicolor / Swamp White Oak	33
	EVERGREEN TREE Picea glauca / White Spruce Pinus strobus / White Pine	21
	DECORATIVE TREE Amelanchier x grandiflora / Apple Serviceberry Malus x 'Purple Prince' / Purple Prince Crabapple	35
	CONCEPT HARDWOOD BARK MULCH PLANT BED PLANTINGS:	
	DECIDUOUS SHRUBS Diervilla lonicera / Dwarf Bush Honeysuckle Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	17
	EVERGREEN SHRUBS Thuja occidentalis 'Techny' / Techny Arborvitae	8
	ORNAMENTAL GRASSES Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass Panicum virgatum 'Northwind' / Northwind Switch Grass Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass Sesleria autumnalis / Autumn Moor Grass Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed	2,412
	PERENNIALS Hemerocallis x 'Happy Returns' / Happy Returns Daylily Nepeta x 'Walker's Low' / Walker's Low Catmint Rudbeckia fulgida / Coneflower Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage	1,817

LANDSCAPE GENERAL NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
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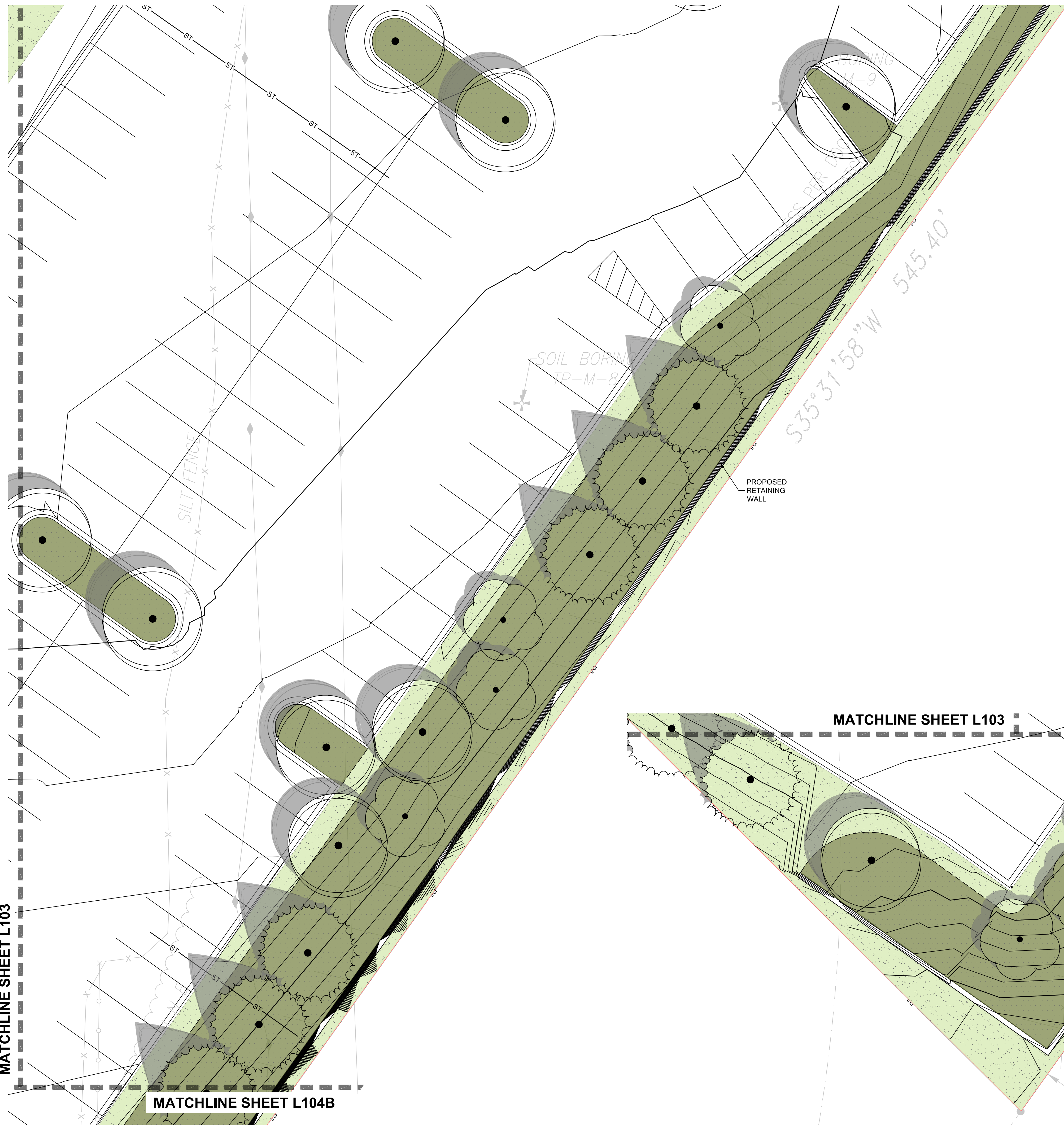
THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI
LANDSCAPE ENLARGEMENT

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	9/26/2022
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	L103

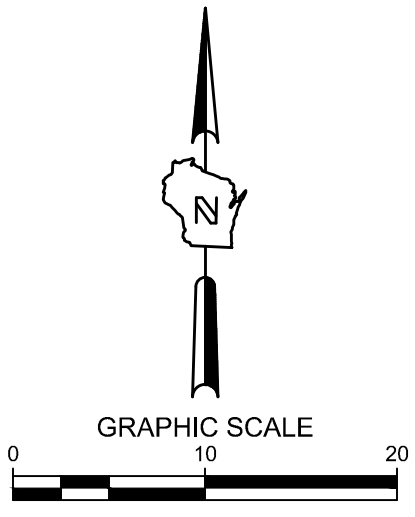


LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- DECORATIVE STONE MULCH
- NATIVE PRAIRIE SEED MIX
- PLANT EDGING

CONCEPT PLANT SCHEDULE

	CANOPY TREE Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple Gleditsia triacanthos inermis / Thornless Honey Locust Quercus bicolor / Swamp White Oak	33
	EVERGREEN TREE Picea glauca / White Spruce Pinus strobus / White Pine	21
	DECORATIVE TREE Amelanchier x grandiflora / Apple Serviceberry Malus x 'Purple Prince' / Purple Prince Crabapple	35
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	PERENNIALS Hemerocallis x 'Happy Returns' / Happy Returns Daylily Nepeta x 'Walker's Low' / Walker's Low Catmint Rudbeckia fulgida / Coneflower Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage	1,817



BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI

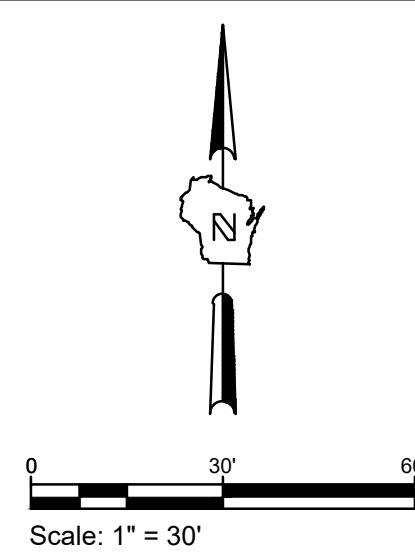
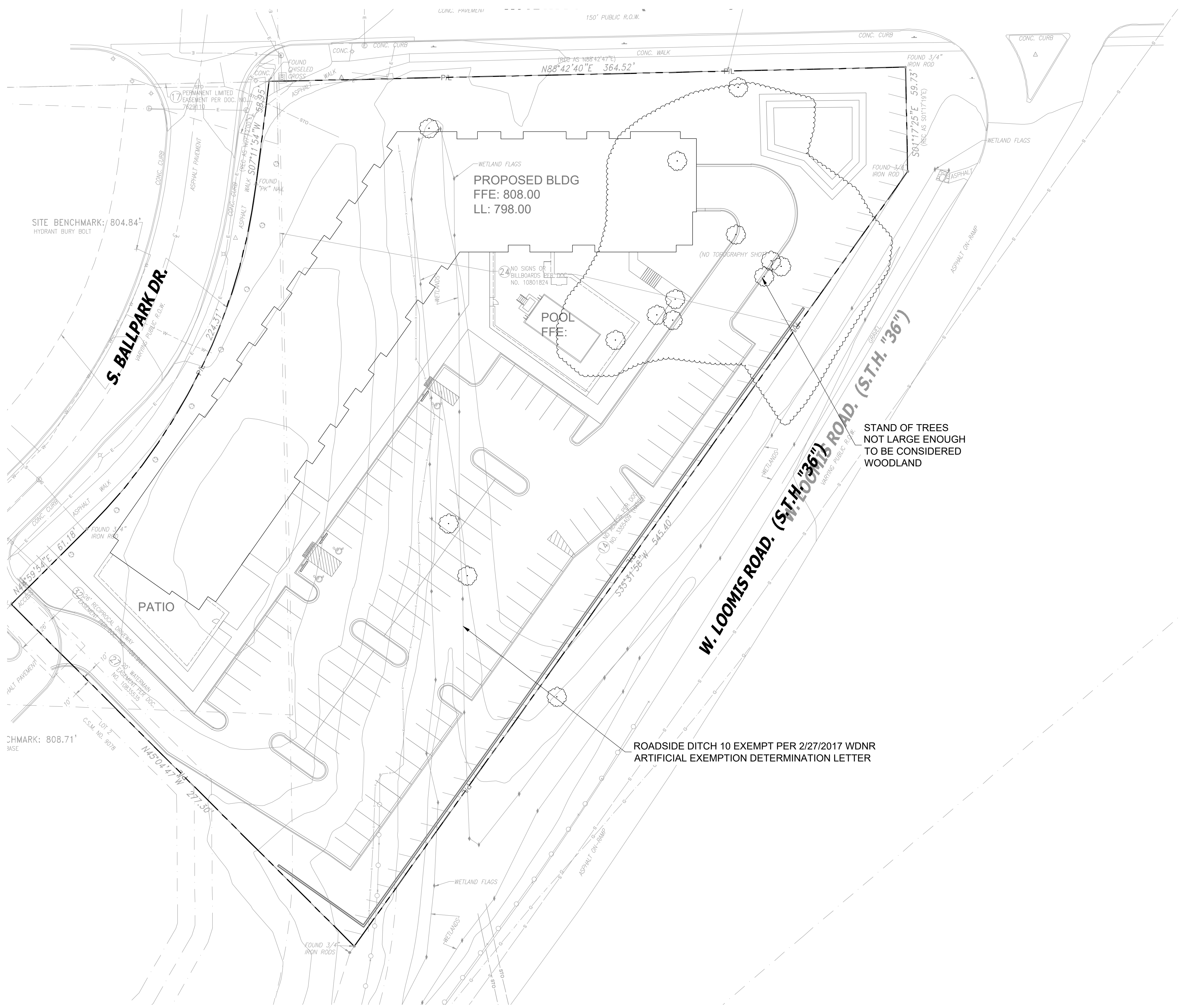
LANDSCAPE ENLARGEMENT

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

LANDSCAPE GENERAL NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
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6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	9/26/2022
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	L104



BALLPARK COMMONS M1
8240 OLD LOOMIS RD
FRANKLIN, MILWAUKEE COUNTY, WI
NATURAL RESOURCE PROTECTION PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

NATURAL RESOURCE FEATURE AREAS					
RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER	WETLAND SETBACK
TOTAL AREA:	0 AC	0 AC	0 AC	0 AC	0 AC
AREA TO BE DISTURBED: (TEMPORARY)			0 SF	0 SF	0 SF
AREA TO BE DISTURBED: (IMPERVIOUS)	0 SF	0 SF	0 SF	0 SF	0 SF

*WETLAND EXEMPT PER 2/27/2017 WDNR ARTIFICIAL EXEMPTION DETERMINATION LETTER

TOTAL PROJECT AREA: (3.11 ACRES) NATURAL RESOURCE MITIGATION AREAS				
RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER
AREA DISTURBED	0 SF (0 AC) (0%)	0 SF (0 AC) (0%)	0 SF (0 AC) (0%)	0 SF (0 AC) (0%)
MITIGATION RATIO	1.25 : 1.00	1.25 : 1.00	1.50 : 1.00	1.50 : 1.00
MITIGATION AREA REQUIRED	0 SF	0 SF	0 SF	0 SF
MITIGATION AREA PROVIDED				

SCALE:	
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	9/28/2022
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	EX2

ALTA/NSPS LAND TITLE SURVEY

CLIENT: Mandel Group
SITE ADDRESS: 8240 Old Loomis Road, Franklin, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION: Lot 1 of Certified Survey Map No. 9078 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on October 16, 2018 as Document No. 10820171, being a revision of Lots 3 and 4 of Certified Survey Map No. 9042 and lands in the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.
Property Address: South Ballpark Drive, Franklin, WI 53132
Tax Key Number: 754-9006-000

BASIS OF BEARINGS: Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the North line of the NE 1/4 bears N88°42'40"E. (NAD-83)
-Vertical Datum is based on NAVD-88

TITLE COMMITMENT: This survey was prepared based on Knight Barry Title Company File No. 2160432, effective date of July 5, 2022 which lists the following easements and/or restrictions from schedule B-II:

1, 5, 6, 7, 8, 11 & 12 visible evidence shown, if any.
2, 3, 4, 9, 10, 18, 34, 35 & 36 not survey related.

13. Easement granted to the Milwaukee Electric Railway and Light Company and other matters contained in the instrument recorded April 12, 1927 as Document No. 1511209. **Does not affect property by location.**
14. Limitations imposed upon ingress to and egress from the Land to Loomis Road/SHT 36, including ramps and connection roads on the right of way thereof, as set forth in a finding, determination and declaration by the State Highway Commission of Wisconsin, dated December 15, 1954, and recorded December 22, 1954 as Document No. 3355409, wherein said highway is designated as a controlled-access highway under the provisions of Section 84.25 of the Wisconsin Statutes. **Affects property by location, shown.**
15. Easement for Highway Purposes granted to Milwaukee County and other matters contained in the instrument recorded March 3, 1955 as Document No. 3373065. **Does not affect property by location.**
16. Award of Damages for Highway Easement and other matters contained in the instrument recorded April 27, 1955 as Document No. 3387639. **Does not affect property by location, shown.**
17. Permanent Limited Easement granted to Milwaukee County and other matters contained in the instrument recorded November 6, 1998 as Document No. 7623110. **Affects property by location, shown.**
19. Restrictive Covenant Agreement (Hotel) and other matters contained in the instrument recorded February 19, 2018 as Document No. 10753254. **Affects property by location, shown.**
20. Memorandum of Development Agreement and other matters contained in the instrument recorded February 23, 2018 as Document No. 10754624. As affected by First Amendment to Tax Incremental District No. 5 Development Agreement and other matters contained in the instrument recorded December 28, 2018 as Document No. 10827885. As further amended by Memorandum of Second Amendment to Development Agreement by and between BPC Master Developer, LLC, a Wisconsin limited liability company and the City of Franklin and other matters contained in the instrument recorded October 21, 2019 as Document No. 10918527. **Affects property by location, blanket in nature.**

21. Covenants, conditions and restrictions relating to the grant of a Special Exception to certain Natural Resource provisions of the City of Franklin Unified Development Ordinance and other matters contained in the Standards, Findings and Decision of the City of Franklin Common Council recorded February 21, 2019 as Document No. 10755142. **Affects property by location, blanket in nature.**
22. Easements, restrictions and other matters shown on Certified Survey Map No. 9042 recorded June 14, 2018 as Document No. 10785127. As affected by Termination of Proposed Easements by the City of Franklin recorded October 21, 2019 as Document No. 10918527. As further affected by that certain Affidavit of Correction by the City of Franklin recorded October 21, 2019 as Document No. 10918528. **Affects property by location, general in nature.**
23. Covenants, conditions and restrictions relating to the grant of a Special Exception to certain Natural Resource provisions of the City of Franklin Unified Development Ordinance and other matters contained in the Standards, Findings and Decisions of the City of Franklin Common Council recorded July 31, 2018 as Document No. 10798665. **Affects property by location, blanket in nature.**
24. Covenants, conditions and restrictions relating to advertising signs and billboards and reservation of existing public and private utilities and public recreational trails as set forth in Quit Claim Deed recorded August 8, 2018 as Document No. 10801824. **Affects property by location, shown.**
25. Easements, restrictions and other matters shown on Certified Survey Map No. 9078 recorded October 16, 2018 as Document No. 10827885. As affected by Termination of Proposed Easements by the City of Franklin recorded October 21, 2019 as Document No. 10918527. **Affects property by location, not shown due to termination of said easements, restrictions and other matters per Doc. No. 10918527.**

26. Terms, conditions, provisions, assessments, easements and other matters contained in the Master Declaration of Covenants, Conditions and Restrictions for Ballpark Commons recorded December 18, 2018 as Document No. As amended by First Supplement to Master Declaration of Covenants, Conditions and Restrictions for Ballpark Commons by and between BPC County Land, LLC and Zim-Mar Properties, LLC recorded October 21, 2019 as Document No. 10918537. As further amended by Second Supplement to Master Declaration of Covenants, Conditions and Restrictions for Ballpark Commons by and between BPC County Land, LLC, Zim-Mar Properties, LLC, River Rock Performance Properties, LLC, Franklin RE, LLC and Velo Village Apartments LLC recorded April 9, 2020 as Document No. 10967772. **Affects property by location, blanket in nature.**
27. Water Main Easement and other matters shown on Certified Survey Map No. 9042 recorded June 14, 2018 as Document No. 10785127. As affected by Termination of Proposed Easements by the City of Franklin recorded October 21, 2019 as Document No. 10918527. **Affects property by location, shown.**
28. Temporary Construction Easement Agreement by and between Franklin RE, LLC, a Wisconsin limited liability company and Zim-Mar Properties, LLC, a Wisconsin limited liability company and other matters contained in the instrument recorded December 18, 2018 as Document No. 10835566. **Affects property by location, blanket in nature.**
29. Grant of Easement Agreement to Charter Cable Partners, LLC d/b/a Charter Communications recorded May 20, 2019 as Document No. 10871930. **Does not affect property by location.**
30. Covenants, conditions, burdens, restrictions, right of reversion and other matters contained in the Quit Claim Deed recorded October 9, 2019 as Document No. 10914901. As affected by (Partial) Release of Deed Restrictions recorded November 14, 2019 as Document No. 10926531. **Does not affect property by location.**
31. Maintenance Agreement: South Ballpark Drive by and between Zim-Mar Properties, LLC and Velo Village Apartments LLC and other matters contained in the instrument recorded October 22, 2019 as Document No. 10919058. **Affects property by location, blanket in nature.**
32. Declaration of Reciprocal Driveway Area Easements by and between Zim-Mar Properties LLC and Franklin RE, LLC and other matters contained in the instrument recorded October 23, 2019 as Document No. 10919441. **Affects property by location, shown.**
33. Sign Easement Agreement by and between Zim-Mar Properties, LLC, a Wisconsin limited liability company, Velo Village Apartments LLC, a Wisconsin limited liability company and Franklin RE, LLC, a Wisconsin limited liability company and other matters contained in the instrument recorded April 4, 2022 as Document No. 11233473. **Does not affect property by location.**

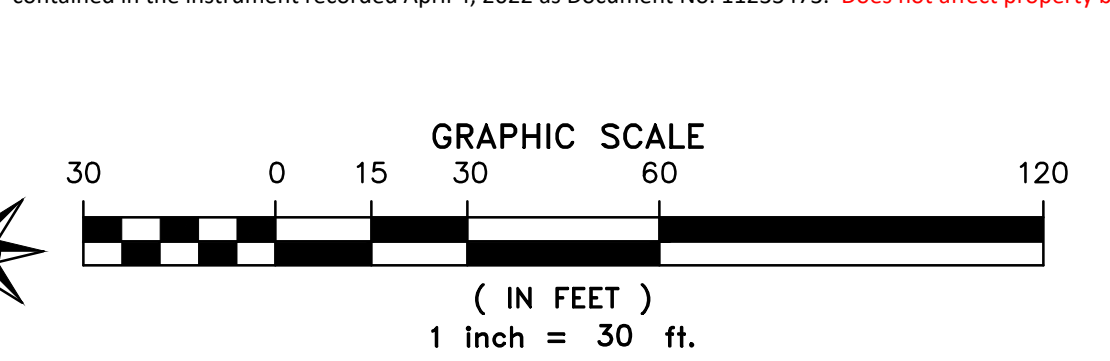
ENCROACHMENT TABLE

A	ASPHALT WALK 1.3' EAST OF PROPERTY LINE
---	---

NOTE: Wetlands delineated by Helainthus, LLC, August 15, 2022

LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- ⊕ INDICATES FOUND CHISELED CROSS
- ⊙ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR VENT
- ⊙ SEPTIC TANK ACCESS COVER
- ⊙ UNKNOWN MANHOLE
- ⊙ STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- ⊕ CURB INLET
- ⊕ STORM SEWER END SECTION
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER MANHOLE
- ⊕ WATER SERVICE CURB STOP
- ⊕ WELL HEAD
- ⊕ STAND PIPE
- ⊕ WALL INDICATOR VALVE
- ⊕ POST INDICATOR VALVE
- ⊕ LIGHT POLE
- ⊕ SPOT/YARD LIGHT
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE PEDESTAL
- ⊕ CONTROL BOX
- ⊕ FIBER OPTIC PEDESTAL/SIGN
- ⊕ TRAFFIC LIGHT
- ⊕ COMMUNICATION MANHOLE
- ⊕ BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG
- ⊕ MARSH
- ⊕ FLAGPOLE
- ⊕ PARKING METER
- ⊕ SIGN
- ⊕ MAILBOX
- ⊕ RAILROAD CROSSING SIGNAL
- ⊕ HANDICAP SPACE
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED FIBER OPTIC
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE



TO: Mandel Group
Knight Barry Title Group

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 13, 14, 16, 17, 18, 19, 20(a) and 20(b) of Table A thereof. The field work was completed on August 5, 2022.

Date of Map: August 11, 2022
DONALD C. CHAPUT
S-1316
MILWAUKEE
WI
LAND SURVEYOR
Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

Date	Revision description	
8/24/2022	Wetlands added	dmb

CHAPUT LAND SURVEYS
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com
This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or other applicable laws. The information shown hereon is intended solely for the use of the client and client directed third parties. Drawing No. 3866-dmb

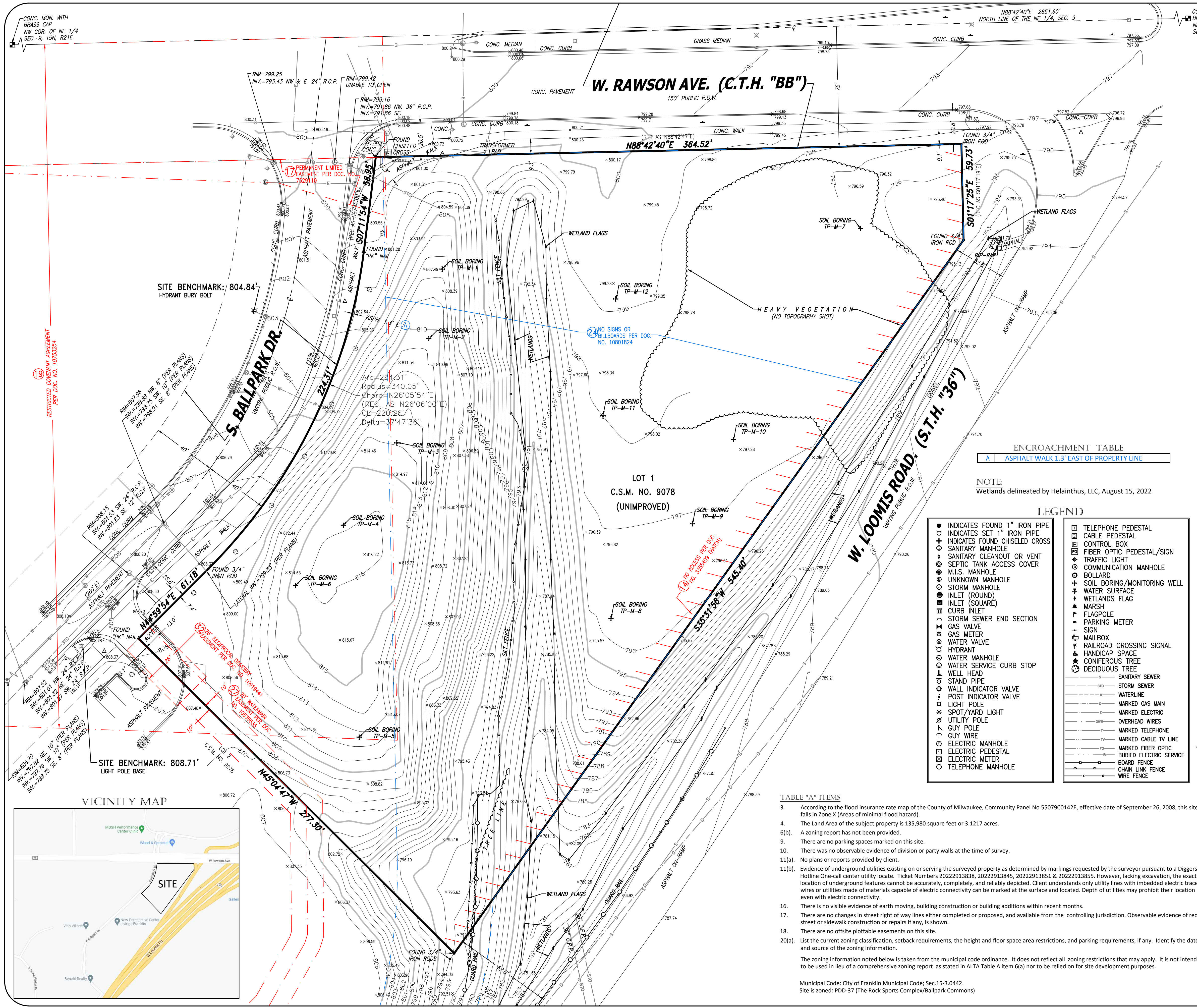


TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Milwaukee, Community Panel No.55079C0142E, effective date of September 26, 2008, this site falls in Zone X (Areas of minimal flood hazard).
- The Land Area of the subject property is 135,980 square feet or 3.1217 acres.
- A zoning report has not been provided.
- There are no parking spaces marked on this site.
- There was no observable evidence of division or party walls at the time of survey.
- No plans or reports provided by client.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Numbers 20222913838, 20222913845, 20222913851 & 20222913855. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- There is no visible evidence of earth moving, building construction or building additions within recent months.
- There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
- There are no offsite plottable easements on this site.
- List the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements, if any. Identify the date and source of the zoning information.

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A Item 6(a) nor to be relied on for site development purposes.

Municipal Code: City of Franklin Municipal Code: Sec.15-3-0402.
Site is zoned: PDD-37 (The Rock Sports Complex/Ballpark Commons)

CONC. MON. WITH BRASS CAP NW COR. OF NE 1/4 SEC. 9, T5N, R21E.

CONC. MON. WITH BRASS CAP NE COR. OF NE 1/4 SEC. 9, T5N, R21E.

CHAPUT LAND SURVEYS

Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	3.12 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (-) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	0 acres
STEP 5:	Equals "Base Site Area"	= 3.12 acres

Table 15-3.0503

WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	0
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	0
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> 0 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0504

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR RESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>3.12</u></p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.25</u></p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	<p>0.78 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>3.12</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: <u>0</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p>2.34 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>2.34</u></p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>35</u></p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	<p>81.9 D.U.s</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>3.12</u></p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>35</u></p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	<p>109.2 D.U.s</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p>81 D.U.s</p>

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

STEP 1:	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 3.12 </u></p> <p>Multiple by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u> 0.25 </u></p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p>0.78 acres</p>
STEP 2:	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 0.78 </u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u> 0.78 </u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	
STEP 3:	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u> 2.34 </u></p> <p>Multiple by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u> N/A* </u></p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p>acres</p>
STEP 4:	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u> 3.12 </u></p> <p>Multiple by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u> N/A* </u></p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p>acres</p>
STEP 5:	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p>acres</p> <p>(<u> </u> s.f.)</p>

* No NFAR or GFAR is provided in PDD 37 Section 15-3.0442C Ballpark Commons Mixed Use Area.

Legal Description

Lot 1 of Certified Survey Map No. 9078 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on October 16, 2018 as Document No. 10820171, being a redivision of Lots 3 and 4 of Certified Survey Map No. 9042 and lands in the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

For informational purposes only:

Property Address: South Ballpark Drive, Franklin, WI 53132

Tax Key Number: 754-9006-000



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION
Meeting of December 1, 2022

Item C.2.

New Planned Development District and Comprehensive Master Plan

RECOMMENDATION: City Development staff recommends to table these requests for Planned Development District and Comprehensive Master Plan amendment until the applicant provides additional information, see list in page 6.

