

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, MAY 5, 2022, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of April 21, 2022.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **BEAR DEVELOPMENT, LLC RISE COMMERCIAL DISTRICT WAREHOUSE/OFFICE MULTI-TENANT INDUSTRIAL DEVELOPMENT AND ASSOCIATED PARKING WITHIN RYAN MEADOWS SUBDIVISION.** Natural Resource Features Special Exception application by Stephen R. Mills, President of Bear Development, LLC (Loomis & Ryan, Inc. and Gurjit Singh and Gurmit Kaur, property owners) and Site Plan application by Jim R. Sapp, President of RISE Commercial District (Loomis & Ryan, Inc., property owner), as follows:
Natural Resource Features Special Exception: for the purpose of impacting approximately 14,939 square feet of wetland buffer (11,558 square feet of temporary impacts (grading and site disturbance) and 3,381 square feet of permanent impacts (paving and partial locations of five of the proposed buildings) and approximately 13,416 square feet of wetland setback (228 square feet of temporary impacts (grading and site disturbance) and 13,188 square feet of permanent impacts (paving and partial locations of five of the proposed buildings), with proposed impacts to mature woodland [the applicant has proposed mitigation], properties generally located at the end of South Monarch Drive in the Ryan Meadows subdivision (south of West Loomis Road, west of South 112th Street, north of West Oakwood Road and east of South 124th Street), zoned M-1 Limited Industrial District, R-2 Estate Single-Family Residence District and C-1 Conservancy District; Tax Key Nos. 891-1084-000 and 938-9994-004;
Site Plan: to allow for a new warehouse/office facility (RISE Commercial District) to be located in the Ryan Meadows subdivision, southeast of the dead end of newly created South Monarch Drive, said facility providing co-

warehousing services for up to 120 businesses, including business storage, warehouse space, private office space, contractor storage and storage with electricity [the project consists of 18 buildings with a total building footprint of 3.14 acres; the site would have 117 parking stalls, 5.70 acres of pavement and access to South Monarch Drive; other improvements including 3 new stormwater management areas, landscaping, fencing, a monument sign and outdoor lighting (23.08 acre site area)], property generally located south of West Loomis Road, west of South 112th Street, north of West Oakwood Road and east of South 124th Street, zoned M-1 Limited Industrial District, current Tax Key No. 891-1084-000 (definitive Tax Key No. will be determined with the recording of the recently approved Certified Survey Map (Resolution No. 2022-7825)). Requested Waivers (as provided for in the below Sections) of the Unified Development Ordinance:

- a. Section 15-5.0207.B: Openings for vehicular ingress and egress shall not exceed 24 feet at the street right-of-way line and 30 feet at the roadway.
- b. Section 15-5.0202.E.1: Concrete curb and gutter shall be installed surrounding all new driveway, parking lot and landscape islands.

A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE NATURAL RESOURCE FEATURES SPECIAL EXCEPTION APPLICATION OF THIS MATTER.

- 2.. **KARLEY J. BLAKE AND JACOB W. MUTTER FUTURE SINGLE-FAMILY RESIDENCE DEVELOPMENT.** Rezoning and Natural Resource Features Special Exception applications by Karley J. Blake and Jacob W. Mutter (Crescent Construction Inc., property owner):

Rezoning: to rezone a 3.45 acre parcel from R-8 Multiple-Family Residence District to R-6 Suburban Single-Family Residence District; **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS REZONING APPLICATION;**

Natural Resource Features Special Exception: for the purpose of permanent impacts to approximately 1,730 square feet of wetland setbacks for grading, installation of a driveway and installation of green infrastructure stormwater areas as well as impacts to 8,410 square feet of mature woodland not exceeding the standards of allowable disturbance of the Unified Development Ordinance; **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS NATURAL RESOURCE FEATURES SPECIAL EXCEPTION APPLICATION;** property zoned R-8 Multiple-Family Residence District, specifically located at the abrupt, west dead end of West Lake Pointe Drive (on the east property line of the parcel, abutting the northwest portion of Lake Pointe Estates subdivision); Tax Key No. 839-9996-007.

3. **TIMOTHY S. TRECEK AND KARYN K. TRECEK SINGLE-FAMILY RESIDENCE INGROUND POOL, PERGOLA AND PAVED AREAS INSTALLATION [recommendation to Board of Zoning and Building Appeals].** Application by Timothy S. Trecek and Karyn K. Trecek for an Area Exception from Table 15-3.0204 of the Unified Development Ordinance to allow for the installation of an inground pool, pergola and paved areas (17.68% lot coverage (4,923 square feet)), exceeding the 15% (4,177 square feet) maximum lot coverage standard in a R-3E

Suburban/Estate Single-Family Residence District, by approximately 2.68%, for property located at 9023 West Warwick Way, property zoned R-3E Suburban/Estate Single-Family Residence District; Tax Key No. 754-0084-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

4. **ANDREAS BOURAXIS SINGLE-FAMILY RESIDENCE CONSTRUCTION [recommendation to Board of Zoning and Building Appeals].** Application by Andreas Bouraxis for an Area Exception from Table 15-3.0204 of the Unified Development Ordinance to allow for construction of a single-family home in the Oakes Estates subdivision (17.6% lot coverage (5,718.8 square feet)), exceeding the 15% (4,862.7 square feet) maximum lot coverage standard in a R-3E Suburban/Estate Single-Family Residence District, by approximately 2.6%, for property located at 9044 West Warwick Way, property zoned R-3E Suburban/Estate Single-Family Residence District; Tax Key No. 754-0074-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **THE ROCK SPORTS COMPLEX AREA CHALLENGE TOWER INSTALLATION WITHIN PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS).** Site Plan Amendment application by Michael R. Schmitz, owner of Rock Snow Park, LLC, applicant (BPC County Land, LLC, property owner), to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, also to be located east of the existing Ski Chalet in The Rock Sports Complex, property located at approximately 7011 South Ballpark Drive, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1003-000 [the Site Plan Amendment is to change the location of the previously approved, but not yet constructed Challenge Tower, the Challenge Tower Site Plan being approved on April 23, 2020, by Plan Commission

Franklin Plan Commission Agenda

5/5/22

Page 4

Resolution No. 2020-014; a Special Use permit was also approved for the Challenge Tower on May 5, 2020.

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: May 19, 2022

**City of Franklin
Plan Commission Meeting
April 21, 2022
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the April 21, 2022, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Kevin Haley and Adam Burckhardt and City Engineer Glen Morrow. Absent were Alderwoman Shari Hanneman and Commissioner Patricia Hogan. Also present were City Attorney Jesse Wesolowski, Planning Manager Heath Eddy, Principal Planner Régulo Martínez-Montilva and Assistant City Engineer Tyler Beinlich.

B. Approval of Minutes

1. Regular Meeting of April 7, 2022.

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to approve the April 7, 2022, regular meeting minutes. On voice vote, all voted ‘aye’; motion carried (4-0-2).

C. Public Hearing Business Matters

1. FIDUCIARY REAL ESTATE DEVELOPMENT, INC. MULTI-FAMILY APARTMENT COMPLEX WITH A CLUBHOUSE

DEVELOPMENT. Natural Resource Features Special Exception application by Fiduciary Real Estate Development, Inc. (CCM-9801 27th Franklin, LLC, property owner), for the purpose of impacting approximately 671 square feet of wetland (528 square feet of temporary impacts (grading) and 143 square feet of permanent impacts (paving and other impervious surfaces)), 8,018 square feet of wetland buffer (4,990 square feet of temporary impacts (grading) and 3,028 square feet of permanent impacts (paving and other impervious surfaces)) and approximately 27,935 square feet of wetland setback (24,251 square feet of temporary impacts (grading) and 3,684 square feet of permanent impacts (paving and other impervious surfaces)), with proposed impacts to both young and mature woodland not exceeding the

Planning Manager Heath Eddy presented the request by Fiduciary Real Estate Development, Inc. (CCM-9801 27th Franklin, LLC, property owner), for the purpose of impacting approximately 671 square feet of wetland (528 square feet of temporary impacts (grading) and 143 square feet of permanent impacts (paving and other impervious surfaces)), 8,018 square feet of wetland buffer (4,990 square feet of temporary impacts (grading) and 3,028 square feet of permanent impacts (paving and other impervious surfaces)) and approximately 27,935 square feet of wetland setback (24,251 square feet of temporary impacts (grading) and 3,684 square feet of permanent impacts (paving and other impervious surfaces)), with proposed impacts to both young and mature woodland not exceeding the protection standards of the Unified Development Ordinance [the applicant has proposed mitigation for both wetland resources, and for young woodland impacts], properties located at 9801 South 27th Street and 9605 South 29th Street, zoned B-4 South 27th Street Mixed-Use Commercial District; Tax Key Nos. 902-9965-006 and 902-9966-001.

The Official Notice of Public hearing for a Natural Resource Special Exception was read in to the record by Planning Manager Heath Eddy and the Public Hearing was opened at 7:08 p.m. and closed at 7:12 p.m..

protection standards of the Unified Development Ordinance [the applicant has proposed mitigation for both wetland resources, and for young woodland impacts], properties located at 9801 South 27th Street and 9605 South 29th Street, zoned B-4 South 27th Street Mixed-Use Commercial District; Tax Key Nos. 902-9965-006 and 902-9966-001.

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of the Fiduciary Real Estate Development, Inc. Natural Resource Features Special Exception pursuant to the Standards, Findings and Decision recommended by the Plan Commission and Common Council consideration of the Environmental Commission Recommendations. On voice vote, all voted ‘aye’; motion carried. (4-0-2).

D. Business Matters

1. THE ROCK SPORTS COMPLEX AREA CHALLENGE TOWER INSTALLATION WITHIN PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS). Site Plan Amendment application by Michael R. Schmitz, owner of Rock Snow Park, LLC, applicant (BPC County Land, LLC, property owner), to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, also to be located east of the existing Ski Chalet in The Rock Sports Complex, property located at approximately 7011 South Ballpark Drive, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1003-000 [the Site Plan Amendment is to change the location of the previously approved, but not yet constructed Challenge Tower, the Challenge Tower Site Plan being approved on April 23, 2020, by Plan Commission Resolution No. 2020-014; a Special Use permit was also approved for the Challenge Tower on May 5, 2020.

Principal Planner Martínez-Montilva presented the request by Michael R. Schmitz, owner of Rock Snow Park, LLC, applicant (BPC County Land, LLC, property owner), to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, also to be located east of the existing Ski Chalet in The Rock Sports Complex, property located at approximately 7011 South Ballpark Drive, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1003-000 [the Site Plan Amendment is to change the location of the previously approved, but not yet constructed Challenge Tower, the Challenge Tower Site Plan being approved on April 23, 2020, by Plan Commission Resolution No. 2020-014; a Special Use permit was also approved for the Challenge Tower on May 5, 2020.

City Engineer Morrow moved and Commissioner Leon seconded a motion to table until the May 5, 2022 Plan Commission meeting. On voice vote, all voted ‘aye’; motion carried. (4-0-2).

2. JAX’S WHEEL FOOD MICRO MOBILE KITCHEN OPERATION.

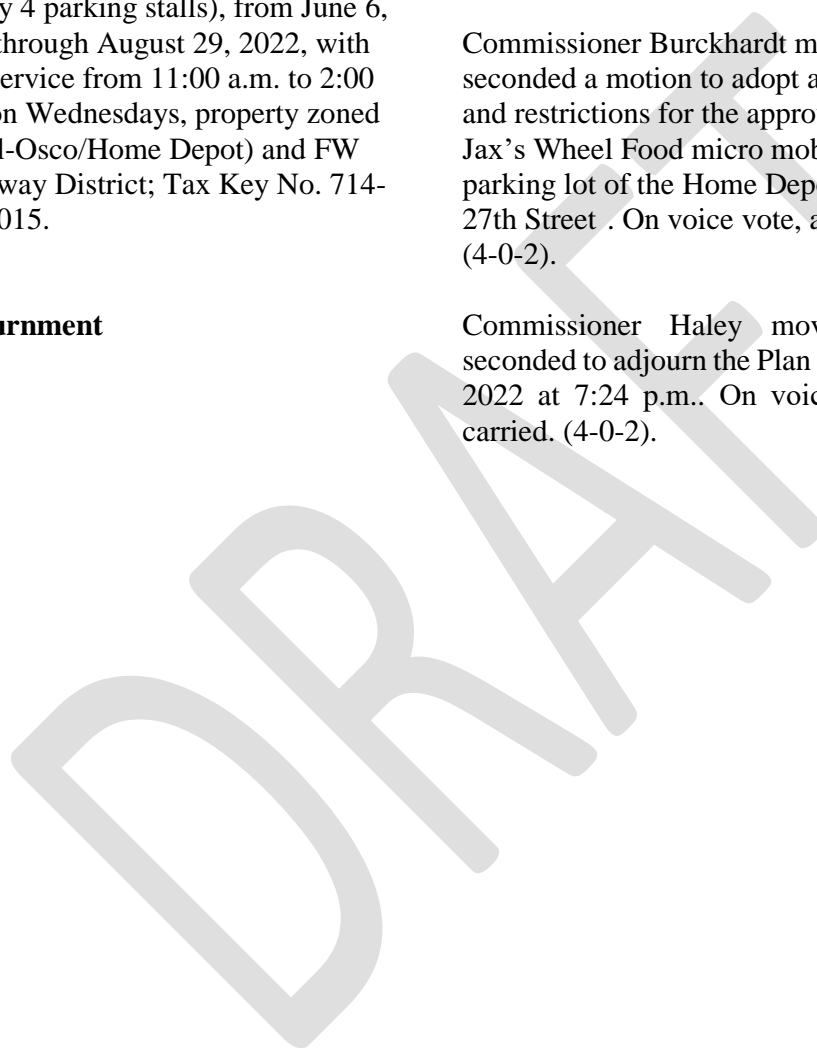
Temporary Use application by Jacquelynn L. Barret, owner of Jax’s Wheel Food, to allow for a micro mobile kitchen operation in the Home Depot parking lot located at 6489 South 27th Street (the tow vehicle is a standard Sport Utility Vehicle and the mobile kitchen unit is 6 foot by 4 foot, with an additional 6 foot folding table, and will occupy 4 parking stalls), from June 6, 2022 through August 29, 2022, with food service from 11:00 a.m. to 2:00 p.m. on Wednesdays, property zoned (Jewel-Osco/Home Depot) and FW Floodway District; Tax Key No. 714-9996-015.

Principal Planner Martínez-Montilva presented the request by Jacquelynn L. Barret, owner of Jax’s Wheel Food, to allow for a micro mobile kitchen operation in the Home Depot parking lot located at 6489 South 27th Street (the tow vehicle is a standard Sport Utility Vehicle and the mobile kitchen unit is 6 foot by 4 foot, with an additional 6 foot folding table, and will occupy 4 parking stalls), from June 6, 2022 through August 29, 2022, with food service from 11:00 a.m. to 2:00 p.m. on Wednesdays, property zoned (Jewel-Osco/Home Depot) and FW Floodway District; Tax Key No. 714-9996-015.

Commissioner Burckhardt moved and Commissioner Leon seconded a motion to adopt a Resolution imposing conditions and restrictions for the approval of a Temporary Use for a Jax’s Wheel Food micro mobile kitchen operation in the parking lot of the Home Depot store located at 6489 South 27th Street . On voice vote, all voted ‘aye’; motion carried. (4-0-2).

Adjournment

Commissioner Haley moved and Commissioner Leon seconded to adjourn the Plan Commission meeting of April 21, 2022 at 7:24 p.m.. On voice vote, all voted ‘aye’; motion carried. (4-0-2).





CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of May 5, 2022

Natural Resource Special Exception

RECOMMENDATION: Department of City Development Staff recommends a motion with conditions of approval provided in the draft Standards, Findings and Decision attached.

Project Name:	Bear Development, LLC
Project Location:	South Monarch Drive (TKN 891-1084-000, 938-9994-004)
Property Owner:	TKN 891-1084-000 – Loomis & Ryan, Inc. TKN 938-9994-004 – Gurjit Singh, Gurmit Kaur
Applicant:	S.R. Mills, Bear Development, LLC
Agent:	Daniel Szczap
Current Zoning:	M-1 Limited Industrial, R-2 Estate Single-Family Residence
2025 Comprehensive Plan:	Business Park and Areas of Natural Resource Features
Applicant's Action Requested:	Recommendation to the Plan Commission for approval of the Natural Resource Special Exception Application
Planner:	Heath Eddy, AICP, Planning Manager

On December 8, 2022, the applicant submitted an application requesting approval of a Natural Resource Special Exception to allow for grading and construction related to the development of a multi-building business incubator facility to be run by a company called RISE. The project design required impacts to wetland buffers and wetland setbacks. The application was deemed complete for review March 1, 2022. Staff prepared an initial set of review comments dated March 11, 2022, and followed up with additional comments after a resubmission of materials on March 30, 2022. Both sets of comments are attached as part of this application review package.

Pursuant to Section 15-10.0208 of the Unified Development Ordinance (UDO), all requests for a Natural Resource Special Exception shall be provided to the Environmental Commission for its review and recommendation.

Project Description:

This site is located along the east side of South Monarch Drive in the Loomis Business Park portion of Ryan Meadows subdivision. The subject property is a combination of the prior Lot 84 of Ryan Meadows and a portion of the adjacent property currently owned by the Singhs. A prior Certified Survey Map application was approved for recording, and the applicant is working with City staff to address any remaining conditions prior to recording, which is why this review encompasses two lots and two Tax Key Numbers. The Singh property is currently zoned R-2 Estate Single-Family Residence but the portion to be combined with Lot 84 to form the development site for this project was approved for rezoning to M-1 Limited Industrial by Common Council.

According to the attached Site Plan the applicant, on behalf of RISE, proposes 18 buildings on the 23.08-acre property to accommodate up to 177 individual rental/lease spaces for businesses to use for storage, materials, equipment, and other operations within the complex. This proposal is designed as a “business incubator” to provide a legal location to operate a business that is too large to operate out of a residence but not large enough to have its own property and development.

Site Intensity calculations have been prepared (§15-3.0500), and the proposed development meets specifications regarding “site intensity” or balance of developed land to open space. The proposed development will be served by municipal water and public sanitary sewer.

The property is currently vacant but was very recently used for agricultural crop production. A central tenet of the applicant’s argument in support of the request is linked primarily to this prior and continuing use of property.

A Natural Resource Protection Plan (NRPP) has been completed for the development as part of these approvals. The property contains approximately 6.48 acres of wetlands in the central/north section adjacent to South Monarch Drive, and the larger portion part of a multi-property complex along the southern property line. None of the delineated wetland areas are proposed for disturbance with this application. A small tributary to Ryan Creek runs through the extreme southern portion of the application property, with a larger segment running through Lot 3 of the approved CSM (which is retained in ownership by the Singhs). For simplicity of application the Shoreland Buffer is illustrated on the NRPP, though it should be noted that the stream is intermittent and therefore unlikely to be considered navigable. The property also features a little more than one acre of mature woodland of which about 0.163 acres are proposed for disturbance which is well within the limits of the Unified Development Ordinance (contained in Table 15-4.0100, below).

Table 15-4.0100						
Natural Resource Protection Standards						
Natural Resource Feature	Zoning District Type					
	Agricultural (g)		Residential (a), (g)		Nonresidential (b), (g)	
	Protection Standard	Mitigation Permitted	Protection Standard	Mitigation Permitted	Protection Standard	Mitigation Permitted
Steep Slopes:	0%	N/A	60% (d)	No	40% (d)	No
10-19%	65% (d)	No	75% (d)	No	70% (d)	No
20-30%	90% (d)	No	85% (d)	No	80% (d)	No
+30%						
Woodlands & Forests:	70% (d)(e)	No	70% (d)(e)	No	70% (e)	Yes
Mature	50% (d)(e)	No	50% (e)	Yes	50% (e)	Yes
Young						
Lakes & Ponds	100% (d)	No	100%	Yes	100%	Yes
Streams	100% (c)(d)	No	100% (c)(d)	No	100% (c)(d)	No
Shore Buffers	100% (c)(d)	No	100% (c)(d)	No(f)	100% (c)(d)	No(f)
Flood- plains/ Flood- ways	100% (c)(d)	No	100% (c)(d)	No	100%(c)	Yes
Wetlands & Shoreland Wetlands	100% (c)(d)	No	100% (c)(d)	No	100% (c)	Yes
Wetland Buffers	100% (c)(d)	No	100% (c)(d)	No	100% (c)	Yes

NATURAL RESOURCE SPECIAL EXCEPTION REQUEST

The applicant has provided the attached Natural Resource Special Exception Application, Questionnaire, Project Description, and associated information.

The requested Natural Resource Special Exception is for property bearing Tax Key No. 891 1084 000 and 938 9994 004. The NRSE request is to allow for impacts to wetland buffer and setback as follows:

- Wetland Buffer (1.88 acres total protection area):
 - 11,558 square feet (0.265 acres) of temporary grading impact (14.1% of total Wetland Buffer area) and,
 - 3,381 square feet (0.08 acres) of permanent impacts (4.1% of total Wetland Buffer area)
- Wetland Setback (1.40 acres total protection area):
 - 228 square feet (0.005 acres) of temporary grading impacts (0.4% of total Wetland Setback)
 - 13,188 square feet (0.30 acres) of permanent structure impacts (21.6% of total Wetland Setback)

Conservation easements must be submitted for all natural resources to be protected. Staff notes that there is an existing Conservation Easement recorded for the northern wetland feature and surrounding protection area which will need to be amended to account for the changes in the configuration both to the impact area as well as the proposed mitigation area. Also, staff normally

recommends that wetland setbacks shall have conservation signage or boulders placed to delineate the area(s) as protected and unbuildable for the long-term use of the property.

Restoration is proposed for areas of disturbance in accordance with §15-4.0102I for appropriate plantings; staff recommends that Plan Commission require financial sureties for restoration (§15-4.0103.D.).

Mitigation Plan

The applicant has proposed a significant mitigation area to accommodate the requirements of the Unified Development Ordinance. The proposed planting program conceived by the applicant appears to meet the requirements for mitigation planting and stabilization. These measures will be required to be included in the Landscape Plan for implementation of the site plan approval, which is being reviewed under separate cover.

Natural Resource Protection Plan

A few technical corrections to the Natural Resource Protection Plan were required by the initial staff comments dated March 11, 2022, and were met with the subsequent submittal. No additional changes are anticipated.

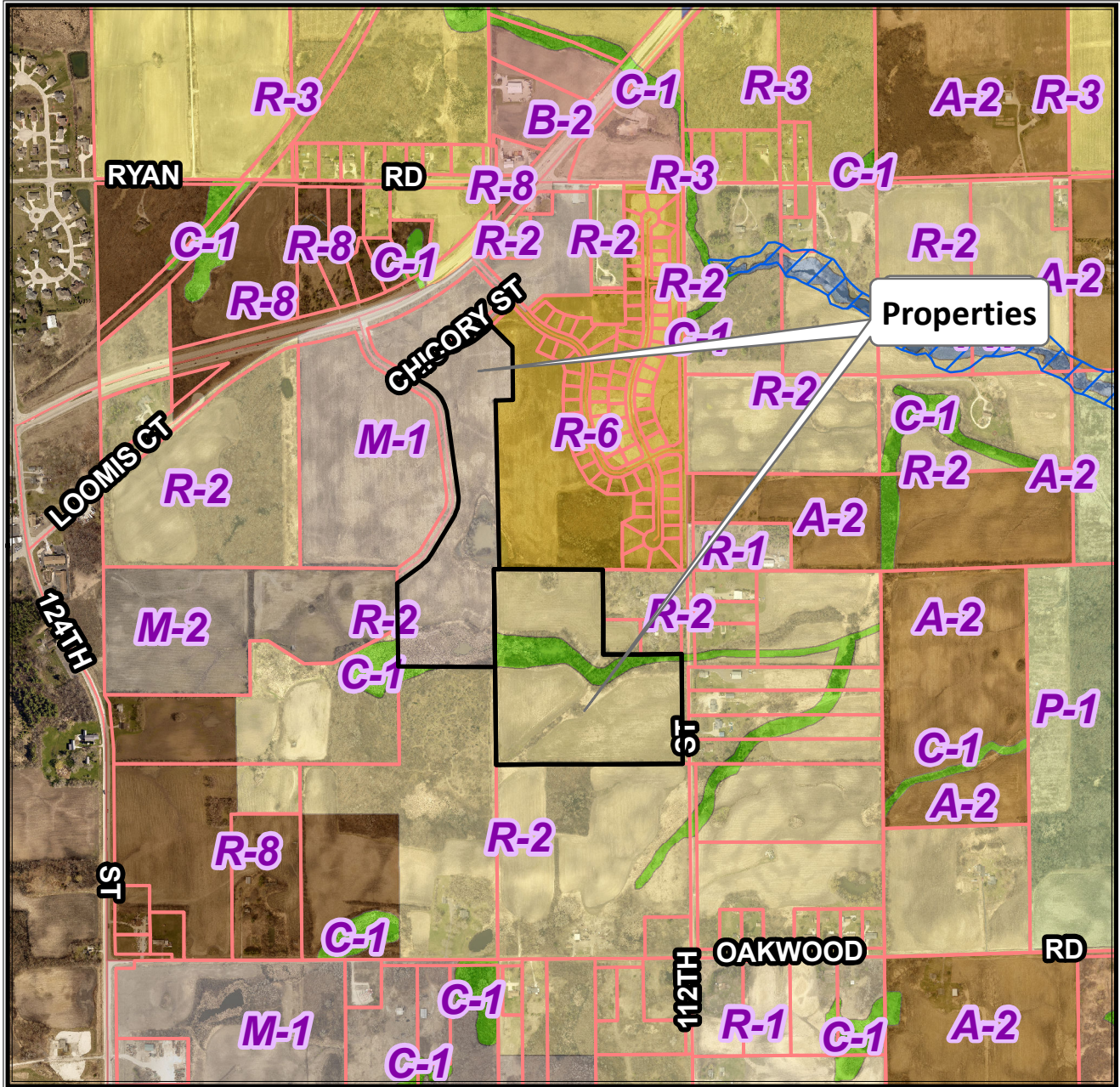
CONCLUSION

Staff finds that the NRSE application is reasonable, based on the underlying assumption that (1) the development site is impacted by the overhead power lines and (2) the required protection areas are already impacted as a result of continuous farmland operation. Staff recommendations for proposed conditions of approval are incorporated into the draft Environmental Commission Special Exception Review and Recommendation as recommended conditions of approval.

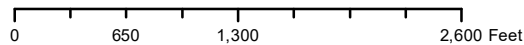
Per Section 15-10.0208 of the Unified Development Ordinance (UDO), the applicant shall have the burden of proof to present evidence sufficient to support a Natural Resource Special Exception (NRSE) request. The applicant has presented evidence for the request by answering the questions and addressing the statements that are part of the Natural Resource Special Exception (NRSE) application. The applicant's responses to the application's questions and statements are attached for your review.

Also attached is a document titled, "City of Franklin Environmental Commission" that the Environmental Commission must complete and forward to the Common Council. The questions and statements on this document correspond with the Natural Resource Special Exception (NRSE) application questions and statements that the applicant has answered and addressed.

TKNs: 891 1084 000 & 938 9994 004

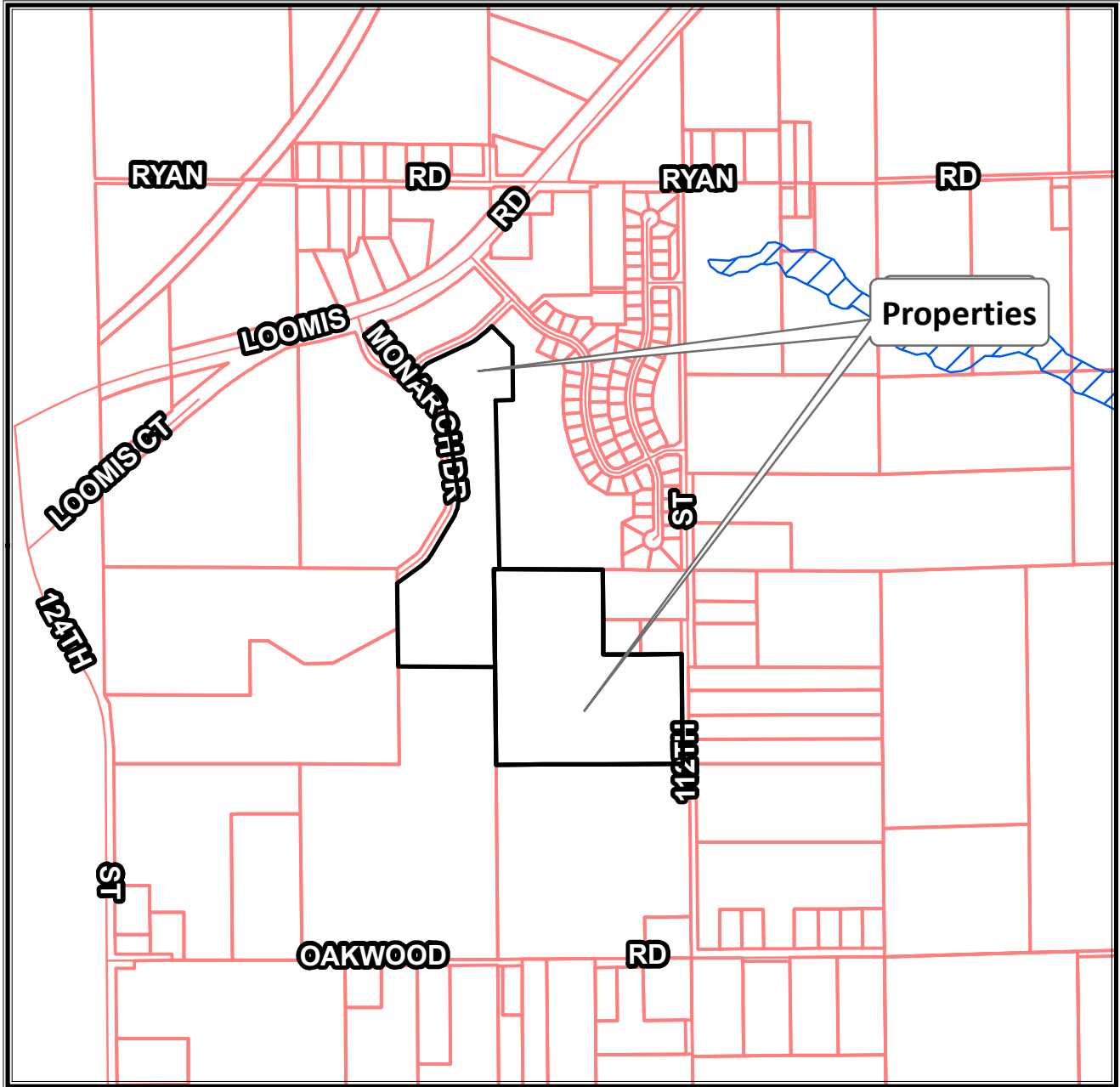


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(414) 425-4024

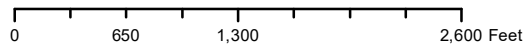


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

TKNs: 891 1084 000 & 938 9994 004



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

Draft 5/5/22

Standards, Findings and Decision
of the City of Franklin Common Council upon the Application of Stephen R. Mills,
President of Bear Development, LLC, applicant, for a Special Exception
to Certain Natural Resource Provisions of the City of Franklin
Unified Development Ordinance

Whereas, Stephen R. Mills, President of Bear Development, LLC, applicant, having filed an application dated December 8, 2021, for a Special Exception pursuant to Section 15-9.0110 of the City of Franklin Unified Development Ordinance pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature; a copy of said application being annexed hereto and incorporated herein as Exhibit A; and

Whereas, the application having been reviewed by the City of Franklin Environmental Commission and the Commission having made its recommendation upon the application, a copy of said recommendation dated April 27, 2022 being annexed hereto and incorporated herein as Exhibit B; and

Whereas, following a public hearing before the City of Franklin Plan Commission, the Plan Commission having reviewed the application and having made its recommendation thereon as set forth upon the report of the City of Franklin Planning Department, a copy of said report dated May 5, 2022 being annexed hereto and incorporated herein as Exhibit C; and

Whereas, the properties which are the subject of the application for a Special Exception are generally located at the end of South Monarch Drive in the Ryan Meadows subdivision, zoned M-1 Limited Industrial District, R-2 Estate Single-Family Residence District and C-1 Conservancy District, and such properties are more particularly described upon Exhibit D annexed hereto and incorporated herein; and

Whereas, Section 15-10.0208B. of the City of Franklin Unified Development Ordinance, as amended by Ordinance No. 2003-1747, pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature, provides in part: “The decision of the Common Council upon any decision under this Section shall be in writing, state the grounds of such determination, be filed in the office of the City Planning Manager and be mailed to the applicant.”

Now, Therefore, the Common Council makes the following findings pursuant to Section 15-10.0208B.2.a., b. and c. of the Unified Development Ordinance upon the application for a Special Exception dated December 8, 2021, by Stephen R. Mills, President of Bear Development, LLC, applicant, pursuant to the City of Franklin Unified Development Ordinance, the proceedings heretofore had and the recitals and matters incorporated as set forth above, recognizing the applicant as having the burden of proof to present evidence sufficient to support the following findings and that such findings be made by not less than four members of the Common Council in order to grant such Special Exception.

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *but rather, the request for Special Exception is based on the size, location and orientation of existing wetlands, which are being avoided. Further the land includes a large utility easement that restricts development area significantly. In planning the development of the subject property, the end user has designated the site using specific criteria that is required for the viability of their project. These criteria include significant access to proposed buildings, clear traffic circulation to and through the site and access for fire protection equipment. Every effort has been made to design the site while minimizing impacts to the natural resource features.*

2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:

a. be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives: *The compliance with the wetland buffer/setback in this particular instance is unreasonably burdensome, as a typical wetland buffer does not exist. The area being regulated is open tilled agricultural land right to the wetland edge and in some cases into the wetland. The project does not impact streams, waterways, wetlands or navigable waterways. All wetlands on the property have been avoided; or*

b. unreasonably and negatively impact upon the applicant's use of the property and that there are no reasonable practicable alternatives: *The applicant represents that the denial of the NRSE would be unreasonable and negatively impact the applicants proposed use of the property based on the fact that the impacts are minimal and are addressed with conventional engineering practices. In fact, the wetland resource health will be enhanced by the development of the site.*

3. The Special Exception, including any conditions imposed under this Section will:

a. be consistent with the existing character of the neighborhood: *the proposed development with the grant of a Special Exception as requested will be consistent with the existing character of the neighborhood. The encroachment into the Wetland*

Buffer and Setback will have no effect on the character of the neighborhood which consists of active farmland, a developing business park and existing residences along 112th Street; and

b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: *The situation and conditions related to this project are unique. The location and orientation of the existing wetlands and applied buffers and setbacks significantly impact the ability to develop the site. While the subject property includes wetlands, the areas of wetland buffer and setback are not vegetated and do not provide the protective function that typical, vegetated buffers offer. Applying the wetland setback/buffer for a developed site, but not for agricultural purposes, does and not protect the actual wetland resources. The proposed development includes protective measures to protect and enhance the delineated wetlands. The referenced protective measures are absent in the current use. Further, the property is impaired with a large utility easement that affects the ability to develop areas of the site that are not restricted with Wetland Buffers and Setbacks. Other properties seeking the same relief would need to meet similar standards; and*

c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: *The applicant represents that the unique circumstances involved with this request is what the NRSE process was intended for. It will allow a highly valuable commercial development to locate in an established business park without impacting the wetland resource; and*

d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development: *(this finding only applying to an application to improve or enhance a natural resource feature). The existing Wetland Buffer and Setback do not provide any functional value to the wetland resources; in the post-development scenario, the wetland value will be enhanced as direct sedimentation loading from open tillage will be eliminated and all surface runoff and roof drainage will be directed to stormwater basins, allowing suspended solids to settle before captured stormwater is released at a measured rate back to the wetland areas.*

The Common Council considered the following factors in making its determinations pursuant to Section 15-10.0208B.2.d. of the Unified Development Ordinance.

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: *The improvements will not negatively affect surrounding properties. Appropriate setbacks are established to reduce any land use conflicts.*

2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other

properties or uses in the same district: *The exceptional, extraordinary or unusual circumstance is that the property is encumbered with a large utility easement that cannot be developed, and lack of flexibility with regard to the protection standards in UDO §15-4.0101 and the determination requirements of UDO §15-4.0102 will render the property hard to develop.*

3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: *The future use of the property is permitted in the M-1 Limited Industrial District and is consistent with the City of Franklin 2025 Comprehensive Master Plan. The future improvements will be permanent.*

4. Aesthetics: *The proposed development will have no negative impact to aesthetics; the areas that are proposed to be impacted are currently tilled agricultural fields. In the post-development scenario, the impacted areas will be cohesively designed and enhanced via the proposed Restoration Plan. Further, the Applicant is providing mitigation areas that will consist of permanent open space planted with native vegetation.*

5. Degree of noncompliance with the requirement allowed by the Special Exception: *The applicant is not requesting relief beyond what is essential in order to gain development feasibility, and is reasonable in light of the current condition and use of the areas being impacted.*

6. Proximity to and character of surrounding property: *Proposed impacts will occur within the site and do not extend past the property line. The nearest location to the proposed impacts of this request is located over 510 feet away.*

7. Zoning of the area in which property is located and neighboring area: *The subject property is zoned M-1 Limited Industrial and surrounding zoning is a combination of M-2 General Industrial (east), R-2 Estate Single-Family Residence (south and east), and M-1 and R-6 Suburban Single-Family Residence to the north. The area adjacent to R-2 District zoning is proposed to be a landscaped Bufferyard.*

8. Any negative affect upon adjoining property: *Proposed impacts will occur within the site and do not extend past the property line. There will be no negative effects to the surrounding property, and will be buffered with permanent open space.*

9. Natural features of the property: *The applicant proposed to impact Mature Woodlands located onsite, but these are within the operational limits of UDO §15-4.0101. No other natural features are proposed for disturbance.*

10. Environmental impacts: *There are no proposed environmental impacts associated with this application.*

11. A recommendation from the Environmental Commission as well as a review and recommendation prepared by an Environmental Commission-selected person knowledgeable in natural systems: *The Environmental Commission recommendation and its reference to the report of April 27, 2022 is incorporated herein.*

12. The practicable alternatives analysis required by Section 15-9.0110C.4. of the Unified Development Ordinance and the overall impact of the entire proposed use or structure, performance standards and analysis with regard to the impacts of the proposal, proposed design solutions for any concerns under the Ordinance, executory actions which would maintain the general intent of the Ordinance in question, and other factors relating to the purpose and intent of the Ordinance section imposing the requirement: *The Plan Commission recommendation and the Environmental Commission recommendation address these factors and are incorporated herein.*

Decision

Upon the above findings and all of the files and proceedings heretofore had upon the subject application, the Common Council hereby grants a Special Exception for such relief as is described within Exhibit C, upon the conditions:

- 1) that the natural resource features and mitigation areas upon the properties to be developed be protected by a perpetual conservation easement to be approved by the Common Council prior to any development within the areas for which the Special Exception is granted prior to any land disturbing activities;*
- 2) that the applicant obtain all other necessary approval(s) from all other applicable governmental agencies prior to any development within the areas for which the Special Exception is granted;*
- 3) that all development within the areas for which the Special Exception is granted shall proceed pursuant to and be governed by the approved Natural Resource Protection Plan and all other applicable plans for Stephen R. Mills, President of Bear Development, LLC, applicant, and all other applicable provisions of the Unified Development Ordinance;*
- 4) that the applicant shall provide for financial sureties for implementation of the Restoration Plan;*
- 5) that the applicant shall place boulders or other markers to demarcate the wetland setback on the property;*
- 6) that the proposed Mitigation Areas and Restoration Plan shall be incorporated into the Landscape Plan and Site Plan for any proposed development of the subject property; and*
- 7) that the applicant shall clarify the location of the proposed fence around the perimeter and verify that it will not present additional impacts to Wetlands, Wetland Buffers or Wetland Setbacks.*

The duration of this grant of Special Exception is permanent.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

City of Franklin Environmental Commission

TO: Common Council
DATE: April 18, 2022
RE: Special Exception application review and recommendation
APPLICATION: S.R. Mills, Bear Development, LLC, Applicant, dated:
December 8, 2021
(TKNs 891 1084 000, 938 9994 004)

I. §15-9.0110 of the Unified Development Ordinance Special Exception to Natural Resource Feature Provisions Application information:

1. Unified Development Ordinance Section(s) from which Special Exception is requested: *The applicant is requesting an exception from §15-4.0101 Natural Resource Protection Standards, and §15-4.0102 Natural Resource Features Determination which require that identified natural resources features be protected from impacts of development.*
2. Nature of the Special Exception requested (description of resources, encroachment, distances and dimensions): *The Special Exception is being requested to allow for impacts to wetland buffer, consisting of 11,558 SF of temporary grading impact and 3,381 SF of permanent impacts; and to wetland setback, consisting of 228 SF of temporary grading impacts and 13,188 SF of permanent impact related to structural footprint.*
3. Applicant's reason for request: *To allow for improved site design for new commercial project involving 18 individual building pads and orientation of buildings to circulation systems on the site.*
4. Applicant's reason why request appropriate for Special Exception: *The applicant states that "The site was previously operated as a permitted agricultural operation including tillage, planting and harvesting within the areas currently designated as protected wetland buffers and setbacks. The proposed incursions will permit the flexible design of the new commercial development while also permitting the operator to renew, restore and enhance the areas for protection with improved water quality, and reduced sediment load entering the existing wetlands.*

II. Environmental Commission review of the §15-9.0110C.4.f. Natural Resource Feature impacts to functional values:

1. Diversity of flora including State and/or Federal designated threatened and/or endangered species: *There will be no impacts, as the wetland buffers and setbacks consist of open-tilled agricultural fields.*

2. Storm and flood water storage: *The property is not in a designated floodplain or floodway. Currently any surface water and sediment load are discharged directly into wetland unimpeded.*
3. Hydrologic functions: *The applicant states “the area that is defined as Wetland Buffer and Setback provide a minimal hydrologic function. They currently exist as open tilled agricultural field. While a portion of runoff from this unstabilized area is absorbed, the area does not provide any protection from siltation and sediment load entering the wetland areas.”*
4. Water quality protection including filtration and storage of sediments, nutrients or toxic substances: *The applicant states that “water quality protection and sediment loading will be improved in the post-development scenario.”*
5. Shoreline protection against erosion: *Not applicable; impacts to shoreline or shoreline buffer are not proposed.*
6. Habitat for aquatic organisms: *Not applicable.*
7. Habitat for wildlife: *The applicant states that “the areas in question do not include wildlife habitat, as they are devoid of natural vegetation.”*
8. Human use functional value: *The proposed areas of impacts are currently used for agricultural purposes. The areas in question appear to have been farmed since at least 1937 based on Milwaukee County aerial photography.*
9. Groundwater recharge/discharge protection: *The applicant states that “groundwater and surface water will continue to drain to the peripheral wetlands after being filtered and treated in the engineered stormwater basins.”*
10. Aesthetic appeal, recreation, education, and science value: *The subject areas are currently used for agricultural purposes. (1) The proposed impacts in this area would not result in a loss of aesthetic appeal, as in a post developed condition the areas would be converted to maintained landscaped areas. (2) The proposed impacts would not result in a loss of recreational values, as the areas are not being used for recreational purposes. (3) The proposed impacts would not result in a loss of educational value, as the area is being used for agricultural purposes. (4) The proposed impacts would not result in a loss of science value, as the property is being used for agricultural purposes.*
11. State or Federal designated threatened or endangered species or species of special concern: *Owners are not aware of any State or Federal designated*

threatened or endangered species on our site. The Endangered Resource screening process occurs as part of the WDNR NOI. The adjacent project, Ryan Meadows, was granted full WDNR approvals without any Endangered Resource concerns. Because the limits of grading/impact do not include any wetland areas, natural areas or forested areas, there is no habitat conversion contemplated.

12. Existence within a Shoreland: *Not applicable.*

13. Existence within a Primary or Secondary Environmental Corridor or within an Isolated Natural Area, as those areas are defined and currently mapped by the Southeastern Wisconsin Regional Planning Commission from time to time: *Wetland 2 is designated as a Secondary Environmental Corridor and Isolated Natural Area as defined by SEWRPC; however, the wetland is not proposed for impact by this application.*

III. Environmental Commission review of the §15-10.0208B.2.d. factors and recommendations as to findings thereon:

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *The request for Special Exception is based on the size, location and orientation of existing wetlands, which are being avoided. Further the land includes a large utility easement that restricts development area significantly. In planning the development of the subject property, the end user has designated the site using specific criteria that is required for the viability of their project. These criteria include significant access to proposed buildings, clear traffic circulation to and through the site and access for fire protection equipment. Every effort has been made to design the site while minimizing impacts to the natural resource features.*
2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:
 - a. be unreasonably burdensome to the applicants and that there are no reasonable practicable alternatives: *The compliance with the wetland buffer/setback in this particular instance is unreasonably burdensome, as a typical wetland buffer does not exist. The area being regulated is open tilled agricultural land right to the wetland edge and in some cases into the wetland. The project does not impact streams, waterways, wetlands or navigable waterways. All wetlands on the property have been avoided.*
; or
 - b. unreasonably and negatively impact upon the applicants' use of the property and that there are no reasonable practicable alternatives: *The applicant*

represents that the denial of the NRSE would be unreasonable and negatively impact the applicants proposed use of the property based on the fact that the impacts are minimal and are addressed with conventional engineering practices. In fact, the wetland resource health will be enhanced by the development of the site.

3. The Special Exception, including any conditions imposed under this Section will:
 - a. be consistent with the existing character of the neighborhood: *The proposed NRSE will have no impact on the existing character of the neighborhood. The encroachment into the Wetland Buffer and Setback will have no effect on the character of the neighborhood which consists of active farmland, a developing business park and existing residences along 112th Street; and*
 - b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: *The situation and conditions related to this project are unique. The location and orientation of the existing wetlands and applied buffers and setbacks significantly impact the ability to develop the site. While the subject property includes wetlands, the areas of wetland buffer and setback are not vegetated and do not provide the protective function that typical, vegetated buffers offer. Applying the wetland setback/buffer for a developed site, but not for agricultural purposes, does and not protect the actual wetland resources. The proposed development includes protective measures to protect and enhance the delineated wetlands. The referenced protective measures are absent in the current use. Further, the property is impaired with a large utility easement that affects the ability to develop areas of the site that are not restricted with Wetland Buffers and Setbacks. Other properties seeking the same relief would need to meet similar standards; and*
 - c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: *The applicant represents that the unique circumstances involved with this request is what the NRSE process was intended for. It will allow a highly valuable commercial development to locate in an established business park without impacting the wetland resource; and*
 - d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development (*this finding only applying to an application to improve or enhance a natural resource feature*): *The existing Wetland Buffer and Setback do not provide any functional value to the wetland resources; in the post-development scenario, the wetland value will be enhanced as direct sedimentation loading from open tillage will be eliminated and all surface runoff and roof drainage will be directed to stormwater basins, allowing suspended solids to settle before captured stormwater is released at a measured rate back to the wetland areas.*

IV. Environmental Commission review of the §15-10.0208B.2.a., b. and c. factors and recommendations as to findings thereon:

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: *The improvements will not negatively affect surrounding properties. Appropriate setbacks are established to reduce any land use conflicts;*
2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: *The exceptional, extraordinary or unusual circumstance is that the property is encumbered with a large utility easement that cannot be developed, and lack of flexibility with regard to the protection standards in UDO §15-4.0101 and the determination requirements of UDO §15-4.0102 will render the property hard to develop.*
3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: *The future use of the property is permitted in the M-1 Limited Industrial District and is consistent with the City of Franklin 2025 Comprehensive Master Plan. The future improvements will be permanent.*
4. Aesthetics: *The proposed development will have no negative impact to aesthetics; the areas that are proposed to be impacted are currently tilled agricultural fields. In the post-development scenario, the impacted areas will be cohesively designed and enhanced via the proposed Restoration Plan. Further, the Applicant is providing mitigation areas that will consist of permanent open space planted with native vegetation.*
5. Degree of noncompliance with the requirement allowed by the Special Exception: *the applicant is not requesting relief beyond what is essential in order to gain development feasibility, and is reasonable in light of the current condition and use of the areas being impacted.*
6. Proximity to and character of surrounding property: *Proposed impacts will occur within the site and do not extend past the property line. The nearest location to the proposed impacts of this request is located over 510 feet away.*
7. Zoning of the area in which property is located and neighboring area: *The subject property is zoned M-1 Limited Industrial and surrounding zoning is a combination of M-2 General Industrial (east), R-2 Estate Single-Family Residence (south and east), and M-1 and R-6 Suburban Single-Family Residence to the north. The area adjacent to R-2 District zoning is proposed to be a landscaped Bufferyard.*

8. Any negative affect upon adjoining property: *Proposed impacts will occur within the site and do not extend past the property line. There will be no negative effects to the surrounding property, and will be buffered with permanent open space.*
9. Natural features of the property: *The applicant proposed to impact Mature Woodlands located onsite, but these are within the operational limits of UDO §15-4.0101. No other natural features are proposed for disturbance.*
10. Environmental impacts: *There are no proposed environmental impacts associated with this application.*

V. Environmental Commission Recommendation:

The Environmental Commission has reviewed the subject Application pursuant to §15-10.0208B. of the Unified Development Ordinance and makes the following recommendation:

1. The recommendations set forth in Sections III. and IV. Above are incorporated herein.
2. The Environmental Commission recommends [approval] [denial] of the Application upon the aforesaid recommendations for the reasons set forth therein.
3. The Environmental Commission recommends that should the Common Council approve the Application, that such approval be subject to the following conditions:
 - a) The applicant shall submit conservation easements for areas of preserved natural resources and mitigation areas (§15-4.0103.B.1.d, §15-7.0201.H), including amendments to the existing Conservation Easements for Ryan Meadows Lot 84, for Common Council review and approval, prior to any land disturbing activities.
 - b) The applicant shall obtain all necessary approvals from Federal and State regulatory agencies (§15-10.0208.B.3) prior to any land disturbing activities.
 - c) The applicant shall provide for financial sureties for implementation of restoration, as permitted by §15-4.0103.D.
 - d) The applicant shall place boulders or other markers to demarcate the wetland setback on the property.
 - e) The proposed Mitigation Areas and Restoration Plan shall be incorporated into the proposed Landscape Plan and Site Plan for the development of the subject property.
 - f) The applicant shall clarify the location of the proposed fence and whether it impacts wetland resources.

The above review and recommendation was passed and adopted at a regular meeting of the Environmental Commission of the City of Franklin on the _____ day of _____, 2022.

Dated this ____ day of _____, 2022.

Linda Horn, Chairman

Attest:

Jamie Groark, Vice-Chairman

MEMORANDUM

Date: March 11, 2022

To: Daniel Szczap, Bear Development, LLC

From: Heath Eddy, AICP, Planning Manager
City of Franklin, Department of City Development

RE: Review comments for Natural Resource Features Special Exception (NRSE) application, Lot 2 of CSM approved February 15, 2022, currently bearing TKNs 891 1084 000 and 938 9994 004.

Below are review comments and recommendations for the above-referenced applications submitted by S.R. Mills, Bear Development LLC, o.b.o. Loomis & Ryan Inc. and Gurjit Singh, and deemed complete for review on March 2, 2022. NOTE: this is not to say that the current documentation is complete, but that staff is required to provide review comments for the documentation as it has been provided to-date.

Department of City Development comments

1. **Application Form.** The property records of Milwaukee County indicate that TKN 938-9994-004 is owned by Gurmit Kaur. **Please provide a Revised Application Form identifying all applicants and property owners.** Also, for the record, we require that all property owners acknowledge consent for the submission of the application. **Please provide the required Consent from all property owners.**
2. **Legal Description.** The application form includes that the legal description for the property in question shall be provided as a Word document. **Please provide such documentation, as it was not included with the application submission and WE CANNOT PROCEED WITH THE PUBLIC NOTICE WITHOUT IT.**
3. **NRPP Revised.** Please provide a revised paper and electronic copy with the following revisions:
 - a. **The original version as submitted was already revised with the Shore Buffer added, but that was not provided in paper format** (only electronic).
 - b. There is no inclusion of EXISTING Conservation Easements as they are currently applied to either this property or the immediately adjacent properties. **Please show ALL recorded Conservation Easements on or immediately adjacent to the subject property on the NRPP.**
 - c. **The NRPP must enumerate the lot areas for all 3 lots of the approved CSM.**
 - d. **The NRPP shall provide the total level of impacts to wetland buffers and setbacks (the required protection areas and the proposed impact on such areas).** We want an NRPP that shows the “final result” that can be used to verify approved grading areas later on.
 - e. **The boundary of the Secondary Environmental Corridor shall be depicted on the NRPP.**
4. **Conservation Easement Impacts.** The submitted documentation does not specify the total impacts to the Conservation Easement previously recorded for this property. As the City is the easement holder, **these areas must be identified specifically by type (see 5.a. below for more information). Please include with the revised Narrative under 6. below.**
5. **Schematic Concept Plan.** Please note the following:

- a. The proposed design identifies areas of impact to the buffers and setbacks, but does not specify what are the “temporary” (grading only) impacts or “permanent” impacts numerically. We have sum totals; we need this broken down by type as this forms the basis of the public notice. **WE CANNOT PROCEED WITH A PUBLIC NOTICE ABSENT THIS INFORMATION.** The plan also does not include the area specific for setback grading, which should be included as a “temporary impact” because **it is required to be restored per the City of Franklin Unified Development Ordinance.**
 - b. The design indicates areas of proposed mitigation, which are essentially extensions of buffers and setbacks. However, **there is no specific mitigation plan or proposal that included the required seed mixes and soils to remediate or enhance such areas as part of the plan. This is a requirement for this application submission.**
6. The Following Comments are with respect to the document titled “Natural Resource Special Exception Question and Answer Form”. **Please provide a revised version of this Narrative for the public process to proceed.**
- a. Page 1, under “Abutting Property Owners” the list is missing Amy Serafin, 9951 S. 112th Street, Franklin WI 53132.
 - b. Page 2, subpart C.2. – The statement identifying the request, location and dimensions is lacking any such references. It simply provides a series of inputs, unnecessary meeting references, and irrelevant financial justifications for this request. THIS is a special exception that is modeled on the Variance criteria. We need to identify the specific request and locations of same.
 - c. Page 3, subpart C.2. top paragraph belongs under the “justification” section in C.3. (see below)
 - d. Page 3, subpart C.3.
 - i. The first 3 paragraphs (down to “Please note...”) belong under C.2.
 - ii. Paragraph starting “If the UDO” – this is a financial justification that is not suitable to a Variance request. Such requests are not based on a financial hardship/rationale. Therefore it is not a justification.
 - iii. Last bullet point doesn’t specifically indicate “WHAT” or “HOW” the post-development scenario benefits the delineated wetlands. What is the justification to develop and encroach on areas designated under the requirements of UDO Division 15-4.0100?
 - e. Page 4, subpart C.4. fourth paragraph, as noted above, financial or “tax increment” justifications are not appropriate for this type of application. The appropriate justification is with respect to the proposed development and the Natural Resource Features Protections, and how the request is intended to meet the “intent” of such protections, and how the site has such circumstances as would require a Special Exception. Also note as follows:
 - i. Under a.i., the enclosed site plan is not an “engineered” plan, but a schematic plan.
 - f. Page 5, subpart C.4. continued:
 - i. Under a.iii., the property is indicated as “narrow shape” but this was a subdivision approved three years ago, so how is the existing lot configuration (even accounted for the addition of property under the approved CSM) NOT a self-created hardship? The

second paragraph more suitably identifies the ATC powerline easement as a difficult design limitation.

- ii. There is a phantom subpart C.4.c. which results in all further sections being mis-numbered.
 - iii. The c.i. response identifies “access on four sides for traffic circulation and fire protection” but the schematic plan doesn’t show full access around all buildings on the site. In fact, the schematic plan shows that 10 of the 18 buildings lack “full” access around all four sides. Four of the 5 buildings that are located in wetland setbacks/buffers also lack “full” access.
 - iv. The c.ii. response states “restraints related to property size, shape, access requirements, and existing easements” when 3 of these are either not demonstrated by the schematic design (only the easements are demonstrated) or are self-created by prior subdivision design.
 - v. The c.iv. response is a non-response. It provides a justification for locating at this site but doesn’t indicate WHERE other alternative sites were.
- g. Page 6, subpart C.4. continued:
- i. The d. and e. responses refer to a “sub.2” which is really “sub.b.” please revise.
 - ii. The whole point of subpart C.4.d (actually C.4.c.) is to compare alternatives. As you have provided no alternatives and not evaluated whether an alternative design would yield better results, there is no reason to support this request. This also applies to the first paragraph under your C.4.e.
- h. Page 7, subpart C.4. continued:
- i. The responses under f. (actually C.4.e.) are the best justification for this request. They should form the basis of the entire submission, rather than ending up on Page 7.
 - ii. The response under g.iii. is incorrect. Wetland buffering of any kind serves as a hydrologic filter for surface flow into a wetland. Actually, just about any natural, permeable surface feature provides a hydrologic function.
- i. Page 8, subpart C.4. continued:
- i. The response under g.viii. is incorrect. The proposed areas of impact are elsewhere described as tilled land, which is a human use. The proposed areas of PROTECTION are not supposed to be for human use or human functional value.
 - ii. The response under g.x. would be more correct to state what the impact areas are currently used for, rather than getting into an argument about whether or not the areas has aesthetic, recreational, educational or science value. To a certain extent, the existing use as tilled field provides some educational value, or as a protection area would represent an educational or science value. But the argument here is whether or not the proposed impacts would result in a diminution of that value that would be balanced by the changes as proposed.
 - iii. The response under g.xi. requires verification. Being “unaware” is an insufficient response to a criterion that requires specificity.

- j. Page 9, Section 2.
 - i. The response under subpart a. is missing justification. As currently written it amounts to “the City is unfair in requiring a buffer and a setback to a wetland” even though the City has been applying said buffers/setbacks for 24 years. A reviewer would need to overlook the configuration of the property as provided, which was initially a single vertical lot with a wetland in the middle, which would have prevented significant development due largely to configuration. The response to this section SHOULD include that the proposed user of this site has specific design requirements, or other kinds of justifications for access or fire protection, that necessitate some kind of intrusion into these City-mandated protection areas.
- k. Page 10, Section 2.b.ii. – the last statement is irrelevant to a Special Exception that is a detailed variance provision. Financial impacts are not a suitable rationale.
- l. Page 10, Section 2.c.
 - i. Under c.i., the response is overly broad. The neighborhood consists of tilled farmland, a developing residential neighborhood and adjacent roadside residential lots. How does the SPECIAL EXCEPTION as approved contribute to the existing character of this neighborhood?
 - ii. Under c.ii. the response is nonsensical. The phrase “does not included typical wetland buffers” requires clarity, since the City has imposed wetland buffers on new development since 1998. The third sentence suggests that wetland setbacks/buffers “serve no ecological purpose” but the response doesn’t elaborate on HOW that is the case. The purpose of these buffers is to ENHANCE protection of these features and ensure that standard development doesn’t impede the future vitality of the wetland features. The last sentence is the only part of this response that is entirely correct and germane to the standard.
 - iii. Under c.iv. the applicant suggests and agrees to the Conservation Easement requirement, but doesn’t indicate anywhere in the submitted statements that an amendment to an EXISTING Conservation Easement (which is held by the City) is also required as part of this process. THAT should be a required addition to this overall request.
- m. Page 11, Section 2.d.
 - i. Under d.ii. the response second sentence is not relevant and is not an exceptional, extraordinary or unusual circumstance or condition.
 - ii. Under d.iv. the response is not sufficient. It indicates no “negative impact” to aesthetics but doesn’t specify what exactly would be done to maintain or improve aesthetics of the proposal overall. This section of the “Factors” includes consideration of the overall aspects of the development; therefore, it is permissible to include discussion of the overall design of the proposed development and how that would be used to counter any proposed reductions to required protections.
- n. Page 12, Section 2.d. continued

- i. Under d.vii., this response is not what is asked for. This should be a straight up zoning response. Adding the Comprehensive Plan is irrelevant.
- ii. Under d.viii., the response suggests the “proposed use is low impact” but doesn’t specify how that is, or what it is based on, or what this is referring to. Low impact for what? For whom? On what features? This requires clarity.

Inspection Services Department comments

7. Inspection Services has no comments on the proposal at this time.

Fire Department comments

8. FD has no specific comments on the NRSE. More comments will follow plan submission.

MEMORANDUM

Date: March 30, 2022

To: Daniel Szczap, Bear Development, LLC

From: Heath Eddy, AICP, Planning Manager
City of Franklin, Department of City Development

RE: **REVISED** Review comments for Natural Resource Features Special Exception (NRSE) application, Lot 2 of CSM approved February 15, 2022, currently bearing TKNs 891 1084 000 and 938 9994 004.

Below are review comments and recommendations for the above-referenced applications submitted by S.R. Mills, Bear Development LLC, o.b.o. Loomis & Ryan Inc. and Gurjit Singh, and deemed complete for review on March 2, 2022. NOTE: this is not to say that the current documentation is complete, but that staff is required to provide review comments for the documentation as it has been provided to-date.

Department of City Development comments

1. **Application Form.** The property records of Milwaukee County indicate that TKN 938-9994-004 is co-owned by Gurmit Kaur. **Please provide a Revised Application Form identifying all applicants and property owners.** Also, for the record, we require that all property owners acknowledge consent for the submission of the application. **Please provide the required Consent from all property owners.**
2. **Legal Description.** Submitted. Prior comment has been addressed.
3. **NRPP Revised.** All prior comments have been addressed.
4. **Conservation Easement Impacts.** The recorded Conservation Easements will need to be amended via approval process with Common Council, which could occur concurrent with the NRSE or separately. A revised legal description and exhibit will be needed for those prior recorded Easements, as well as for the additional Conservation Easements. Staff can stipulate to those requirements as a Condition of Approval.
5. **Schematic Concept Plan.** All prior comments have been addressed.
6. The Following Comments are with respect to the document titled “Natural Resource Special Exception Question and Answer Form”. **Note: all comments below are what remain or are unaddressed and can be discussed during the public review process. No additional revisions are necessary at this point.**
 - a. Page 5, subpart C.4. continued:
 - i. The c.ii. response states “restraints related to property size, shape, access requirements, and existing easements” when 3 of these are either not demonstrated by the schematic design (only the easements are demonstrated) or are self-created by prior subdivision design.
 - b. Page 8, subpart C.4. continued:

- i. The response under g.viii. is incorrect. The proposed areas of impact are elsewhere described as tilled land, which is a human use. The proposed areas of PROTECTION are not supposed to be for human use or human functional value.

Inspection Services Department comments

7. Inspection Services has no comments on the proposal at this time.

Fire Department comments

8. FD has no specific comments on the NRSE. More comments will follow plan submission.



April 21, 2022

Ms. Marion Ecks
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Re: Loomis & Ryan Inc./Singh – Natural Resource Special Exception

Dear Ms. Ecks:

Bear Development is pleased to submit this letter and the revised submittal materials as formal application for a Natural Resource Special Exception. Our original submittal was made in December 2021. We appreciate the Staff's review and comments and understand that the materials, as revised and re-submitted, have been deemed complete for review. We look forward to discussing this matter with the City of Franklin Plan Commission on March, 2022.

Bear Development is acting on behalf and with authorization of the owners of record, Loomis & Ryan, Inc. and Gurjit Singh

Property Information

Loomis & Ryan Inc. and Gurjit Singh are the owners of 23.90 acres of vacant land in the City of Franklin. The portion owned by Loomis & Ryan, Inc. is part of Lot 84 of Ryan Meadows Subdivision and is approximately 16 acres. Loomis & Ryan, Inc is the contract purchased for an additional 8 acres, currently owned by Singh. The intention of the Applicant is to combine the subject properties via Certified Survey Map and develop the site for commercial purposes.

The property in question has recently been granted Certified Survey Map and Zoning Amendment approval from the City of Franklin Common Council. . The property is currently zoned M-1 Limited Industrial. The property is planned for light industrial in conformance with the City of Franklin Comprehensive Plan designation; Business Park. The proposed end user, RISE Commercial, has submitted detailed engineering plans is scheduled for Site Plan Review before the Plan Commission on May 5, 2022.

Specific Request

Bear Development, LLC is requesting approval of a Natural Resource Special Exception to encroach within wetland setbacks and buffers. No wetland impact is proposed.

To date, Bear Development has submitted the following items for City Staff review and comment:

- Natural Resource Special Exception Application and Fee
- NRSE Questions & Answer Document
- Plat of Survey
- Legal Description
- Natural Resource Protection Plan
- Site Plan- RISE Commercial
- On-Mitigation/Restoration Plan

We appreciate your time and consideration of this matter and respectfully request approval of the Natural Resource Exception to place buildings within the wetland setback and buffer.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Respectfully,

A handwritten signature in black ink, appearing to read "Daniel Szczap". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Daniel Szczap
Bear Development, LLC

Natural Resource Special Exception Question and Answer Form

Section 1: Per Section 15-9.0110, Applications for a Special Exception to stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback provisions, and for improvements or enhancements to a natural resource feature of this Ordinance shall include the following:

A. Name and address of the applicant and all abutting and opposite property owners of records.
(Please attach supplemental documents as necessary)

Applicant: **Bear Development, LLC
4011 80th Street
Kenosha, WI 53142**

Abutting Property Owners:

**North: Loomis & Ryan, Inc.
4011 80th Street
Kenosha, WI 53142**

**City of Franklin
9229 W. Loomis Road
Franklin, WI 53132**

**South: Ruth Grandlich
11722 W. Oakwood Road
Franklin, WI 53132**

**Gurjit Singh
15308 67th Street
Kenosha, WI 53142**

**East: Michael & Katherine Delamont
9917 S. 112th Street
Franklin, WI 53132**

**Amy Serafin
9951 S. 112th Street
Franklin, WI 53132**

**West: Copart of Connecticut, Inc.
14185 Dallas Parkway, Ste 300
Dallas, TX 75454**

**Strauss Investments, LLC
5129 W. Franklin Drive
Franklin, WI 53132**

- B. Plat of survey. Plat of survey prepared by a registered land surveyor showing all of the information required under §15-9.0102 of this Ordinance for a Zoning Compliance Permit.

Please see attached exhibits.

- C. Questions to be answered by the applicant. Items on the application to be provided in writing by the applicant shall include the following:

1. Indication of the section(s) of the UDO for which a Special Exception is requested.

15-4.0102 (H) Wetland Buffer

15-4.0102 (I) Wetland Setback

2. Statement regarding the Special Exception requested, giving distances and dimensions where appropriate.

As part of a comprehensive site design for new commercial project, proposed mass grading, storm sewer utilities, pavement and building footprints encroach within the wetland buffer and setback. Specifically, the applicant is requesting Natural Resource Exceptions in the following areas:

Area 1

Area 1 is located in the southwest quadrant of the subject property.

Wetland Setback

The total area of proposed impact to the Wetland Setback is 5434 square feet. The impact is requested to allow a portion of Building 52, pavement and a pond outlet structure to encroach into the Wetland Setback. The permanent impact is 5326 square feet.

Wetland Buffer

The total area of proposed impact to Wetland Buffer is 6818 square feet . The impact is requested to allow site grading and the installation of pavement within the Wetland Buffer. The permanent impact is 1302 square feet.

Area 2

Area 2 is located in the northwest quadrant of the site.

Wetland Setback

The total area of proposed impact to the Wetland Setback is 120 square feet to accommodate the installation of a pond outlet pipe.

Area 3

Area 3 is located on the north line of the property, directly south of Ryan Meadows Outlot 2.

Wetland Setback

The total area of proposed impact is 5758 square feet. The impact is requested to allow the placement of Buildings 72 and 83 and the installation of pavement. The impact is permanent.

Wetland Buffer

The total area of proposed impact in the Wetland Buffer area is 7063 square feet. The special exception is being requested to accommodate the placement of Building 73, site grading and the installation of pavement. The permanent impact is measured at 2079 square feet.

Area 4

Area 4 is located in the southwest quadrant of the property.

Wetland Setback

The total area of proposed encroachment within the Wetland Setback is 2104 square feet (0.048 acres) to accommodate the placement of Buildings 61 and 62. The impact is permanent.

Wetland Buffer

The total area of proposed impact to the Wetland Buffer area is 1060 square feet (0.024 acres) to allow for site grading.

Please note that portions of the proposed Natural Resource Special Exceptions occur in Conservation Easements that were recorded in conjunction with the Ryan Meadows Subdivision Plat. Impacts specific to Conservations Easements include:

Summary Table

Location	Wetland Buffer	Wetland Setback	Permanent	Temporary
Area 1	6816 SF		1302 SF	5514 SF
Area 1		5434 SF	5326 SF	108 SF
Area 2		120 SF		120 SF
Area 3	7063 SF		2079 SF	4984 SF
Area 3		5758 SF	5758 SF	
Area 4	1060 SF			1060 SF
Area 4		2104 SF	2104 SF	
TOTAL	14,939 SF	13,416 SF	16,569 SF	11,786 SF

- **The total Site Area is 23.08 acres; however, 13.90 acres is proposed as permanent green space.**
- **The proposed development does not impact the delineated wetland boundaries.**

Conservation Easements

As part of the Ryan Meadows Subdivision Plat, two (2) separate Conservation Easements were recorded over wetlands and associated setback/buffers. The subject property includes both Conservation Easements. As part of the Natural Resource Special Exception, the Applicant is respectfully requesting the Conservation Easements be amended. The proposed project and NRSE application affect the Easements as follows:

North Conservation Easement

- **Wetland Setback: 3172 Square Feet which is entirely temporary grading.**
- **But for the Conservation Easement, the grading would be allowed by right.**

South Conservation Easement

- **Wetland Buffer: 6,816 Square Feet of impact which includes grading and pavement installation.**
- **Wetland Setback: 10,818 Square feet of impact which includes temporary grading, pavement and building.**

3. Statement of the reason(s) for the request.

The subject property consists of a total of 23.08 acres and is located on the south side of Monarch Drive in the Loomis Business Park. The City of Franklin Comprehensive Plan designated the property as Business Park. The property is currently zoned M-1 Limited Industrial and a Certified Survey Map. The property is being proposed as a co-warehousing and business accelerator development consisting of multiple buildings, parking, and stormwater facilities.

The subject property has several constraints, namely the location and orientation of wetland areas, recorded Conservation Easements and the existence of a large ATC Utility easement. These constraints require the need for a Natural Resource Special Exception to accommodate the proposed commercial project.

An Assured Wetland Delineation was conducted on the property in November 2021. The property includes two (2) delineated wetlands.

Wetland 1 is located on the south side of the property and is approximately 4.49 acres in size. It is part of a larger wetland complex and is dominated by Willow, Reed Canary Grass, Buckthorn and Boxelder. Active agricultural practices (tillage) occur within the wetland. The proposed development does not impact the wetland resource.

Wetland 2 is located on the north side of the property and is approximately 0.40 acres in size. The wetland is classified as a hardwood swamp and is dominated with Cottonwood, Buckthorn, Reed Canary Grass and Dogwood. Active agricultural practices (tillage) occurs to the wetland edge. The proposed development does not impact the wetland resource.

Please note that lawful, permitted agricultural practices (tillage, planting and harvesting) have occurred within the wetland buffer and setback since at least 1937. Please see historical aerial photography.

Please note that the subject property includes an American Transmission Company easement which comprises 41,750 square feet that cannot be developed as buildings. The easement, as an encumbrance, restricts the buildable area of the site, forcing buildings, gradings and pavement to other areas of the site.

The Applicant is requesting a Natural Resource Exception to position buildings within the wetland buffer and setback.

It is important to emphasize:

- **No wetlands are being impacted by the proposed project.**

- **The areas that are being requested are currently being farmed. The wetland buffer and setback are tilled annually, into the wetland, without erosion control measures.**
 - **The post-development scenario will result in improved water quality and reduced sediment load entering the wetlands. Currently, the areas classified as wetland buffers and setback consists of areas of tilled farmland. During rain events and snowmelt, drainage enters the wetlands unimpeded, carrying sediment load and any residual fertilizer/pesticides. The site, designed in a post-development scenario, will direct surface and roof drainage to engineered storm basins, where is treated before being released from the storm basins back to the watershed. Further, most of areas classified as wetland buffer and setback will be designed as yards and landscaped areas that will be permanently stabilized.**
4. Statement of the reasons why the request is an appropriate case for a Special Exception, together with any proposed conditions or safeguards, and the reasons why the proposed Special Exception is in harmony with the general purpose and intent of the Ordinance. In addition, the statement shall address any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district, including a practicable alternative analysis as follows:

The request for Natural Resource Exception is appropriate in this particular case because the location and orientation of the wetlands and the presence of a large utility easement cause considerable difficulty in planning, designing and constructing a feasible project.

There are several exceptional, extraordinary or unusual conditions related to the property that do not generally apply to other properties in the same district, including:

- **An existing ATC Utility Easement bisects the property. The easement area is 41,750 square feet and occupies a significant area that does not include protected natural resource features.**
- **Wetland size, location and orientation that create irregular buildable areas.**
- **No wetlands are being impacted by the proposed project.**
- **The fact that the areas identified as wetland buffer and setback consist of tilled agricultural ground. Therefore the “typical” wetland protection areas (native or stabilized buffers) do not exist.**
- **No permits from either the Wisconsin Department of Natural Resources or the US Army Corps of Engineers are required, as no impact to the wetlands will occur.**
- **At the current time, there is minimal upland vegetation on the periphery of the wetland , therefore, there are no significant plants, wildlife, hydrology and soils that are being impacted by the proposed use.**
- **In the post-development condition, the areas of impacted Wetland Setback and Buffer will not be farmed, rather they will be shaped by grading to accommodate building envelopes and small areas of pavement. Per WDNR requirements, the wetland itself will not be impacted by surface drainage or roof drainage. Drainage from the site will be directed and conveyed to engineered storm water basins that will allow suspended solids to settle, before water is discharged.**

Further, the request is appropriate because the Applicant is proposing measures to protect and enhance the existing wetlands. Protection measures include engineered stormwater design that directs surface drainage to stormwater basins, on-site mitigation areas and the establishment of permanent landscape areas adjacent to the wetlands. In present conditions, lawful agricultural practices, including tillage, are being conducted to the wetland edge and in some case in the wetland itself.

Upon completion of the proposed project most of the prescribed wetland buffers and setbacks will be maintained. The areas that will be impacted will be mitigated at a 1:1.50 ratio.

The entire project will be designed to comply with Wisconsin Department of Natural Resources Wetland Protective measures, including directing all surface drainage and roof run-off to engineered storm water basins. This re-direction of drainage will improve the health of the wetlands by eliminating sedimentation from farming practices.

It is important to emphasize:

- No wetlands are being impacted by the proposed project.
- The areas that are being requested are currently being farmed. The wetland buffer and setback are tilled annually, into the wetland, without erosion control measures.
- The post-development scenario will result in improved water quality and reduced sediment load entering the wetlands. Currently, the areas classified as wetland buffers and setback consists of areas of tilled farmland. During rain events and snowmelt, drainage enters the wetlands unimpeded, carrying sediment load. The site, designed in a post-development scenario, will direct surface and roof drainage to engineered storm basins, where is treated before being released from the storm basins back to the watershed. Further, most of areas classified as wetland buffer and setback will be designed as yards and landscaped areas that will be permanently stabilized.

a. Background and Purpose of the Project.

- i. Describe the project and its purpose in detail. Include any pertinent construction plans.

The project is planned for a multi-phased co-warehousing and business accelerator facility. Please see enclosed Conceptual Site Plan.

- ii. State whether the project is an expansion of an existing work or new construction.

New Construction

- iii. State why the project must be located in or adjacent to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback to achieve its purpose.

The development plans of the property include buildings, pavement and storm sewer outlets that extend into the wetland buffer and setback. Because of the narrow buildable area of the property, due to the location and orientation of the wetland resources, the project cannot be feasibly completed without locating the buildings within the wetland buffer and setback.

Further the property is encumbered with an existing American Transmission Company Easement 100 feet in width which bisects the property. The total area of the ATC easement is 41,750 square feet, which does not include wetlands.

b. Possible Alternatives.

- i. State all of the possible ways the project may proceed without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback as proposed.

The project cannot proceed without the requested NRSE. The buildings, because of the intended use, are restricted to single story structures. Each building requires reasonable access for traffic circulation and fire protection. In positioning the buildings for circulation, the minimum area of the site is used, which results in encroachment into the Wetland Buffer and Setback areas. To facilitate a feasible project, the minimum number of buildings are shown.

One alternative which could be *physically* possible, would be convert Pond 2 to an underground stormwater storage chamber. Utilizing this system would provide flexibility in site design by providing more buildable area. While this could be evaluated as an alternative, it is financially unfeasible.

- ii. State how the project may be redesigned for the site without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

Because of restraints related to property size, shape, access requirements and existing easements, the development cannot be redesigned while still being viable.

The utilization of underground stormwater storage would provide more buildable area to the site.

- iii. State how the project may be made smaller while still meeting the project's needs.

The project, as proposed, includes the minimum number of buildings and square feet while maintaining an economically feasible project.

- iv. State what geographic areas were searched for alternative sites.

The prospective developer has/ is seeking suitable properties in the Milwaukee Metro area including sites in the City of Milwaukee, Village of Pewaukee, Village of Menomonee Falls and the City of Brookfield. In Franklin, the developer evaluated other commercial lots within Loomis Business Park, however the available sites were not large enough to accommodate their intended use. Loomis Business Park is particularly desirable due to the existing public improvements, zoning and location. The City of Franklin includes unique demographics that make the subject property an ideal site.

- v. State whether there are other, non-stream, or other non-navigable water, non-shore buffer, non-wetland, non-wetland buffer, and/or non-wetland setback sites available for development in the area.

Loomis Business Park was planned and approved to accommodate this land use. The public improvements extended to the site allow for immediate development. To the Applicants knowledge, there are no other “shovel ready” sites in the City of Franklin that allow this particular land use.

- vi. State what will occur if the project does not proceed.

If the project does not proceed, the anticipated tax increment contemplated by the future development will not be generated. The land will remain fallow and vacant within the City of Franklin.

- c. Comparison of Alternatives.

- i. State the specific costs of each of the possible alternatives set forth under sub.2., above as compared to the original proposal and consider and document the cost of the resource loss to the community.

An underground stormwater storage chamber system to eliminate Pond 2 would need to be designed to accommodate 100,000 cubic feet of stormwater volume. Underground systems range in price from \$6.00-\$8.00 per cubic foot of volume. Therefore, an underground system would cost approximately \$800,000.00.

Other possible alternatives were not considered as it is clear from the size, shape and orientation of the wetland buffer and setbacks that the property cannot be developed without the requested relief.

- ii. State any logistical reasons limiting any of the possible alternatives set forth under sub. 2., above.

The cost for an underground stormwater system is cost prohibitive.

- iii. State any technological reasons limiting any of the possible alternatives set forth under sub. 2., above.

The proposed use precludes multi-story buildings. The proposed buildings require adequate access for circulation and fire protection.

- iv. State any other reasons limiting any of the possible alternatives set forth under sub. 2., above.

N/A

- d. Choice of Project Plan. State why the project should proceed instead of any of the possible alternatives listed under sub.b, above, which would avoid stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback impacts.

There are no reasonable alternatives for completing this particular project without an NRSE. The project should proceed because it implements the best design practices and engineering to develop this unique site.

Further, the resource that is being buffered will be enhanced in the post-development scenario, as the wetlands will be protected from unimpeded sedimentation from farming. Further, no impact to the actual resource will occur.

- e. Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Description. Describe in detail the stream or other navigable water shore buffer, wetland, wetland buffer, and/or wetland setback at the site which will be affected, including the topography, plants, wildlife, hydrology, soils and any other salient information pertaining to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

The wetland buffers and setbacks that are subject to the NRSE exist as open tilled agricultural land. The topography is generally flat, with minor grade changes being lower at the wetland edge. There is generally a lack of native vegetation and wildlife in the areas being considered for impact.

- f. Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Impacts. Describe in detail any impacts to the above functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback:
 - i. Diversity of flora including State and/or Federal designated threatened and/or endangered species.

There will be no impacts, as the wetland buffers and setback consist of open-tilled agricultural fields.

- ii. Storm and flood water storage.

The property is not in a designated floodplain or floodway. Currently any surface water and sediment load are discharged directly into the wetland, unimpeded.

- iii. Hydrologic functions.

The area that is defined as Wetland Buffer and Setback provide a minimal hydrologic function. They currently exist as open tilled agricultural field. While a portion of runoff from this unstabilized area is absorbed, the area does not provide any protection from siltation and sediment load entering the wetland areas.

- iv. Water quality protection including filtration and storage of sediments, nutrients or toxic substances.

Water quality protection and sediment loading will be improved in the post-development scenario.

- v. Shoreline protection against erosion.

N/A

- vi. Habitat for aquatic organisms.

N/A

- vii. Habitat for wildlife.

The areas in question do not include wildlife habitat, as they are devoid of natural vegetation.

- viii. Human use functional value.

The proposed areas of impacts are currently used for agricultural purposes. The areas in question appear to have been farmed since at least 1937, based in Milwaukee County aerial photography.

- ix. Groundwater recharge/discharge protection.

Groundwater and surface water will continue to drain to the peripheral wetlands after being filtered and treated in the engineered storm water basins.

- x. Aesthetic appeal, recreation, education, and science value.

The subject areas are currently used for agricultural purposes.

1. **The proposed impacts in this area would not result in a loss of aesthetic appeal, as in a post developed condition the areas would be converted to maintained landscaped areas.**
2. **The proposed impacts would not result in a loss of recreational values, as the areas are not being used for recreational purposes.**
3. **The proposed impacts would not result in a loss of educational value, as the area is being used for agricultural purposes.**

4. The proposed impacts would not result in a loss of science value, as the property is being used for agricultural purposes.

- xi. Specify any State or Federal designated threatened or endangered species or species of special concern.

Owners are not aware of any State or Federal designated threatened or endangered species on our site. The Endangered Resource screening process occurs as part of the WDNR NOI. The adjacent project, Ryan Meadows, was granted full WDNR approvals without any Endangered Resource concerns. Because the limits of grading/impact do not include any wetland areas, natural areas or forested areas, there is no habitat conversion contemplated.

- xii. Existence within a Shoreland.

N/A

- xiii. Existence within a Primary or Secondary Environmental Corridor or within an Isolated Natural Area, as those areas are defined and currently mapped by the Southeastern Wisconsin Regional Planning Commission from time to time.

Wetland 2 is designated as a Secondary Environmental Corridor and Isolated Natural Area as defined by SEWRPC, however, the wetland resource is not subject to the NRSE.

- g. Water Quality Protection. Describe how the project protects the public interest in the waters of the State of Wisconsin.

The installation of professionally engineered/designed storm sewer through the area of impact will eliminate sediment loading into the adjacent wetlands. Further, on-site storm water detention will improve the quality and rate of storm drainage leaving the site.

- 5. Date of any previous application or request for a Special Exception and the disposition of that previous application or request (if any).

N/A

- D. Copies of all necessary governmental agency permits for the project or a written statement as to the status of any application for each such permit. *(Please attach accordingly)*

N/A. Because the project is not proposing any impacts to wetlands or waterways, no Federal or State Permits are required for resource impact.

Section 2: Staff recommends providing statements to the following findings that will be considered by the Common Council in determining whether to grant or deny a Special Exception to the stream, shore buffer, navigable water-related, wetland, wetland buffer and wetland setback regulations of this Ordinance and for improvements or enhancements to a natural resource feature, per Section 15-10.0208B.2. of the Unified Development Ordinance.

- a. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature):

The request for Natural Resource Exception is based on the size, location, and orientation of existing wetlands, which are being avoided. Further, the land includes a large utility easement that restricts the development area significantly.

In planning the subject property, the end user has designed the site using specific criteria that is required for the viability for their use. These criteria include significant access to proposed buildings, clear traffic circulation to and through the site and access for fire protection equipment.

Every effort has been used to design the site while minimizing impacts to the natural resource features.

- b. Compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:
- i. be unreasonably burdensome to the applicants and that there are no reasonable practicable alternatives:

The compliance with the wetland buffer/setback in this particular instance is unreasonably burdensome, as a typical wetland buffer does not exist. The area being regulated is open tilled agricultural land right to the wetland edge and in some cases into the wetland. The project does not impact streams, waterways, wetlands or navigable waterways. All wetlands on the property have been avoided.

; or

- ii. unreasonably and negatively impact upon the applicants' use of the property and that there are no reasonable practicable alternatives:

Applicant represents that the denial of the NRSE would be unreasonable and negatively impact the applicants proposed use of the property based on the fact that the impacts are minimal and are addressed with conventional engineering practices. In fact, the wetland resource health will be enhanced by the development of the site.

- c. The Special Exception, including any conditions imposed under this Section will:

- i. be consistent with the existing character of the neighborhood:

The proposed NRSE will have no impact on the existing character of the neighborhood. The encroachment into the Wetland Buffer and Setback will have no effect on the character of the neighborhood which consists of active farmland, a developing business park and existing residences along 112th Street.

; and

- ii. not effectively undermine the ability to apply or enforce the requirement with respect to other properties:

The situation and conditions related to this project are unique. The location and orientation of the existing wetlands and applied buffers and setbacks significantly impact the ability to develop the site. While the subject property includes wetlands, the areas of wetland buffer and setback are not vegetated and do not provide the protective function that typical, vegetated buffers offer. Applying the wetland setback/buffer for a developed site, but not for agricultural purposes, does and not protect the actual wetland resources. The proposed development includes protective measures to protect and enhance the delineated wetlands. The referenced protective measures are absent in the current use.

Further, the property is impaired with a large utility easement that affects the ability to develop areas of the site that are not restricted with Wetland Buffers and Setbacks.

Other properties seeking the same relief would need to meet similar standards.

; and

- iii. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement:

Applicant represents that the unique circumstances involved with this request is what the NRSE process was intended for. It will allow a highly valuable commercial development to locate in an established business park without impacting the wetland resource.

; and

- iv. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development (*this finding only applying to an application to improve or enhance a natural resource feature*):

The applicant understands and agrees to place Conservation Easements on other natural resource features within the site, including any areas of on-site mitigation.

The Wetland Buffer and Setback in its current state do not provide any functional lift to the wetland resource.

In the post development condition, the wetland value will be enhanced as direct sedimentation loading from open tillage will be eliminated and all surface runoff and roof drainage will be directed to storm basins, allowing suspended solids to settle before captured stormwater is released at a measured rate back to the wetland area.

Of the 23.90 acres included in the proposed development, 60% of the site (13.90 acres) will remain green space.

- d. In making its determinations, the Common Council shall consider factors such as:
- i. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks:
The improvements will not negatively affect surrounding properties. Appropriate setbacks are established to reduce any land use conflicts.
 - ii. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district:
The exceptional, extraordinary, or unusual circumstance is that the property is encumbered with a large utility easement that cannot be developed.
 - iii. Existing and future uses of property; useful life of improvements at issue; disability of an occupant:
The future use of the property has been affirmed through zoning and the City of Franklin Comprehensive Plan.
The future improvements will be permanent.
 - iv. Aesthetics:
There will be no negative impact to aesthetics due to the NRSE. The areas that are proposed to be impacted are currently agricultural fields. In the post development condition, the impacted areas will be cohesively designed and enhanced with site landscaping. Further the Applicant is providing mitigation areas that will consist of permanent open spaces planted in native vegetation at a ratio of 1:1.5.
The subject property is located in an existing Business Park and is buffered on 2 sides by permanent open space.
Of the 23.90 acres included in the proposed development, 60% of the site (13.90 acres) will remain green space.
 - v. Degree of noncompliance with the requirement allowed by the Special Exception:
The Applicant represents that the request is reasonable based on the current condition and use of the areas being impacted.
 - vi. Proximity to and character of surrounding property:
The proposed project is located within an existing Business Park that has been improved with full public utilities. The use is consistent with the City of Franklin Comprehensive Plan.
The site is buffered on 2 sides by permanent open space.
The proposed use is consistent with the existing and planned use in the general area

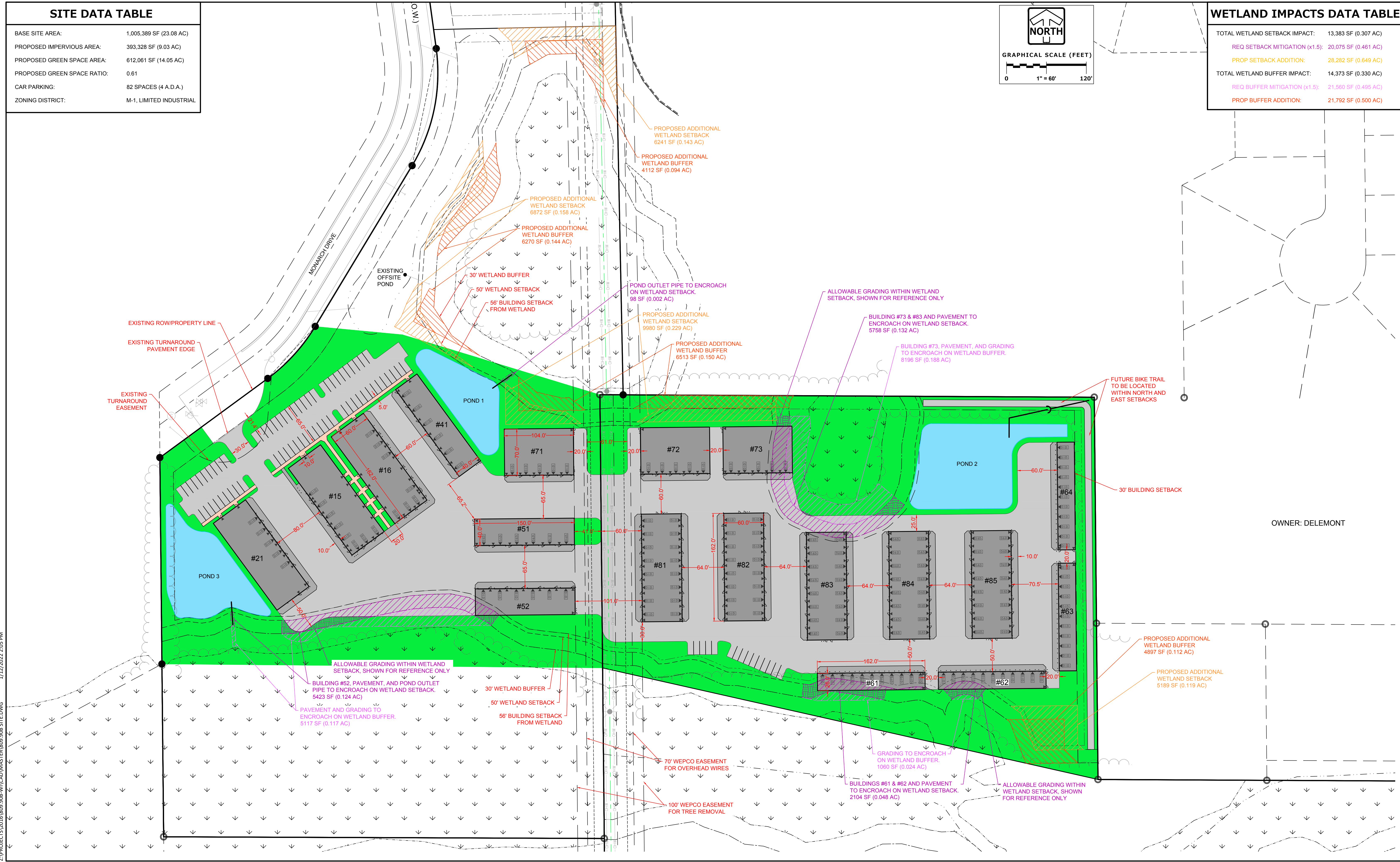
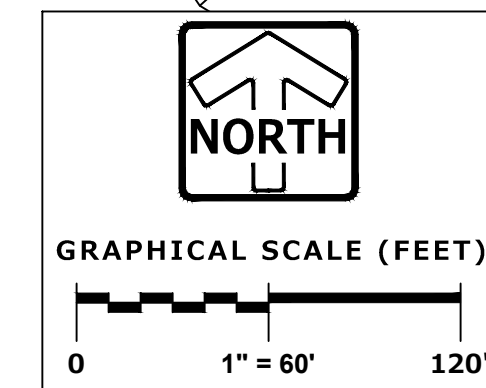
- vii. Zoning of the area in which property is located and neighboring area:
Zoning in the general area is a mix of M-1 Industrial and R-2 Residential.
- viii. Any negative affect upon adjoining property:
There will be no negative affects to the surrounding property due to the NRSE. The proposed NRSE will not increase noise, traffic or lighting and is buffered with permanent open space and appropriate setbacks from the adjoining property.
- ix. Natural features of the property:
The natural features of the property are not proposed for disturbance. The project does not include any wetland impact.
- x. Environmental impacts:
There are no other environmental impacts associated with the NRSE.

SITE DATA TABLE

BASE SITE AREA:	1,005,389 SF (23.08 AC)
PROPOSED IMPERVIOUS AREA:	393,328 SF (9.03 AC)
PROPOSED GREEN SPACE AREA:	612,061 SF (14.05 AC)
PROPOSED GREEN SPACE RATIO:	0.61
CAR PARKING:	82 SPACES (4 A.D.A.)
ZONING DISTRICT:	M-1, LIMITED INDUSTRIAL

WETLAND IMPACTS DATA TABLE

TOTAL WETLAND SETBACK IMPACT:	13,383 SF (0.307 AC)
REQ SETBACK MITIGATION (x1.5):	20,075 SF (0.461 AC)
PROP SETBACK ADDITION:	28,282 SF (0.649 AC)
TOTAL WETLAND BUFFER IMPACT:	14,373 SF (0.330 AC)
REQ BUFFER MITIGATION (x1.5):	21,560 SF (0.495 AC)
PROP BUFFER ADDITION:	21,792 SF (0.500 AC)



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FRANKLIN - RISE COMMERCIAL DISTRICT ENGINEERED SITE PLAN

1/12/22

PINNACLE ENGINEERING GROUP

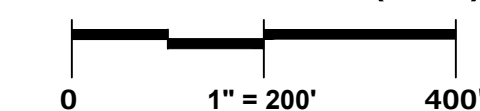
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

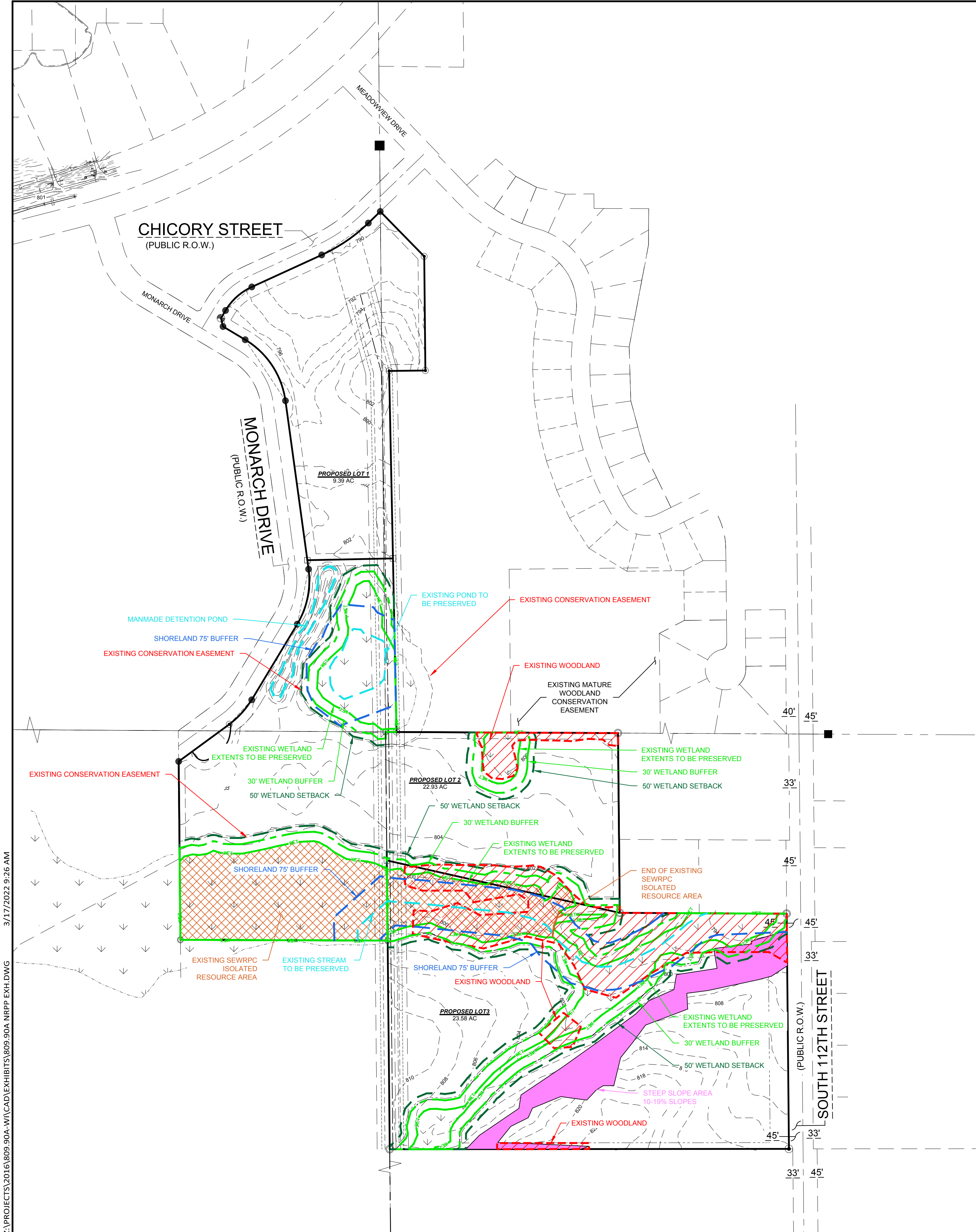
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GRAPHICAL SCALE (FEET)



SITE DATA	
PROJECT NAME	FRANKLIN BUSINESS PARK LOT 84
LOCATION/ADDRESS	FRANKLIN, WI 53132
OWNER CONTACT INFORMATION	DAN SZCZAP 4011 80TH ST KENOSHA WI, 53142 DAN@BEARDEVELOPMENT.COM



RESOURCE TYPE	AREAS OF RESOURCE LOT 1 (9.39 AC)	LOT 2 (22.93 AC)			AREAS OF RESOURCE LOT 3 (23.58 AC)
		AREAS OF RESOURCE	PROPOSED IMPACT AREA	REQUIRED***	
STEEP SLOPES AREA - 10-19% SLOPES - PER PEG SURVEYED CONTOURS	N/A	N/A	N/A	N/A	103,526 SF*** (2.38 AC)
STEEP SLOPES AREA - 20-30% SLOPES - PER PEG SURVEYED CONTOURS	N/A	N/A	N/A	N/A	N/A
WETLANDS -SEE DELINEATION INFORMATION BELOW**	N/A	282,325 SF (6.48 AC)	N/A	N/A	190,997 SF (4.38 AC)
WETLAND BUFFER - 30' OFFSET, BASED OFF WETLAND DELINEATION	N/A	81,994 SF (1.88 AC)	14,939 SF (0.343 AC)	22,409 SF (0.514 AC)	118,932 SF (2.73 AC)
WETLAND SETBACK - 50' OFFSET, BASED OFF WETLAND DELINEATION	N/A	60,987 SF (1.40 AC)	13,416 SF (0.308 AC)	20,124 SF (0.462 AC)	68,482 SF (1.57 AC)
LAKES & PONDS -FIELD DELINEATED BY PEG SURVEY IN JANUARY OF 2019	N/A	28,733 SF (0.66 AC)	N/A	N/A	N/A
SHORE BUFFER -75' OFFSET, BASED OFF WETLAND DELINEATION	N/A	82,454 SF (1.89 AC)	N/A	N/A	180,431 SF (4.14 AC)
MATURE WOODLANDS & FORESTS - BASED OFF PEG SURVEY	N/A	51,410 SF (1.18 AC)	7,106 SF**** (0.163 AC)	N/A	213,959 SF (4.91 AC)
STREAMS	N/A	845 SF (0.02 AC)	N/A	N/A	5,660 SF (0.13 AC)
FLOODPLAINS (NOT PRESENT ON SITE)	N/A	N/A	N/A	N/A	N/A

* ADDITIONAL INFORMATION IS INCLUDED IN THE ATTACHED SITE INTENSITY CALCULATIONS.
 **WETLANDS DELINEATED BY HEARTLAND ECOLOGICAL GROUP, INC. ON 10-7-2021 AND R.A. SMITH NATIONAL, INC ON 12-8-2014.
 ***SEE SEPARATE WETLAND BUFFER/SETBACK MITIGATION EXHIBIT FOR PROPOSED MITIGATION AREAS.
 ****WOODLAND IMPACTS ARE LESS THAN ALLOWABLE (30%).

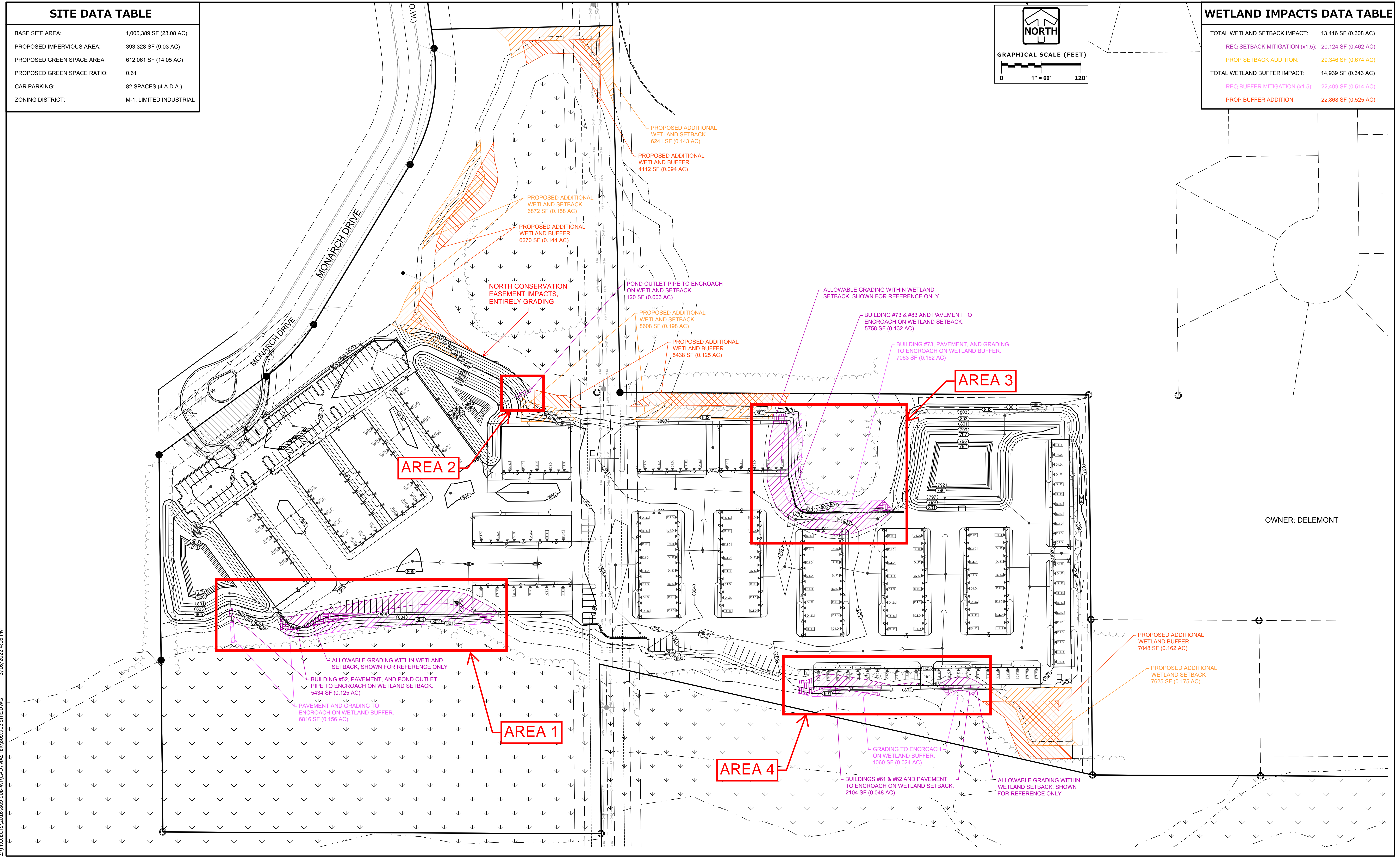
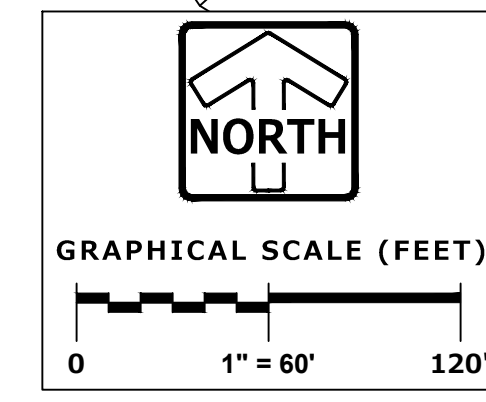
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PROP SETBACK ADDITION:	29,346 SF (0.674 AC)
TOTAL WETLAND BUFFER IMPACT:	14,939 SF (0.343 AC)
REQ BUFFER MITIGATION (x1.5):	22,409 SF (0.514 AC)
PROP BUFFER ADDITION:	22,868 SF (0.525 AC)



OWNER: DELEMONT

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FRANKLIN - RISE COMMERCIAL DISTRICT ENGINEERED SITE PLAN

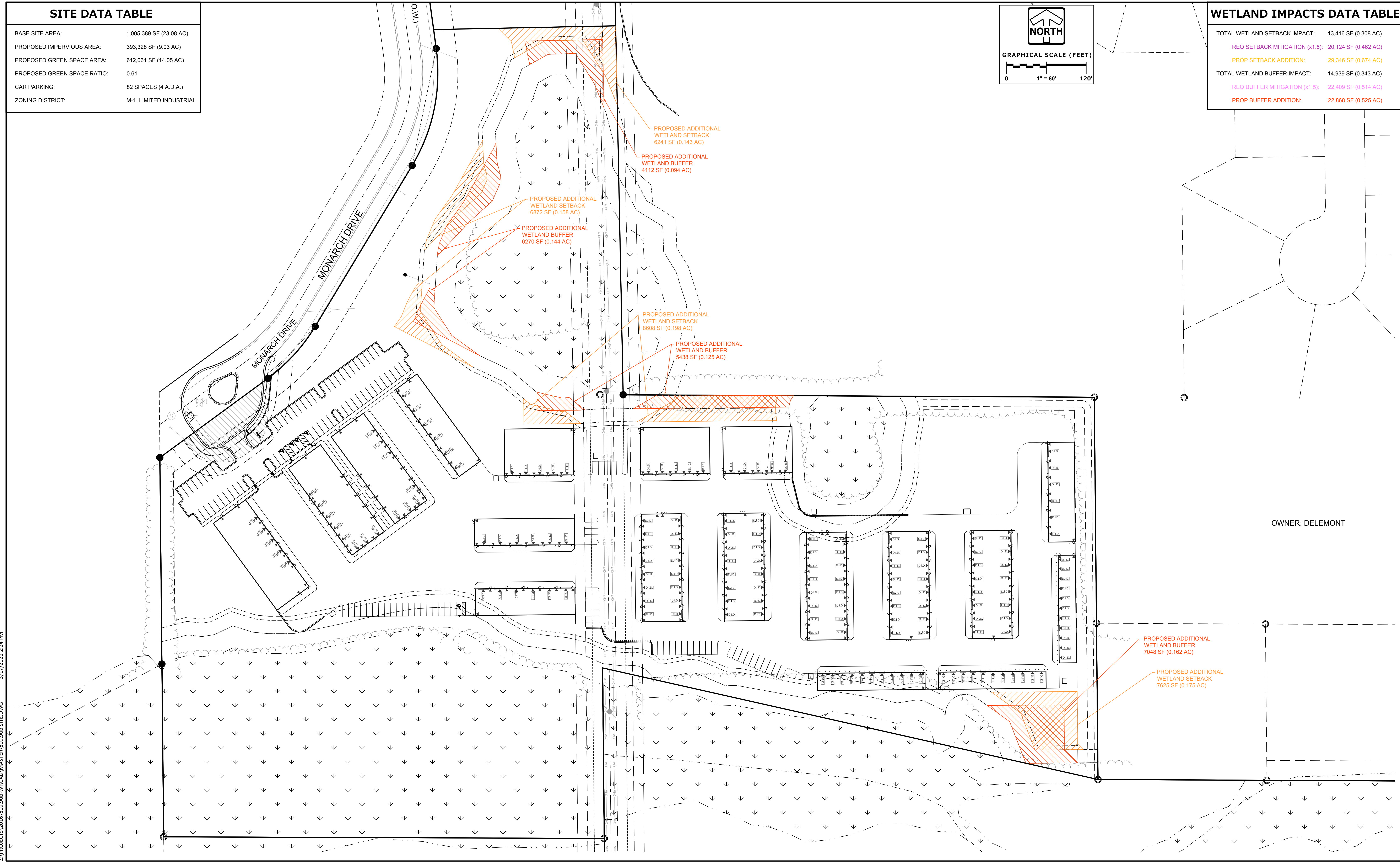
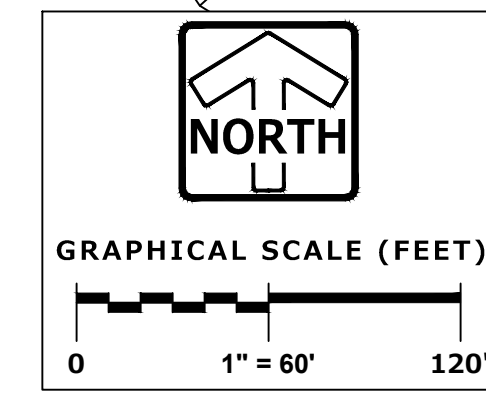
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OWNER: DELEMONT

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FRANKLIN - RISE COMM WETLAND BUFFER & SETBACK MITIGATION AREAS

3/22/22

PINNACLE ENGINEERING GROUP

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PEGJOB# 809.90B

Heartland

ECOLOGICAL GROUP INC

506 Springdale Street, Mount Horeb, WI 53572

March 22, 2021

Mr. Dan Szczap
Bear Development, LLC
4011 80th Street
Kenosha, WI 53142
dan@beardevelopment.com
(262) 842-0556

**RE: Mitigation Plan – Rise Commercial District Wetland Buffers and Setbacks,
City of Franklin, Milwaukee County, WI**

Dear Mr. Szczap:

Heartland Ecological Group, Inc. (Heartland) is pleased to present this Mitigation Plan for wetland buffer and setback areas impacts associated with the proposed Rise Commercial Development by Bear Development, LLC (Bear). This plan was prepared by Eric C. Parker, SPWS and Jason Behrends, both of Heartland (Qualifications in Attachment 1). Eric has 34 years experience as a wetland scientist in Wisconsin and numerous other states, including extensive wetland delineation, functional assessment, and wetland mitigation work in the City of Franklin since the early 1990's. Jason is Heartland's Ecosystem Restoration Operations Manager and has 10 years experience mostly in preparation and implementation of wetland mitigation and restoration plans.

PROJECT UNDERSTANDING

PURPOSE

Heartland has been engaged by Bear to first assess the impacts of the development on proposed wetland buffers and setbacks, and offer their professional opinion on the effectiveness of mitigating these areas adjacent to the wetlands. Bear has also engaged Heartland to prepare this Mitigation Plan for the development using their on-site knowledge from the wetland delineation completed in 2021 and past experience. This mitigation plan is to satisfy the City's requirements for a Natural Resource Special Exception.

PROJECT LOCATION

The project is located within the Ryan Meadows subdivision, between Monarch Drive and 112th Street in the City of Franklin, Milwaukee County, Wisconsin.

Solutions for people, projects, and ecological resources.



EXISTING CONDITIONS

The subject property is rolling, with various hills, depressions, and slopes. Land uses within the Project Area is primarily agricultural row cropping with residential, wetland, and woodland areas also present in and adjacent to the Project Area. Hardwood swamp, shrub carr, and partially farmed wet meadow comprise the southern edge of the Project Area, while two similar depressional wetlands abut the northern portions. These wetlands are dominated by invasive and ruderal species such as reed canary grass (*Phalaris arundinacea*, FACW), non-native cattails (*Typha* spp., OBL), common buckthorn (*Rhamnus cathartica*, FAC), box elder (*Acer negundo*, FAC), crack willow (*Salix x fragilis*, FAC), and riverbank grape (*Vitis riparia*, FACW).

Significant portions of the wetland buffer and setback areas for the above described degraded wetlands are presently or have historically been open tilled agricultural ground for the northern wetlands and west half of the southern wetlands. These buffer and setback areas are seasonally devoid of vegetation, and when planted are maintained by herbicides as mostly bare soil other than the row crop itself. Additionally, fertilizer and pesticide applications are and have been utilized per standard agricultural practice. The wetlands along the eastern half of the southern edge of the Project Area currently are abutted by upland buffer and setbacks that are degraded brushy woods. These adjacent upland areas are dominated by the invasive or ruderal shrubs common buckthorn, hybrid bush honeysuckle (*Lonicera x bella*, FACU), gray dogwood (*Cornus racemosa*, FAC), and multiflora rose (*Rosa multiflora*, FACU). These species are dominating as a result of being subjected to sediment, herbicide, fertilizer, and pesticide contributions from adjacent row-cropped fields. Invasive shrubs in these existing buffer and setback areas preclude a healthy cover of perennial groundlayer species due to light restrictions. Therefore, the function of the existing buffer and setback areas may be considered low.

PROPOSED IMPACTS

No direct fill impacts to wetlands will occur. The proposed impacts to minimized areas of the wetland buffer and setbacks include site grading, installation of paved surfaces, and buildings. Areas of site grading are temporary and will be permanently restored to a stabilized condition with perennial plant cover. In the post-development condition, stormwater is directed to engineered stormwater basins where its is treated and released into the wetlands to reduce sediment and other pollutants while also preventing flooding and flood water surges. Re-introduction of stormwater will maintain wetland hydrology.



MITIGATION PLAN

Bear is required to submit a mitigation plan for impacts to wetland buffers within the Project area. Heartland understands that the earthwork and improvements required for the development will impact 13,416 sq ft of wetland setback and 14,939 sq ft of wetland buffer. To compensate for these impacts, mitigation is to be provided at a ratio of 1:1.5. To satisfy these requirements Bear has proposed to restore a setback addition of 29,346 sq ft and buffer addition of 22,868 sq ft. These areas of mitigation are shown on the attached plan.

1) Non-native and invasive species removal

Non-native and invasive herbaceous vegetation will be removed during clearing / grubbing and the native topsoil shall be exposed.

2) Buckthorn and honeysuckle removal and herbicide treatment

Invasive, non-native, and ruderal shrub species including buckthorn and hybrid honeysuckle within the mitigation areas will be treated with an appropriate herbicide at least one week prior to beginning of clearing and grubbing activities.

3) Soil surface treatment and seed bed preparation

Soil surface conditions prior to seeding should be similar to those described in the Wisconsin Department of Natural Resources Technical Standard 1059 – Seeding for Construction Site Erosion Control. This includes a seedbed comprised of native topsoil that has been loosened via disking or a Harley rake to a depth of 4 inches and is free of rocks, sticks, and soil clods over two inches in diameter.

4) Seeding

Seed will be installed via broadcast, seed drill, or hydroseeding methods. If seed is broadcasted a drag or cultipacker will be used to ensure proper seed-soil contact. Seed will not be installed more than ¼ inch deep within the seedbed. A nurse crop of common oats (*Avena sativa*) will also be used at a rate of 25 lbs/acre to help establish growth and prevent erosion. The seed mix to be used shall be the Native Slope Stabilization Mix from Agrecol, or other approved equivalent. Seed mix is attached for reference. Native seed mix should be installed as either a dormant season or spring seeding occurring after October 10 and prior to June 15th.

5) Management

The seeded areas will be monitored and managed by Heartland as required through the use of spot-herbicide treatment, timed to meet targeted invasive, non-native, or ruderal species that threaten the establishment of the seeded species.



SUMMARY & OPINION

In Heartland's opinion, the health and ecological function of the existing wetlands are at greater risk of degradation from siltation, nutrient loading, and invasive species proliferation from the continued use of conventional agricultural practices than from thoughtful development. It is also Heartland's opinion that the proposed impacts to the standard wetland buffer will not cause significant impacts to the wetlands. Under existing conditions, the buffer and setback areas are currently being farmed or are degraded by adjacent farming due to being subjected to enhanced erosion via regular soil disturbance from plowing and otherwise farming the wetlands' side slopes. The buffer impacts have greatly degraded the wetlands from their pre-agricultural state in additional ways such as compaction and inadvertent spread of invasive species.

A project that permanently stabilizes the wetland periphery, properly treats and controls stormwater runoff and enhances nearby areas with native vegetation promotes a healthier wetland ecosystem. All side slopes, post construction, will be stabilized with perennial native plant species, greatly reducing slope wash materials entering directly into the adjacent wetland. Furthermore, stormwater generated in the developed part of the project area, where untreated agricultural stormwater runoff now prevails, will be quantitatively and qualitatively treated per the engineered stormwater management plan. This is also expected to reduce sediment and pollutants entering the wetland.

Thank you for the opportunity to prepare this wetland buffer and setback restoration plan. Please feel free to call or email should you have any further questions.

Sincerely,

Jason Behrends
Ecosystem Restorations Manager
Heartland Ecological Group, Inc.
jason@heartlandecological.com
(608)490-2450 Ext. 5
(815)760-0184

Eric C. Parker, SPWS
Principal Scientist
Heartland Ecological Group, Inc.
eric@heartlandecological.com
414-380-0269

Attachments:

1. Qualifications
2. Mitigation Plan Map
3. Seed Mix
4. WDNR Tech Standard 1059



Rise Commercial District
Bear Development, LLC
March 22, 2022

Attachment 1 | Qualifications



Jason Behrends

Ecosystems Restorations Manager
Senior Scientist I
506 Springdale Street
Mount Horeb, WI 53572
jason@heartlandecological.com
(608) 490-2450



Jason Behrends serves as the Ecosystem Restorations Operations Manager and a Senior Scientist for Heartland Ecological Group. He has a broad range of responsibilities for these positions including ensuring completion of contractual requirements, time and project management, public relations, data recording, adaptive restoration plan writing, and development of safety and technical protocols.

Jason has gained a large amount of experience in the natural resources field with past professional and personal opportunities. He joined the Heartland team in May of 2020 after managing the Indiana office for Applied Ecological Services for the previous four years. He is highly proficient in plant identification, native plant material installation, invasive species management, erosion control practices, prescribed burning, equipment operation, and GIS/GPS operation and mapping.

Career experiences have allowed Jason to work on a variety of project types for differing clients. These include directing large-scale habitat construction and restoration for federal agencies, invasive species management in highly sensitive habitats for state/local departments, stormwater basin restoration and management, and native rain garden installations for local municipalities and non-profits. Jason has even been considered a subject expert and has helped differing municipalities in their efforts to better manage their natural areas. .

Education

BS, Reclamation, Environment, and Conservation, with an emphasis in Biology, University of Wisconsin – Platteville, WI, 2013

Training & Certifications

Certified IL Prescribed Burn Manager
NWCG S-130, 190, 290, 301, 341 certified
Licensed commercial pesticide applicator: WI
OSHA 30-hour Construction Industry Outreach
Qualified Compliance Inspector of Stormwater: Indiana
Wilderness First Aid/CPR Certifications
Chainsaw Safety Certification

Project Experience

Soik Wetland Mitigation (WDNR) Project Manager

Responsible for performing ecological restoration activities, communicating schedule with client, and insuring performance standards are being met. This includes leading project meetings, time and budget management, vegetation monitoring, report writing, subcontractor hiring and supervision, invasive species removal, and native plant and seed installation.

Morey Solar Field (Madison Gas and Electric) Ecosystem Restorations Lead

Responsible for the creation of the Restoration Plan to be implemented within the solar field to improve surface disturbances, remove invasive species, and promote native pollinator plantings. Jason also leads the implementation of the Restoration Plan by directing field crews, project meetings, ensuring safety procedures are being followed, and writing work reports.

Terravessa Housing Development

(Fitchburg Lands, LLC.) Project Manager

Communicated project schedule with other contractors on the project site and lead on-site native plant material installation, design, and natural areas management.

Evansville Wildlife Area Wetland Mitigation (Wisconsin DNR) Project Manager

Work alongside WDNR officials to create and implement wetland mitigation goals on 40 acres of the Evansville Wildlife Area. The project will create upwards of 25 wetland credits for the Rock Bank Service Area.



Eric C. Parker, SPWS

Principal Botanist
506 Springdale Street
Mount Horeb, WI 53572
eric@heartlandecological.com
(414) 380-0269



Mr. Parker is a Senior Professional Wetland Scientist and Professionally Assured Wetland Delineator in Wisconsin with 34 years of experience assisting public and private clientele. He has completed wetland projects in other states including IL, IN, OH, MI, ND, MO, PA, TX, MD, VA, and NC. His work has supported thousands of institutional, commercial, utility, residential, industrial & transportation projects. Mr. Parker's natural resource specialties include botanical surveys, wetland science, restoration and mitigation, and environmental corridor mapping. He has a widespread understanding of the scientific, technical, and regulatory aspects of natural resources projects. His interests also include floristic quality assessment (FQA) and wetness categorization of plant species.

Mr. Parker's experience includes the following: Botanical / Biological Surveys and Natural Resource Inventories; Rare Species Surveys, Conservation Plans and Monitoring; Wetland Determination, Delineation and Functional Assessment; Wetland Exemptions; Environmental Corridor Determinations/Mapping; Stakeholder Meetings and Wetland Restoration Planning; Wetland Mitigation Bank Monitoring; Habitat Restoration, Wildlife Surveys, Tree Surveys, Environmental Assessments; Local, state, federal permit applications; Public Hearings; Expert Witness testimony; and Regulatory permit compliance, including serving as 3rd Party Monitor for the Wisconsin DNR.

Education

BS, Watershed Management, Soils Minor University of WI - Stevens Point, 1983

US Army Terrain Analysis Course, Distinguished Graduate, Defense Mapping School, Fort Belvoir, VA, 1984

Wetland Ecosystems (including delineation & assessment), USEPA Graduate School Washington DC, 1988

Field Oriented Wetland Delineation Course (1987 Corps Manual) Wetlands Training Institute (WTI) St. Paul, MN, 1994

Basic Wetland Delineation Training Wisconsin Dept. of Administration Waukesha, WI, 1997

Vegetation Description, UWM (CBFS), Saukville, WI, 1998

Advanced Wetland Delineation, U. of WI - La Crosse, Bayfield County, WI, 2001

Critical Methods in Wetland Delineation, University of WI - La Crosse Continuing Education and Extension, Madison, WI, 2006, 2008, 2010, 2014, 2016-2020

Introductory NHI Training (T&E Database), WDNR, Madison, WI, 2005, 2011

Mosses ID/ Ecology, UWM, Cedarburg Bog Field Station (CBFS), Saukville, WI, 1998

Sedges ID/ Ecology, UWM CBFS, Saukville, WI, 2002, 2006, 2010

Grasses ID/ Ecology, UWM CBFS, Saukville, WI, 1998

Mosses ID & Ecology, UWM CBFS, Saukville, WI, 1998

Registrations

Senior Professional Wetland Scientist #838, (SPWS), Society of Wetland Scientists Professional Certification Program, 1995-current

Certified Wetland Scientist #C-058, (CWS), Stormwater Management Commission Lake County, IL, 2002-current

Qualified Wetland Review Specialist #W-057, (QWRS), Kane County, IL, 2006-current

Project Experience

Natural Area Assessment and Restoration

L.B. Palmer Family Wetland Mitigation Bank Botanical Monitoring, Walworth County, WI.

Project manager and botanist for monitoring to comply with the compensation site plan. Collected data at 23 sample plots and conducted meander surveys in various plant communities throughout the site. Provided recommendations for wetland restoration noting important potential deficiencies in meeting hydrological performance standards based on species composition and qualitative observations of wetland hydrology. Mapped invasive non-native (INN) plant species as well as native invasive species populations that hinder wetland and upland buffer restoration. Searched for rare plant species.

Kalamazoo River and Talmadge Creek 2013 (Baseline) and 2014-2017 Botanical Surveys, Calhoun and Kalamazoo Counties, MI.

Head botanist for five years for comprehensive floristic sampling along 40 miles of creek and river floodplain. Collected data and provided recommendations for wetland restoration after an oil release as required by the U.S. EPA and the MI DEQ. Identified and measured cover, height, and density of herbaceous, shrub, tree, and woody vines at randomly selected points in both impact and control areas. Mapped invasive plant species and determined percent cover. Rare plant species were identified, documented, and specimens collected as required.

West Central Lateral Corridor Environmental Surveys (190 Miles, 400ft-wide Corridor), Clark, Eau Claire, Jackson, and Monroe Counties, WI (Project Manager and Crew Lead, 2012-2013)

Determined and delineated wetlands completing sample points and photo points, identified and mapped streams, open water; identified dominant and invasive plant species in each wetland and adjacent upland. Searched for and mapped rare species and rare species habitat; completed wetland and stream evaluation forms; prepared reports, wetland-waterway permit applications, and Certificate of Authority through the Wisconsin DNR and PSC.

McMahon Woods and Fen Restoration Monitoring, Cook County, IL (Lead Scientist)

Budgeted, scheduled, coordinated, and participated in numerous tasks to map and classify plant communities on a 470-acre site where rare habitat for the federally listed Hines emerald dragonfly and uncommon flora exist. Supervised and participated in the identification of 75 plant communities in accordance with the Chicago Wilderness Terrestrial Community Classification System outlined in their Biodiversity Recovery Plan; Used GPS to locate plant community boundaries and coordinated with the client, forest preserve district staff and US Army Corps of Engineers regulatory staff; Assisted in the preparation and reviewed the report; Assisted in the preparation of a wetland restoration concept plan.

Deer Grove East Restoration Area Botanical Surveys, Cook County, IL

Inventoried vascular plant species and assessed floristic quality via transects and meander surveys in wetlands and upland buffer areas for a four-year term on a 230-acre mitigation site located on lands owned by the Forest Preserve District of Cook County. Provided floristic quality assessment metrics and documented rare species via GPS, photos, and specimen collections. Assisted in preparing the wetland and upland prairie/woodland restoration concepts and plans. Assisted in the preparation and reviewed the report.

Busse Woods Vascular Plant Inventory, Cook County, IL (Lead Scientist)

Budgeted, scheduled, coordinated, and participated in numerous tasks to provide a comprehensive plant species inventory for a 489-acre state natural area within a forest preserve over a period of two years. Completed meander surveys for floristic quality assessments for three mobilizations per year. The work was being completed for pond design purposes and to model the effects of altering the water level. Documented rare species populations via photos and GPS; and coordinated with the client and forest preserve district staff. Prepared the report.

Bartlett Ravine Restoration, Lake County, IL.

Conducted meander and transect comprehensive vascular plant species inventories to provide floristic quality assessments and to map unique relict plant communities in the ravine for the purpose of determining restoration strategies. Documented rare species locations with photos and GPS. Delineated and mapped wetlands.

Prairie White-Fringed Orchid Surveys, IL, and WI.

Conducted surveys for this federally listed plant species along transmission line rights-of-way and proposed gas / oil pipe routes for various clients in 2013.

ATC Rare Plant Species Survey, Straits to Pine River, MI

Conducted rare plant species surveys, invasive plant surveys, and natural resources inventories along a 15-mile existing transmission line corridor. Assessed floristic quality and documented rare element occurrences and plant community types.

Tank 80 Mitigation Site Monitoring Botanical Survey, Lake County, IN

Lead botanist for floristic sampling along transects using 50 herbaceous quadrats and meander surveys. Prepared floristic quality assessments, documented invasive species, and recommended management tasks.

Botanical Survey, Greene County, PA.

*Lead botanist for a proposed natural gas gathering pipeline in Greene County, PA. Evaluated potential impacts on two state-listed rare plant species in a late season survey for passionflower (*Passiflora lutea*, PA Endangered) and leaf-cup (*Smallanthus uvedalius*, PA Rare). Provided habitat mapping by community type and compiled species lists. Provided locations of leaf-cup. Coordinated with the state regulatory agency for avoidance strategies. Facilitated client's ability to proceed and provided documentation of rare plant populations to the state agency.*

ATC T&E Survey, Mukwonago to Whitewater, WI (Subconsultant Lead Scientist)

Surveyed a 22-mile corridor where transmission lines were being upgraded for state and federally listed special concern, threatened, and endangered plant species. Provided completed rare plant reporting forms, photographs, and site sketches for the report.

Germantown Sand & Gravel Pit Wetland Restoration, Washington County, WI (Lead Scientist)

Budgeted, scheduled, coordinated and participated in numerous tasks for analyzing alternatives to discharging water from a non-metallic mining operation, and analyzing the effects of ceasing water discharges through an existing waterway into downstream wetlands on an adjacent property; Completed wetland functional assessment and water budget analysis to determine the effects of the discharge on the sustainability and quality of the wetlands; Prepared applications and plans to obtain Wisconsin Pollution Discharge Elimination System (WPDES) and Chapter 30 permits to discharge into a state navigable waterway; Provided expert testimony for same; Assisted in the design of a sedimentation pond to remove 80% of the suspended solids at a discharge flow of over 1,000,000 gallons per day from the 130-Acre sand & gravel pit; Coordinated with the adjacent landowner, client, agency staff to prepare and implement a plant to remove sediment deposited on an adjacent property.

Wetland Delineation with Botanical Surveys

I-94 Corridor Wetland and Primary Environmental Corridor Mapping and Endangered Species Study, Milwaukee, Racine, and Kenosha Counties, WI (Project Manager and Lead Scientist)

*Budgeted, scheduled, coordinated and participated in numerous tasks to map wetlands, primary environmental corridor and waterways, and search for rare species in a freeway corridor approximately 34 miles long. Supervised and conducted a rare species survey during the 2006 growing season to search for plant species that were listed as special concern, threatened or endangered by the State of Wisconsin; Prepared the report; Mapped locations of rare species using a GPS, and coordinated with the client and regulatory agency staff; Prepared a plan to mitigate roadway improvement impacts to seaside crowfoot (*Ranunculus cymbalaria*) through transplantation to an on-site location and obtained concurrence from the WDNR; Supervised and participated in the preliminary determination, delineation, GPS mapping, and classification of 171 wetlands and 19 separate plant communities within primary environmental corridor; Supervised and participated in the final determination, delineation, classification and surveying of 85 wetlands within seven interchange areas that were designated for significant improvements; Reviewed and helped write the report.*

Elm Road Generating Station, Oak Creek & Caledonia, WI (Project Manager & Lead Scientist)

Budgeted, scheduled, coordinated, and participated in numerous environmental projects involving the planning and construction of a power plant. Beginning in 2002 determined, delineated, and classified over 70 different wetlands on properties totaling approximately 1,000 acres including over three miles of railroad. Assessed the functions of 127 wetlands; Searched for suitable restoration sites (on-site and near-site) as mitigation for 20 acres of wetland

impacts; Studied potential sites for wetland restoration feasibility; Prepared conceptual and final compensation site plans and designed four selected sites that included restoration and/or enhancements to wet meadow, shallow marsh, hardwood swamp, mesic woodland, savanna, tallgrass prairie and streams; Submitted the mitigation plans to the client and agencies and obtained permits and approvals; Prepared bid documents for the construction of the mitigation sites; Provided direct consultation with the site contractor during construction of the mitigation sites. Located wetland boundaries, sample points and other natural features using GPS.

Tri-State Tollway, Deerfield Plaza Wetland and Endangered Species Investigation, Lake and Cook Counties, IL (Lead Scientist)

Conducted wetland delineation and assessment services for segments of the Tollway, totaling 5 miles. Wetland impacts were determined for reconstruction of the toll plaza and widening of the highway facilities adjacent to the plaza. Investigated to determine the extent of occurrence of seaside crowfoot, an endangered plant species in Illinois. Prepared plans to mitigate impacts of the highway and toll plaza reconstruction on both wetlands and the endangered species. Coordinated with agency personnel, prepared construction documents and specifications and wrote reports. Prepared Section 404 permit applications and obtained the permits with 401 Certification from the Illinois Department of Natural Resources. Investigated trees and shrubs impacted by the toll plaza expansion.

Guardian II Laterals, Fox Valley, Hartford and West Bend, WI (Project Manager and Lead Scientist)

Budgeted, scheduled, coordinated and participated in numerous activities and scopes of work for the planning and permitting phases of three gas laterals for power plant upgrades; Collected required data and documented all types of natural resources through photography and data forms; Searched for and documented rare species; Assisted in the preparation of data tables summarizing and quantifying impacts to wetlands, woodlands, waterways and agricultural lands; Coordinated with client on minor modifications to the pipeline routes to better protect various natural resources; Coordinated with landowners; determined, delineated and mapped with a GPS, wetlands, woodlands and waterways; Assisted client in regulatory coordination; Assisted prepare, and reviewed all reports.

ATC Paris to St. Martins (KK3025) 138KV Line Rebuild, Kenosha, Racine and Milwaukee Counties, WI (Project Manager and Lead Scientist)

Budgeted, scheduled, coordinated, and participated in numerous project scope activities for an 18-mile corridor such as wetland delineation, waterway identification and data collection, rare species surveys, equipment access road location identification and invasive species populations identification. During the investigation, a total of 59 wetland areas, 10 ditches, 6 ponds, and 3 streams were located within the corridor route. Used GPS for mapping natural resources. Coordinated with landowners. Assisted in the preparation and reviewed the report that documented the work during the year prior to construction.

United States Military (Active-Duty Army) Fort Bragg NC (1984 - 1987)

Eric proudly served in the US Army, was honorably discharged with the rank of Sergeant from the Reserves in 1988. Obtained military honors and medals including expert marksman and graduated top of his class in Terrain Analysis (81Q) advanced training; Deployed to Honduras in 1986. Maintained a top-secret clearance for aerial analysis in both active duty and reserves.

PUBLICATIONS / PRESENTATIONS

Moderator: Wetland Practitioners Workgroup, WI Wetlands Association Annual Conferences, 2019 and 2021.

Potentially Mis-Categorized Wetland Plant Species NC-NE & Midwest Land Resource Regions of the U.S. *Wisconsin Wetlands Association Annual Conference*, 2012.

Presentation: Importance of Strategic Planning for Long Range Success in Natural Area Restoration and Management (Parker, Parish, Feggestad, Sellar, Wilhelm). *LTA Midwest Land Conservation Conference*, 2009.

Saving the Hines Emerald Dragonfly (Parker, Parish). *LTA Midwest Land Conservation Conference*, 2009.

Presentation: Arriving at a Workable Definition of Coastal Wetlands (Parker, Parish, Schumacher). *WWA*, 2006.

Presentation: General Wetland Functions. *American Public Works Association*, 2000.

Presentation. Wetland Permitting Primer. *WDNR Permitting Workshop*, 1996.



Rise Commercial District
Bear Development, LLC
March 22, 2022

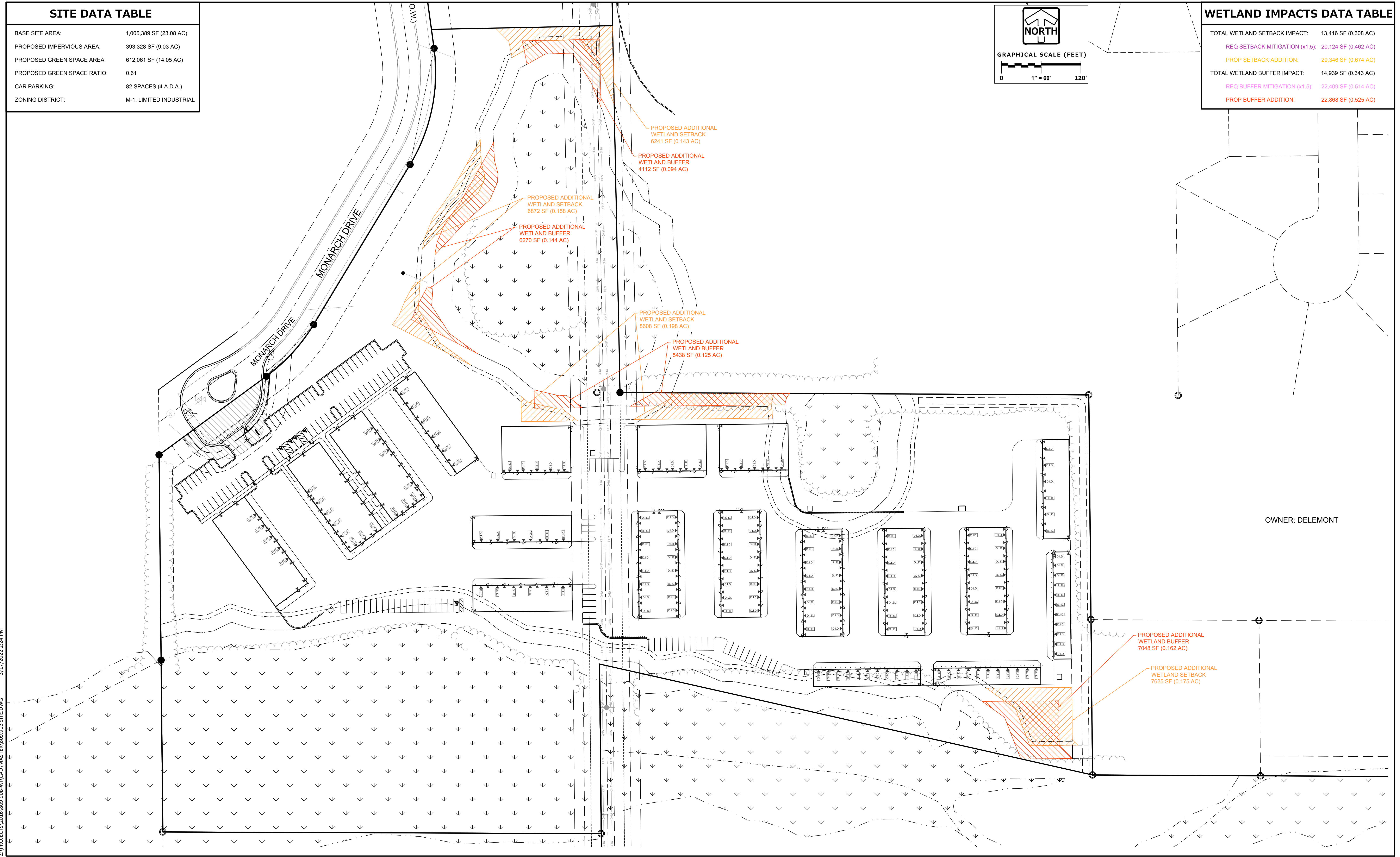
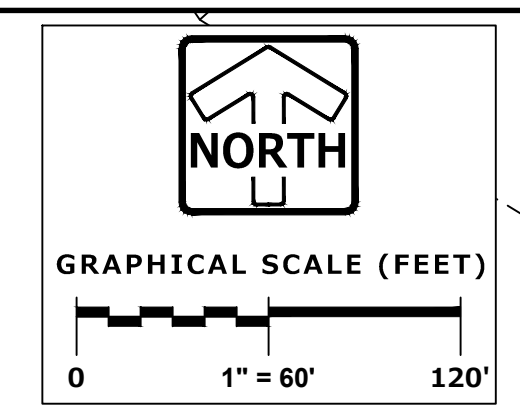
Attachment 2 | Mitigation Plan Map

SITE DATA TABLE

BASE SITE AREA:	1,005,389 SF (23.08 AC)
PROPOSED IMPERVIOUS AREA:	393,328 SF (9.03 AC)
PROPOSED GREEN SPACE AREA:	612,061 SF (14.05 AC)
PROPOSED GREEN SPACE RATIO:	0.61
CAR PARKING:	82 SPACES (4 A.D.A.)
ZONING DISTRICT:	M-1, LIMITED INDUSTRIAL

WETLAND IMPACTS DATA TABLE

TOTAL WETLAND SETBACK IMPACT:	13,416 SF (0.308 AC)
REQ SETBACK MITIGATION (x1.5):	20,124 SF (0.462 AC)
PROP SETBACK ADDITION:	29,346 SF (0.674 AC)
TOTAL WETLAND BUFFER IMPACT:	14,939 SF (0.343 AC)
REQ BUFFER MITIGATION (x1.5):	22,409 SF (0.514 AC)
PROP BUFFER ADDITION:	22,868 SF (0.525 AC)



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Rise Commercial District
Bear Development, LLC
March 22, 2022

Attachment 3 | Seed Mix

Native Slope Stabilization

This erosion control mix is specially designed to provide quick vegetation and permanent native grass establishment. Spring seeding is recommended.

#NSS Wet Mesic to Dry Mesic Full Sun to Part Sun 25.00 PLS LBS/Acre 125.00 Seeds/ Sq. Ft

Wildflowers		Oz/Acre
Chamaecrista fasciculata	Partridge Pea	16.00
Coreopsis lanceolata	Lance-Leaf (Sand) Coreopsis	1.50
Echinacea purpurea	Purple Coneflower	2.00
Heliopsis helianthoides	Early Sunflower	2.00
Monarda fistulosa	Wild Bergamot	1.00
Ratibida pinnata	Yellow Coneflower	2.50
Rudbeckia hirta	Black-Eyed Susan	3.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	2.00
Grasses, Sedges, & Rushes		Oz/Acre
Andropogon gerardii	Big Bluestem	10.00
Bouteloua curtipendula	Side Oats Grama	32.00
Elymus canadensis	Canada Wild Rye	24.00
Elymus trachycaulus	Slender Wheatgrass	32.00
Elymus virginicus	Virginia Wild Rye	32.00
Panicum virgatum	Switchgrass	12.00
Schizachyrium scoparium	Little Bluestem	16.00
Sorghastrum nutans	Indian Grass	20.00
Temporary Cover		Oz/Acre
Lolium multiflorum	Annual Ryegrass	192.00



Rise Commercial District
Bear Development, LLC
March 22, 2022

Attachment 4 | WDNR Technical Standard 1059

Seeding For Construction Site Erosion Control (1059)

Wisconsin Department of Natural Resources
Technical Standard

I. Definition

Planting seed to establish temporary or permanent vegetation for erosion control.

II. Purpose

The purpose of *temporary seeding*¹ is to reduce runoff and erosion until permanent vegetation or other erosion control practices can be established. The purpose of *permanent seeding* is to permanently stabilize areas of exposed soil.

III. Conditions Where Practice Applies

This practice applies to areas of exposed soil where the establishment of vegetation is desired. Temporary seeding applies to disturbed areas that will not be brought to final grade or on which land-disturbing activities will not be performed for a period greater than 30 days, and requires vegetative cover for less than one year. Permanent seeding applies to areas where perennial vegetative cover is needed.

IV. Federal, State and Local Laws

Users of this standard shall be aware of all applicable federal, state and local laws, rules, regulations or permit requirements governing seeding. This standard does not contain the text of federal, state or local laws.

V. Criteria

This section establishes the minimum standards for design, installation and performance requirements.

A. Site and Seedbed Preparation

Site preparation activities shall include:

1. Temporary Seeding
 - a. Temporary seeding requires a seedbed of loose soil to a minimum depth of 2 inches.
 - b. Fertilizer application is not generally required for temporary seeding. However, any application of fertilizer or lime shall be based on soil testing results.
 - c. The soil shall have a pH range of 5.5 to 8.0.
2. Permanent Seeding
 - a. *Topsoil* installation shall be completed prior to permanent seeding.
 - b. Permanent seeding requires a seedbed of loose topsoil to a minimum depth of 4 inches with the ability to support a *dense* vegetative cover.
 - c. Application rates of fertilizer or lime shall be based on soil testing results.
 - d. Prepare a tilled, fine, but firm seedbed. Remove rocks, twigs foreign material and clods over two inches that cannot be broken down.
 - e. The soil shall have a pH range of 5.5 to 8.0.

¹ Words in the standard that are shown in italics are described in X. Definitions. The words are italicized the first time they are used in the text.

B. Seeding

1. Seed Selection

- a. Seed mixtures that will produce dense vegetation shall be selected based on soil and site conditions and intended final use. Section IX References, lists sources containing suggested seed mixtures.
- b. All seed shall conform to the requirements of the Wisconsin Statutes and of the Administrative Code Chapter ATCP 20.01 regarding noxious weed seed content and labeling.
- c. Seed mixtures that contain potentially invasive species or species that may be harmful to native plant communities shall be avoided.
- d. Seed shall not be used later than one year after the test date that appears on the label.
- e. Seed shall be tested for purity, germination and noxious weed seed content and shall meet the minimum purity and germination requirements as prescribed in the current edition of Rules for Testing Seed, published by the Association of Official Seed Analysts.