Project name:	The Retreat mixed use development
Property Owner:	RAWSON-LOOMIS LLC
Applicant:	Wetland Treehouse LLC.
Agent:	Emily Cialdini. Mandel Group, Inc.
Property Address/TKN:	8301 W Old Loomis Rd / 755 9997 000
Aldermanic District:	District 2
Zoning District:	R-6 Suburban Single-Family Residence District and C-1 Conservancy District
Staff Planner:	Régulo Martínez-Montilva, AICP, Principal Planner
Submittal date:	10-06-2022
Application number:	PPZ22-0172/73

Introduction

The applicant is proposing to create a new Planned Development District for The Retreat mixed use development and to amend the future land use designation of the comprehensive plan for the subject site to Mixed Use. The Retreat has 2 development areas: commercial and residential. The commercial area consists of 3 lots to be served by the proposed extension of Terrace Drive parallel to Loomis Road. The residential area has a total of 358 dwelling units (344 apartments and 14 townhouses), a total of 622 parking stalls, as well as a clubhouse and other residential amenities.

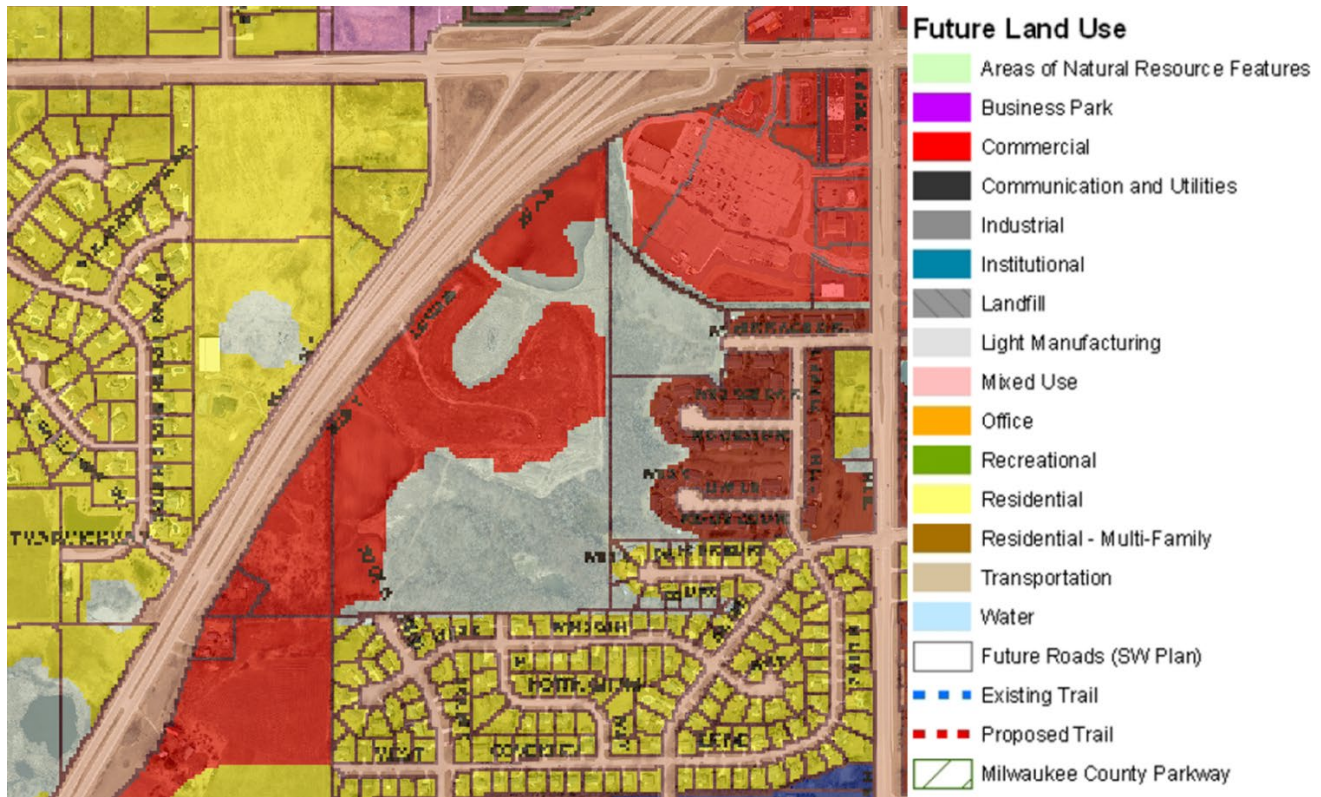
The applicant presented a Concept Review before the Common Council on October 4, 2022.

COMPREHENSIVE MASTER PLAN AMENDMENT

This 51.61-acre site is designated as Commercial and Area of Natural Resource Features in the Future Land Use Map of the City of Franklin 2025 Comprehensive Master Plan, the applicant is requesting to change the land use designation to Mixed Use.

This site is located in Planning Area D of the comprehensive plan (see appendix 1), which is an opportunity for “Commercial development along the east side of Loomis Road, with housing that transitions to existing neighborhoods to the east, and residential along the west side of Loomis Road, represent a significant opportunity to future development in the City” (Land Use chapter, page 5-43). The proposed development with commercial outlots along Loomis Road and housing as a transition to

existing residential development is consistent with the development opportunity identified in the comprehensive plan.



Future Land Use Map of the 2025 Comprehensive Master Plan of the City of Franklin Site and surrounding areas, not including recent amendments such as Ballpark Commons (now Mixed Use).

The Retreat is considered as a horizontal mixed-use development which is the combination of “single-use buildings on distinct parcels in a range of land uses in one planned development project” (Comprehensive plan, Land Use Chapter, page 5-49).

The future land use designation of the comprehensive plan for this site is Commercial and Areas of Natural Resource Features, to be changed to Mixed Use. Regarding the Commercial Area, City Development staff has no objections to change this area to Mixed Use because this area is labeled as “Potential Commercial or Mixed Use Development” in Map 5.6 “Potential Development Areas” of the comprehensive plan (see appendix 2). On the other hand, staff recommends to maintain the Area of Natural Resource Features designation because the southeast portion of this site is identified as an Isolated Natural Resource Area in Map 5.5 “Environmentally Sensitive Areas” of the comprehensive plan (see appendix 3).

PLANNED DEVELOPMENT DISTRICT

The applicant is seeking “general approval” for a new Planned Development District (PDD), to allow for 358 apartments, 2.52 acres of retail outlets, a public street connecting terrace drive with Loomis Road, private drives to serve 10 multi-family buildings, 2 townhouse clusters and a clubhouse. If approved, this development would be PDD No. 41.

Per Unified Development Ordinance (UDO), Section 15-9.0208.E.7.b.(1), PDD applications for general approval “need not necessarily be completely detailed at the time of rezoning provided they are of sufficient detail to satisfy the Plan Commission and Common Council as to the general character, scope, and appearance of the proposed development. Such preliminary plans shall designate the pattern of the proposed streets, and the size and arrangement of individual building sites”.

Project Analysis:

UDO Table 15-3.0402C establishes maximum intensity and density measures for Planned Development Districts:

Table 15-3.0402C						
PDD Planned Development District Maximum Intensity and Density Measures						
General Use Type	Residential Standards			Non-Residential Standards		
	Minimum Open Space Ratio (OSR)	Maximum Gross Density (GD)	Maximum Net Density (ND)	Minimum Landscape Surface Ratio (LSR)(b)	Maximum Gross Floor Area Ratio (GFAR)	Maximum Net Floor Area Ratio (NFAR)
Residential (a)	0.35	6.10	8.00	N/A	N/A	N/A
Office	N/A	N/A	N/A	0.45	0.23	0.42
Commercial Retail Sales and Service	N/A	N/A	N/A	0.45	0.31	0.57
Industrial	N/A	N/A	N/A	0.45	0.50	0.91
Mixed Compatible Uses	(c)	(c)	(c)	(c)	(c)	(c)

Notes:

N/A = Not Applicable

- (a) Plan Commission and Common Council may approve of densities over the stated GD or ND with the provision the development meets a community purpose, such as residential housing for older persons.
- (b) See Alternative Minimum Landscape Surface Ratio (LSR) with Required Mitigation (See § 15-5.0302E).
- (c) Apply the appropriate standard for each individual land use type and its corresponding site area as listed in this Table.

The proposed development is exceeding the following intensity and density standards:

- Commercial Area.
 - **Landscape Surface Ratio (LSR).** The applicant is proposing 0.10 while the minimum LSR is 0.45. Note (b) refers to the alternative minimum LSR which requires an increase of the minimum quantity of required trees and shrubs to be planted. However, in most business zoning districts the alternative minimum LSR is a reduction of 0.10, therefore, the proposed LSR is still below an alternative LSR of 0.35.
 - **Floor Area Ratio (FAR).** The proposed net FAR is 0.75 and gross FAR is 0.70, both ratios exceed the maximum measures of 0.31 and 0.57.
- Residential Area.
 - **Density.** The proposed gross density (GD) of 12 du/ac (dwelling units per acre) and net density (ND) of 30 du/ac far exceed the maximum densities of 6.10 du/ac and 8.00 du/ac. As

noted in the table, “Plan Commission and Common Council may approve of densities over the stated GD or ND with the provision the development meets a community purpose, such as residential housing for older person”, this was the case for the Multi-family residential area of Ballpark Commons (PDD No. 37) which includes a senior housing buildings and the approved GD and ND is 16.00 du/ac. However, The Retreat development does not include senior housing facilities.

Note that the maximum yield of this site with the proposed densities is 558 dwelling units per applicant’s calculations and the Concept Plan (exhibit A) indicates a total of 358 dwelling units. It is worth noting that a lower net density, approximately 20 du/ac, would work for the proposed units.

Regarding natural resource protection, the Natural Resource Protection Plan indicates impacts to protected natural resources, specifically mature woodlands, wetlands, wetland buffers and wetland setbacks. Only the impact to mature woodlands meet the protections standards of UDO Table 15-4.0100, the applicant is proposing to impact 7.5% of the mature woodlands area and the maximum impact is 30%. This table provides a protection standard of 100% for wetlands and associated buffers and setbacks, therefore, the applicant must obtain approval of Natural Resource Special Exception prior to disturbing these natural resource features, see condition of approval no. 6.

The West Shore pipeline, a hazardous liquid pipeline, runs close to the property line along Loomis Road, the applicant shall coordinate with pipeline operator the appropriate setbacks and safety measures when preparing detailed plans for future land division or site plans for individual sites.

Basis for approval:

Pursuant to UDO Section 15-9.0208.E “PDD Planned Development District Procedures”, the Plan Commission in making its recommendation, and the Common Council in making its determination, shall give consideration to the following:

1. *Intent to Start Construction Within a Reasonable Period. That the applicant for the proposed PDD Planned Development District has demonstrated that the applicant intends to start construction within a reasonable period following the approval of the change in zoning districts and that the development will be carried out according to a reasonable construction schedule satisfactory to the City.*

Staff comment: the applicant stated that the anticipated construction start is for October 2023 (project narrative, page 18).

2. *Consistency with Unified Development Ordinance and Comprehensive Master Plan Required. The Plan Commission in making its recommendations, and the Common Council in making its determination, shall further find that:*

- a. *The proposed site shall be provided with adequate drainage facilities for surface and storm water.*

Staff comment: stormwater management plans shall be subject to review by the Engineering Department, see condition of approval no. 5.

- b. *The proposed site shall be accessible from public roads that are adequate to carry the traffic that will be imposed upon them by the proposed development.*

Staff comment: the applicant is proposing an offsite public connection to Terrace Drive, and access point to Loomis Road (subject to approval by the Department of Transportation); and an emergency access to S. 82nd Street. City Development staff recommends a cross-access connection to the adjacent property to the west based on UDO Section 15-5.0104, public comments and input from the Wisconsin Department of Transportation (see appendix 4).

The referenced section states that the distance between street intersections along arterial roads (Loomis Rd.) shall not be less than 1,200 feet. The frontage of the adjacent property is approximately 860 feet, future direct access to Loomis Rd. for such site would not conform to this requirement. City Development staff acknowledges that access to Loomis Road is subject to approval by the Wisconsin Department of Transportation.

The proposed street layout does not comply with the minimum separation of 150 feet between minor streets and limited access highways required by UDO Section 15-5.0102.B, see figure below. Per submitted plans, the distance between Loomis Road and Terrace Drive is approximately 110 feet. However, given the presence of wetlands next to the proposed Terrace Drive, the applicant may consider to apply for a land division variance from this requirement.

Figure 15-5.0102

STREETS SERVING COMMERCIAL AND INDUSTRIAL PROPERTIES WHICH ABUT A LIMITED ACCESS HIGHWAY



- c. *The proposed development shall not impose any undue burden on public services and facilities, such as fire and police protection.*

See note from the Fire Department.

NOTE: The Fire Department is NOT adequately staffed to absorb the impact on emergency and non-emergency call volume associated with the additional 1,030 residences associated with this and other related planned residential developments, associated commercial and vehicle traffic, and required fire inspection work-load; in addition to the ongoing high-density single family development in the southwest quadrant and multifamily development along the south 27th Street corridor.

d. *The streets and driveways on the site of the proposed development shall be adequate to serve the residents of the proposed development and shall meet the minimum standards of all applicable ordinances of the City.*

Staff comment: the applicant has not provided details of the proposed public street, such as cross sections. This item shall be subject to further review in the land division process.

e. *Water and sewer facilities shall be provided.*

Staff comment: the applicant is proposing water and sewer connections to Terrace Drive and S. 82nd Street, utility plans shall be subject to review by the Engineering Department.

f. *The application for a PDD Planned Development District shall be filed jointly by all of the owners of all of the lands to be included in the Planned Development District.*

Staff comment: applicant submitted property owner authorization.

Staff Recommendation:

City Development staff recommends to table these requests for Planned Development District and Comprehensive Master Plan amendment until the applicant provides the following information:

1. Comprehensive master plan amendment exhibit/plan outlining the mixed use area for development and areas of natural resource features for conservation with metes and bounds descriptions of both areas.
2. Revised intensity and density measures attesting compliance with the Unified Development Ordinance (UDO) Table 15-3.0402C.
3. Revised site plan depicting a cross-access connection or easement to the adjacent property to the west.

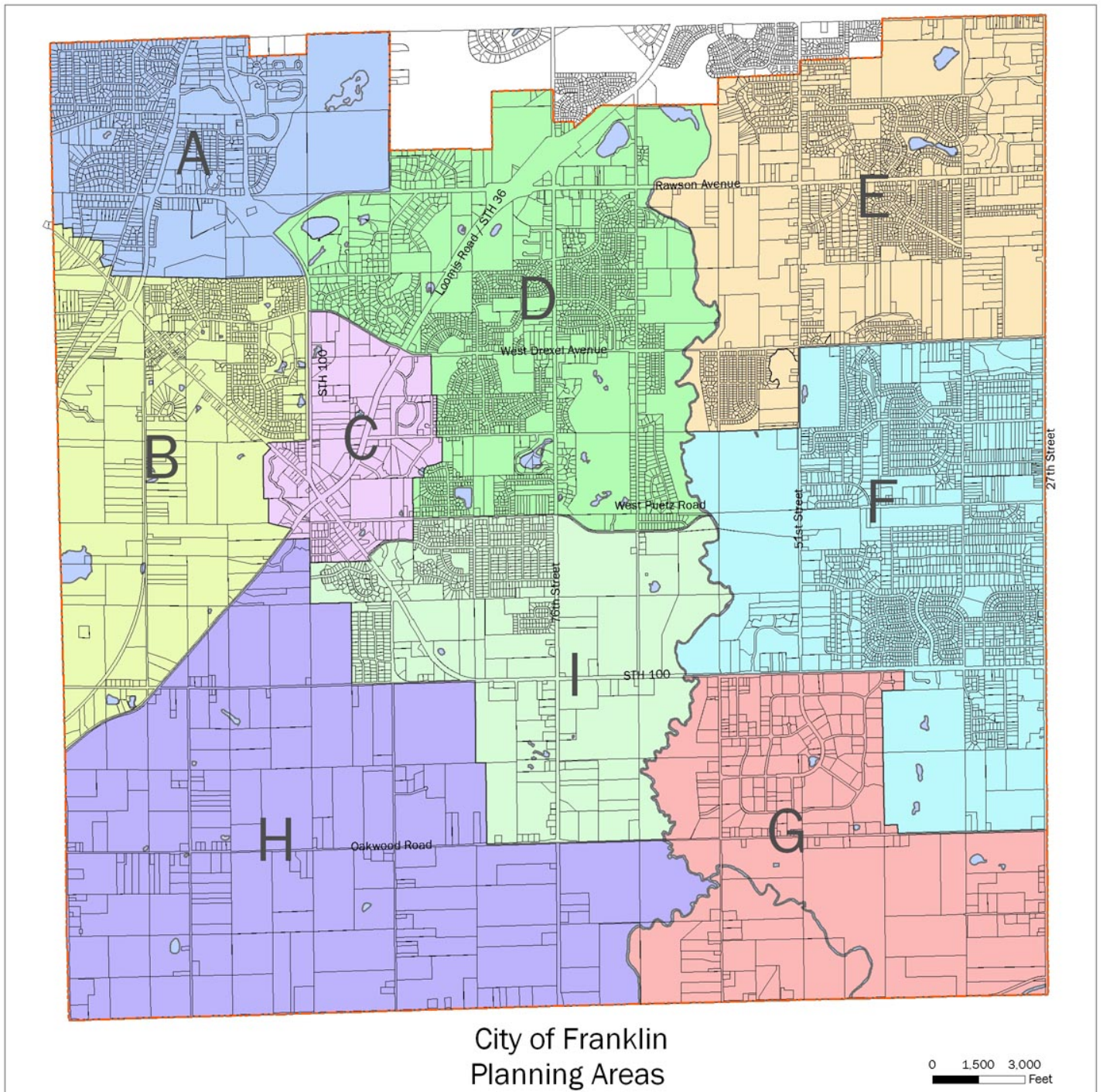
It is also suggested to table these applications until input from the school district is received given the significant number of residential units proposed by the applicant.

Should the Plan Commission wish to recommend approval of these applications. Draft ordinances and resolution with conditions of approval are attached to this packet.

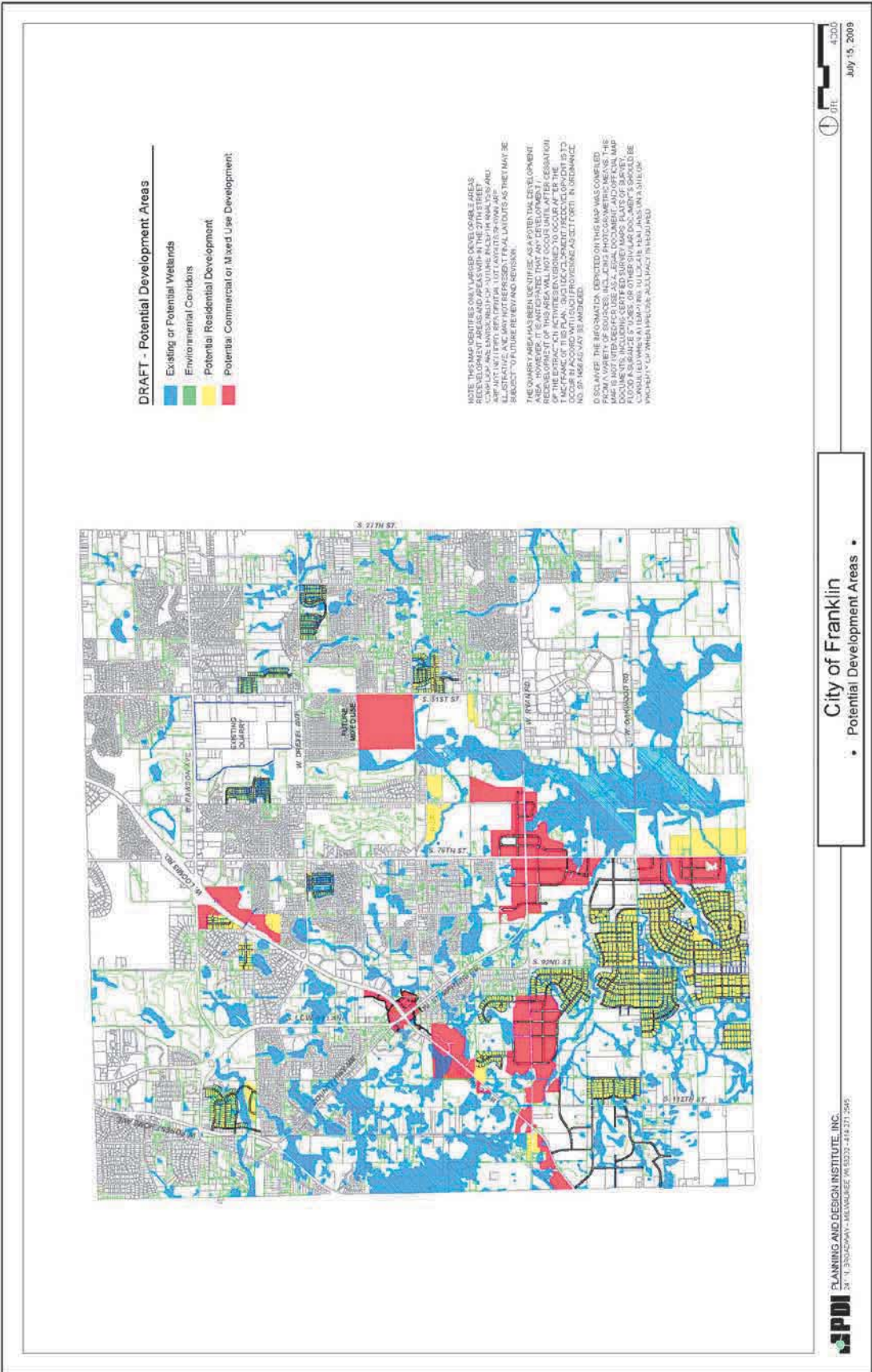
Appendices list:

1. Planning Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Issues and Opportunities chapter, Map 2.2.
2. Potential Development Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Land Use chapter, Map 5.6.
3. Environmentally Sensitive Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Land Use chapter, Map 5.5.
4. E-mail from adjacent property owner (8495 W. Loomis Rd.), received on November 2, 2022; and e-mail from the Wisconsin Department of Transportation received on November 18.

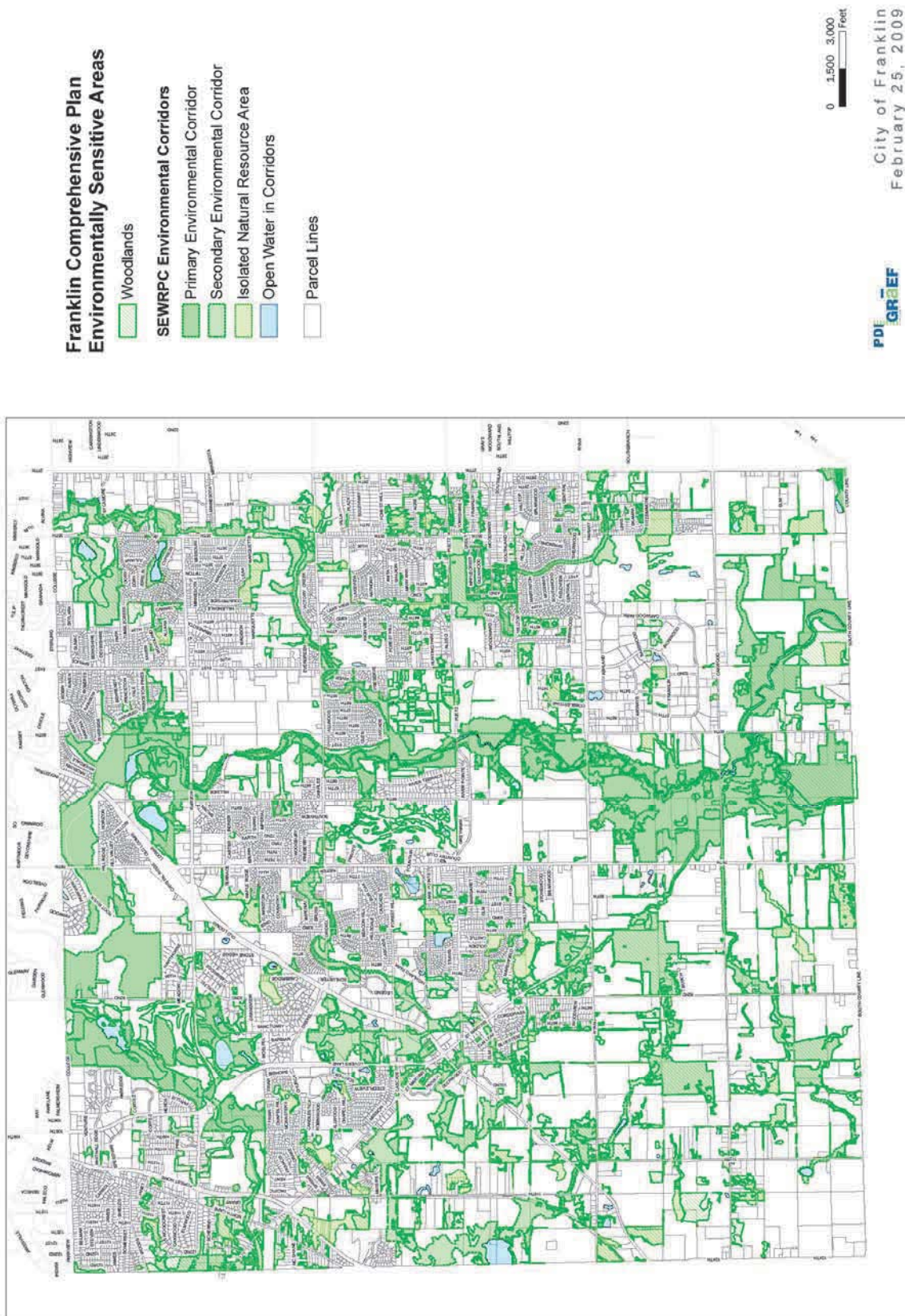
MAP 2.2: Planning Areas Map



Map 5.6: Potential Development Areas



Map 5.5: Environmentally Sensitive Areas



Regulo Martinez-Montilva

From: Linda De Arteaga <lucyfrenzel2@gmail.com>
Sent: Wednesday, November 2, 2022 7:10 PM
To: Regulo Martinez-Montilva
Subject: Re: Loomis -Rawson -Retreat

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Mr. Martinez- Montilva,

Today I spoke with Art Baumann at DOT. He said DOT's plan is to make the only access point to my family's property (8495 W. Loomis) be along or close to the property line with 8301 W Loomis Rd.-The Retreat. He reiterated that DOT would not want excessive access points from Loomis. I asked if there would be a controlled light at the access point. He answered most likely. In addition, he told me that Mandel/Roc Ventures is doing a traffic study right now and he is waiting to receive and review it.

Mr. Bauman only had a previous plan that he received in July from Mandel/ROC Ventures, and wasn't familiar with a plan that showed apartment buildings along our property line. I told him that the plan I saw with the apartment buildings currently blocks any future access road to our property. He will be getting an updated plan from Mandel/Roc Ventures. I wanted to make him aware that their current plan may need to be revised to provide access to our property. He thanked me for bringing this to his attention.

Thank you,

Linda De Arteaga

#414-403-9811 (preferred phone-cell))
414-672- 0609

On Oct 31, 2022, at 5:18 PM, Linda De Arteaga <LucyFrenzel2@gmail.com> wrote:

Dear Mr. Martinez-Montilva,

Thank you for responding to my email and calling to address my concerns about the development of the Retreat. I have further concerns regarding future access to my family's approximately 7.2 acres of land (8495 W Loomis Road) adjacent to The Retreat.

The plan for The Retreat development will compromise future development of our land. The Retreat development has plans to build five apartment buildings along our property line. This plan seems to block the possibility for any future commercial access to my family's land at 8495 W Loomis Rd. along the property line with 8301 W. Loomis Rd. It is my understanding that DOT would not want excessive access points from the Loomis arterial road. A revision to the Mandel Group and Roc Ventures plan may need to eliminate a number apartment buildings along my family's property line, and change the future access road from Loomis road to include future consideration of possible commercial development on our land. The future access road from Loomis should provide the ability to turn left to The Retreat and right to future development on our property

at 8495 W. Loomis Road. Our property would be an ideal location for a future grocery store, gas station or home decor/ furniture store.

Lastly, the access to our land is most likely an interest of the City of Franklin, that would want to collect additional commercial tax revenue from our property.

Thank you,

Linda de. Arteaga

Cell #414-403-9811

Home #414-672-0609

On Oct 31, 2022, at 2:48 PM, Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov> wrote:

Linda,

Per our phone conversation, I have attached the plans for The Retreat development. Note that this project is still under review. Owner of adjacent properties will receive a public hearing notice, meeting date to be defined.

If you have questions or concerns about this development, you can send me your comments in writing and/or attend the public hearing.