2. Seed Rates

a. Temporary Seeding (Cover Crop)

Areas needing protection during periods when permanent seeding is not applied shall be seeded with annual species for temporary protection. See Table 1 for seeding rates of commonly used species. The residue from this crop may either be incorporated into the soil during seedbed preparation at the next permanent seeding period or left on the soil surface and the planting made as a no-till seeding.

Table 1 Temporary Seeding Species and Rates

Species	Lbs/Acre	Percent Purity
Oats	131 ¹	98
Cereal Rye	131 ²	97
Winter wheat	131 ²	95
Annual Ryegrass	80 ²	97

¹ Spring and summer seeding

² Fall seeding

b. Permanent Seeding

Rates shall be based on pounds or ounces of Pure Live Seed (PLS) per acre. Section IX contains some possible reference documents that provide seeding rates. Permanent seeding rates may be increased above the minimum rates shown in the reference documents to address land use and environmental conditions.

If a nurse crop is used in conjunction with permanent seeding, the nurse crop shall not hinder establishment of the permanent vegetation.

A nurse crop shall be applied at 50% its temporary seeding rate when applied with permanent seed.

3. Inoculation

Legume seed shall be inoculated in accordance with the manufacturer's recommendations. Inoculants shall not be mixed with liquid fertilizer.

4. Sowing

Seed grasses and legumes no more than ¼ inch deep. Distribute seed uniformly. Mixtures with low seeding rates require special care in sowing to achieve proper seed distribution.

Seed may be broadcast, drilled, or hydroseeded as appropriate for the site.

Seed when soil temperatures remain consistently above 53° F. *Dormant seed* when the soil temperature is consistently below 53° F (typically

Nov. 1st until snow cover). Seed shall not be applied on top of snow.

VI. Considerations

- A. Consider seeding at a lower rate and making two passes to ensure adequate coverage.
- B. Compacted soil areas may need special site preparation prior to seeding to mitigate compaction. This may be accomplished by chisel plowing to a depth of 12 inches along the contour after heavy equipment has left the site.
- C. Sod may be considered where adequate watering is available.
- D. When working in riparian areas refer to the NRCS Engineering Field Handbook, Chapter 16, Streambank and Shoreline Protection and Chapter 18, *Soil Bioengineering* for Upland Slope Protection and Erosion Reduction.
- E. A site assessment should be conducted to evaluate soil characteristics, topography, exposure to sunlight, proximity to natural plant communities, proximity to nuisance, noxious and/or invasive species, site history, moisture regime, climatic patterns, soil fertility, and previous herbicide applications.
- F. Use *introduced species* only in places where they will not spread into existing natural areas.
- G. Lightly roll or compact the area using suitable equipment when the seedbed is judged to be too loose, or if the seedbed contains clods that might reduce seed germination.
- H. See Section IX. References for suggested seed mixes (NRCS, WisDOT, UWEX) or use their equivalent.
- I. Turf seedlings should not be mowed until the stand is at least 6 inches tall. Do not mow closer than 3 inches during the first year of establishment.
- J. Seeding should not be done when the soil is too wet.

- K. Consider watering to help establish the seed. Water application rates shall be controlled to prevent runoff and erosion.
- L. Prairie plants may not effectively provide erosion control during their establishment period without a nurse crop.
- M. Topsoil originating from agricultural fields may contain residual chemicals. The seedbed should be free of residual herbicide or other contaminants that will prevent establishment and maintenance of vegetation. Testing for soil contaminants may be appropriate if there is doubt concerning the soil's quality.
- N. Consider using mulch or a nurse crop if selected species are not intended for quick germination. When mulching refer to WDNR Technical Standard Mulching for Construction Sites (1058).

VII. Plans and Specifications

Plans and specifications for seeding shall be in keeping with this standard and shall describe the requirements for applying this practice.

All plans, standard detail drawings, or specifications shall include schedule for installation, inspection, and maintenance. The responsible party shall be identified.

VIII. Operation and Maintenance

- A. During construction areas that have been seeded shall at a minimum be inspected weekly and within 24 hours after every precipitation event that produces 0.5 inches of rain or more during a 24-hour period. Inspect weekly during the growing season until vegetation is densely established or permit expires. Repair and reseed areas that have erosion damage as necessary.
- B. Limit vehicle traffic and other forms of compaction in areas that are seeded.
- C. A fertilizer program should begin with a soil test. Soil tests provide specific fertilizer recommendations for the site and can help to avoid over-application of fertilizers.

IX. References

A. Seed Selection References

United States Department of Agriculture – Natural Resources Conservation Service Field Office Technical Guide Section IV, Standard 342, Critical Area Planting.

UWEX Publication A3434 Lawn and Establishment & Renovation.

WisDOT, 2003. State of Wisconsin Standard Specifications For Highway and Structure Construction. Section 630, Seeding.

B. General References

Association of Official Seed Analysts, 2003. Rules for Testing Seed. <http://www.aosaseed.com>.

Metropolitan Council, 2003. Urban Small Sites Best Management Practice Manual, Chapter 3, Vegetative Methods 3-85 – 3-91. Minneapolis.

The State of Wisconsin list of noxious weeds can be found in Statute 66.0407.

United States Department of Agriculture – Natural Resources Conservation Service. Engineering Field Handbook, Chapters 16 and 18.

UWEX Publication GWQ002 Lawn & Garden Fertilizers.

Nurse Crop (V.B.2.b): Also known as a companion crop; is the application of temporary (annual) seed with permanent seed.

Permanent seeding (II) Seeding designed to minimize erosion for an indefinite period after land disturbing construction activities have ceased on the site.

Soil Bioengineering (VI.D) Practice of combining mechanical, biological and ecological concepts to arrest and prevent shallow slope failures and erosion.

Temporary Seeding (II) Seeding designed to control erosion for a time period of one year or less that is generally removed in order to perform further construction activities or to permanently stabilize a construction site.

Topsoil (V.A.2.a) Consists of loam, sandy loam, silt loam, silty clay or clay loam humus-bearing soils adapted to sustain plant life with a pH range of 5.5 – 8.0. Manufactured topsoil shall through the addition of sand or organic humus material, peat, manure or compost meet the above criteria.

X. Definitions

Dense (V.A.2.b) A stand of 3-inch high grassy vegetation that uniformly covers at least 70% of a representative 1 square yard plot.

Dormant seed (V.B.4): Seed is applied after climatic conditions prevent germination until the following spring.

Introduced Species (VI.F) Plant species that historically would not have been found in North America until they were brought here by travelers from other parts of the world. This would include smooth brome grass and alfalfa. Some of these species may have a wide distribution such as Kentucky bluegrass.

CONSERVATION EASEMENT

Ryan Meadows
Wetland 1- Lot 84 & Outlot 3

This Conservation easement is made by and between the CITY OF FRANKLIN, a municipal corporation of the State of Wisconsin, hereinafter referred to as "Grantee," and Mills Hotel Wyoming, LLC, a e.g. Limited Liability Corporation, hereinafter referred to as "Grantor," and shall become effective upon the recording of this Grant of Conservation Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to §700.40(2)(b) of the Wisconsin Statutes.

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within Ryan Meadows Subdivision, being Lot 1, Lot 2, Lot 3 and Outlot 1 of Certified Survey Map No. 9095 and additional lands in the Southwest ¼ and Northwest ¼ of the Northeast ¼ and the Northeast ¼ of the Southwest ¼ and the Northeast ¼ and the Southeast ¼ of the Northwest ¼ all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described in Exhibit A attached hereto and hereby made a part hereof (protected property); and

WHEREAS, the Grantor desires and intends that the natural elements and the ecological and aesthetic values of the protected property including, without limitation, steep slopes, mature woodlands, young woodlands, lakes, ponds, streams, floodplains, floodways, floodlands, shore buffers, wetland buffers, wetlands and shoreland wetlands, as identified in the Natural Resource Protection Plan compiled by Pinnacle Engineering Group, dated April 25, 2019, which is located in the office of the Department of City Development, be preserved and maintained by the continuation of land use that will not interfere with or substantially disrupt the natural elements or the workings of natural systems; and

WHEREAS, Grantee is a "holder", as contemplated by §700.41(1)(b)1. of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under §62.23 and §236.45 of the Wisconsin Statutes, the conservation of land, natural areas, open space, and water areas; and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the conservation easement on, over, and across the protected property, desire to conserve the natural values thereof and prevent the use or development of the protected property for any purpose or in any manner inconsistent with the terms of this conservation easement; and

WHEREAS, the Grantee is willing to accept this conservation easement subject to the reservations and to the covenants, terms, conditions, and restrictions set out herein and imposed hereby;

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a conservation easement in perpetuity on, over, and across the protected property.

Grantee's rights hereunder shall consist solely of the following:

1. To view the protected property in its natural, scenic, and open condition;
2. To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act; and
3. To enter the protected property at all reasonable times for the purpose of inspecting the protected property to determine if the Grantor is complying with the covenants and conditions of this grant.

And in furtherance of the foregoing affirmative rights of the Grantee, the Grantor makes the following covenants which shall run with and bind the protected property in perpetuity, namely, that, on, over, or across the protected property, the Grantor, without the prior consent of the Grantee, shall not:

1. Construct or place buildings or any structure;
2. Construct or make any improvements, unless, notwithstanding Covenant 1 above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect; such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like;
3. Excavate, dredge, grade, mine, drill, or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees; with the exception of limited grading within the wetland setback area as defined by the City of Franklin Unified Development Ordinance. Grading within the wetland setback is limited to the grading shown in the approved Final Engineering Plans for the Ryan Meadows Subdivision.
4. Conduct any filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste, or other landscape materials, ashes, garbage, or debris;
5. Plant any vegetation not native to the protected property or not typical wetland vegetation;
6. Operate snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of motorized vehicles.

To have and to hold this conservation easement unto the Grantee forever. Except as expressly limited herein, the Grantor reserves all rights as owner of the protected property, including, but not limited to, the right to use the protected property for all purposes not inconsistent with this grant. Grantor shall be responsible for the payment of all general property taxes levied, assessed, or accruing against the protected property pursuant to law.

The covenants, terms, conditions, and restrictions set forth in this grant shall be binding upon the Grantor and the Grantee and their respective agents, personal representatives, heirs, successors, and assigns, and shall constitute servitudes running with the protected property in perpetuity. This grant may not be amended, except by a writing executed and delivered by Grantor and Grantee or their respective personal representatives, heirs, successors, and assigns. Notices to the parties shall be personally delivered or mailed by U.S. Mail registered mail, return receipt requested, as follows:

To Grantor:
 Mills Hotel Wyoming, LLC
 4011 80th Street
 Kenosha, WI 53142

To Grantee:
 City of Franklin
 Office of the City Clerk
 9229 W. Loomis Road
 Franklin, Wisconsin 53132

In witness whereof, the grantor has set its hand and seals this on this date of _____, 20__.

Mills Hotel Wyoming, LLC

By: Mills Enterprises, LLC its Manager

 Stephen C. Mills, Member

 Martha L. Mills, Member

STATE OF WISCONSIN)
) ss
 COUNTY OF MILWAUKEE)

This instrument was acknowledged before me on the _____ day of _____, A.D. 20__ by

Stephen C. Mills. Member, Mills Enterprises, LLC

To me known to be the person(s) who executed the foregoing Easement and acknowledged the same as the voluntary act and deed of said Mills Hotel Wyoming, LLC.

Notary Public

My commission expires _____

STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

This instrument was acknowledged before me on the _____ day of _____, A.D. 20__ by

Martha L. Mills. Member, Mills Enterprises, LLC

To me known to be the person(s) who executed the foregoing Easement and acknowledged the same as the voluntary act and deed of said Mills Hotel Wyoming, LLC.

Notary Public

My commission expires _____
Company Name _____

Acceptance

The undersigned does hereby consent to and accepts the Conservation Easement granted and conveyed to it under and pursuant to the foregoing Grant of Conservation Easement. In consideration of the making of such Grant Of Conservation Easement, the undersigned agrees that this acceptance shall be binding upon the undersigned and its successors and assigns and that the restrictions imposed upon the protected property may only be released or waived in writing by the Common Council of the City of Franklin, as contemplated by §236.293 of the Wisconsin Statutes.

In witness whereof, the undersigned has executed and delivered this acceptance on the ____ day of _____, A.D.20__.

CITY OF FRANKLIN

By: _____
Stephen R. Olson, Mayor

By: _____
Sandra L. Wesolowski, City Clerk

STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

Personally came before me this _____ day of _____, A.D. 20____, the above named Stephen R. Olson, Mayor and Sandra L. Wesolowski, City Clerk, of the above named municipal corporation, City of Franklin, to me known to be such Mayor and City Clerk of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the Deed of said municipal corporation by its authority and pursuant to Resolution No. _____, adopted by its Common Council on the _____ day of _____, 20____.

Notary Public

My commission expires _____

This instrument was drafted by the City of Franklin.

Approved as to contents:

Joel Dietl, Planning Manager
Department of City Development

Date

Approved as to form only:

Jesse A. Wesolowski
City Attorney

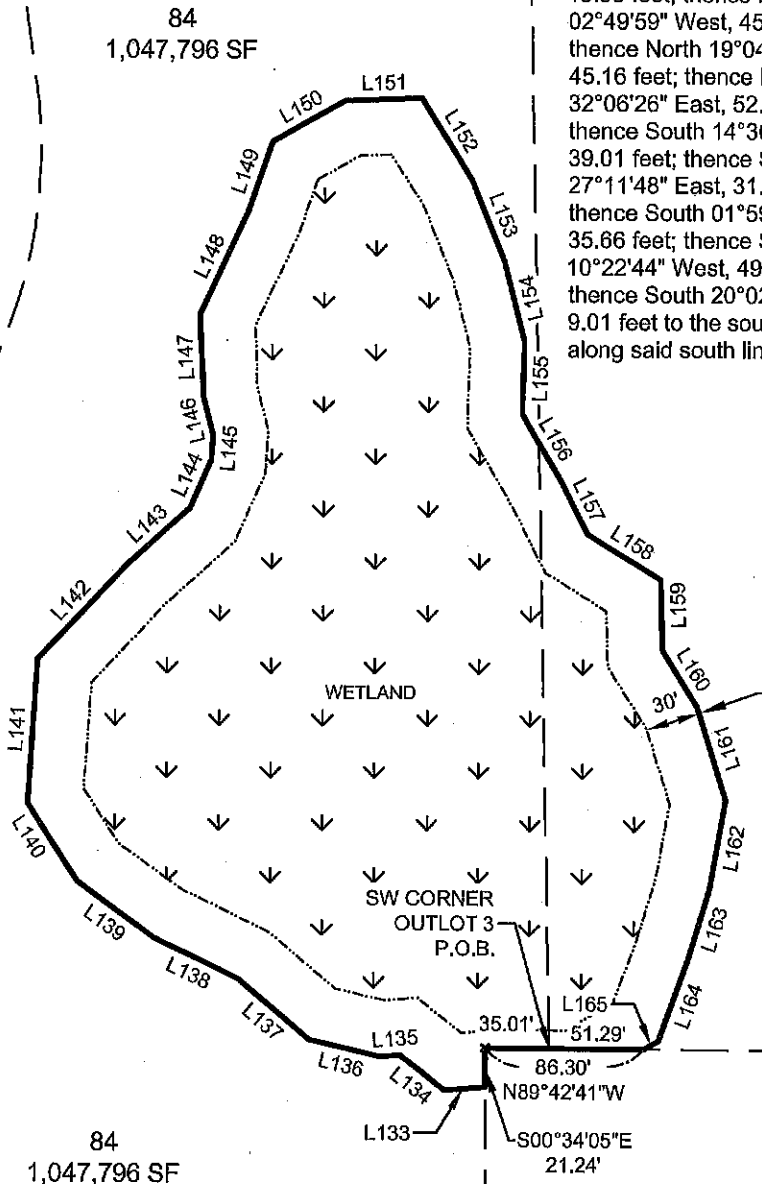
Date

LEGAL DESCRIPTION:

Being a part of Lot 84 and Outlot 3 in Ryan Meadows, located in the Southwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Southeast 1/4 of the Northwest 1/4, Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County Wisconsin, described as follows:

Beginning at the southwest corner of said Outlot 3; thence North 89°42'41" West along the south line of said Lot 84, 35.01 feet; thence South 00°34'05" East along the east line of said Lot 84, 21.24 feet; thence South 85°51'26" West, 22.70 feet; thence North 52°02'25" West, 30.32 feet; thence South 85°12'42" West, 10.31 feet; thence North 76°55'48" West, 39.91 feet; thence North 49°54'31" West, 50.79 feet; thence North 64°32'14" West, 51.54 feet; thence North 54°16'58" West, 51.58 feet; thence North 32°49'08" West, 50.00 feet; thence North 03°52'01" East, 77.90 feet; thence North 43°11'30" East, 71.13 feet; thence North 47°54'45" East, 45.57 feet;

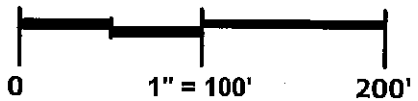
thence North 24°01'30" East, 28.62 feet; thence North 03°26'47" East, 13.39 feet; thence North 14°43'41" West, 20.77 feet; thence North 02°49'59" West, 45.18 feet; thence North 25°21'49" East, 61.79 feet; thence North 19°04'30" East, 40.49 feet; thence North 60°46'28" East, 45.16 feet; thence North 88°06'54" East, 41.26 feet; thence South 32°06'26" East, 52.93 feet; thence South 21°57'55" East, 46.84 feet; thence South 14°36'57" East, 44.77 feet; thence South 01°56'25" West, 39.01 feet; thence South 30°20'37" East, 42.52 feet; thence South 27°11'48" East, 31.77 feet; thence South 58°14'57" East, 46.72 feet; thence South 01°59'46" East, 38.25 feet; thence South 31°43'54" East, 35.66 feet; thence South 17°35'47" East, 53.07 feet; thence South 10°22'44" West, 49.03 feet; thence South 17°08'13" West, 38.83 feet; thence South 20°02'47" West, 47.54 feet; thence South 60°15'57" West, 9.01 feet to the south line of Outlot 3; thence North 89°42'41" West along said south line, 51.29 feet to the Point of Beginning.



OUTLOT 3
965,123 SF

CONSERVATION EASEMENT
124,867 SQ. FT.
2.8666 ACRES

GRAPHICAL SCALE (FEET)



PARCEL 1
C.S.M. NO. 975

SHEET 1 OF 2

NOTE:
Wetlands delineated by Heather D. Patti, PWS - Senior Wetland Ecologist Project Manager, R.A. Smith National, Inc. on December 8, 2014.

CONSERVATION EASEMENT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

PLAN | DESIGN | DELIVER

PEG JOB#809.20

08/22/19

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L133	S85°51'26"W	22.70'
L134	N52°02'25"W	30.32'
L135	S85°12'42"W	10.31'
L136	N76°55'48"W	39.91'
L137	N49°54'31"W	50.79'
L138	N64°32'14"W	51.54'
L139	N54°16'58"W	51.58'
L140	N32°49'08"W	50.00'
L141	N03°52'01"E	77.90'
L142	N43°11'30"E	71.13'
L143	N47°54'45"E	45.57'
L144	N24°01'30"E	28.62'
L145	N03°28'47"E	13.39'
L146	N14°43'41"W	20.77'
L147	N02°49'59"W	45.18'
L148	N25°21'49"E	61.79'
L149	N19°04'30"E	40.49'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L150	N60°46'28"E	45.16'
L151	N88°08'54"E	41.26'
L152	S32°06'26"E	52.93'
L153	S21°57'55"E	46.84'
L154	S14°36'57"E	44.77'
L155	S01°56'25"W	39.01'
L156	S30°20'37"E	42.52'
L157	S27°11'48"E	31.77'
L158	S58°14'57"E	46.72'
L159	S01°59'46"E	38.25'
L160	S31°43'54"E	35.66'
L161	S17°35'47"E	53.07'
L162	S10°22'44"W	49.03'
L163	S17°08'13"W	38.83'
L164	S20°02'47"W	47.54'
L165	S60°15'57"W	9.01'

SHEET 2 OF 2

CONSERVATION EASEMENT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

08/22/19

PLAN | DESIGN | DELIVER

PEG JOB#809.20

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
generalplanning@franklinwi.gov
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: _____ city use only

NATURAL RESOURCE SPECIAL EXCEPTION APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME:		NAME:	
COMPANY:		COMPANY:	
MAILING ADDRESS:		MAILING ADDRESS:	
CITY/STATE:	ZIP:	CITY/STATE:	ZIP:
PHONE:		PHONE:	
EMAIL ADDRESS:		EMAIL ADDRESS:	

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS:	TAX KEY NUMBER:
PROPERTY OWNER:	PHONE:
MAILING ADDRESS:	EMAIL ADDRESS:
CITY/STATE:	DATE OF COMPLETION: office use only

APPLICATION MATERIALS

The following materials must be submitted with this application form. *incomplete applications and submittals cannot be reviewed.

- This application form accurately filled out with signature or authorization letters (see below).
- \$500 Application fee payable to the City of Franklin
- Word Document Legal description for the subject property.
- Three (3) collated sets of the following ...
 - Three (3) folded full size Plats of Survey, drawn to scale copies on 24" X 36" paper as required by Section 15-9.0110(B) of the Unified Development Ordinance.
 - Three (3) folded full size of the Natural Resource Protection Plan drawn to scale copies on 24" X 36" paper, see Sections 15-4.0102 and 15-7.0201 for information that must be denoted on or included with the NRPP).
 - Three (3) copies of the Natural Resource Protection Report if applicable. (see Section 15-7.0103Q of the UDO).
- One copy of all necessary governmental agency permits for the project or a written statement as to the status of any application for each such permit.
- Email or flash drive with all plans/submittal materials.

Natural Resource Special Exception requests require review by the Environmental Commission, public hearing at and review by the Plan Commission, and Common Council approval prior to recording with Milwaukee County Register of Deeds.

Applicant is responsible for providing Plan Commission and Environmental Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

- I, the applicant, certify that I have read the above page detailing the requirements for NRSE approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE:		APPLICANT SIGNATURE:	
NAME & TITLE:	DATE:	NAME & TITLE:	DATE:
PROPERTY OWNER SIGNATURE:		APPLICANT REPRESENTATIVE SIGNATURE:	
NAME & TITLE:	DATE:	NAME & TITLE:	DATE:

LEGAL DESCRIPTION PROPOSED LOT 2

Being a part of Lot 84 in Ryan Meadows, as recorded in the Register of Deeds office for Milwaukee County as Document No. 10962414 and a part of Parcel 1 of Certified Survey Map No. 975, as recorded in the Register of Deeds office for Milwaukee County as Document No. 4446377, located in the Southwest 1/4 of the Northeast 1/4 AND the Northwest 1/4 of the Southeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County Wisconsin, described as follows:

Commencing at the southwest corner of the Northwest 1/4 of said Section 30; Thence South 89°39'32" East along the south line of said Northwest 1/4 and then along a south line of Ryan Meadows, a recorded subdivision, 2008.73 feet to the north right of way line of Monarch Drive and a west line of said Ryan Meadows; Thence South 00° 34'08" East along said west line of Ryan Meadows, 98.50 feet to the south right of way line of Monarch Drive and the Point of Beginning;

Thence North 53°44'29" East along said south right of way line, 53.80 feet; Thence South 36°15'32" East, 20.52 feet to a point of curvature; Thence southeasterly 47.91 feet along the arc of said curve to the left, whose radius is 30.50 feet and whose chord bears South 81°15'32" East, 43.13 feet; Thence North 53°44'29" East, 42.59 feet to a point of curvature; Thence northeasterly 68.46 feet along the arc of said curve to the left, whose radius is 80.50 feet and whose chord bears North 29°22'38" East, 66.42 feet; Thence North 05°00'46" East, 31.55 feet to a point on a curve and the aforesaid south right of way line of Monarch Drive; Thence northeasterly 99.71 feet along the arc of said curve to the left and said right of way line, whose chord bears North 41°39'59" East, 99.14 feet; Thence North 31°05'13" East along said right of way line, 282.33 feet to a point of curvature; Thence northeasterly 183.30 feet along the arc of said curve to the left and said right of way line, whose radius is 270.00 feet and whose chord bears North 11°38'18" East, 179.80 feet; Thence North 07°48'36" West along said right of way line, 28.88; Thence North 88°49'54" East, 273.89 feet to the west line of Outlot 3 of Ryan Meadows; Thence South 01°10'06" East along said west line, 555.10 feet to the south line of the Northeast 1/4 of said Section 30 and a south line of Ryan Meadows and a north line of Parcel 1 of Certified Survey Map No. 975; Thence South 89°42'41" East along said south line, 708.82 feet; Thence South 00°33'39" East along an east line of said Parcel 1 and then continuing, 575.04 feet; Thence North 77°18'53" West, 764.02 feet to the west line of said Southeast 1/4; Thence South 00°34'05" East along said west line, 256.46 feet to the south line of said Ryan Meadows; Thence North 89°47'21" West along said south line, 662.96 feet to a west line of said Ryan Meadows; Thence North 00°34'08" West along said west line, 570.47 feet to the Point of beginning.

Containing 999,038 square feet (22.9347 acres) of land, more or less.



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.1.

Meeting of May 5, 2022

SITE PLAN

RECOMMENDATION: City Development Staff recommends approval of this site plan, subject to conditions contained in the draft Resolution; and consideration of the requested waivers.

Property Owner:	Loomis & Ryan Inc.
Applicant:	Jim Sapp. RISE Commercial District
Property Address/Tax Key Number:	Unassigned address. Ryan Meadows Subdivision, end of Monarch Drive. Current TKN 891 1084 000
Aldermanic District:	District 6
Agent:	Matt Carey, Pinnacle Engineering Group
Zoning District:	M-1 Limited Industrial District
Use of Surrounding Properties:	West: Copart South: Vacant and single-family residential zoned R-2 North: Vacant zoned M-1 and R-6 East: Single-family residential zoned R-2
Site Plan Proposal:	New warehouse-office facility which would provide cowarehousing services for up to 120 businesses, including business storage, warehouse space, private office space, contractor storage and storage with electricity.
Staff Planner:	Régulo Martínez-Montilva, AICP, Planning Manager

INTRODUCTION

Site Plan application submitted on February 9, 2022, to allow for a new warehouse-office facility to be located in the Ryan Meadows subdivision, at the end of Monarch Drive. The proposed RISE Commercial District facility would provide cowarehousing services for up to 120 businesses, including business storage, warehouse space, private office space, contractor storage and storage with electricity. Cowarehousing services are classified under Standard Industrial Classification No. 4225 “General warehousing and storage” and it is a permitted as of right use in the M-1 Limited Industrial District.

The site area is 22.93 acres. The project consists of 18 buildings with a total building footprint of 3.14 acres. The site would have 117 parking stalls, 5.70 acres of pavement and access to Monarch Drive. Other improvements include 3 new stormwater management areas, landscaping, fencing, monument sign and outdoor lighting.

The project site was created by Certified Survey Map, approved by Resolution 2022-7825 on February 15, 2022, but not yet recorded. Therefore, definitive address and tax key number for this site have not been assigned yet.

PROJECT ANALYSIS:

There are a few existing constraints to the property that impact the design and development of this project.

1. **Wetland buffer and setback impacts related to concurrent NRSE Application.** The applicant submitted a Natural Resource Special Exception (NRSE) application on December 8, 2021, this application was incomplete and was later deemed complete for review on February 22, 2022. The requested Special Exception to Natural Resource Feature Provisions is for the purpose of allowing impacts to wetland buffers and wetland setbacks. See separate Natural Resource Special Exception scheduled concurrently for this May 5, Plan Commission meeting.

2. **Adjacent residential zoning.** This site is abutting properties zoned R-2 Estate Single-Family Residence District to the east and south. City Development staff does not anticipate adverse impacts to the south because the existing wetland areas would serve as a buffer. To the east, the applicant is proposing a 30-foot building setback (UDO requires 15 feet), 7 trees and several shrubs, and a chain link fence. In order to reduce light trespass from vehicles within this RISE Development into the adjacent properties zoned residential, City Development staff suggests to install a privacy fence instead of a chain link in the sections between buildings 62A and 63A; as well as between 63A and 53B. It is worth noting the presence of a trail easement along the east property line.

UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS

Site Plan Applications are subject to the provisions of the Unified Development Ordinance (UDO) §15-7.0102 Principles and Standards of Review, Site Plans.

Principles and standards of review of Site Plans (§15-7.0102)

Summary of Standard	Staff’s Finding
A. Conformity of Use to Zoning District.	Cowarehousing services are classified under Standard Industrial Classification No. 4225 “General warehousing and storage” and it is a permitted as of right use in the M-1 Limited Industrial District.
B. Dimensional Requirements.	<p>The proposed development complies with the dimensional requirements for the M-1 zoning district set forth in UDO Table 15-3.0309:</p> <ul style="list-style-type: none"> • Gross Floor Area Ratio (GFAR). Proposed: 0.13; Maximum: 0.89. • Landscape Surface Ratio (LSR). Proposed: 61%; Minimum: 40%. • Maximum height. Proposed: 25 feet; Maximum: 40 feet. <p><u>Note:</u> The proposed development does not comply with the minimum wetland buffer (30 feet) and wetland setback (50 feet).</p>
C. Site Intensity and Site Capacity Calculations to be Reviewed.	Site Intensity and Capacity Calculations were reviewed as part of the Certified Survey Map approved by Resolution 2022-7825 on February 15, 2022.

<p><i>D. Use and Design Provisions.</i></p>	<p>The proposed development complies with the design provisions of Unified Development Ordinance Part 5, specifically off-street parking, loading areas, required landscaping and lighting standards.</p> <p><u>Note:</u> Buildings on the eastern portion of the site (#62A, #63A, #53B and #85A) are not close to any parking areas. For example, building 53B is approximately 450 feet to the closest parking space (measured in a straight line). However, the UDO does not provide a maximum distance between parking areas and the buildings served, except for ADA parking.</p>
<p><i>E. Relation to Existing and Proposed Streets and Highways.</i></p>	<p>This site is only served by the Monarch Drive cul-de-sac, the cul-de-sac design was reviewed as part of the Certified Survey Map to create this site and the cul-de-sac length (1,500 feet approx.) was approved by a Land Division Variance per Plan Commission Resolution No. 2022-003.</p> <p>See the Waivers Requests section for an increase to the permitted driveway width.</p>
<p><i>F. Impacts on Surrounding Uses.</i></p>	<p>North: Adjacent property to the northwest is also zoned M-1, and the property to the northeast is zoned residential but it is designated as an outlot with mature woodlands protected by a conservation easement.</p> <p>East: City Development staff suggests the provision of a privacy fence instead of chain-link fence as previously noted.</p> <p>South: No adverse impact is anticipated as the existing wetland areas would serve as a buffer.</p> <p>West: Adjacent property is zoned M-2 (Copart).</p>
<p><i>G. Natural Resource Features Protection.</i></p>	<p>This Site Plan would not approve any impacts to naturales resource features as defined in the UDO, including but not limited to encroachments of buildings, paved areas and fences into the wetland buffer and wetland setback areas.</p> <p>The proposed fence between building #73 and pond #2 that is abutting directly to the wetland boundary has not been included in the Natural Resource Special Exception (NRSE) application. The applicant needs to relocate this fence section to run adjacent to the paved areas or add this fence encroachment to the NRSE request.</p> <p>See separate Natural Resource Special Exception application.</p>
<p><i>H. Required Landscaping and Landscape Bufferyards.</i></p>	<p>The proposed development generally meets the requirements with respect to landscaping and required bufferyards. Condition of approval #5 is requiring a revision to the provided evergreen plantings is included in the attached draft Resolution. Specifically, UDO Section 15-5.0302.F states that no one species shall exceed 35% of species planted within a planting type, the proposed quantity of Serbian Spruce is 38 % of the evergreen plantings (12 of 31).</p>
<p><i>I. Provision of Emergency Vehicle Accessibility.</i></p>	<p>The applicant has provided a truck moving exhibit following staff comments.</p> <p>In order to avoid obstructions to the truck moving path, <u>City Development staff recommends the installation of “No Parking” signs in front of buildings #63A, #53B and #62A,</u> condition of approval #6.</p>
<p><i>J. Building Location.</i></p>	<p>Buildings location meet required building setbacks and is outside the transmission line wire easement.</p>

	<u>Note:</u> Four buildings (#51B, 73, 61A and 62A) would encroach into the required wetland setback.
K. Location and Design of On-Site Waste Disposal and Loading Facilities.	<u>Staff recommends the provision of curb and gutter to the parking area and dumpster south of Building 82A,</u> see Waivers Requests section.
L. Consistency with Intent of UDO.	<p>City Development staff reviewed this development for compliance with the UDO as outlined in Memorandum dated March 22, 2022. The applicant has addressed most of the review comments, except the two requirements below for which the applicant is requesting waivers for consideration of the Plan Commission:</p> <ul style="list-style-type: none"> • Curb and gutter • Driveway width <p>See Waivers Requests section for more information.</p>
M. Consistency with Intent of Comprehensive Plan.	The proposed development is consistent with the Business Park land use designation of the <i>City of Franklin 2025 Comprehensive Master Plan</i> .
N. Determination of “Suitability” of Site.	There is no evidence that the subject property is “unsuitable” for development at the use and scale of the proposed development. Existing natural resources pose a constraint to this development, but this should be reviewed as part of the Natural Resource Special Exception.

WAIVERS REQUESTS

Per letter dated April 5, 2022, by Jeremy Haynes, Growth Manager of RISE Commercial District, the applicant is requesting waivers for the two following UDO requirements:

- a) **Driveway width.** According to UDO Section 15-5.0207.B: “Openings for vehicular ingress and egress shall not exceed 24 feet at the street right-of-way line and 30 feet at the roadway, unless a greater distance is approved by the Plan Commission in a non-residential district”. The proposed driveway is approximately 34-foot wide at the right-of-way line and 53-foot wide at the edge of Monarch Drive.

Staff comment: No objections to this waiver request as this site and other properties served by Monarch Drive are zoned for industrial uses. This site has been designed to allow for large trucks (up to 53-foot long), the applicant has provided an exhibit for truck moving and the site provides loading areas measuring 12x60 feet as required by the UDO.

- b) **Curb and gutter.** Pursuant to UDO Section 15-5.0202.E.1 “Concrete curb and gutter shall be installed surrounding all new driveway, parking lot and landscape islands. This provision may be waived by the Plan Commission for additions to existing structures located in areas without a predominance of curb and gutter when curb and gutter is not installed on the adjacent street right-of-way, or is not anticipated to be constructed on the street right-of-way in a future street reconstruction in a reasonable period of time”.

Staff comment: It is noted that curb and gutter have been installed on Monarch Drive. City Development staff recommends the provision of curb and gutter to the parking area west of building 51B because this parking area would encroach into wetland buffers and setbacks. Staff acknowledges that the proposed grading would not direct the stormwater runoff from this parking area to the wetland on the south portion of the site. City Development staff also recommends the provision of curb and gutter to the parking area and dumpster south of Building 82A.

STAFF RECOMMENDATION

City Development staff recommends approval of this Site Plan application, subject to the conditions set forth in the attached resolution; and consideration of the waivers requested by the applicant.

RESOLUTION NO. 2022-_____

A RESOLUTION APPROVING A SITE PLAN FOR THE DEVELOPMENT OF A WAREHOUSE/OFFICE FACILITY PROVIDING CO-WAREHOUSING SERVICES FOR UP TO 120 BUSINESSES, CONSISTING OF 18 BUILDINGS WITH ASSOCIATED PARKING, STORMWATER MANAGEMENT AREAS, LANDSCAPING, FENCING, A MONUMENT SIGN AND OUTDOOR LIGHTING (GENERALLY LOCATED WITHIN RYAN MEADOWS SUBDIVISION, SOUTHEAST OF THE DEAD END OF SOUTH MONARCH DRIVE)
(JIM R. SAPP, PRESIDENT OF RISE COMMERCIAL DISTRICT,
APPLICANT, LOOMIS & RYAN, INC., PROPERTY OWNER)

WHEREAS, Jim R. Sapp, President of RISE Commercial District having applied for approval of a proposed site plan for the development of a new warehouse/office facility (RISE Commercial District) to be located in the Ryan Meadows subdivision, southeast of the dead end of newly created South Monarch Drive, said facility providing co-warehousing services for up to 120 businesses, including business storage, warehouse space, private office space, contractor storage and storage with electricity [the project consists of 18 buildings with a total building footprint of 3.14 acres; the site would have 117 parking stalls, 5.70 acres of pavement and access to South Monarch Drive; other improvements would include 3 new stormwater management areas, landscaping, fencing, a monument sign and outdoor lighting (22.93 acre site area)], property generally located south of West Loomis Road, west of South 112th Street, north of West Oakwood Road and east of South 124th Street; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the development of a new warehouse/office facility (RISE Commercial District) to be located in the Ryan Meadows subdivision, southeast of the dead end of newly created South Monarch Drive, said facility providing co-warehousing services for up to 120 businesses, including business storage, warehouse space, private office space, contractor storage and storage with electricity [the project consists of 18 buildings with a total building footprint of 3.14 acres; the site would have 117 parking stalls, 5.70 acres of pavement and access to South Monarch Drive; other improvements including 3 new stormwater management areas, landscaping, fencing, a monument sign and outdoor lighting (site area is 22.93 acres)], property generally located south of West Loomis Road, west of South 112th Street, north of West Oakwood Road and east of South 124th Street, as depicted upon the plans dated April 25, 2022, attached hereto and incorporated herein, is

JIM R. SAPP, PRESIDENT OF RISE COMMERCIAL DISTRICT – SITE PLAN
RESOLUTION NO. 2022-_____

Page 2

hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Jim R. Sapp, President of RISE Commercial District warehouse/office facility dated April 25, 2022.
2. Jim R. Sapp, President of RISE Commercial District, successors and assigns, and any developer of the Jim R. Sapp, President of RISE Commercial District warehouse/office facility development project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Jim R. Sapp, President of RISE Commercial District warehouse/office facility development project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Jim R. Sapp, President of RISE Commercial District warehouse/office facility development project for the property generally located in the Ryan Meadows subdivision, southeast of the dead end of newly created South Monarch Drive, south of West Loomis Road, west of South 112th Street, north of West Oakwood Road and east of South 124th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Jim R. Sapp, President of RISE Commercial District warehouse/office facility shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. The applicant shall revise the plant schedule of the Landscape Plan (sheet L-1), specifically the quantity of proposed evergreen trees to comply with the Unified Development Ordinance (UDO) Section 15-5.0302.F, which states that no one species shall exceed 35% of species planted within a planting type.
6. “No Parking” signs shall be installed in front of buildings #63A, #53B and #62A, prior to the issuance of a certificate of occupancy.

JIM R. SAPP, PRESIDENT OF RISE COMMERCIAL DISTRICT – SITE PLAN
RESOLUTION NO. 2022-_____

Page 3

7. The Certified Survey Map approved by Resolution 2022-7825 shall be recorded with the Milwaukee County Register of Deeds, prior to the issuance of building permits.
8. This Site Plan resolution is not approving any impacts to natural resource features. The applicant shall obtain a separate approval of a Natural Resource Special Exception for such impacts, including but not limited to: encroachments of buildings, paved areas and fences into wetland buffer and wetland setback areas.
9. Separate sign permits shall be required for signage.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

MEMORANDUM

Date: March 22, 2022
To: Matt Carey, Pinnacle Engineering Group.
From: Department of City Development
Régulo Martínez-Montilva, AICP, Principal Planner
RE: Application for Site Plan – RISE Commercial District – Monarch Drive

Staff comments are as follows for the Site Plan application received on February 9, 2022:

PEG comment responses are in **RED**.

City Development Department comments

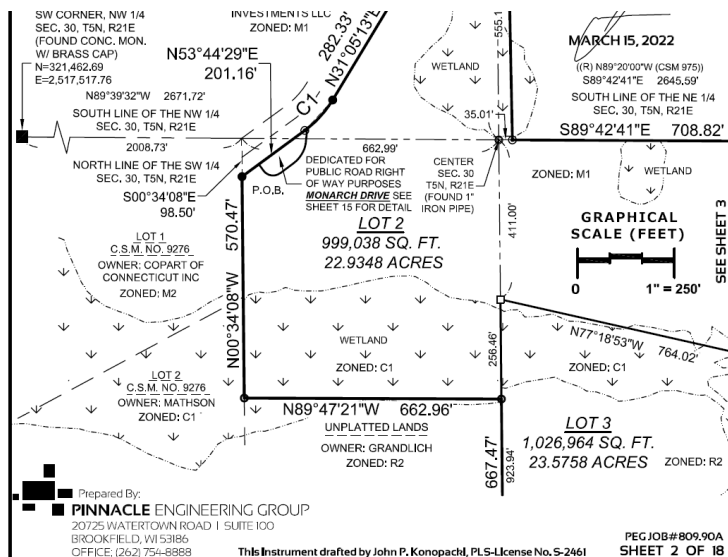
1. **Site Plan information.** Pursuant to the Unified Development Ordinance (UDO) Section 15-7.0103 “Applications for Site Plan Review”, please add or revise the following:

1. “Architect and/or Engineer's Name and Address. Architect and/or engineer's name, address, and seal noted”.

Engineer’s contact information is provided on cover sheet and plans are stamped and sealed.

E. “Scale and Site Size. The scale of drawing and the size of the site (in square feet or acres) noted on the Site Plan”. Please update the base site area of 23.08 acres (Sheet C-3, site data), and associated ratios such as the Landscape Surface Ratio. Per recently approved certified survey map, the site area should be 22.93 acres.

Base Site Area and LSR updated to reflect recently approved CSM.



38

2. **Project narrative.** The project narrative (page 8) states that this proposal is for 20 buildings on 13.6 acres, but the Site Plan depicts 18 buildings on over 20 acres. Please clarify and revise project narrative or site plan as necessary.

Project Narrative has been updated to reflect this. See attached document.

3. **Land use.** The project narrative (page 8) states that the buildings are intended for warehouse, office and “flex space”. Please indicate the location and square footage of these uses. Additionally, please define “flex space”.

Details of buildings show in “RCD Models.pdf”

Flex Space Definition: Leased units which provide flexible-space to accommodate variable room, agility, and storage solutions uniquely customized for growing tenant businesses, including: professional offices, distribution center, storage, multi-client spaces.

4. Any proposed outdoor storage?

No outdoor storage is proposed.

5. **Connection to public sidewalk.** A walkway is recommended to connect the entrance of building #15 with the public sidewalk on Monarch Drive.

The recommend sidewalk connection has been updated to the plans. See Sheets C-3 and C-4.

Off-street parking and loading

6. **Parking calculations.** Please provide parking calculations based on the parking ratios of UDO Table 15-5.0203. Please break down the floor area devoted to each use:

- **Contractor Shop.** 1/1,000 square feet of GFA, plus required parking spaces for offices, or similar uses where those uses exceed 10% of GFA. Note: it is assumed that “flex space” falls under this category for parking calculations.
- **Warehouse.** 0.5/1,000 square feet of GFA, plus required parking spaces for offices, or similar uses where those uses exceed 10% of GFA.
- **Office.** 3.33/1,000 square feet of GFA.

Parking calculations have been provided in the Site Data Table on Sheet C-3. Total required parking for the intended uses is 117 spaces.

See Gross Floor Area (GFA) definition below:

- FLOOR AREA, GROSS (for determining requirements for off-street parking and off-street loading)
“The floor area shall mean the sum of the gross horizontal areas of the several floors of the buildings or portion thereof, devoted to such use, including accessory storage areas located within selling or working space, such as counters, racks, or closets, and any basement floor area devoted to retailing activities, to the production or processing of goods, or to business or professional offices. However, floor area for purposes of measurement for off-street parking spaces shall not include: floor area devoted primarily to storage purposes (except as otherwise noted herein); floor area devoted to off-street parking or loading facilities, including aisles, ramps, and maneuvering space, or basement floor area other than area devoted to retailing activities, to the production or processing of goods, or to business or professional offices”.

7. **Parking setback.** Pursuant to Unified Development Ordinance (UDO) Section 15-5.0202.C.4, the minimum parking setback is 10 feet from any property line, as measured from the back of curb. Please revise the parking lot design to meet this requirement in the area surrounding the Monarch Drive cul-de-sac (see below).



The two parking stalls have been removed from the plans.

8. **Curb and gutter.** Pursuant to UDO Section 15-5.0302.E.1 “Concrete curb and gutter shall be installed surrounding all new driveway, parking lot and landscape islands. This provision may be waived by the Plan Commission for additions to existing structures located in areas without a predominance of curb and gutter when curb and gutter is not installed on the adjacent street right-of-way, or is not anticipated to be constructed on the street right-of-way in a future street reconstruction in a reasonable period of time”. The site plan depicts curb and gutter around some parking areas but not all of them. You can either revise the site plan to indicate curb and gutter around all parking areas and drives or submit a letter requesting this waiver with the appropriate justification.

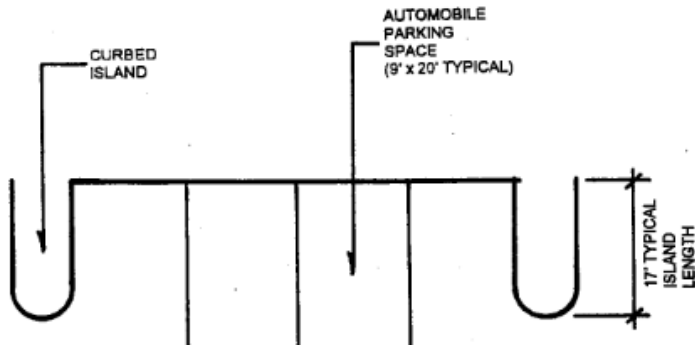
It is preferred to keep the areas to the east, within the enclosed fence, without curb as noted. A letter is being provided for this request with the resubmittal materials.

9. **Parking islands.** Pursuant to UDO Figure 15-5.0202 “Dimensional length requirements for curbed off-street parking island design” (below), the typical island length is 17 feet. Please revise all parking islands accordingly.

Curbed islands reduced to 17' length.

Figure 15-5.0202

DIMENSIONAL LENGTH REQUIREMENTS FOR CURBED OFF-STREET PARKING ISLAND DESIGN



10. **Loading areas.** According to UDO Section 15-5.0206.B: “The minimum number and size of off-street loading spaces accessory to uses in the M-1, M-2, and BP Districts shall be in accordance with Table 15-5.0206. For each additional 100,000 square feet of gross floor area, or fraction thereof, over 100,000 square feet of gross floor area, one additional loading space shall be provided. Such additional space shall be a minimum of 12 feet in width by 50 feet in length, and have a vertical clearance of not less than 15 feet”.

Given the proposed floor area of 134, 928 square feet, the required off-street loading for this site is 4 spaces: 3 spaces with a size of 12x60 feet and 1 space measuring 12x50 feet. These loading spaces must be indicated on the site plan and must be marked by painted lines. Note that loading spaces must be at least 150 feet from any property zoned residential per UDO Section 15-5.0202.C.9. Loading spaces of this section are not intended for overnight parking unless a separate special use permit is granted.

Minimum Number of Required Off-Street Loading Spaces Accessory to Nonresidential Uses in Industrial Districts and Related Minimum Dimensional Requirements			
Gross Floor Area of Building/Use Served	Minimum Required Number of Off-Street Loading Spaces	Minimum Size of Required Off-Street Loading Spaces	Minimum Vertical Clearance Required for Each Off-Street Loading Space
5,000 to 10,000 square feet	1	10 feet x 35 feet	15 feet
10,000 to 25,000 square feet	2	12 feet x 40 feet	15 feet
25,000 to 40,000 square feet	2	12 feet x 50 feet	15 feet
40,000 to 100,000 square feet	3	12 feet x 60 feet	15 feet

The 4 requested loading zone spaces have been added to the site plan.

11. **Truck turning movements.** According to the project narrative (page 9) “RISE accommodates deliveries for our clients from trucks of all sizes”. Please add truck turning movements from the site entrance to required loading areas, then to the site exit for the largest truck size expected. See attached truck turning sketch for turn moving through the site.

12. **Truck parking.** Any overnight truck parking? Please note that according to UDO Section 15-5.0302.F: “Any vehicle over 8,000 pounds rated Gross Vehicle Weight may be parked in districts not previously mentioned in the normal course of business in conjunction with a commercial or industrial use of the property; however, any overnight parking shall be allowed only with a Special Use”.

No overnight truck parking is proposed.

13. **Driveway width.** According to UDO Section 15-5.0207.C: “Openings for vehicular ingress and egress shall not exceed 24 feet at the street right-of-way line and 30 feet at the roadway, unless a greater distance is approved by the Plan Commission in a non-residential district”. The proposed driveway is approximately 34-foot wide at the right-of-way line and 53-foot wide at the edge of Monarch Drive. You can either revise the driveway design or submit a letter requesting this waiver with the appropriate justification.

The currently proposed driveway width is requested as larger truck will need to access the site occasionally. A letter justifying this request is included with the resubmittal.

14. **Forklift spaces.** Any specific location for the forklifts mentioned in the project narrative? How many? In case of forklift spaces located on parking stalls, please deduct these spaces from the quantity of provided parking.

No outdoor forklift spaces are proposed. All onsite forklifts will be stored inside of building 15 and 16.

15. Any parking adjacent to buildings or along drive aisles? If so, please indicate location.

No parking in these areas is currently proposed.

16. Buildings on the eastern portion of the site (#62, #63, #64 and #85) are not close to parking areas. Any walkway between these buildings and the closest parking area?

This understood, however no additional walkways are being proposed.

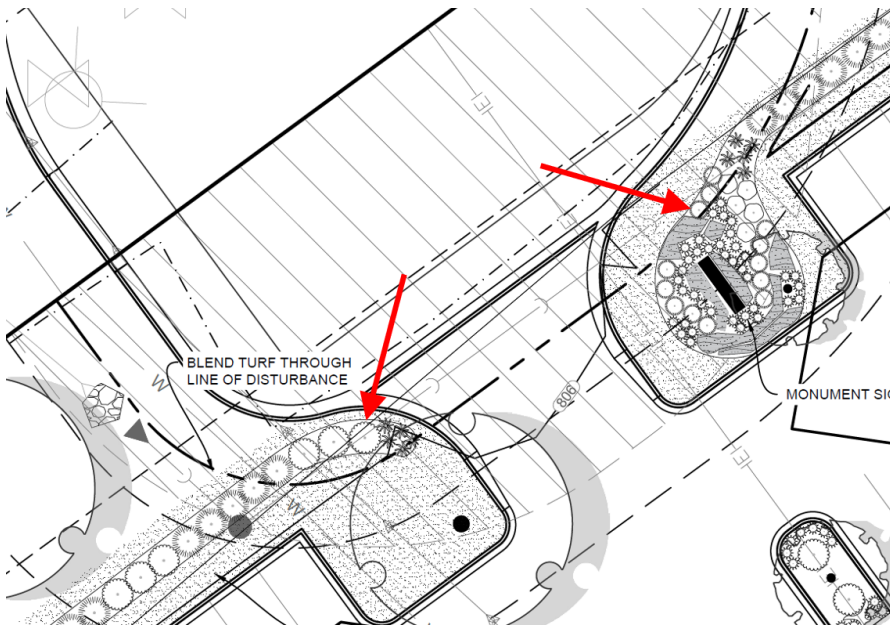
17. **Snow storage.** Pursuant to UDO §15-5.0210(B), please add a snow storage plan. Refer to this section for snow storage standards (attached). Please include the area intended for snow storage, note that a minimum area representing 10% of parking areas (including drives) must be provided as snow storage.

Snow storage locations are now shown on the landscape plans.

Landscape Plan

18. Please remove proposed landscape features from the future right-of-way area of Monarch Drive.

Landscape features have been removed from the future ROW area of Monarch Drive.



19. **Landscape buffering.** Pursuant to UDO Section 15-5.0301.D, “Bufferyards shall be required to separate different zoning districts from each other. Bufferyards function to eliminate or minimize potential nuisances such as dirt, litter, noise, glare of lights, signs, and unsightly buildings or parking areas, or to provide spacing to reduce adverse impacts of noise, odor, or danger from fires or explosions”. This requirement applies to the east property line because it is abutting residential zoning (R-2). City Development staff acknowledges the proposed trail easement along the east property line and the proposed storm sewer behind buildings #63 and #64, but the installation of landscape features (shrubs or trees) is still recommended in accordance with this UDO section. Existing vegetation may count towards buffering requirements as long as a tree survey is prepared for the landscape buffer area (25-foot wide), excluding the trail easement area.

City Development Staff is not recommending a landscape bufferyard to the south because existing wetlands and associated buffers and setbacks act as a buffer or barrier.

Additional proposed trees have been relocated into the bufferyard along the east side of the site to meet this requirement. A tree survey should not be necessary.

20. **Canopy/Shade trees planting size.** Per UDO Table 15-5.0302 “Minimum Number Plant Standard Plant Units” (below), the minimum planting size for canopy/shade trees is 2.5 inch caliper. Please revise the plant schedule (sheet L-1) accordingly.

Manufacturing (Industrial)		
Type	Planting Size	Minimum Quantity
Canopy/Shade Tree	2.5 inch caliper	1 per 10 provided parking spaces
Evergreens	4 feet tall	1 per 10 provided parking spaces
Decorative Trees	1.5 inch caliper	1 per 10 provided parking spaces
Shrubs	3 feet tall	1 per 10 provided parking spaces

Plant schedule has been updated as requested.

21. **Species of Plantings.** UDO Table 15-5.0302.F (below) sets forth a minimum number of each species planted. The proposed plant schedule (L-1) includes the planting quantity for each type (canopy, evergreen, ornamental) but it does not include the quantity of plantings of each species. In order to attest compliance with this requirement:

- Please indicate the planting quantity of each species. Note that no one species shall exceed 35% of species plated within a planting type.
- For evergreen trees, please add 1 species to meet the minimum number of different species.

Provided Plantings	Minimum Number of Different Species	Minimum Number of Each Species Planted
5 to 11	2	2
12 to 20	3	4
21 to 30	4	5
31 to 40	4	6
41 to 50	4	8
51 and above	4	10

Quantities have been updated as requested and are now included on the plans.

22. Pursuant to UDO Section 15-5.0302.I, the Landscape Plan must include the preparer’s name. Please add this information.

Preparer’s name has been added to the landscape plan as requested.

23. **Plant Replacement.** According to UDO 15-5.0303.G: “Any plant materials included in an approved landscaping plan that do not survive a plant establishment period of two years after installation shall be replaced with plant material(s) of the same or like species of equal size within the next planting season, but in any event, within six months of the plant's demise”. Please revise note 33 (sheet L-7), for a guarantee period of 2 years instead of 1 year.

Note has been updated accordingly.

Miscellaneous comments

24. **Building elevations.**

- The submitted application includes Elevations for Building 20, but this building is not indicated on the site plan. Please clarify.
- Please revise typo (Buidling).
- Are all buildings the same? Please provide building elevations for each building type.
- Please add information about building materials.

Please see attached, updated architectural plans and renderings for each building type.

25. **Lighting Plan.** No comments about the Lighting Plan.

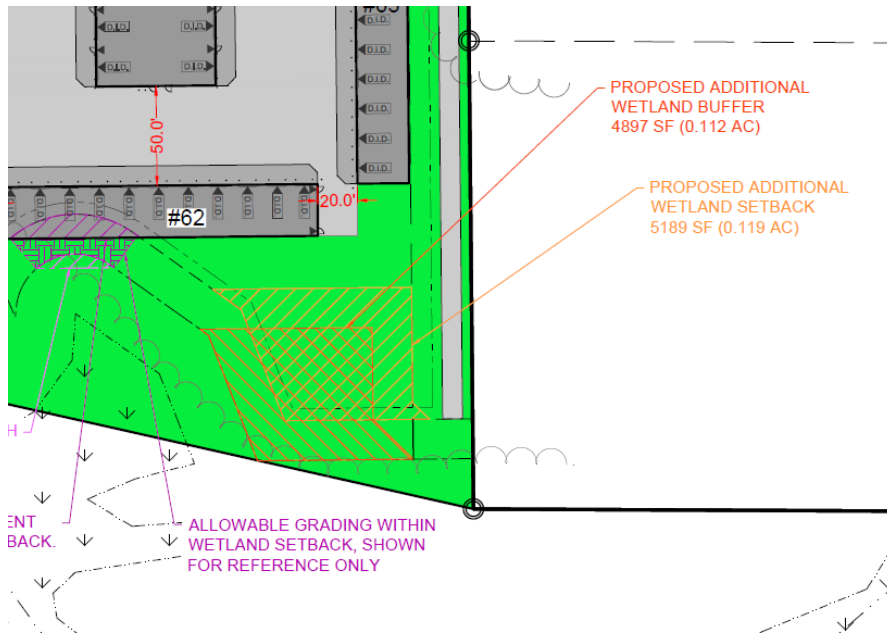
Understood, current lighting plan is included with this resubmittal.

26. **Fencing.** Please provide detail of proposed fencing and gate. What is the height of the proposed chain link fence?

Additional information added to the site plan sheets C-4 and C-5 regarding the fencing and gates. Out along Monarch Drive will consist of 6' tall Simtek Composite Privacy Fencing. The interior portion of the development will consist of 6' tall chain link fencing. Additional detail regarding the entry gate configuration has been added to sheet C-4.

27. **Natural resource mitigation areas.** Per Site Plan dated 1/12/22 submitted with the concurrent Natural Resource Special Exception application (below). A natural resource mitigation area is proposed near the southeast corner of the site, please indicate this area on the Site Plan or Landscape Plan.

Proposed mitigation area is included on the Site Plan as requested.



Engineering Department comments

28. *We have no objection to the proposed Site Plan Amendment. Please, see attached comments from Engineering in regards to the submitted proposed Engineering Plans.*

Fire Department comments

29. *I am assuming if significant straight truck traffic can get in and out, that it should not be a problem for our vehicles to get in and out, provided the fire lanes are maintained. There would need to be a Knox Box at the gate in addition to each building. Being that these will possibly not meet square footage thresholds for automatic sprinkler requirements by DSPS/IBC, and since they have potential for storage of a wide variety of product and commodity types. The fire department is requiring an additional hydrant at the southeast corner. I am not strict on exact location, so whatever is most practical for the designer would be OK.*

A new hydrant has been added at the southeast end of the site, south of Building 85A.

Other than that, standard FD requirements apply:

1. *Follow all relevant WI DSPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.*
2. *Pre-existing fire alarm and fire sprinkler systems shall be maintained in compliance with relevant code.*
3. *Fire Extinguisher placement as per NFPA 10.*
4. *Fire Department Connection (FDC), and hydrant placement and density must be acceptable to AHJ (applies to new construction).*
5. *At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.*
6. *Master Key set required for placement in Knox Box (if required).*
7. *Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>*
30. *From a firefighter safety standpoint, will there be any accessible listing of what tenants and might be commodities here at any given time?*

Yes, this can be provided once tenants fill the available spaces.

Inspection Services Department comments

31. *Inspection Services has no comments on the proposal at this time.*
32. *Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code.*

Understood.

Police Department comments

33. *The PD has no comment regarding this request.*



April 5, 2022

Members of the City of Franklin Plan Commission:

Please accept this letter as notification that RISE Commercial District would like to seek Plan Commission approval of two items that differ from the current City Unified Development Ordinance (UDO). This includes the allowable driveway width for the main (and only) entrance to the facility onto Monarch Drive, as well as a portion of the site omitting curb and gutter.

Per the City UDO (Division 15-5.0207), the allowable width at the Right of Way line is 24' and at the roadway is 30'. RISE is requesting approval for a driveway entrance that exceeds this requirement. The proposed driveway connection is 34' wide at the ROW line and 53' wide at the edge of Monarch Drive. This configuration is warranted to allow for large trucks (up to a 53' long trailer) entering and existing the facility to safely utilize the driveway at the same time. There is also a security gate proposed just past the proposed parking lot area that will require vehicles to stop for a bit prior to entering the rest of the site.

Also per the City UDO (Division 15-5.0302.E.1), curb and gutter is typically required for new developments. RISE is seeking to omit installing curb and gutter in some portions of the site. These areas are located inside the fenced-in area of the site, away from the Monarch Drive frontage, and not highly visible to traffic. These areas also do not need curb for drainage purposes. The main exterior parking lot along Monarch Drive will still include all new curb and gutter, however.

RISE ownership and the design team both certainly appreciate the Plan Commission's time and consideration of this request. Please let us know if you have any additional questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "JH/H".

Jeremy Haynes
Growth Manager

jeremy@risecommercialdistrict.com

317-563-5220



REGIONAL BUSINESS OPPORTUNITY

PREPARED BY

JIM R SAPP, PRESIDENT & CEO

jsapp@esapp.com

KYLE MCDONALD, CONTROLLER

kyle@risecommercialdistrict.com

CONSTRUCTION TO
PERMANENT FINANCING
FOR PHASE 1
FRANKLIN, WI



**DEVELOPING A MIDWEST REAL ESTATE GROUP OF INDUSTRIAL
COWAREHOUSING FACILITIES MAINTAINING 98% OCCUPANCY
SINCE 2008**



RISE Commercial District is expanding to Franklin, WI and looking for a financing partner.

1.79x Expected DSCR Post Stabilization
68% Expected Margin Post Stabilization

Financing Request

Phase 1 (2022)

71210 SqFt
\$10.3M Loan Request
15% Equity
25 Year Amortization

Phase 2 (2024)

60,300 SqFt
\$5M Loan Request
Guarantee Roll Off
25 Year Amortization



TABLE OF CONTENTS

- 04** CO-WAREHOUSING & INDUSTRY RESILIENCE
- 05** WAREHOUSING TRENDS IN THE NEWS
- 06** THE RISE PHILOSOPHY
- 07** GROWTH & EXPANSION
- 08** SITE SELECTION
- 09** BUSINESS MODEL
- 10** BUSINESS TRENDS
- 11** MEET THE TEAM
- 13** BRANDS WE SERVE
- 14** MARKET RESEARCH STUDY
- 16** SITE PLAN

CO-WAREHOUSING + INDUSTRY RESILIENCE

04

The idea of bringing people together to share resources, ideas and community is not a new one. There has been a resurgence of co-living with apartment and condo construction on the rise. Coworking has been a buzzword for the past 10 years with an estimated 20,000 spaces in the US.*

Cowarehousing takes the same concept of shared space and applies it to the business operations itself. E-commerce and increased to-your-door delivery of nearly every conceivable product, many times within hours of clicking the order button, has forced companies to increase their warehouse footprint and delivery efficiency.

Over the past 14 years of operation, RISE Commercial District has found the cowarehousing model to be resilient regardless of economic status. After weathering the 2008 recession and experiencing explosive growth through the 2020 pandemic, RISE Commercial District has discovered 3 keys to the Co-Warehousing Industry's resilience:

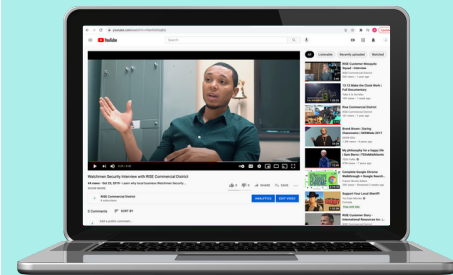
- In times of economic downturns, cowarehousing space allows larger companies to be more flexible and efficient with the space required to run their business operations through flexible lease terms and the all-inclusive business model.
- In times of economic growth, cowarehousing space allows growing companies to learn the ropes of supply chain management and business operations with the "training wheels" of flexible lease terms and the all-inclusive business model
- Finally, the network of locations with standardized amenities provides businesses with a built in low-risk, multi-site business model that allows for much faster regional growth and success.

To learn more about how the cowarehousing model impacts businesses, you can visit our YouTube channel to see video interviews with our customers, economic development directors and more.

*<https://drop-desk.com/coworking-statistics>

100

percent occupancy reached within 6 months of opening new locations in 2020.



asking rates, taking rates, occupancy trends and lease terms all moving in the right direction

WAREHOUSING TRENDS IN THE NEWS

05



The seismic shift of the US economy from retail sales to e-commerce sales has created a massive boom in the warehouse industry. With rising supply chain reliability concerns and increased consumer expectations, many companies are realizing the need to bring warehousing operations back to the US. What's more, companies have been forced to establish carefully selected regional warehouse hubs to meet increased deliverability demands.

These warehousing trends have affected RISE Commercial District in two distinct ways:

- The increased demand for warehouse space has driven the asking and taking rents of industrial space up substantially. At the same time, space has become extremely limited. This has created a new, greater demand for our facilities. Our rates rose 14% in 2021.
- The increased demand for regional hubs has created demand in a new vertical for RISE Commercial District. Larger companies looking to spread their warehouse space across multiple cities have found our space meets their needs.

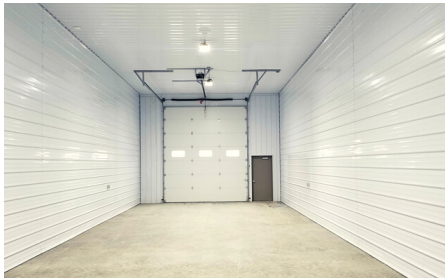
"Demand for industrial real estate is so strong that taking rents—the initial base rent agreed on by a landlord and tenant—are rising faster than asking rents, according to real-estate firm CBRE Group Inc. Industrial taking rents were up 9.7% in the first five months of 2021 compared with the same period last year, while industrial asking rents rose 7.1%, according to CBRE, which tracks 58 U.S. markets."

- Smith, Jennifer. "Warehouse Rents Surge on Bidding Wars for Scarce Space." <https://www.wsj.com/articles/warehouse-rents-surge-on-bidding-wars-for-scarce-space-11624386011>. Accessed August 2021.

THE RISE PHILOSOPHY

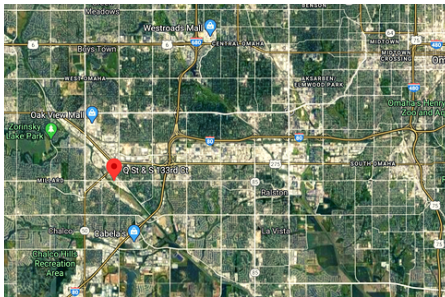
06

RISE Commercial District operates with three guiding principals that have led the company to experience not only substantial growth but remarkable profitability as well.



KEEP STANDARDS AND EXPECTATIONS FOR OPERATIONS AND CUSTOMERS HIGH.

- By charging premium rates for our premium offerings, our facilities remain clean and well-maintained.
- The use of conference rooms, break rooms, forklifts and dumpster areas are monitored by the RISE Managers.



MAINTAIN A LASER FOCUS ON AREA DEMOGRAPHICS, SITE TRENDS AND INDUSTRY ACTIVITY.

- Each location undergoes rigorous research before being selected as a viable location option.
- Customer feedback is regularly solicited and analyzed, including competitor and satisfaction details.

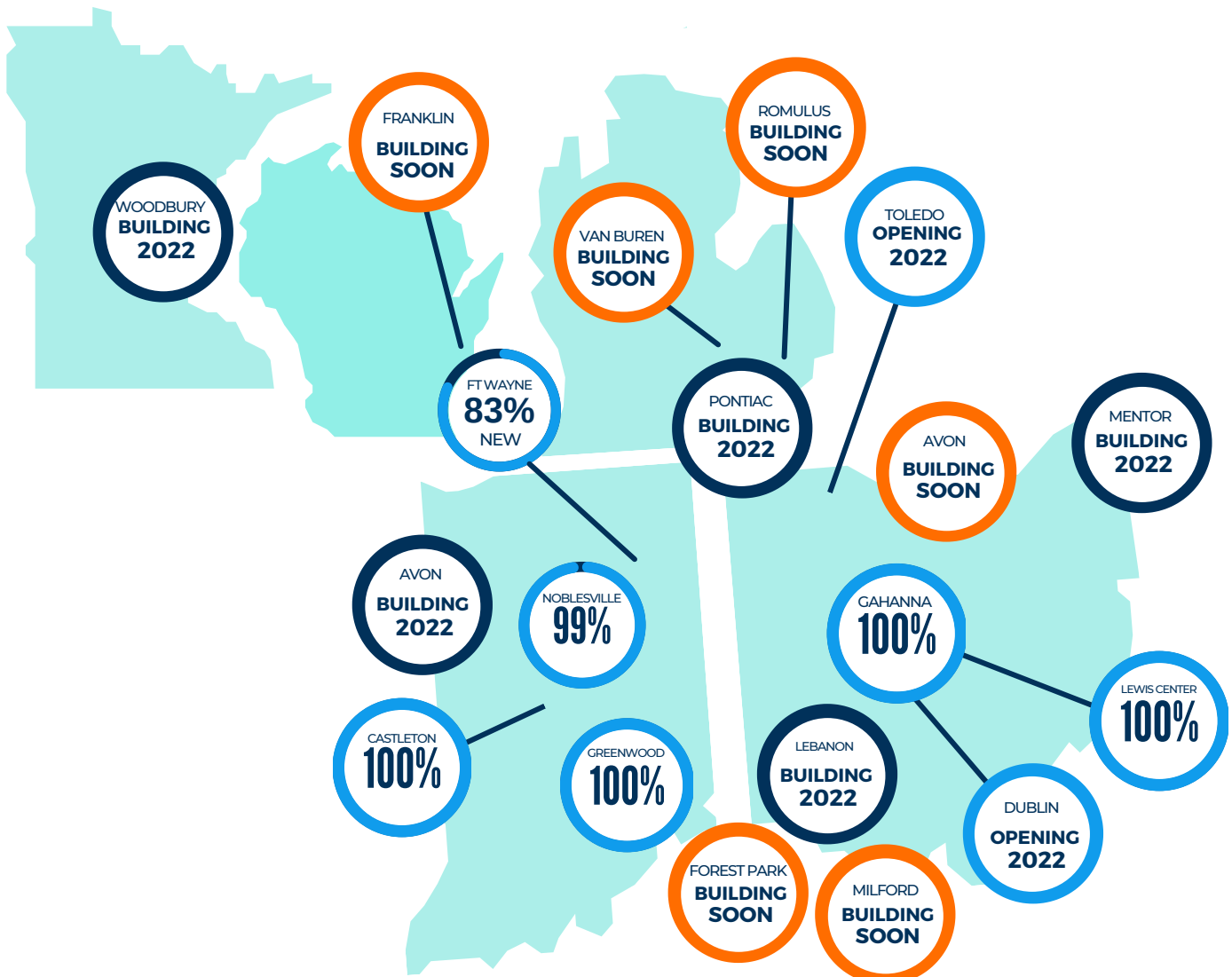


INVESTMENT IN THE PEOPLE AROUND YOU - BOTH CUSTOMERS AND FELLOW EMPLOYEES.

- Turnover rates for customers and employees are well below standard rates creating a stable environment for growth.
- All feedback and ideas are treated with respect and openness whether from customers or employees.

GROWTH & EXPANSION

Over the last 14 years, RISE Commercial District has experienced solid growth. Since 2018 when aggressive expansion efforts began, each new location has been more successful than the last. RISE has become the fastest growing companies of its kind in the midwest region, making the Indianapolis Business Journal's Fast25 List of growing companies.



IN OPERATION

CASTLETON, IN
FT WAYNE, IN
GAHANNA, OH
GREENWOOD, IN
LEWIS CENTER, OH
NOBLESVILLE, IN
TOLEDO, OH
DUBLIN, OH

UNDER CONSTRUCTION

AVON, IN
LEBANON, OH
MENTOR, OH
PONTIAC, MI
WOODBURY, MN

CONTRACT/NEGOTIATIONS

AVON, OH
FOREST PARK, OH
FRANKLIN, WI
MILFORD, OH
ROMULUS, MI
VAN BUREN, MI
LOUISVILLE, KY
NASHVILLE, TN

SITE SELECTION

For RISE, location, as in many businesses, is king. RISE does not need expensive retail frontage. An average RISE Commercial District site is 12-15 acres of industrial-zoned land within several miles of interstate access. In fact, there is a certain level of perceived safety for businesses when our facilities are located slightly off main thoroughfares.

There are several factors that are critical to the success of each RISE location:



No. 01 — **ACCESS TO KEY HIGHWAYS**

Accessibility for employees, suppliers and business owners alike is critical for the success of each RISE location.



No. 02— **CONVENIENCE OF OPERATIONS**

The convenience of food, gas and a large, box hardware location is also paramount to our tenants and their business operations.



No. 03— **IN AREA OF ECONOMIC VITALITY**

Many of the business owners who lease from RISE live in these areas and many of their customers live in these areas too. So, convenience to customers and home are extremely important.

SITE DETAILS

- 18 buildings of warehouse, office and flex space on 23.08 acres
- 135,110 sq ft of rentable space
- Home to 120 businesses who employ 600 local individuals, paying approximately \$20 million in annual salaries

BUSINESS MODEL

09

RISE Commercial District has intentionally focused on creating a brand experience that is consistent across each location. The RISE brand places emphasis on providing an all-inclusive experience that levels the playing field for businesses both small and large and provides everything needed operationally to conduct businesses without taking on added risk or obligation. RISE is a premium brand and continues to charge premium rates.

There are 4 key factors that differentiate RISE Commercial District from competitors:

Key Factor	Importance	Impact
Flexible Lease Options	Businesses need customizable, short-term flex space for their changing needs.	<ul style="list-style-type: none">• Businesses sign 1-2 year leases at premium rates• Most businesses continue to lease additional space.
Business Amenities	The all-inclusive access to tools and services makes doing business easier	<ul style="list-style-type: none">• Businesses can grow faster with less overhead and more efficiency
Straight Truck Accessible	RISE accommodates deliveries for our clients from trucks of all sizes.	<ul style="list-style-type: none">• Businesses can better manage inventory, delivery schedules and costs.
Facility Amenities	Facilities are complete with bright LED lights, clean restrooms, security and electricity.	<ul style="list-style-type: none">• Businesses can operate during the shift that works best for their business with no worries of safety or accessibility.

BUSINESS TRENDS

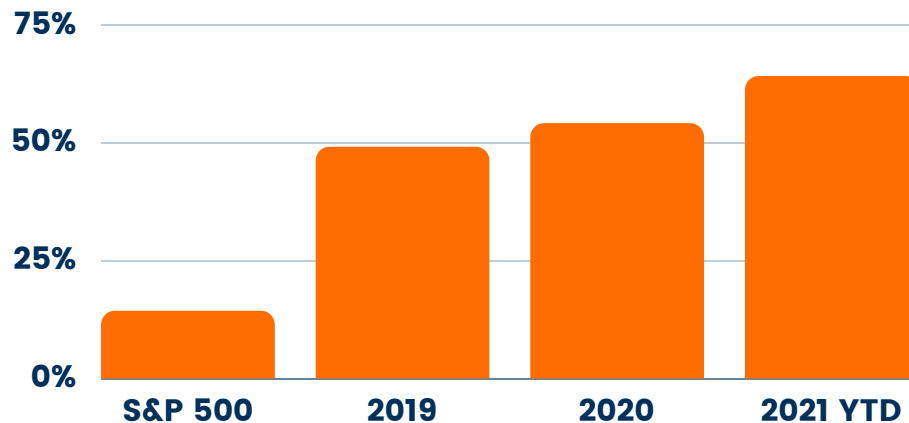
10

RISE Commercial District spends significant time and resources on the research and development phase of each new facility. Additionally, the executive team is constantly assessing business data to determine occupancy trends, changes in the market, operational efficiency and strategic opportunities to accelerate growth.

With data driving decision making, we've seen facilities fill faster with longer lease terms, higher price per square foot rates and lower customer acquisition costs.

The added efficiencies also produce strong EBITDA to revenue ratios at all locations.

EBITDA TRENDS



98%

after stabilization all sites maintain 98% occupancy



the most recent location achieved positive P&L after 3 months of being fully opened.

PLANNED GROWTH

Based on the brand's meticulous research and analysis, the company has developed a process for entering a new market that continues to show impressive results. The planned approach includes specific search engine optimization tactics for new markets, local press campaigns, relationships with local economic development departments and social media campaigns.

MEET THE TEAM

11



JIM SAPP



ADAM HARDEBECK



KYLE MCDONALD



ALLISON BARBER



JOSEPH BACH

JIM SAPP - Jim attended the University of Nebraska and MIT Entrepreneurial graduate program. He was awarded the Ernest and Young, Entrepreneur of the Year for the Midwest and the National winner of the Blue Chip Award from the Chamber of Commerce. His book, "Starting Your First Business" won best business book. His RISE superpower would be casting visions, taking calculated risks, and putting together a solid team.

ADAM HARDEBECK - Adam graduated from Purdue University with a bachelor's degree in Selling & Sales Management. He has two kids and a dog who thinks he's a cat. In his free time, he enjoys tinkering in the garage. His primary roles are to oversee operations and assist with expansion. His RISE superpower would be mind reading. He can peer into a business owner's eyes and know they want to be a RISE Commercial District customer.

KYLE MCDONALD - Kyle received his bachelor's degree in Economics from Purdue University and his master's degree in Accounting from Southern New Hampshire University. He is happily married with a young son and a schnauzer-poodle mix. In his free time, he likes to study for his upcoming CPA exam. At RISE, Kyle develops projections and revenue models for new and existing facilities and put controls in place to ensure operations at each location are operating in the black. His RISE superpower would be showing how RISE is a great investment.

ALLISON BARBER - Allison attended the University of Indianapolis and studied Marketing. She has two energetic, handsome boys. Her husband pastors a church in Saraland, Alabama, so much of her free time is spent with the members of Living Hope. She works as the Sales and Marketing Manager. Allison develops the RISE brand in existing territories as well as potential expansion locations. Her RISE superpower would be making processes more efficient and making things look pretty.

JOSEPH BACH - Joseph graduated from Winthrop University and studied Finance. He has two kids. He likes to run when it's warm outside, cook, try new restaurants, and spend time his family in his free time. As the Sales Account Manager his main job is to bring on new business and handle all prospect relationships until they become a RISE tenant. His RISE superpower is making customers feel like they can ask him anything.

PROFESSIONAL TEAM

12



ANDY CASH



DOUGLAS LATHAM



PATRICK ROONEY



RICHARD LASHLEY



MARTIN ALWIN

ANDY CASH- Andy graduated from Purdue University. He has two children. In his free time, he enjoys running, go-kart riding and bicycling. He works for Rylinn Engineering and his role at RISE is the Site Designer. Andy creates prompt and accurate design plans for the office buildings. His RISE superpower would be identifying the best scale, design, location, and organization of our construction projects.

DOUGLAS A. LATHAM, CPA, CGMA - Doug is the owner of an accounting firm serving real estate, retail, wholesale, and service industries. With over 30 years of financial and accounting experience, he has been the interim CFO for several medium market clients. He has known and worked with Jim Sapp for over 28 years. He provides CSS Services, Inc. and the Rise family of companies with business consulting, business structure, income tax consulting and preparation services. He is a current member of the American Institute of Certified Public Accountants.

PATRICK ROONEY - Patrick has a general practice law firm concentrating in real estate, business/corporate law transactions and civil litigation. He has helped negotiate and close complex commercial transactions and provides assistance with all aspects of the transaction, starting with the formation of the corporate entity, then working with lenders, title companies, surveyors, and tenants in order to acquire, finance, develop, rezone etc. the commercial real estate.

RICHARD LASHLEY- Richard is a CPA who began his career at KPMG in 1984 after receiving an MBA in Accounting from Rutgers University. Mr. Lashley helped form the RISE Commercial Self-Storage Fund #1, LLC ("RISE Fund #1"), in early 2020 to co-invest alongside Mr. Sapp. He currently serves on the board of Banc of California (NYSE: BANC), a \$8 billion in assets bank in Southern California, where he is Chairman of the Audit Committee.

MARTIN ALWIN - Martin graduated from Lawrence University with a Bachelors in Economics then received his MBA from the University of Chicago Booth School of Business. He is the "RISE Fund Manager" as part of the RISE Fund #1 . Prior to joining PL Capital in 2018 as a Senior Analyst, Mr. Alwin was a successful financial analyst and investment banker at several investment banks, most recently at Piper Jaffray & Co.

BRANDS WE SERVE

12

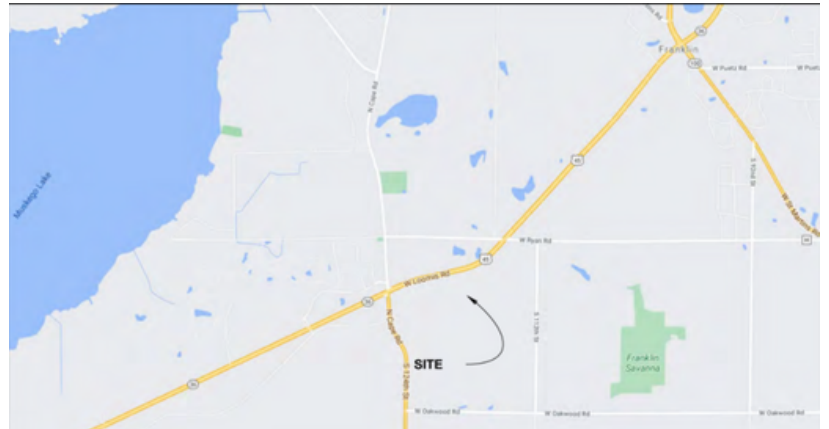
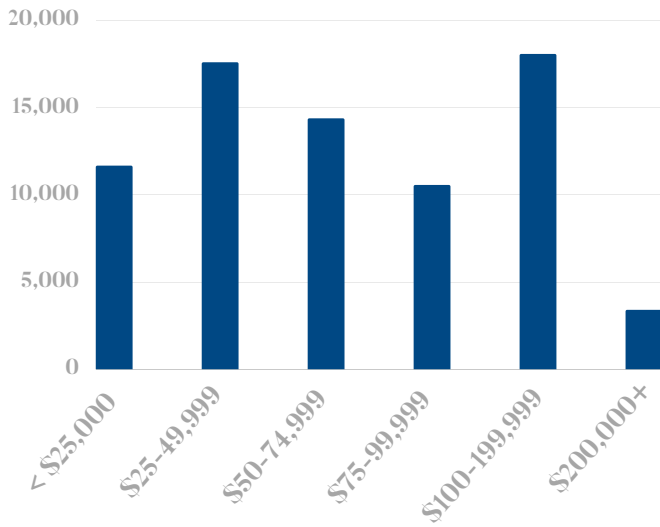


RISE BY INDUSTRY

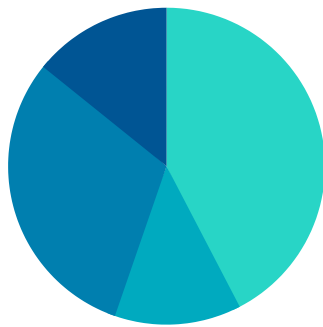
RISE Commercial District serves businesses across many industries. Our facilities are home to non-profit organizations, Fortune 500 companies, business franchises and entrepreneurs. RISE continues to serve the healthcare, home improvement, IT, retail and distribution industries.

Demographic Research

INCOME

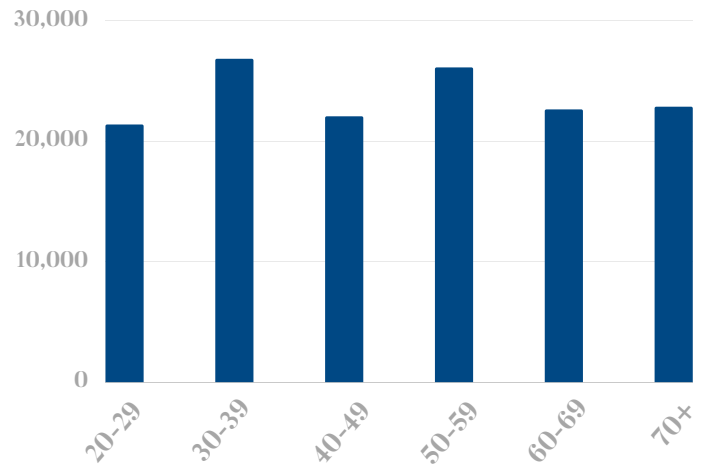


EDUCATION



- HS GRAD OR EQUIV
- ASSOCIATE'S DEGREE
- BACHELOR'S DEGREE
- MASTER'S OR EQUIV DEGREE

AGE





RISE Commercial District looks to the demographic profile of a region to determine the site's potential for success. Based on thorough customer demographic research, the company knows the best customers are 35-64 years old, have a higher household income, and generally, have at least a bachelor's degree. Additionally, business owners look for a warehouse space that is 5-10 miles from their primary residence.

With that, the business community is desperately searching for flex spaces with 24/7 access, video monitored security, a logistically convenient location, and the ability to process shipping and receiving of trucks and trailers.

And these businesses aren't just window-shopping. They're paying top dollar for this sacred space that literally provides the lifeblood their companies so critically need.

The RISE Commercial District model capitalizes on both industry trends, positioning itself as first-to-market in an emerging industry. They educate and facilitate business growth in the local business community. The company educates businesses on resources available both through the organization and through relationships built with the greater business community at large.

RISE facilitates business growth by providing flexible office and warehouse space with short term, scalable leases. The company is keenly aware of the tendencies of entrepreneurs – work alone, take risks, learn from failure.

The Franklin site is located just southeast of W Loomis Rd and N Cape Rd at Loomis Park. With access, income, education and being first-to-market in the area, RISE Commercial District's success in this undertaking is assured.



A NEW INDUSTRY: COWAREHOUSING



Cowarehousing takes the concept of shared space and applies it to business operations itself.

The idea of bringing people together to share resources, ideas and community is not a new one. There has been a resurgence of co-living with apartment and condo construction on the rise. Coworking has been a buzzword for the past 10 years. Cowarehousing takes the same concept of shared space and applies it to the business operations itself. And it's proving to be needed and lucrative.

Over the past 8-10 years the business world has been adjusting to using smaller flex spaces for affordable, direct deliveries to consumers and closer access to Amazon warehouses. The great recession of 2008 taught both Fortune 500 companies and entrepreneurs that large, long-term leases on warehouses are not only very expensive but for the most part, are not needed in the new world of technologically-advanced logistics.

With increased to-your-door delivery of nearly every conceivable product that a consumer can dream up- many times within hours of clicking the order button - many retailers are being forced to downsize or shut their doors in concession to the warehousing giants Amazon, Chewy, Wayfair and the like.

This logistics lesson has produced explosive growth opportunity and exponential demand for small, short-term flex spaces, a reward we have reaped at our multi-location business operating in two states.



COWAREHOUSING CONTINUED

The business community is desperately searching for small flex spaces with 24/7 access, video monitored security, a logistically convenient location, and the ability to process shipping and receiving of trucks and trailers.

And these businesses aren't just window-shopping. They're paying top dollar for space that literally provides the lifeblood their companies so critically need.

The RISE Commercial District model capitalizes on both industry trends, positioning itself as first-to-market in an emerging industry. We facilitate business growth in the local business community. We educate businesses on resources available both through our organization and through relationships we build with the greater business community at large.

We facilitate business growth by providing flexible office and warehouse space with short term, scalable leases. Finally, once a business has reached their potential, they often take the revenues they were investing in our facilities and find their own footprint in the local business community, boosting the local economy.

We are keenly aware of the tendencies of entrepreneurs - work alone, take risks, learn from failure. Our goal is to run alongside our entrepreneurs and provide resource support through our facility options and our educational tracts .

BRANDS WE SERVE



RISE BY INDUSTRY

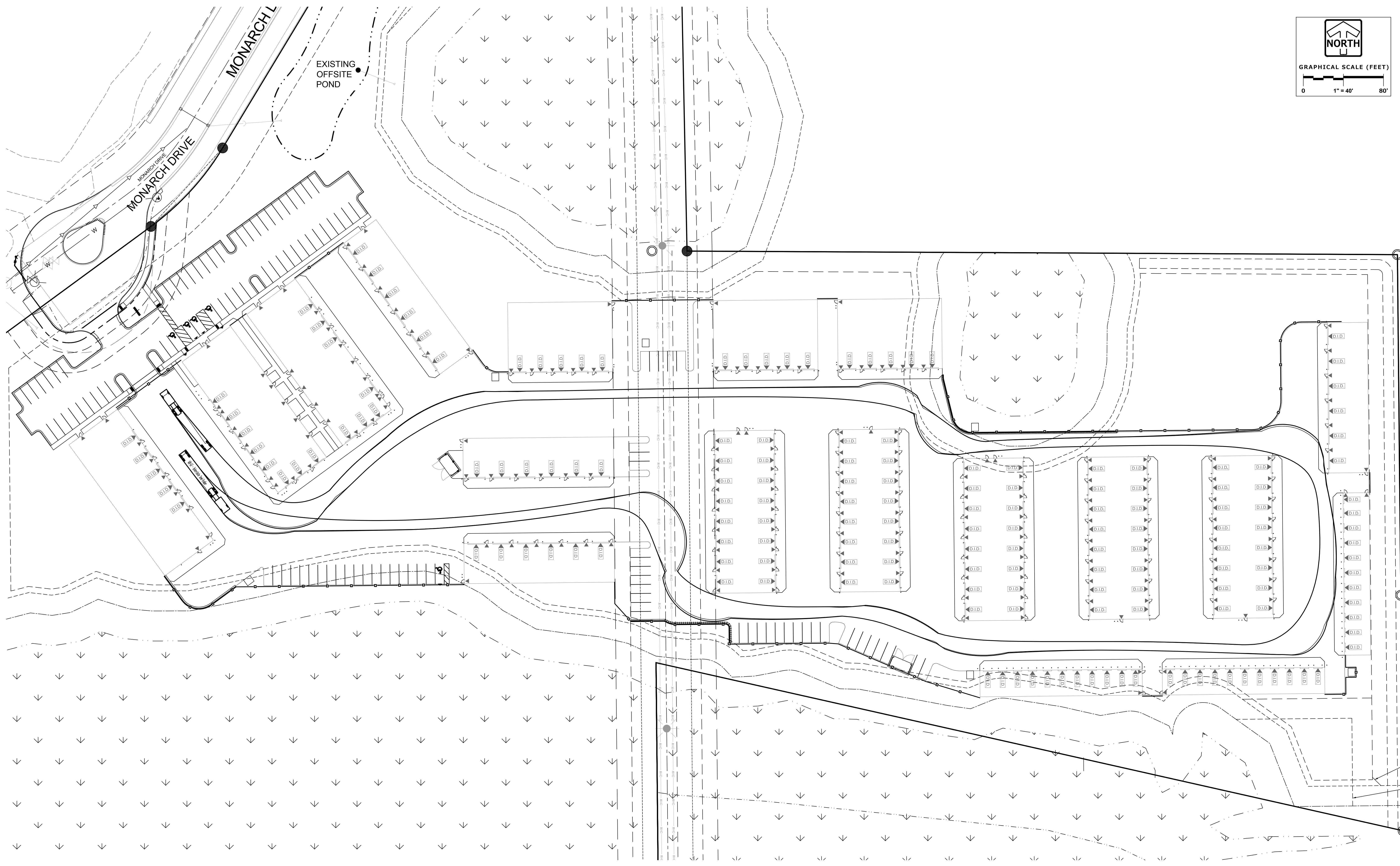
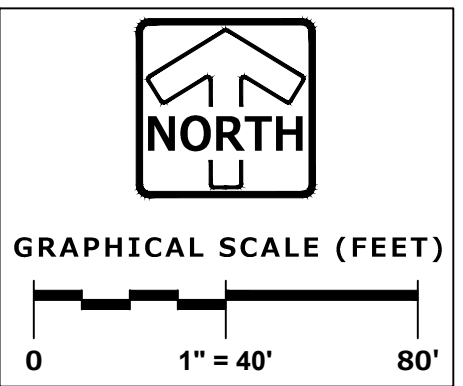
RISE Commercial District serves businesses across many industries. Our facilities are home to non-profit organizations, Fortune 500 companies, business franchises and entrepreneurs. RISE continues to serve the healthcare, home improvement, IT, retail and distribution industries.

TYPICAL TENANT MIX

COMPANY NAME	INDUSTRY	ITEMS WAREHOUSED
Verizon	IT	Electronics
McDonalds	Hospitality	Restaurant Equipment
AT&T	IT	Electronics
Kroger	Pharmacy	Inventory for distribution
Girls Scouts of America	Hospitality	Supplies and materials
Community Health Network	Medical	Building Materials
Car Group Holdings	Wholesale	Automobile for transport
Centene	Medical	Medical Equipment
Benco Dental Supply	Medical	Dental Products
Enviroscapes	Landscaping	Landscaping Equipment
National Carpet Mill	Flooring	Carpet/Tile Equipment
Efurniture	E-Commerce	Office Furniture
Flooring International	Flooring	Flooring samples
College Hunks	Consumer service	Boxes/Moving supplies
My Movers	Consumer service	Boxes/Moving supplies
Circle City Star	Equipment	Restaurant Equipment
JLBS	Remodeling	Granite
Cummings	Automotive	Equipment/Supplies
Sisters in Style	E-Commerce	Women's Apparel
Event One DJ	Entertainment	Music Equipment
Masterspas	Wholesale	Spas
Best Planet	Wholesale	Plumbing supplies
Lifestyle Scooters	Wholesale	Scooters
Capehart Landscape	Landscaping	Work Materials
Best Deals	Wholesale	Electronics
E & C Custom Framing	Construction	Framing equipment
Screen Mobile	Service	Screens
Smart Pergola	Service Construction	Pergolas
Century Renovation	Service Construction	Construction Materials
Caplinger Fish	Wholesale	Restaurant Equipment
Red Wing Shoes	Foot Apparel	Mobile Store/Shoes
Gable Elevator	Service Construction	Equipment/Supplies
Reli Electric	Service	Equipment/Supplies
Knuth	HVAC Service	Equipment/Supplies
The Glass Guru	Service Construction	Equipment/Windows/Doors
Bell Plumbing	Commercial Construction	Building materials
International Resouces	E-Commerce	Inventory/Shipping
Wert Electric	Service	Equipment/Supplies
Sweet Olive Company	E-Commerce	Photo Studio/ Clothing
Mastec	Telecommunications	Equipment/Tools
American Cable & Telephone	Telecommunications	Equipment/Tools

TYPICAL TENANT MIX CONTINUED

COMPANY NAME	INDUSTRY	ITEMS WAREHOUSED
Jerky Snob	E-Commerce	Distribution
Glass Guru	Service	Equipment/Supplies
Full Scale Plumbing	Service	Inventory/Materials
Rowless Event Services	Service & Hospitality	Event Storage
Lighthouse Lighting	Service	Inventory
Indiana Wholesale Deals	Wholesale	Distribution
Reeder Boys	Landscaping	Equipment Storage
Final Clean Corp,	Service	Cleaning Supplies
Fox Roofing Indy	Service	Material Storage
Hamilton Facial Plastic Surgery	Service	Equipment Storage
Desert Sky Fitness	Wholesale	Equipment Storage
Phanomen Design	Design	Inventory Storage
Hoosier Skylights	Installation	Inventory Storage
Indy Jumps Around	Service	Inventory Storage
Hasse Racing	Events	Equipment Storage
Reed Roofing	Service Construction	Building Materials
Total Development Systems	Construction	Boring Equipment
Spaces Lawn	Landscaping	Landscaping Equipment
Mosquito Joe	Pest Removal	Equipment
Mack Landscapes	Landscaping	Trailer/Equipment
Atmospheres Indy	Event Decorating	Supplies/Materials
AAA Interstate Transportation	Trucking	Equipment Storage
Northstar Communications	Service Construction	Materials/Equipment
Deal Shop Center	E-Commerce	Furniture
Full Circle Liquidators	E-Commerce	Inventory
Progressive Fastening Systems	Service Construction	Supplies/Materials
Flock Safety	Service	Materials
The Sneak Peek	Foot Apparel	Shoes/Supplies
Auralex Acoustics	Service	Audio Materials
Industrial Water Consulting	Wholesale	Materials
Simply Home Indy	E-Commerce	Tools/Equipment
Burrito Jumbo Bait	E-Commerce	Inventory, Equipment
Wake Life	E-Commerce	Materials/Equipment
Unique Auto Styling	Consumer Service	Equipment/Supplies
Shoreview	Medical	Medical Supplies
Mr. Handyman	Service Construction	Construction Materials
Climate Heating & Cooling	Service	Materials/Equipment
Flat Roof Pros	Construction	Materials/Equipment
Metal Eagle Machining & Tools	Manufacturing	Equipment/Tools
Birchfield Landscape	Landscaping	Landscaping Equipment
American Awning & Sign	Light Manufacturing	Material Storage



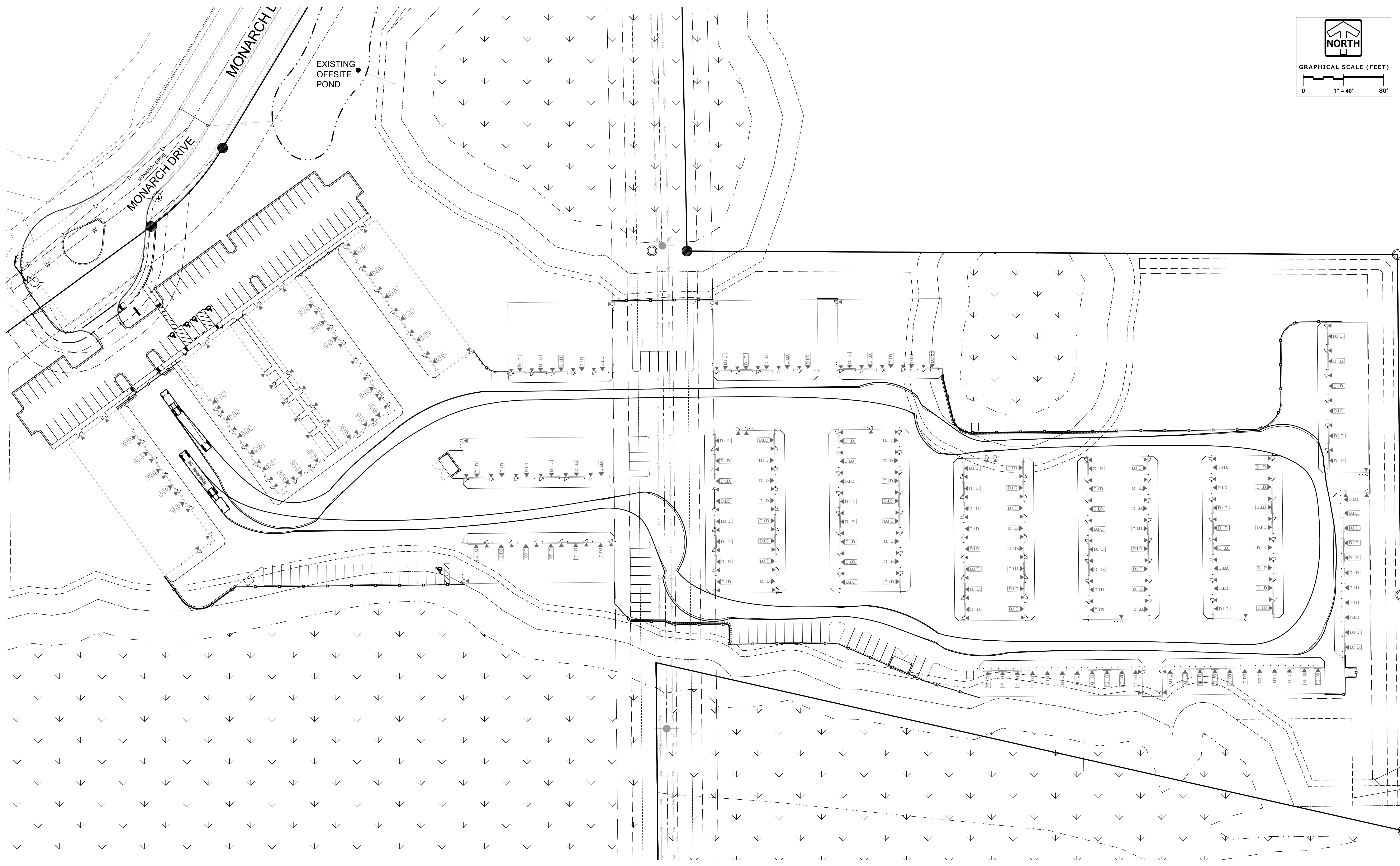
MONARCH L

MONARCH DRIVE

EXISTING OFFSITE POND

W

W





RISE Franklin, LLC. Build Order / PHASE 1 Building Layouts

RISE COMMERCIAL DISTRICT West Monarch Dr. Franklin, WI 53132

Construction Management



Call Brent Kuhn for information 317-710-7827

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LEGEND

- *FINAL PAVEMENT SECTIONS TO BE PROVIDED BY GEOTECHNICAL ENGINEER**
- LIGHT DUTY PAVEMENT**
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 3-1/2" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (2-1/2" 3 LT 58-28 S)
 - UPPER LAYER (1-1/2" 5 LT 58-28 S)
 - HEAVY DUTY PAVEMENT**
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 5" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (3" 3 MT 58-28 S)
 - UPPER LAYER (2" 4 MT 58-28 S)
 - CONCRETE PAVEMENT (CONCRETE APRONS)**
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH #6@6 GAUGE STEEL WESH)
 - CONCRETE SIDEWALK**
 - 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 5" PCC (646 WELDED WIRE FABRIC PER RACI 315-92)
- 4" SOLID WHITE STRIPE**
 - 4" DIAGONAL AT 45° SPACED 2' O.C.**
 - R7-8 HANDICAP PARKING SIGN (SEE DETAIL)**
 - BOLLARD TO BE USED WHEN PLACED IN PAVEMENT**
 - ADA STALL INSIGNIA**
 - DETECTABLE WARNING PLATES (SEE DETAIL)**
 - 18" CURB & GUTTER (SEE DETAIL)**
 - 18" REVERSE CURB & GUTTER (SEE DETAIL)**
 - TAPER CURB HEAD (SEE DETAIL)**
 - INTEGRAL CURB AND SIDEWALK (SEE DETAIL)**
 - BOLLARD**
 - CHESTERFIELD CERTAGRAN ARCTIC BLEND 6" FENCE**
 - CHAIN LINK FENCE**
 - PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)**
 - MAN DOOR**
 - OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)**

- Phase 1 Build Order:**
1. Building 15
 2. Building 21 (A)
 3. Building 51 (B)
 4. Building 61
 5. Building 71
 6. Building 72
 7. Building 81 (B)
 8. Building 82 (A)
 9. Building 83 (D)

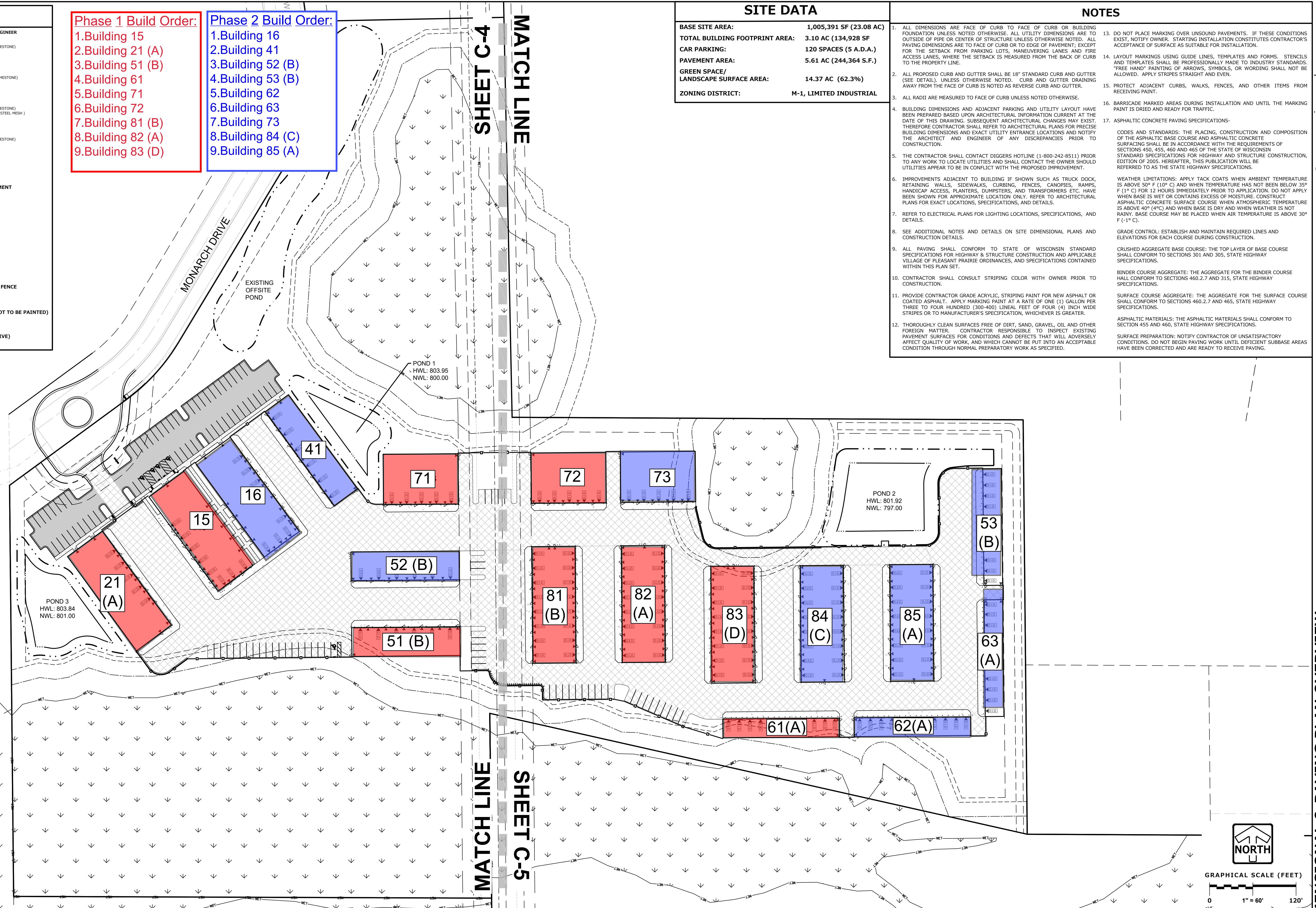
- Phase 2 Build Order:**
1. Building 16
 2. Building 41
 3. Building 52 (B)
 4. Building 53 (B)
 5. Building 62
 6. Building 63
 7. Building 73
 8. Building 84 (C)
 9. Building 85 (A)

SITE DATA

BASE SITE AREA:	1,005,391 SF (23.08 AC)
TOTAL BUILDING FOOTPRINT AREA:	3.10 AC (134,928 SF)
CAR PARKING:	120 SPACES (5 A.D.A.)
PAVEMENT AREA:	5.61 AC (244,364 S.F.)
GREEN SPACE/ LANDSCAPE SURFACE AREA:	14.37 AC (62.3%)
ZONING DISTRICT:	M-1, LIMITED INDUSTRIAL

NOTES

- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
- ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
- ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
 CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
 WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
 SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
 ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.



DESIGNED: DCC
 DRAFTED: DCC
 REVIEWED: MAC

PLAN | DESIGN | DELIVER
 www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
 20725 WATERTOWN ROAD, SUITE 300
 BROOKFIELD, WI 53186
 (262) 754-8888
 CHICAGO | MILWAUKEE | NATIONWIDE

LOT 84 RISE COMMERCIAL DISTRICT

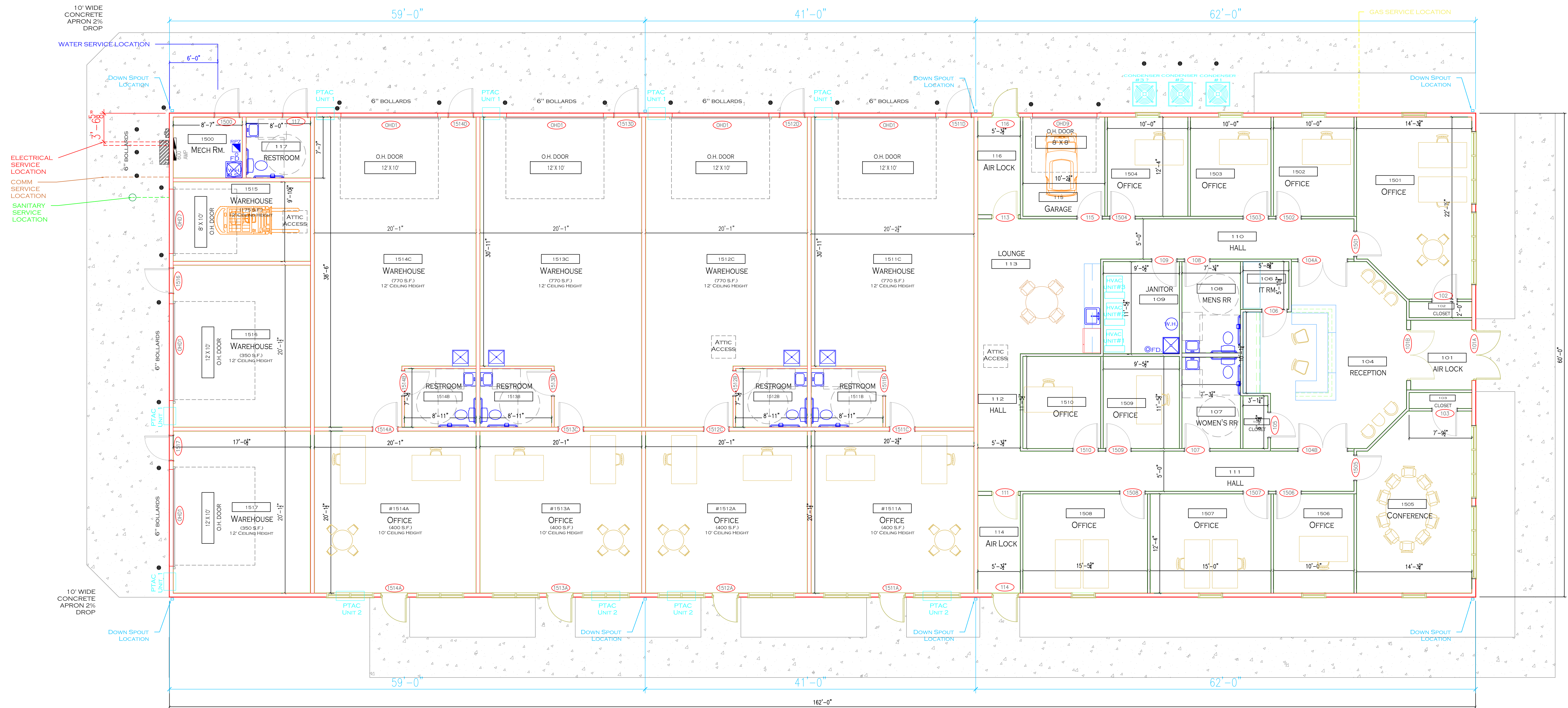
WEST MONARCH DRIVE, FRANKLIN, WI 53132

SITE DIMENSIONAL & PAVING PLAN OVERVIEW

REVISIONS		REG JOB No.	MAC	SHEET
		809.908	MAC	C-3
				C-21

START DATE: 01-12-22
 SCALE: 1" = 60'

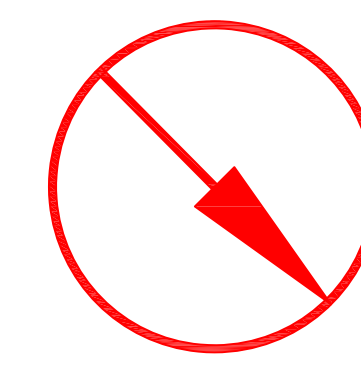
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BUILDING 15 PHASE I

FRANKLIN, WISCONSIN

FLOOR PLAN LAYOUT



NORTH

BUILDING NOTES:

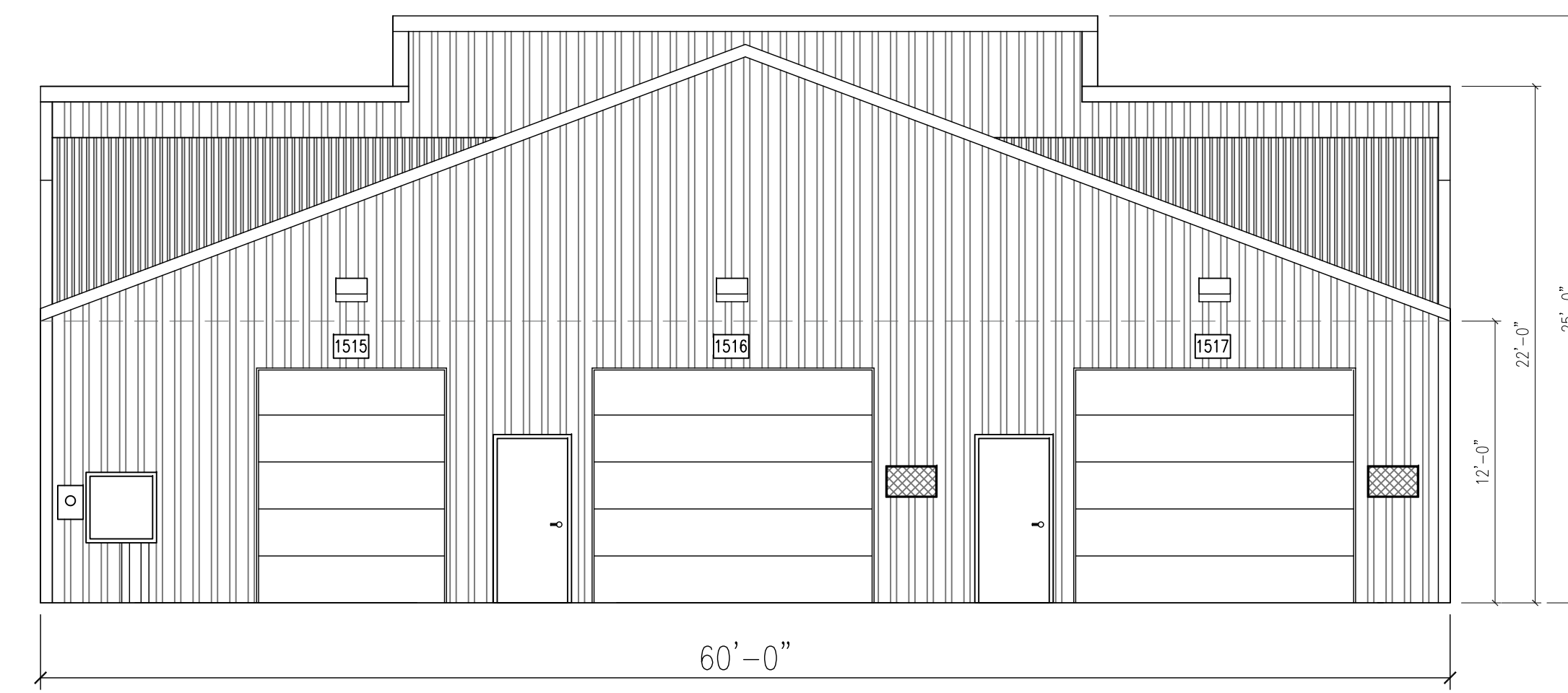
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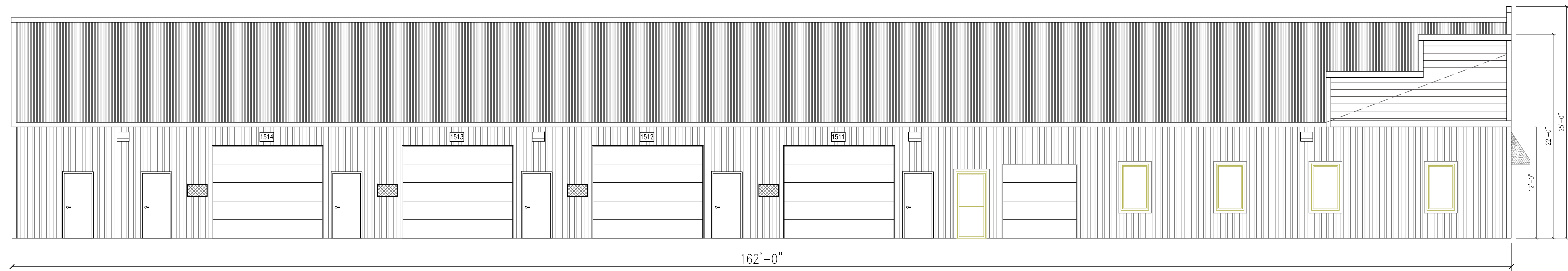
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



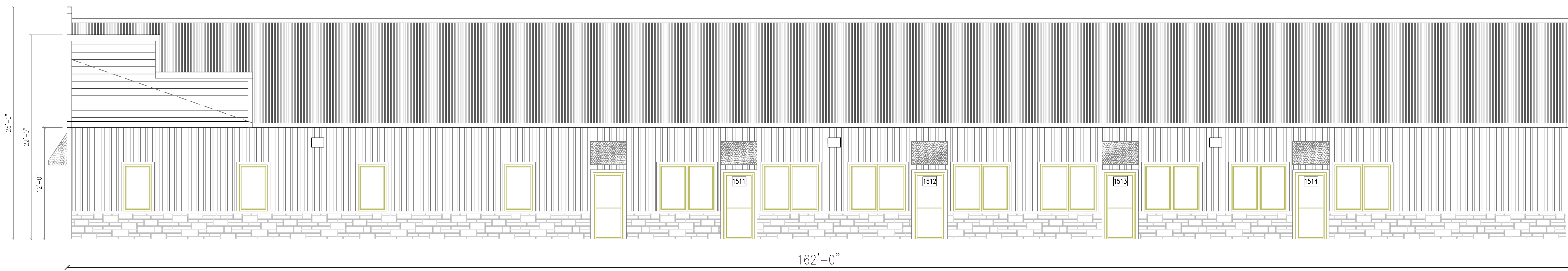
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



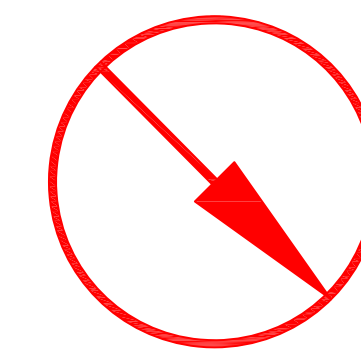
WEST ELEVATION



BUILDING 15
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



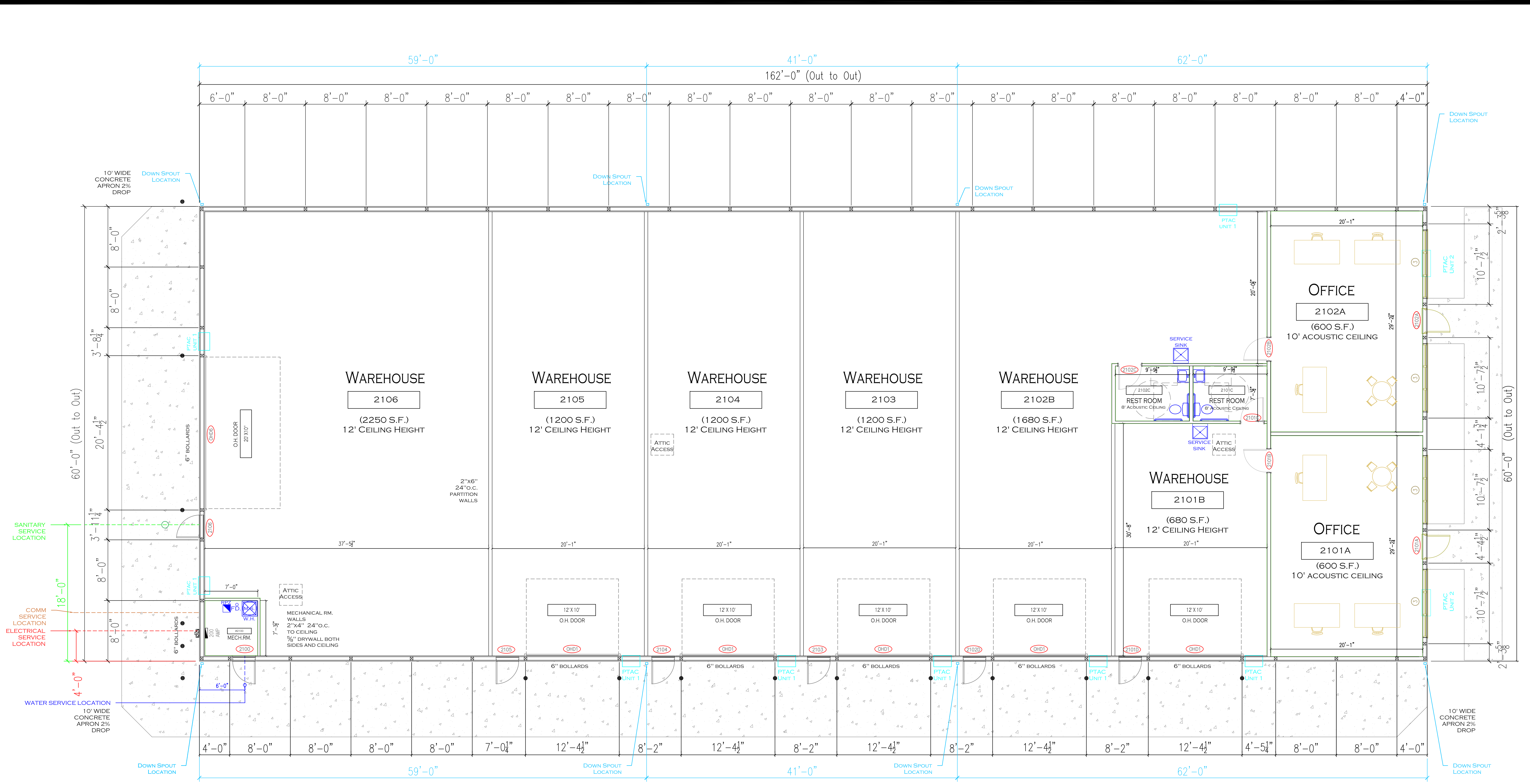
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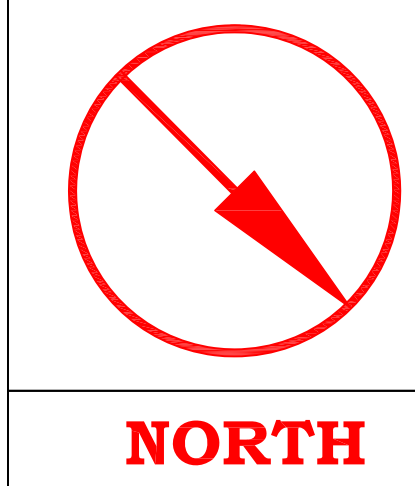
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INDIANAPOLIS, IN 46250



BUILDING 21A
PHASE I

FRANKLIN,
WISCONSIN

FLOOR PLAN
LAYOUT

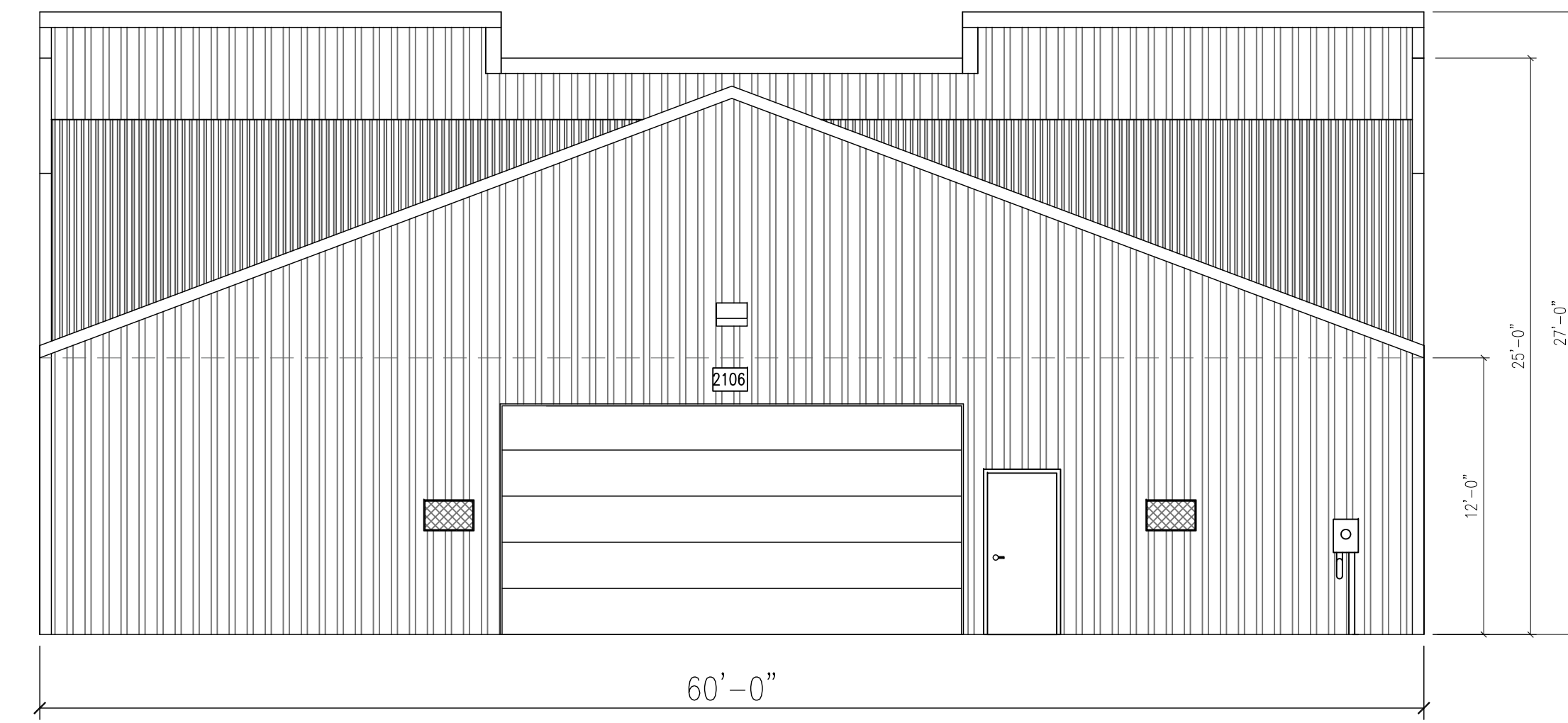


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REVISED:	

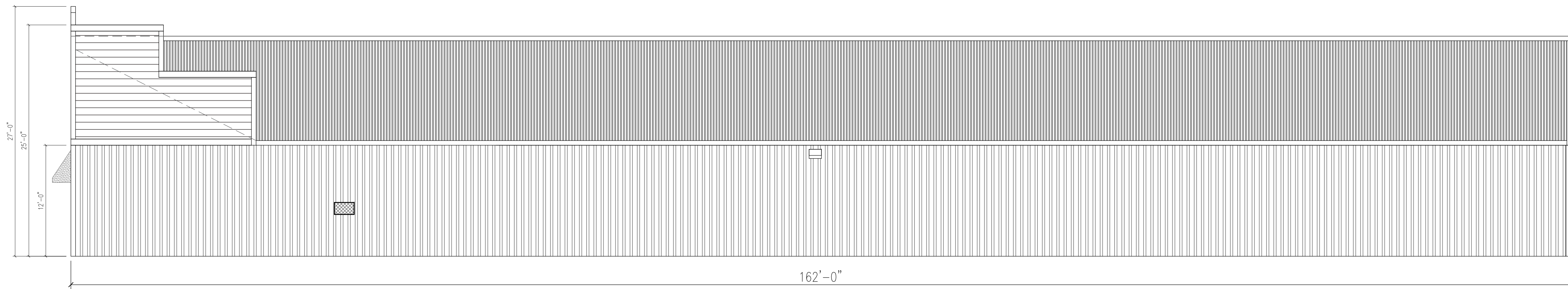
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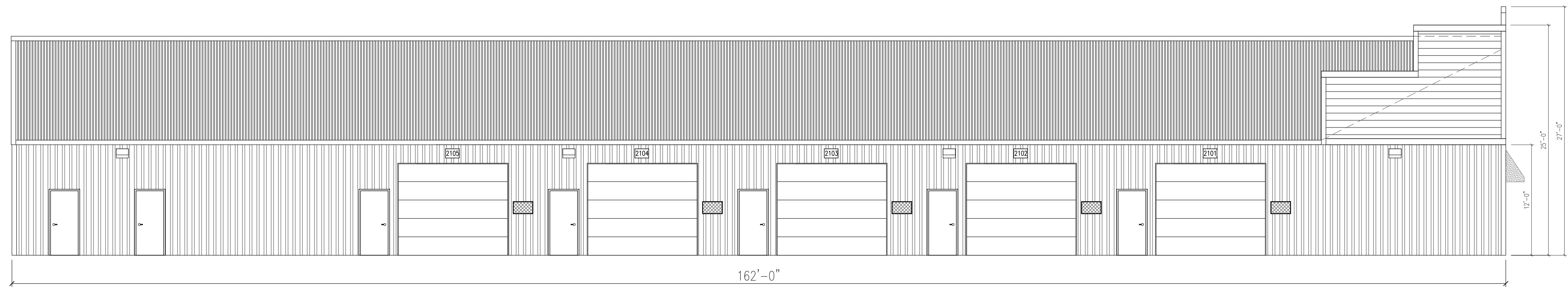
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



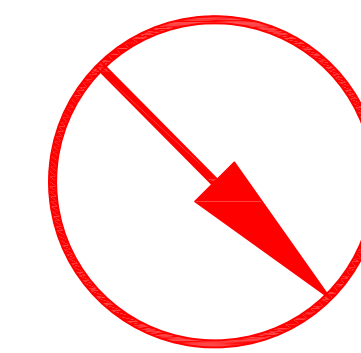
WEST ELEVATION



BUILDING 21A
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



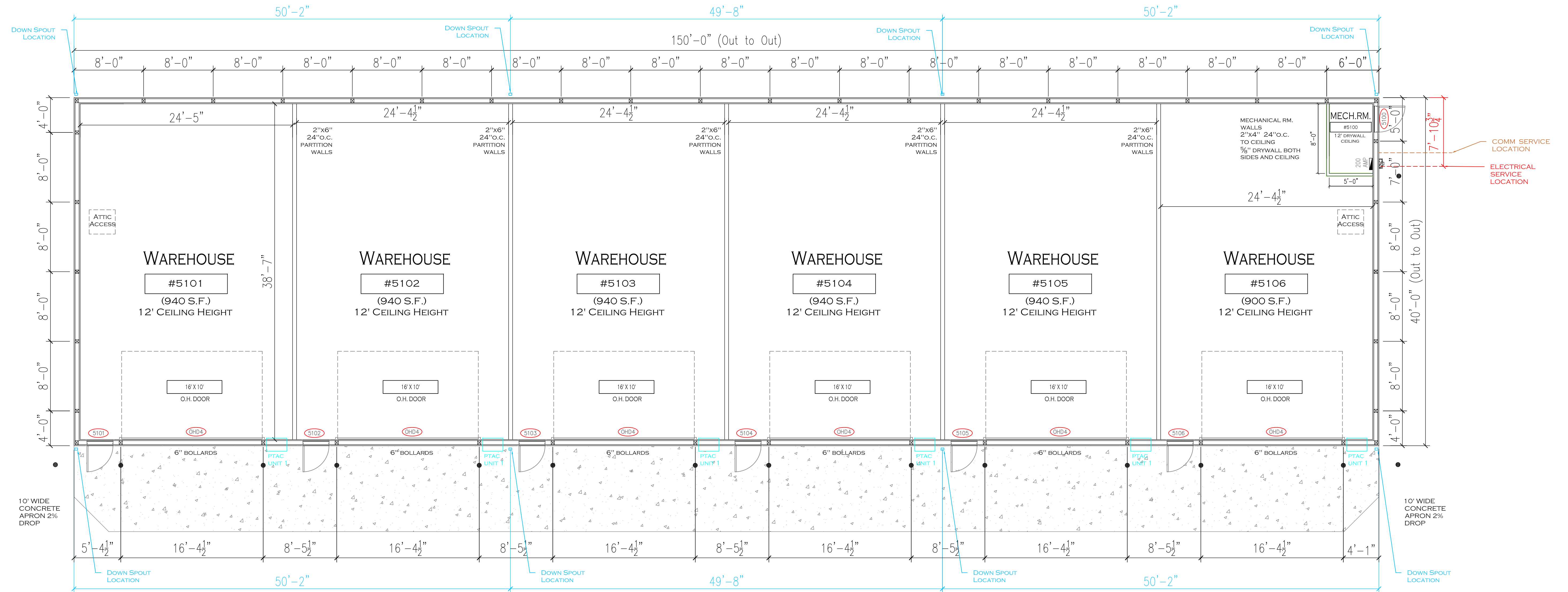
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REVISED:	

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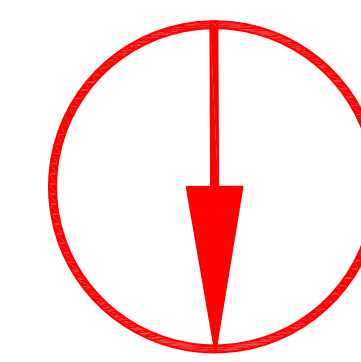
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INDIANAPOLIS, IN 46250



BUILDING 51B
PHASE I

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



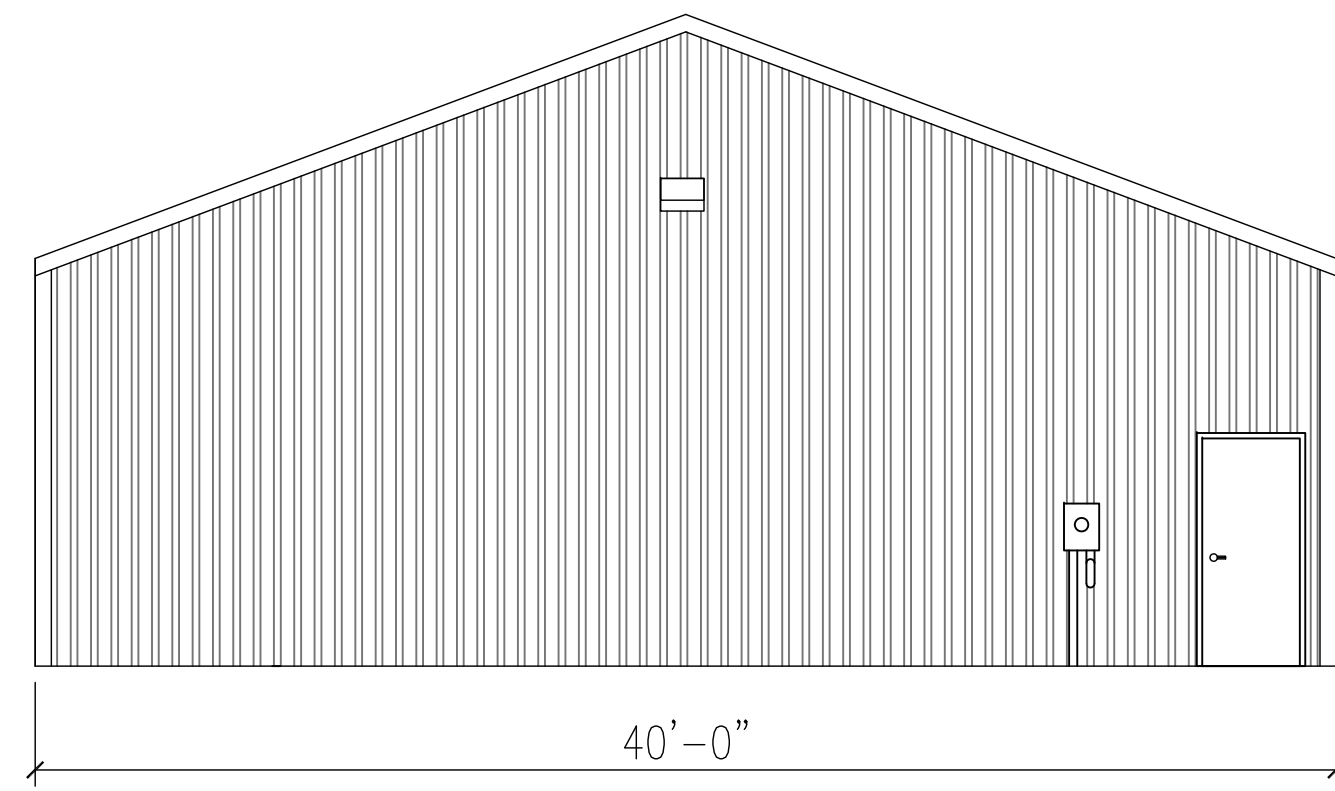
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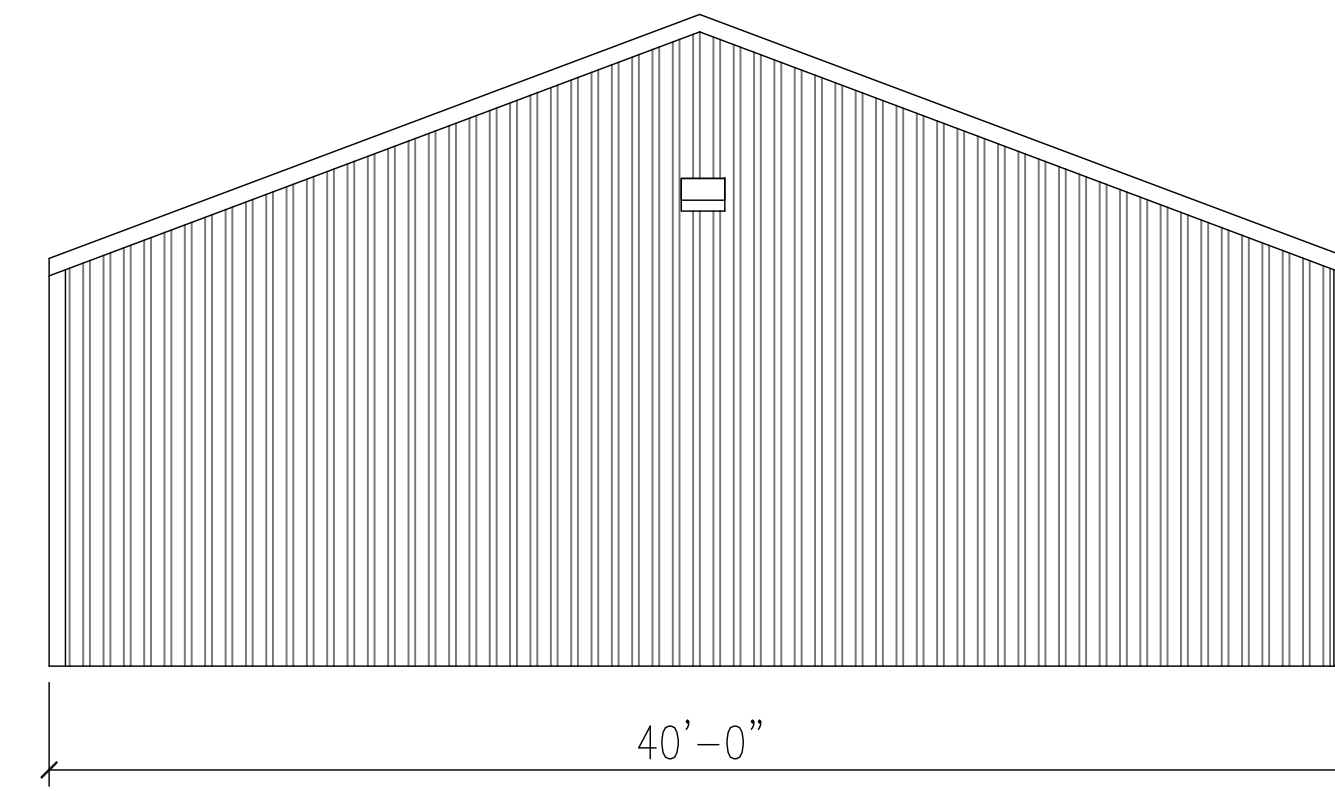
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REVISED:	

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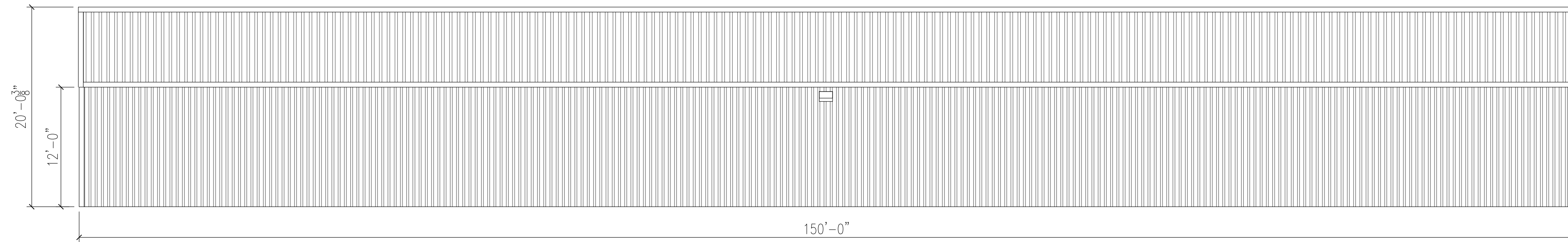
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



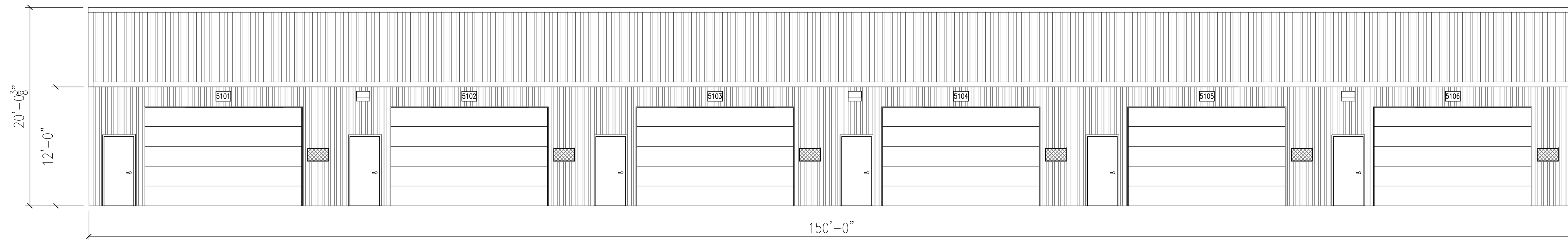
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



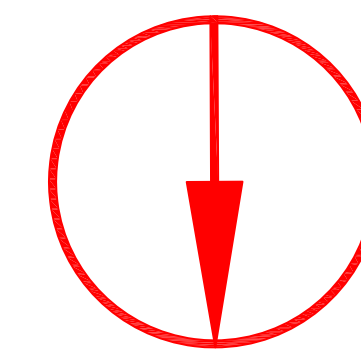
NORTH ELEVATION



BUILDING 51 B
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



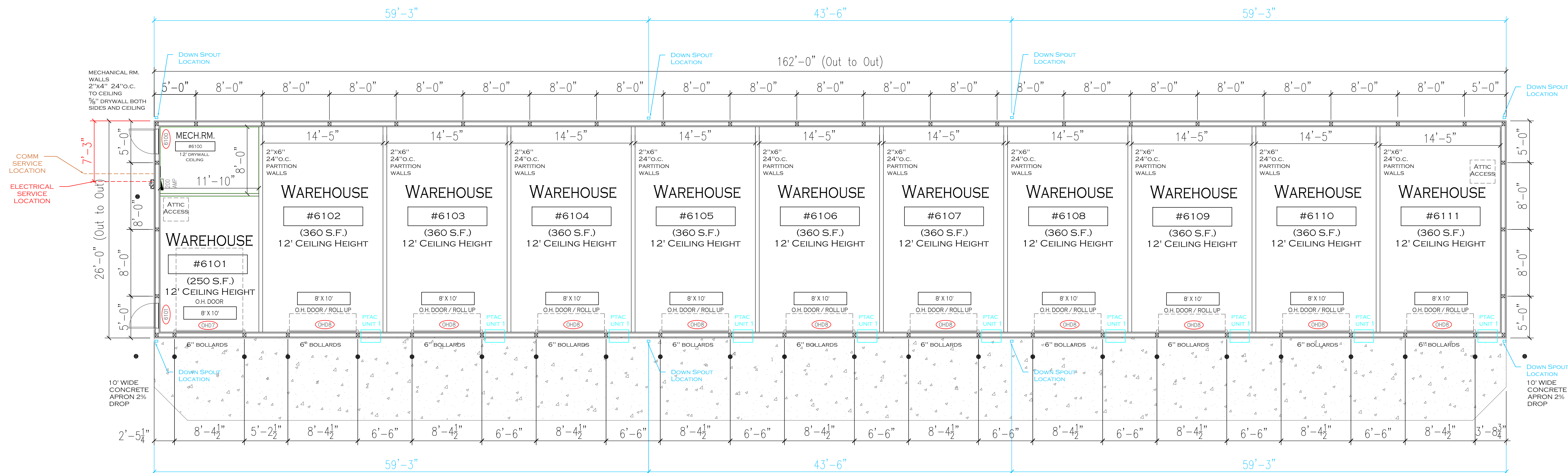
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BUILDING NOTES:

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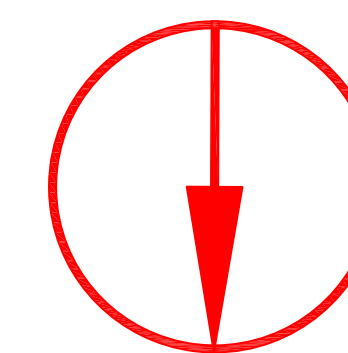
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INDIANAPOLIS, IN 46250



BUILDING 61A
PHASE I

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



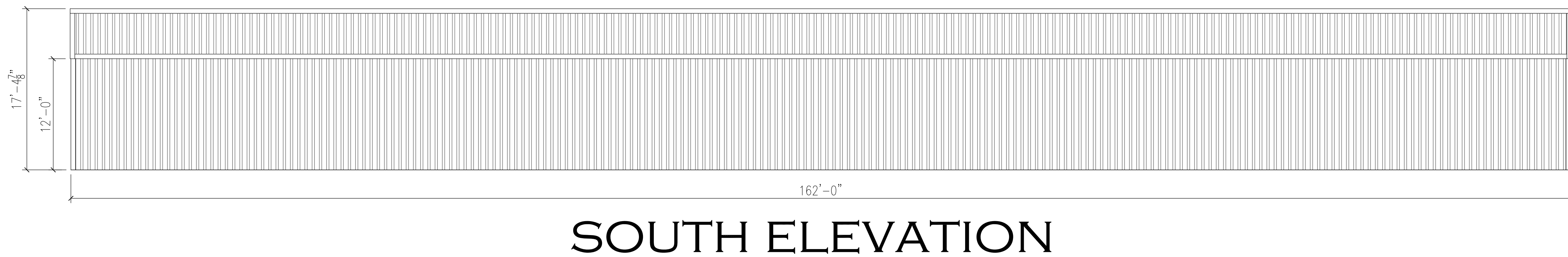
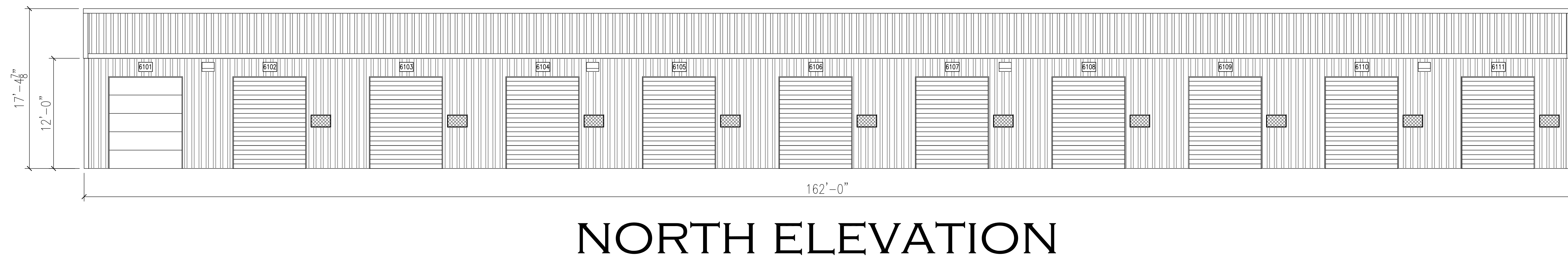
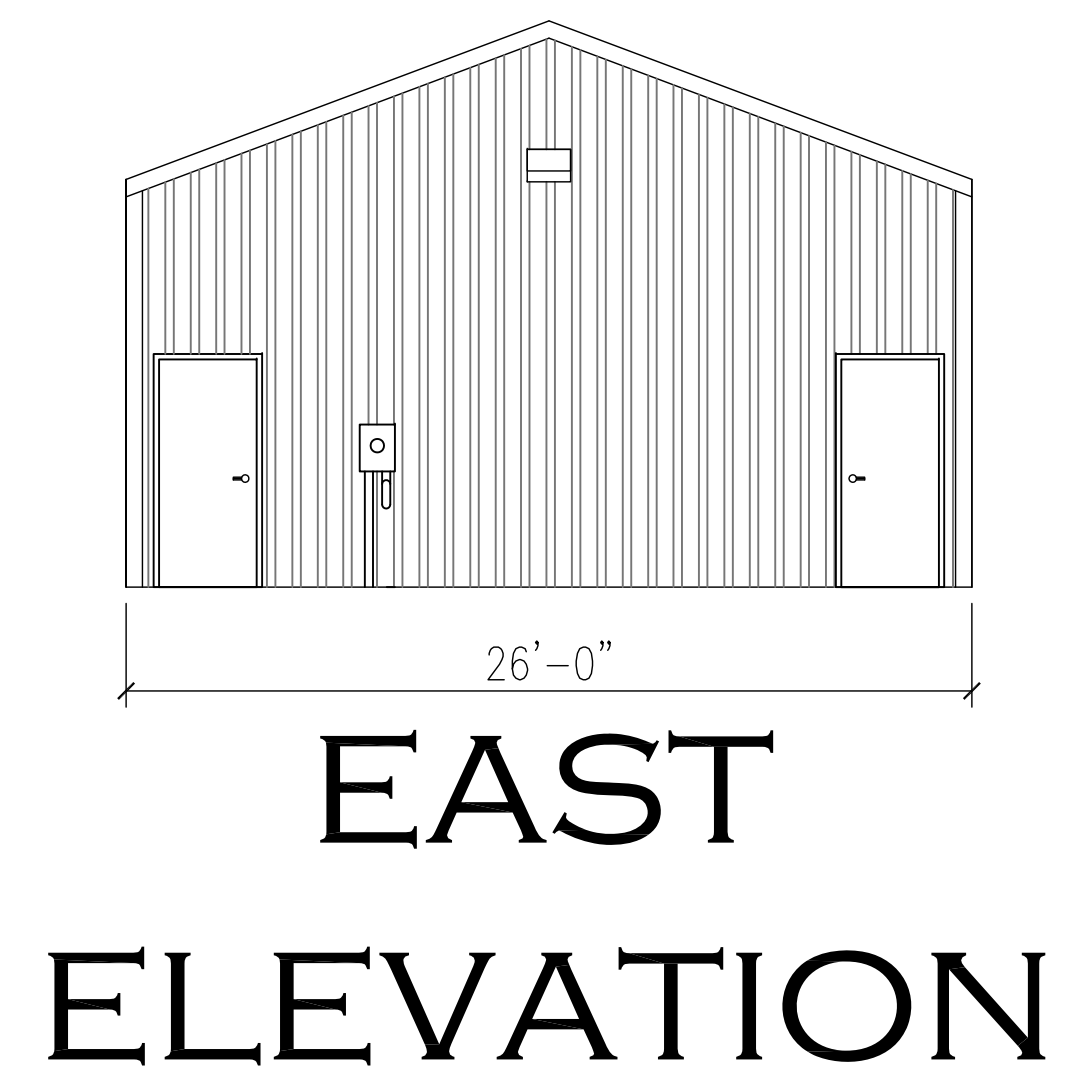
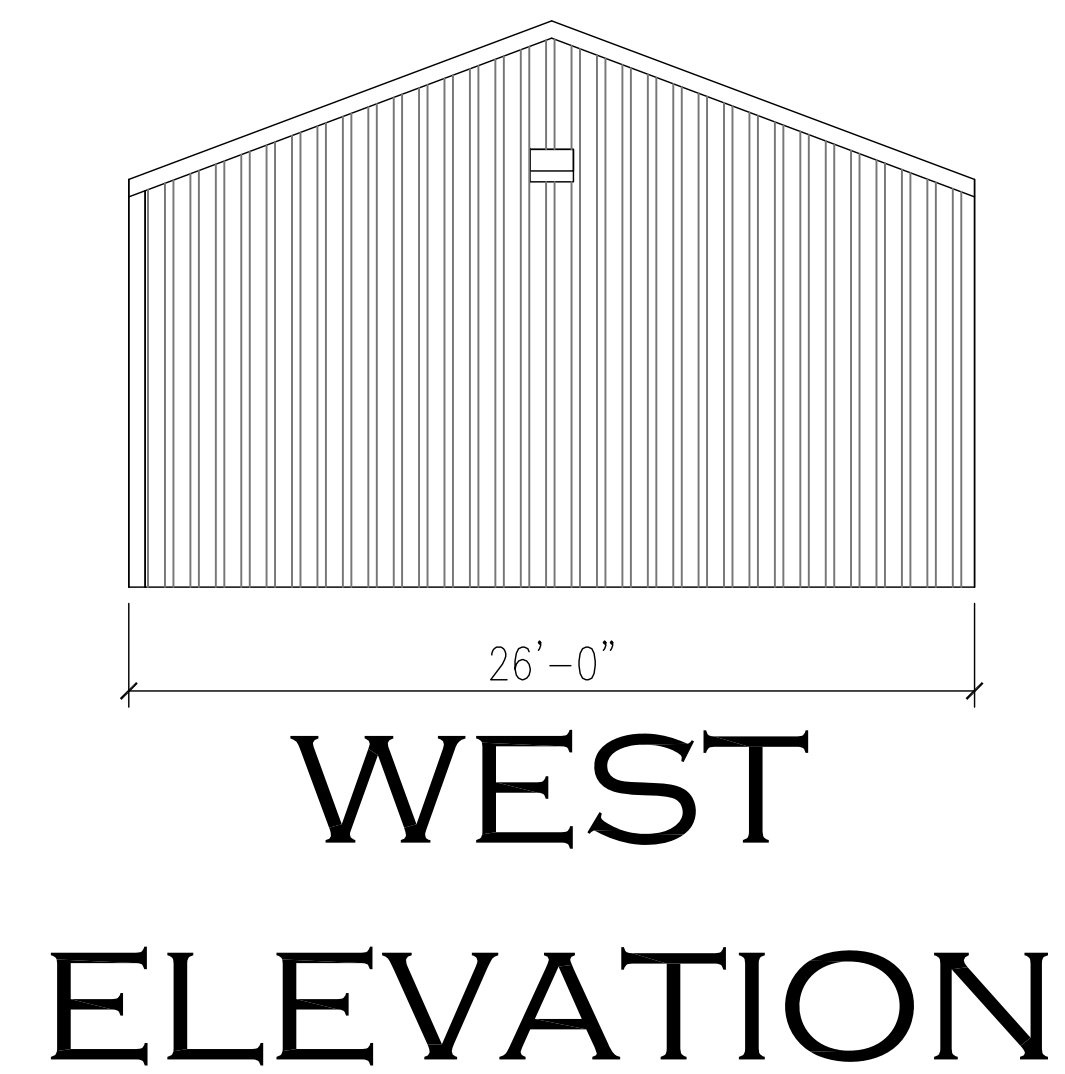
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DATE:	03.01.2022
REVISED:	

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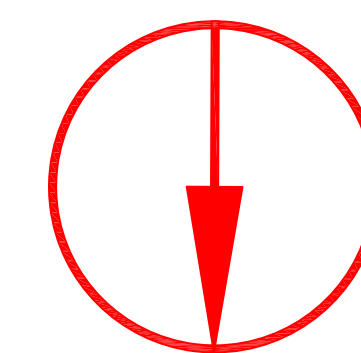
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NOT TO SCALE
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CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 61A
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



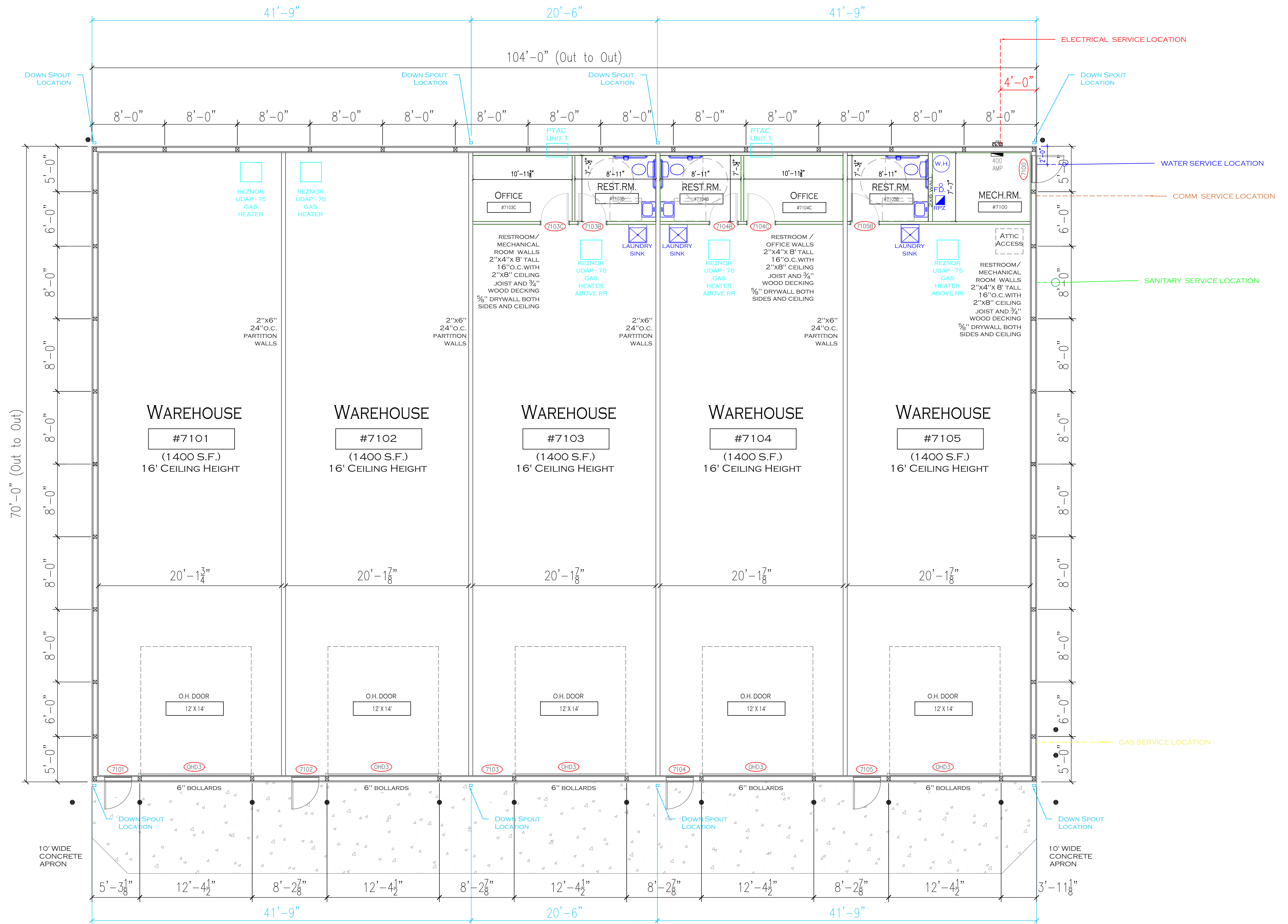
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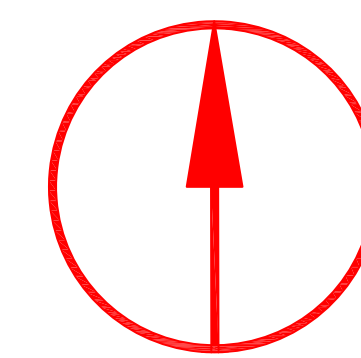
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INDIANAPOLIS, IN 46250



BUILDING 71
PHASE I

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



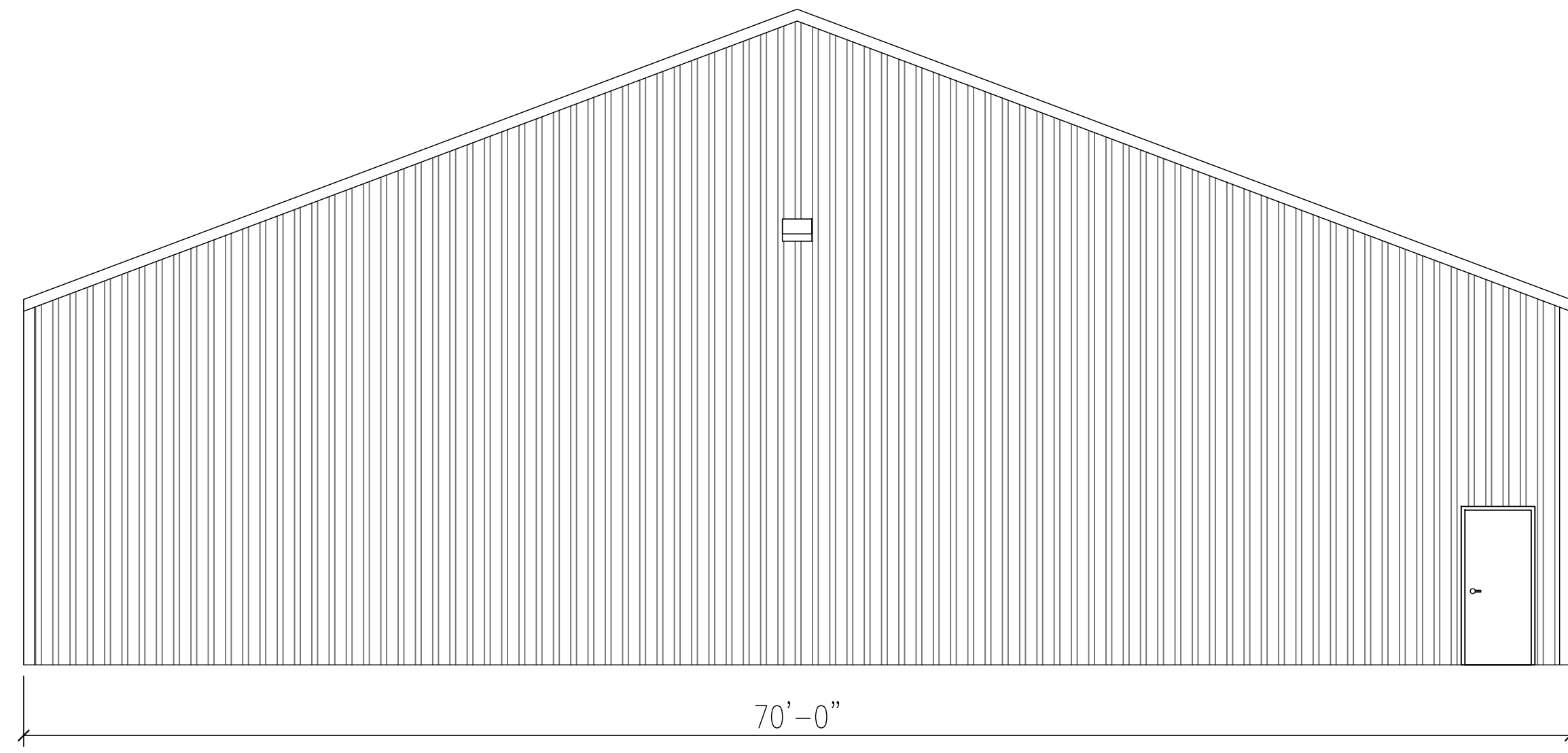
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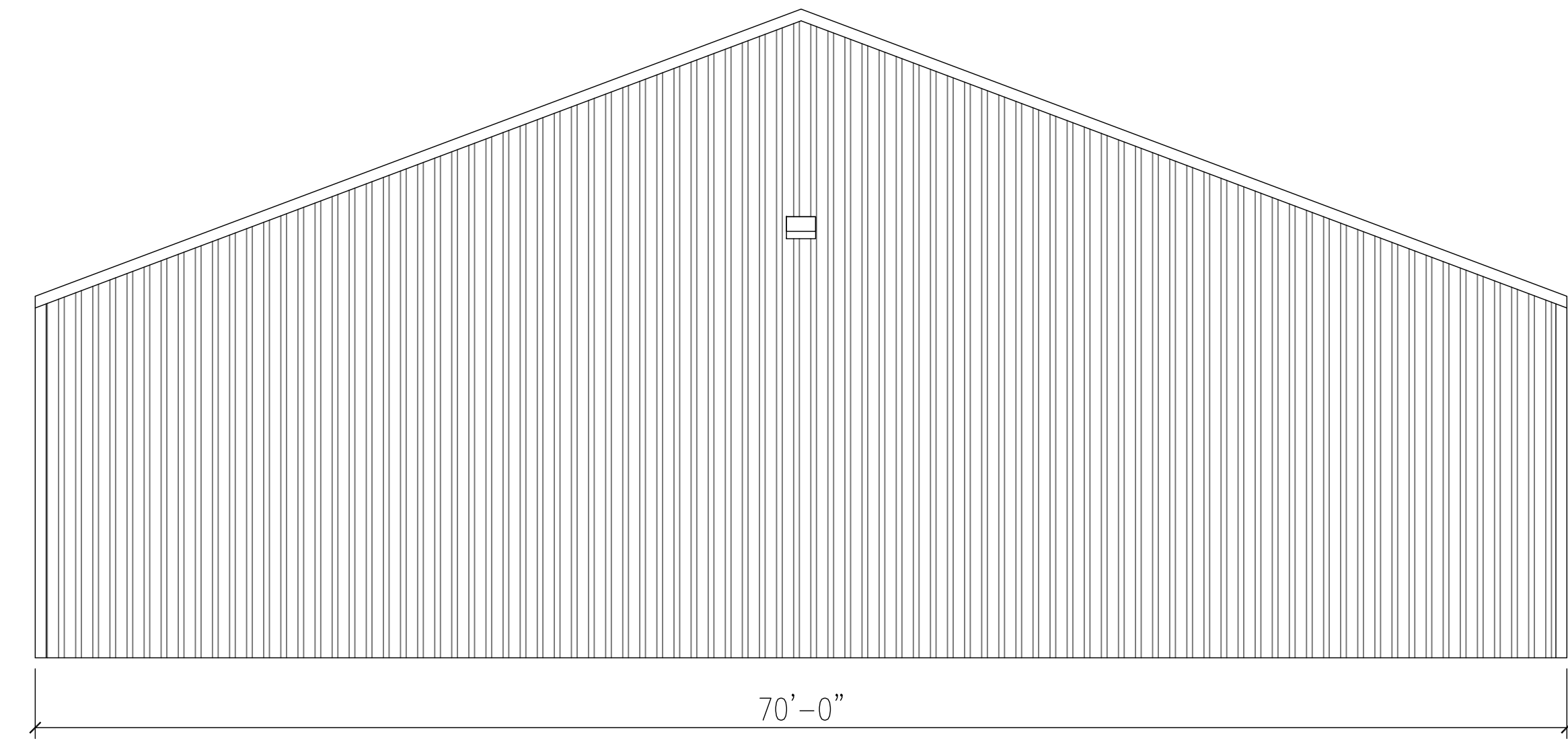
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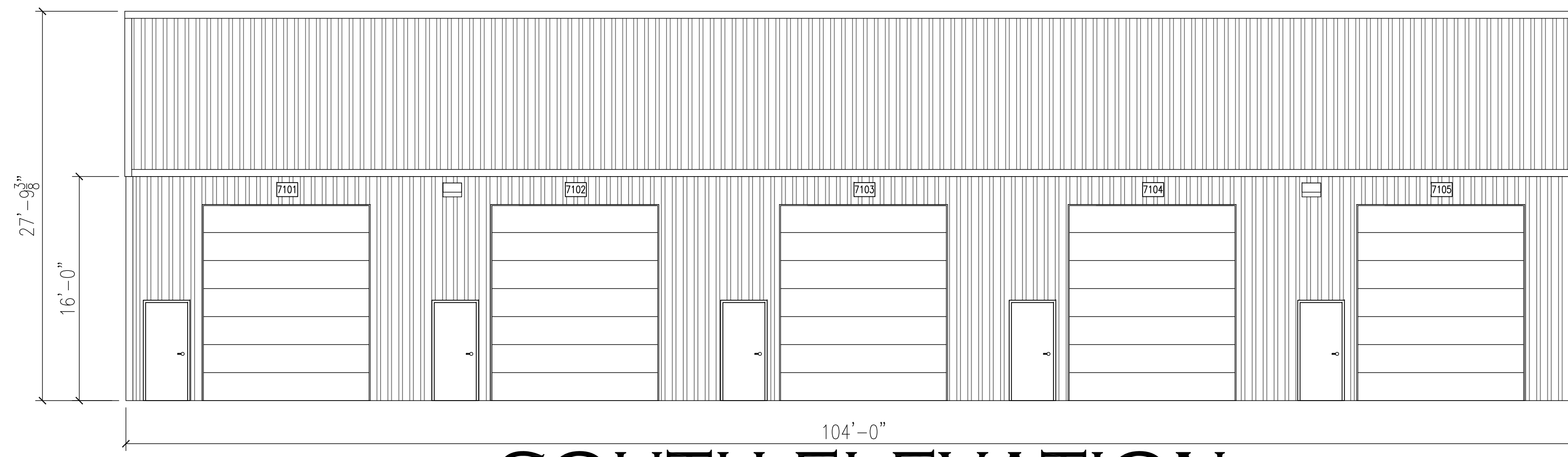
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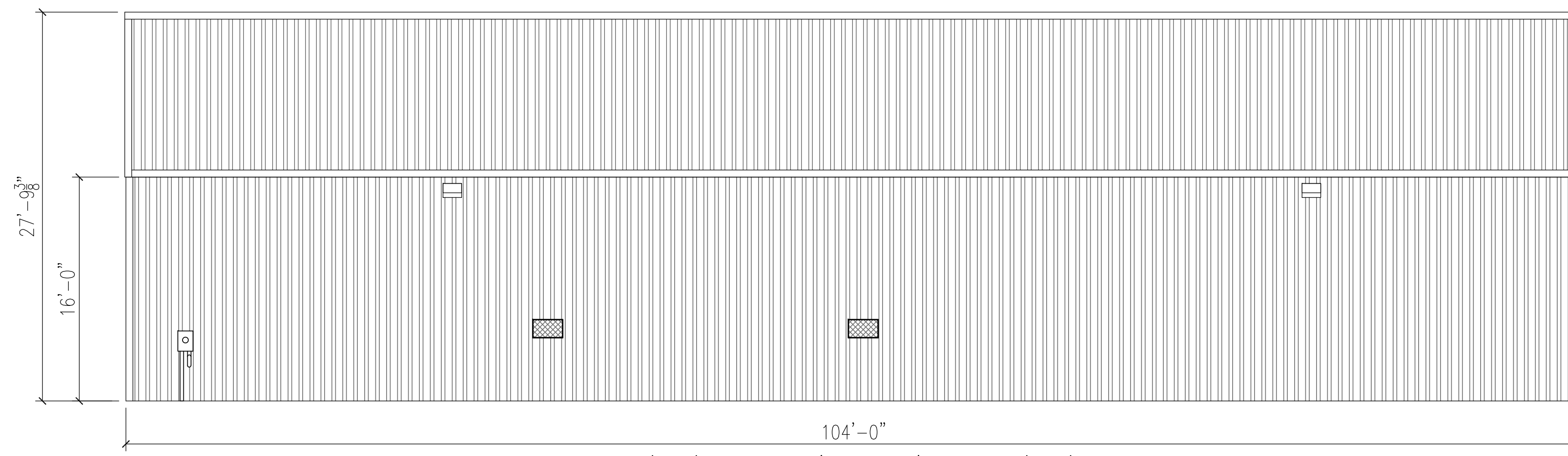
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



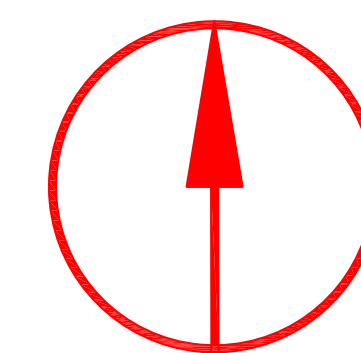
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BUILDING 71
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



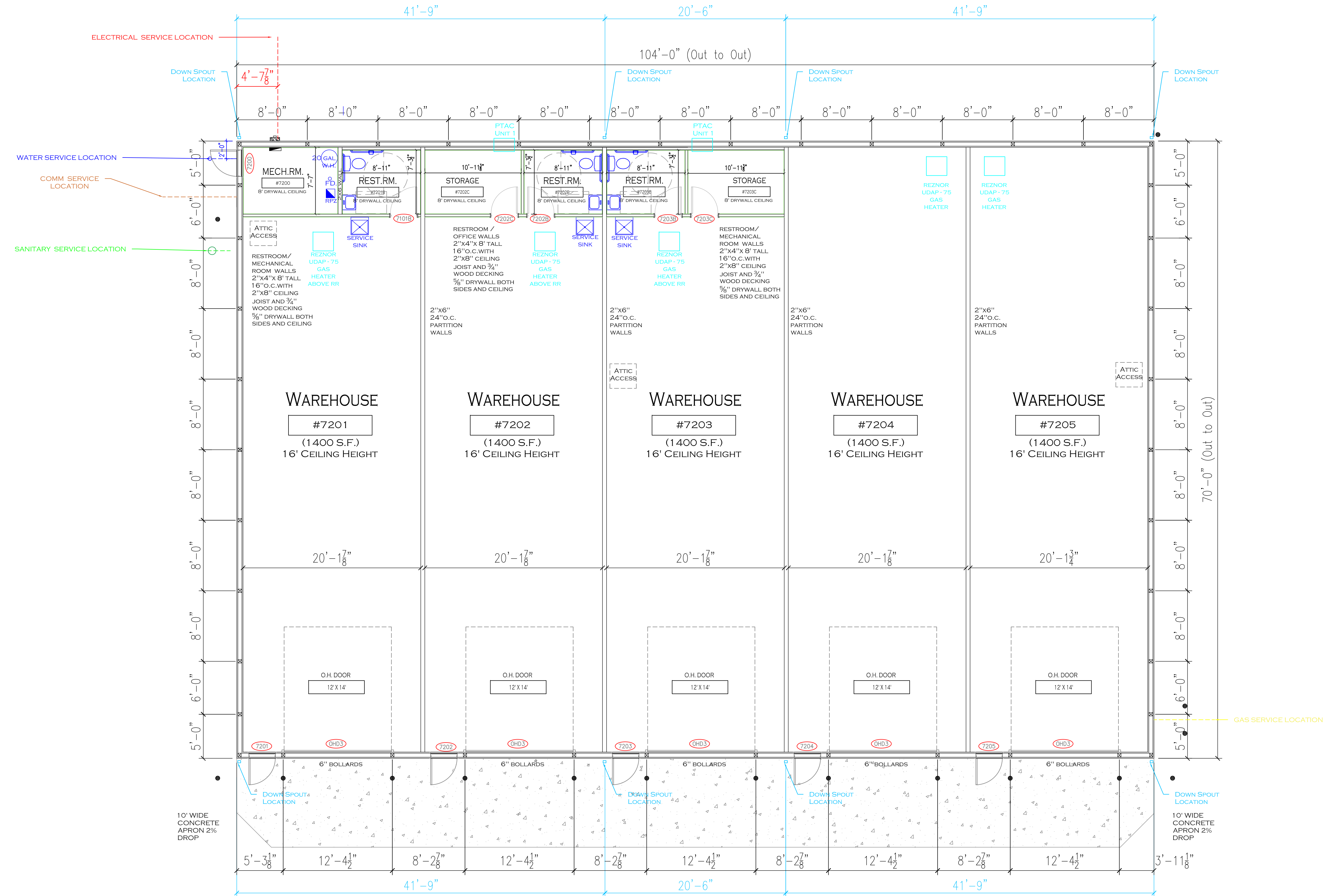
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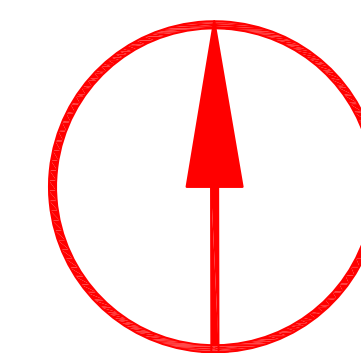
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 72 PHASE I

FRANKLIN, WISCONSIN

FLOOR PLAN LAYOUT



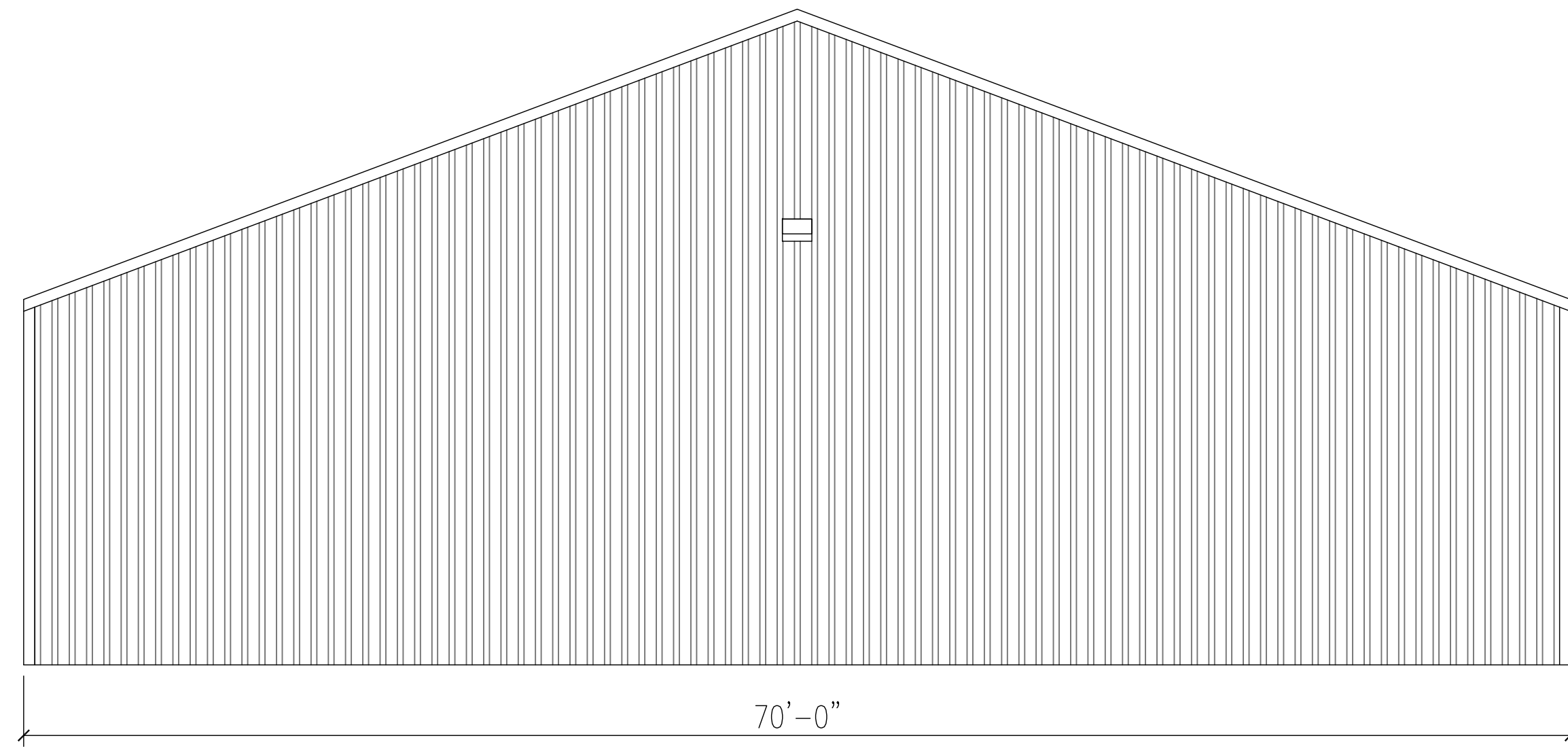
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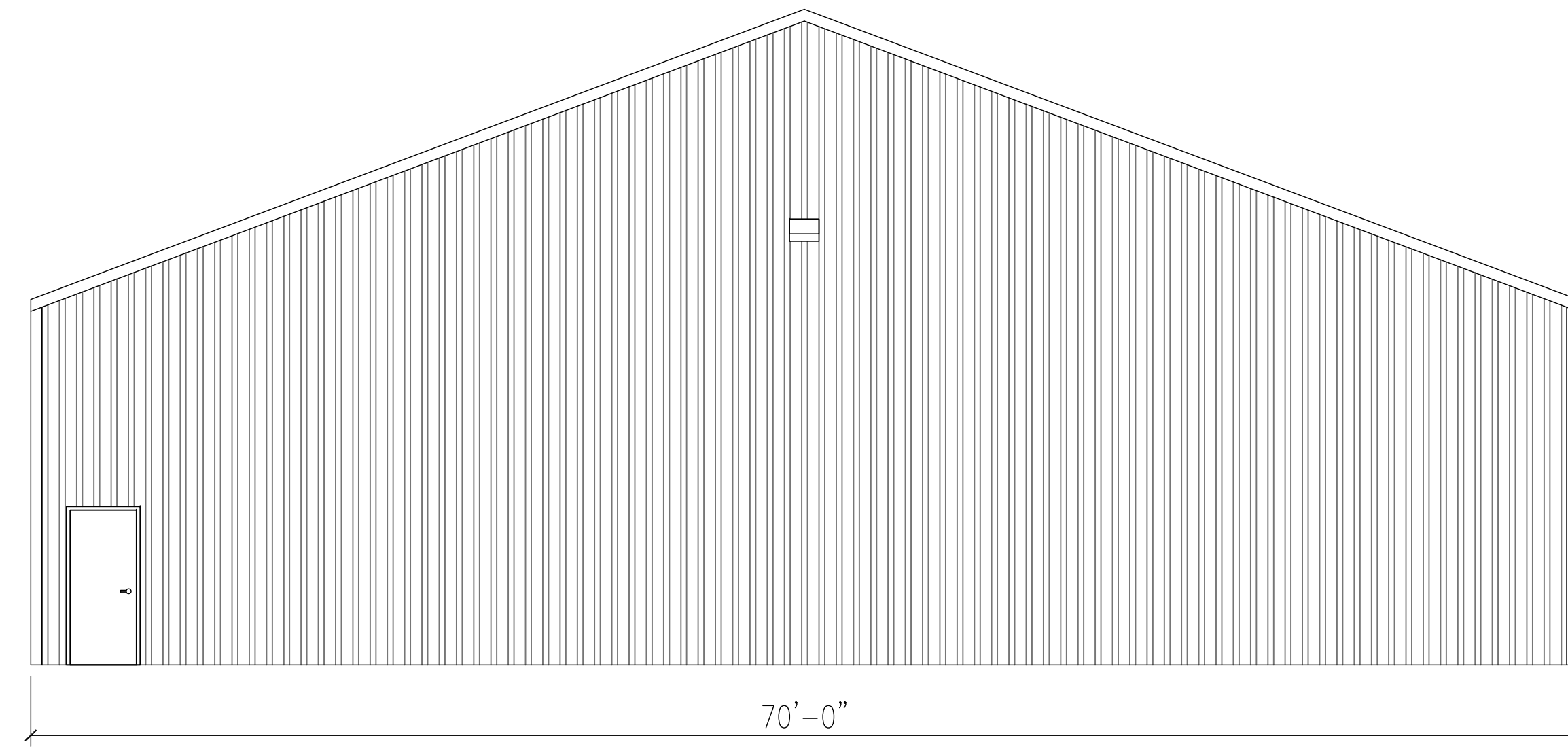
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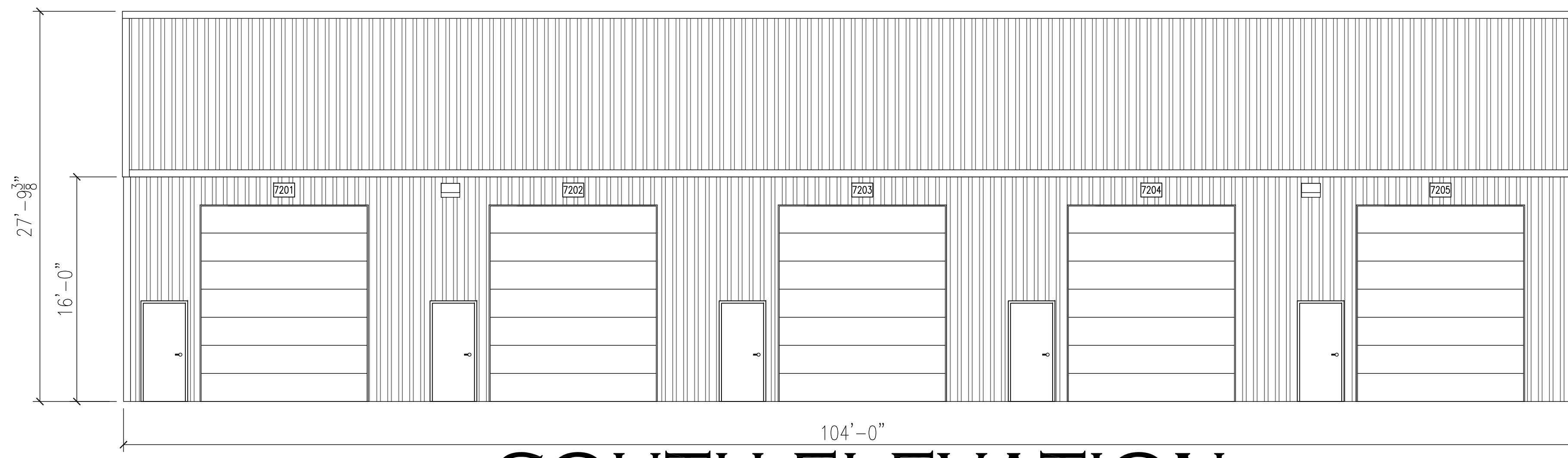
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INDIANAPOLIS, IN 46250



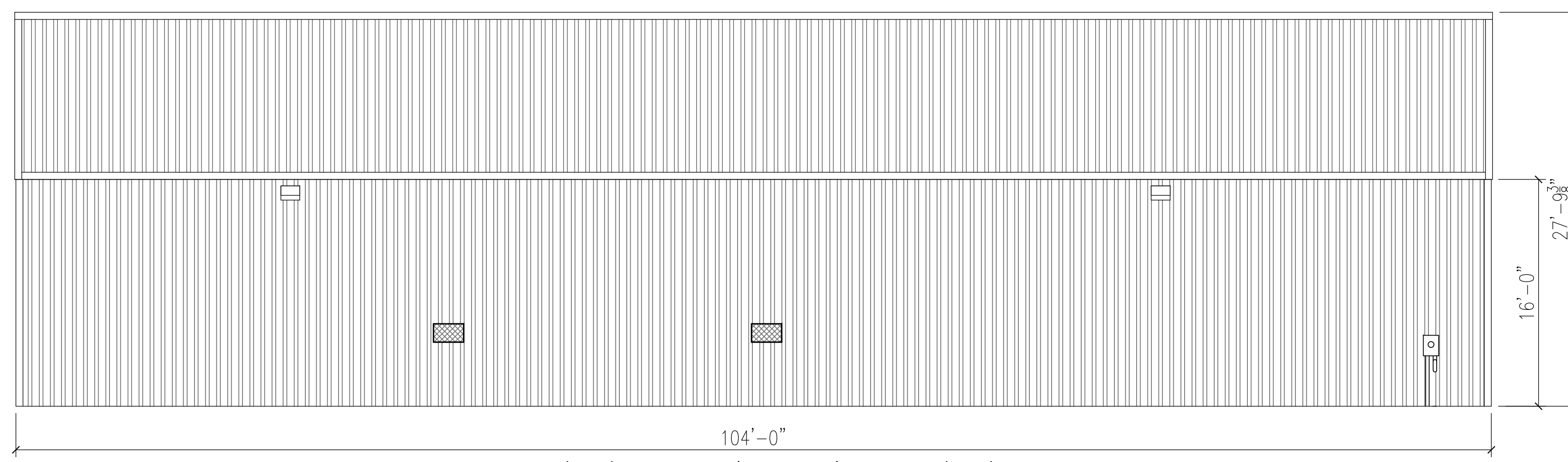
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



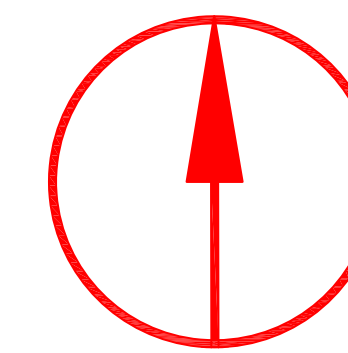
NORTH ELEVATION



BUILDING 72
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



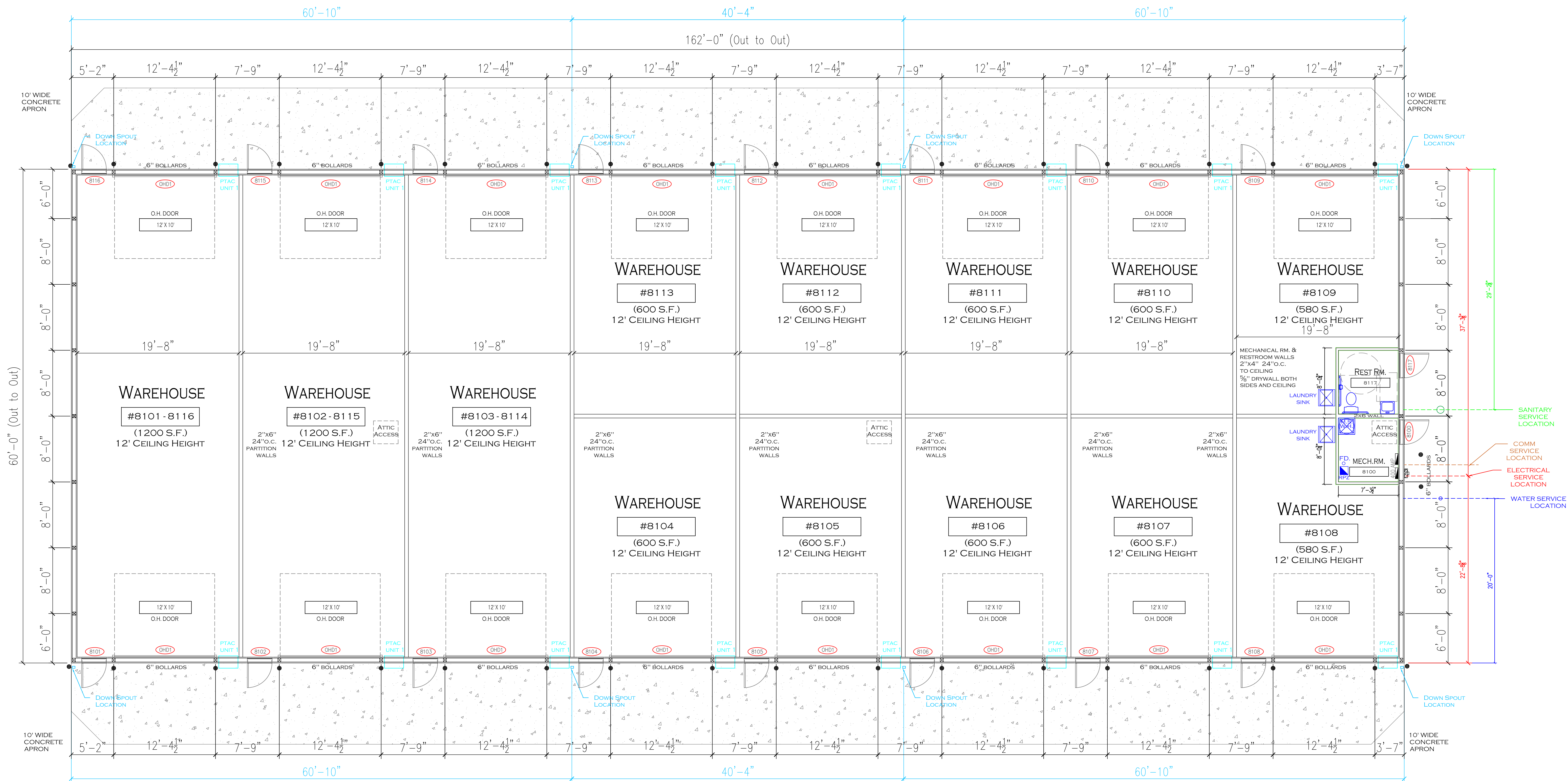
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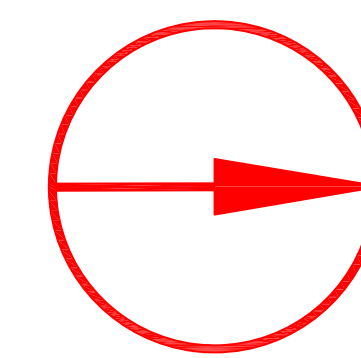
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INDIANAPOLIS, IN 46250



**BUILDING 81B
PHASE I**

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



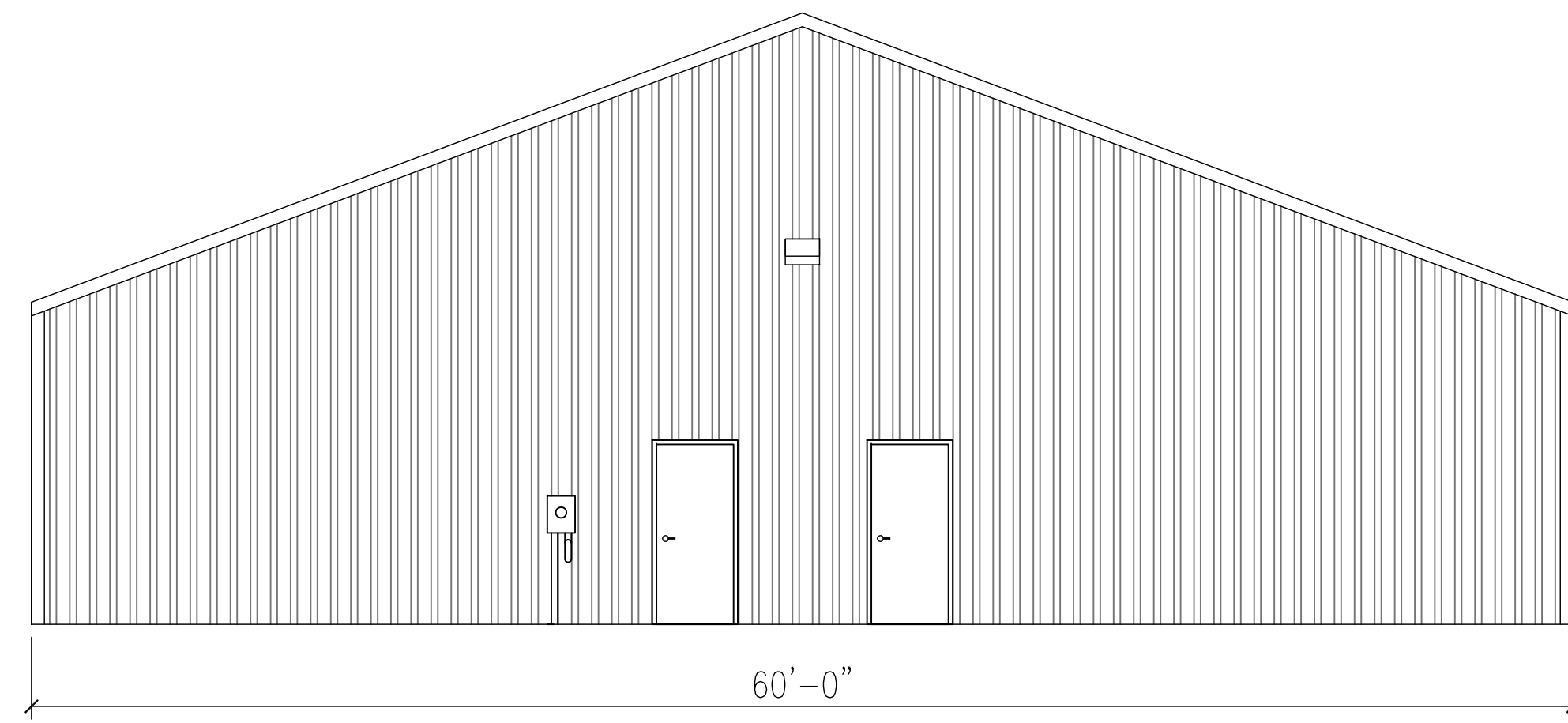
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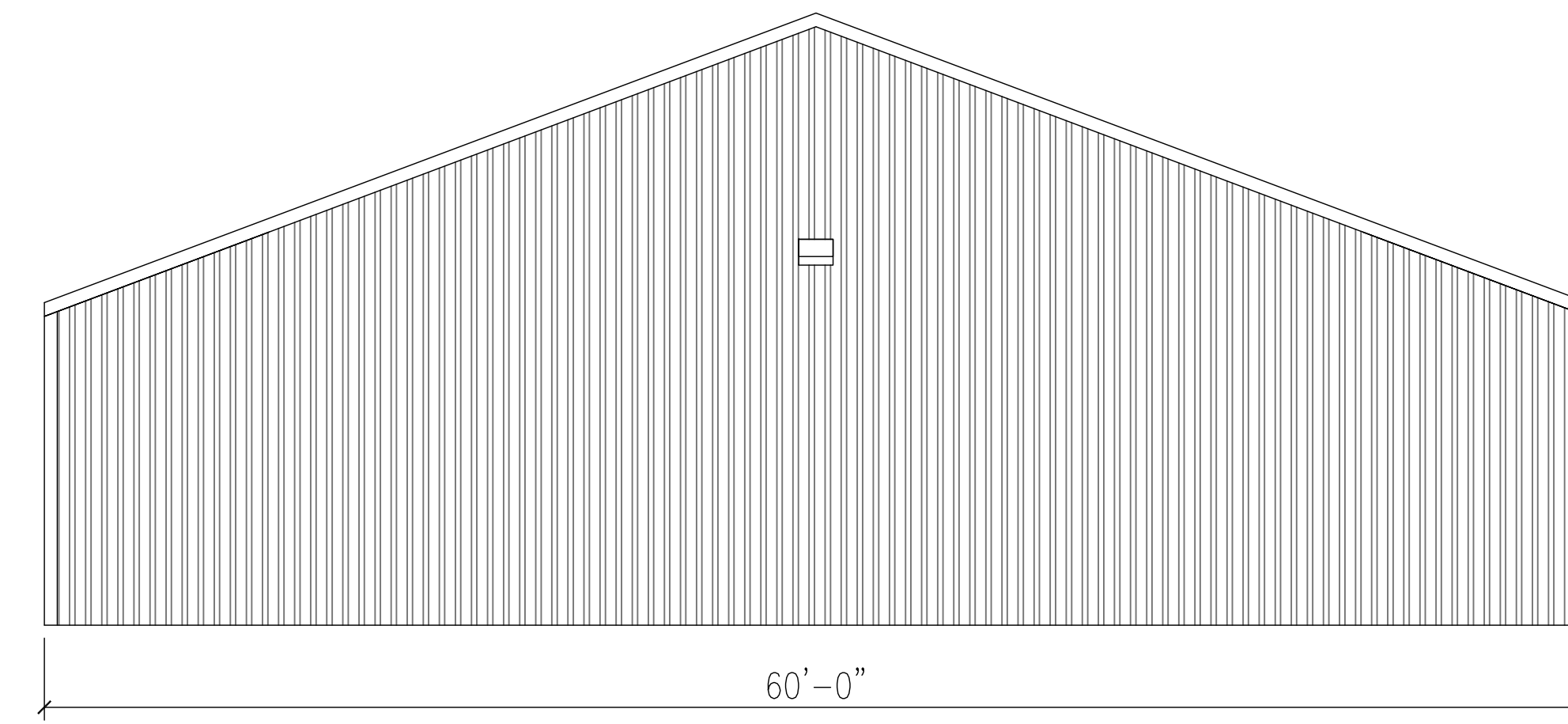
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REVISED:	

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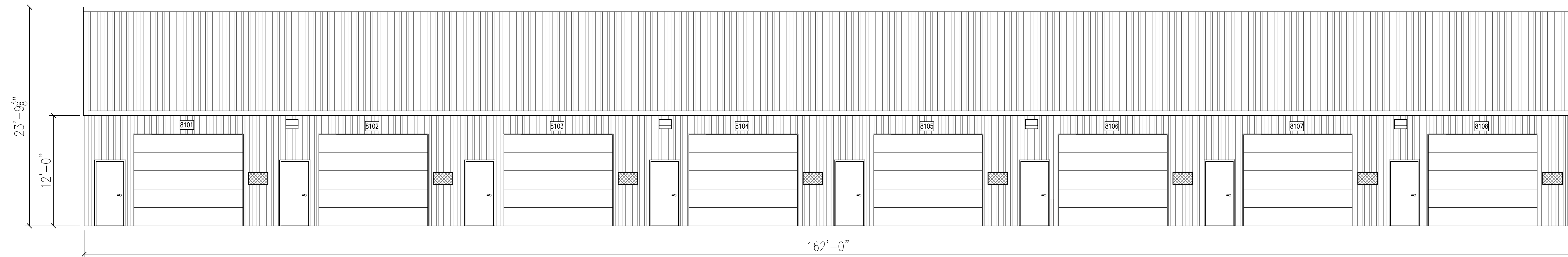
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FOR INFORMATION ONLY
CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



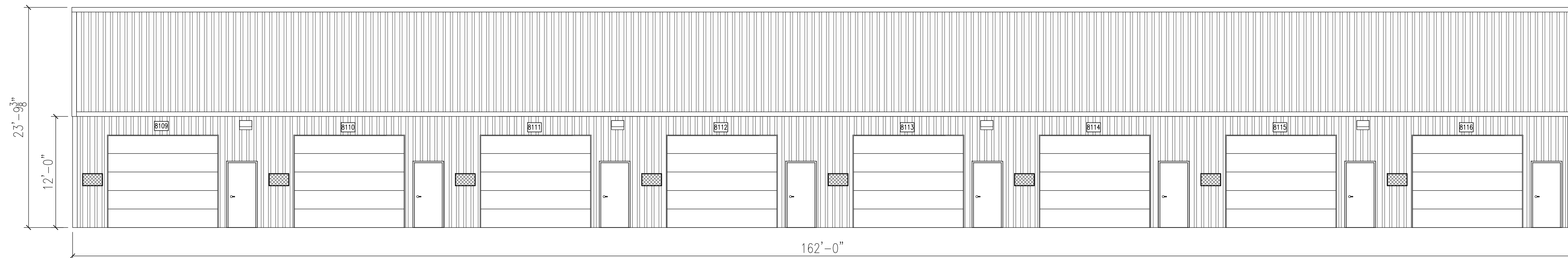
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



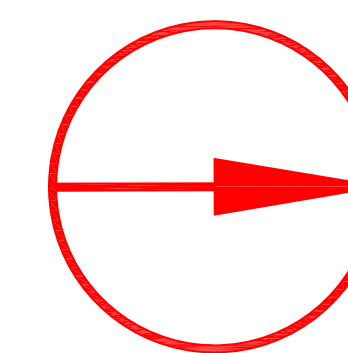
WEST ELEVATION



BUILDING 81B
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



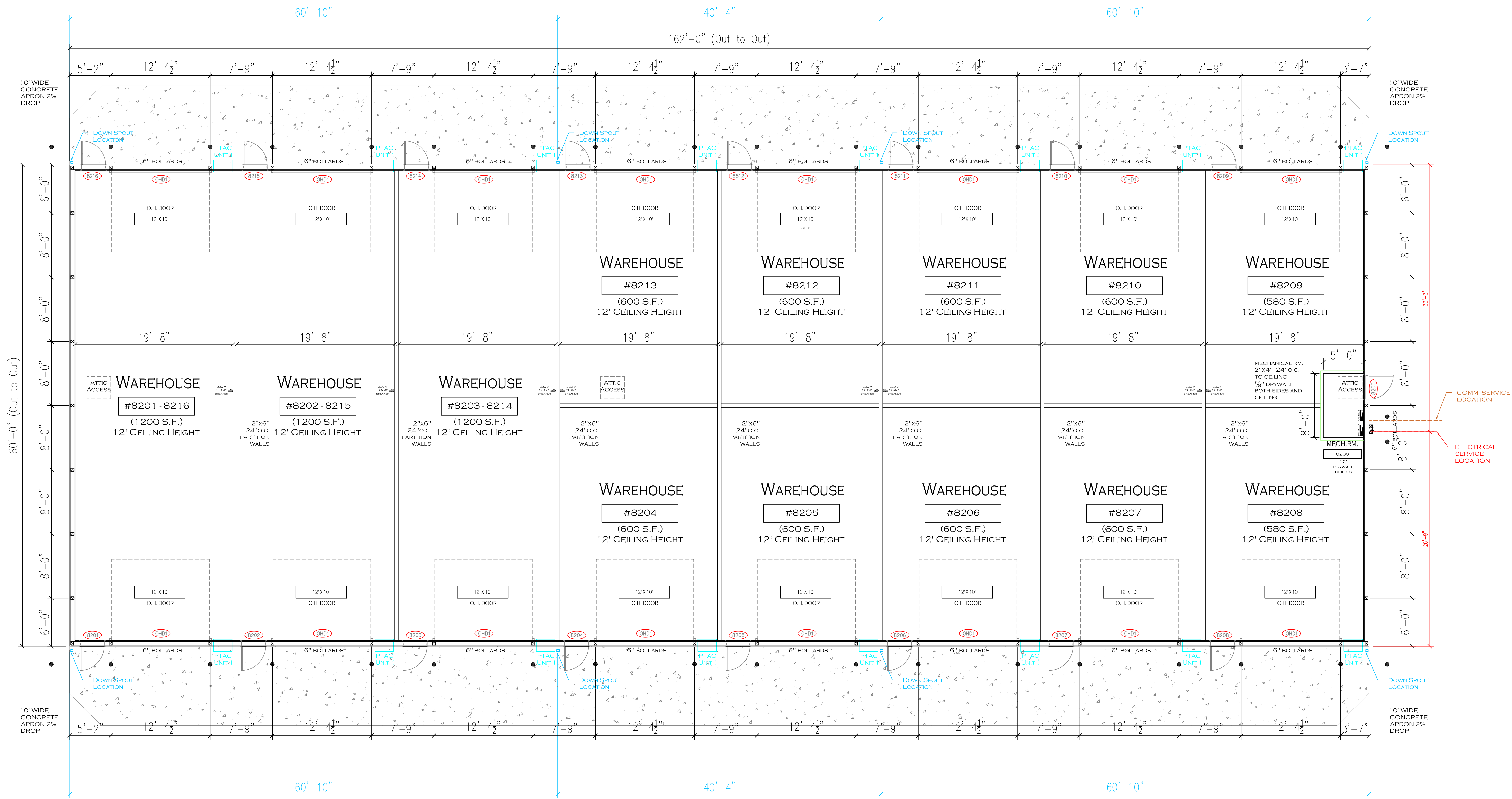
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REVISED:	

INFORMATION

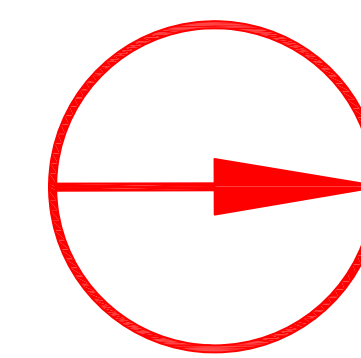
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CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 82A
PHASE I

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



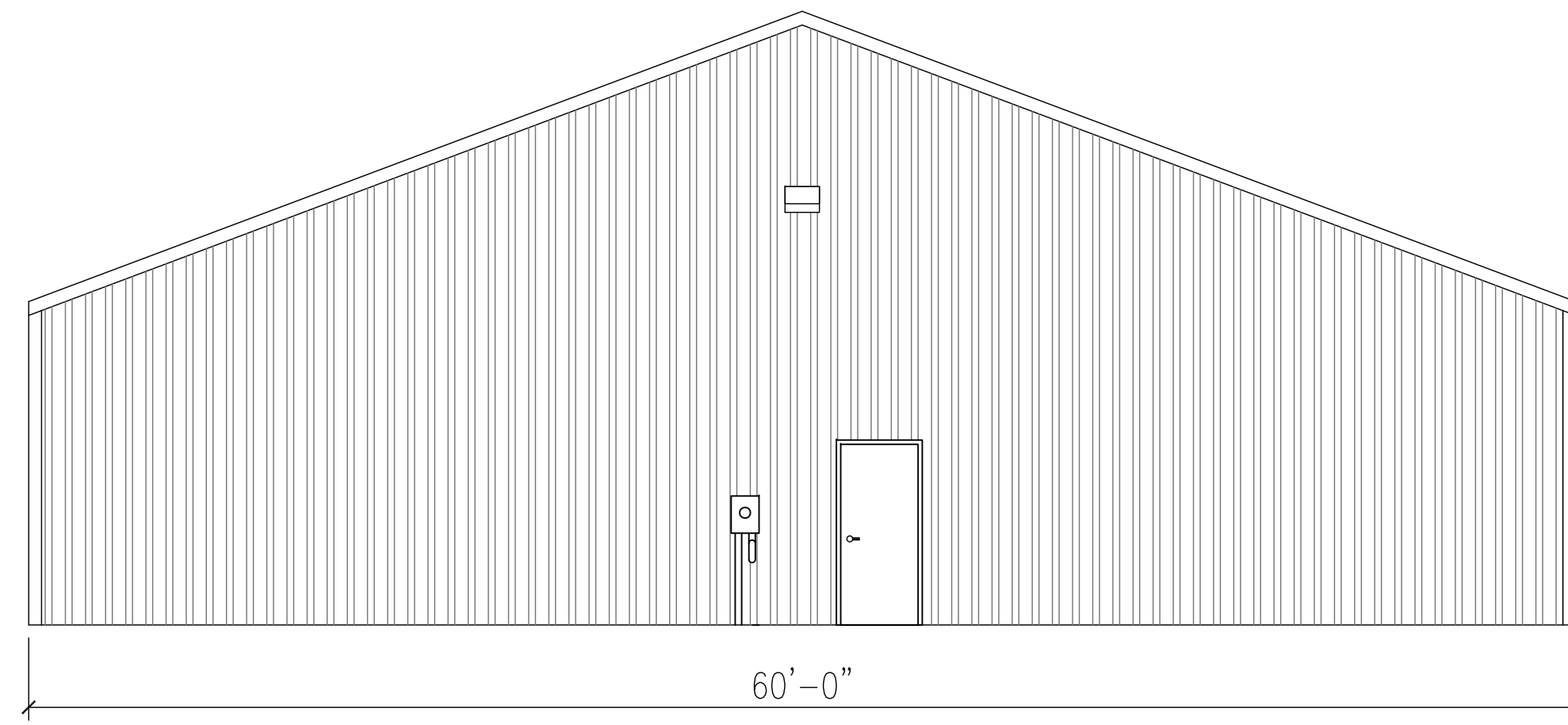
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BUILDING NOTES:

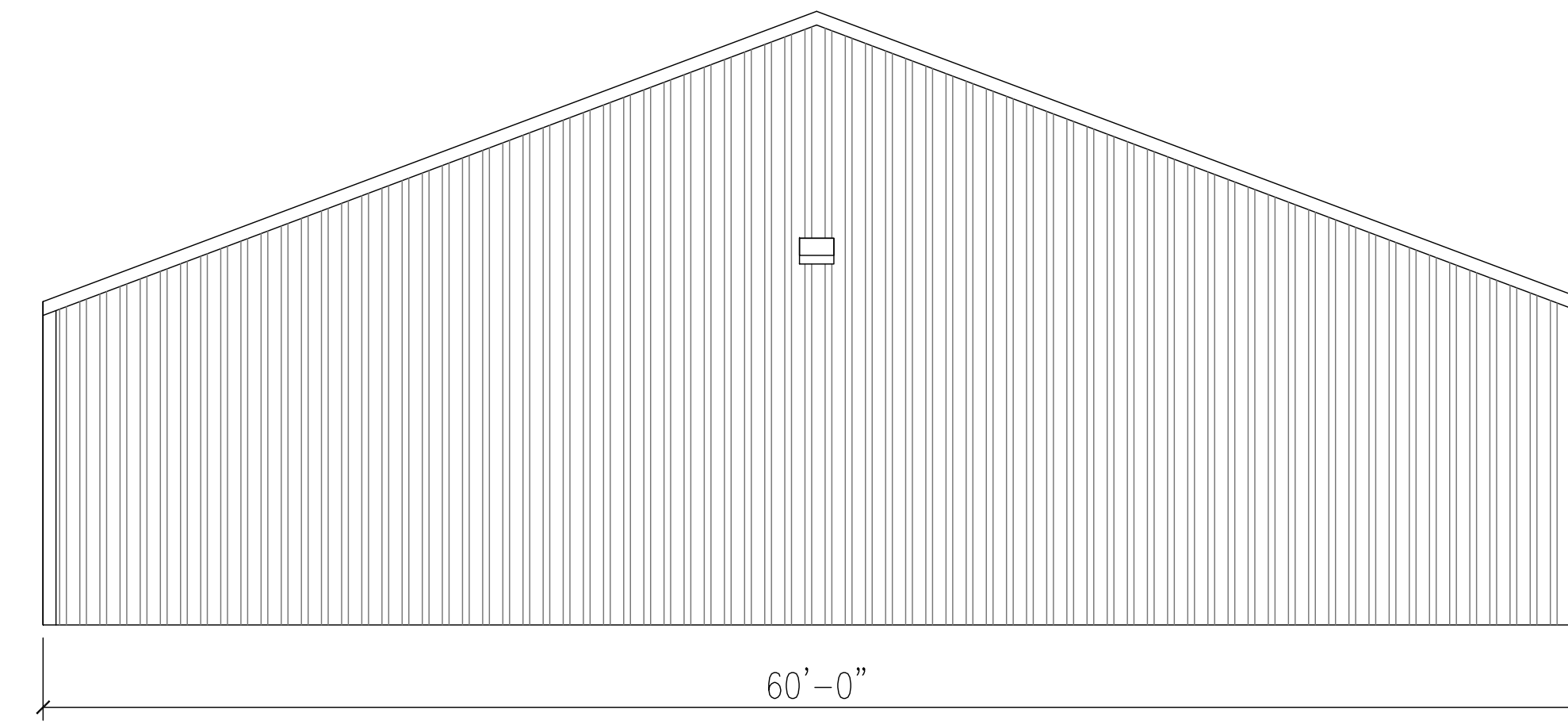
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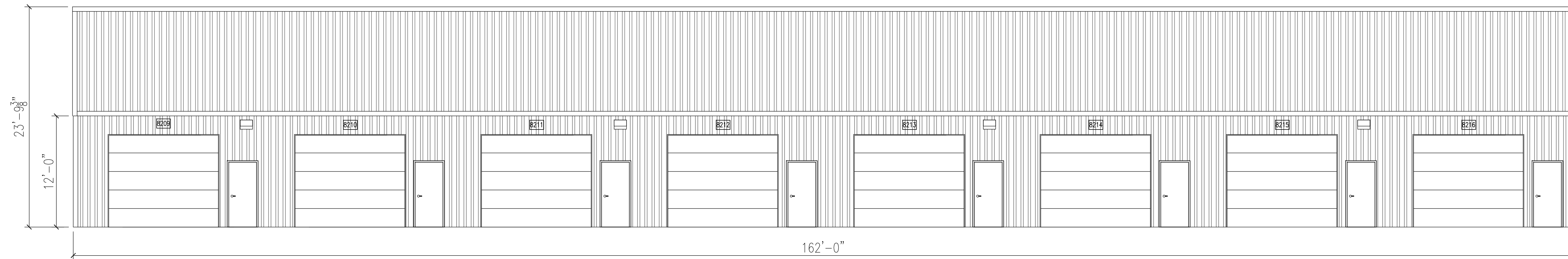
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