Thank you,

Régulo Martínez-Montilva, AICP
Principal Planner - Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Ph. (414) 425-4024 / 427-7564
RMartinez-Montilva@franklinwi.gov

<image001.jpg>

From: Linda De Arteaga <lucyfrenzel2@gmail.com>
Sent: Sunday, October 16, 2022 5:35 PM
To: Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov>
Subject: Loomis -Rawson -Retreat

Regulo Martinez-Montilva AICP
Principal Planner-Department of City development
City of Franklin
9229 W. Loomis Rd.
Franklin, Wi 53132

Dear Mr Martinez-Montilva

Recently, I read that Mandel Group in conjunction with Roc Ventures has presented concept development plans for your review. I understand future consideration with city staff will be required. My concern is how this development will affect property (8495 W. Loomis Rd. -parcels 7549999001 and 7549999002) that I and my family own. Our property is adjacent to the 8301 W. Loomis Rd property where a proposal for The Retreat was discussed.

My concern is future traffic flow, potential access points, and traffic infrastructure. Will there be a public road that will access our property? Knowing that the Comprehensive plan is also considering our land for commercial/ mixed use development, and would more than likely be an extension of the development proposal presented to you, I am interested in knowing how road approvals will take into consideration the future of our land.

In addition, can you please inform me of committee meetings and public hearings that will address the proposal of The Retreat. As you seek community outreach, I will be interested to hear community thoughts about this development.

Thank you,
Linda De Arteaga

#414-403-9811

<(2) Loomis & Rawson - Civil Engineering Plans.pdf>

Regulo Martinez-Montilva

From: Baumann, Art - DOT <Art.Baumann@dot.wi.gov>
Sent: Monday, November 21, 2022 4:03 PM
To: Regulo Martinez-Montilva
Cc: Glen Morrow; Elkin, Robert - DOT; Berghammer, Donald - DOT
Subject: RE: The Retreat Development - 8301 W Old Loomis Rd
Attachments: E-mail 11-02-2022.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Regulo,

Yes, the statements in the attached e-mail are correct. As a condition of the proposed access to Loomis Road for this development, WisDOT will require that access to the roadway be provided for the parcel to the southwest so that their current access to Loomis Road can be eliminated.

We just received the Traffic Impact Analysis (TIA) scoping document from the developer on Friday, November 18th. We anticipate getting the response out in December on the final TIA Scope. The TIA will then need to be prepared and submitted to WisDOT for review. Once WisDOT has accepted the TIA and provided the required improvements letter, then preparation of the permit plans can begin. I don't expect that the TIA process will be complete before February. Keep in mind that WisDOT has not formally approved of the proposed access to Loomis Road and won't make a final decision until the required improvements letter is sent.

Please let me know if you have any questions.

Art Baumann
Traffic Operations Engineer
Art.Baumann@dot.wi.gov
(262) 548-6707

From: Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov>
Sent: Friday, November 18, 2022 3:58 PM
To: Baumann, Art - DOT <Art.Baumann@dot.wi.gov>
Cc: Glen Morrow <GMorrow@franklinwi.gov>
Subject: The Retreat Development - 8301 W Old Loomis Rd

**CAUTION: This email originated from outside the organization.
Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Good afternoon Art,

We are reviewing applications for The Retreat Planned Development District. I have attached an e-mail from the adjacent property owner who spoke to you regarding access to Loomis Road. I just want to verify with you if the statements in this e-mail are accurate.

Additional, what is the current status on the permits required for this access to Loomis Road? Has the developer submitted an application to DOT?

For reference, the concept plan submitted by developer is also attached.

Regards,

Régulo Martínez-Montilva, AICP

Principal Planner - Department of City Development

City of Franklin

9229 W. Loomis Road

Franklin, WI 53132

Ph. (414) 425-4024 / 427-7564

RMartinez-Montilva@franklinwi.gov



ORDINANCE NO. 2022-_____

AN ORDINANCE TO CREATE SECTION 15-3.0446 OF
 THE FRANKLIN UNIFIED DEVELOPMENT ORDINANCE
 ESTABLISHING PLANNED DEVELOPMENT DISTRICT NO. 41
 (*THE RETREAT* (TEMPORARY NAMESAKE)) AND TO REZONE PROPERTY
 FROM R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT AND C-1
 CONSERVANCY DISTRICT TO PLANNED DEVELOPMENT DISTRICT NO. 41
 (8301 WEST OLD LOOMIS ROAD)

WHEREAS, a petition for zoning change having been filed to change the zoning on a tract of land from R-6 Suburban Single-Family Residence District and C-1 Conservancy District to a Planned Development District, which tract of land is located at 8301 West Old Loomis Road, bearing Tax Key No. 755-9997-000, and which is more particularly described below; and

WHEREAS, the Plan Commission having determined that the proposed Planned Development District No. 41 (*The Retreat*) (temporary namesake) is in conformance with the City of Franklin Comprehensive Master Plan and contains more than 3 acres; and

WHEREAS, a Public Hearing was held before the Plan Commission on the 1st day of December, 2022, and the Plan Commission having reviewed the Planned Development District No. 41 petition and having found that the proposed Planned Development District conforms to the standards for adoption of a Planned Development District, and having recommended to the Common Council that the creation of Planned Development District No. 41 be approved; and

WHEREAS, the Common Council having reviewed the petition and recommendation following the Public Hearing and having determined that the adoption of an ordinance to create Planned Development District No. 41 will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended to provide that the zoning district designation for the property described below be changed from R-6 Suburban Single-Family Residence District and C-1 Conservancy District to Planned Development District No. 41 (*The Retreat*) (temporary namesake) as is created under SECTION 2 of this ordinance:

LEGAL DESCRIPTION: That part of the West 1/2 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin and described as follows:

Begin at the Southwest corner of said Northeast 1/4 Section, thence North 00° 14' 02" West along the West line of said 1/4 Section, 975.10 feet to the Southeasterly right-of-way line of S.T.H. "36", thence North 39° 47' 12" East along said right-of-way, 457.40 feet, thence 391.09 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 41° 15' 53" East, 391.05 feet and the radius being 7579.69 feet, thence North 42° 44' 35" East along said right-of-way, 223.04 feet, thence 799.48 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 50° 54' 30" East, 796.78 feet and the radius being 2805.04 feet, thence South 00° 14' 50" East along the East line of the West 1/2 of said 1/4 Section, 2257.01 feet, thence South 88° 42' 53" West along the South line of said 1/4 Section, 1326.51 feet to the point of beginning.

SECTION 2: §15-3.0446 of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby created to read as follows:

Section 15-3.0446 PLANNED DEVELOPMENT DISTRICT NO. 41 (*THE RETREAT* (TEMPORARY NAMESAKE))

A. Development Scope.

This Planned Development District shall be constructed, operated and maintained in conformance with the following listed Exhibits, all containing matters approved hereunder or by the separate approval of the Common Council as set forth below, and all applicable terms and provisions of the Municipal Code and the Unified Development Ordinance not enumerated herein and not contrary to the terms or provisions of this Ordinance, including, but not limited to such permits as are required under Division 15-8.0200 Construction, Division 15-8.0300 Construction Site Erosion Control and Division 15-8.0600, as well as the Development Agreement required as a condition of approval of Exhibit A, below. The plans contained in the following listed Exhibits may be adjusted in minor detail and so noted prior to construction upon the written approval of the City Engineer or City Planning manager in order to comply with all of the conditions of this Ordinance. The Developer of this Planned Development District is as set forth below.

1. **Exhibit A:** Concept Plan entitled "The Retreat" prepared by Mandel Group, Inc. and ROC Ventures, dated October 5, 2022.
2. **Exhibit B:** Natural Resource Protection Plan prepared by The Sigma Group dated November 4, 2022.
3. **Developer:** Mandel Group, Inc.

B. District Intent. It is the intent of the Planned Development District No. 41 (The Retreat (temporary namesake)) to allow for the development of office, commercial, retail and multi-family residential uses. This Planned Development District consists of two (2)

areas with different development standards: The Retreat Commercial Area and The Retreat Residential Area.

- C. **General Requirements.** The site shall be developed in substantial compliance with the district standards and specific development standards for the Planned Development District No. 41 (The Retreat (temporary namesake)) set forth in this Ordinance.
- D. **The Retreat Commercial Area.** The Retreat Commercial Area is intended to provide for the development of office, commercial and retail uses, and to be located between the proposed Terrace Drive and Loomis Road, depicted as commercial outlots in Exhibit A.

1. **Permitted, Accessory, and Special Uses.**

(a) Permitted uses. The following are permitted uses in The Retreat Commercial Area:

1. Those uses permitted within the B-4 South 27th Street Mixed Use Commercial District.

(b) Special uses. The following are special uses in The Retreat Commercial Area:

1. Special uses allowed within the B-4 South 27th Street Mixed Use Commercial District.

2. Commercial, office and retail use building over five stories in height.

3. Hotel.

Review and Approval required. Special uses are subject to special use review and approval under the terms of §§15-3.0701 and 15-3.0703 and site plan review and approval under the terms of §15-7.0100 of the Unified Development Ordinance.

(c) Prohibited uses. The following uses shall be prohibited in The Retreat Commercial Area, including when proposed as accessory to a Permitted or a Special Use:

1. All uses not listed as a permitted use, special use, or accessory use thereto within the B-4 South 27th Street Mixed-Use Commercial District.

2. **Development Standards.**

- (a) Base site area: 2.25 acres
- (b) Minimum landscape surface ratio: 0.10
- (c) Maximum net floor area ratio: 0.75
- (d) Maximum gross floor area ratio: 0.70
- (e) Minimum front setback: 25 feet

- (f) Minimum side setback: 10 feet
- (g) Minimum rear setback: 20 feet
- (h) Maximum building height,
 - Principal structure: 5.0/70 stories/ft
 - Accessory structure: 1.0/35 stories/ft

E. **The Retreat Residential Area.** The Retreat Residential Area is intended to provide for the development of multi-family residential uses as depicted in Exhibit A.

1. **Permitted, Accessory, and Special Uses.**

(a) Permitted uses. The following are permitted uses in The Retreat Residential Area:

- 1. Multiple-family dwellings and apartments.
- 2. Clubhouse and other amenities depicted in Exhibit A.
- 3. Home occupations.
- 4. Foster family home.
- 5. Community living arrangement (serving 8 or fewer persons).
- 6. Accessory uses (see UDO Division 15-3.0800).
- 7. Required off-street parking (see UDO Division 15-5.0200).
- 8. Essential Services.

(b) Special uses. The following are special uses in The Retreat Residential Area:

- 1. Multiple-family dwellings and apartments over five stories.
- 2. Community living arrangement (serving 9 or more persons).
- 3. Multiple-family Residential Housing for Older Persons

Review and Approval required. Special uses are subject to special use review and approval under the terms of §§15-3.0701 and 15-3.0703 and site plan review and approval under the terms of §15-7.0100 of the Unified Development Ordinance.

2. **Development Standards.**

- (a) Base site area: 46.82 acres
- (b) Minimum open space ratio: 0.35
- (c) Maximum net density: 30 dwellings/acre
- (d) Maximum gross density: 12 dwellings/acre

- (e) Minimum front setback: 30 feet
- (f) Minimum side setback: 20 feet
- (g) Minimum rear setback: 30 feet
- (h) Maximum building height (stories/ft),
 - Principal structure: 5.0/70 stories/ft
 - Accessory structure: 1.0/25 stories/ft

F. Conditions of Approval.

Pursuant to the Unified Development Ordinance Section 15-9.0208E.7.b.(1), a general approval of a Planned Development District is conditioned upon the subsequent submittal and approval of more specific and detailed plans. The conditions of general approval for Planned Development District No. 41 The Retreat are listed below:

1. The applicant shall be responsible for filing a Certified Survey Map or Preliminary Plat of Subdivision consistent with all requirements of the Unified Development Ordinance and this Planned Development District.
2. The applicant shall submit a Landscape Plan, as defined in the Unified Development Ordinance as part of the Certified Survey Map or Preliminary Plat submittal.
3. The applicant shall be responsible for filing a Subdivision Development Agreement consistent with all regulations of the Unified Development Ordinance and Municipal Code, as may be amended, for the Certified Survey Map or Final Subdivision Plat. Said Subdivision Development Agreement shall be subject to approval by the Common Council.
4. The applicant shall be responsible for filing a Site Plan or Special Use application consistent with all regulations of the Unified Development Ordinance and the Municipal Code, as may be amended, for each individual lot resulting from the Certified Survey Map or subdivision plat.
5. Grading, stormwater management, erosion control and utility plans shall be subject to review by the Engineering Department.
6. This Ordinance is not approving any of the impacts to protected natural resources indicated in Exhibit B Natural Resource Protection Plan. The applicant shall be responsible for filing a Natural Resource Special Exception application consistent with all regulations of the Unified Development Ordinance.
7. All protected natural resources indicated in the Natural Resource Protection

Plan, including wetlands, wetland buffers, wetland setbacks and mature woodlands shall be protected by a conservation easement in accordance with the Unified Development Ordinance.

- 8. In the event that no building permit has been issued for any one of the structures in The Retreat Commercial Area, or any one or more apartment buildings in The Retreat Residential Area; prior to the expiration of 24 months from the date of enactment of this Ordinance, and allowing a three month extension upon application therefore, the zoning designation shall revert back to the zoning for the subject parcel(s) which existed prior to the effective date of this Ordinance.
- 9. The applicant shall update the Open Space Ratios, Gross Densities, Net Densities, Floor Area Ratios, Landscape Surface Ratios, and Site Intensity Calculations, as applicable, for the entire project area as well as for each lot or parcel, for Department of City Development review and approval prior to the issuance of any Occupancy Permits.

SECTION 3: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 4: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 5: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

Exhibit A

BUILDING	UNIT COUNT	PARKING	
		ENCLOSED (1:1)	SURFACE (1:.75)
A 3 STORY	42	42	31
B 2 STORY	23	23	17
C 3 STORY	42	42	31
D 2 STORY	23	23	17
E 3 STORY	42	42	31
F 2 STORY	23	23	17
G 3 STORY	42	42	31
H 2 STORY	23	23	17
I 3 STORY	42	42	31
J 3 STORY	42	42	31
K TOWNHOUSE	7	7	5
L TOWNHOUSE	7	7	5
TOTALS	358 UNITS	358 STALLS	264 STALLS



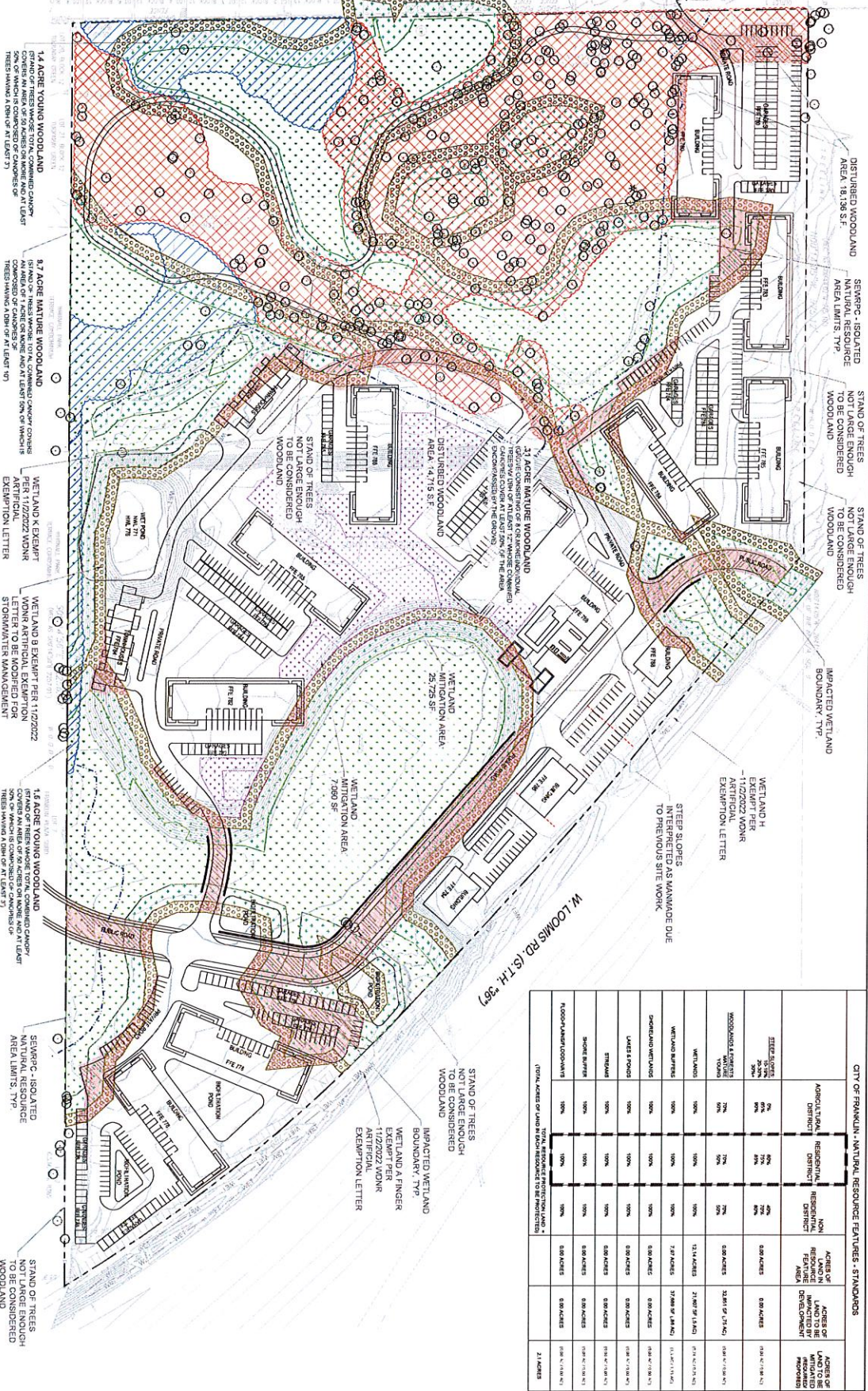
 NORTH SCALE 1 : 100

SITE PLAN

THE RETREAT

OCTOBER 5, 2022

Exhibit B



NATURAL RESOURCE FEATURE AREAS

RESOURCE TYPE	AREA (SQ FT)	AREA (ACRES)
MATURE WOODLANDS	2,328,776	53.34
YOUNG WOODLAND	1,254,313	28.84
WETLANDS	2,529,227	58.14
WETLAND BUFFER	247,278	5.67
WETLAND MITIGATION	278,881	6.39
WETLAND ON AREA	7,000	0.16
WETLAND A FINGER	5,420	0.12
WETLAND A FINGER	5,420	0.12
WETLAND A FINGER	5,420	0.12

STAND OF TREES NOT LARGE ENOUGH TO BE CONSIDERED WOODLAND

SEWERP - ISOLATED NATURAL RESOURCE AREAS (LIMITS: 75%)

STAND OF TREES NOT LARGE ENOUGH TO BE CONSIDERED WOODLAND

WETLAND H EXEMPT PER 11Z022Z WORK ARTIFICIAL EXEMPTION LETTER

WETLAND K EXEMPT PER 11Z022Z WORK ARTIFICIAL EXEMPTION LETTER

WETLAND L EXEMPT PER 11Z022Z WORK ARTIFICIAL EXEMPTION LETTER

WETLAND M EXEMPT PER 11Z022Z WORK ARTIFICIAL EXEMPTION LETTER

NATURAL RESOURCE MITIGATION AREAS

RESOURCE TYPE	AREA (SQ FT)	AREA (ACRES)
MATURE WOODLANDS	3,287,973	75.27
YOUNG WOODLAND	1,351,138	31.00
WETLANDS	21,897,423	502.74
WETLAND BUFFER	1,261,106	28.91
WETLAND MITIGATION	1,261,106	28.91
WETLAND ON AREA	7,000	0.16
WETLAND A FINGER	5,420	0.12
WETLAND A FINGER	5,420	0.12
WETLAND A FINGER	5,420	0.12

STAND OF TREES NOT LARGE ENOUGH TO BE CONSIDERED WOODLAND

SEWERP - ISOLATED NATURAL RESOURCE AREAS (LIMITS: 75%)

STAND OF TREES NOT LARGE ENOUGH TO BE CONSIDERED WOODLAND

CITY OF FRANKLIN - NATURAL RESOURCE FEATURES - STANDARDS

RESOURCE TYPE	ADULTHOOD DISTRICT	RESIDENTIAL DISTRICT	NON RESIDENTIAL DISTRICT	AGRICULTURAL LAND IN UNDEVELOPED AREAS	AGRICULTURAL LAND TO BE REDEVELOPED	AGRICULTURAL LAND TO BE REDEVELOPED
WOODLANDS (MATURE YOUNG)	100%	100%	100%	100%	100%	100%
WETLANDS	100%	100%	100%	100%	100%	100%
WETLAND BUFFER	100%	100%	100%	100%	100%	100%
WETLANDS	100%	100%	100%	100%	100%	100%
WETLAND BUFFER	100%	100%	100%	100%	100%	100%
WETLANDS	100%	100%	100%	100%	100%	100%
WETLAND BUFFER	100%	100%	100%	100%	100%	100%
WETLANDS	100%	100%	100%	100%	100%	100%
WETLAND BUFFER	100%	100%	100%	100%	100%	100%
WETLANDS	100%	100%	100%	100%	100%	100%
WETLAND BUFFER	100%	100%	100%	100%	100%	100%
WETLANDS	100%	100%	100%	100%	100%	100%

(TOTAL ACRES OF LAND IN ALL RESOURCE PROTECTION AREAS: 21.0 ACRES)

PRELIMINARY NOT FOR CONSTRUCTION

LOOMIS ROAD
WEST LOOMIS ROAD
FRANKLIN, WI 53132

NATURAL RESOURCE PROTECTION PLAN

SIGMA GROUP

MANDEL GROUP

DATE: 11/04/2022

PROJECT NO: 21200

SCALE: AS SHOWN

DATE: 11/04/2022

APPROVED BY: [Signature]

SHEET NO: EX2

ORDINANCE NO. 2022-____

AN ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025
COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF FRANKLIN
2025 FUTURE LAND USE MAP FOR PROPERTY LOCATED AT 8301
WEST OLD LOOMIS ROAD FROM COMMERCIAL USE AND AREAS OF
NATURAL RESOURCE FEATURES USE TO MIXED USE
(APPROXIMATELY 51.61 ACRES)
(WETLAND TREEHOUSE LLC, APPLICANT)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Franklin is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, Wetland Treehouse LLC has applied for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use; and

WHEREAS, the Plan Commission of the City of Franklin by a majority vote of the entire Commission on December 1, 2022, recorded in its official minutes, has adopted a resolution recommending to the Common Council the adoption of the Ordinance to Amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use; and

WHEREAS, the City of Franklin held a public hearing upon this proposed Ordinance, in compliance with the requirements of Wis. Stat. § 66.1001(4)(d); the Common Council having received input from the public at a duly noticed public hearing on December 20, 2022; and

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: The City of Franklin 2025 Comprehensive Master Plan is hereby amended to change the City of Franklin 2025 Future Land Use Map designation for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use. Such property is more particularly described within Resolution No. 2022 ____ of even-date herewith.

SECTION 2: The terms and provisions of this ordinance are severable. Should any

term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022, by Alderman _____.

Passed and adopted by a majority vote of the members-elect of the Common Council at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2022-_____

A RESOLUTION RECOMMENDING THE ADOPTION OF AN
ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025
COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF
FRANKLIN 2025 FUTURE LAND USE MAP FOR PROPERTY LOCATED
AT 8301 WEST OLD LOOMIS ROAD FROM COMMERCIAL USE AND
AREAS OF NATURAL RESOURCE FEATURES USE TO MIXED USE,
PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Franklin is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, Wetland Treehouse LLC has applied for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use, such property bearing Tax Key No. 755-9997-000, more particularly described as follows:

That part of the West 1/2 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin and described as follows: Begin at the Southwest corner of said Northeast 1/4 Section, thence North 00° 14' 02" West along the West line of said 1/4 Section, 975.10 feet to the Southeasterly right-of-way line of S.T.H. "36", thence North 39° 47' 12" East along said right-of-way, 457.40 feet, thence 391.09 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 41° 15' 53" East, 391.05 feet and the radius being 7579.69 feet, thence North 42° 44' 35" East along said right-of-way, 223.04 feet, thence 799.48 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 50° 54' 30" East, 796.78 feet and the radius being 2805.04 feet, thence South 00° 14' 50" East along the East line of the West 1/2 of said 1/4 Section, 2257.01 feet, thence South 88° 42' 53" West along the South line of said 1/4 Section, 1326.51 feet to the point of beginning; and

WHEREAS, the Plan Commission having determined that the proposed amendment,

in form and content as presented to the Commission on December 1, 2022, is consistent with the Comprehensive Master Plan’s goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the 2025 Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Franklin.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the application for and the proposed ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use, be and the same is hereby recommended for adoption and incorporation into the 2025 Comprehensive Master Plan by the Common Council.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

APPROVED:

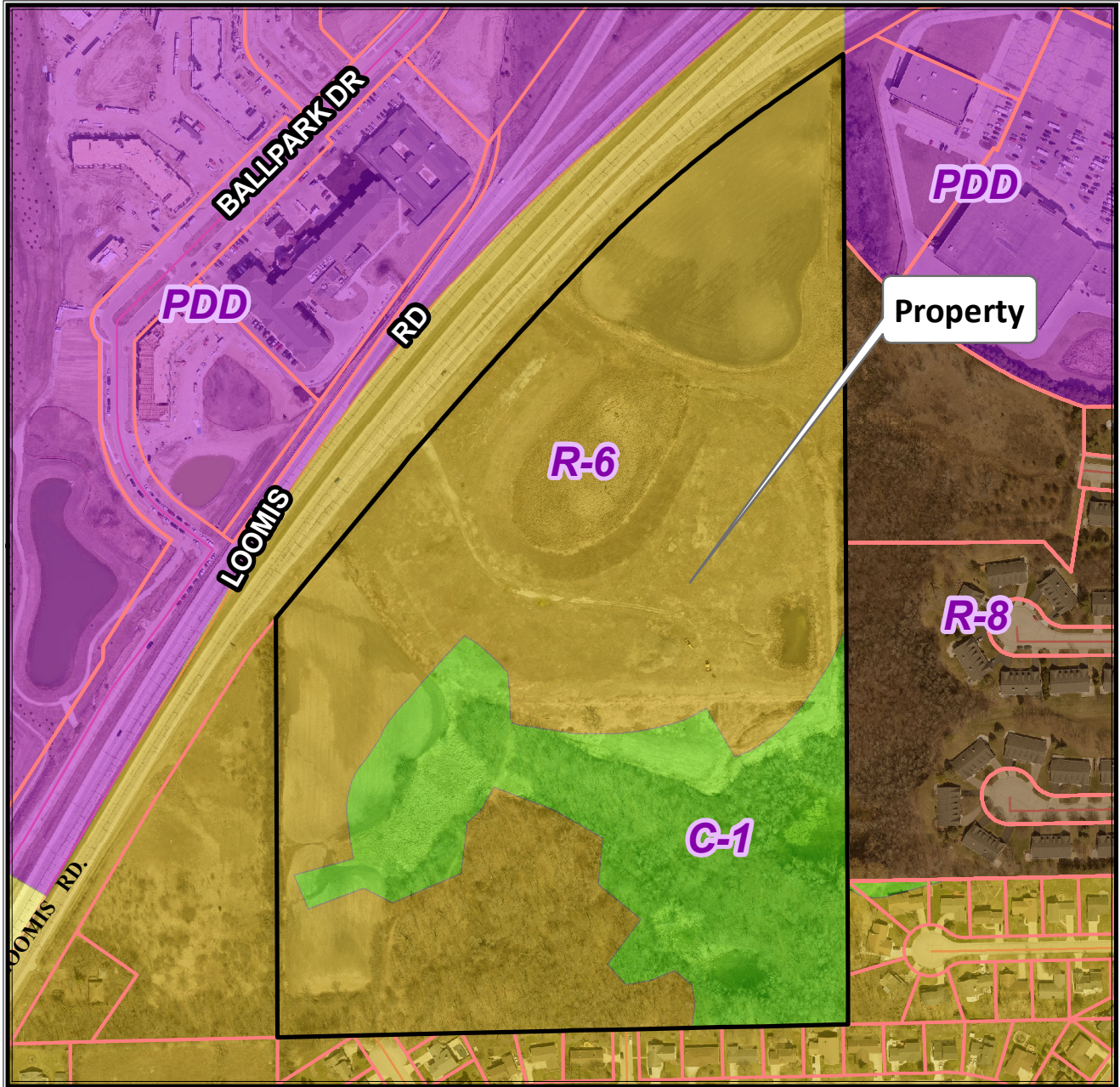
Stephen R. Olson, Chairman

ATTEST:

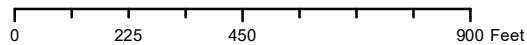
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

8301 W. Old Loomis Road
TKN: 755 9997 000

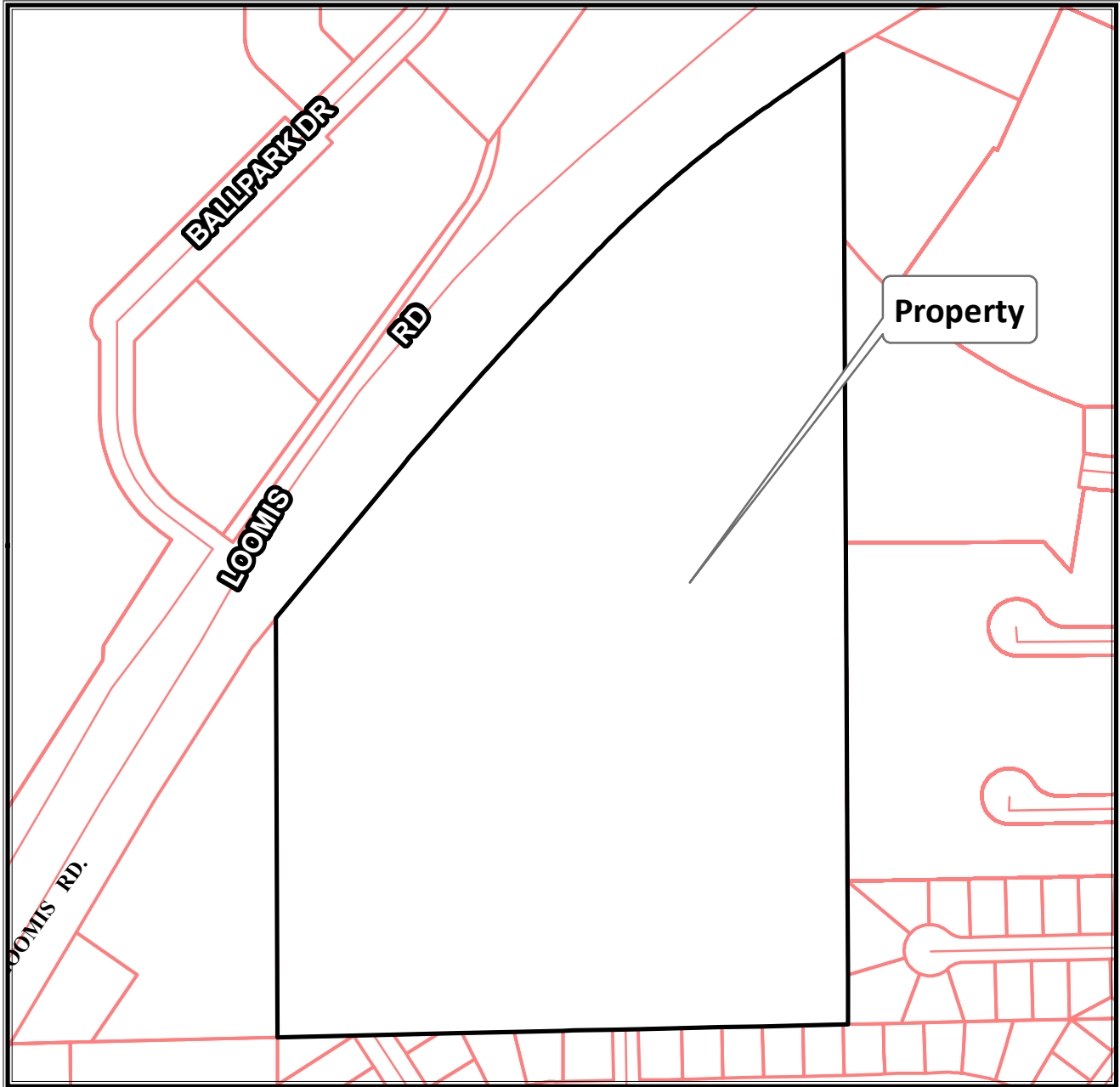


Planning Department
(414) 425-4024

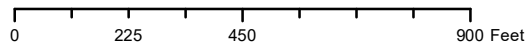


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

8301 W. Old Loomis Road
TKN: 755 9997 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



MEMORANDUM

Date: November 18, 2022

To: Emily Cialdini. Mandel Group, Inc.