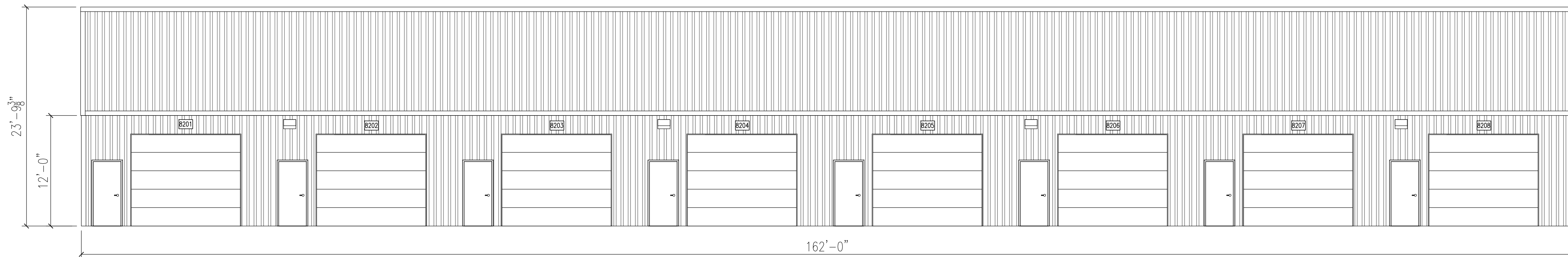
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



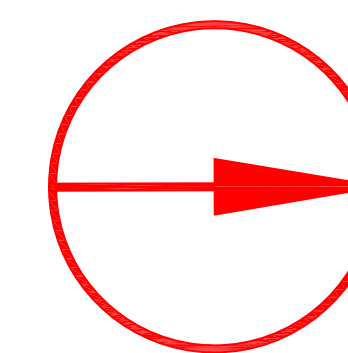
WEST ELEVATION



BUILDING 82A
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



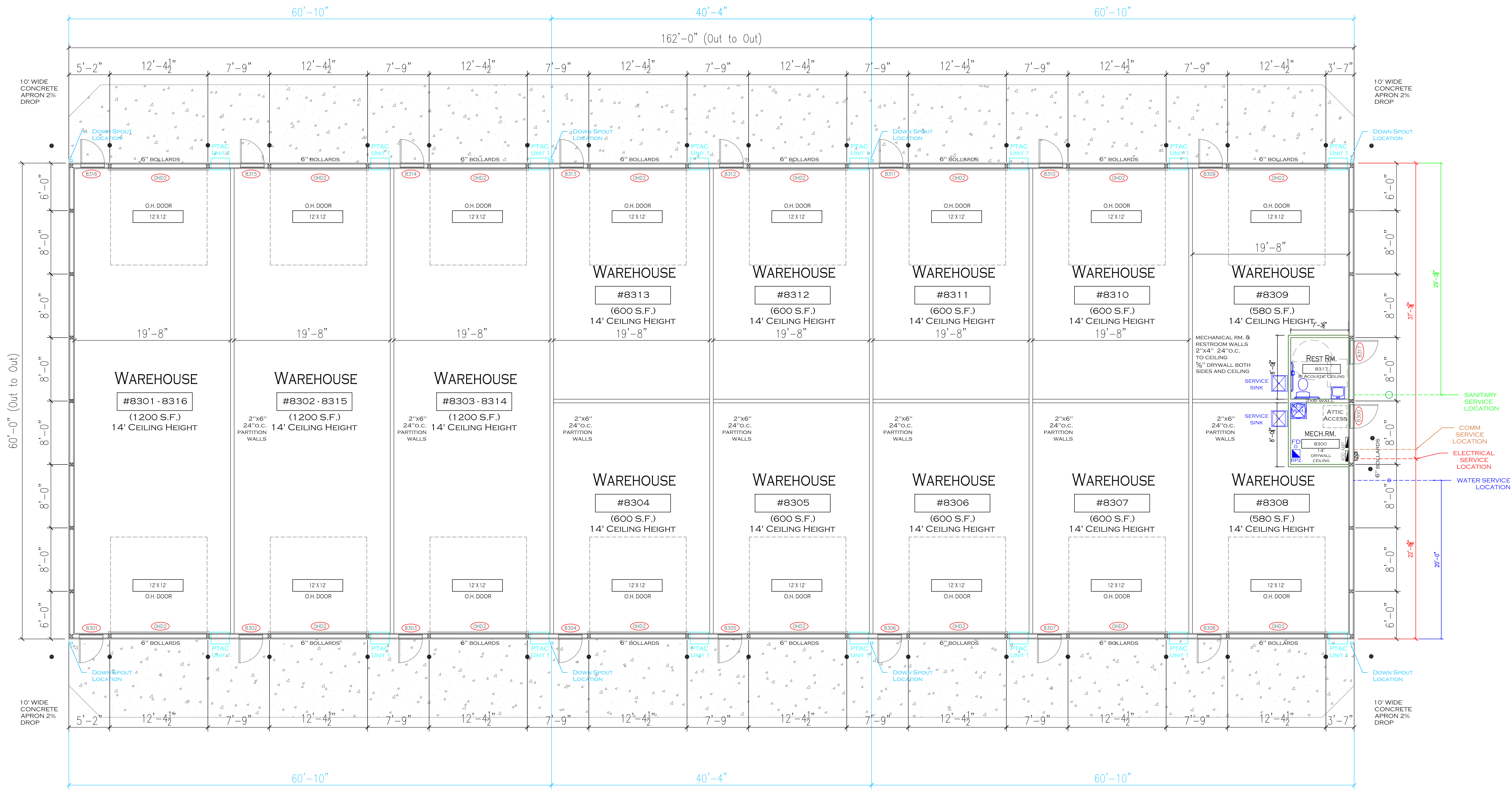
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REVISED:	

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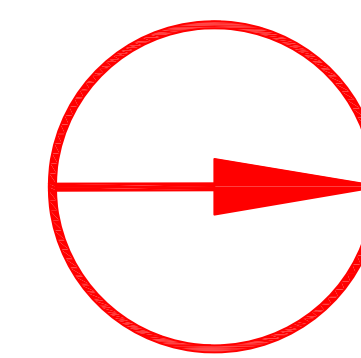
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 83D
PHASE I

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



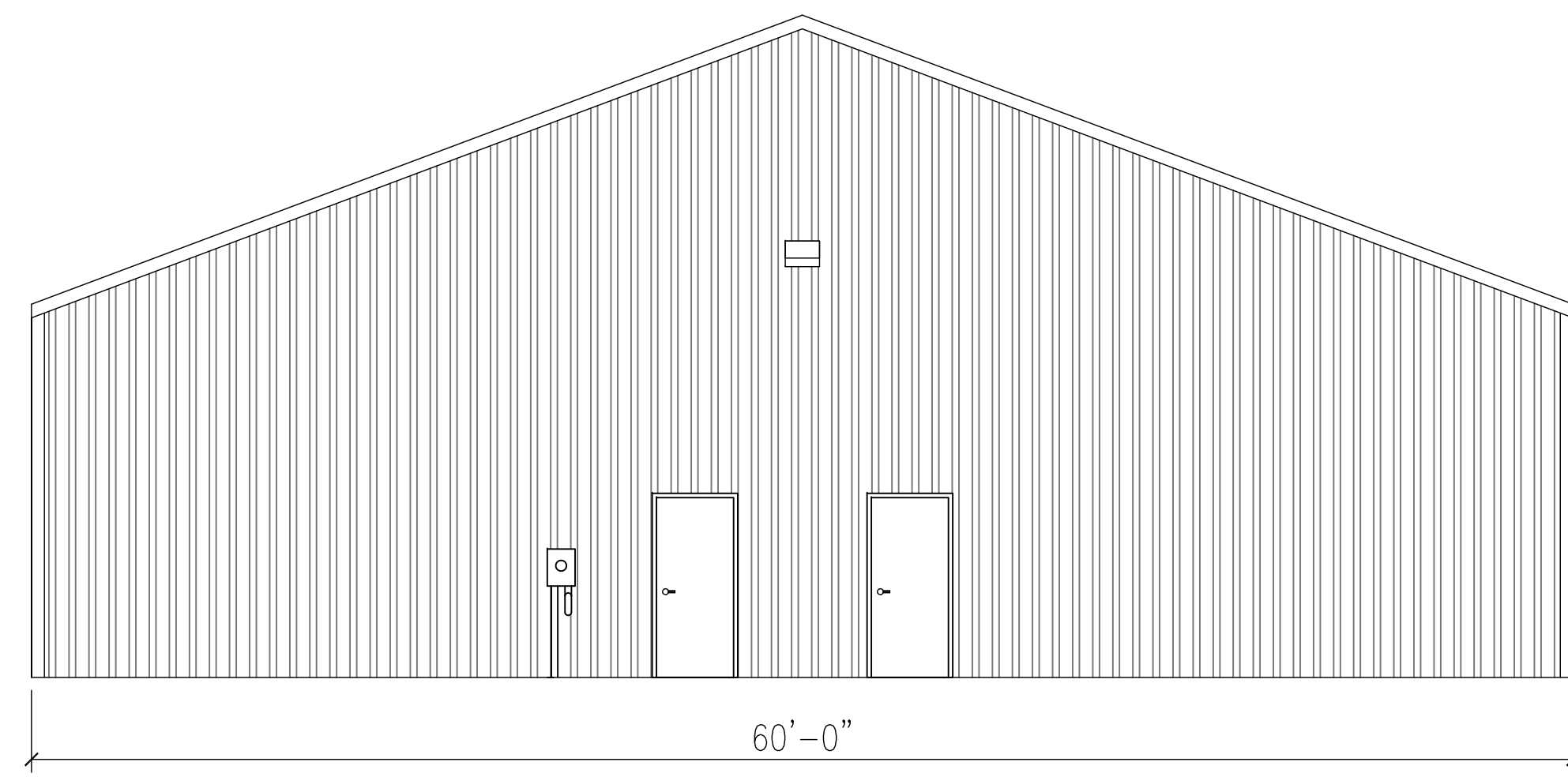
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BUILDING NOTES:

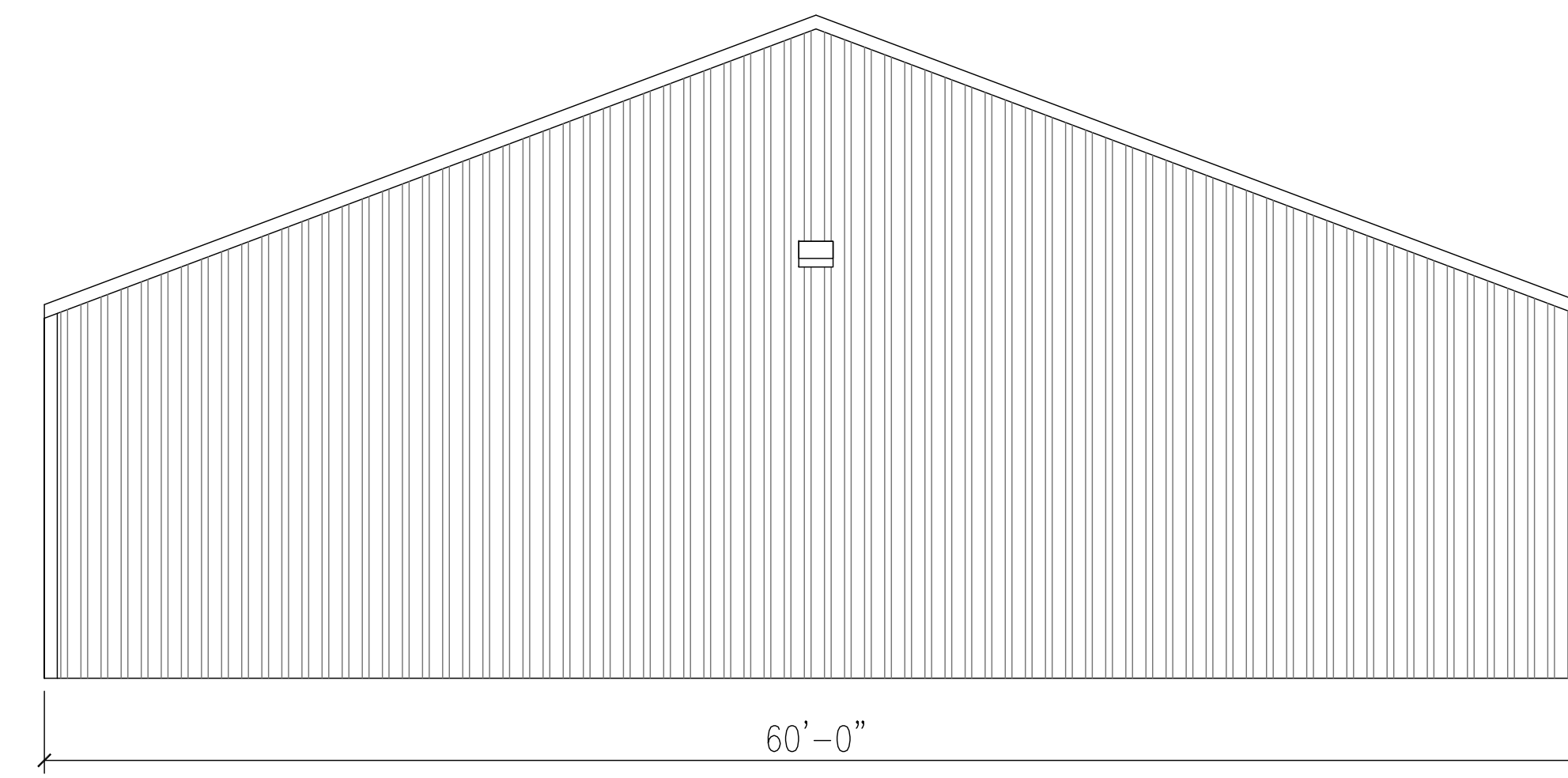
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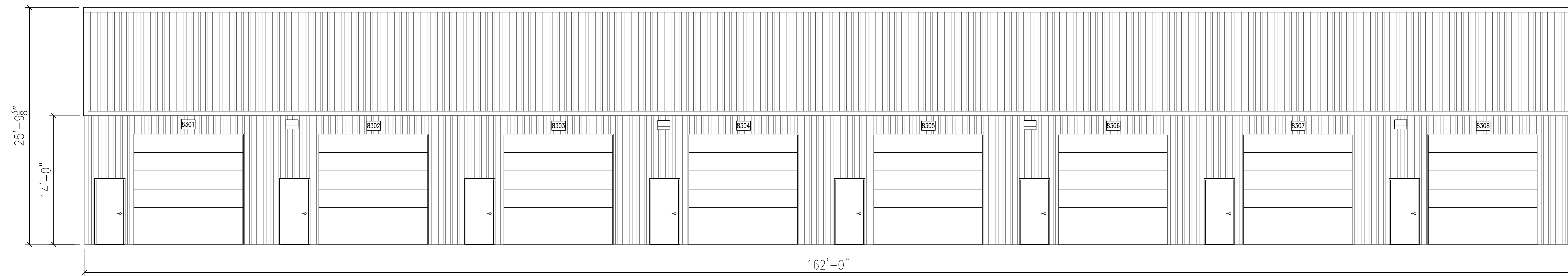
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



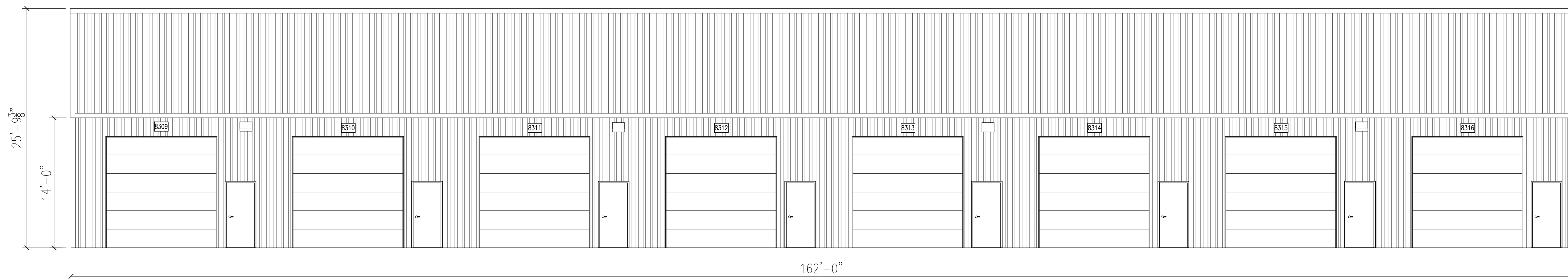
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



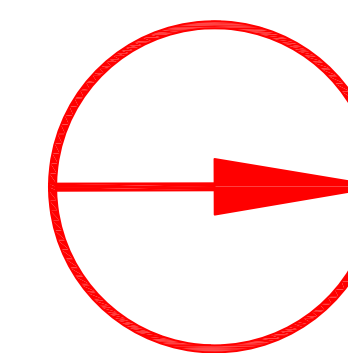
WEST ELEVATION



BUILDING 83D
PHASE I

**FRANKLIN,
WISCONSIN**

ELEVATIONS



NORTH

BUILDING NOTES:

SQFT:	9720
MODEL:	80
UNITS:	16
DATE:	03.01.2022
REVISED:	

INFORMATION

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INDIANAPOLIS, IN 46250



RISE Franklin, LLC. Build Order / PHASE 2 Building Layouts

RISE COMMERCIAL DISTRICT West Monarch Dr. Franklin, WI 53132

Construction Management



Call Brent Kuhn for information 317-710-7827

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LEGEND

- *FINAL PAVEMENT SECTIONS TO BE PROVIDED BY GEOTECHNICAL ENGINEER**
- LIGHT DUTY PAVEMENT**
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 3-1/2" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (2-1/2" 3 LT 58-28 S)
 - UPPER LAYER (1-1/2" 5 LT 58-28 S)
 - HEAVY DUTY PAVEMENT**
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 5" ASPHALTIC CONC. (2 LIFTS)
 - LOWER LAYER (3" 3 MT 58-28 S)
 - UPPER LAYER (2" 4 MT 58-28 S)
 - CONCRETE PAVEMENT (CONCRETE APRONS)**
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH #6@6 GAUGE STEEL MESH)
 - CONCRETE SIDEWALK**
 - 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)
 - 5" PCC (646 WELDED WIRE FABRIC PER RACI 315-92)
 - 4" SOLID WHITE STRIPE**
 - 4" DIAGONAL AT 45° SPACED 2' O.C.**
 - R7-8 HANDICAP PARKING SIGN (SEE DETAIL)**
 - BOLLARD TO BE USED WHEN PLACED IN PAVEMENT**
 - ADA STALL INSIGNIA**
 - DETECTABLE WARNING PLATES (SEE DETAIL)**
 - 18" CURB & GUTTER (SEE DETAIL)**
 - 18" REVERSE CURB & GUTTER (SEE DETAIL)**
 - TAPER CURB HEAD (SEE DETAIL)**
 - INTEGRAL CURB AND SIDEWALK (SEE DETAIL)**
 - BOLLARD**
 - CHESTERFIELD CERTAGRAIN ARCTIC BLEND 6" FENCE**
 - CHAIN LINK FENCE**
 - PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)**
 - MAN DOOR**
 - OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)**

- Phase 1 Build Order:**
1. Building 15
 2. Building 21 (A)
 3. Building 51 (B)
 4. Building 61
 5. Building 71
 6. Building 72
 7. Building 81 (B)
 8. Building 82 (A)
 9. Building 83 (D)

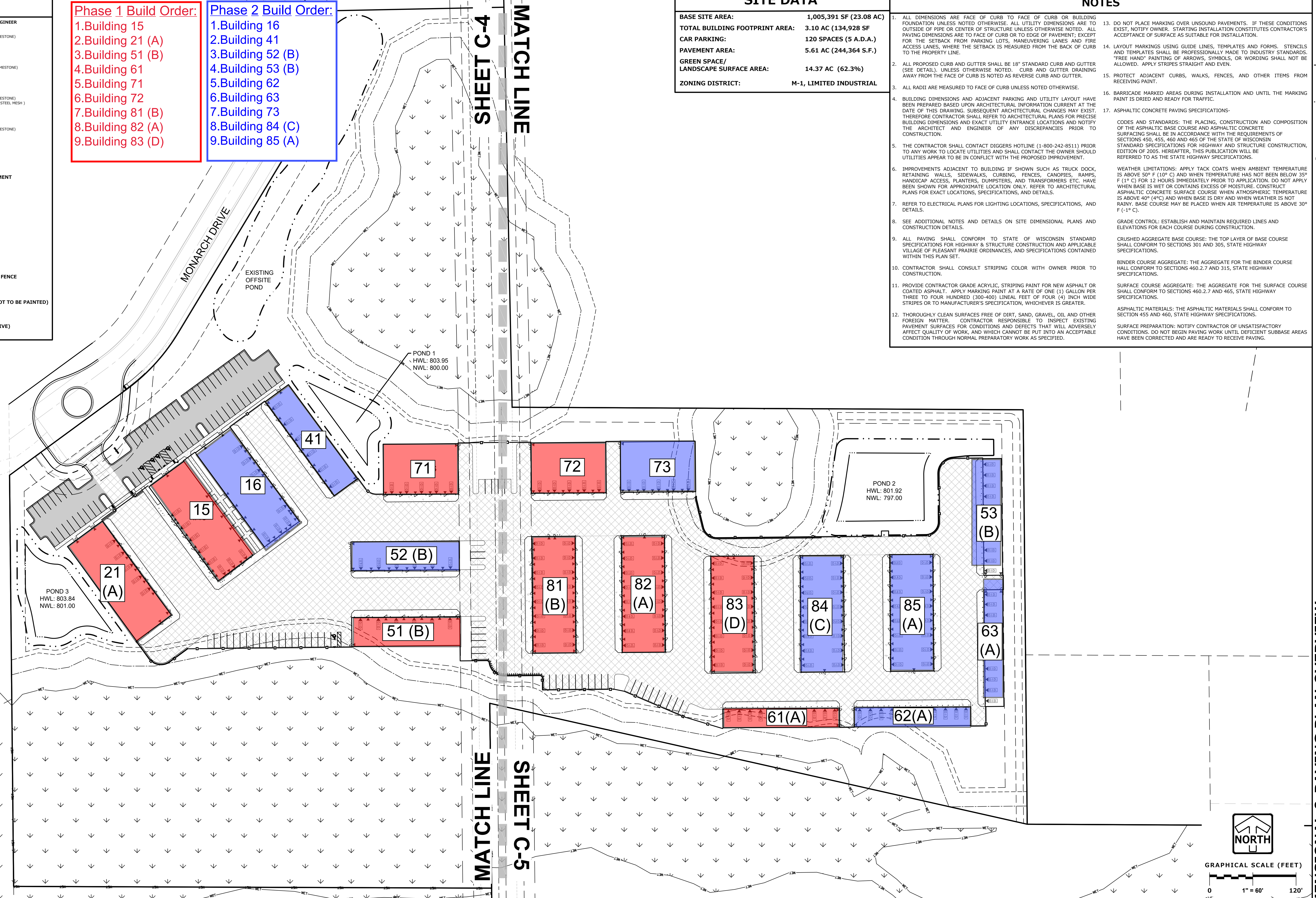
- Phase 2 Build Order:**
1. Building 16
 2. Building 41
 3. Building 52 (B)
 4. Building 53 (B)
 5. Building 62
 6. Building 63
 7. Building 73
 8. Building 84 (C)
 9. Building 85 (A)

SITE DATA

BASE SITE AREA:	1,005,391 SF (23.08 AC)
TOTAL BUILDING FOOTPRINT AREA:	3.10 AC (134,928 SF)
CAR PARKING:	120 SPACES (5 A.D.A.)
PAVEMENT AREA:	5.61 AC (244,364 S.F.)
GREEN SPACE/ LANDSCAPE SURFACE AREA:	14.37 AC (62.3%)
ZONING DISTRICT:	M-1, LIMITED INDUSTRIAL

NOTES

- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
- ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
- ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
 CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
 WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
 SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
 ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.



DESIGNED: DCC
 DRAFTED: DCC
 REVIEWED: MAC

PLAN | DESIGN | DELIVER
 www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
 20725 WATERTOWN ROAD, SUITE 300
 BROOKFIELD, WI 53186
 (262) 754-8888
 CHICAGO | MILWAUKEE | NATIONWIDE

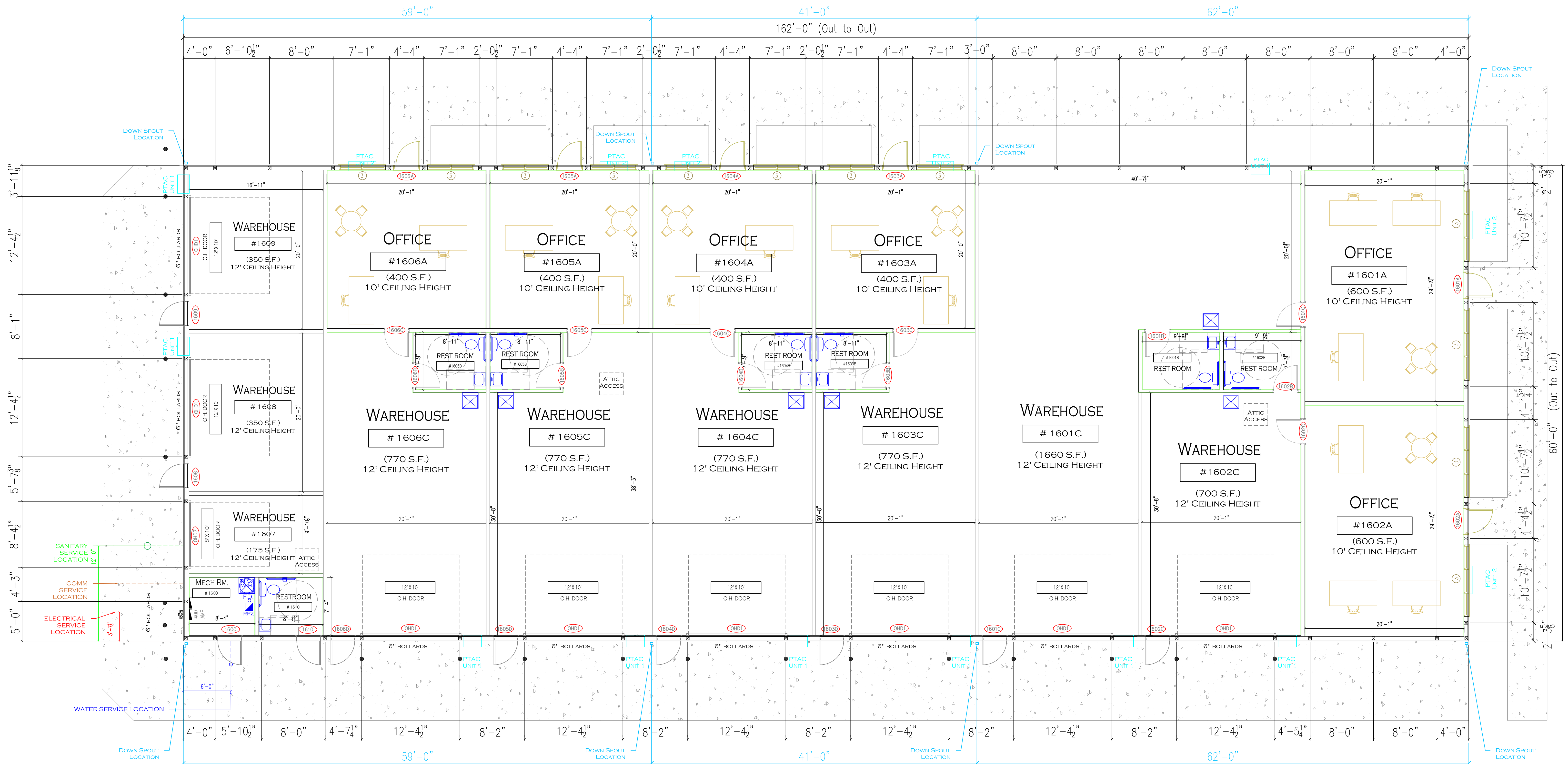
LOT 84 RISE COMMERCIAL DISTRICT

WEST MONARCH DRIVE, FRANKLIN, WI 53132

SITE DIMENSIONAL & PAVING PLAN OVERVIEW

REVISIONS		SHEET C-3 C-21
NO.	DESCRIPTION	

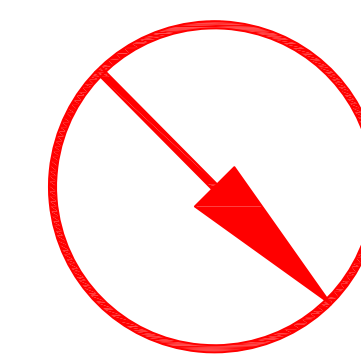
REG JOB No. 809.908
 REG PM MAC
 START DATE 01-12-22
 SCALE 1" = 60'



BUILDING 16
PHASE II

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



NORTH

BUILDING NOTES:

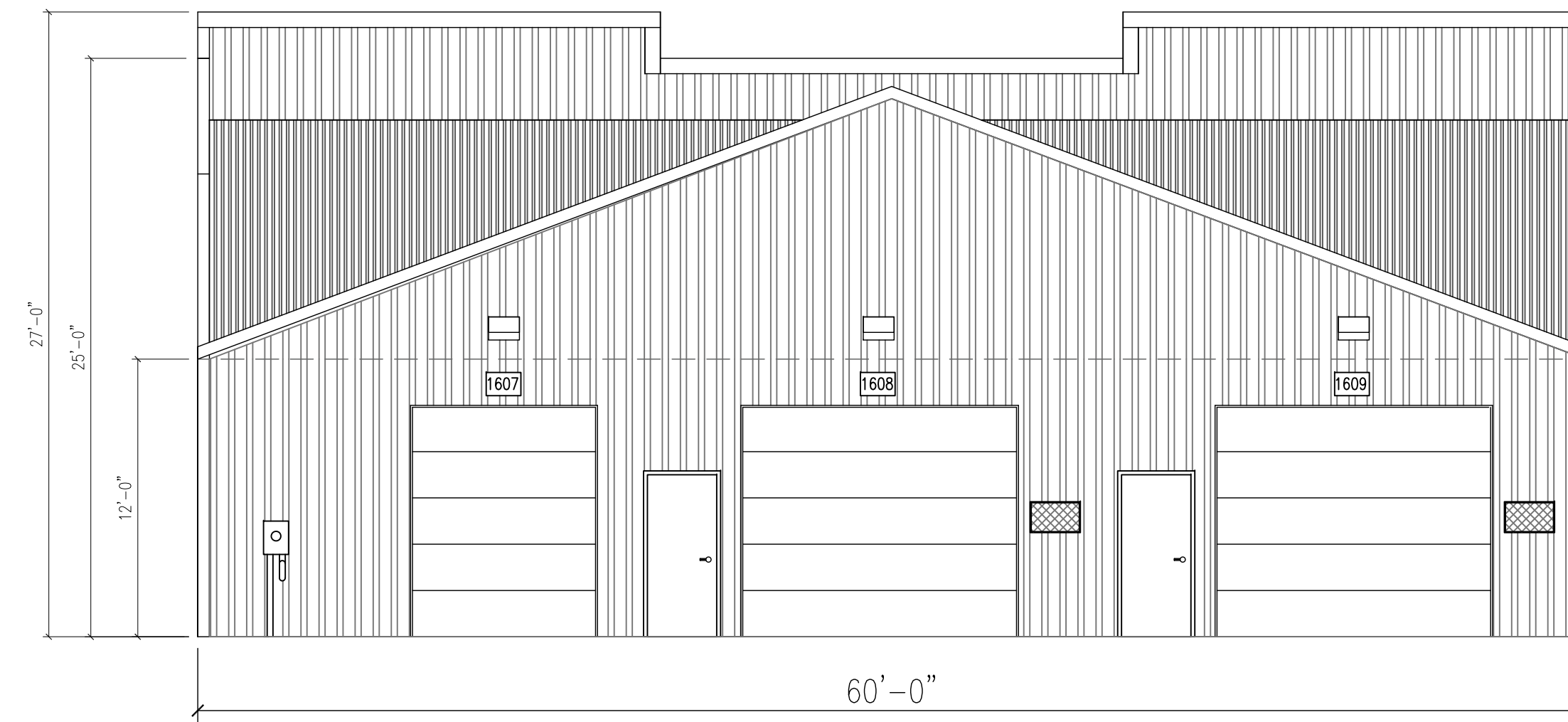
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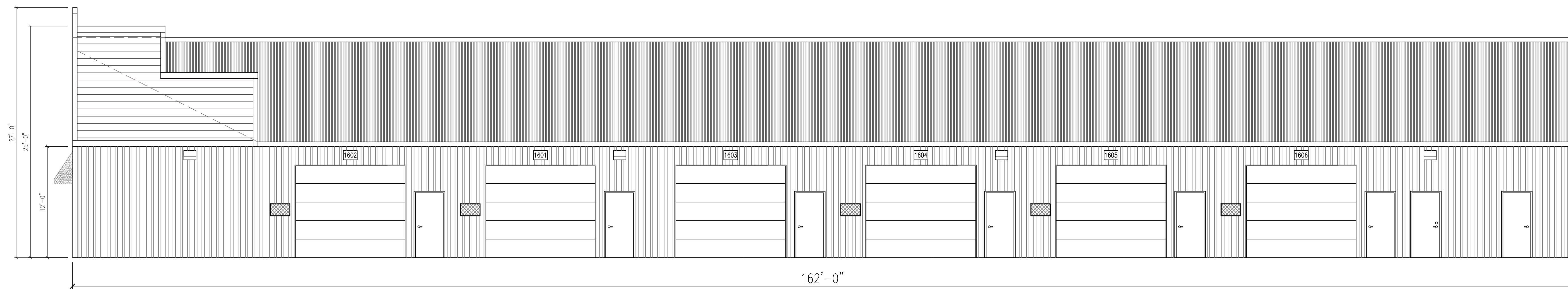
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NOT TO SCALE
FOR INFORMATION ONLY
CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



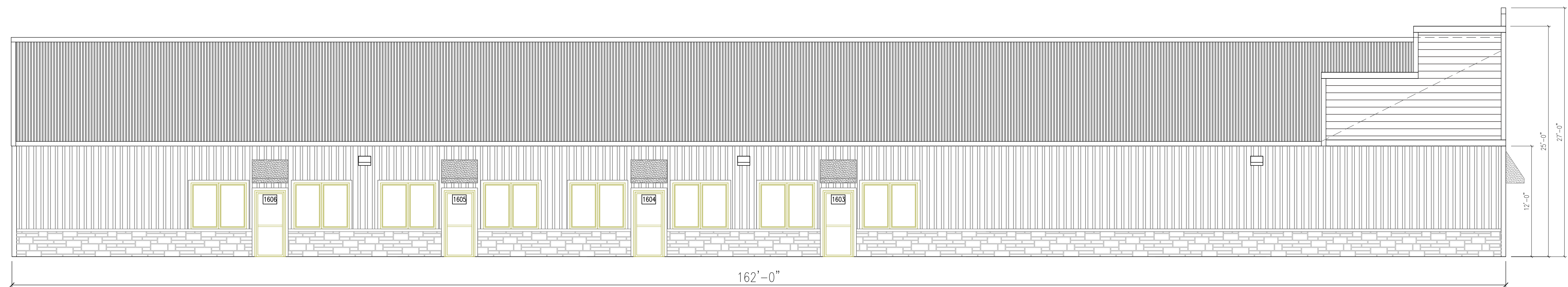
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



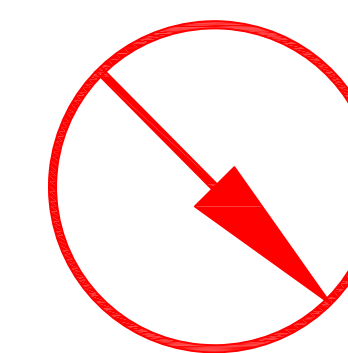
WEST ELEVATION



BUILDING 16
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



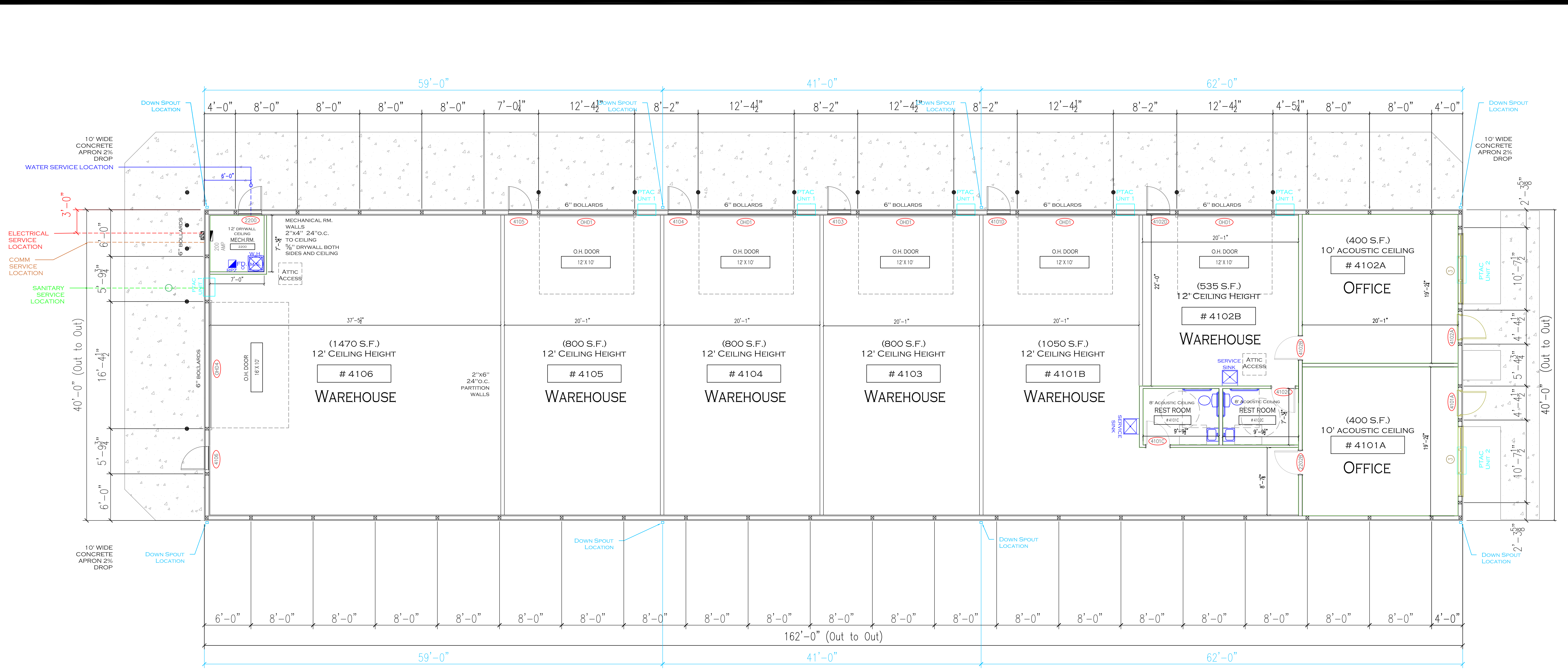
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DATE:	03.01.2022
REVISED:	

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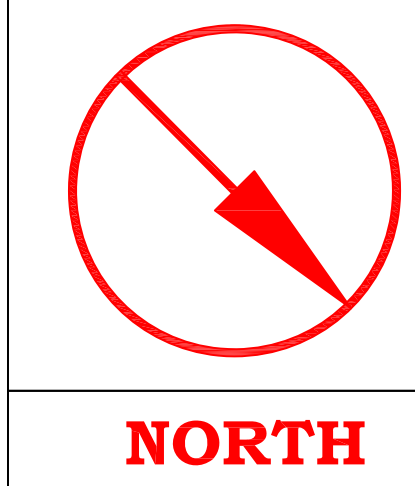
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CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 41
PHASE II

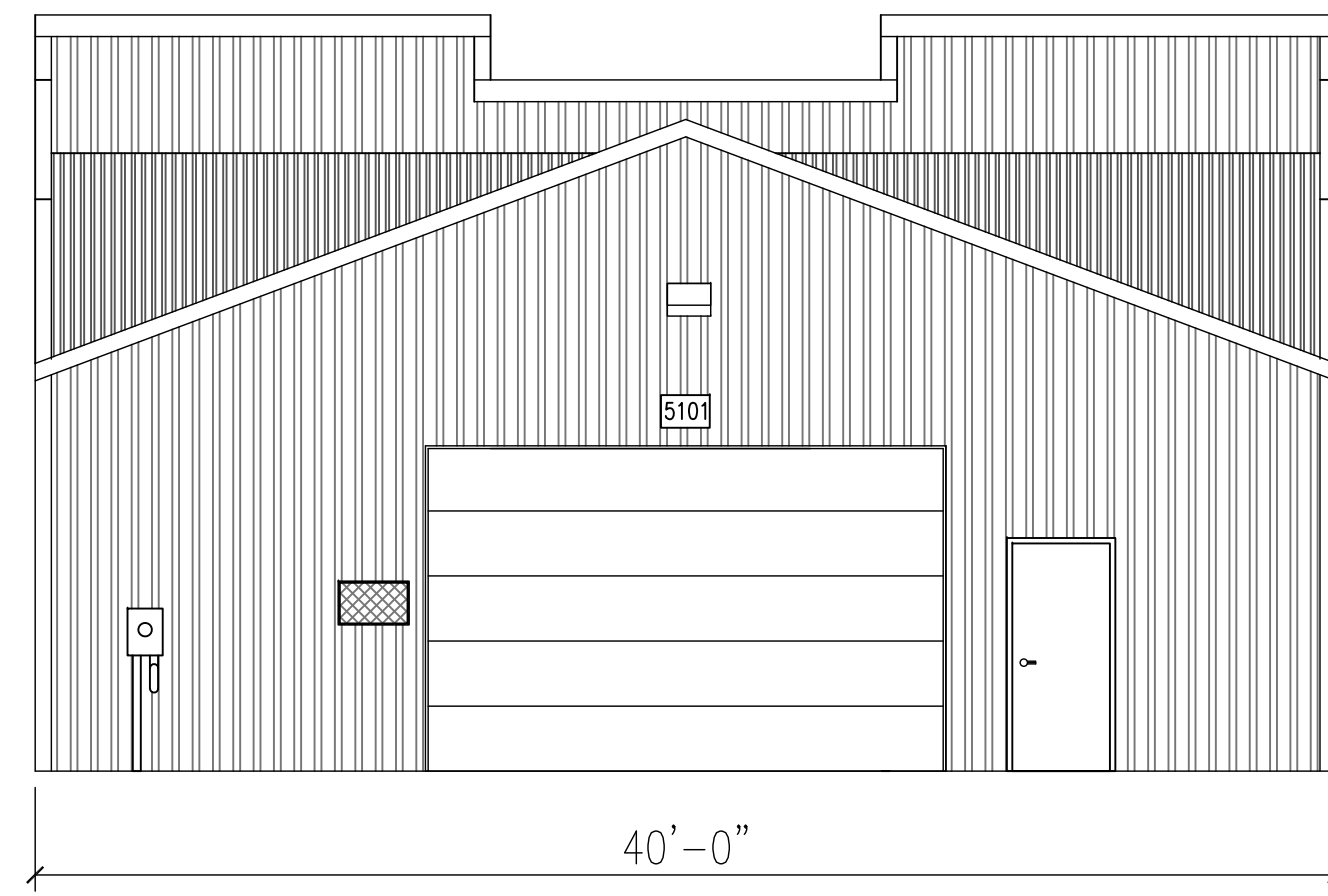
FRANKLIN,
WISCONSIN

FLOOR PLAN
LAYOUT



BUILDING NOTES:	
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DATE:	03.01.2022
REVISED:	

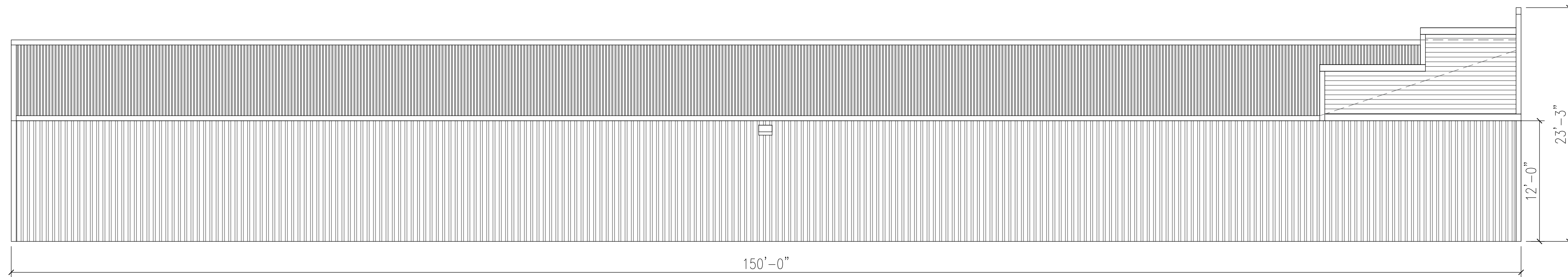
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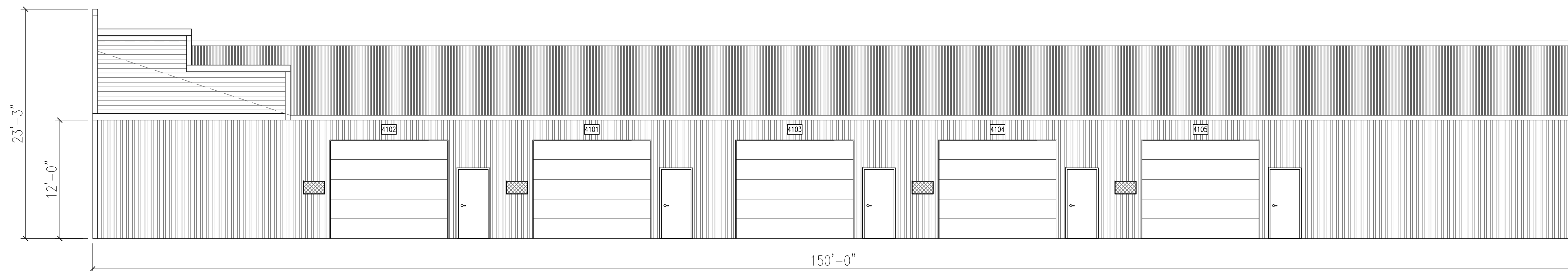
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



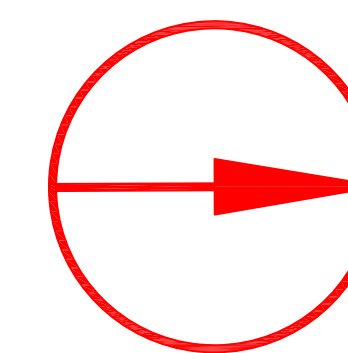
EAST ELEVATION



BUILDING 41
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



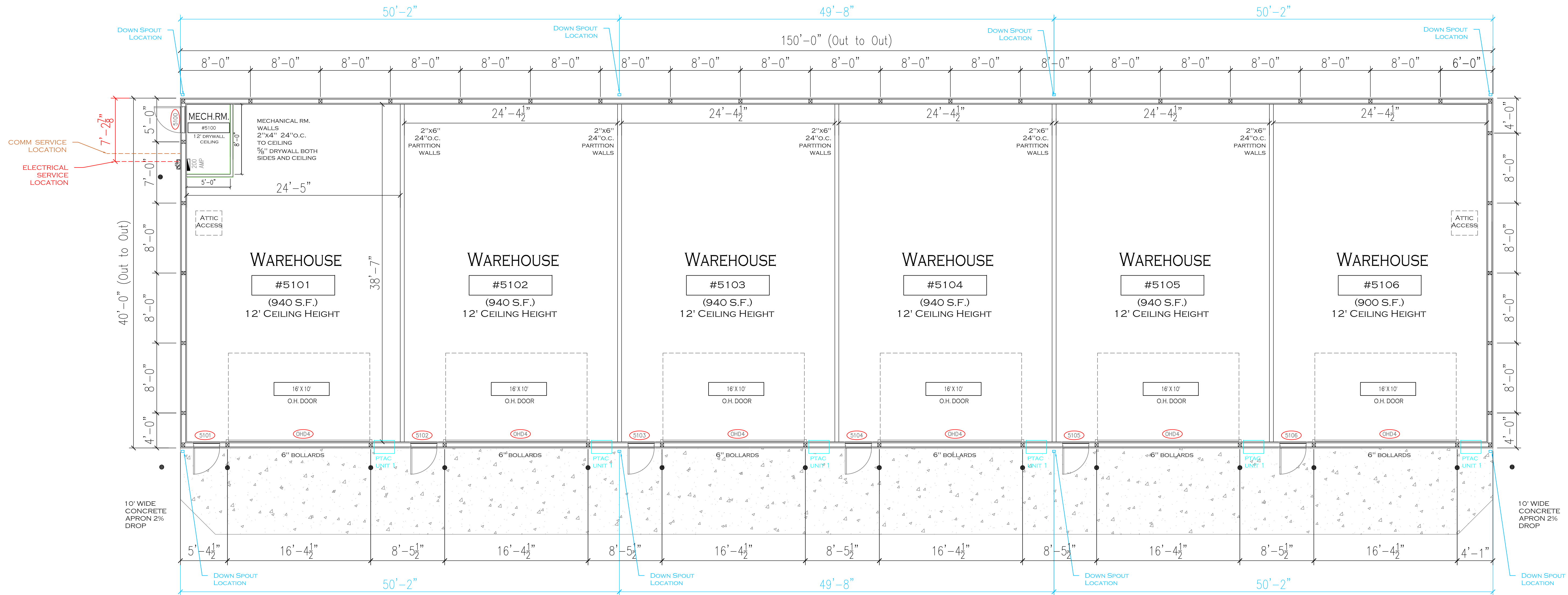
NORTH

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DATE:	03.01.2022
REVISED:	

INFORMATION

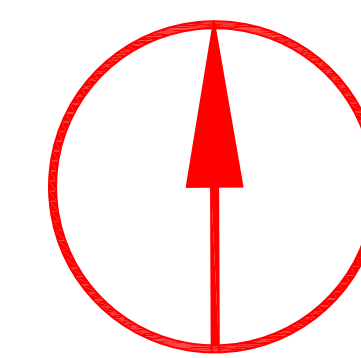
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PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 52B
PHASE II

FRANKLIN,
WISCONSIN

FLOOR PLAN
LAYOUT



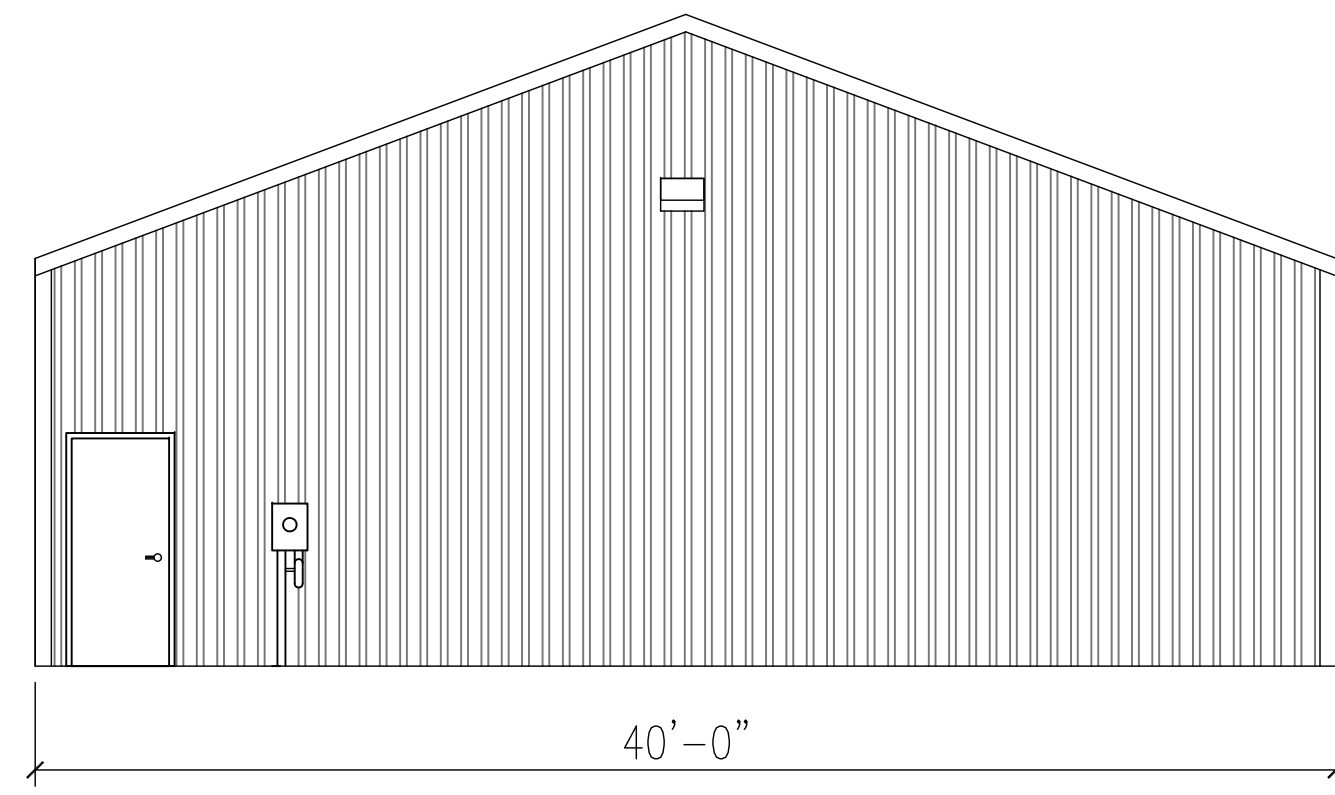
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BUILDING NOTES:

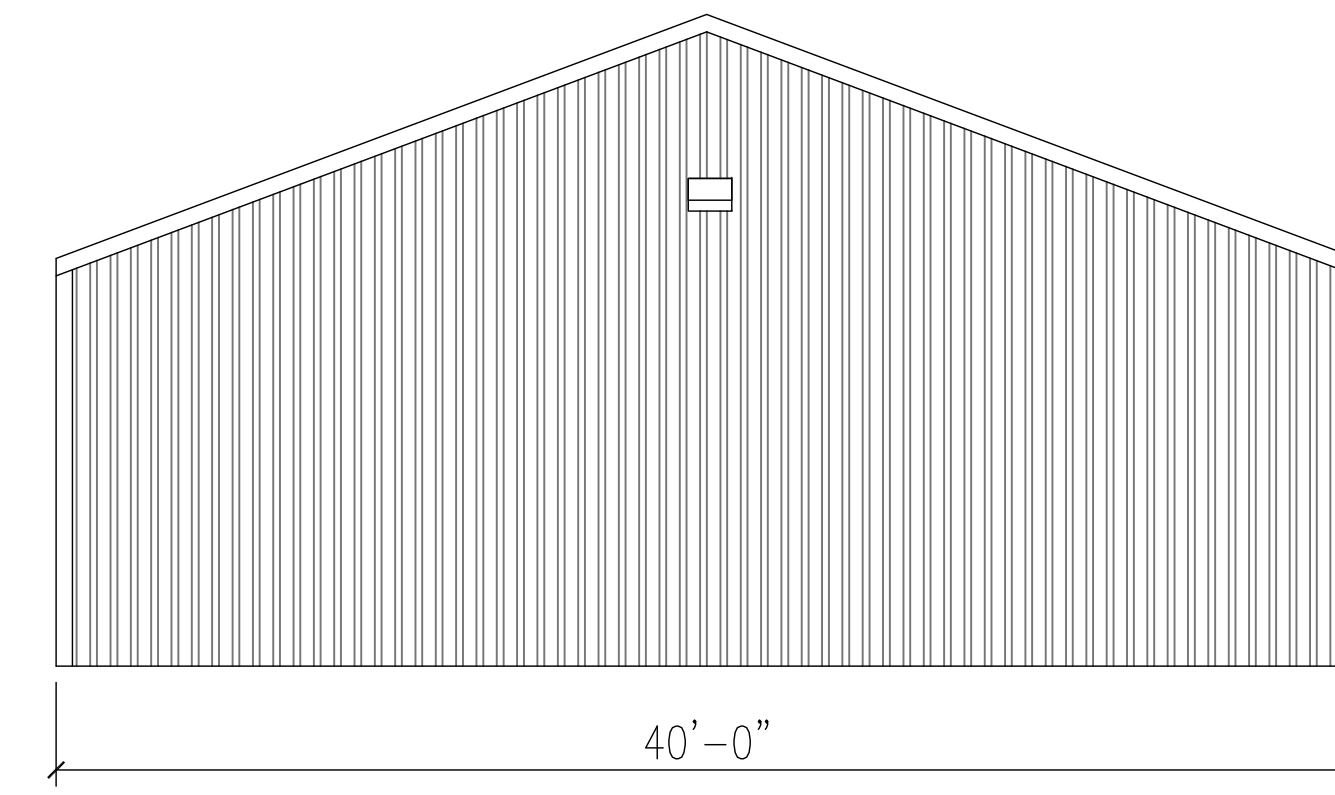
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REVISED:	

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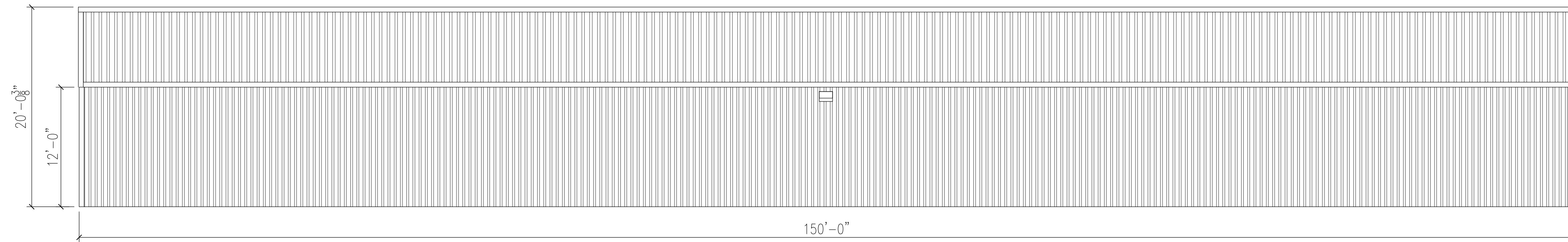
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PROPERTY OF:
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INDIANAPOLIS, IN 46250



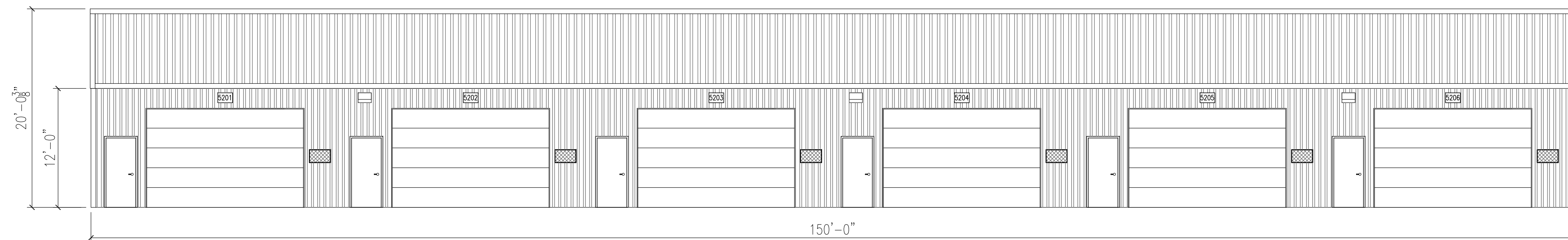
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



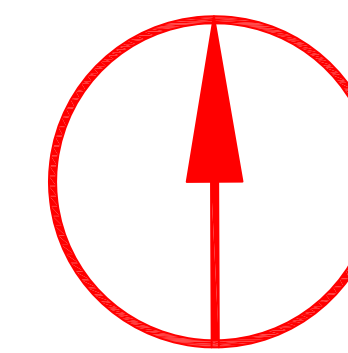
SOUTH ELEVATION



BUILDING 52B
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



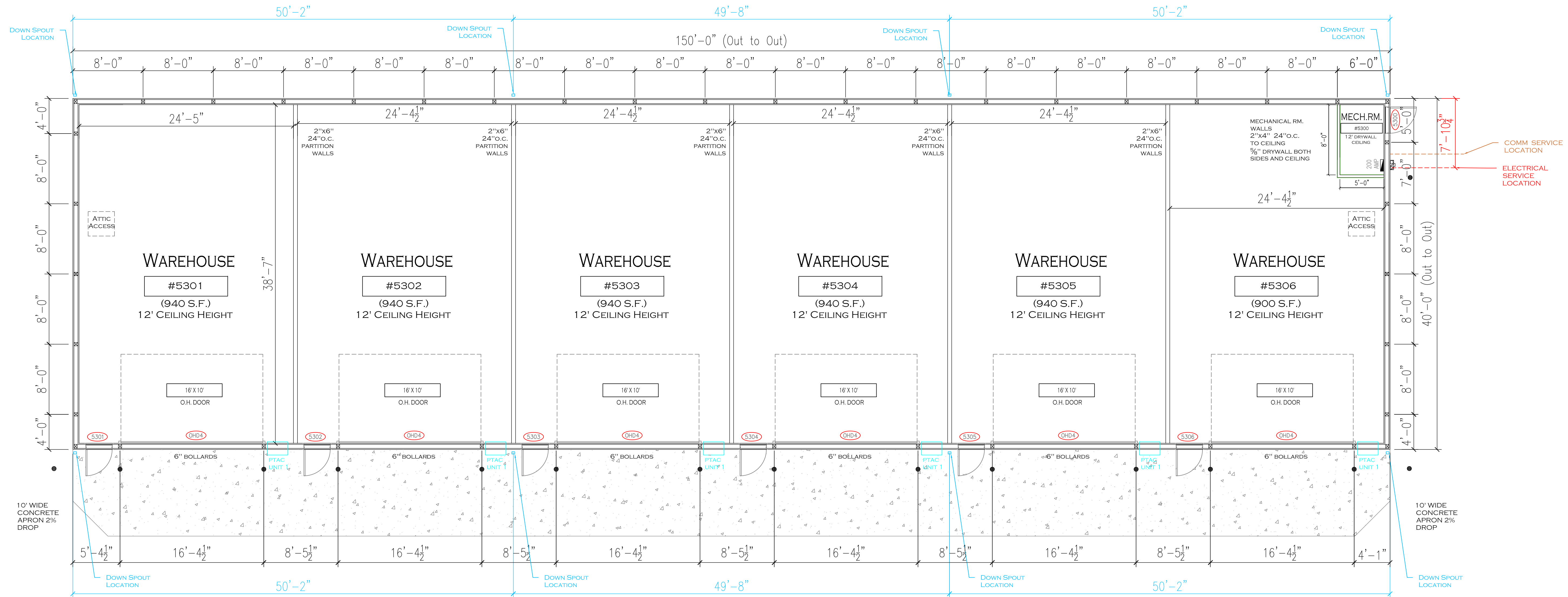
NORTH

BUILDING NOTES:

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REVISED:	

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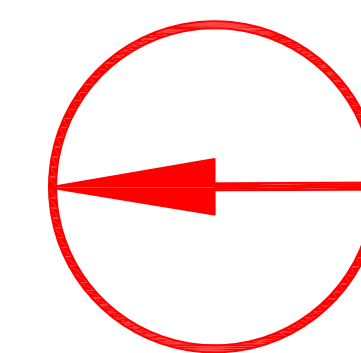
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INDIANAPOLIS, IN 46250



BUILDING 53B
PHASE II

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



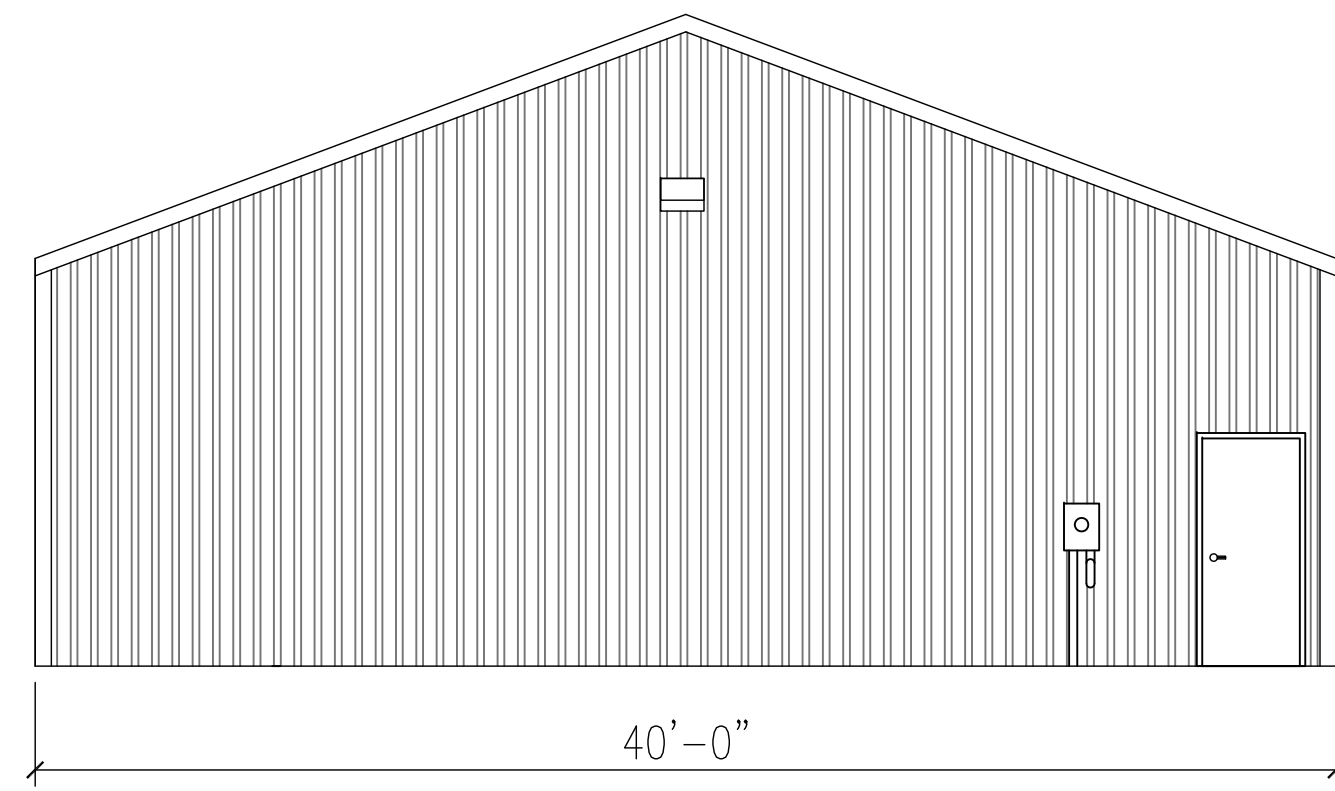
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BUILDING NOTES:

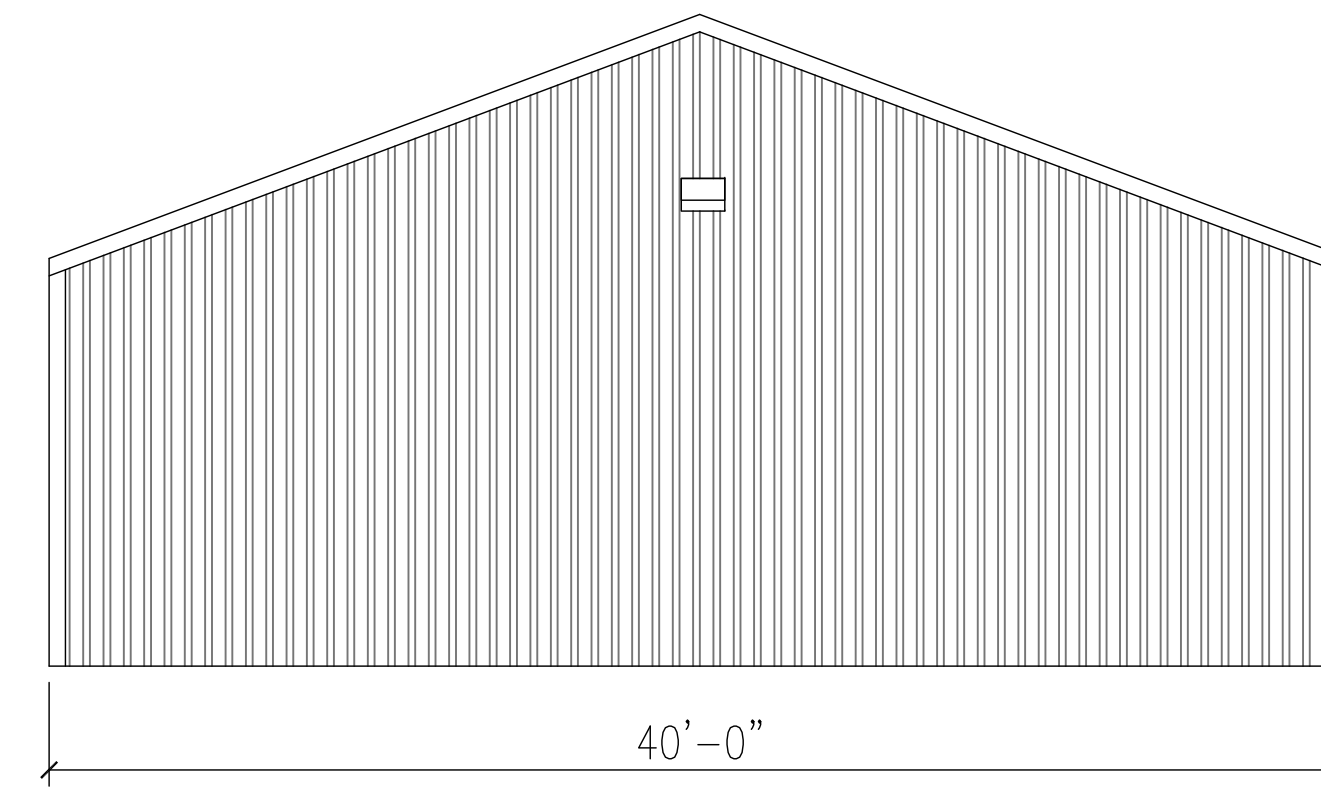
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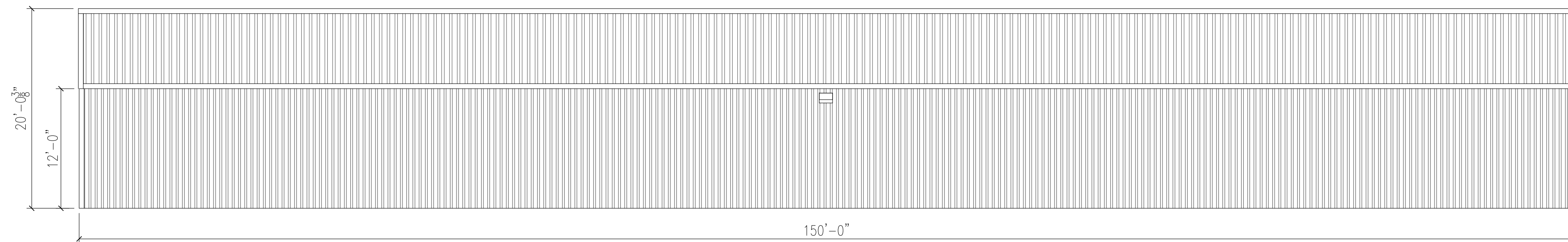
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



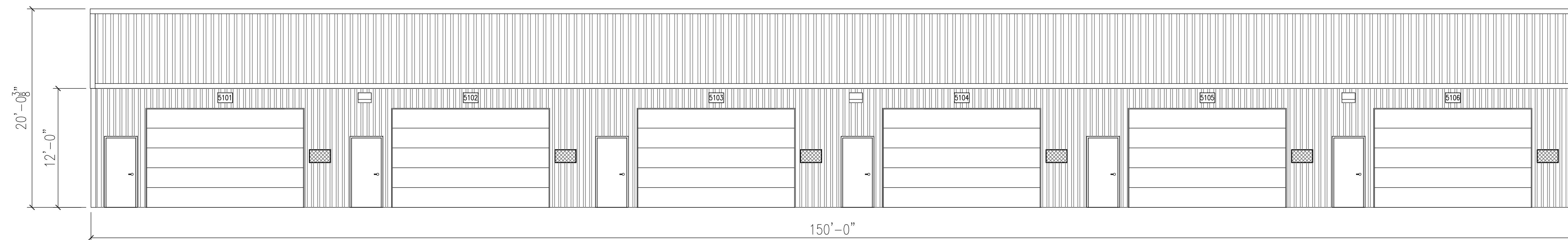
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



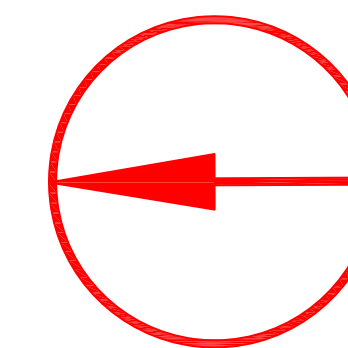
WEST ELEVATION



BUILDING 53B
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



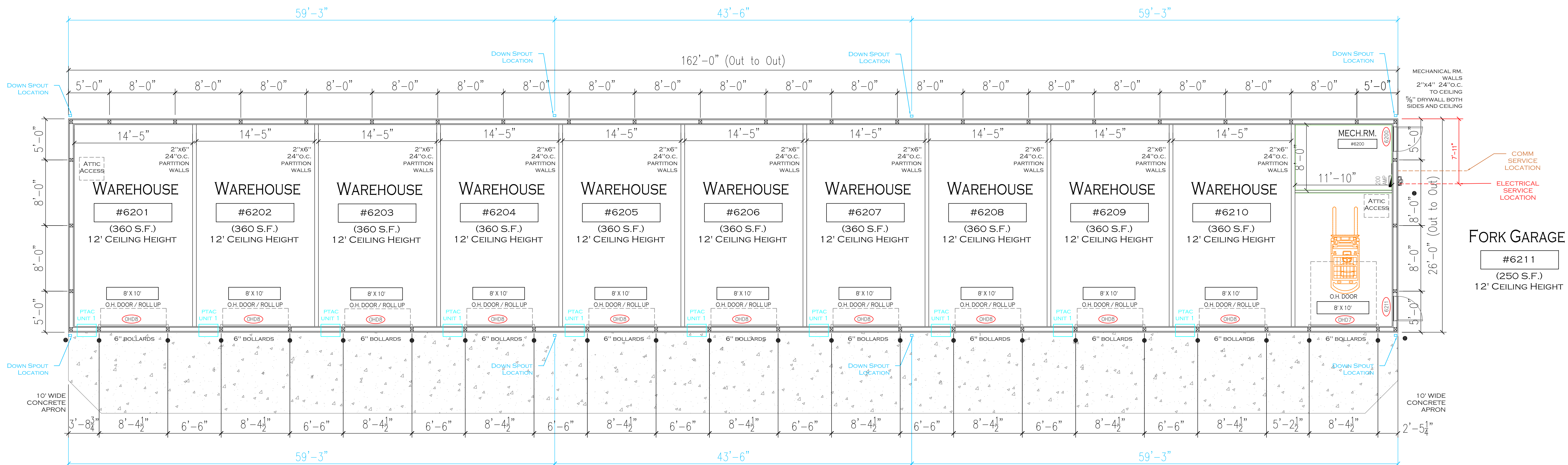
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BUILDING NOTES:

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REVISED:	

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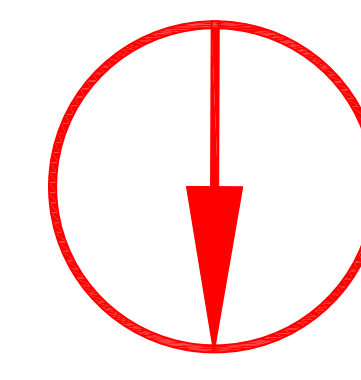
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 62A
PHASE II

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



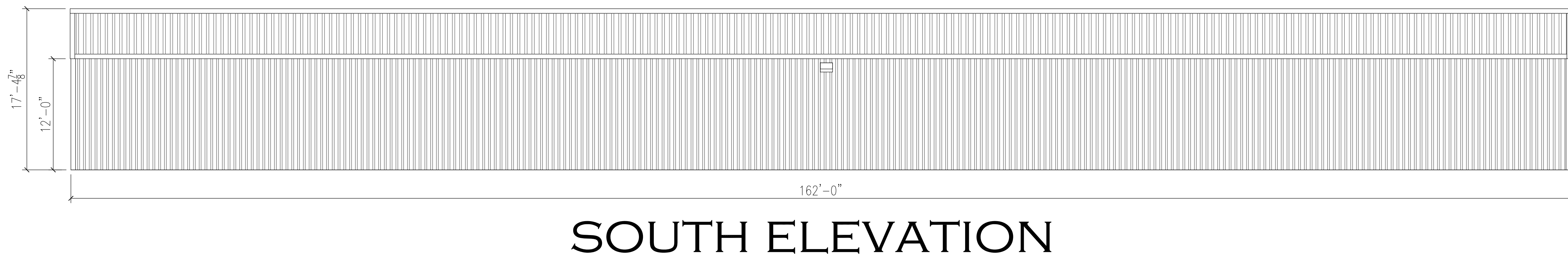
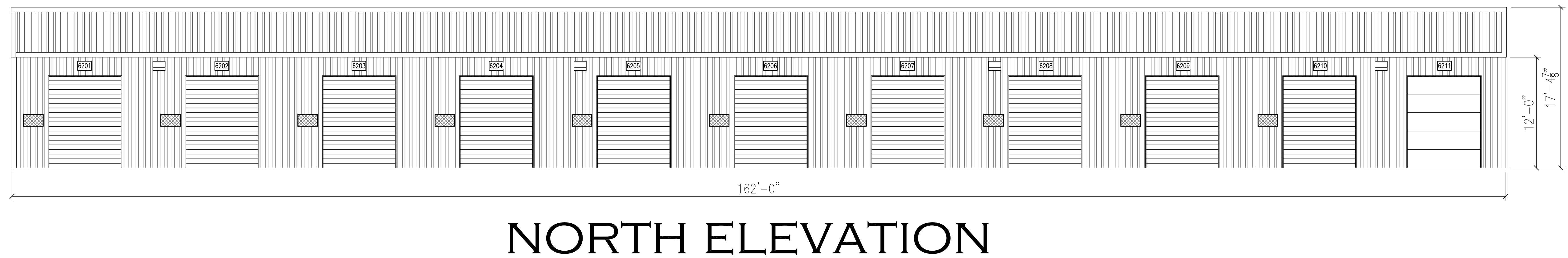
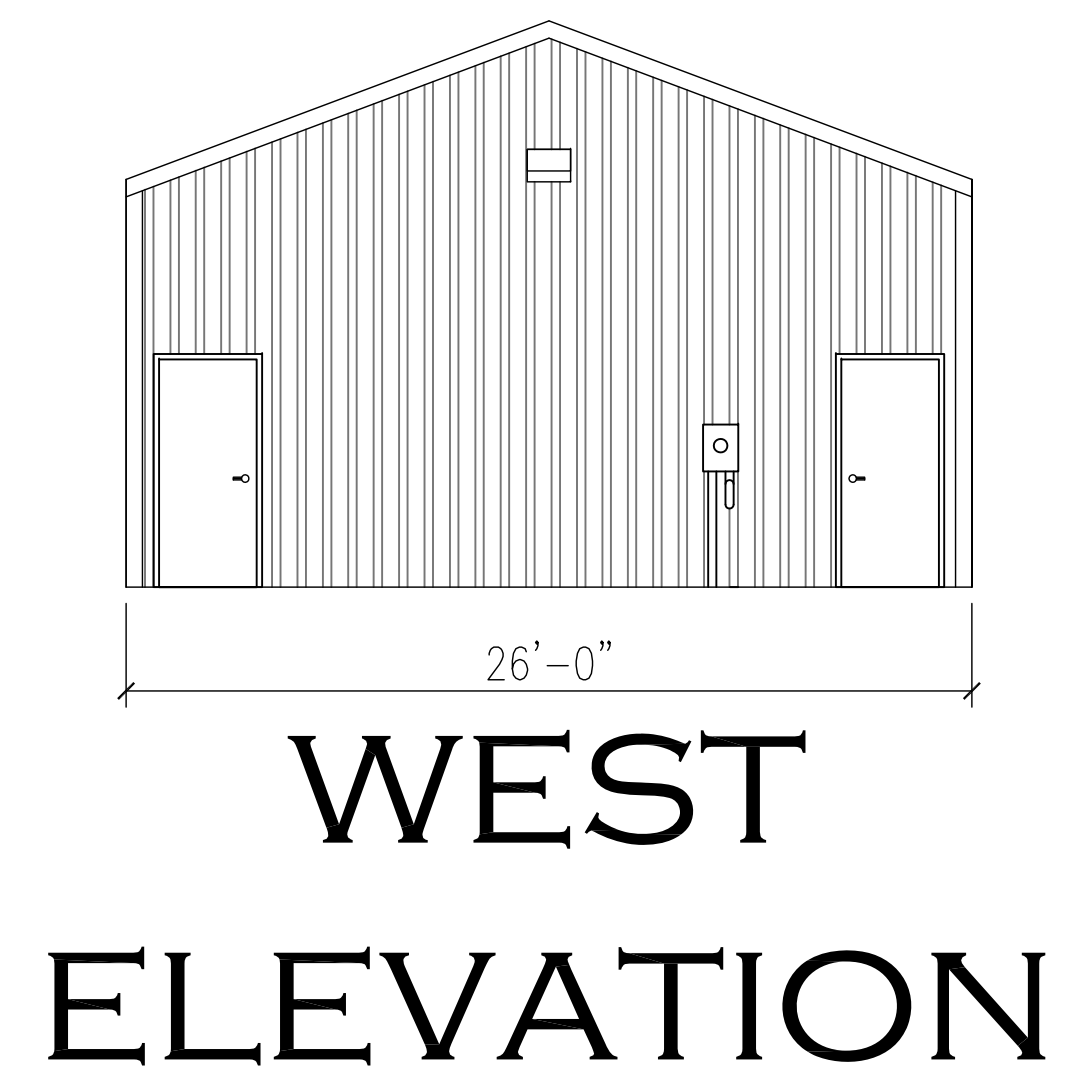
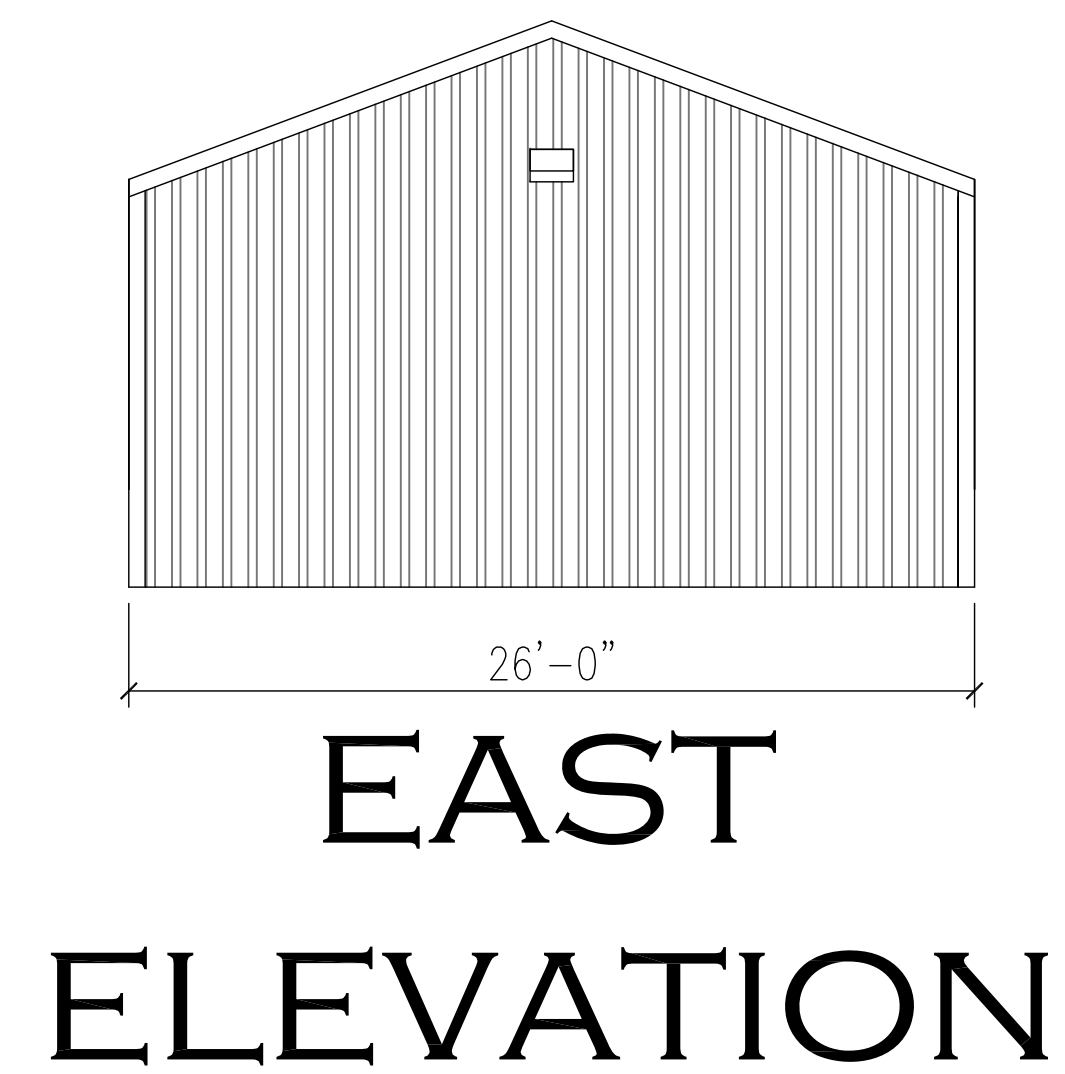
NORTH

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DATE:	03.01.2022
REVISED:	

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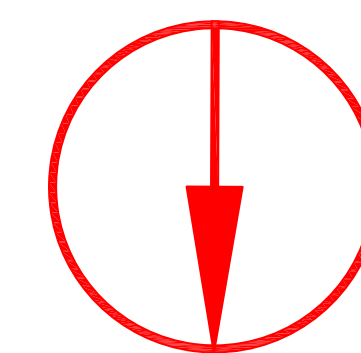
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PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 62A
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



NORTH

BUILDING NOTES:

SQFT:	4212
MODEL:	60
UNITS:	11
DATE:	03.01.2022
REVISED:	

INFORMATION

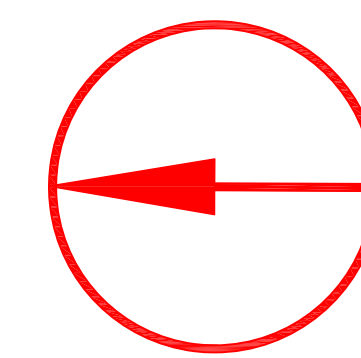
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CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 63A
PHASE II

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



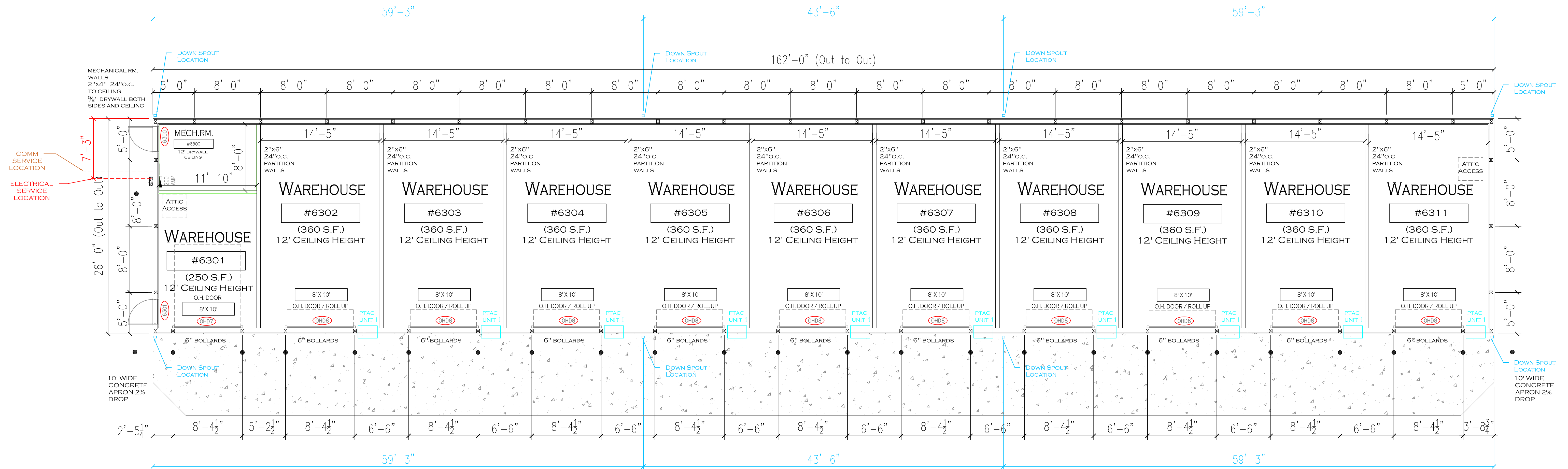
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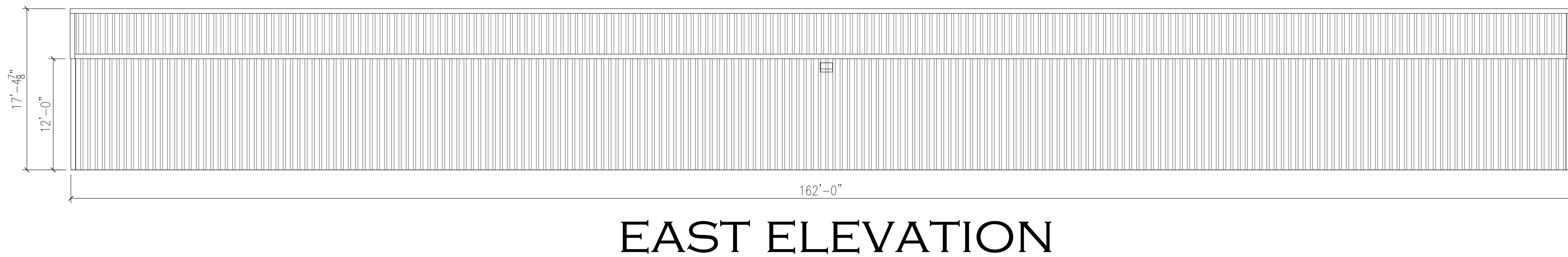
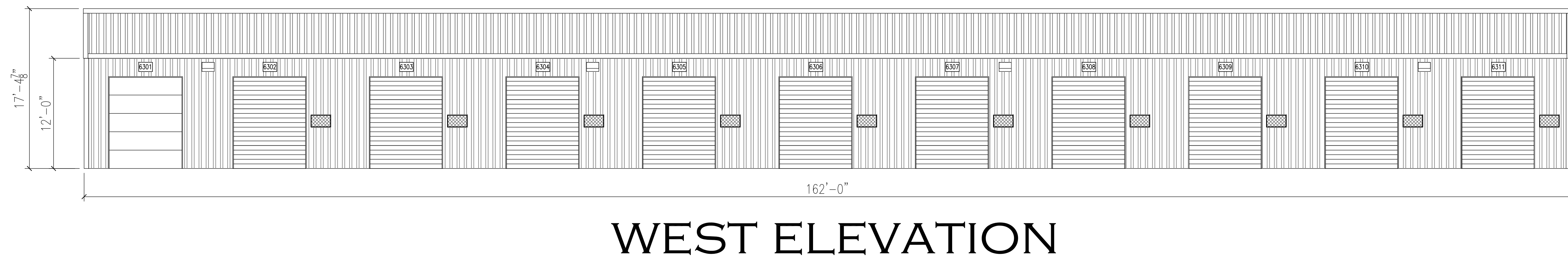
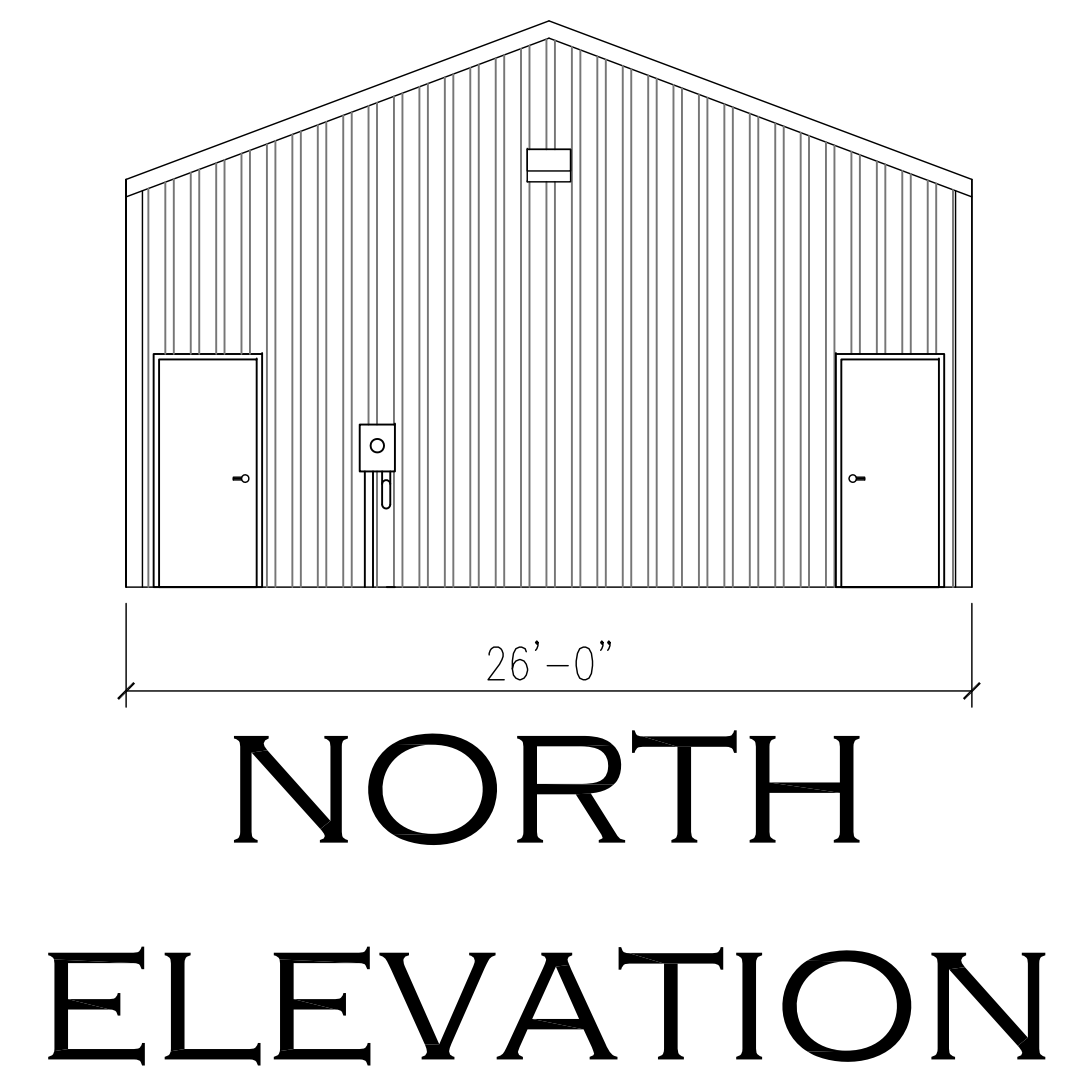
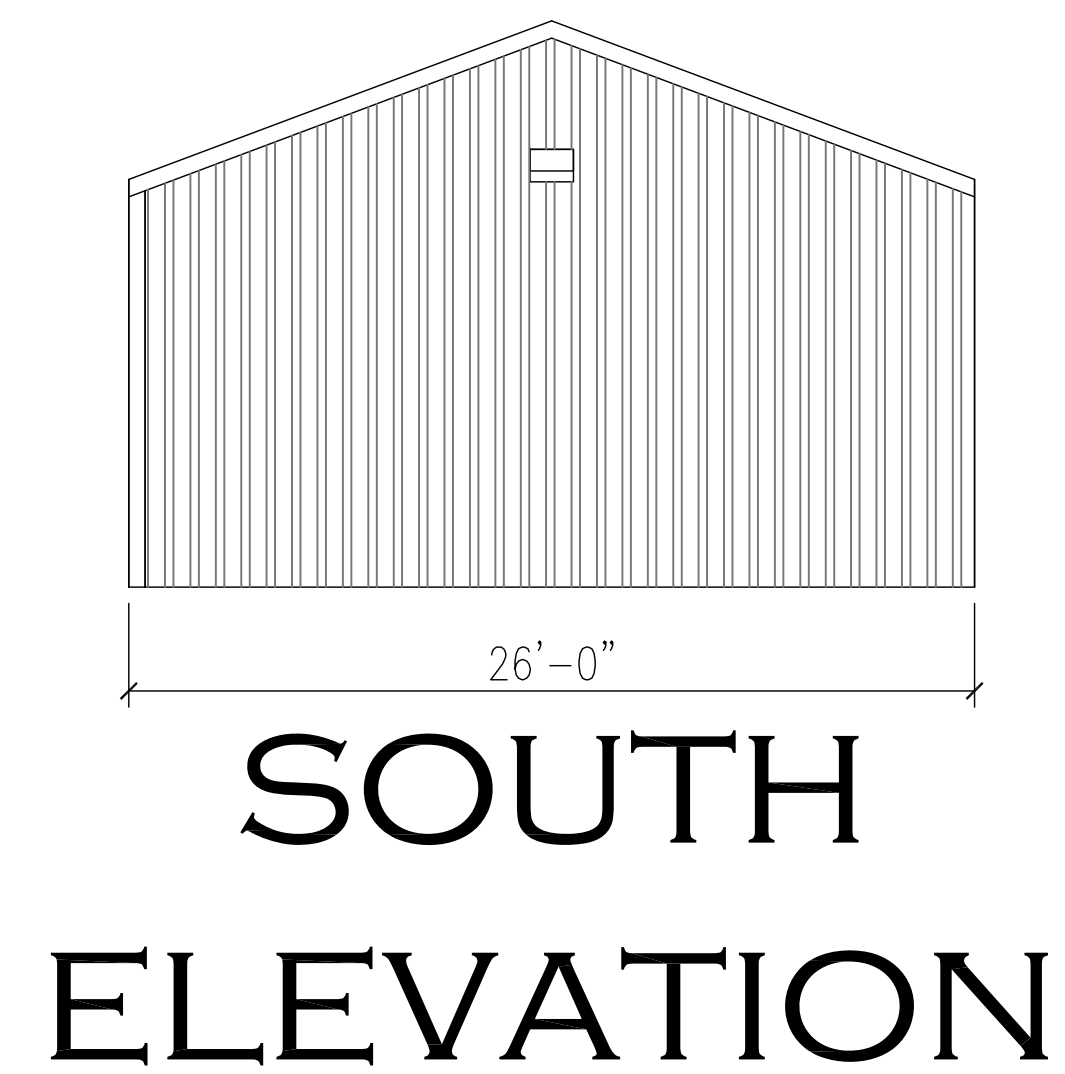
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REVISED:	

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INDIANAPOLIS, IN 46250

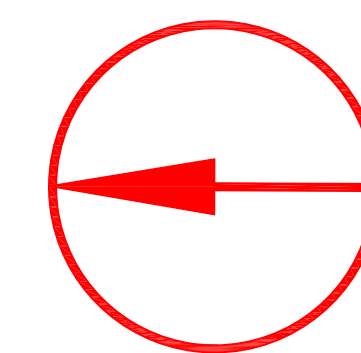




BUILDING 63A
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



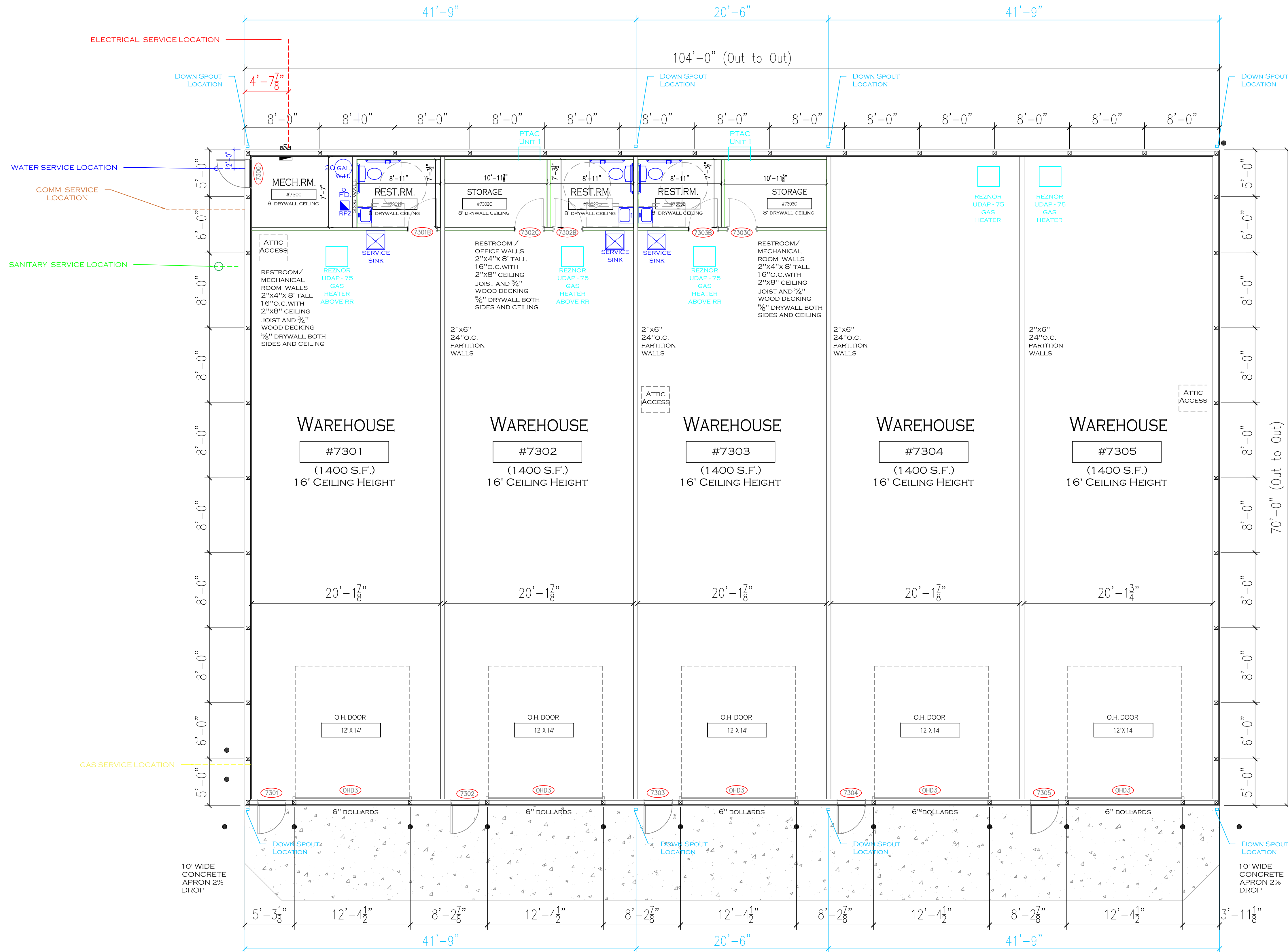
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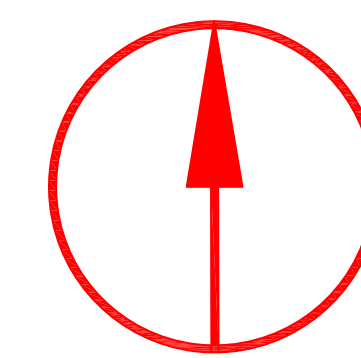
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PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 73 PHASE II

FRANKLIN, WISCONSIN

FLOOR PLAN LAYOUT



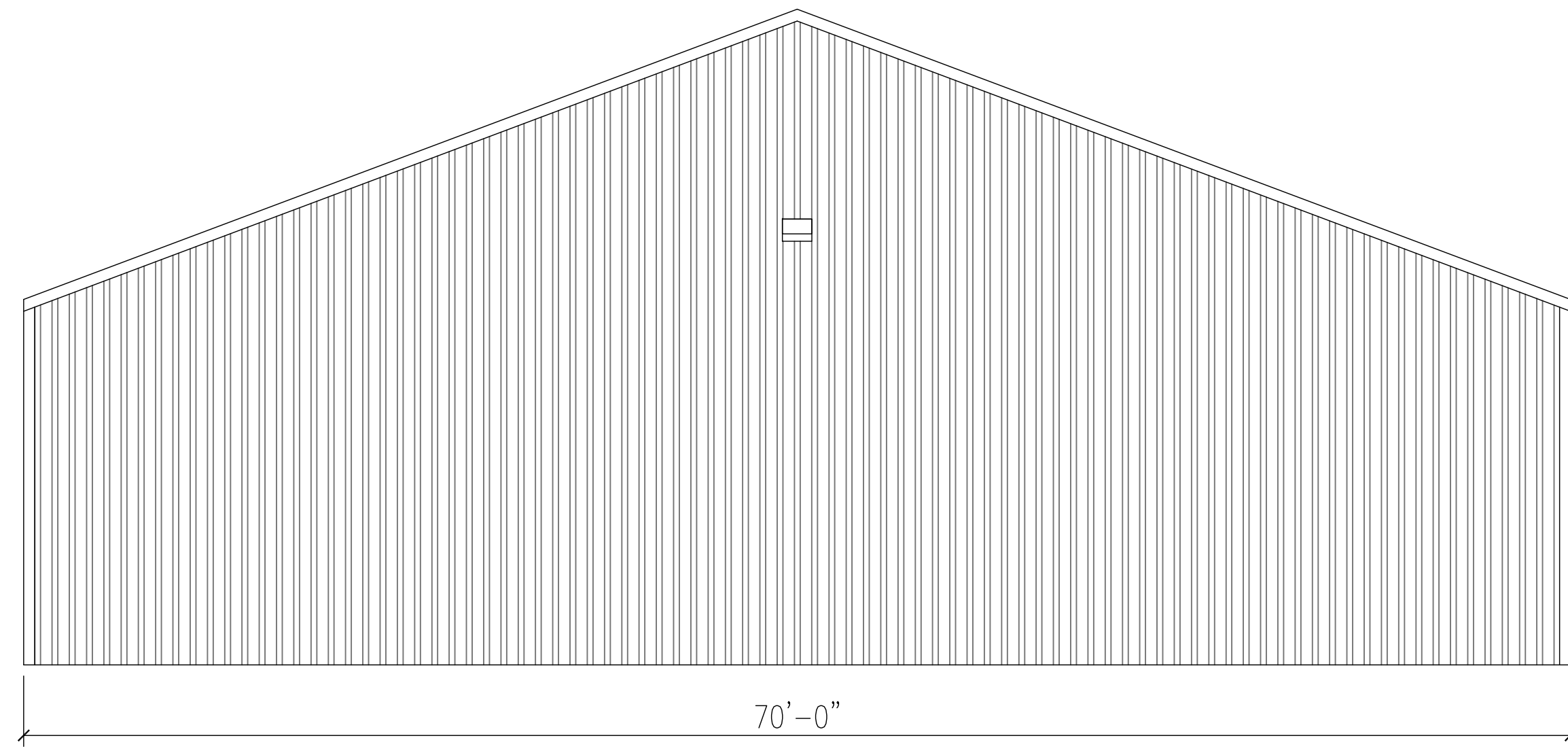
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BUILDING NOTES:

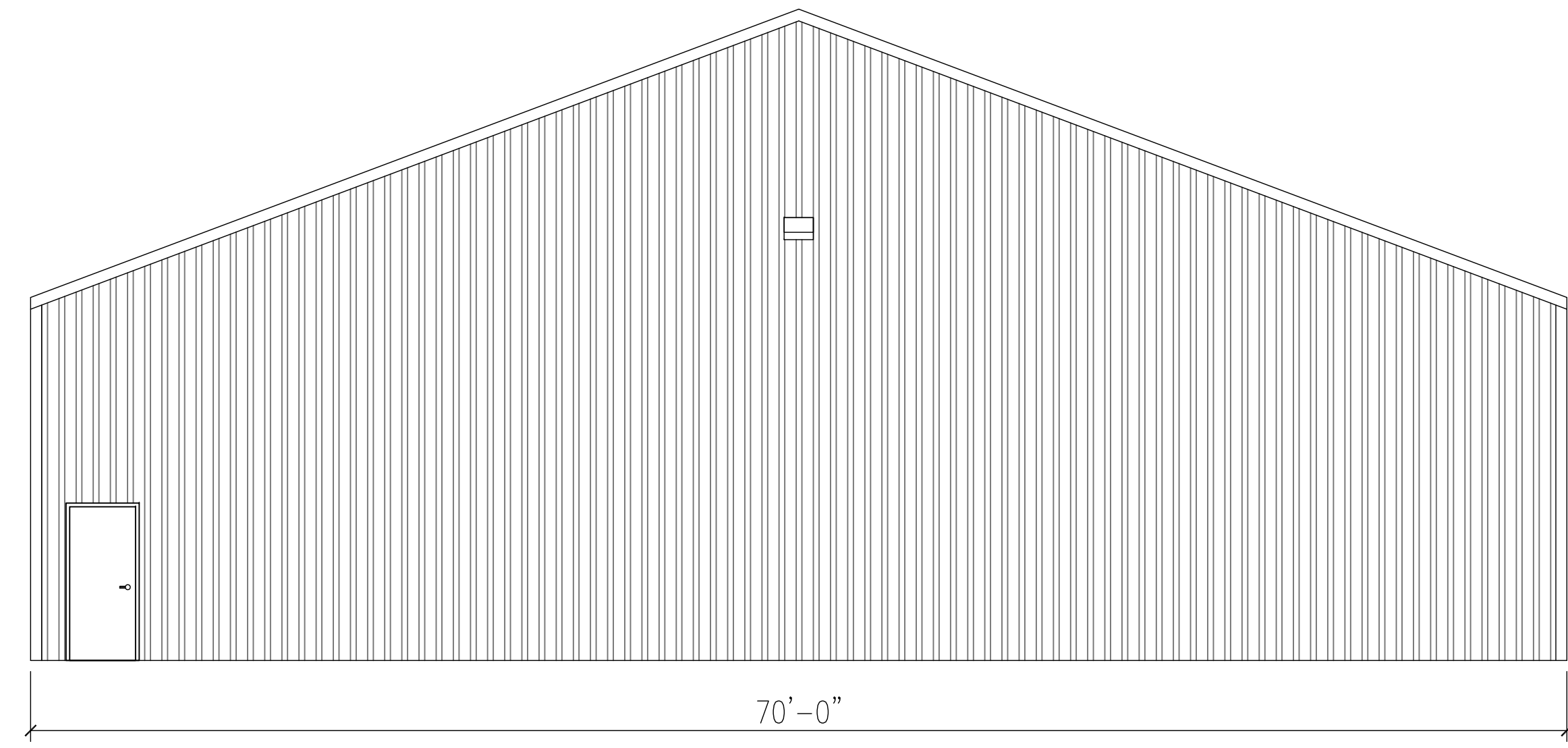
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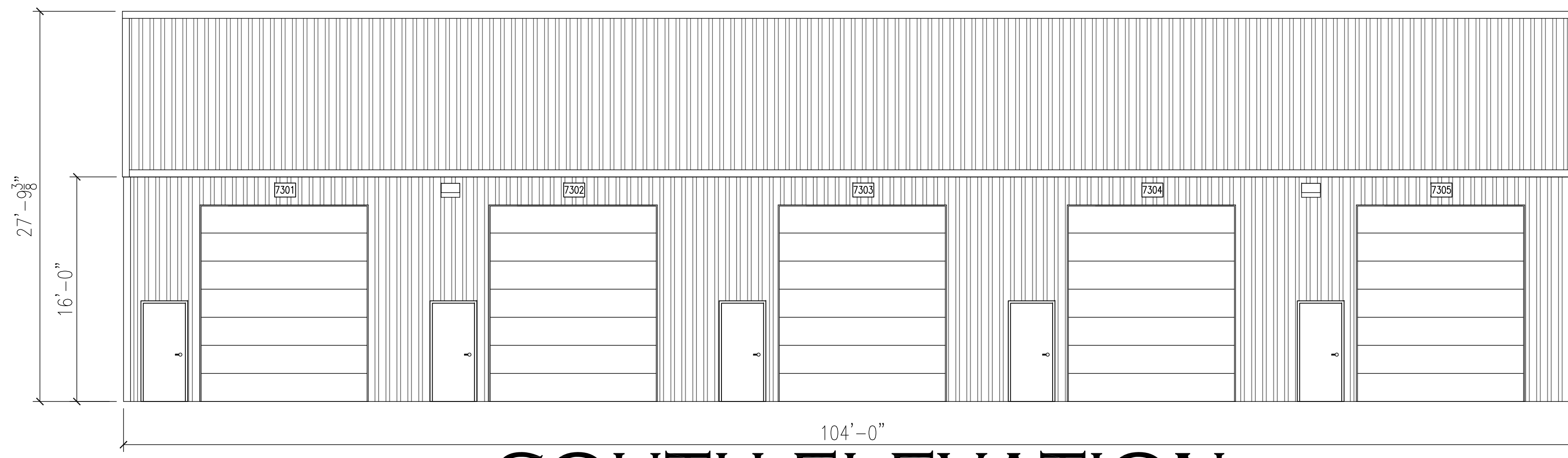
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PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



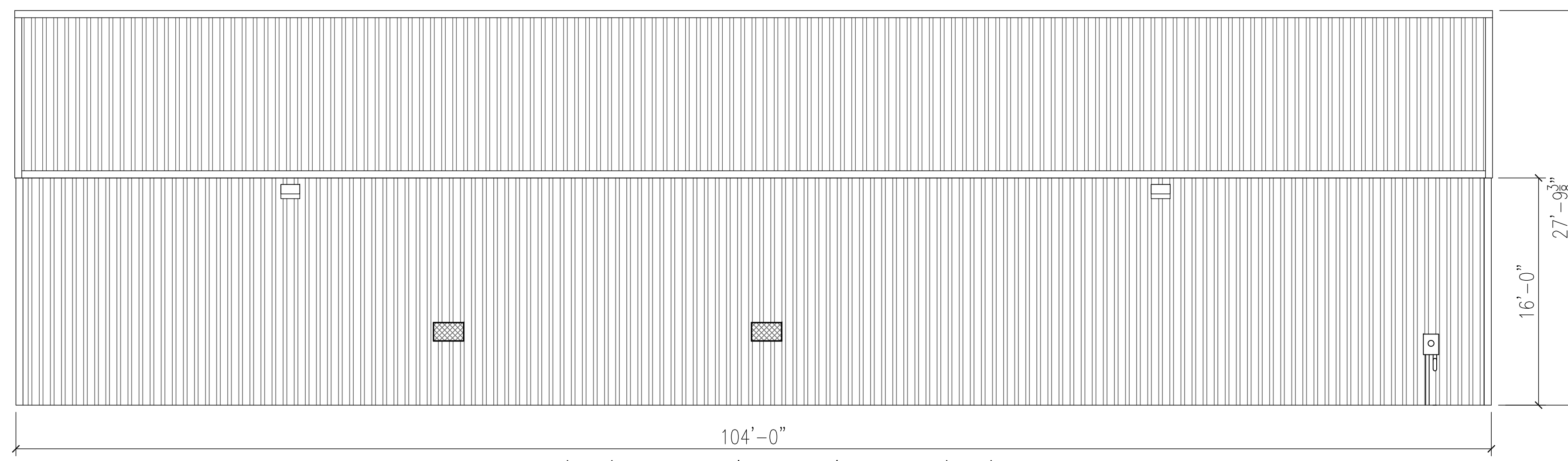
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



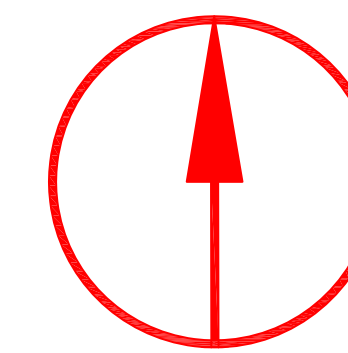
NORTH ELEVATION



BUILDING 73
PHASE II

FRANKLIN,
WISCONSIN

ELEVATIONS



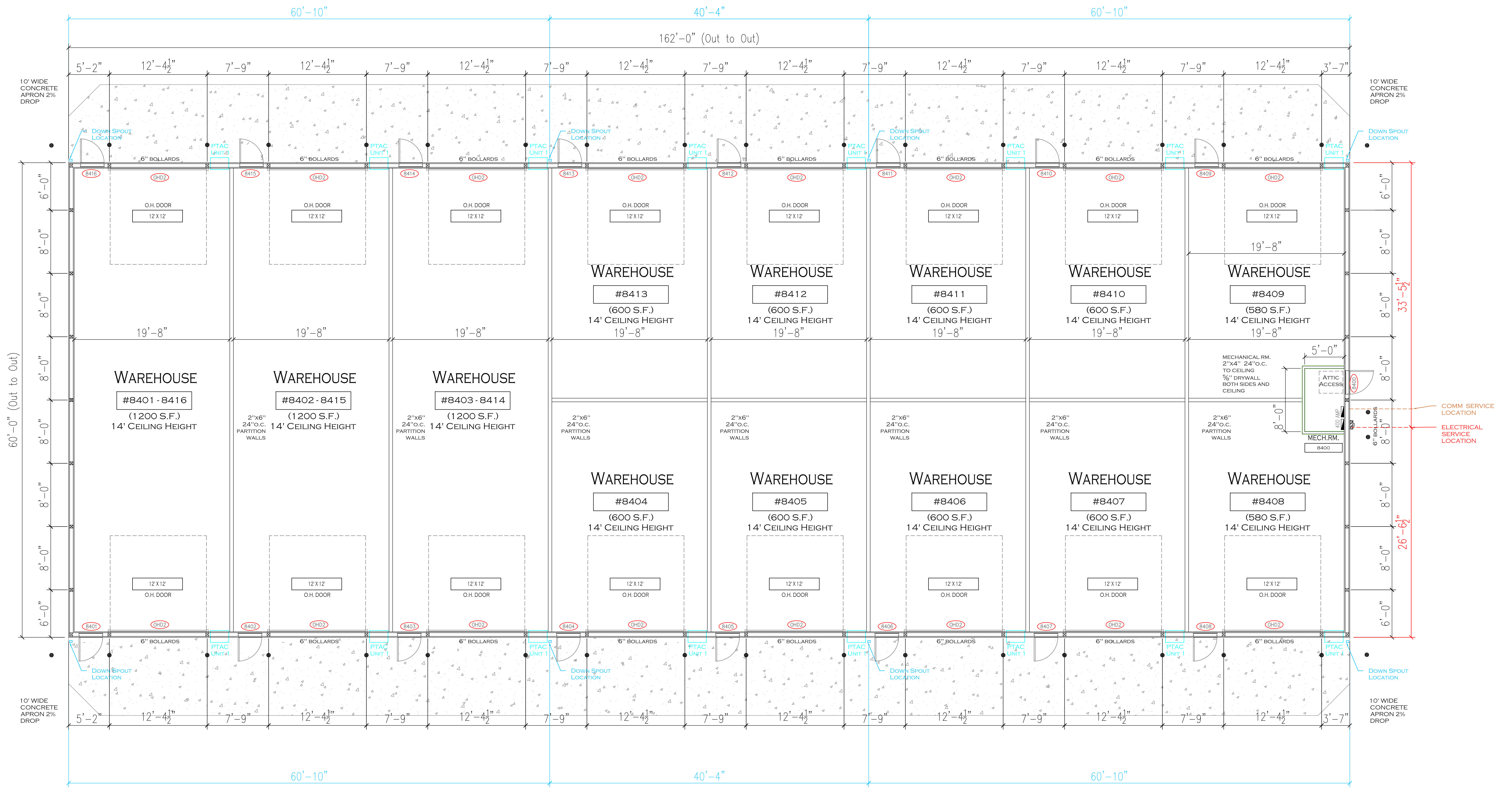
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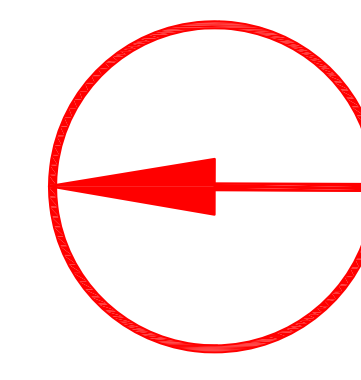
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PROPERTY OF:
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



BUILDING 84C
PHASE II

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



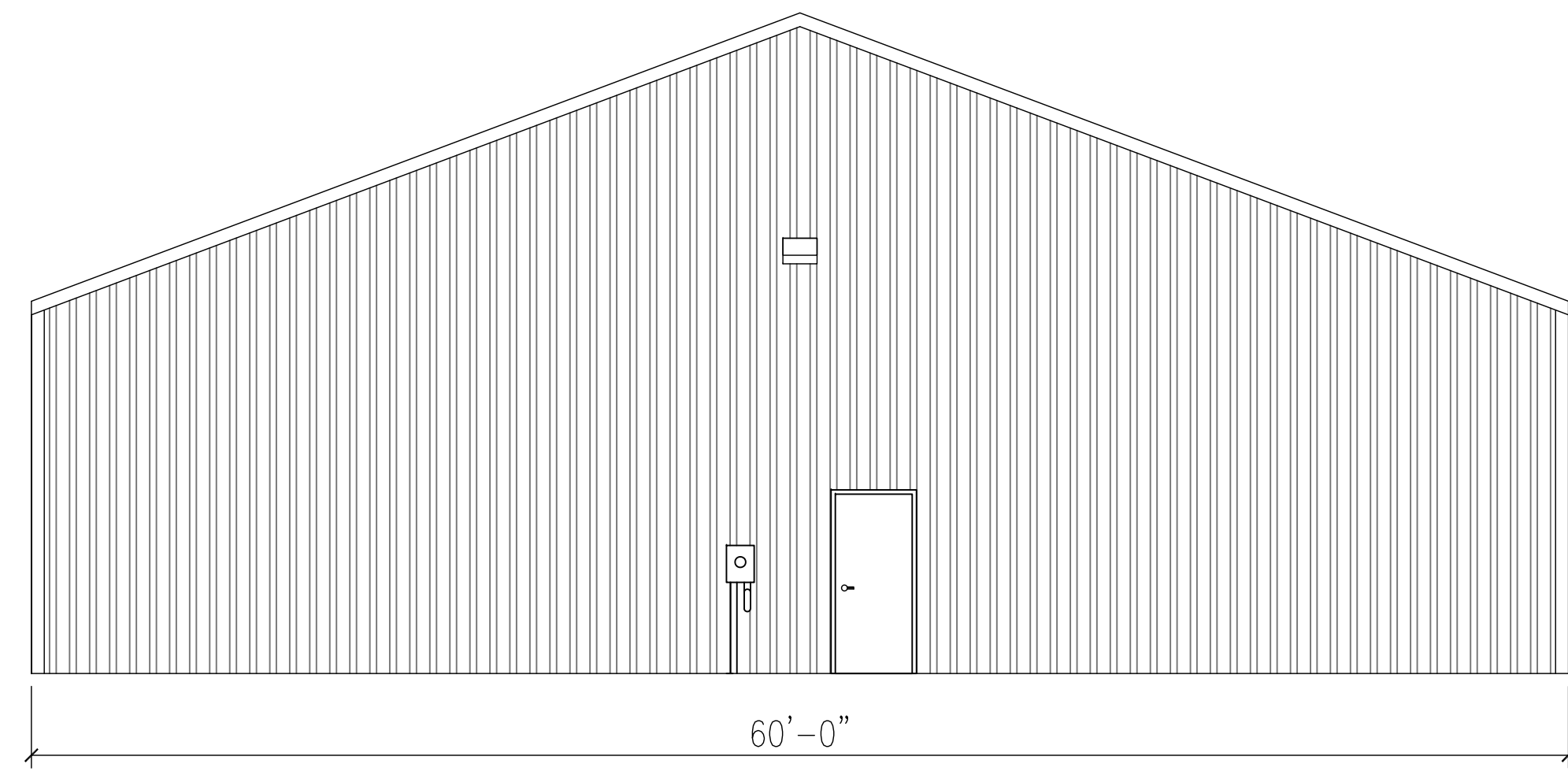
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BUILDING NOTES:

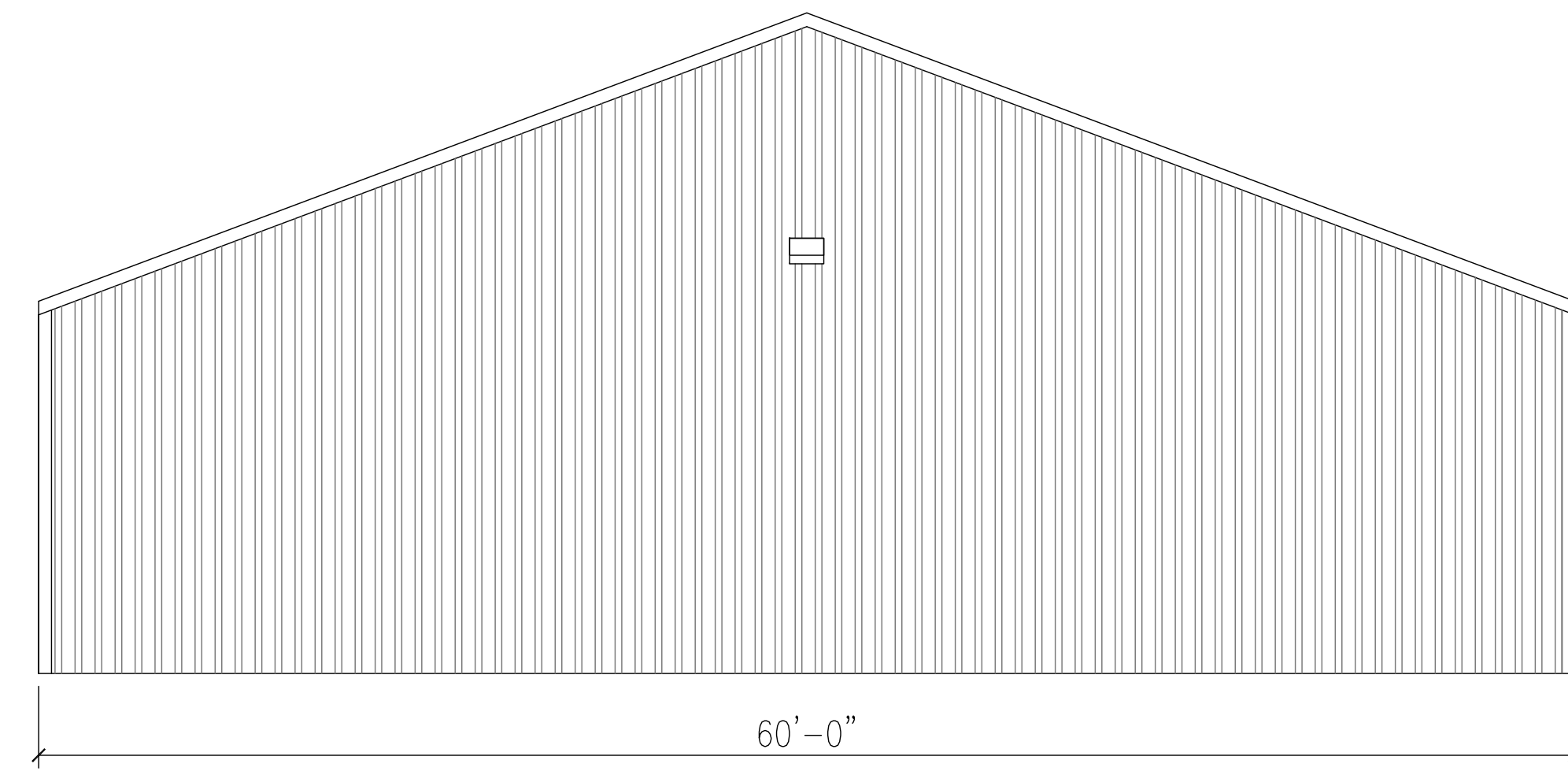
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REVISED:	

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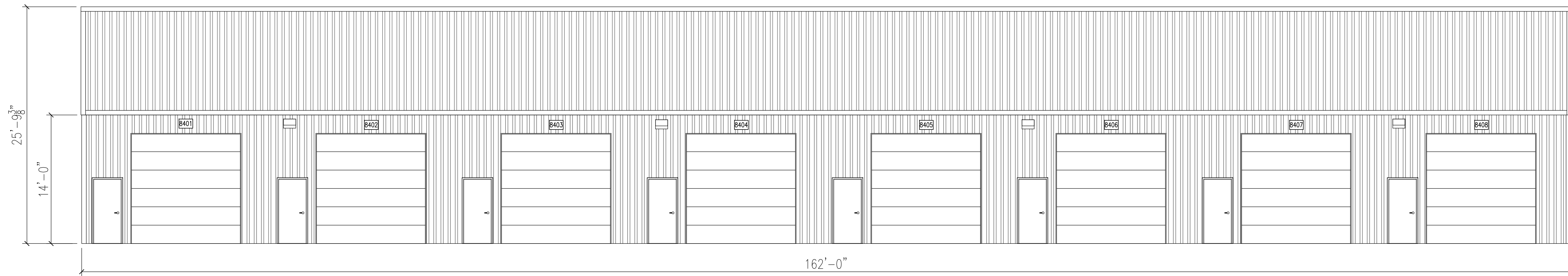
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CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



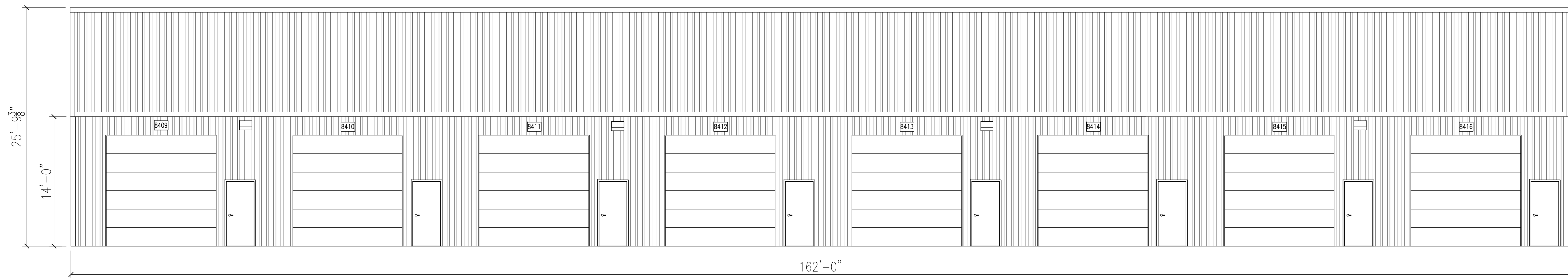
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



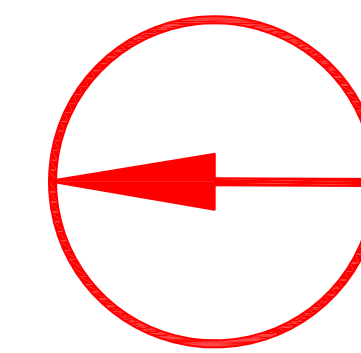
EAST ELEVATION



BUILDING 84C
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



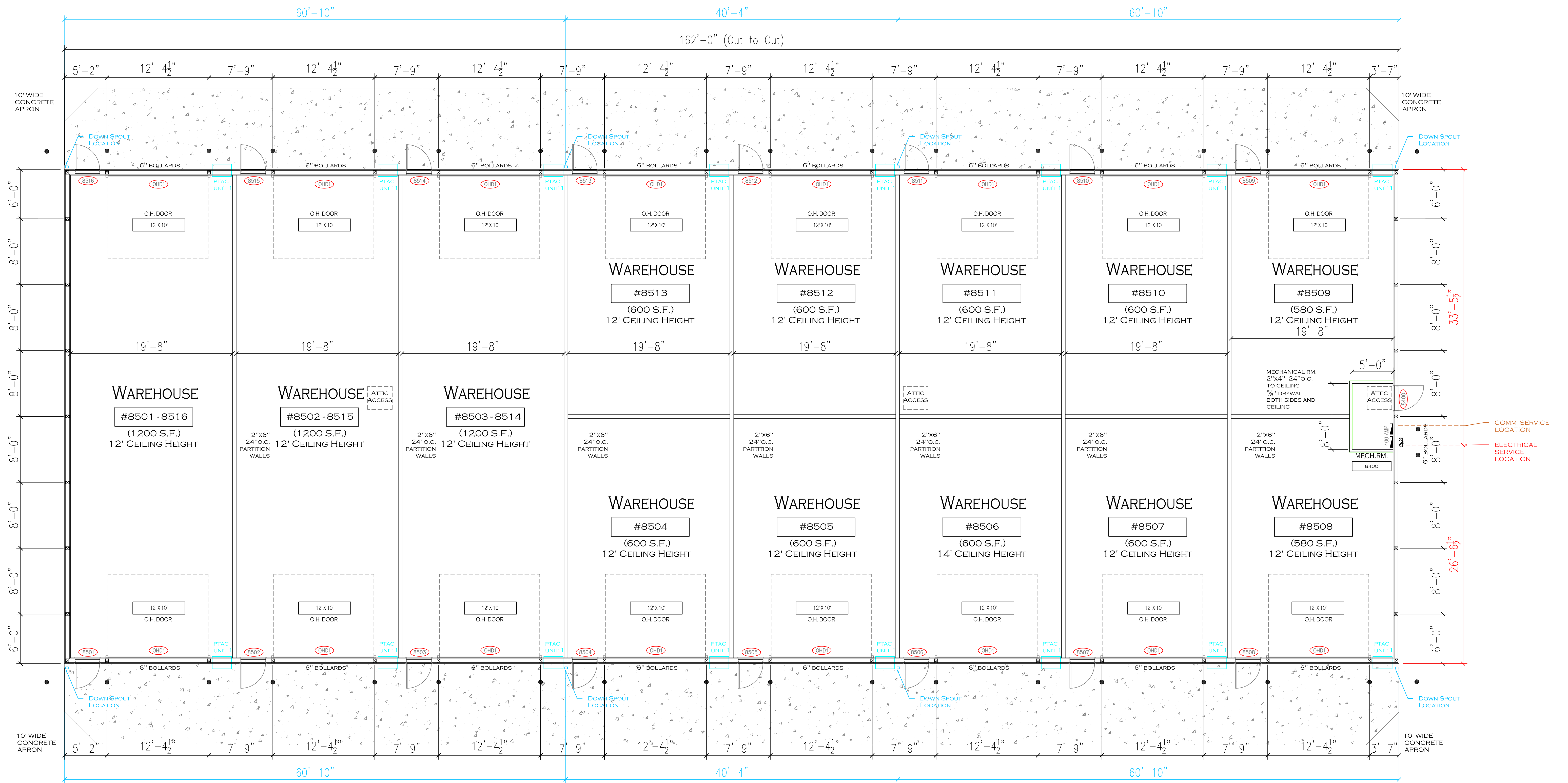
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BUILDING NOTES:

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DATE:	03.01.2022
REVISED:	

INFORMATION

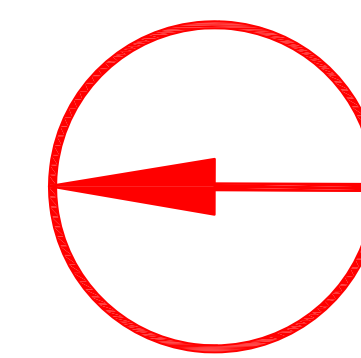
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



**BUILDING 85A
PHASE II**

**FRANKLIN,
WISCONSIN**

**FLOOR PLAN
LAYOUT**



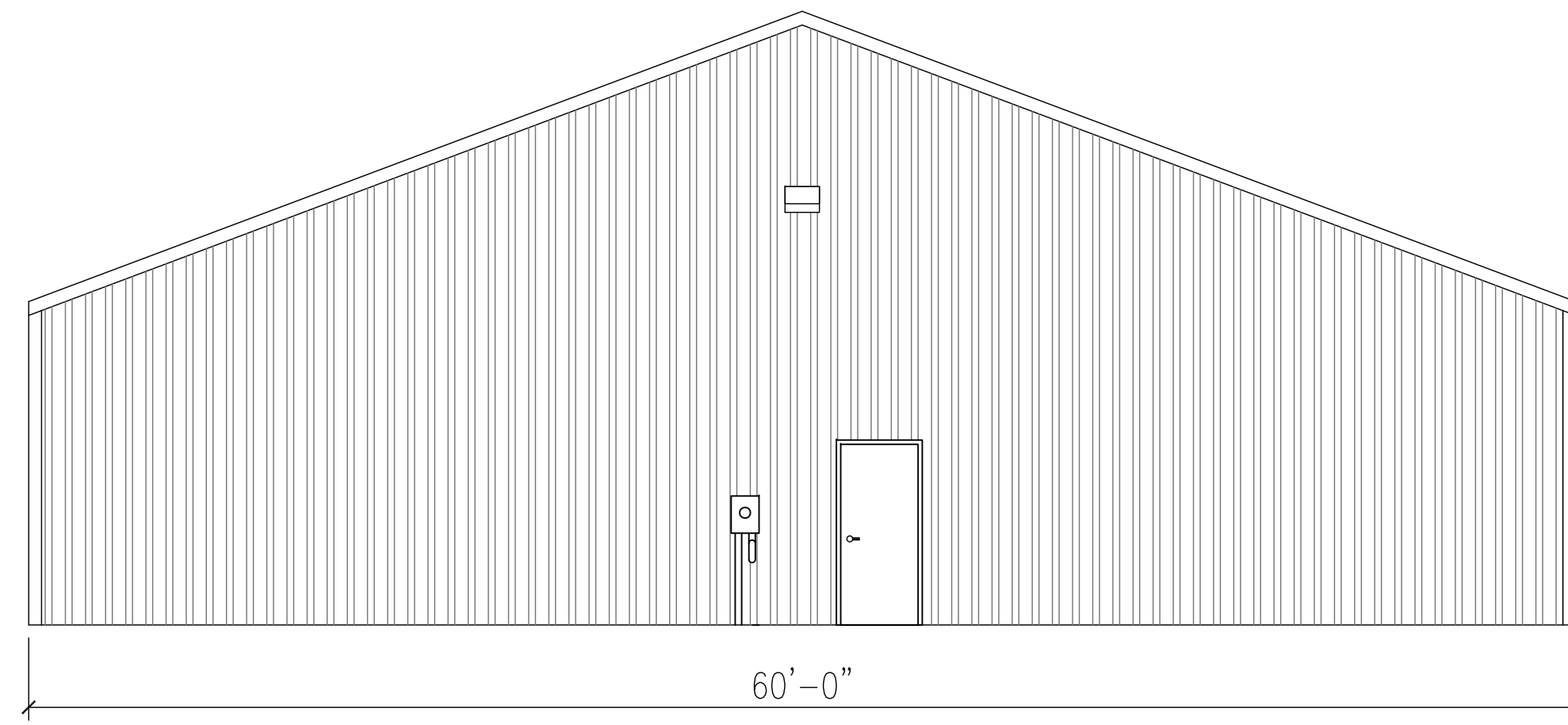
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BUILDING NOTES:

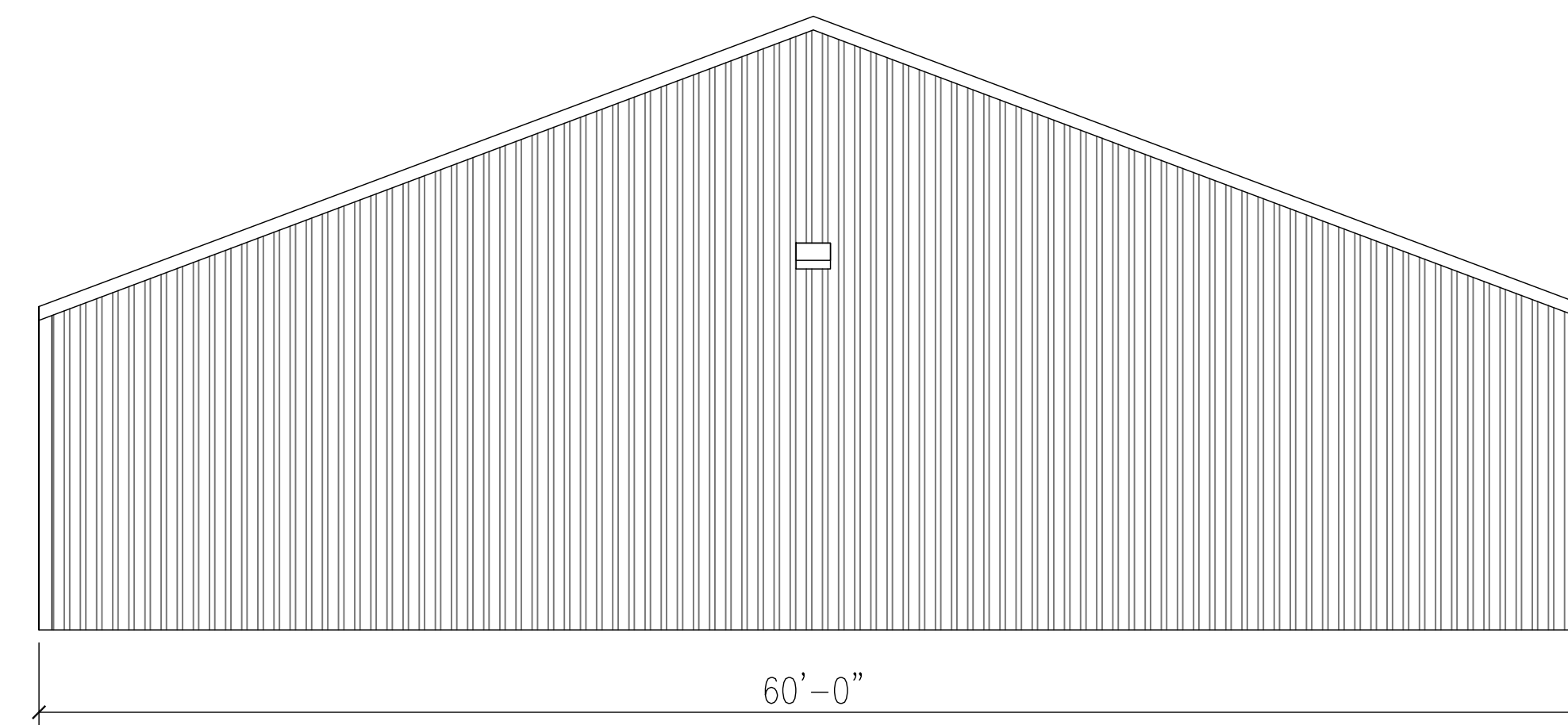
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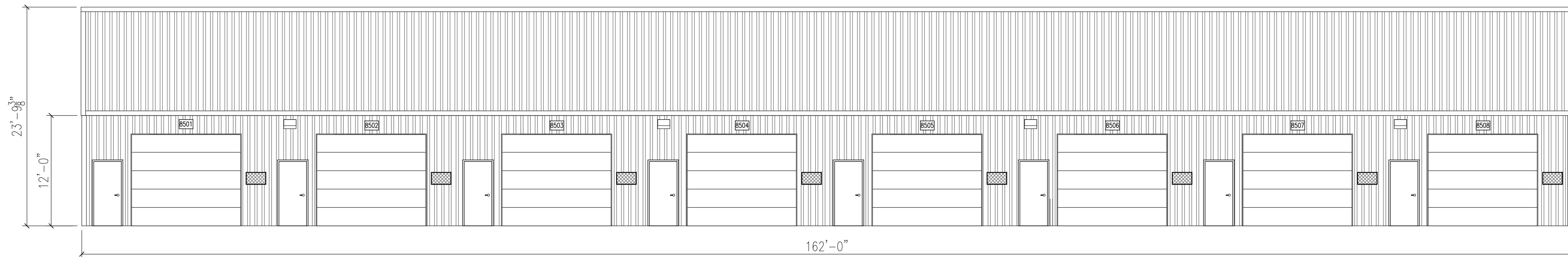
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8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



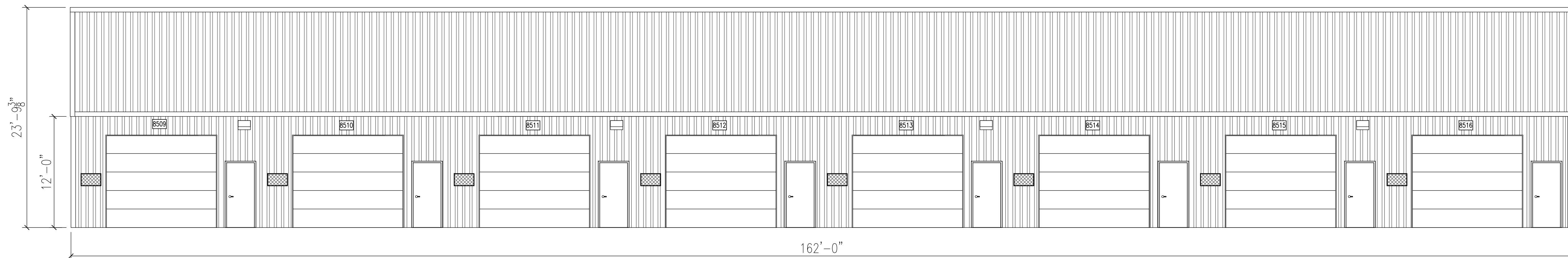
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



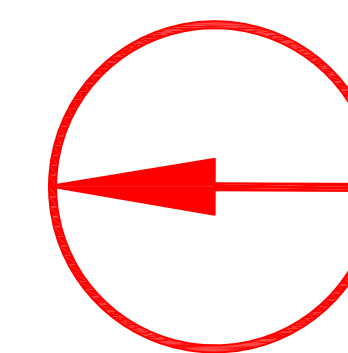
EAST ELEVATION



BUILDING 85A
PHASE II

**FRANKLIN,
WISCONSIN**

ELEVATIONS



NORTH

BUILDING NOTES:

SQFT:	9720
MODEL:	80
UNITS:	16
DATE:	03.01.2022
REVISED:	

INFORMATION

NOT FOR CONSTRUCTION
NOT TO SCALE
FOR INFORMATION ONLY
CONTENTS SUBJECT TO CHANGE
PROPERTY OF:
RISE COMMERCIAL DISTRICT
8070 CASTLETON RD.
INDIANAPOLIS, IN 46250



SITE BENCHMARK:
NW UPPER FLANGE BOLT
HYDRANT EL.=806.79

TAX KEY #891-1087-000

X KEY #939-9995-001

X KEY #939-9995-002

ELECTRICAL SITE PLAN
SCALE: 1"=60'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:
**Franklin
Rise Commercial District**
Franklin, WI

Power • Lighting • Systems • Controls
Corporation Registration #33120-6-1K10672
Kornacki and Associates, Inc.
Consulting Electrical Engineers
5420 S. Westridge Drive New Berlin, Wisconsin 53151 (262) 784-3323 Fax 784-5014

DATE ISSUED 04/07/22
PROJECT NO. 22011
PROJECT MANAGER D.B.K.
DRAWN BY S.M.B.
CHECKED BY D.B.K.
APPROVED BY D.B.K.