From: Department of City Development
Régulo Martínez-Montilva, AICP, Principal Planner

RE: Staff comments for The Retreat Planned Development District and Comprehensive Master Plan Amendment applications
8301 W Old Loomis Rd. / 755 9997 000

Staff comments are as follows for the above-referenced applications received on November 8, 2022:

City Development Department comments

1. With regards to the comprehensive master plan amendment, it is recommended to provide a plan outlining the mixed use area for development and areas of natural resource features for conservation. Per your site intensity and capacity calculations, the total resource protection land is 28.23 acres. Metes and bounds description of both areas, mixed use and area of natural resource features is also recommended.

2. Note that the proposed intensity and density measures exceed the standards of the Unified Development Ordinance (UDO) table 15-3.0402C, with the exception of the residential open space ratio.

Table 15-3.0402C						
PDD Planned Development District Maximum Intensity and Density Measures						
General Use Type	Residential Standards			Non-Residential Standards		
	Minimum Open Space Ratio (OSR)	Maximum Gross Density (GD)	Maximum Net Density (ND)	Minimum Landscape Surface Ratio (LSR)(b)	Maximum Gross Floor Area Ratio (GFAR)	Maximum Net Floor Area Ratio (NFAR)
Residential (a)	0.35	6.10	8.00	N/A	N/A	N/A
Office	N/A	N/A	N/A	0.45	0.23	0.42
Commercial Retail Sales and Service	N/A	N/A	N/A	0.45	0.31	0.57
Industrial	N/A	N/A	N/A	0.45	0.50	0.91
Mixed Compatible Uses	(c)	(c)	(c)	(c)	(c)	(c)

Notes:

N/A = Not Applicable

- (a) Plan Commission and Common Council may approve of densities over the stated GD or ND with the provision the development meets a community purpose, such as residential housing for older persons.
- (b) See Alternative Minimum Landscape Surface Ratio (LSR) with Required Mitigation (See § 15-5.0302E).
- (c) Apply the appropriate standard for each individual land use type and its corresponding site area as listed in this Table.

3. According to your site intensity and capacity calculations for residential development, the maximum yield of the site is 558 dwelling units, and the proposed development is for 358 dwelling units per the architectural site plan. If a lower net density may work for the proposed development, for example 20 dwelling units per acre (du/ac), why is the proposed net density 30 du/ac?
4. It is recommended to add a cross-access connection to the adjacent property to the west.
5. Impact to natural resources, such as wetlands and associated buffers and setbacks, will require approval of a separate Natural Resource Special Exception.

Engineering Department comments

6. *No comments. However, the full Engineering submittal is required to complete our review. The proposed access from the State Trunk Highway must be approved by the WisDOT.*

Inspection Services Department comments

7. *Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code, including specific attention being given to the fire separation distance requirements in Table 602.*

Fire Department comments

8. *The PD has no comment regarding this request. Franklin Fire Department Construction and Alteration Requirements (2021-2022)*
 1. *Follow all relevant WI DSPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.*
 2. *Pre-existing fire alarm and fire sprinkler systems shall be maintained in compliance with relevant code.*
 3. *Fire Extinguisher placement as per NFPA 10.*
 4. *Fire Department Connection (FDC), and hydrant placement and density must be acceptable to AHJ (applies to new construction).*
 5. *At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.*
 6. *Master Key set required for placement in Knox Box (if required).*
 7. *Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>*

NOTE: The Fire Department is NOT adequately staffed to absorb the impact on emergency and non-emergency call volume associated with the additional 1,030 residences associated with this and other related planned residential developments, associated commercial and vehicle traffic, and required fire inspection work-load; in addition to the ongoing high-density single family development in the southwest quadrant and multifamily development along the south 27th Street corridor.

Police Department comments

9. *The PD has no comment regarding this request.*

November 7, 2022

Régulo Martínez-Montilva, AICP
Principal Planner
Department of City Development City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Dear Mr. Martinez-Montilva:

Mandel Group, Inc. ("Mandel") in conjunction with Roc Ventures LLC is pleased to present the enclosed materials as a follow up to our application submitted on October 6th, 2022 for a General Approval for a Planned Development District and Comprehensive Plan Amendment for our proposed mixed-use development, The Retreat, located at the southeast corner of Loomis and Rawson in the City of Franklin. Please refer to our application for detailed information regarding our proposed development.

The materials attached hereto include:

1. Proposed land use maximum and minimum intensity standards and calculations including the following:
 - a. Base Site Area
 - b. Open Space Ratio
 - c. Gross Residential Density
 - d. Net Residential Density
 - e. Net Floor Area Ratio
 - f. Gross Floor Area Ratio
 - g. Landscape Surface Ratio
 - h. Building Height and Number of Stories
2. Updated Engineering plans include the following:
 - a. Natural Resource Protection Plan lists all protected resources and marks those not present with "0" and the SEWRPC Environmental Corridor
 - b. Developer Name and Address on the Site Plan
 - c. Depicts all adjacent driveway locations within 200 feet
 - d. Hard copies printed to scale

It should be noted that parcel boundaries are not yet determined for residential and commercial uses. Therefore, the site intensity standards are simply estimates that are subject to change.

The estimated summary of values of structures and site improvements for the development can be found on page 20 of our application narrative from October 6th, 2022. It is currently estimated at \$100,000,000. Please note this is subject to change with additional plan progression, site investigation and feedback from our general contractor.

Please reach out with any additional questions.

Sincerely,



Emily Cialdini
Senior Development Associate
Mandel Group, Inc.

The Retreat

Loomis Rd. & Rawson Ave.
City of Franklin

Planned Development District and Comprehensive Plan Amendment
Application for a Mixed-Use Master Planned Redevelopment



October 6th, 2022


Prepared By:
Mandel Group, Inc.
ROC Ventures



TABLE OF CONTENTS

City of Franklin Application for Planned Development District, Comprehensive Plan Amendment and UDO Text Amendment	03
Property Owner Authorization Letter.....	04
Application Cover Letter	05
The Development Team	06-09
Mandel Group, Inc.....	06
ROC Ventures.....	07
Design Team.....	08-09
Continuum Architects & Planners.....	08
The Sigma Group.....	09
Development Considerations	10-18
Project Vision.....	10-11
Program Statement.....	12-13
Collaborative Design Approach.....	14
Project Budget & Structuring a Public-Private Partnership.....	15-16
Development Ownership, Controls, and Regulations.....	17
Development Schedule.....	18
Policy Consideration & Zoning Analysis	19-22
Exhibit A - Baker Tilly Economic Impact Analysis.....	23
The Need for Apartments	24
Letters of Recommendation	25-27
Village of Fox Point.....	25
Old National Bank.....	26
CIBC Bank USA.....	27
Development Plans	Attached Separately
1) Architectural Plans	
a. Architectural Site Plan	
b. Representative Building Massing	
c. Precedent Imagery of Building Architecture	
d. Representative Imagery of Interior Design	
2) Preliminary Civil Engineering Plans	
a. Concept Site Plan	
b. Concept Grading Plan	
c. Concept Utility Plan	
3) Wetland Delineation Report	
4) Draft Natural Resource Protection Plan	
5) Preliminary Landscape Design	
6) ALTA Survey	
7) Word Document Legal Description of Subject Property	

CITY OF FRANKLIN APPLICATION FOR PLANNED DEVELOPMENT DISTRICT, COMPREHENSIVE PLAN AMENDMENT AND UDO TEXT AMENDMENT

Planning Department 9229 West Loomis Road Franklin, Wisconsin 53132 <u>generalplanning@franklinwi.gov</u> (414) 425-4024 <u>franklinwi.gov</u>		APPLICATION DATE: _____ STAMP DATE: _____ city use only
COMMON COUNCIL REVIEW APPLICATION		
PROJECT INFORMATION [print legibly]		
APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Wetland Treehouse LLC	NAME: Emily Cialdini	
COMPANY: An affiliate of Mandel Group, Inc.	COMPANY: Mandel Group, Inc.	
MAILING ADDRESS: 330 E Kilbourn Ave, Ste 600 South		MAILING ADDRESS: 330 E Kilbourn Ave, Ste 600 South
CITY/STATE: Milwaukee, WI ZIP: 53202	CITY/STATE: Milwaukee, WI ZIP: 53202	
PHONE: 414-270-2764	PHONE: 414-270-2764	
EMAIL ADDRESS: <u>ecialdini@mandelgroup.com</u>		EMAIL ADDRESS: <u>ecialdini@mandelgroup.com</u>
PROJECT PROPERTY INFORMATION		
PROPERTY ADDRESS: 8301 W Loomis Road	TAX KEY NUMBER: 755-9997-000	
PROPERTY OWNER: Franklin, WI	PHONE:	
MAILING ADDRESS: 8412 Fox River Road		EMAIL ADDRESS: <u>lewisnorland@gmail.com</u>
CITY/STATE: Waterford, WI ZIP: 53185	DATE OF COMPLETION: _____ office use only	
APPLICATION TYPE		
Please check the application type that you are applying for		
<input type="checkbox"/> Concept Review <input checked="" type="checkbox"/> Comprehensive Master Plan Amendment <input checked="" type="checkbox"/> Planned Development District <input type="checkbox"/> Rezoning <input type="checkbox"/> Special Use / Special Use Amendment <input checked="" type="checkbox"/> Unified Development Ordinance Text Amendment		
Most requests require Plan Commission review and Common Council approval. Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.		
SIGNATURES		
The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.		
<i>(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).</i>		
<input checked="" type="checkbox"/> I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.		
PROPERTY OWNER SIGNATURE: See attached property owner authorization letter.	APPLICANT SIGNATURE: 	
NAME & TITLE: DATE:	NAME & TITLE: Ian Martin, Manager DATE: 10/6/22	
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE: 	
NAME & TITLE: DATE:	NAME & TITLE: Emily Cialdini, Sen. Dev. Associate DATE: 9/21/2022	

September 20, 2022

Régulo Martínez-Montilva, AICP
Principal Planner - Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132
RMartinez-Montilva@franklinwi.gov

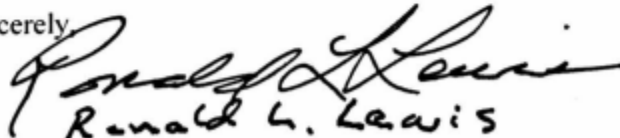
Dear Mr. Martínez-Montilva:

This letter serves as authorization for Mandel Group, Inc. and all affiliates to apply for related zoning and land division applications for the below referenced property:

8301 W Loomis Road
Franklin, WI 53132
Tax Key ID: 755-9997-000

As property owner(s) for the above mentioned property, I hereby certify that: (1) all statements and other information submitted as part of the applications are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

Sincerely,



Ronald L. Lewis

Rawson Loomis LLC
8412 FOX RIVER RD
WATERFORD, WI 53185

APPLICATION COVER LETTER

October 6, 2022

Régulo Martínez-Montilva, AICP
Principal Planner - Department of City Development City
of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Dear Mr. Martinez-Montilva:

Mandel Group, Inc. ("Mandel") in conjunction with Roc Ventures LLC is pleased to present our application and associated materials for consideration for a General Approval for a Planned Development District and Comprehensive Plan Amendment for our proposed mixed-use development, The Retreat, located at the southeast corner of Loomis Road and Rawson Avenue in the City of Franklin.

We believe you will find the following submission both comprehensive and responsive to commentary received to date and in "sufficient detail to satisfy the Plan Commission and Common Council as to the general character, scope and appearance of the proposed development" pursuant to UDO Section 15-9.0208.7.b(1).

We understand that additional plan refinement including incorporating staff, elected official and neighborhood feedback will be required in order to move to a Detailed Approval of the Planned Development District. We look forward to hearing and integrating the best ideas.

We are grateful for the opportunity to again partner with the City of Franklin on this exciting redevelopment and we thank you for your time in reviewing our application concept plans. We respectfully request to be placed on the November 3rd Plan Commission Agenda. We welcome the chance to answer any questions you have regarding our team and redevelopment concept.

Very Truly Yours,



Emily Cialdini
Senior Development
Associate
ecialdini@mandelgroup.com
414-270-2764

THE DEVELOPMENT TEAM

Mandel Group, Inc.

Mandel Group, Inc., ("MGI") is an integrated real estate services firm with operations in acquisition, development, construction, property management and disposition in key Midwestern markets. Since our inception in 1991, we have closed over \$1 billion in real estate transactions. Leadership in product design, excellence in control over the construction process and skill in creating value and providing customer-friendly, high-level management have gained Mandel the respect of its capital partners, investors and lenders – and the loyalty of our residents.

The quality of our work has earned us the reputation of metro Milwaukee's premier real estate development firm and has been nationally and globally recognized, including Urban Land Institute's Award for Excellence. All of our developments continue to receive awards from industry groups for the quality of their design including Property Excellence (2021, 2022), Best Curb Appeal (2018-2022) and Outstanding Community Amenities (2021). Our Chiswick at Dunwood apartment community received from the Milwaukee Metropolitan Sewerage District the Green Luminary Award for outstanding, environmentally sensitive green infrastructure.

We believe in creating best-in-class apartment communities and our efforts in the City of Franklin will be no exception. For this development, Mandel has retained top consultants in the industry including Continuum Architects and Planners and Sigma Engineering. Both firms have relevant experience in the City of Franklin and surrounding communities.

I will be working in conjunction with Ian Martin, President of Mandel Group, on the implementation of the project. Ian has over 20 years of experience in commercial real estate development and has developed over 5,000 multifamily units across the country. As Senior Development Associate, I have over 8 years of experience in commercial real estate and have assisted in the development of roughly 1,500 units. We thank you for your time and the opportunity to present our concept plans.



Ian B. Martin
President



Emily Cialdini
Senior Development Associate

ROC Ventures

ROC Ventures manages a collection of brands in the sports, entertainment, and real estate sectors. These include the Milwaukee Wave, the Milwaukee Milkmen, The Rock Sports Complex, a collegiate baseball franchises located in Indiana, the Ballpark Commons development, and more.

ROC stands for "Return on Community," a goal which informs each and every endeavor undertaken by the organization. ROC Ventures is led by Michael Zimmerman, Owner and Executive Officer. Since 2004, Zimmerman has owned and operated 30 businesses in the healthcare, sports and entertainment industries. The healthcare companies are now working collectively with over 80 percent of our nation's hospitals. Zimmerman has been featured in HFM Magazine, HealthLeaders, Modern Healthcare, AAHAM, and The Wall Street Journal.



Mike Zimmerman
Owner, CEO



Tom Johns
Finance



Jim Pekar
Investor



Peter Pekar
Investor



THE DESIGN TEAM

Continuum Architects & Planners

Established in 1996, Continuum Architects + Planners was born out of a desire to provide high design without compromising meticulous attention to detail. We are made up of a tight-knit, creative, and highly technical team of design professionals. For us, architecture is an investment in the future, a belief in great things to come. Our design philosophy extends beyond the bounds of the physical building to include the users and the community impacted by the design. Continuum’s approach to design is to carefully balance the pragmatic and the visionary, pairing meticulous project planning with inspired creativity. We call it intelligent optimism. We intentionally work with clients who want to enhance the built environment and on projects that uplift the communities in which they are located. We understand that how places and spaces are planned, programmed, designed and built presents an opportunity to inspire hope, and our process reflects that.

Spotlight Projects

- The Watertown, Wauwatosa
- Paper Box Lofts, Milwaukee
- Welford Sanders Historic Lofts, Milwaukee
- Historic Mackie Building, Milwaukee
- Port Washington Townhomes, Port Washington



Falamak Nourzad
AIA, NCARD, LEED, ASID
Principal-In-Charge



Vaishali Wagh
RA, LEED AP
Principal Design Architect



Brian Wolff
AIA
Senior Associate

The Sigma Group

The Sigma Group, Inc. (Sigma) is a full-service consulting and civil engineering firm. Our Milwaukee-based staff includes registered professional engineers in civil, environmental, and chemical disciplines; registered land surveyors; construction inspectors; certified asbestos supervisors / inspectors; certified lead inspectors / risk assessors; Certified Hazardous Materials Managers, professional geologists and hydrogeologists, as well as additional engineering technicians, scientists and compliance specialists.

Spotlight Projects

- The Seasons, Franklin
- The Reef, Wauwatosa
- State Street Station, Wauwatosa
- Stitchweld, Milwaukee
- 22 Slate, Madison



Chris Carr, PE
Vice President/Co-Chief
Operating Officer/Civil
Engineering Group Leader



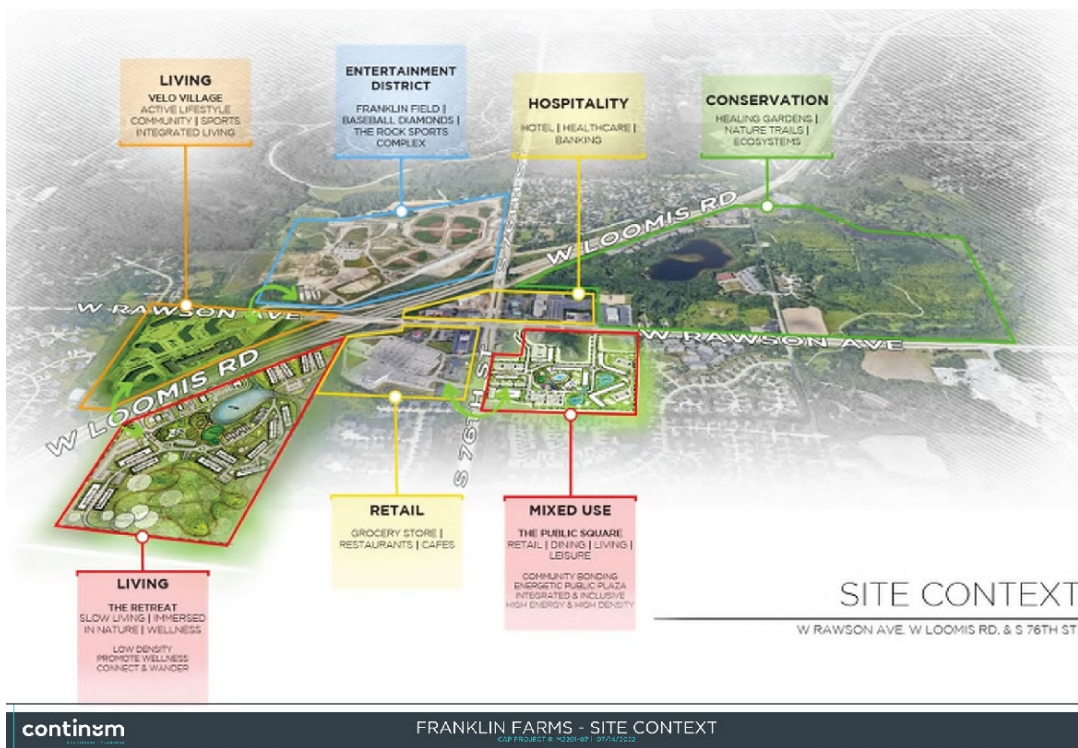
James Leedom, PE, LEED AP
Senior Project Engineer

DEVELOPMENT CONSIDERATIONS

Project Vision

"The Retreat"¹ represents a first-of-its-kind a wellness focused, mindful habitation that enhances the natural environment and creates spaces to connect, wander and explore. The master planned community converts this historic fill site into a peaceful, suburban residential retreat interwoven into preserved and enhanced ecological features. Redeveloping this site allows the environmentally significant features to be preserved, enhanced and publicly accessible. The master site planning creates the opportunity for new commercial development along Loomis with a serene residential experience behind it. The development of this site leverages the City's investment in Ballpark Commons, located immediately west of the site across Loomis Ave by creating a complementary, high-quality development. This site is uniquely positioned among existing commercial and high density residential within the City, representing an ideal location for the mix of proposed commercial and multifamily. Our site planning actively responds to the context by establishing street connections to adjacent neighborhoods through Terrace Dr. and S. 82nd St. At the same time, it remains sensitive to abutting single-family residential district by preserving woodlands and maintaining an effective buffer.

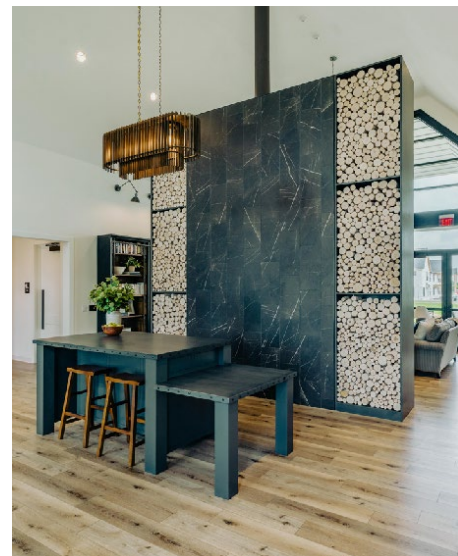
The site design to responds to the ecological features found on site. Instead of imposing our development onto the site we purposefully preserved the large wetlands and old growth woods to create a walkable community that is in close contact with its natural habitat. The preservation of ecological features and creation of thousands of linear feet of walking trails among the natural environment welcomes the community to this important node of the City. Over 57% of the site is preserved and enhanced green space.



¹ The Retreat is a temporary namesake for the development. We are underway on branding and an official development name will be shared in the near future.

Incorporated within our proposal is representative precedent imagery and building massing to provide a sense of architectural character and scale for the proposed redevelopment. We understand that building architecture and landscaping will need to be refined as we advance through the zoning process. Our goal is to provide a high-level depiction to share the general character, scope and appearance of the redevelopment.

We believe a comprehensive redevelopment focused on housing and paired with new commercial is the right solution for this active zone within the City of Franklin. The housing component is a carefully considered real estate response to demographic changes that reflect on housing preferences and strong, demonstrated demand for luxury rental housing in the Franklin submarket. The residential housing will include a wide variety of unit styles and mixes ranging from studio units to three bedrooms, intended to meet the needs of a wide cross section of the City's population. The development will appeal to those preferring the flexibility and maintenance-free lifestyle that rental housing offers to those aspiring to home ownership. New businesses will be supported by the existing community but also by the new population generated by the housing of the redevelopment.



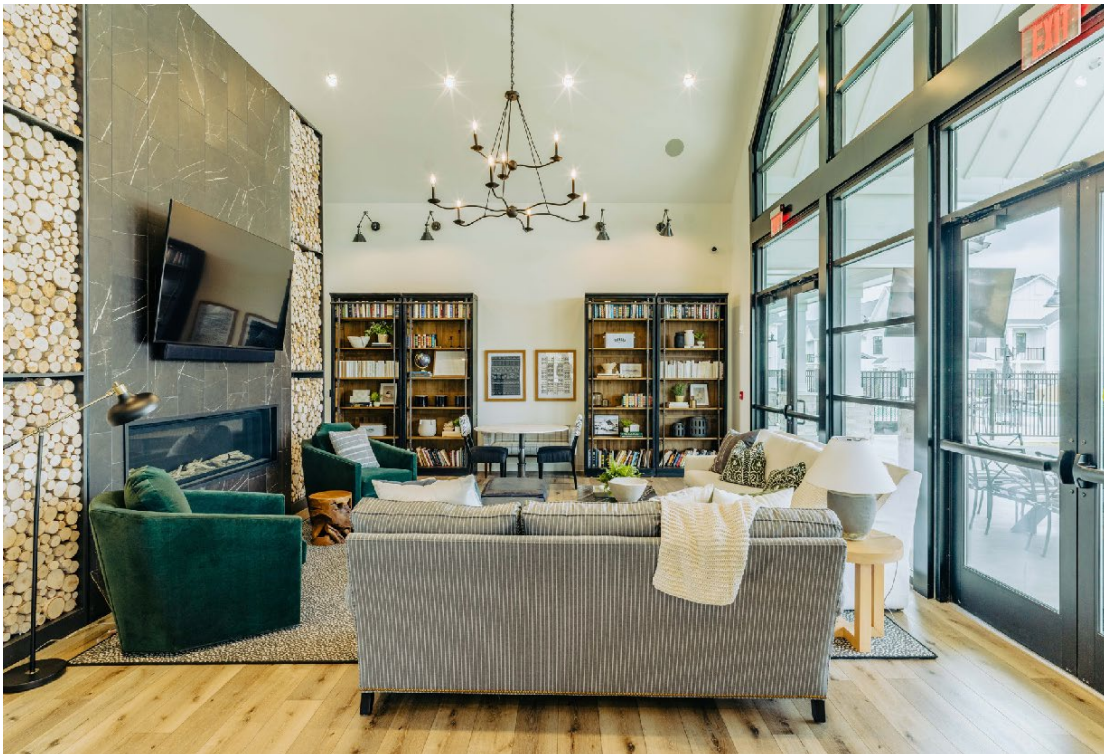
Program Statement

The redevelopment site of The Retreat measures roughly 52 acres. We proposed to redevelop the site into the following uses:

Luxury Apartments

Approximately 358 apartment units contained in a variety of building styles. A two-story building product contains approximately 24 units per building with each unit having a private direct entrance. Roughly forty percent of the units in the two-story buildings contain direct attached garages. The three-story product includes roughly 40 units per building. The first-floor units will have private, direct entries, while the upper floors will be served by a stairwell and common corridor. They are designed in groups of 8 units per corridor thereby creating smaller 'neighborhood' pods within the building. The three-story buildings contain a bank of attached, enclosed garages. The buildings are separated and angled away from each other in order to provide a contemplative green courtyard between buildings for the resident outdoor space

The two-story and three-story product will offer a variety of studio, one-bedroom, two-bedroom and three-bedroom unit styles. Finally, a third building type offers townhome style units. The townhomes will be two-bedroom, two-bedroom den and three-bedroom units with two to two-and-a-half floors of living space over a two-car attached garage. The wide variety of building types and unit styles allows us to achieve a wide range of price points that appeal to a divergent demographic of renters. Additional surface parking and detached garage banks directly adjacent to each building will provide sufficient parking for residents and guests. Mandel prides itself on delivering the best finishes and amenities to each market in which we develop. Special attention will be paid to interior and exterior finish level to ensure The Retreat will be one of the finest in the Franklin submarket. Units ranging from studios to three-bedrooms will feature top-of-the-line finishes - quartz countertops, stainless steel appliances and hard surface plan flooring. Representative interior design of other Mandel developments, including our Velo Village development are included herein.



Commercial Use

Three to four commercial outlots are ideally positioned along Loomis Road to activate the node of the City and encourage new business development.

Resident Amenities

The development brand and identity located within this natural setting allows the delivery of unique resident amenities. A roughly 6,000 square foot clubhouse is positioned at the front door of the development, just behind the commercial outlots creating a defined marker for the residential setting. The clubhouse will include our leasing center and management offices along with an expansive clubroom that opens up onto ample patio space, outdoor kitchen and private pool. Adjacent outdoor uses including pickle ball courts, a putting and chipping green, professionally managed gardens and open green space elaborate the natural character of ecological features. The site planning will also include resident dog parks and several thousand linear feet of walking trails among the wetlands and woods. Expanding upon these walking trails are nodes for residents to explore and meander including picnic areas, open plazas for yoga sessions, natural play areas for kids and even a tree-house in the preserved woodlands.

Pedestrian Connectivity

With such a large redevelopment opportunity featuring a variety of uses, pedestrian connectivity within the site and the community at large is a critical component of the redevelopment's success. To that end, we will ensure that a series of pedestrian walking trails connecting not only the uses within our proposed redevelopment, but also the adjacent uses like Ballpark Commons and street frontage is thoughtful and well considered. We will work directly with planning staff to ensure that the redevelopment expands upon the City's network of walking trails and sidewalks.

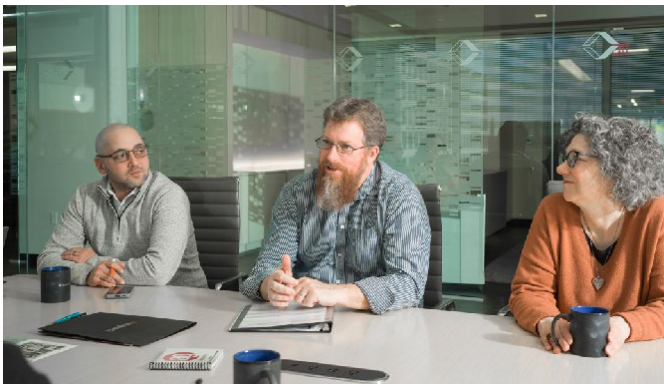
Natural Resource Protection

Throughout the due diligence process, we have identified several thousand square feet of wetland and woodlands to be preserved. Access roads are designed to circumvent these significant features. As a result, the site design is organized into 3 distinct enclaves in order to preserve, incorporate and highlight the site ecology.



Collaborative Design Approach

The plans included herein reflect a highly considered design solution that incorporates good design principles and is responsive to preliminary feedback from Staff and elected officials. Throughout the development process we are sure to encounter challenges and opportunities that will inform our design going forward. As with all Mandel developments, we will continue to solicit feedback from stakeholders including elected officials, nearby businesses and neighbors alike. It is our experience that the best projects are those informed by a reasonable, constructive conversation with all stakeholders. Outreach is a hallmark of all Mandel developments and we will continue to do the same in the City of Franklin.



Project Budget & Structuring a Public-Private Partnership

Redevelopment efforts of the contemplated size and complexity require access to debt, equity, and sometimes, funds obtained through a public-private partnership. Mandel has deep experience and significant bandwidth related to each source of capital. We are fortunate to work with all major lending institutions in this marketplace. In the past two years, Mandel secured construction loans ranging in size from \$20m to \$63m. We are proud to include in this package letters of recommendation from lending partners. Mandel has a deep well of private investors, including high net-worth individuals, family offices and institutional investors. In our most recent equity offering we raised nearly \$12m of cash in five days. We are confident that sourcing cash equity for this redevelopment effort is achievable.

Mandel has extensive and recent experience structuring public-private partnerships to facilitate redevelopment plans, including with the City of Franklin. These public-private partnerships work best, in our opinion, when they are the byproduct of a transparent, collaborative discussion with City officials. We recently negotiated tax incremental financing and subordinate debt agreements with the City of West Allis and the City of Wauwatosa. We are proud of the huge success of our public-private partnership with the City of Franklin on Velo Village.

We know some form of public-private partnership will be required to bring this project vision to reality. Our project budget and proforma are preliminary at this point and we will develop the budget in coordination with a general contractor an estimate based on advanced conceptual designs. Mandel will continue to refine those numbers through plan progression and development. However, we know today, there are two factors driving the need for a public-private partnership: (a) unique site conditions and (b) the “value gap” for luxury apartments.

The subject property, like many redevelopment efforts, is characterized by some unique site conditions. First, the site has had several thousand cubic yards of miscellaneous fill material deposited onto it over the years. The historic fill of the site may require environmental mitigation and permitting from the WNDR. Furthermore, based on preliminary investigation, there will be soil and groundwater mitigation requirements due to adjacent wetlands and ground water table. With further advancement of critical site due diligence, we will continue to identify and quantify the major risk points in our development budget. We also know that the quality of the development means it will cost more to construct than their estimated future value. This will create a “value gap”.



The luxury apartments will be a “legacy” development for Mandel and the City of Franklin. Mandel Group has a long history of developing and operating luxury apartments that stand the test of time. Our communities look as good in 10 years as they do the day they open. Our strategy requires higher quality design and construction, which cost a little bit more. Our leasing and maintenance teams actively manage our communities with an eye toward customer service and long-term quality. We do not defer necessary repairs and maintenance in an effort to squeeze every drop of profit out of a community.

The precise terms of the public-private partnership and corresponding development agreement will be negotiated in good faith with the City of Franklin and their consultants. While the specific terms will take some time to finalize, we are pleased to offer the following:

Developer Financed or “Pay Go” Structure

Mandel proposes to structure any tax incremental agreement as “developer financed” to eliminate the City’s financial risk. That is, Mandel will obtain all the required debt and equity to finance the project. If we create the tax increment by executing on the redevelopment as promised then we share in that increment.

Mutually Agreeable Redevelopment

Mandel will include in the development agreement a provision obligating it to construct precisely what is approved by the City. It is reasonable for the City to want to know exactly what it is getting and we are happy to provide such assurances.

Public Access Easement

Mandel proposes to redevelop a portion of site for “town center” public uses and associated infrastructure like public parking and walking trails. We expect such a promise to be documented in a legally binding easement that runs with the land.

Cost Savings

Mandel will agree to a cost savings provision. We will provide to the City a development budget prior to commencement of construction. If we are able to construct and stabilize the property for less than set forth in the budget we agree to share those savings with the City.

Participation in Additional Earnings

The terms of a public-private partnership will be based, in part, on costs and projected performance, or investor returns. If those investor returns exceed a mutually agreeable benchmark, Mandel agrees to share those enhanced returns with the City.

It is our hope that the foregoing summary demonstrates a productive and collaborative approach to deal structuring. If the PDD is approved, we would advance the specific terms of the public-private partnership in earnest. More specific budget estimates and underwriting will be set forth in the confidential and proprietary financial modeling provided to the City as part of our TIF application.

Development Ownership, Controls and Regulations

Mandel Group, Inc. is the lead developer and will control and manage the design, development and construction of the apartments, resident amenities and ecological preservation and infrastructure of The Retreat. ROC Ventures is a financial partner of the development and participates creatively in concept and design. They will also be the lead for programming and hospitality uses. The commercial outlots will likely be developed, designed and managed by a third party, but will still be subject to multiple layers of Mandel and City control, including design and operational guidelines.

First, Mandel will record against the entire property a restrictive covenant agreement (the "Restrictive Covenant") that provides cross-access easements among all the varied uses. The Restrictive Covenant will also give Mandel control over the architecture, site planning and landscaping on the entire redevelopment including the commercial outlots. The City will, of course, retain final approval rights of the commercial parcels. The Restrictive Covenant will also impose on-going maintenance standards and requirements to ensure the overall site is kept in good condition and repair. It is likely that Mandel Group, as manager of the apartments, will be responsible for maintaining general common areas, like stormwater management, and the commercial users will pay their share of such maintenance costs.

Mandel Group and the City will encumber the entire site with a mutually agreeable development agreement in addition to the PDD ordinance to set the density permitted on the property, setback requirements, maximum building height and impose an on-going maintenance obligation to ensure the development remains in good condition and repair.

Finally, the walking trails through the wetlands and woodlands are programmed to be public space that is open and accessible. There are multiple options to ensure that this space remain public including deeding the land to the City or recording public access easements against the property. We will continue to advance discussions with City staff to ensure we reach an agreement and approach which the City is comfortable.



Development Schedule

Entitlement & TIF ApprovalsAugust 2022 - April 2023

PermittingApril 2023 - June 2023

Construction Start October 2023



POLICY CONSIDERATIONS & ZONING ANALYSIS

The Retreat requires a rezoning to a Planned Development District and a Comprehensive Plan Amendment to allow for the proposed program uses. The existing current zoning is R-6 (Suburban Single-Family Residence District). A new Planned Development District with Mixed Compatible Uses will allow our proposed redevelopment to “derive maximum benefit from coordinated area site planning, diversified location of structures, and mixed compatible uses that result in the provision of a safe and efficient system for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and community facilities; and ensure adequate standards of construction and planning.” (UDO Section 15-3.0401A.) Although a change in use, the redevelopment maintains consistency with the City’s overall policy considerations identified in the City of Franklin Unified Development Ordinance and the 2009 Comprehensive Plan.

Policy Considerations of Comprehensive Plan and Standards for Planned Development District

The City of Franklin Comprehensive Plan identifies several guiding principles, goals and objectives to facilitate successful, balanced growth that enhances the quality of life for present and future generation, attracts knowledge workers and industry, provides a wide range of housing opportunities and creates access to recreation. The UDO specifies standards that represent the basis for approval for Planned Development Districts. In all cases, The Public Square is consistent with the stated goals of the Comprehensive Plan and the Planned Development District as summarized and demonstrated below.

Balanced Growth

Preserve the City’s community character while at the same time encouraging and directing growth and development. Support sustainable growth. Encourage a unified mix of uses that is compatible with the surrounding neighborhood. Ensure population impact has no adverse effect on schools and municipal services.

The Retreat includes a balanced mix of high-quality public, commercial and residential spaces while incorporating and enhancing existing ecological features and maintaining large expanses of open and programmed green space. The development itself represents a balance of new, economic development while at the same time preserving and enhancing ecological features. As with most other Mandel developments, the number of school aged children residing in our suburban communities is low and will likely have a negligible impact on schools. Furthermore, our redevelopment will generate significant impact fees sufficient to cover an increase in municipal services.

High Quality and High Value Development

Deliver high-quality development, regardless of use. High value development decreases the tax burden. Encourage compatible mixed-use development within commercial corridors. Strive toward excellence in creating attractive residential developments.

Mandel Group, Inc. has a reputation of delivering best-in-class residential and mixed-use communities to the markets in which we develop. Our efforts in Franklin will be no exception. High quality development begins with identifying the highest and best use for redevelopment opportunities, retaining the top consultants in the industry and a focus on thoughtful site planning. The best redevelopments are also those that incorporate reasonable, constructive feedback of project stakeholders including City Staff, elected officials, neighbors and nearby businesses. On-going dialogue with project stakeholders is a hallmark of all Mandel developments and we will do the same with The Retreat. The quality of our work permeates through our

building architecture and exterior and interior finishes, floor plans and resident and public amenities.

Economic Development

Promote Franklin as a high-quality community that supports residents and business, creates jobs for a growing population and expands and diversifies the City's tax base. Create a range of employment opportunities.

The Retreat with a mix of residential and commercial uses creates significant economic impact to the City of Franklin and, more generally, the region. An independent, third-party economic impact assessment prepared by Baker Tilly quantified the impact in terms of jobs and economic output. The report is included herein, as Exhibit A. Highlights from the report indicate the Construction Impact generates \$147.3M of economic output and labor income while at the same time creating 785.7 total jobs. The annual Operation Impact is roughly \$18.6 of annual economic output and labor income with 90.2 total jobs. The economic output over the next 10 years is estimated a \$207.5M and deploys approximately \$2.0M in disposable income in the area.

Furthermore, the contemplated development represents a massive expansion of the City's tax base. Over \$100 million of new tax base could yield over \$1.2 million in annual taxes upon closure of the TID. Finally, the proposed redevelopment will generate over \$2 million in impact fee revenue for the City of Franklin. Impact fees will help the City pay for parks, police and fire protection, libraries and other municipal services.

Housing Principles

Provide a wide range of housing opportunities that support working professionals, seniors, and families. Allow for a variety of residential types and densities wherever possible and appropriate.

The Retreat delivers a unique housing option for residents within the City of Franklin as an alternative to the for-sale single-family and multi-family options that currently exist. Within the development, a range of unit styles at varying rental rates will be available including studio, one-bedroom, two-bedroom and three-bedroom unit styles. The variety of housing styles appeals to a wide range of demographics ranging from Generation Z to Millennials and Empty Nesters. The adjacent public and commercial uses create a highly unique and unmatched housing opportunity with the City of Franklin. Additionally, Mandel's proposed "The Public" development provides yet another housing type and style in a more vibrant, urban setting for those who may desire a more active and high-energy living experience.

Transportation

Create and maintain a safe and efficient transportation and create opportunities for walking and bicycling.

The redevelopment of the site requires significant coordination with the DOT to create a safe, effective traffic pattern. Access to the development will be from full movement intersection at Loomis Road, directly across from Ballpark Drive. The DOT requires that, with the new intersection, the roadway reconfiguration remove the existing collector-distributor roadway located along W. Loomis Rd. between S 76th St. and W. Rawson Ave. and the on-ramp from W. Rawson Ave. to W. Loomis Rd. The result would be a safer and more traditional diamond interchange configuration at W. Loomis Rd. and S. 76th St. in the southbound direction. A traffic study is currently underway that will evaluate the existing traffic patterns, future traffic generated by our development and the traffic impact and improvements required to create safe and efficient traffic patterns. We will continue to work with the DOT and Staff to ensure that our development will not negatively impact any

nearby traffic conditions and that we create safe access and thoroughfares.

The access road from Loomis runs through the site, connecting to Terrace Drive to the east and will be a public road, per City Engineering request. The balance of the road through the site will be private. A third connection to the south to 82nd Street is also shown, but this would serve emergency vehicles only and will include a crash gate.

Ample walking and bike trails are found throughout our development, connecting the residential, public and natural environment. We will continue to work with planning staff to ensure the connectivity of our development with adjacent uses and the larger redevelopment hubs within the City of Franklin.

Community Facilities

Provide access to parks, open space and a wide range of recreational programs and facilities that promote an active and healthy lifestyle. Make Franklin a community of modern conveniences. Create a city-wide trail system for pedestrians and cyclists. Identify opportunities for new neighborhood parks and city parks. Create links for natural areas when developing park areas.

One of the key features of The Retreat is the enhancement of wetlands and woodlands. Given the large area and our desire to maintain and enhance them, it is our goal to include public walking trails and nodes throughout the natural areas.

Sustainability and Environmental Resources

Enhance natural resource features to maintain the natural beauty of the City and balance these with the development rights of planned zoning. Include public open space within and adjacent to mixed-use development. Require guarantee for Preservation of Open Space.

The main goal for this development is to preserve and incorporate natural features and green space into the overall site planning. Over 57% of the site is preserved natural features. The building and roadway placement mitigates impact to the wetlands and woodlands found on the site. There are a variety of ways to guarantee the preservation of open space and the public accessibility throughout our site and we are open to working with City to appropriately record public access and preservation.

PDD Requirements, Underlying Zoning and Proposed Development Standards

We understand that certain residential density calculations, Open Space Ratios, Landscape Surface Ratios, and Maximum Floor Areas ratios will be required to meet the PDD requirements. As our concept plans advance and we are able to identify specific parcel boundaries, landscaping and open space ratios, we will ensure that the ratios and calculations are clearly specified within the PDD ordinance. At this time, our concept plans are preliminary in nature and do not provide sufficient detail to calculate.



EXHIBIT A – BAKER TILLY ECONOMIC IMPACT ANALYSIS

Loomis and Rawson

FRANKLIN, WISCONSIN



The redevelopment concept consists of approximately four (4) to five (5) retail outlots fronting Loomis Road with roughly 430 apartments organically positioned around significant ecological features found on the site. The units will be contained in a variety of slab of grade garden style buildings including two-story and three-story structures with 20 to 40 units per building and approximately 40% attached garages. Units will include studios, one-bedroom, two-bedroom and three-bedroom unit styles. We also plan to include roughly sixteen (16) two-bedroom and three-bedroom townhome units which will include two-car attached garages. The variety of building and unit styles will appeal to a wide demographic of potential renters.

Construction Impact

Economic Output and Labor Income



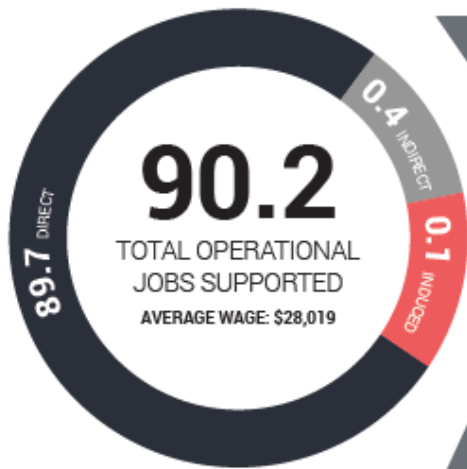
Construction Supply Chain

Based on industry data for the local area, an estimated 56% of the goods and services that construction of the facility will require can be provided within the region.



Operational Impacts

Annual Economic Output and Labor Income



\$207.5M

ECONOMIC OUTPUT OVER THE NEXT 10 YEARS

Operational Supply Chain

Based on industry data for the local area, an estimated 67% of the goods and services that the facility will require to operate can be provided within the region.

Local Expenditures

Based on industry patterns in the local area, it is estimated that use of the town center will result in the expenditure of approximately \$1.96 million in disposable income.

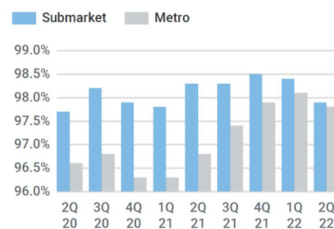
Baker Tilly US, LLP trading as Baker Tilly is a member of the global network of Baker Tilly International Ltd., the members of which are separate and independent legal entities. © 2022 Baker Tilly US, LLP

THE NEED FOR APARTMENTS

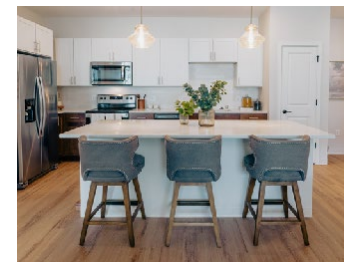
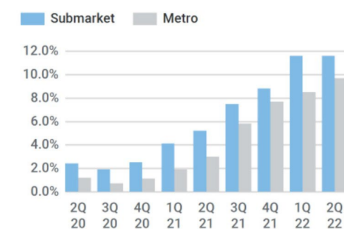
- Homeownership rates are at 40-year historic lows.
- Millennials delaying household formation and homeownership.
- Millennials burdened with student debt that has limited their saving for a down payment.
- The average sales price for homes continues to rise.
- Interest rates on home mortgages continue to rise.
- Largest growing renter demographic over the last ten years has been the baby boomer cohort.
- Generation Z is demonstrating a strong propensity to rent.
- Life cycle housing creates healthy, viable communities. Apartments offer a housing solution that allows younger families looking to buy in the community the opportunity to rent. Apartments offer empty nesters the opportunity to remain the communities they are rooted, but with added flexibility and long-term maintenance.
- Franklin submarket apartment fundamentals are strong - 96%+ occupancy and double digit rent growth the past three quarters.
- Marginal demand analysis of income qualified renter growth vs. units in pipeline demonstrates a surplus demand of 200 units.
- Velo Village's record setting lease-up at 30 units per month demonstrates strong demand of immediate area.

Income Eligible Renter Population Primary Market Area (10-Mile of Franklin City Center)		
Year	2022	2027
Total Population	518,612	512,083
Households Total	214,301	212,468
Renter-Occupied Households	82,401	79,375
Income Brackets		
	Total Households	Total Households
\$50,000 - \$74,999	40,002	36,577
\$75,000 - \$99,999	30,817	29,873
\$100,000 - \$149,999	41,423	50,243
\$150,000 - \$199,999	15,862	22,756
\$200,000+	10,842	13,293
	Total Households	Total Households
Total # of Income-Eligible Households	138,946	152,742
% Renter-Occupied	38.45%	37.36%
# Income-Eligible Renter-Occupied Households	53,426	57,062

Occupancy



Annual Rent Change



Marginal Demand Analysis		
a	Income Qualified Renter Households 2022	53,426
b	Income Qualified Renter Households 2027	57,062
c	Increase in Income Qualified Renter Households	3,636
d	# Units in Pipeline	2,575
e	Subject Units	1,003
f	Total New Supply (d+e)	3,578
g	New Units at Balanced Market (96%)	3,435
h	Net Excess Demand (c-g)	201



LETTERS OF RECOMMENDATION



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT WI 53217-3505
414-351-8900
FAX 414-351-8509

September 28, 2022

City of Franklin Common Council
Franklin City Hall
9229 W. Loomis Road
Franklin, WI. 53132

To Whom It May Concern:

It is my understanding that Mandel Group ("Mandel") is pursuing a variety of mixed-use and residential development opportunities within the City of Franklin. Most recently, we had the pleasure of working closely with Mandel on the Chiswick Apartments in the Village of Fox Point.

Mandel's attention to detail and responsiveness to the neighbor concerns was unmatched in the community. They set a great example for continued excellence within the Village and certainly raised the bar for developer expectations going forward.

We were very pleased to work with their team on creating a development which has been extremely successful for not only Mandel Group but also the Village as a whole.

Should the opportunity present itself, we would certainly welcome working with them again.

Ian Martin, Emily Cialdini and the Mandel team were always extremely responsive to inquiries from my office and made appropriate modifications to design as suggested by citizens at public meetings. They listened and worked hard to be a good neighbor in the community.

Please contact me should you have any questions.

Sincerely,

Scott Botcher
Village Manager
Village of Fox Point



September 30, 2022

City of Franklin Common Council
Franklin City Hall
9229 W. Loomis Road
Franklin, WI. 53132

To Whom It May Concern:

It is my understanding that Mandel Group is pursuing a variety of mixed-use and housing development opportunities in the City of Franklin.

CIBC Bank USA (previously The PrivateBank and Trust Co.) has had an ongoing and broad banking relationship with Mandel and its project affiliates for over 18 years. We have come to know first-hand Mandel's unsurpassed development and management expertise, professionalism, and attention to detail; thus, we hold the company's leadership and employees in the highest regard and recommend them to you.

Over the past 18 years we have provided Mandel with a full range of banking and credit services – as depository, letter of credit provider, bridge loan lender, and construction lender. During this time we have financed several of Mandel's multifamily development projects, the most recent of which is Velo Village apartments in Franklin. We will certainly be interested in discussing with Mandel the lending opportunities associated with your projects.

Please feel free to contact me at 414.291.7117 if you have questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "James Roemer".

James Roemer
Managing Director



October 4, 2022

City of Franklin Common Council
Franklin City Hall
9229 W. Loomis Road
Franklin, WI. 53132

To Whom It May Concern:

It is my understanding that Mandel Group is pursuing a variety of mixed-use and residential development opportunities in the City of Franklin. Mandel Group and Old National Bank have had a successful banking relationship since 2014. Over our history, Old National has financed several of Mandel's developments including Echelon apartments in Wauwatosa, DoMus apartments in Milwaukee and The Chiswick at Dunwood in Fox Point. All have led to successful development for both the bank and Mandel.

We currently have two developments with Mandel including Taxco apartments in Walker's Point, Milwaukee and Bridgewalk in Waukesha. Our current commitments with Mandel total over \$68 million.

With Mandel's ability to execute large and complex developments, customer focused management expertise and attention to detail and identifying solutions, we look forward to financing additional development with their company. We respect their ability to manage risk and in-house capacity for every aspect of real estate development.

We would look forward to the opportunity to finance additional development with their company. Please don't hesitate to reach out if you have further questions.

Sincerely,

Nicole R Willoughby

Nicole R. Willoughby, CCIM
Vice President - Commercial Real Estate Relationship Manager
T: 414-290-7040
Nicole.Willoughby@Oldnational.com
Old National Bank
788 North Jefferson Street, Suite 900
Milwaukee, WI 53202

The Retreat - Loomis & Rawson Site Intensity Standards*			
Gross Site Area	51.4		
Max Building Height	70 feet		
Max Number of Stories	5		
Residential Intensity Standards		Commercial Intensity Standards	
Base Site Area	46.82	Base Site Area	2.25
Open Space Ratio	0.35	Landscape Surface Ratio	0.10
Net Density	30	Net Floor Area	0.75
Gross Density	12	Gross Floor Area	0.70

* Parcel boundaries are not yet determined for residential and commercial uses.
Therefore, site intensity standards are estimates that are subject to change.



THE RETREAT

W. LOOMIS ROAD
Franklin, WI

CITY REVIEW

October 5, 2022

BUILDING	UNIT COUNT	PARKING	
		ENCLOSED (1:1)	SURFACE (1:.75)
A 3 STORY	42	42	31
B 2 STORY	23	23	17
C 3 STORY	42	42	31
D 2 STORY	23	23	17
E 3 STORY	42	42	31
F 2 STORY	23	23	17
G 3 STORY	42	42	31
H 2 STORY	23	23	17
I 3 STORY	42	42	31
J 3 STORY	42	42	31
K TOWNHOUSE	7	7	5
L TOWNHOUSE	7	7	5
TOTALS	358 UNITS	358 STALLS	264 STALLS



NORTH SCALE 1 : 100

SITE PLAN

THE RETREAT

OCTOBER 5, 2022



AERIAL VIEW - From W. Loomis Ave. Looking East

SUBURBAN RESIDENTIAL COMMUNITY PRESERVING WETLANDS + WOODLANDS
LOW DENSITY + SMALL SCALE RESIDENTIAL BUILDINGS
TERRACE DRIVE PROVIDES PUBLIC STREET CONNECTION TO COMMERCIAL LOTS + W. LOOMIS AVE.



THE RETREAT



AERIAL VIEW - Looking West towards W. Loomis Ave. + VELO Village

RESIDENTIAL COMMUNITY IN CLOSE CONTACT WITH NATURAL ENVIRONMENT
CULTIVATES A SERENE SUSTAINABLE + WELLNESS FOCUSED LIFESTYLE
BUILDING SPACING ALLOWS FOR AMPLE OUTDOOR AMMENITY SPACE

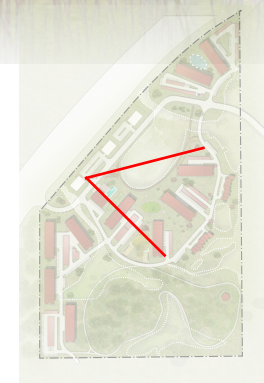


THE RETREAT



GROUND VIEW - CLUBHOUSE

PEDESTRIAN TRAILS + BOARDWALK LEADING RESIDENTIAL UNITS TO CLUBHOUSE
OUTDOOR RECREATIONAL SPACES FOR ENHANCED COMMUNITY CONNECTION TO ECOLOGY
AMENITIES + ACTIVITIES - YOGA, PICKLE BALL, BOCCE BALL, DOG PARK, PUTTING GREENS, COMMUNITY GARDENS



THE RETREAT



GROUND VIEW - Contemplative Courtyard between Buildings

OPPORTUNITIES TO WANDER + EXPLORE + MEDITATE
UNIT BALCONIES + WALK-OUT PATIOS ALLOW RESIDENTS TO ENGAGE DIRECTLY WITH THE OUTDOORS
MEANDERING PATHS + TRAILS CONNECT RESIDENTS THROUGH WOODLANDS + WETLANDS CREATING A WALKABLE COMMUNITY



THE RETREAT



THE RETREAT



THE RETREAT

OCTOBER 5, 2022

MANDEL GROUP

roc continom
ARCHITECTS + PLANNERS

SIGMA
Life Science. Smart Solutions. Global.

REPRESENTATIVE INTERIOR DESIGN - MANDEL DEVELOPMENTS



Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT*

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	51.40 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	2.33 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (2.25) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	2.25 acres
STEP 5:	Equals "Base Site Area"	= 46.82 acres residential

= 2.25 commercial

* Parcel boundaries are not yet determined for residential and commercial uses. Therefore, site intensity standards are estimates that are subject to change.

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>10.01</u> =	7.01
Young	0.50	0.50	0.50	X <u>2.88</u> =	1.44
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u>7.13</u> =	7.13
Wetland Setback	--	--	--	X <u>5.05</u> =	
Wetlands & Shoreland Wetlands	1	1	1	X <u>12.65</u> =	12.65
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					28.23

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0504

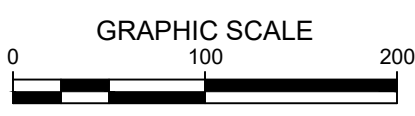
**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR RESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>46.82</u></p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u></p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	<p>16.39 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>46.82</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: <u>28.23</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p>18.59 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>18.59</u></p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>30</u></p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	<p>558 D.U.s</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>46.82</u></p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>12</u></p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	<p>562 D.U.s</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p>558 D.U.s</p>

Table 15-3.0505

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL DEVELOPMENT

<p>STEP 1:</p>	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 2.25 </u></p> <p>Multiply by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u> 0.10 </u></p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p>0.225 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 2.25 </u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u> 0.225 </u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p>2.025 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): 2.025</p> <p>Multiply by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u> 0.75 </u></p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p>1.52 acres</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u> 2.25 </u></p> <p>Multiply by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u> 0.70 </u></p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p>1.58 acres</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p>1.52 acres (<u> 66,211 </u> s.f.)</p>



LOOMIS ROAD
WEST LOOMIS ROAD
FRANKLIN, WI 53132

SITE SURVEY

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

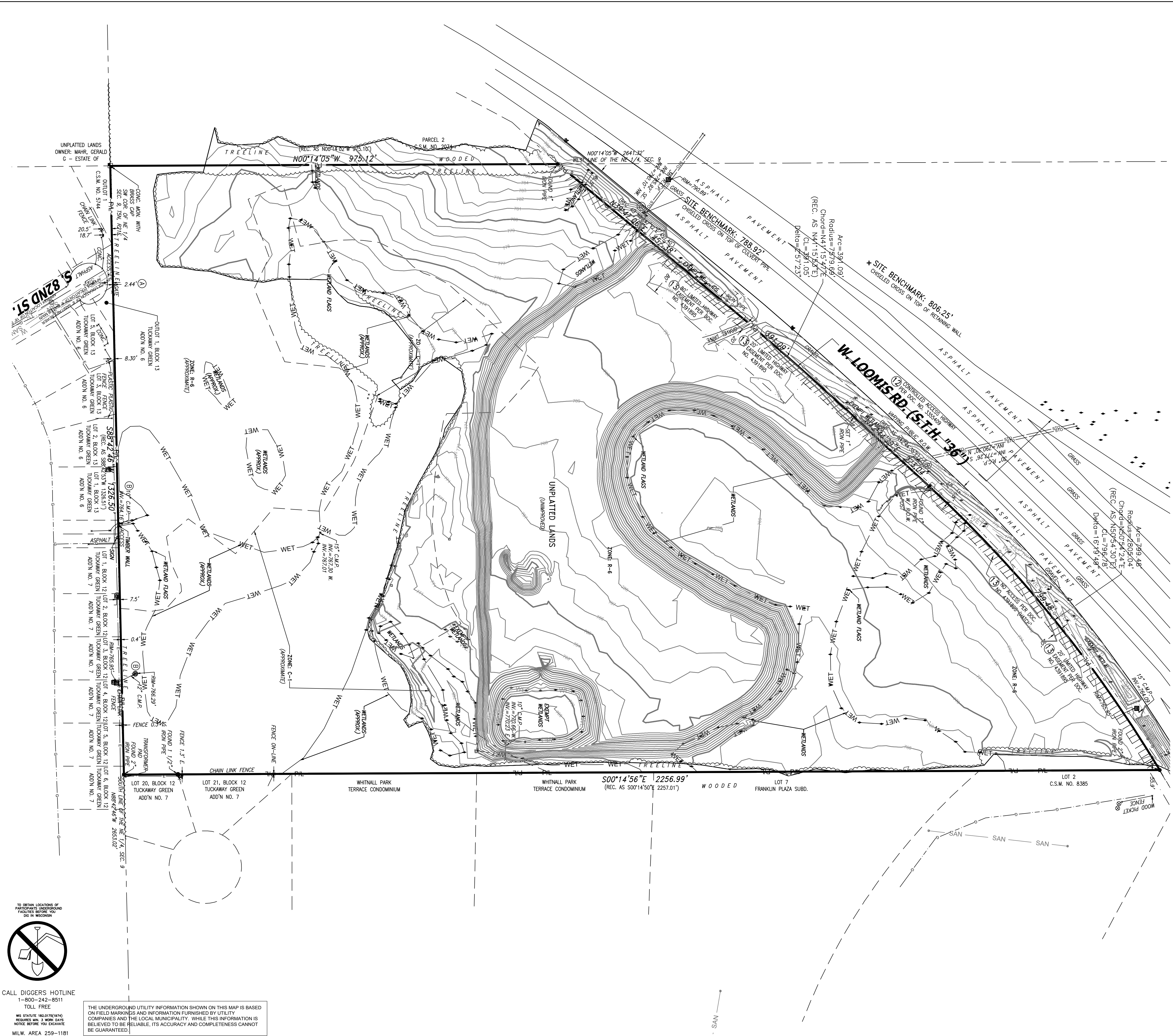
NO. REVISION	DATE

SCALE:	1"=100'
PROJECT NO:	21200
DESIGN DATE:	----
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	
SHEET NO:	C001

LEGEND

- SANITARY SEWER
 - STORM SEWER
 - WATERLINE
 - MARKED GAS MAIN
 - MARKED ELECTRIC OVERHEAD WIRES
 - MARKED TELEPHONE
 - MARKED CABLE TV LINE
 - MARKED FIBER OPTIC
 - BURIED ELECTRIC SERVICE
 - BOARD FENCE
 - CHAIN LINK FENCE
 - WIRE FENCE
-
- INDICATES FOUND 1" IRON PIPE
 - INDICATES SET 1" IRON PIPE
 - + INDICATES FOUND CHISELED CROSS
 - ⊙ SANITARY MANHOLE
 - * SANITARY CLEANOUT OR VENT
 - ⊕ SEPTIC TANK ACCESS COVER
 - ⊙ M.I.S. MANHOLE
 - UNKNOWN MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ INLET (ROUND)
 - ⊙ INLET (SQUARE)
 - ⊙ CURB INLET
 - ⊙ STORM SEWER END SECTION
 - ⊙ GAS VALVE
 - ⊙ WATER VALVE
 - ⊙ GAS METER
 - ⊙ HYDRANT
 - ⊙ WATER MANHOLE
 - ⊙ WATER SERVICE CURB STOP
 - ⊙ WELL HEAD
 - ⊙ STAND PIPE
 - ⊙ MARSH
 - ⊙ FLAGPOLE
 - ⊙ PARKING METER
 - ⊙ SIGN
 - ⊙ MAILBOX
-
- ⊙ WALL INDICATOR VALVE
 - ⊙ POST INDICATOR VALVE
 - ⊙ LIGHT POLE
 - ⊙ SPOT/YARD LIGHT
 - ⊙ UTILITY POLE
 - ⊙ GUY POLE
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC PEDESTAL
 - ⊙ ELECTRIC METER
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ CABLE PEDESTAL
 - ⊙ CONTROL BOX
 - ⊙ FIBER OPTIC SIGN
 - ⊙ TRAFFIC LIGHT
 - ⊙ COMMUNICATION MANHOLE
 - ⊙ BOLLARD
 - ⊙ SOIL BORING/MONITORING WELL
 - ⊙ WATER SURFACE
 - ⊙ WETLANDS FLAG
 - ⊙ RAILROAD CROSSING SIGNAL
 - ⊙ HANDICAP SPACE
 - ⊙ CONIFEROUS TREE
 - ⊙ DECIDUOUS TREE

- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CHAPUT LAND SURVEYS ON 8/17/22.
 4. DATUM FOR THE PROJECT SURVEY IS USGS NAVD 88. BENCHMARK FOR THE PROJECT SURVEY IS CHISELED CROSS ON TOP OF CULVERT PIPE WESTERN EDGE OF PROPERTY ELEV. 788.92.
 5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

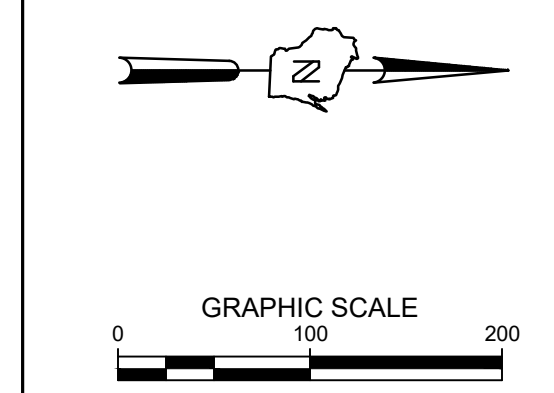


TO OBTAIN LOCATIONS OF
 NEAREST UNDERGROUND
 UTILITIES BEFORE YOU
 DIG OR EXCAVATE

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE STATUTE 182.07(2)(b) REQUIRES YOU TO OBTAIN NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



**LOOMIS ROAD
WEST LOOMIS ROAD
FRANKLIN, WI 53132**

EROSION CONTROL

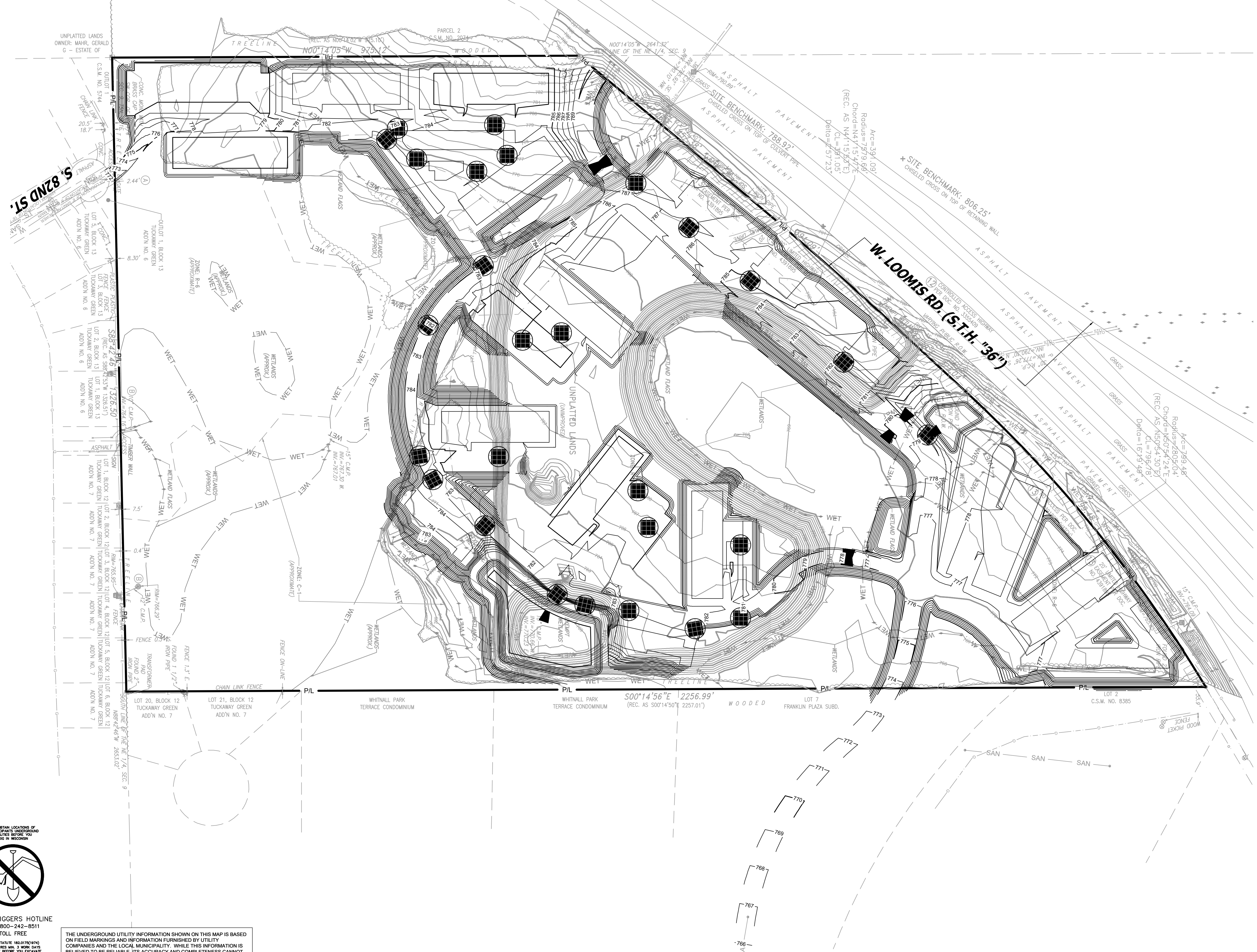
**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

NO. REVISION	DATE

SCALE:	1"=100'
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APPROVED BY:	
SHEET NO:	

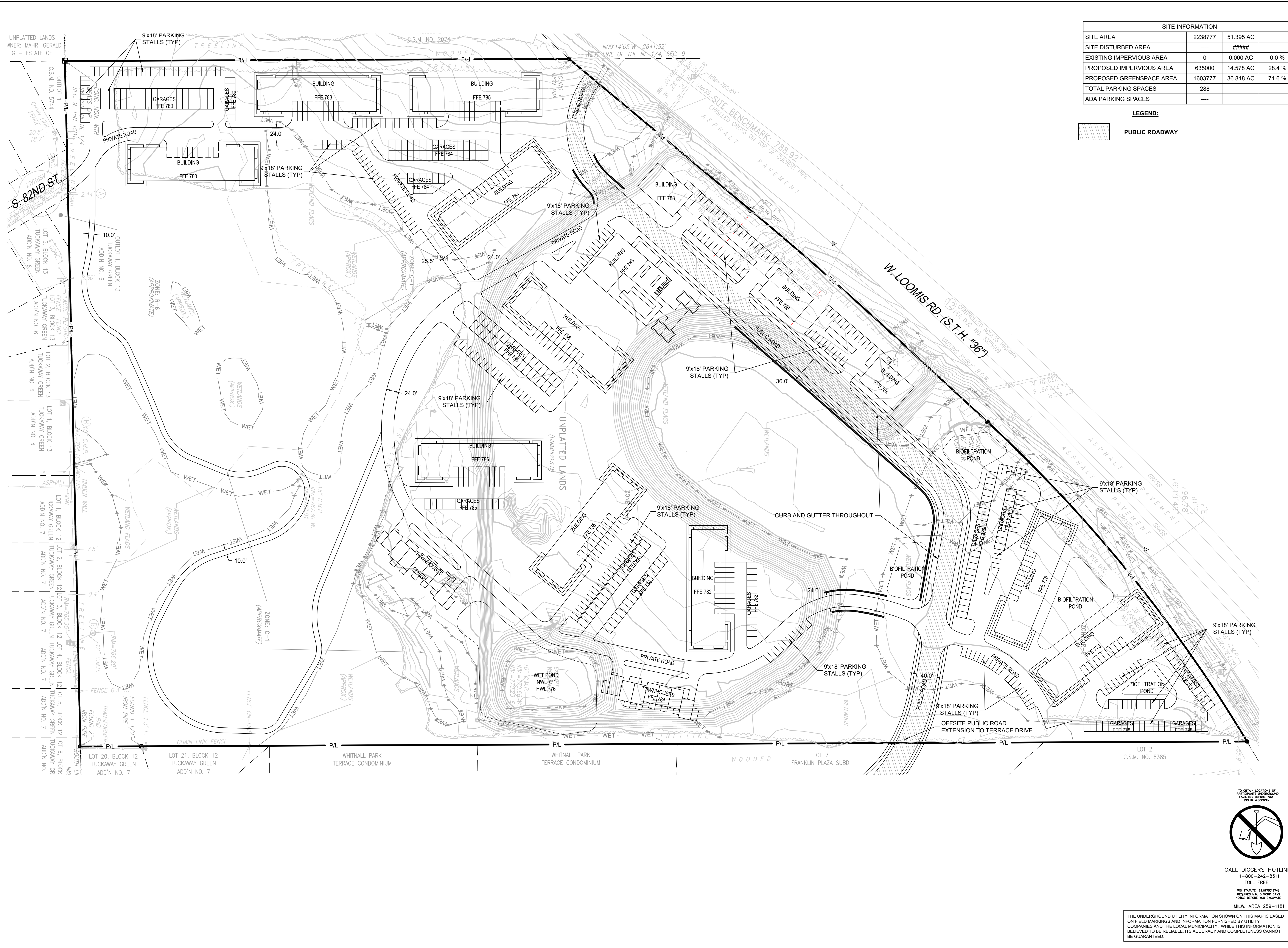
C002



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WE STATE (82.07(8))
REQUIRES IN 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



SITE INFORMATION			
SITE AREA	2238777	51.395 AC	
SITE DISTURBED AREA	----	#####	
EXISTING IMPERVIOUS AREA	0	0.000 AC	0.0 %
PROPOSED IMPERVIOUS AREA	635000	14.578 AC	28.4 %
PROPOSED GREENSPACE AREA	1603777	36.818 AC	71.6 %
TOTAL PARKING SPACES	288		
ADA PARKING SPACES	----		

LEGEND:
 PUBLIC ROADWAY

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53203
 Phone: 414-643-4200
 Fax: 414-643-4210

MANDEL GROUP
 330 East Kilbourn Avenue
 Milwaukee, WI 53202
 Phone: 414-347-3600
 mandelgroup.com

North arrow pointing right with 'N' and '2'.

GRAPHIC SCALE
 0 50 100

**LOOMIS ROAD
 WEST LOOMIS ROAD
 FRANKLIN, WI 53132**

SITE PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

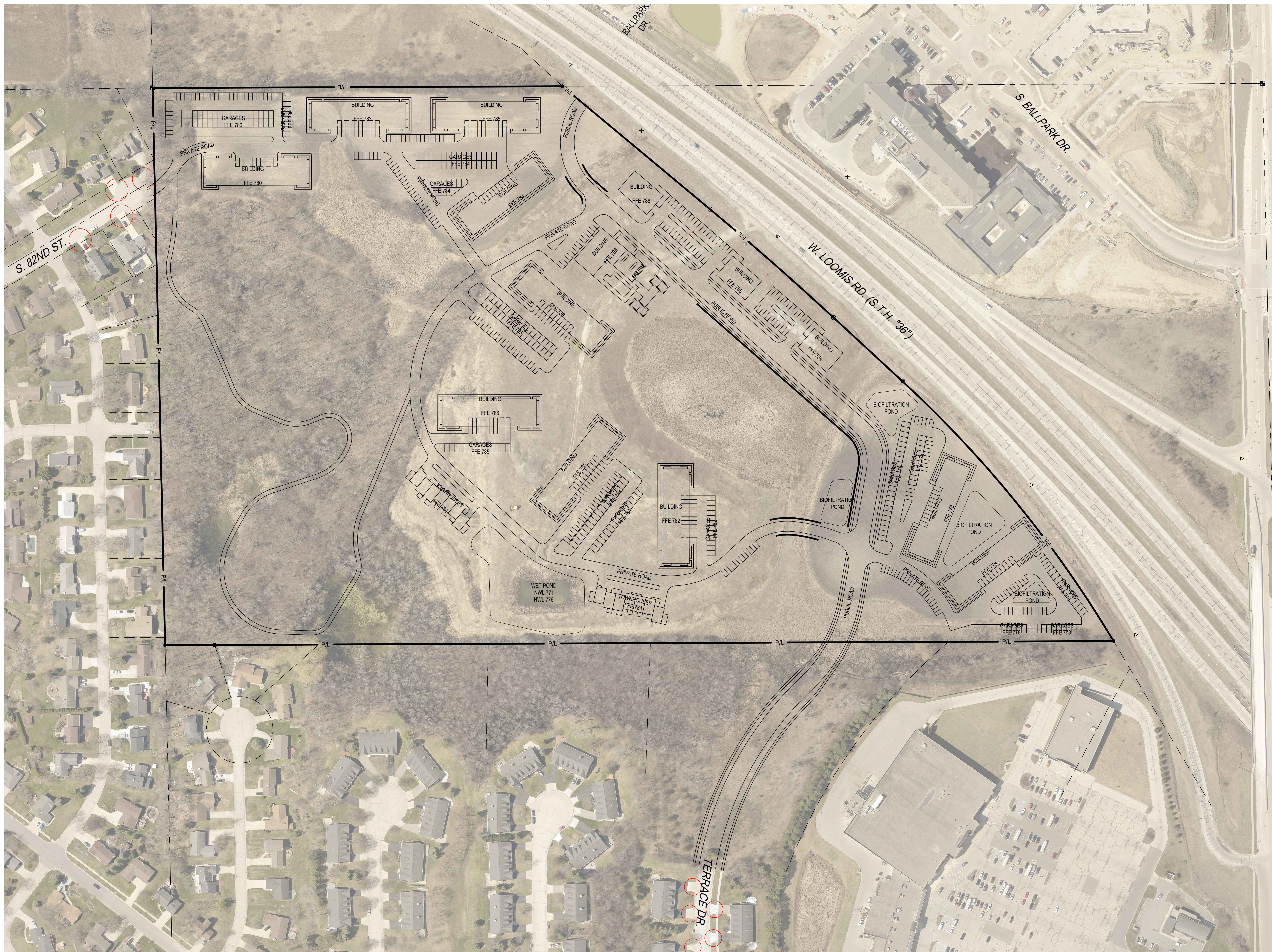
ISSUANCE	DATE
CITY SUBMITAL	11/04/2022
NO. REVISION	DATE

SCALE:	1"=80'
PROJECT NO:	21200
DESIGN DATE:	----
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	
SHEET NO:	C100

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

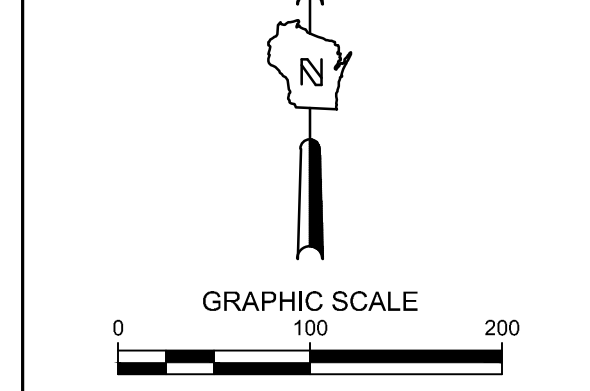
WE STRIKE 180 DTR (P&H)
 REQUIRES 48 HRS. WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



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MANDEL GROUP
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 Milwaukee, WI 53232
 Phone: 414-347-3600
 mandelgroup.com



LOOMIS ROAD
WEST LOOMIS ROAD
FRANKLIN, WI 53132
 ADJACENT DRIVEWAY LOCATIONS

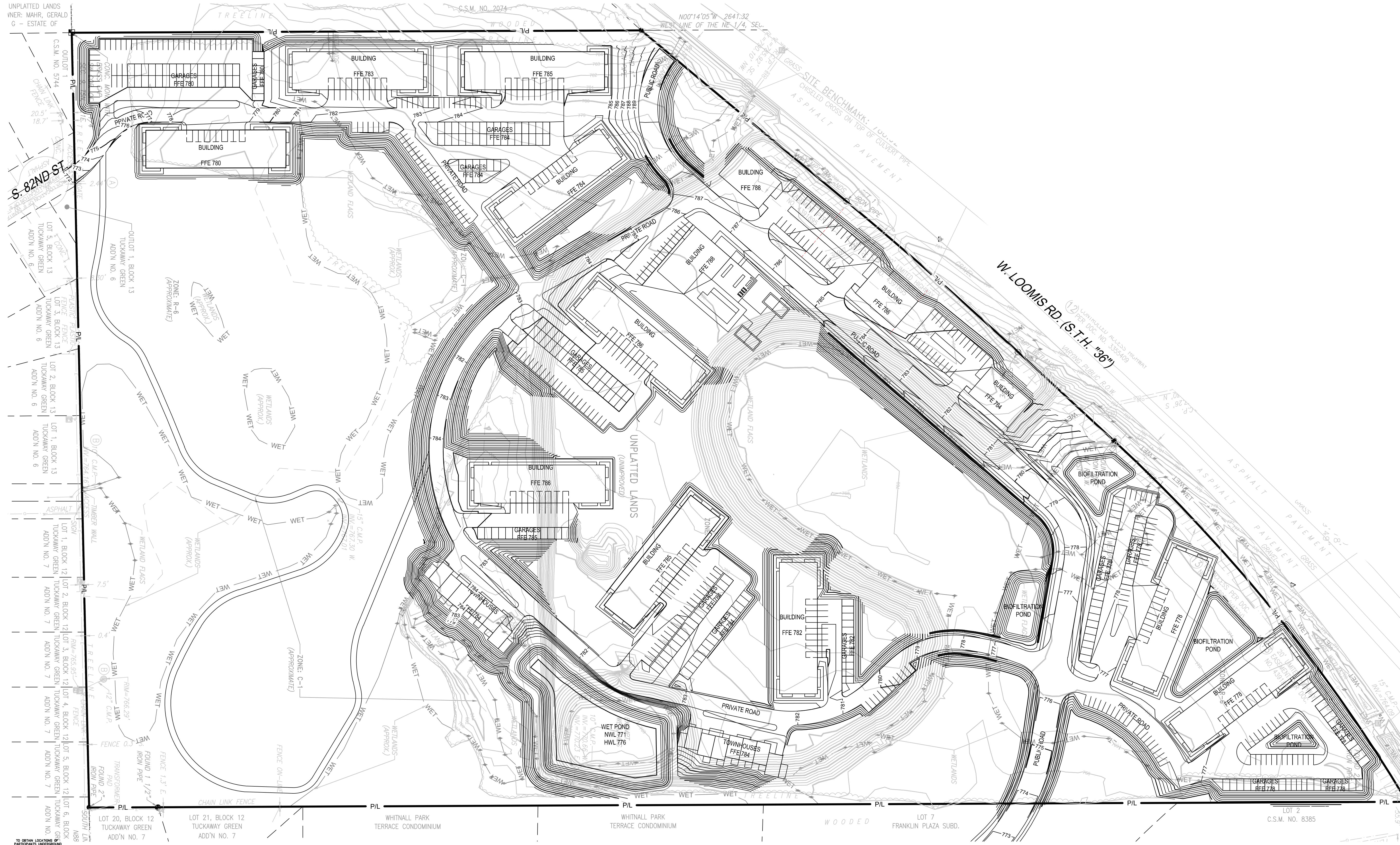
PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

NO. REVISION	DATE

SCALE:	1"=100'
PROJECT NO:	21200
DESIGN DATE:	---
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	
SHEET NO:	

C003



UNPLATTED LANDS OWNER: MAHR, GERALD C - ESTATE OF

C.S.M. NO. 5744

LOT 5, BLOCK 13 TUCKAWAY GREEN ADD'N NO. 6

LOT 2, BLOCK 13 TUCKAWAY GREEN ADD'N NO. 6

LOT 1, BLOCK 13 TUCKAWAY GREEN ADD'N NO. 6

LOT 1, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 2, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 3, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 4, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 5, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 6, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 20, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

LOT 21, BLOCK 12 TUCKAWAY GREEN ADD'N NO. 7

WHITNALL PARK TERRACE CONDOMINIUM

WHITNALL PARK TERRACE CONDOMINIUM

WOODED

LOT 7 FRANKLIN PLAZA SUBD.

LOT 2 C.S.M. NO. 8385

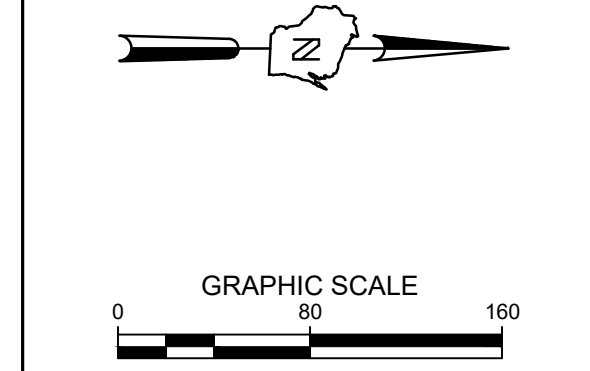
TO OBTAIN LOCATIONS OF PUBLIC UTILITIES AND FACILITIES BEFORE YOU EXCAVATE, CALL THE DIGGER'S HOTLINE 1-800-242-8511 TOLL FREE.

WE STRIKE 180-276-9794

REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



**LOOMIS ROAD
 WEST LOOMIS ROAD
 FRANKLIN, WI 53132
 OVERALL GRADING PLAN**

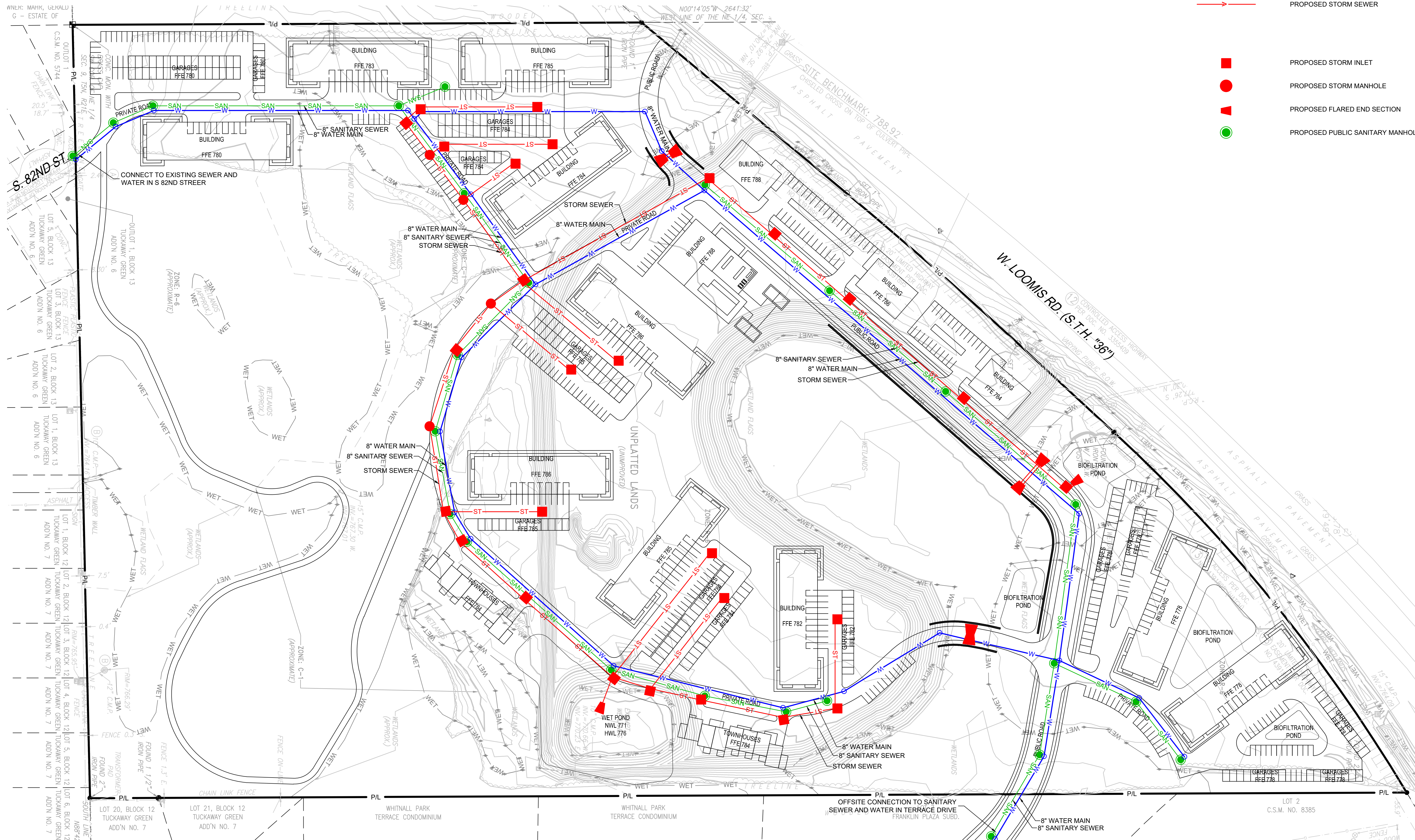
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

NO. REVISION	DATE

SCALE:	1"=80'
PROJECT NO:	21200
DESIGN DATE:	---
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	
SHEET NO:	

C200



- LEGEND:**
- W PROPOSED PUBLIC WATER SERVICE
 - SAN PROPOSED PUBLIC SANITARY SERVICE
 - ST PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE
 - ▲ PROPOSED FLARED END SECTION
 - PROPOSED PUBLIC SANITARY MANHOLE

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 330 East Kilbourn Avenue
 Milwaukee, WI 53202
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 mandelgroup.com

GRAPHIC SCALE
 0 60 120

**LOOMIS ROAD
 WEST LOOMIS ROAD
 FRANKLIN, WI 53132**

OVERALL UTILITY PLAN

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

NO. REVISION	DATE

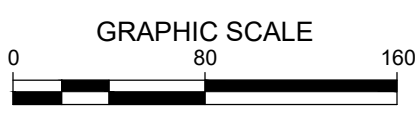
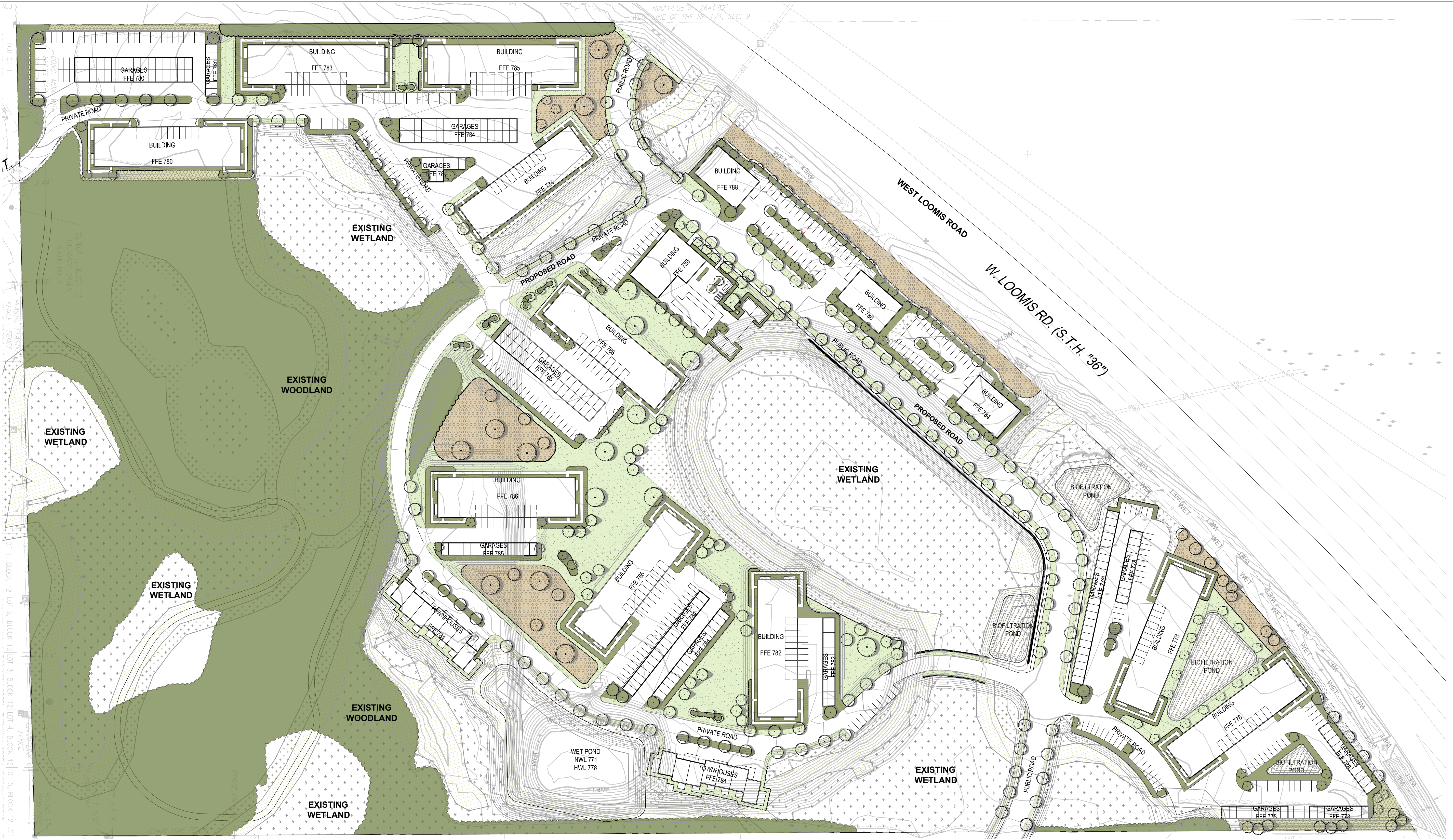
SCALE:	1"=80'
PROJECT NO:	21200
DESIGN DATE:	---
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	
SHEET NO:	

C300

TO OBTAIN LOCATIONS OF
 PUBLIC WATER MAINS AND
 SANITARY SEWERS,
 CONTACT THE LOCAL
 MUNICIPALITY. WHILE THIS
 INFORMATION IS BELIEVED
 TO BE RELIABLE, ITS
 ACCURACY AND
 COMPLETENESS CANNOT
 BE GUARANTEED.

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE STATUTE 182.07(2)(b)
 REQUIRES YOU TO MARK
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181



LOOMIS ROAD
WEST LOOMIS ROAD
FRANKLIN, WI 53132
OVERALL LANDSCAPE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

NO. REVISION	DATE

SCALE:	#####
PROJECT NO:	21200
DESIGN DATE:	----
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	

SHEET NO:
L100

CITY OF FRANKLIN LANDSCAPE REQUIREMENTS:

Overall Type	Minimum (City Standards)	Required	Proposed	Remarks
City of Franklin Landscape Requirements:				
Total Dwelling Units (D.U.) = 356				
Landscape Area Ratio Percentage = 64%				
Trees Preserved (>8" Cal.)	N/A	N/A		
Trees Preserved (6" Height < 8" Cal.)	N/A	N/A		
Canopy/Shade Trees	1.5 / DU	534		
Evergreen Trees	1 / DU	356		
Decorative Trees	1 / DU	356		
Shrubs	3 / DU	1,068		
Number of Species Planted	4	4		
Number of Each Species Planted	10	10		

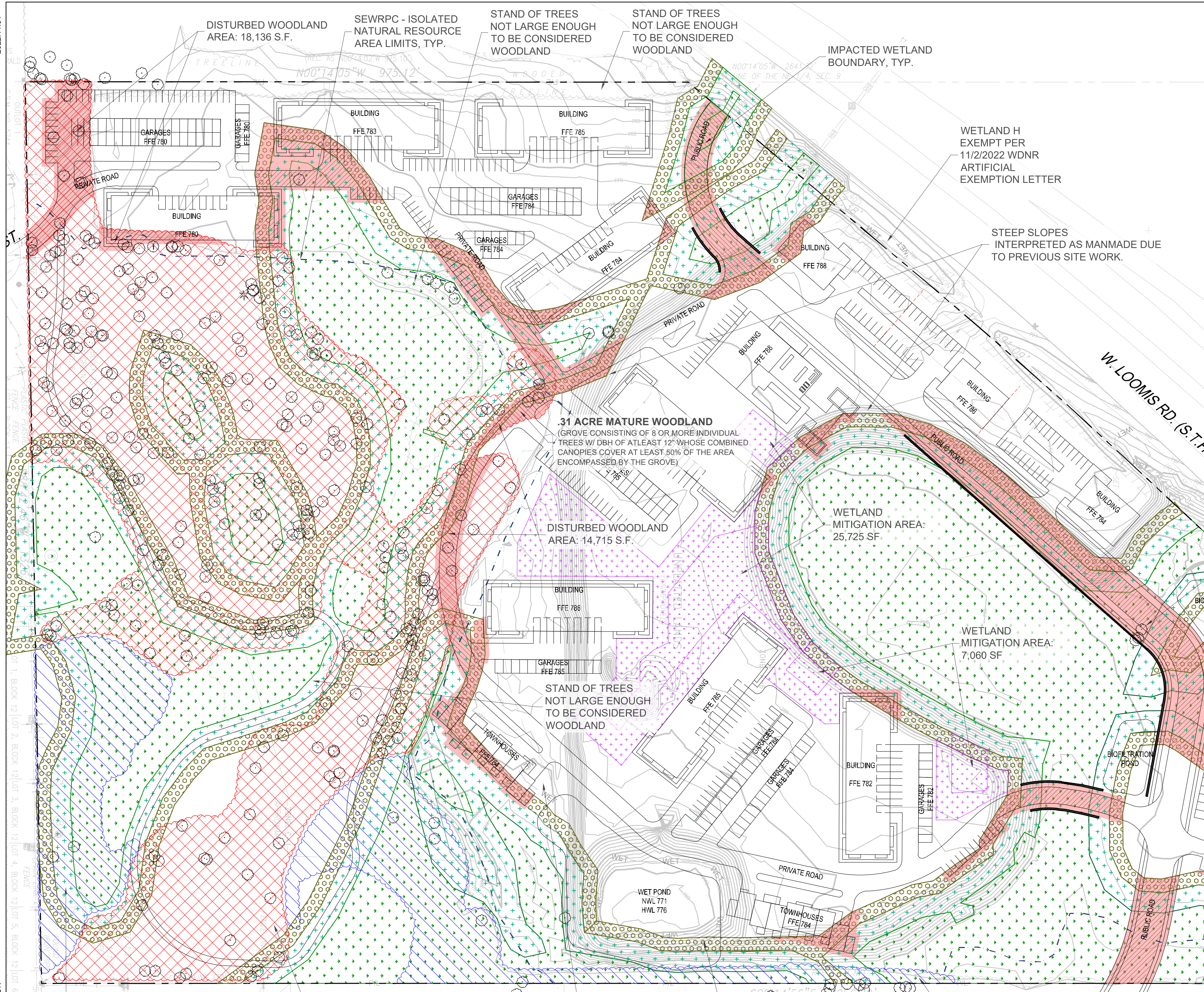
* SEE TREE PROTECTION PLAN ON SHEET C-XXX FOR LOCATION, TYPE AND QUANTITY OF EXISTING TREES TO BE PRESERVED ON-SITE.
 ** IN ACCORDANCE WITH CITY OF FRANKLIN UDO SECTION B,C,D - 15-5.0302 MINIMUM LANDSCAPE STANDARDS, TREE REQUIREMENTS TO BE MET IN ACCORDANCE WITH CREDIT FOR PRESERVED EXISTING PLANT MATERIAL.

LEGEND:

- SEEDED TURFGRASS LAWN
- HARDWOOD BARK MULCH PLANTING BED
- SHORTGRASS PRAIRIE SEED MIX
- WETLAND BUFFER SEED MIX
- WETLAND SEED MIX & BIOFILTRATION PLUGS
- WOODLAND EDGE SEED MIX
- EXISTING WETLAND (TO BE PRESERVED)
- EXISTING WETLAND BUFFER (TO BE PRESERVED)
- EXISTING WOODLANDS (TO BE PRESERVED)
- PROPOSED CANOPY TREE
- PROPOSED DECORATIVE/ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREE TO REMAIN (DBH > 8")
- PROPOSED RETAINING WALL, SEE GRADING PLAN
- SHOVEL CUT - PLANT EDGING
- PROPERTY LINE
- LIMITS OF GRADING, SEE CIVIL

LANDSCAPE GENERAL NOTES:

- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
- INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
- RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.



CITY OF FRANKLIN - NATURAL RESOURCE FEATURES - STANDARDS

	AGRICULTURAL DISTRICT	RESIDENTIAL DISTRICT	NON RESIDENTIAL DISTRICT	ACRES OF LAND IN RESOURCE FEATURE AREA	ACRES OF LAND TO BE IMPACTED BY DEVELOPMENT	ACRES OF LAND TO BE MITIGATED (REQUIRED/ PROPOSED)
STEEP SLOPES: 10-19% 20-30% 30%+	0% 65% 90%	60% 75% 85%	40% 70% 80%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
WOODLANDS & FORESTS MATURE YOUNG	70% 50%	70% 50%	70% 50%	0.00 ACRES	32,851 SF (.75 AC)	(0.00 AC / 0.00 AC)
WETLANDS	100%	100%	100%	12.14 ACRES	21,607 SF (.5 AC)	(0.74 AC / 0.75 AC)
WETLAND BUFFERS	100%	100%	100%	7.97 ACRES	37,689 SF (.86 AC)	(1.3 AC / 1.35 AC)
SHORELAND WETLANDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
LAKES & PONDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
STREAMS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
SHORE BUFFER	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
FLOOD-PLAINS/FLOOD-WAYS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
TOTAL RESOURCE PROTECTION LAND = (TOTAL ACRES OF LAND IN EACH RESOURCE TO BE PROTECTED)						2.1 ACRES

THE SIGMA GROUP
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1300 West Canal Street
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330 East Kilbourn Avenue
Milwaukee, WI 53202
Phone: 414-347-3600
mandelgroup.com

LOOMIS ROAD
WEST LOOMIS ROAD
FRANKLIN, WI 53132

NATURAL RESOURCE PROTECTION PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	11/04/2022

NO. REVISION	DATE

SCALE:	
PROJECT NO:	21200
DESIGN DATE:	----
PLOT DATE:	2022.11.04
DRAWN BY:	MJK
CHECKED BY:	CRC
APPROVED BY:	
SHEET NO:	EX2

1.4 ACRE YOUNG WOODLAND
(STAND OF TREES WHOSE TOTAL COMBINED CANOPY COVERS AN AREA OF 50 ACRES OR MORE AND AT LEAST 50% OF WHICH IS COMPOSED OF CANOPIES OF TREES HAVING A DBH OF AT LEAST 3")

9.7 ACRE MATURE WOODLAND
(STAND OF TREES WHOSE TOTAL COMBINED CANOPY COVERS AN AREA OF 1 ACRE OR MORE AND AT LEAST 50% OF WHICH IS COMPOSED OF CANOPIES OF TREES HAVING A DBH OF AT LEAST 10")

WETLAND K EXEMPT PER 11/2/2022 WDNR ARTIFICIAL EXEMPTION LETTER

WETLAND B EXEMPT PER 11/2/2022 WDNR ARTIFICIAL EXEMPTION LETTER TO BE MODIFIED FOR STORMWATER MANAGEMENT

1.5 ACRE YOUNG WOODLAND
(STAND OF TREES WHOSE TOTAL COMBINED CANOPY COVERS AN AREA OF 50 ACRES OR MORE AND AT LEAST 50% OF WHICH IS COMPOSED OF CANOPIES OF TREES HAVING A DBH OF AT LEAST 3")

RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER	WETLAND SETBACK	**STEEP SLOPES: 10-19%	**STEEP SLOPES: 20-30%	**STEEP SLOPES: 30%+
TOTAL AREA:	436,171 SF (10.01 AC)	125,531 (2.88 AC)	528,837 SF (12.14 AC)	347,310 SF (7.97 AC)	218,874 SF (5.02 AC)	0 AC (0%)	0 AC (0%)	0 AC (0%)
AREA TO BE DISTURBED: (TEMPORARY)			35,536 SF (7%)	70,275 SF (20%)	72,257 SF (33%)	0 SF	0 SF	0 SF
AREA TO BE DISTURBED: (PERMANENT/IMPERVIOUS)	32,851 SF (.75 AC) (7.5%)	0 SF (0 AC) (0%)	21,607 SF (4.0%)	37,689 SF (10%)	53,062 SF (24%)	0 SF	0 SF	0 SF

*WETLANDS EXEMPT PER 11/2/2022 WDNR ARTIFICIAL EXEMPTION DETERMINATION LETTER
**STEEP SLOPES ARE PRIMARILY MAN-MADE AND THEREFORE EXCLUDED FROM THE CALCULATIONS

RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER
AREA DISTURBED	32,851 SF (0.75 AC) (7.5%)	0 SF (0 AC) (0%)	21,607 SF (.5 AC) (4%)	37,689 SF (0.86 AC) (10%)
MITIGATION RATIO	1.25 : 1.00	1.25 : 1.00	1.50 : 1.00	1.50 : 1.00
MITIGATION AREA REQUIRED	0 SF (0.00 AC)	0 SF (0.00 AC)	32,411 SF (.74 AC)	56,534 SF (1.3 AC)
MITIGATION AREA PROVIDED	0 SF (0.00 AC)	0 SF (0.00 AC)	32,786 SF (.75 AC)	58,782 SF (1.35 AC)

ALTA/NSPS LAND TITLE SURVEY

TITLE COMMITMENT

This survey was prepared based on Knight Barry Title Group File No. 2154964, effective date of June 10, 2022 which lists the following easements and/or restrictions from schedule B-II:

1, 5, 6, 7, 8, 10 & 11 visible evidence shown, if any.

2, 3, 4, 9, 14, 15, 16 & 17 not survey related.

12. Access limitations and other matters contained in Finding, Determination and Declaration By The State Highway Commission of Wisconsin recorded December 22, 1954 as Document No. 3355409. **Affects property by location, shown.**

13. Access limitations and other matters contained in Award of Damages By State Highway Commission of Wisconsin recorded May 15, 1968 as Document No. 4391895. **Affects property by location, shown.**

LEGEND

●	INDICATES FOUND 1" IRON PIPE	□	TELEPHONE PEDESTAL
+	INDICATES FOUND CHISELED CROSS	□	CABLE PEDESTAL
⊕	SANITARY MANHOLE	□	CONTROL BOX
⊖	SANITARY CLEANOUT OR VENT	□	FIBER OPTIC PEDESTAL/SIGN
⊗	SEPTIC TANK ACCESS COVER	⊕	TRAFFIC LIGHT
⊙	M.I.S. MANHOLE	⊕	COMMUNICATION MANHOLE
⊚	UNKNOWN MANHOLE	⊕	BOLLARD
⊛	STORM MANHOLE	⊕	SOIL BORING/MONITORING WELL
⊜	INLET (ROUND)	⊕	WATER SURFACE
⊝	INLET (SQUARE)	⊕	WETLANDS FLAG
⊞	CURB INLET	⊕	MARSH
⊟	STORM SEWER END SECTION	⊕	FLAGPOLE
⊠	GAS VALVE	⊕	PARKING METER
⊡	GAS METER	⊕	SIGN
⊢	WATER VALVE	⊕	MAILBOX
⊣	HYDRANT	⊕	RAILROAD CROSSING SIGNAL
⊤	WATER MANHOLE	⊕	HANDICAP SPACE
⊥	WATER SERVICE CURB STOP	⊕	CONIFEROUS TREE
⊦	WELL HEAD	⊕	DECIDUOUS TREE
⊧	STAND PIPE	⊕	SANITARY SEWER
⊨	WALL INDICATOR VALVE	⊕	STORM SEWER
⊩	POST INDICATOR VALVE	⊕	WATERLINE
⊪	LIGHT POLE	⊕	MARKED GAS MAIN
⊫	SPOT/YARD LIGHT	⊕	MARKED ELECTRIC
⊬	UTILITY POLE	⊕	OVERHEAD WIRES
⊭	GUY POLE	⊕	UTILITY POLE
⊮	GUY WIRE	⊕	MARKED TELEPHONE
⊯	ELECTRIC MANHOLE	⊕	MARKED CABLE TV LINE
⊰	ELECTRIC PEDESTAL	⊕	MARKED FIBER OPTIC
⊱	ELECTRIC METER	⊕	BURIED ELECTRIC SERVICE
⊲	TELEPHONE MANHOLE	⊕	BOARD FENCE
		⊕	CHAIN LINK FENCE
		⊕	WIRE FENCE

CLIENT

Mandel Group, Inc.

SITE ADDRESS

Vacant land at Old Loomis Rd. and W. Rawson Rd., Franklin, Wisconsin.

LEGAL DESCRIPTION

That part of the West 1/2 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin and described as follows: Begin at the Southwest corner of said Northeast 1/4 Section, thence North 00° 14' 02" West along the West line of said 1/4 Section, 975.10 feet to the Southeastly right-of-way line of S.T.H. "36", thence North 39° 47' 12" East along said right-of-way, 457.40 feet, thence 391.09 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 41° 15' 53" East, 391.05 feet and the radius being 7579.69 feet, thence North 42° 44' 35" East along said right-of-way, 223.04 feet, thence 799.48 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 50° 54' 30" East, 796.78 feet and the radius being 2805.04 feet, thence South 00° 14' 50" East along the East line of the West 1/2 of said 1/4 Section, 2257.01 feet, thence South 88° 42' 53" West along the South line of said 1/4 Section, 1326.51 feet to the point of beginning.

BASIS OF BEARINGS

-Bearings are referenced to the Wisconsin State Plane Coordinate System, NAD-83 (South Zone), in which the West line of the NE 1/4 bears N00°14'05"W.
-Vertical Datum is based on NAVD-88; Starting Benchmark is a chiseled cross in top of hydrant nozzle at the NW corner of the intersection of S. 76th St., and W. Rawson Ave. Elevation of 774.78

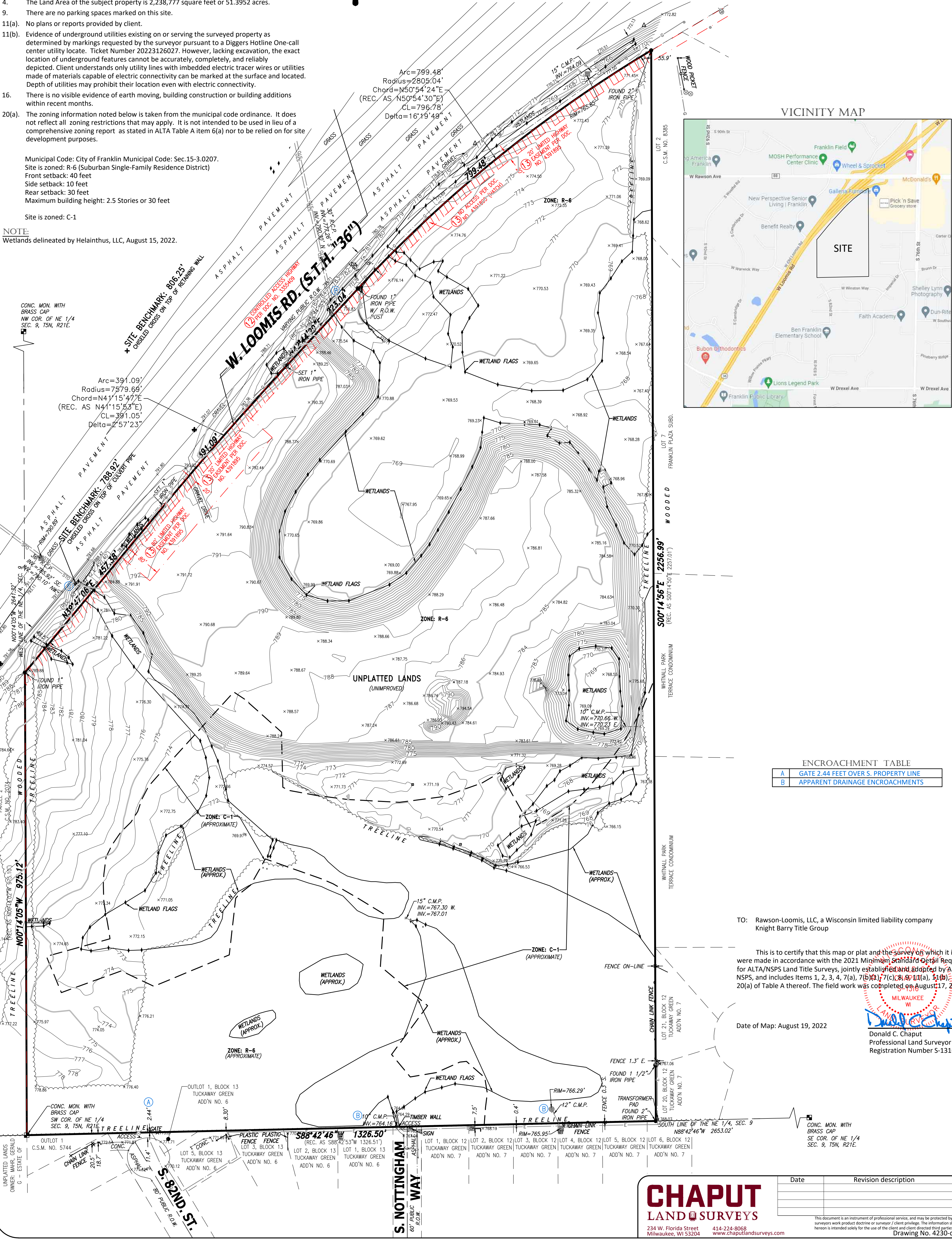
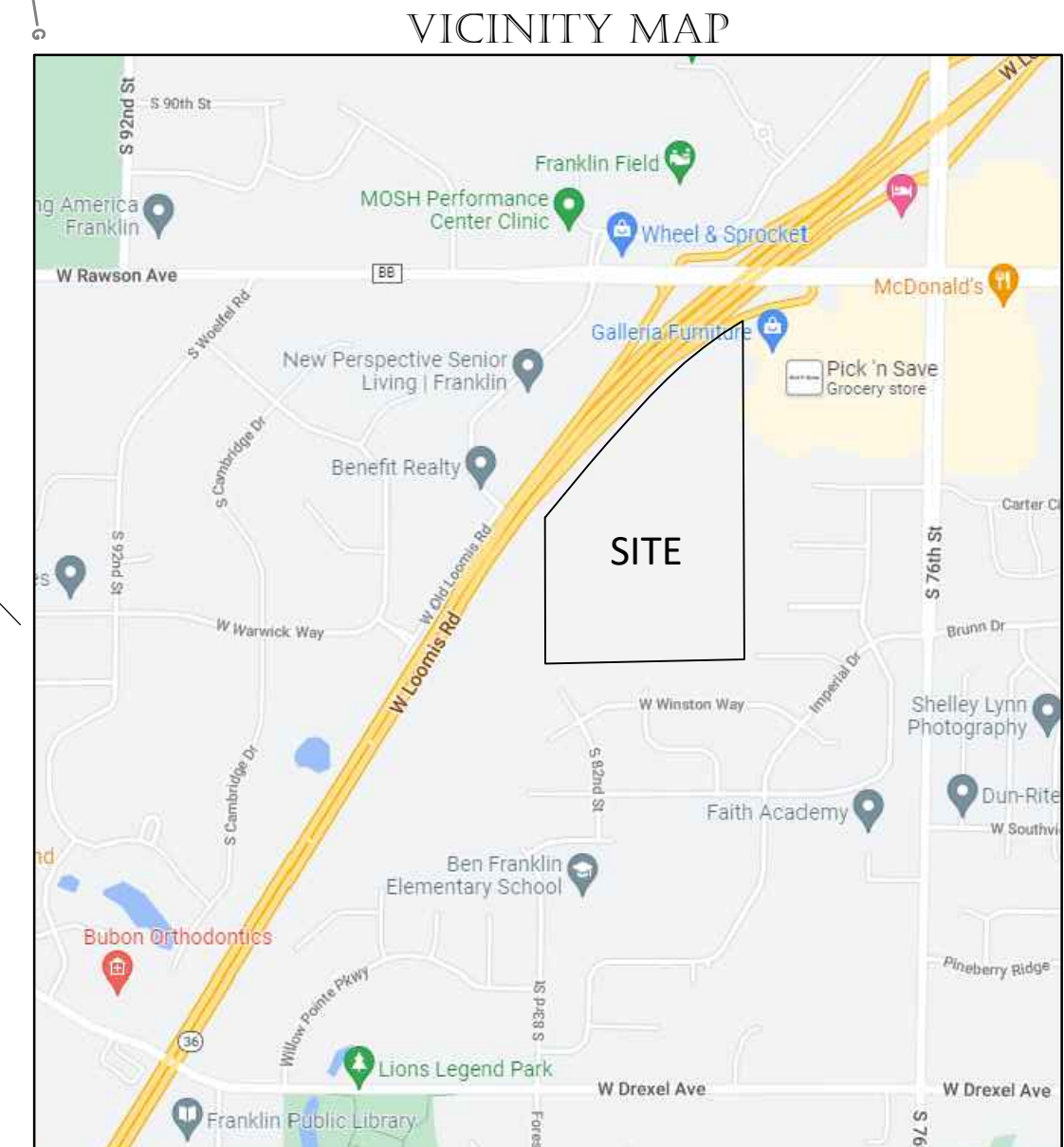
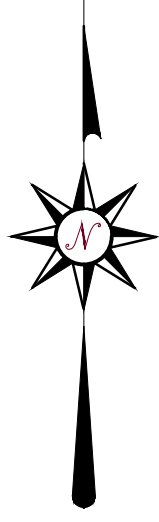
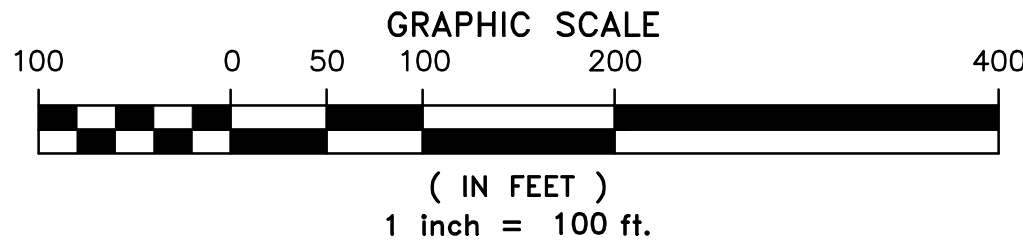
TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Milwaukee, Community Panel No.55079C0142E, effective date of September 26, 2008, this site falls in Zone X (Areas of minimal flood hazard).
- The Land Area of the subject property is 2,238,777 square feet or 51.3952 acres.
- There are no parking spaces marked on this site.
- No plans or reports provided by client.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20223126027. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- There is no visible evidence of earth moving, building construction or building additions within recent months.
- The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: City of Franklin Municipal Code: Sec.15-3.0207.
Site is zoned: R-6 (Suburban Single-Family Residence District)
Front setback: 40 feet
Side setback: 10 feet
Rear setback: 30 feet
Maximum building height: 2.5 Stories or 30 feet
Site is zoned: C-1

NOTE:

Wetlands delineated by Helanthus, LLC, August 15, 2022.



ENCROACHMENT TABLE

A	GATE 2.44 FEET OVER S. PROPERTY LINE
B	APPARENT DRAINAGE ENCROACHMENTS

TO: Rawson-Loomis, LLC, a Wisconsin limited liability company
Knight Barry Title Group

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standards and Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b), 7(c), 8, 9, 11(a), 11(b), 16, 19 and 20(a) of Table A thereof. The field work was completed on August 17, 2022.

Date of Map: August 19, 2022

Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

Date	Revision description

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties.
Drawing No. 4230-dmb

CHAPUT LAND SURVEYS

Legal Description

Loomis & Rawson

Site Address: 8301 W LOOMIS RD, FRANKLIN, WI 53132

Tax Key ID: 755-9997-000

Site Acreage: 51.61 acres That part of the West 1/2 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin and described as follows: Begin at the Southwest corner of said Northeast 1/4 Section, thence North 00° 14' 02" West along the West line of said 1/4 Section, 975.10 feet to the Southeasterly right-of-way line of S.T.H. "36", thence North 39° 47' 12" East along said right-of-way, 457.40 feet, thence 391.09 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 41° 15' 53" East, 391.05 feet and the radius being 7579.69 feet, thence North 42° 44' 35" East along said right-of-way, 223.04 feet, thence 799.48 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 50° 54' 30" East, 796.78 feet and the radius being 2805.04 feet, thence South 00° 14' 50" East along the East line of the West 1/2 of said 1/4 Section, 2257.01 feet, thence South 88° 42' 53" West along the South line of said 1/4 Section, 1326.51 feet to the point of beginning.

REPORT TO THE PLAN COMMISSION

**Meeting of May 19, 2022
Special Use**

RECOMMENDATION: City Development Staff recommends approval of the proposed Special Use for a beauty shop business use upon property located at 11113 W. Forest Home Avenue, subject to the conditions of approval in the attached draft resolution.

Project Name:	GO Riteway Special Use Amendment
Project Address:	11141 W Forest Home (TKN 704 9990 003)
Applicant:	RJ Bast – Go Riteway; Jay Craig, MSI General
Owners (property):	STAR TRUCKING REAL ESTATE LLC
Current Zoning:	M-1 Limited Industrial District & C-1 Conservancy District
2025 Comprehensive Master Plan	Industrial
Use of Surrounding Properties:	M-1 Limited Industrial District & C-1 Conservancy District to the north, east, and south. I-1 Institutional District and R-3 Suburban/Estate Single-Family Residence District to the west.
Applicant Action Requested:	Recommendation of approval for the proposed Special Use for GO Riteway.
Planner:	Marion Ecks, AICP

On September 13, 2022, RJ Bast of Go Riteway submitted a Special Use Amendment application on behalf of GO Riteway, requesting approval to operate a school bus transportation office at 11141 W Forest Home.

PROJECT DESCRIPTION AND ANALYSIS:

The property is zoned M-1 Limited Industrial zoning district; the proposed use corresponds to Standard Industrial Classification (SIC) Title No. 4151 School Busses, which is allowed within the M-1 Limited Industrial District as a Special Use. A prior special use was approved at this location (RES 2019-7467) to allow for local trucking.

Site Conditions

The site consists of an existing commercial building, an accessory building, paved parking areas, and a soccer field.

The previous owners received approval of a Natural Resource Special Exception as a result of encroachment into protected wetland resources. This approval also required a conservation easement on the property, and restoration of some areas. A condition related to this requirement is included in the draft resolution.

The applicant is not proposing expansion of buildings or paving at this time. They are instead proposing to restripe existing parking spaces, and remove an accessory building.

GORiteway plans to have 12 bus stalls and 14 van stalls at this location for the School Bus use. They will also restripe the front parking area with 18 regular and 2 ADA parking spaces for employees. The limited scope of proposed site changes allows for review of this application as a Minor Site Plan Amendment (§15-7.0107.); the applicant has submitted this request and it is currently under review. A condition related to this approval is included in the draft resolution. If the applicant proposes to expand paved areas in future to allow for additional parking, a full site plan would be necessary at that time. Other departments may have additional requirements such as review and approval of stormwater facilities in that case.

Special Use

The hours of operation will be Monday-Friday from 6:00 A.M. to 5:30 P.M.

Go Riteway has submitted a complete application for a special use permit, including responses to Section §15-3.0701 of the Unified Development Ordinance sets out the General Standards for Special Uses. UDO Section §15-3.0703 Detailed Standards for Special Uses in Nonresidential Districts does not apply to this project, as the proposed special use is not one of the specified special uses in this section. The applicant has submitted responses to each of those standards, asserting that there will be no undue adverse impact or interference with surrounding development as a result of this special use.

The current application does not propose a significant addition of traffic to the area. However, Staff recommends a condition that any future expansion of the use may require a traffic study to address the requirements of §15-3.0701A5 that the use may not create undue congestion.

This Special Use permit would be contingent upon obtaining all other necessary licenses and permits, such as occupancy or building permits. Signage will require appropriate permitting from the Department of City Development.

The intent of the M-1 district is to *provide for manufacturing, industrial, warehousing, and uses of a limited nature and size in locations where the relative proximity to other uses requires more restrictive regulation*. The proposed use is consistent with the district intent.

STAFF RECOMMENDATION:

The Department of City Development staff recommends approval of this application for Special Use.

RESOLUTION NO. 2022-_____

A RESOLUTION TO AMEND RESOLUTION NO. 2019-7467 IMPOSING
CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A
SPECIAL USE FOR AN OVER-THE-ROAD TRUCKING COMPANY
LOCATED AT 11141 WEST FOREST HOME AVENUE TO ALLOW FOR A
RECRUITMENT, TRAINING AND REGIONAL OFFICE FOR GO RITEWAY
TRANSPORTATION GROUP, AND PROVIDING SCHOOL BUS
TRANSPORTATION FOR THE CITY OF FRANKLIN SCHOOL DISTRICT
(ROLAND J. BAST, CO-OWNER OF GO RITEWAY
TRANSPORTATION GROUP, APPLICANT)

WHEREAS, Roland J. Bast, co-owner of GO Riteway Transportation Group, having petitioned the City of Franklin for the approval of an amendment to Resolution No. 2019-7467, conditionally approving a Special Use for an over-the-road trucking company with overnight parking, upon property located at 11141 West Forest Home Avenue, such property being zoned M-1 Limited Industrial District and C-1 Conservancy District, more particularly described as follows:

Parcel 2 of Certified Survey Map No. 4056 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on July 13, 1981 in Reel 1388, Images 687 to 689 inclusive, as Document No. 5487949, being a part of the Northeast 1/4 of Section 6, in Township 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin; Tax Key No.: 704-9990-003; and

WHEREAS, such proposed amendment being for the purpose of allowing for a recruitment, training and regional office for GO Riteway Transportation Group, and providing school bus transportation for the City of Franklin School District (with overnight parking on the property) (hours of operation from 6:00 a.m. to 5:30 p.m., Monday through Friday and a limited number of buses may have an athletic charter on Saturdays; 20 car parking spaces in the front of the building (west side of lot) and 12 bus parking spaces on the south side of the lot), commencing at the beginning of the 2023 school year (a second, current, GO Riteway location will also serve Franklin School District from the east, office located at 7433 South 10th Street, in Oak Creek, WI)); and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 1st day of December, 2022, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment

ROLAND J. BAST, CO-OWNER OF GO RITWAY TRANSPORTATION GROUP –
AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2022-_____

Page 2

to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Roland J. Bast, co-owner of GO Riteway Transportation Group, for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this amendment to Special Use is approved only for the use of the subject property by Roland J. Bast, co-owner of GO Riteway Transportation Group, successors and assigns, for the GO Riteway Transportation Group recruitment, training and regional office and school bus transportation for the City of Franklin School District (with overnight parking on the property) project, which shall be developed in substantial compliance with and constructed, operated and maintained by GO Riteway Transportation Group, pursuant to those plans City file-stamped November 18, 2022 and annexed hereto and incorporated herein as Exhibit A.
2. Roland J. Bast, co-owner of GO Riteway Transportation Group, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the GO Riteway Transportation Group recruitment, training and regional office and school bus transportation for the City of Franklin School District (with overnight parking on the property) project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Roland J. Bast, co-owner of GO

ROLAND J. BAST, CO-OWNER OF GO RITWAY TRANSPORTATION GROUP –
AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2022-_____

Page 3

Riteway Transportation Group and the GO Riteway Transportation Group recruitment, training and regional office and school bus transportation for the City of Franklin School District (with overnight parking on the property) project for the property located at 11141 West Forest Home Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. Conditions of the prior special use (Resolution No. 2019-7467) related to the site must be maintained, as well as those related to the prior Natural Resource Special Exception approval (Standards, Findings and Decision dated June 18, 2019) and conservation easements. Encroachment into easement areas is not permitted without approval.
5. Applicants must receive approval of a Minor Site Plan Amendment for review of changes to the parking lot striping and removal of a building. More extensive site changes requiring stormwater facilities, or expansion of parking areas, will require a Site Plan review and approval.
6. Future expansion of the use may require a traffic study to address the requirements of §15-3.0701.A.5 that the use may not create undue congestion.

BE IT FURTHER RESOLVED, that in the event Roland J. Bast, co-owner of GO Riteway Transportation Group, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution No. 2019-ROLAND J. BAST, CO-OWNER OF GO RITEWAY TRANSPORTATION GROUP – AMENDMENT TO SPECIAL USE RESOLUTION NO. 2022-_____

Page 4

7467, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

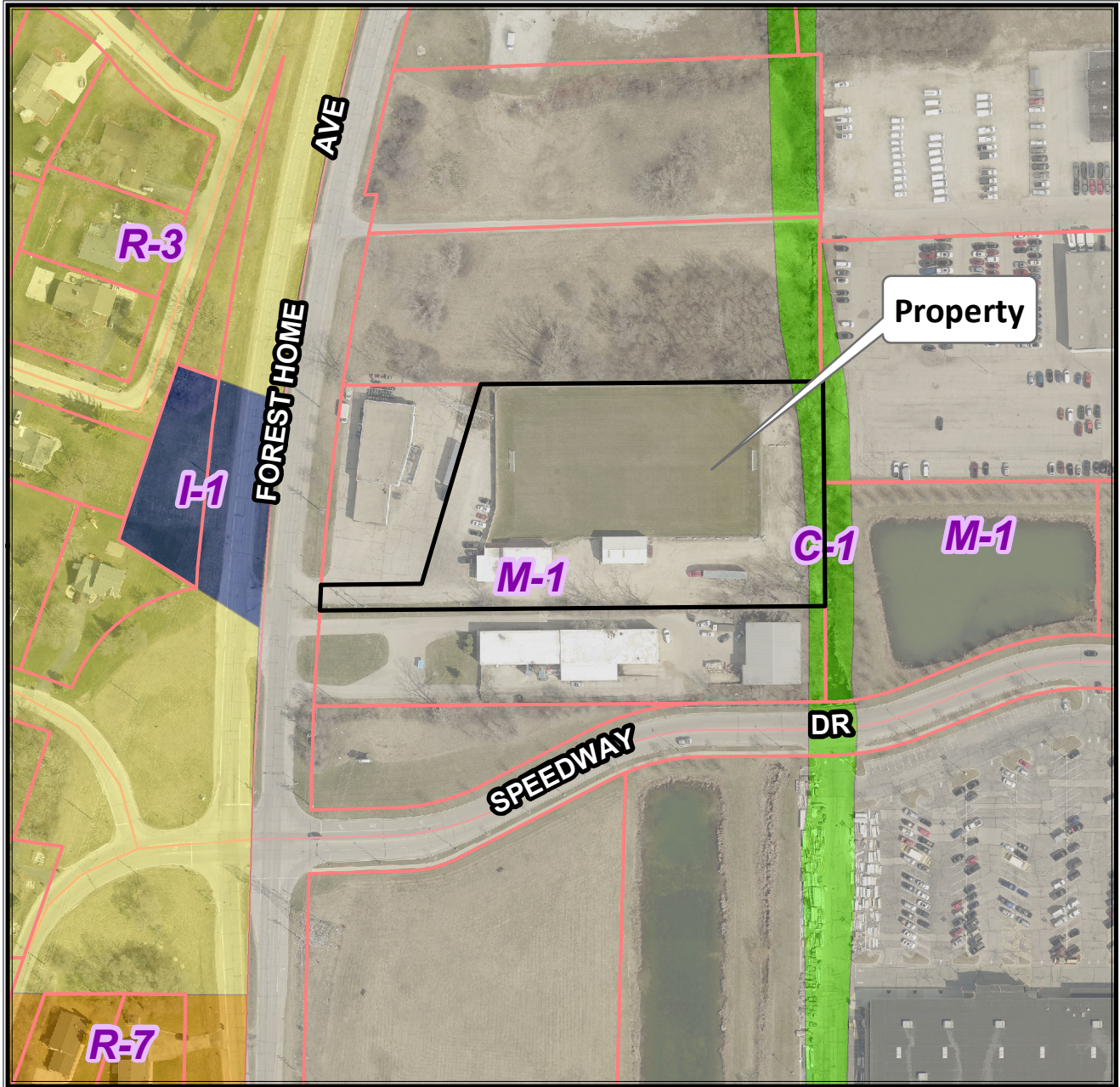
Stephen R. Olson, Mayor

ATTEST:

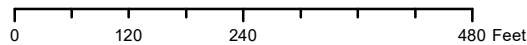
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

11141 W. Forest Home Ave.
TKN: 704 9990 003

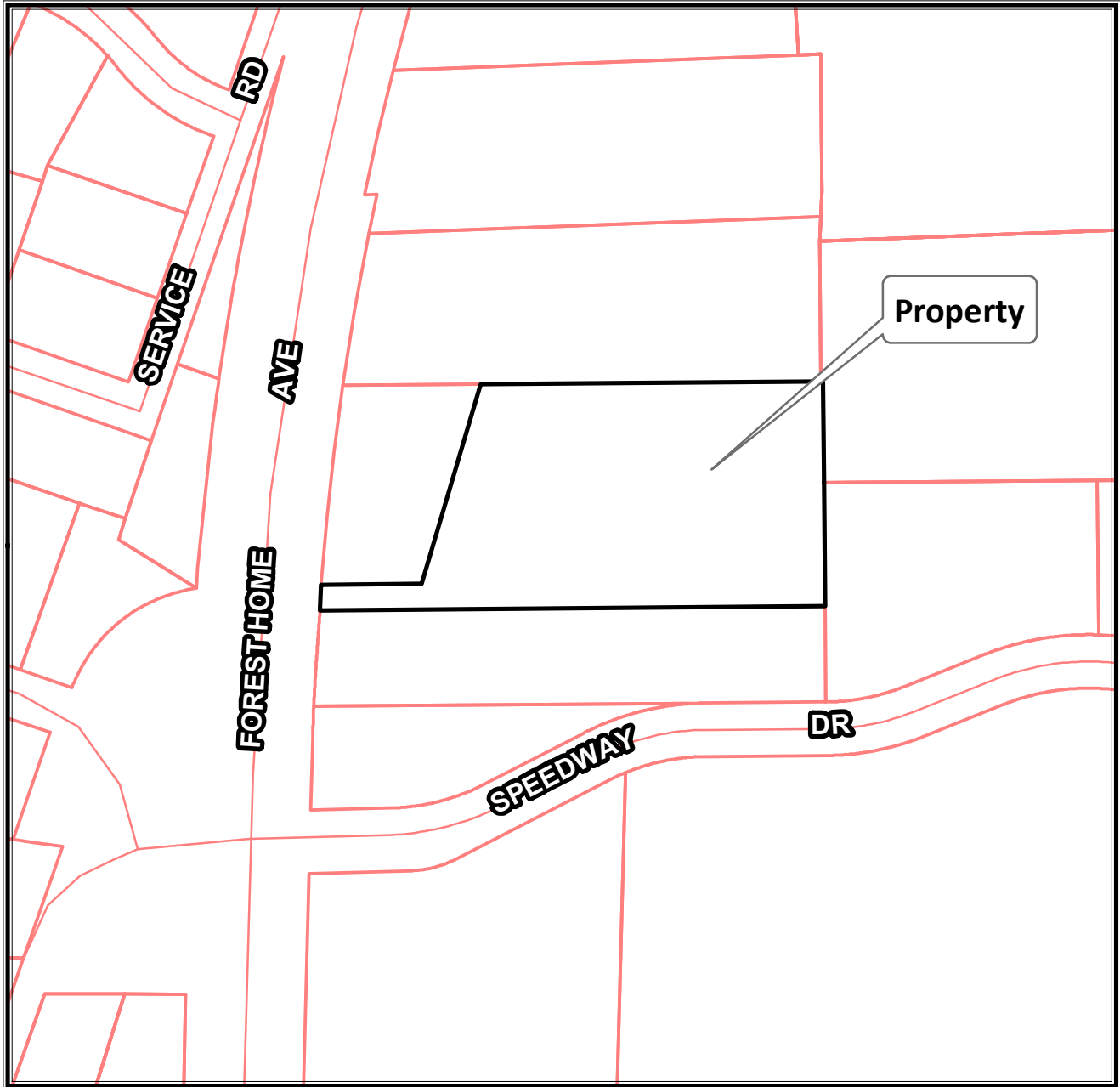


Planning Department
(414) 425-4024

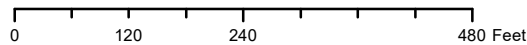


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

11141 W. Forest Home Ave.
TKN: 704 9990 003



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





November 17, 2022

The property will be used a Recruitment, Training and Regional Office for School Bus Transportation for the Franklin school district. Go Riteway has been chosen to service the school district of Franklin for their school bus transportation starting at the beginning of the 2023 school year. Riteway intends to service the Franklin school district from two locations so we can best service the growing city of Franklin and attract a quality work force. Riteway will service the Franklin school district from our Oak Creek location at 7433 south 10th street in Oak Creek along with the Franklin office at 11141 West Forest Home ave.

Hours of Operation

The office is open Monday through Friday from about 6am to 5:30pm.
There is a limited number of buses that operate Franklin’s athletic charters on Saturdays.

Parking of Vehicles

We propose to have 18 car parking spots in front of the building (this is the west side of the lot)
We propose to have 12 bus parking spots and 4 van parking spots on the south side of the lot.

Recruitment & Training

Recruiting and Training of employees is an important focus for GO Riteway. We will utilize the office with a recruiting/training supervisor to attract and interview local applicants in the area. We always strive to hire as many local residents of the communities we serve, therefore having a local office is critical to our success.

School Transportation Routes

Riteway’s current plan is to operate 12 daily route buses from the Franklin office. Riteway will have a supervisor at this location. Riteway has a strict anti idling policy and new modern school buses do not need to be idled in the winter to heat up.

AM Routes

Employee start times are staggered in the morning. Drivers usually leave the office around 6:15am to 6:45 am for their morning routes. The buses usually stagger going out in the morning as there are different pickup times depending on how many children are on the route and where their pickup is located. Therefore all 12 buses are not leaving the lot at the same time. When the buses drop off at the schools in the morning they usually return around 8:45am to 9:00am depending on what schools they are coming from. This time also various and is staggered because different buses are dropping off at a variety of schools in Franklin. Therefore, not all buses are coming back to the office from one school.

PM Routes

Drivers are usually leaving the office around 2:15pm to 2:45pm depending on what schools they are going to. After the buses are completed with dropping off their children at home, they will return to the office around 4:15pm to 5:00pm. The buses return to the office in the afternoon at various times after their routes because it depends on where their last drop off is and how many children they are dropping off.

City of Franklin - Department of City Development

Date: November 11, 2022
To: RJ Bast – Go Riteway; Jay Craig, MSI General
From: Department of City Development – Associate Planner Ecks
RE: GO Riteway Special Use Amendment – Staff Comments

Please be advised that City Staff has reviewed the above application. Department comments are as follows for the GO Riteway Special Use Amendment – 11141 W Forest Home Ave. application date stamped September 13, 2022.

Department of City Development Comments

School Busses (SIC 4151) require Special Use approval in M-1 zoning. A prior special use was approved at this location (RES 2019-7467) to allow for local trucking.

1. Note that any conditions of that prior use related to the site must be maintained, in particular related to the NRSE approval and conservation easements. Encroachment into easement areas is not permitted without approval. **The GO Riteway plan does not encroach into the conservation easement.**
2. Applicants have submitted a Minor Site Plan Amendment for review of changes to the parking lot and removal of a building. This application is currently under review. More extensive site changes requiring stormwater facilities, or expansion of parking areas, will require a Site Plan review and approval. **At this time no extensive site plans changes are anticipated.**

Project Summary

3. Please provide general information about any future expansion plans. **Future expansion plans, if any arise, are expected to be consistent with the proposed use.**

Special Use Standards and Regulations

4. Note that future expansion of the use may require a traffic study to address the requirements of §15-3.0701A5 that the use may not create undue congestion. **Understood**

Signage

5. Please note that any changes to signage will require issuance of a Sign Permit. **We anticipate a monument sign identifying the GO Riteway entrance and will submit for permit prior to installation.**

Inspection Services Department Comments

6. Any proposed interior/exterior building alterations shall be designed and constructed in accordance with the Wisconsin Commercial Building Code. **Understood**

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. ***General Standards.*** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The proposed use fits with the general and specific purposes of the Ordinance.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The proposed use will serve the needs of the community by providing transportation for school children

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The proposed use will not dominate the immediate vicinity nor interfere with the use and development of neighboring property.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The proposed use is adequately served by utilities

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The proposed use is not anticipated to cause undue traffic congestion.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed use will not result in the destruction, loss or damage of any features of significant importance.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The proposed use will comply with applicable regulations and standards.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: We understand compliance with special standards is a requirement.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The proposed use will serve the needs of the community by providing transportation for school children

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: The subject site is an excellent location for the proposed use.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The proposed use does include a mitigation plan

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The proposed use is consistent with the existing uses in the surrounding industrial park.



LEADERS

DESIGNBUILD

MSI GENERAL CORPORATION
 W215 E. WISCONSIN AVE.
 NASHOTAH, WI 53058
 262.367.3661 | MSIGENERAL.COM

SINGLE SOURCE RESPONSIBILITY™
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ISSUE DATES	
OWNER REVIEW:	
BUDGET:	
PROPOSAL:	
PLAN COMMISSION:	
SUBMITTAL STATE/LOCAL PERMIT:	9-12-22
RECORD DRAWINGS:	
REVISIONS:	

KEY PLAN

COMPANY LOGO

PROJECT NAME
GO RITEWAY - FRANKLIN
 PROJECT DESCRIPTION
 STREET ADDRESS
11141 W. FOREST HOME AVE.
 CITY / STATE / ZIP
FRANKLIN, WI

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

ARCHITECT: ENGINEER: REVIEWED BY:

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C101
 PROJECT NUMBER:
P13404

ENGINEERS

CONTRACTORS

ARCHITECTS

SITE CALCULATIONS	
LOCATION	REGION AREA
0 EXISTING BUILDING	3777
1 SITE AREA	136020
2 EXISTING GRAVEL & ASPHALT	46625
3 HARDSCAPE TOTAL	50402
4 TOTAL SITE GREEN SPACE	85618

85,618 / 136,020 = 63% (30% MIN GREENSPACE REQUIRED)

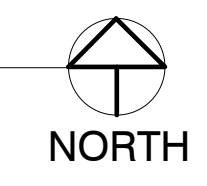


Legend

- Drainageway Easement
- - - Ordinary High Water Mark
- Parking Stalls
- Study Area
- Existing Grass
- Remove Gravel and Vegetate
- Impacted Area For Parking
- Buffer/Setback Area
- Stream
- Wetland Delineation

1141 W. Forest Home Ave.
 (414) 940-1182

① SITE PLAN
 1" = 30'-0"



9/20/2022 8:57:15 AM