SHEET NO.
E1

FIXTURE SCHEDULE

22011

TYPE	INPUT WATTS	VOLTS	LUMENS	COLOR TEMP.	CRI			DESCRIPTION	MANUFACTURER	CATALOG NUMBER	SHIELDING	FINISH	MOUNTING	CONTROLS		SEE NOTES
					70+	80+	90+							INTEGRAL	REMOTE	
E	38	120		4000K			●	EXTERIOR WALL BRACKET	LITHONIA	DSXO LED-P1-40K-T4M-MVOLT-WBA-NLTAIR2-PIRHN		SBA	WALL 11'-0" A.F.G.	OS	PHOTO/TC	#1
E1	38	120		4000K			●	EXTERIOR WALL BRACKET	LITHONIA	DSXO LED-P1-40K-T3M-MVOLT-WBA-NLTAIR2-PIRHN		SBA	WALL 11'-0" A.F.G.	OS	PHOTO/TC	#1

FIXTURE SCHEDULE NOTES

1. EACH LIGHT FIXTURE TO HAVE MOTION SENSOR CONTROL. LIGHT FIXTURES TO DIM TO 33% IN UNOCCUPIED MODE. ALL LIGHTS FOR EACH BUILDING/AREA TO COME TO FULL BRIGHTNESS WHEN ONE MOTION SENSOR IN THAT AREA IS ACTIVATED.

D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.95 ft² (0.09 m²)

Length: 26" (66.0 cm)

Width: 13" (33.0 cm)

Height: 3" (7.6 cm)

Weight: 1.6 lbs (0.73 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

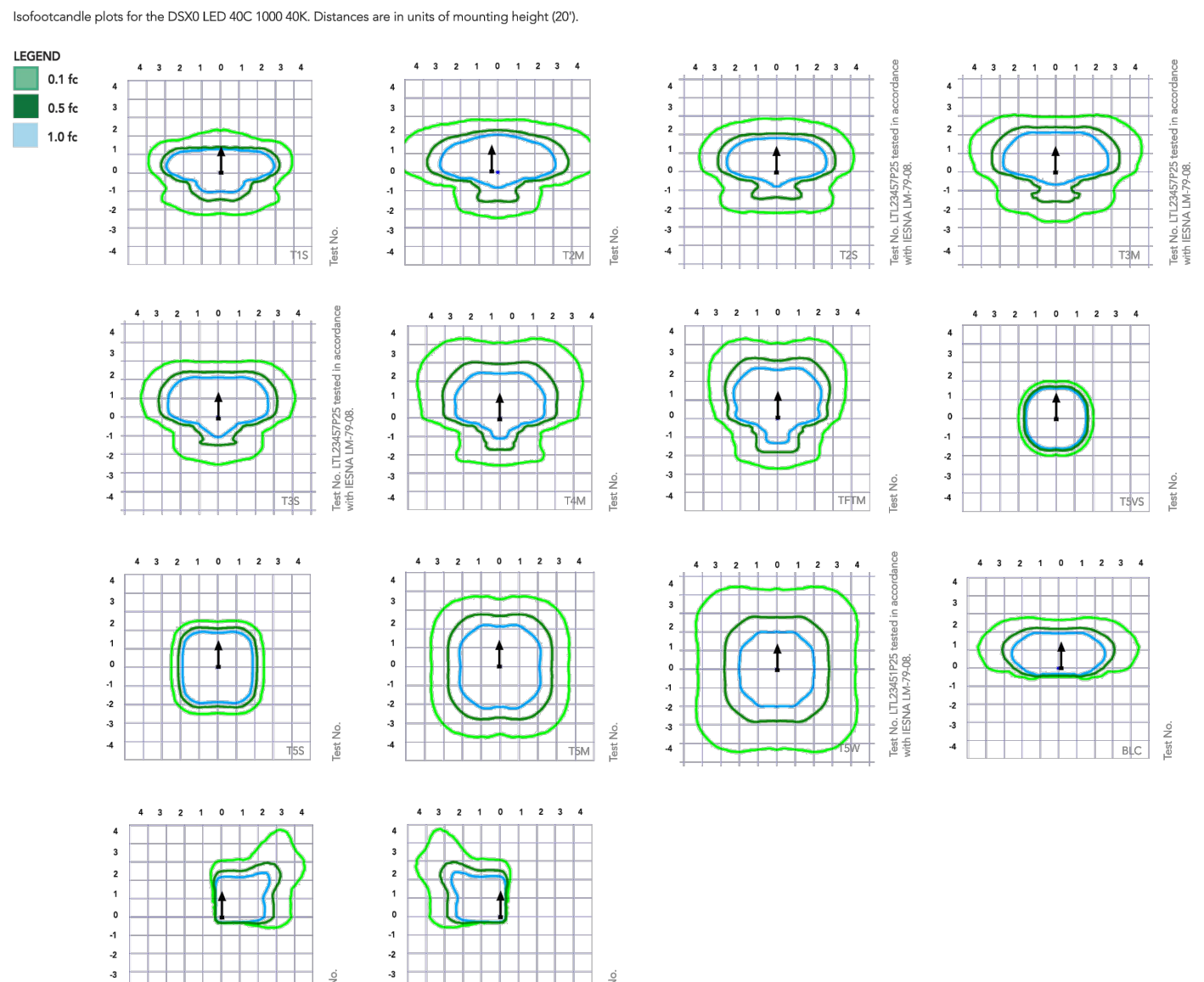
Ordering Information

EXAMPLE: DSXO LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Mounting	Voltage	Shipped included
DSXO LED	Forward optics	30K 3000 K	T5S Type I short	MVOLT	120V-277V ¹⁰	SPA Square pole mounting ¹⁰
P1	P5	40K 4000 K	T2S Type I short	XVOLT	120V-480V ¹⁰	RPA Round pole mounting ¹⁰
P2	P6	50K 5000 K	T2M Type II medium	TSM	Type I medium ¹	SPUMBA Square pole universal mounting adaptor ¹¹
P3	P7		T2W Type I wide	TSW	Type I wide ¹	WBA Wall bracket ¹
P4			T3S Type III short	BUC	Backlight control ¹	208*
Recessed optics	P4		T3M Type III medium	LOCO	Left corner cutoff ¹	240*
P10*	P12*		T4M Type IV medium	RCD	Right corner cutoff ¹	271*
P11*	P13*		T1TM Forward throw medium			347*
			TSVS Type V very short ¹			480*

Control options	Other options	Finish options
Shipped installed	PIR High flow motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 15-18'	DDBRD Dark bronze
NEMR2 High-IP AR generation 2 enabled ¹²	PIRH High flow motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 15-18'	DBLBD Black
PIRBN Network high flow motion/ambient sensor ¹³	SP Single face (230, 277, 347V) ¹⁴	DNALD Natural aluminum
PER NEMA twist-lock receptacle only (control ordered separately) ¹⁶	DF Double face (230, 240, 480V) ¹⁴	DWIKD White
PERS Five-pin receptacle only (control ordered separately) ¹⁶	L90 Left oriented optics ¹	DDBTBD Textured dark bronze
PER2 Seven-pin receptacle only (leads exit fixture) (control ordered separately) ¹⁶	PIRHTCV High flow motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 15-18'	R90 Right oriented optics ¹
DAG 0-10V dimming extend out back of housing for external control (control ordered separately) ¹⁶	PIRH2CV High flow motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 15-18'	DBLBD Textured black
	FAO Field adjustable output ¹⁵	DNATRD Textured natural aluminum
		WBA SFC ambient operations ¹
		BAA Buy America(s) Act Compliant
		Shipped separately
		BS Bird spikes ¹⁷
		EGS External glass shield

Photometric Diagrams



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM 79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Power Factor	LED Count	Driver Current	System Watt	Beam Type	10K (1000 K, 10 FC)						50K (5000 K, 50 FC)								
					Beam Diameter	Beam Angle	Beam Length	Beam Area	Beam Volume	Beam Area	Beam Volume	Beam Area	Beam Volume						
P1	20	530	38W	38W	T5S 4.369	1	0	1	115	4.706	1	0	1	124	4.766	1	0	1	125
					T5S 4.364	1	0	1	115	4.701	1	0	1	124	4.761	1	0	1	125
					T5M 4.370	1	0	1	115	4.716	1	0	1	124	4.776	1	0	1	126
					T5S 4.248	1	0	1	112	4.577	1	0	1	120	4.614	1	0	1	122
					T5M 4.376	1	0	1	115	4.714	1	0	1	124	4.774	1	0	1	126
					T4M 4.281	1	0	1	113	4.612	1	0	2	121	4.670	1	0	2	123
					BTM 4.373	1	0	1	115	4.711	1	0	2	124	4.771	1	0	2	126
					T5S 4.548	2	0	0	130	4.960	2	0	0	129	4.962	2	0	0	131
					T5S 4.512	2	0	0	130	4.964	2	0	0	129	4.966	2	0	0	131
					T5M 4.541	3	0	1	130	4.891	3	0	1	129	4.953	3	0	1	130
					T5M 4.526	3	0	2	130	4.929	3	0	2	130	4.992	3	0	2	131
					BC 3.586	1	0	1	84	3.863	1	0	1	102	3.912	1	0	1	103
					UCD 2.648	1	0	1	70	2.874	1	0	2	76	2.911	1	0	2	77
					RCO3 2.648	1	0	1	70	2.874	1	0	2	76	2.911	1	0	2	77
					T1S 5.570	1	0	1	114	6.001	1	0	1	122	6.077	2	0	2	124
T2S 5.564	1	0	2	114	5.994	1	0	2	122	6.070	2	0	2	124					
T3M 5.593	1	0	1	114	6.025	1	0	1	123	6.101	1	0	1	125					
T1S 5.477	1	0	2	113	5.815	1	0	2	119	5.909	2	0	2	121					
T1M 5.580	1	0	2	114	6.011	1	0	2	123	6.087	1	0	2	124					
T4M 5.658	1	0	2	113	5.880	1	0	2	120	5.955	1	0	2	122					
BTM 5.576	1	0	2	114	6.007	1	0	2	123	6.082	1	0	2	124					
T5S 5.799	2	0	0	138	6.247	2	0	0	127	6.327	2	0	0	129					
T5S 5.684	2	0	0	138	6.132	2	0	0	128	6.152	2	0	0	129					
T5M 5.789	3	0	1	138	6.217	3	0	1	127	6.316	3	0	1	129					
T5W 5.834	3	0	2	139	6.285	3	0	2	128	6.364	3	0	2	130					
BC 4.523	1	0	1	89	4.852	1	0	1	103	4.907	1	0	1	104					
UCD 3.482	1	0	2	69	3.665	1	0	2	75	3.711	1	0	2	76					
RCO3 3.482	1	0	2	69	3.665	1	0	2	75	3.711	1	0	2	76					
T1S 7.811	2	0	2	110	8.418	2	0	2	119	8.546	2	0	2	120					
T2S 7.825	2	0	2	110	8.429	2	0	2	119	8.536	2	0	2	120					
T3M 7.863	2	0	2	111	8.471	2	0	2	119	8.590	2	0	2	121					
T1S 7.617	2	0	2	107	8.205	2	0	2	116	8.309	2	0	2	117					
T3M 7.640	2	0	2	111	8.452	2	0	2	119	8.559	2	0	2	121					
T4M 7.675	2	0	2	108	8.309	2	0	2	116	8.373	2	0	2	118					
BTM 7.841	2	0	2	110	8.447	2	0	2	119	8.554	2	0	2	120					
T5S 8.155	3	0	0	135	8.792	3	0	0	124	8.896	3	0	0	125					
T5M 8.162	3	0	1	135	8.792	3	0	1	124	8.904	3	0	1	125					
T3M 8.141	3	0	2	115	8.770	3	0	2	124	8.881	3	0	2	125					
T5W 8.204	3	0	2	136	8.818	4	0	2	124	8.950	4	0	2	126					
BC 6.429	1	0	2	91	6.936	1	0	2	96	7.015	1	0	2	99					
UCD 4.784	1	0	2	67	5.153	1	0	2	73	5.218	1	0	2	73					
RCO3 4.784	1	0	2	67	5.153	1	0	2	73	5.218	1	0	2	73					
T1S 9.791	2	0	2	106	10.547	2	0	2	115	10.681	2	0	2	116					
T2S 9.780	2	0	2	106	10.536	2	0	2	115	10.669	2	0	2	116					
T3M 9.831	2	0	2	107	10.590	2	0	2	115	10.724	2	0	2	117					
T1S 9.521	2	0	2	103	10.256	2	0	2	113	10.366	2	0	2	113					
T3M 9.867	2	0	2	107	10.565	2	0	2	115	10.698	2	0	2	116					
T4M 9.594	2	0	3	104	10.335	2	0	3	112	10.466	2	0	3	114					
BTM 9.851	2	0	2	107	10.558	2	0	2	115	10.692	2	0	2	116					
T5S 10.193	3	0	1	111	10.981	3	0	1	119	11.120	3	0	1	121					
T5M 10.201	3	0	1	111	10.990	3	0	1	119	11.129	3	0	1	121					
T3M 10.176	4	0	2	111	10.962	4	0	2	119	11.101	4	0	2	121					
T5W 10.244	4	0	3	111	11.047	4	0	3	120	11.186	4	0	3	122					
BC 6.616	1	0	2	87	6.856	1	0	2	94	6.916	1	0	2	95					
UCD 5.079	1	0	2	85	6.441	1	0	2	90	6.521	1	0	2	91					
RCO3 5.079	1	0	2	85	6.441	1	0	2	90	6.521	1	0	2	91					

SYMBOLS / ABBREVIATIONS

	WALL BRACKET/WALL SCONCE FIXTURE - SEE FIXTURE SCHEDULE
	SURFACEPENDANT FIXTURE - SEE FIXTURE SCHEDULE
	RECESSED DOWNLIGHT FIXTURE - SEE FIXTURE SCHEDULE
	POLE & LUMINAIRE(S) FIXTURE - SEE FIXTURE SCHEDULE
	SWITCHED CIRCUIT
	BRANCH CIRCUIT
AF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AFI	ARC FAULT INTERRUPTER
AMP	AMPERES/AMPERAGE
AV	AUDIO VISUAL
BB	BATTERY BACKUP
BFC	BELOW FINISHED CEILING
BOL	BUILT-IN OVERLOAD
BRKR	BREAKER
BWE	BAKED WHITE ENAMEL
GBA	COLOR BY ARCHITECT
CP	CONTROL PANEL
CRCT	CIRCUIT
CTL	CONTROL
DCP	DOCK EQUIPMENT CONTROL PANEL
DISC	DISCONNECT
EC	ELECTRIC CONTRACTOR
EM	EMERGENCY
ER	EXISTING RELOCATED

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www.pinnacle-engr.com

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	○	⊙
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	⊙
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∩	∩
AIR RELEASE ASSEMBLY	⊗	⊗
VALVE BOX	⊞	⊞
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	— W —	— W —
FIRE PROTECTION	—	— FP —
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	▨	▨
LIGHTING	⊙	⊙
ELECTRICAL CABLE	— E —	— E —
OVERHEAD WIRES	— OHW —	— OHW —
CAUTION EXISTING UTILITIES NEARBY	⊞	⊞
ELECTRICAL TRANSFORMER OR PEDESTAL	⊞	⊞
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	— G —	— G —
TELEPHONE LINE	— T —	— T —
CONTOUR	749	749
SPOT ELEVATION	× (750.00)	↑ 750.00
WETLANDS	▨	▨
PRIMARY ENVIRONMENTAL CORRIDOR	▨	▨
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	— SF —	— SF —
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

LOT 84 RISE COMMERCIAL DISTRICT

FRANKLIN, MILWAUKEE COUNTY, WI

PLANS PREPARED FOR



BENCHMARKS

REFERENCE BENCHMARKS:
 BENCHMARK = NW UPPER FLANGE BOLT HYDRANT ELEVATION=806.79

VERTICAL DATUM: NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29)
 HORIZONTAL DATUM: WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1927 (NAD27)

SCALE: 1" = 1000'

LOCATION MAP

SCALE: 1" = 1000'

PROJECT TEAM CONTACTS

CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	OWNER: JEREMY HAYNES JIM SAPP RISE COMMERCIAL DISTRICT 8070 CASTLETON ROAD INDIANAPOLIS, IN 46250 (317) 563-5220
SURVEYOR: JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	CONTRACTOR: BRENT KUHN CIRCLE CITY CONTRACTORS 8070 CASTLETON ROAD INDIANAPOLIS, IN 46250 (317) 710-7827

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCIES' LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE PROJECT SITE BY GEOTECH, INC IN FEBRUARY 2022. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS' HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

REQUIRED SUBMITTALS FOR APPROVAL

- HOT MIX ASPHALT - MIX DESIGN
- CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN
- PAVEMENT STONE BASE COURSE - GRADATION
- PIPE BEDDING & TRENCH BACKFILL - GRADATION
- MANHOLE BACKFILL - GRADATION
- PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
- SANITARY SEWER PIPE & FITTINGS
- STORM SEWER PIPE, STRUCTURES, & FITTINGS
- TRACER WIRE
- UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
- ADA SIGN & TRUNCATED DOMES, PAINT & STENCILS
- CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)

INDEX OF SHEETS

C-1	COVER SHEET
C-2	EXISTING CONDITIONS & DEMOLITION PLAN
C-3 - C-5	SITE DIMENSIONAL & PAVING PLAN
C-6 - C-8	GRADING PLAN
C-9 - C-11	STORM SEWER PLAN
C-12 - C-13	SANITARY SEWER PLAN
C-14 - C-15	WATERMAIN PLAN
C-16	DRY UTILITY CONCEPT
C-17 - C-19	SITE STABILIZATION PLAN
C-20 - C-24	CONSTRUCTION DETAILS
L-1	LANDSCAPE OVERVIEW
L-2 - L-6	ENLARGED LANDSCAPE PLAN
L-7	LANDSCAPE GENERAL NOTES
L-8	LANDSCAPE GENERAL DETAILS

DIGGERS' HOTLINE
 Toll Free (800) 242-8511
 Milwaukee Area (414) 258-1181
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 www.DiggersHotline.com

PINNACLE ENGINEERING GROUP, LLC
 ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

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LOT 84 RISE COMMERCIAL DISTRICT

WEST MONARCH DRIVE, FRANKLIN, WI 53132

COVER SHEET

REVISIONS

REG JOB No. 809.908
 REG PM MAC
 START DATE 01-12-22
 SCALE

SHEET
C-1
C-24

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

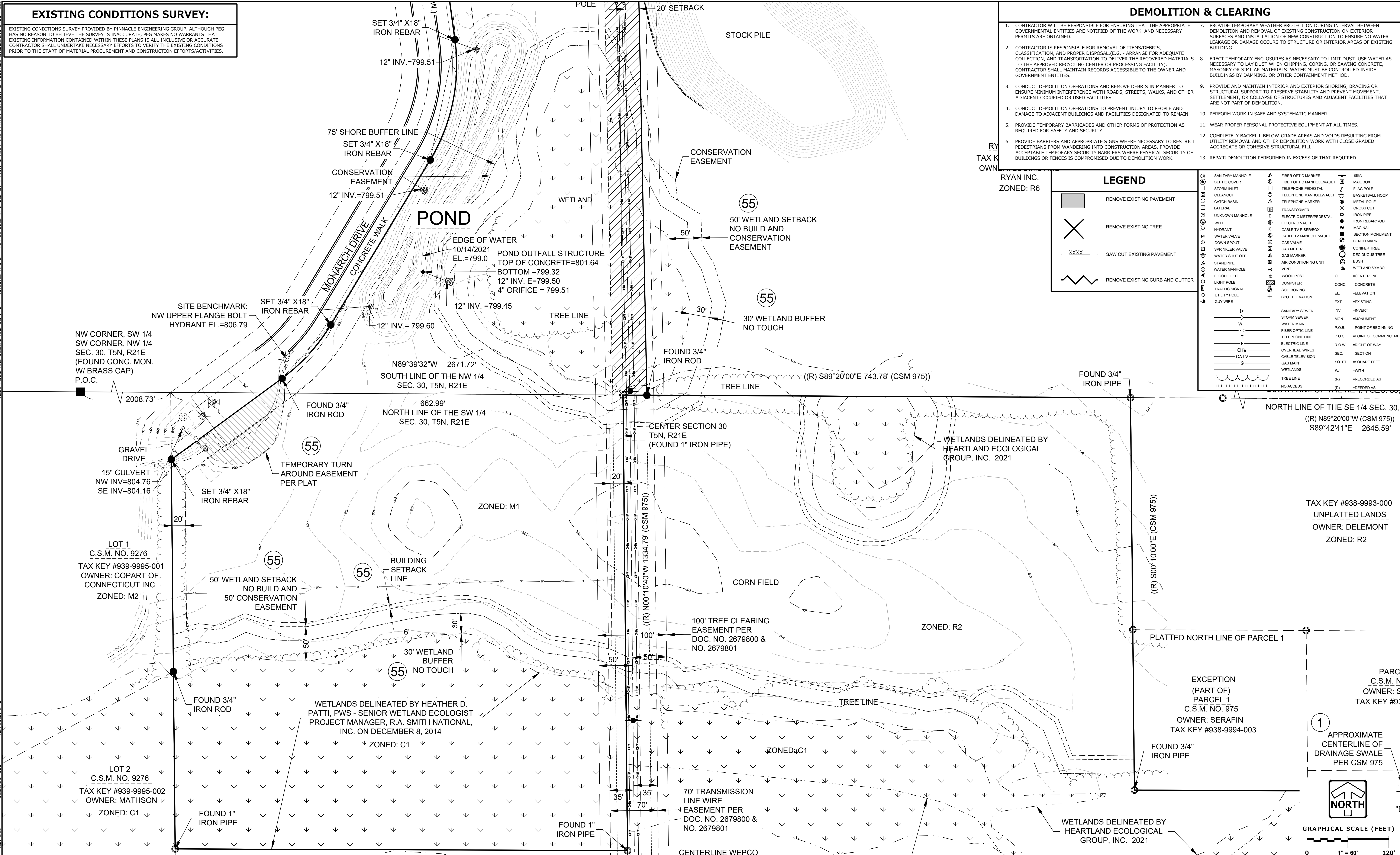
DEMOLITION & CLEARING

- CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK, AND NECESSARY PERMITS ARE OBTAINED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G. - ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
- PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
- ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
- PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
- WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
- COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

LEGEND

- REMOVE EXISTING PAVEMENT
- REMOVE EXISTING TREE
- SAW CUT EXISTING PAVEMENT
- REMOVE EXISTING CURB AND GUTTER

<ul style="list-style-type: none"> SANITARY MANHOLE SEPTIC COVER STORM INLET CLEANOUT CATCH BASIN LATERAL UNKNOWN MANHOLE WELL HYDRANT WATER VALVE DOWN SPOUT SPRINKLER VALVE WATER SHUT OFF STANDPIPE WATER MANHOLE FLOOD LIGHT LIGHT POLE TRAFFIC SIGNAL UTILITY POLE GUY WIRE 	<ul style="list-style-type: none"> FIBER OPTIC MARKER FIBER OPTIC MANHOLE/VAULT TELEPHONE PEDESTAL TELEPHONE MANHOLE/VAULT TELEPHONE MARKER TRANSFORMER ELECTRIC METER/PEDESTAL ELECTRIC VAULT CABLE TV RISER/BOX CABLE TV MANHOLE/VAULT GAS VALVE GAS METER GAS MARKER AIR CONDITIONING UNIT VENT WOOD POST DUMPSTER SOIL BORING SPOT ELEVATION 	<ul style="list-style-type: none"> SIGN MAIL BOX FLAG POLE BASKETBALL HOOP METAL POLE CROSS CUT IRON PIPE IRON REBAR/ROD MAG NAIL SECTION MONUMENT BENCH MARK CONIFER TREE DECIDUOUS TREE BUSH WETLAND SYMBOL CL - CENTERLINE CONC. - CONCRETE EL - ELEVATION EXT. - EXISTING INV. - INVERT MON. - MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT R.O.W. - RIGHT OF WAY SEC. - SECTION SQ. FT. - SQUARE FEET W. - WIDTH (R) - RECORDED AS (D) - DEEDED AS
--	---	---



NW CORNER, SW 1/4 SEC. 30, T5N, R21E (FOUND CONC. MON. W/ BRASS CAP) P.O.C.

SITE BENCHMARK: NW UPPER FLANGE BOLT HYDRANT EL.=806.79

POND OUTFALL STRUCTURE
TOP OF CONCRETE=801.64
BOTTOM =799.32
12" INV. E=799.50
4" ORIFICE = 799.51

N89°39'32"W 2671.72'
SOUTH LINE OF THE NW 1/4 SEC. 30, T5N, R21E

662.99'
NORTH LINE OF THE SW 1/4 SEC. 30, T5N, R21E

CENTER SECTION 30 T5N, R21E (FOUND 1" IRON PIPE)

((R) S89°20'00"E 743.78' (CSM 975))

NORTH LINE OF THE SE 1/4 SEC. 30, ((R) N89°20'00"W (CSM 975)) S89°42'41"E 2645.59'

LOT 1 C.S.M. NO. 9276 TAX KEY #939-9995-001 OWNER: COPART OF CONNECTICUT INC ZONED: M2

WETLANDS DELINEATED BY HEATHER D. PATTI, PWS - SENIOR WETLAND ECOLOGIST PROJECT MANAGER, R.A. SMITH NATIONAL, INC. ON DECEMBER 8, 2014 ZONED: C1

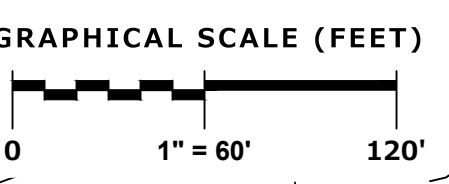
LOT 2 C.S.M. NO. 9276 TAX KEY #939-9995-002 OWNER: MATHSON ZONED: C1

70' TRANSMISSION LINE WIRE EASEMENT PER DOC. NO. 2679800 & NO. 2679801

EXCEPTION (PART OF) PARCEL 1 C.S.M. NO. 975 OWNER: SERAFIN TAX KEY #938-9994-003

TAX KEY #938-9993-000 UNPLATTED LANDS OWNER: DELEMONT ZONED: R2

APPROXIMATE CENTERLINE OF DRAINAGE SWALE PER CSM 975



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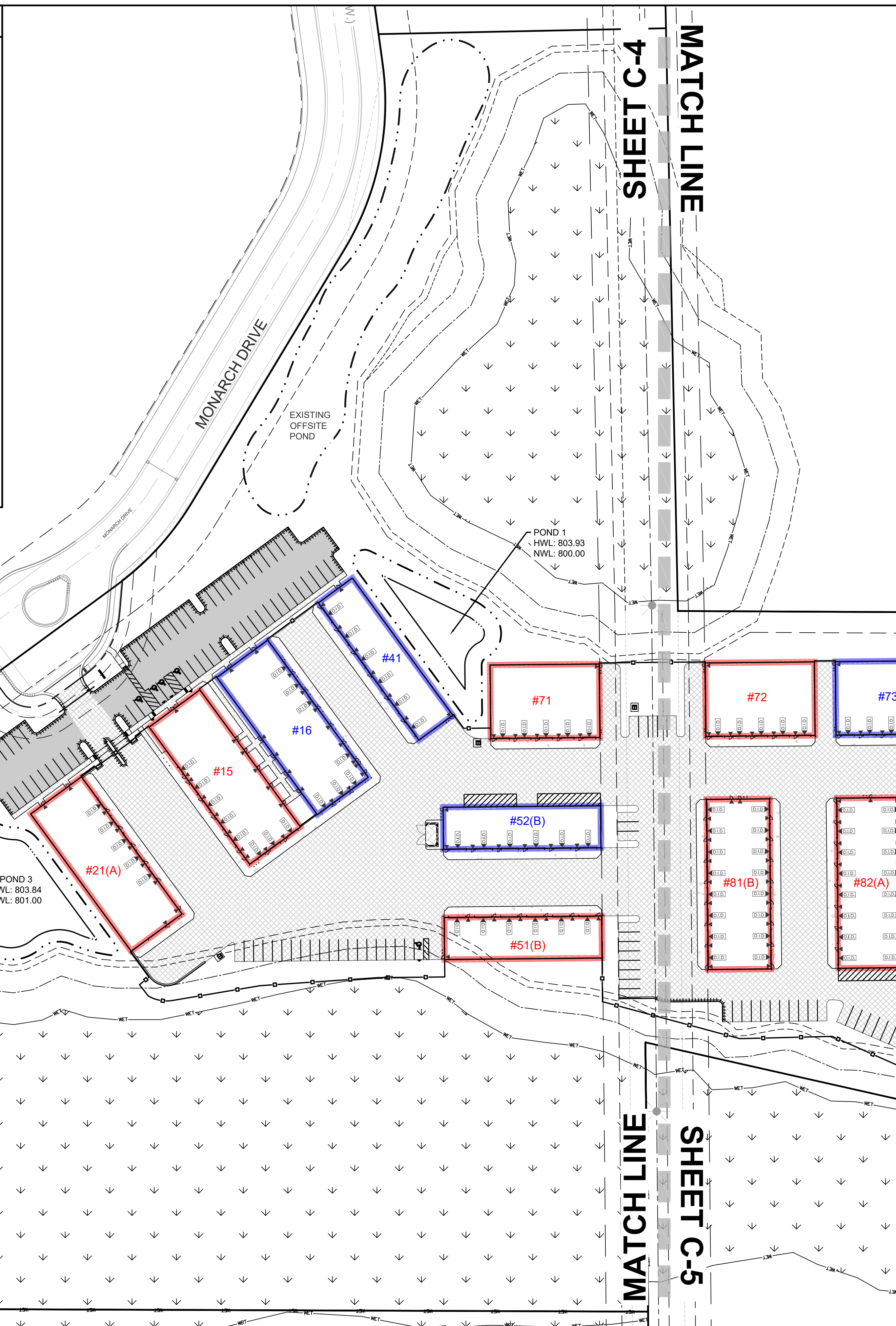
LOT 84 RISE COMMERCIAL DISTRICT
WEST MONARCH DRIVE, FRANKLIN, WI 53132

EXISTING CONDITIONS & DEMOLITION PLAN

REVISIONS		SHEET
NO.	DESCRIPTION	
		C-2
		C-24

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LEGEND	
	LIGHT DUTY PAVEMENT - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 4" ASPHALTIC CONC. (2 LF15) LOWER LAYER (2", 3.1T 58-28.5) UPPER LAYER (2", 3.1T 58-28.5)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 4.5" ASPHALTIC CONC. (2 LF15) LOWER LAYER (2.5", 3.1T 58-28.5) UPPER LAYER (2", 4.1T 58-28.5)
	CONCRETE PAVEMENT (DUMPSTER PAD) - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 60x60 GAUGE STEEL MESH)
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	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 4" PCC (6x6 WELDED WIRE FABRIC PER RAC3 315-92)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2" O.C.
	R7-8 HANDICAP PARKING SIGN (SEE DETAIL) BOLLARD TO BE USED WHEN PLACED IN PAVEMENT
	ADA STALL INSIGNIA
	DETECTABLE WARNING PLATES (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	INTEGRAL CURB AND SIDEWALK (SEE DETAIL)
	BOLLARD
	SIMTEK 6" COMPOSITE PRIVACY FENCE
	6" CHAIN LINK FENCE
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)

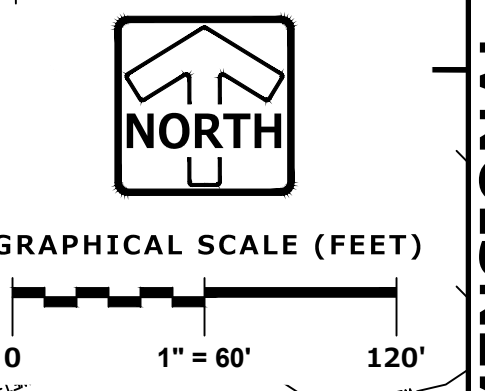


SITE DATA	
BASE SITE AREA:	22.93 AC (999,038 SF)
TOTAL BUILDING FOOTPRINT AREA:	3.14 AC (136,679 SF)
CAR PARKING:	118 SPACES (5 A.D.A.)
PAVEMENT AREA:	5.70 AC (248,085 S.F.)
GREEN SPACE/ LANDSCAPE SURFACE AREA:	14.10 AC (61.5%)
ZONING DISTRICT:	M-1, LIMITED INDUSTRIAL

REQ PARKING CALCS	
TOTAL BUILDING FOOTPRINT AREA:	136,679 SF
CONTRACTOR SHOP AREA (19%):	25,969 SF
OFFICE AREA (9%):	12,301 SF
WAREHOUSE AREA (72%):	98,409 SF
117 TOTAL REQUIRED PARKING SPACES	

PHASE ONE BUILD ORDER	PHASE TWO BUILD ORDER
1. BUILDING 15	1. BUILDING 16
2. BUILDING 21(A)	2. BUILDING 41
3. BUILDING 51(B)	3. BUILDING 52(B)
4. BUILDING 61(A)	4. BUILDING 53(B)
5. BUILDING 71	5. BUILDING 62
6. BUILDING 72	6. BUILDING 63
7. BUILDING 81(B)	7. BUILDING 73
8. BUILDING 82(A)	8. BUILDING 84(C)
9. BUILDING 83(D)	9. BUILDING 85(A)

NOTES	
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.	13. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
2. ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.	14. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
3. ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.	15. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
4. BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.	16. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
5. THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.	17. ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
6. IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.	CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
7. REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.	WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
8. SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.	GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
9. ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.	CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
10. CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.	BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
11. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.	SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
12. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.	ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS. SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.



DESIGNED: DCC
DRAFTED: DCC
REVIEWED: MAC

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SITE DIMENSIONAL & PAVING PLAN OVERVIEW

REVISIONS	

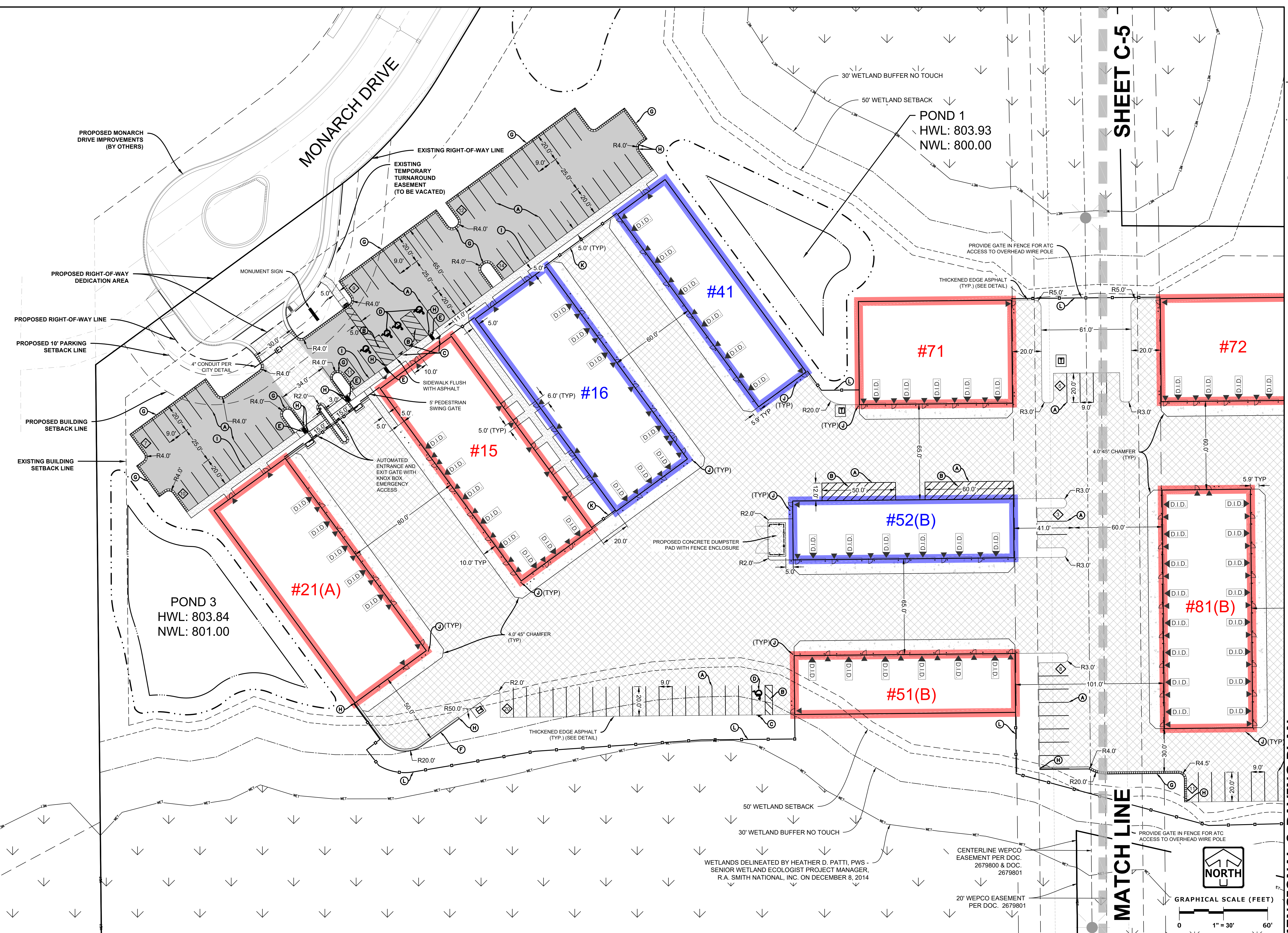
REG JOB No. 809.908
MAC
START DATE 01-12-22
SCALE 1" = 60'

SHEET C-3
C-24

DESIGNED: DOC DRAFTED: DOC REVIEWED: MAC

LEGEND	
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SITE DIMENSIONAL & PAVING PLAN

REVISIONS	

REG. JOB No. 809.908
REG. PM. MAC
START DATE 01-12-22
SCALE 1" = 30'

SHEET
C-4
C-24

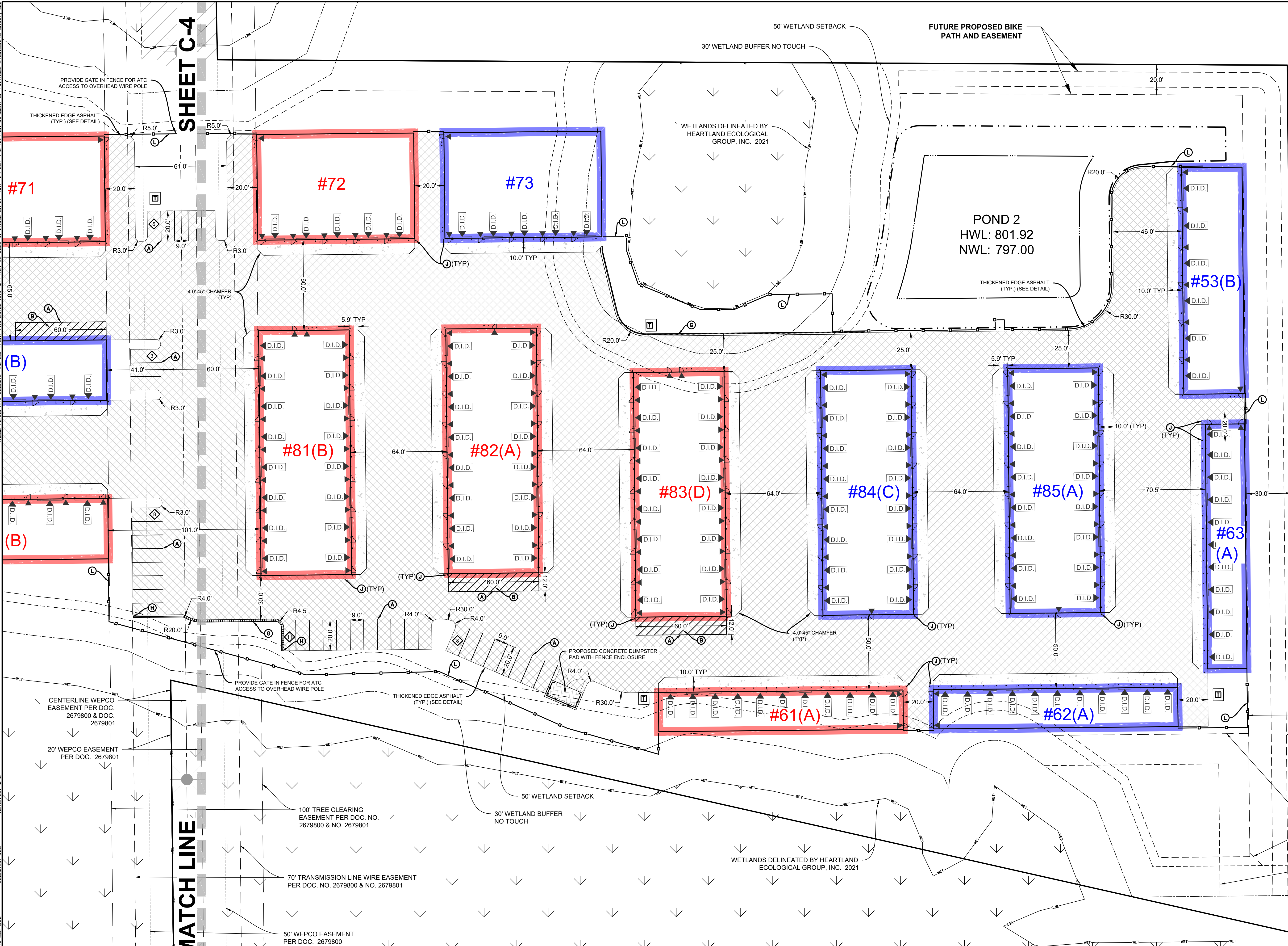
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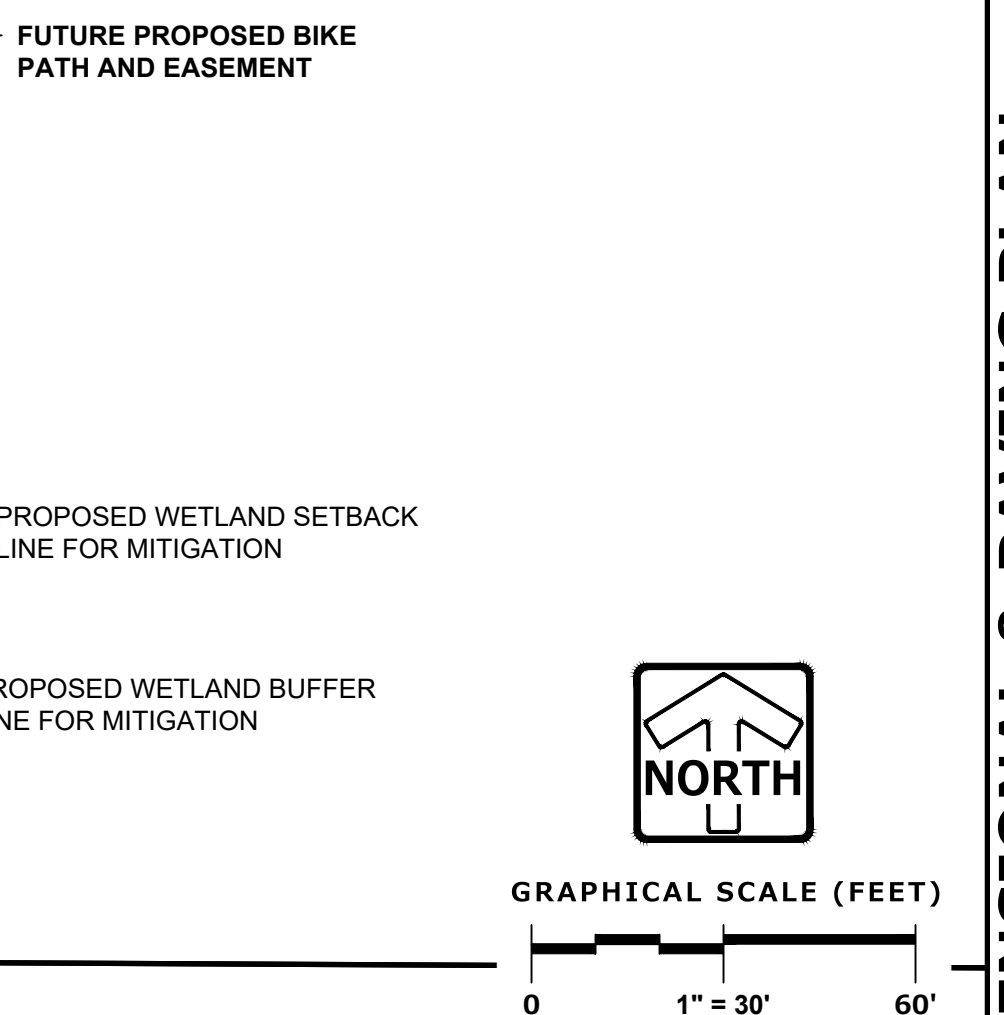
SHEET C-4

MATCH LINE



LEGEND	
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	CONCRETE PAVEMENT (CONCRETE APRONS) - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONE) - 5" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH #6x6 GAUGE STEEL MESH)
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONE) - 4" PCC (6465 WELDED WIRE FABRIC PER RACI 315-92)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2" O.C.
	R7-8 HANDICAP PARKING SIGN (SEE DETAIL) BOLLARD TO BE USED WHEN PLACED IN PAVEMENT
	ADA STALL INSIGNIA
	DETECTABLE WARNING PLATES (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	INTEGRAL CURB AND SIDEWALK (SEE DETAIL)
	BOLLARD
	SINTEX 6" COMPOSITE PRIVACY FENCE
	6" CHAIN LINK FENCE
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR (2% MAX SLOPE WITHIN DRIVE)

PHASE ONE BUILD ORDER	PHASE TWO BUILD ORDER
1. BUILDING 15	1. BUILDING 16
2. BUILDING 21(A)	2. BUILDING 41
3. BUILDING 51(B)	3. BUILDING 52(B)
4. BUILDING 61(A)	4. BUILDING 53(B)
5. BUILDING 71	5. BUILDING 62
6. BUILDING 72	6. BUILDING 63
7. BUILDING 81(B)	7. BUILDING 73
8. BUILDING 82(A)	8. BUILDING 84(C)
9. BUILDING 83(D)	9. BUILDING 85(A)



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LOT 84 RISE COMMERCIAL DISTRICT
WEST MONARCH DRIVE, FRANKLIN, WI 53132

SITE DIMENSIONAL & PAVING PLAN

REVISIONS	

REG JOB NO. 809.908	MAC	SHEET C-5
REG PM	MAC	C-24
START DATE 01-12-22	SCALE 1" = 30'	

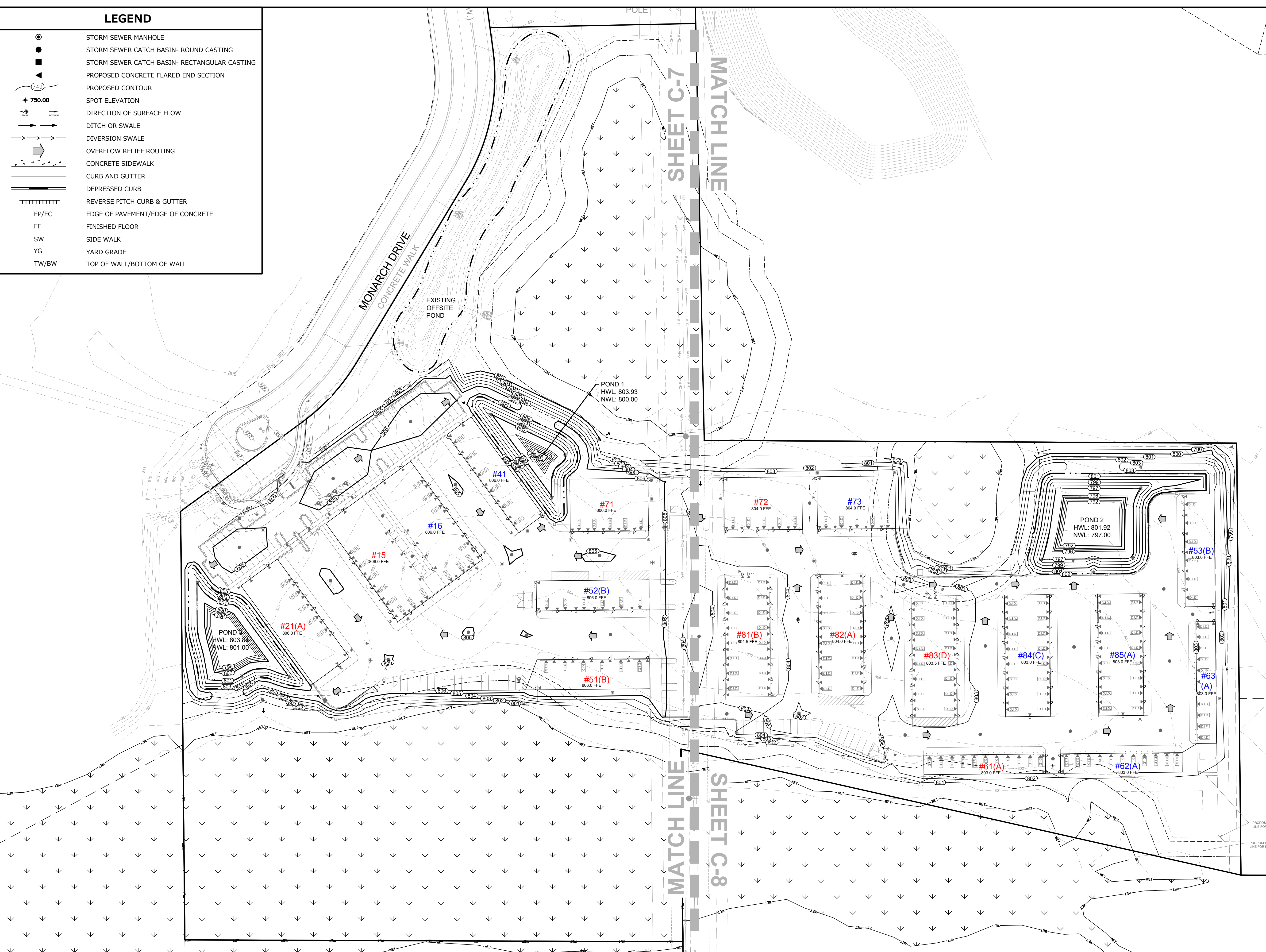
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LEGEND

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ▴ PROPOSED CONCRETE FLARED END SECTION
- ~ PROPOSED CONTOUR
- + 750.00 SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- - - DITCH OR SWALE
- - - DIVERSION SWALE
- OVERFLOW RELIEF ROUTING
- ▬ CONCRETE SIDEWALK
- ▬ CURB AND GUTTER
- ▬ DEPRESSED CURB
- ▬ REVERSE PITCH CURB & GUTTER
- ▬ EP/EC EDGE OF PAVEMENT/EDGE OF CONCRETE
- ▬ FF FINISHED FLOOR
- ▬ SW SIDE WALK
- ▬ YG YARD GRADE
- ▬ TW/BW TOP OF WALL/BOTTOM OF WALL

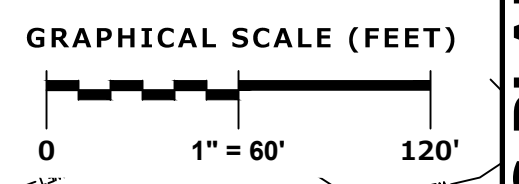
NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
5. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
6. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
7. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
8. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURN OVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
10. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
11. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
12. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
13. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
15. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
16. CONTRACTOR SHALL COMPLY WITH ALL CITY OF FRANKLIN CONSTRUCTION STANDARDS/ORDINANCES.
17. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
18. TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3%(±) OPTIMUM MOISTURE CONTENT.
19. SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.



SHEET C-7
MATCH LINE

MATCH LINE
SHEET C-8



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GRADING PLAN OVERVIEW

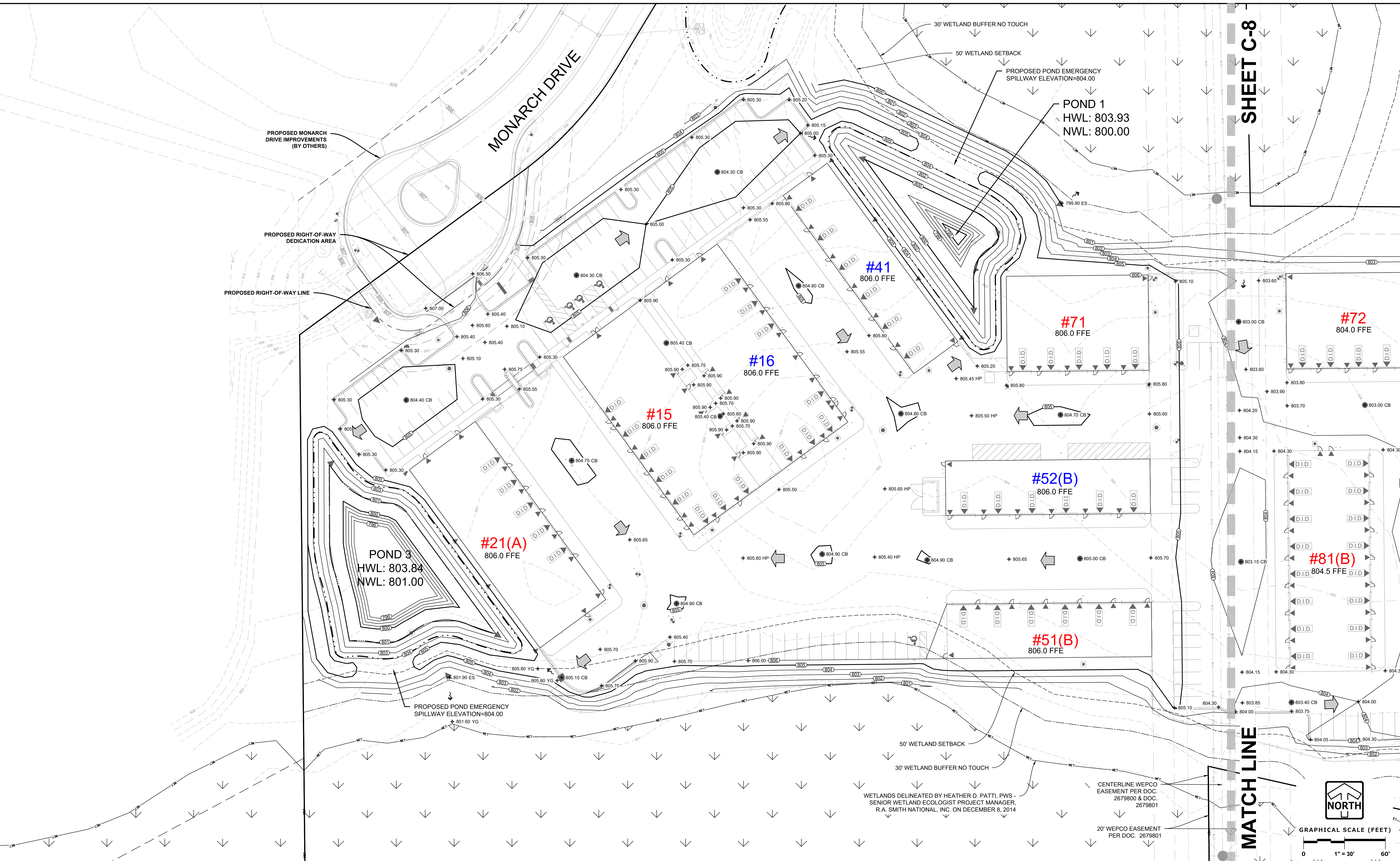
REVISIONS	

SHEET
C-6
 C-24
 REG JOB No. 809.908
 MAC
 START DATE 01-12-22
 SCALE 1" = 60'
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DRAFTED: DCC
DESIGNED: DCC
REVIEWED: MAC

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GRADING PLAN

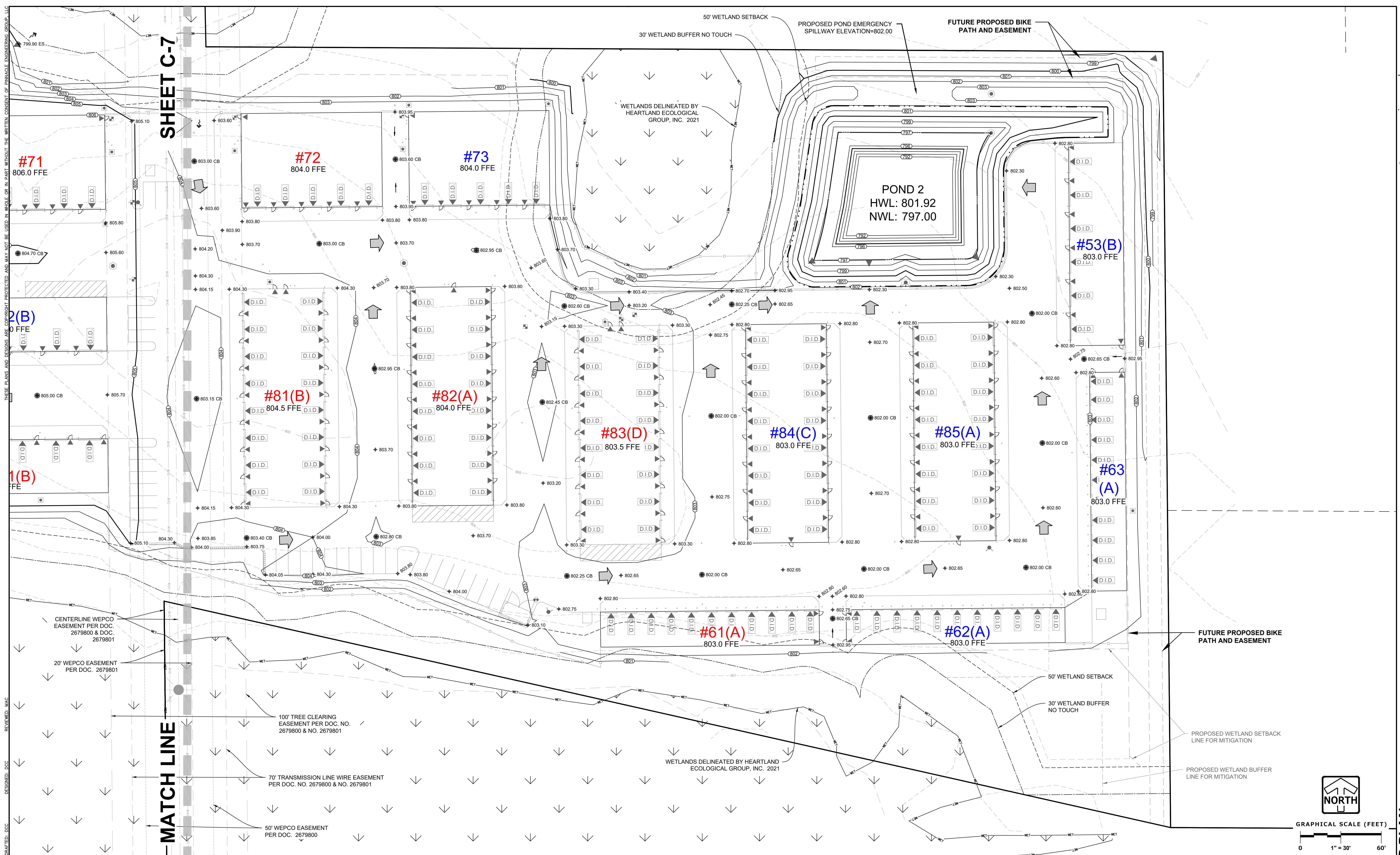
REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB No. 809,908
REG. PM. MAC
START DATE 01-12-22
SCALE 1" = 30'

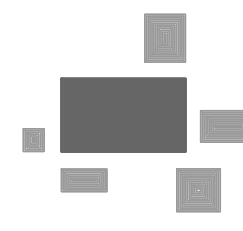
SHEET
C-7
C-24

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DESIGNED: DOC
 DRAFTED: DOC
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GRADING PLAN

REVISIONS	

SHEET
C-8
 C-24
 GRAPHICAL SCALE (FEET)
 0 1" = 30' 60'
 NORTH
 REG JOB No. 809-908
 REG PM MAC
 START DATE 01-12-22
 SCALE 1" = 30'
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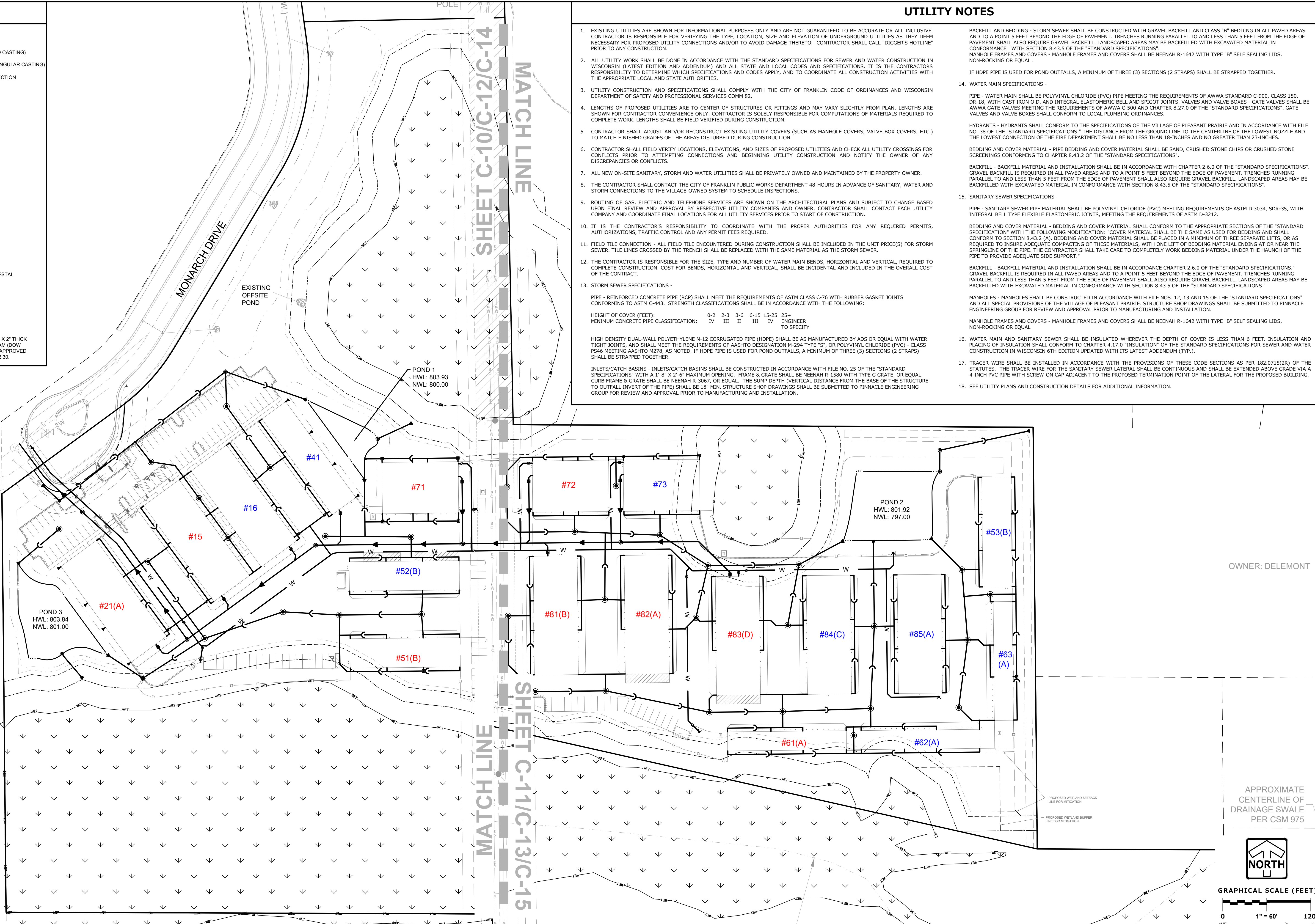
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LEGEND

- SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - STORM SEWER CATCH BASIN (ROUND CASTING)
 - STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
 - PRECAST CONCRETE FLARED END SECTION
 - CLEANOUT
 - VALVE BOX
 - FIRE HYDRANT
 - SANITARY SEWER
 - FORCE MAIN
 - STORM SEWER
 - DRAIN TILE
 - WATER MAIN
 - FIRE PROTECTION
 - UTILITY CROSSING
 - ELECTRICAL CABLE
 - GAS MAIN
 - TELEPHONE LINE
 - OVERHEAD WIRES
 - LIGHTING
 - ELECTRICAL TRANSFORMER OR PEDESTAL
 - POWER POLE
 - POWER POLE WITH LIGHTS
 - STREET SIGN
 - UTILITY TO BE REMOVED
- UTILITY TO BE INSULATED WITH 2" X 8" X 2" THICK PLANKS OF STYROFOAM PLASTIC FOAM (DOW CHEMICAL COMPANY "HYDRAND" OR APPROVED EQUIVALENT), PER DSPS SECTION 382.30.

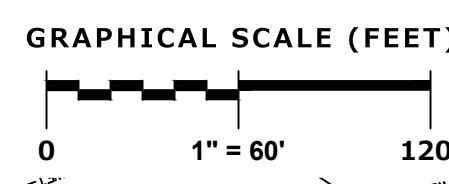
UTILITY NOTES

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THEREOF. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
 2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
 3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF FRANKLIN CODE OF ORDINANCES AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
 4. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
 5. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
 6. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 7. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 8. THE CONTRACTOR SHALL CONTACT THE CITY OF FRANKLIN PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
 9. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
 11. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
 12. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
 13. STORM SEWER SPECIFICATIONS -
 PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
 MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
 HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS P546 MEETING AASHTO M278, AS NOTED. IF HOPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
 INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- IF HOPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
14. WATER MAIN SPECIFICATIONS -
 PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
 BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
15. SANITARY SEWER SPECIFICATIONS -
 PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
16. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
17. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
18. SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.



OWNER: DELEMONT

APPROXIMATE CENTERLINE OF DRAINAGE SWALE PER CSM 975



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WEST MONARCH DRIVE, FRANKLIN, WI 53132

UTILITY PLAN OVERVIEW

REVISIONS

NO.	DATE	DESCRIPTION

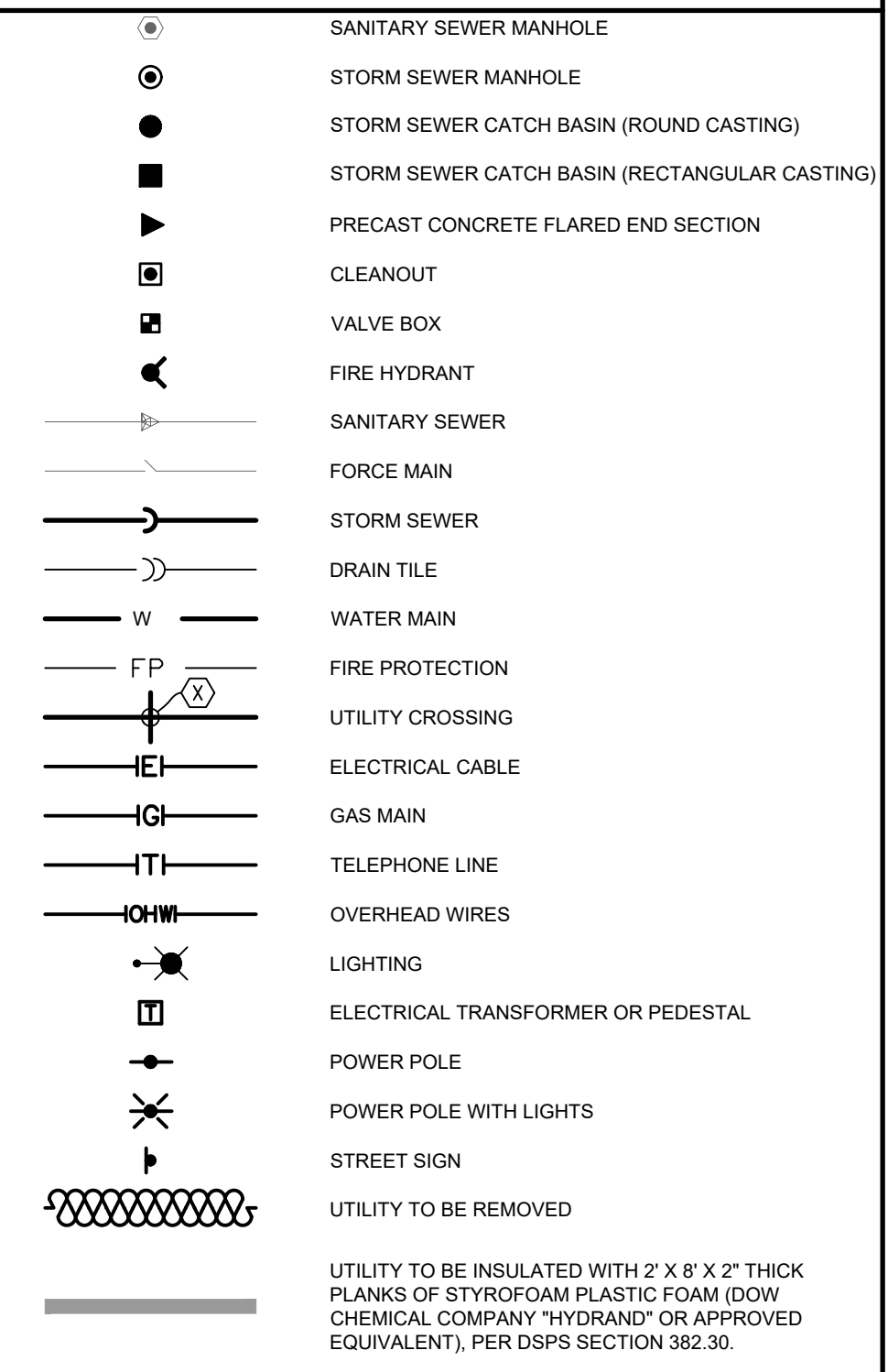
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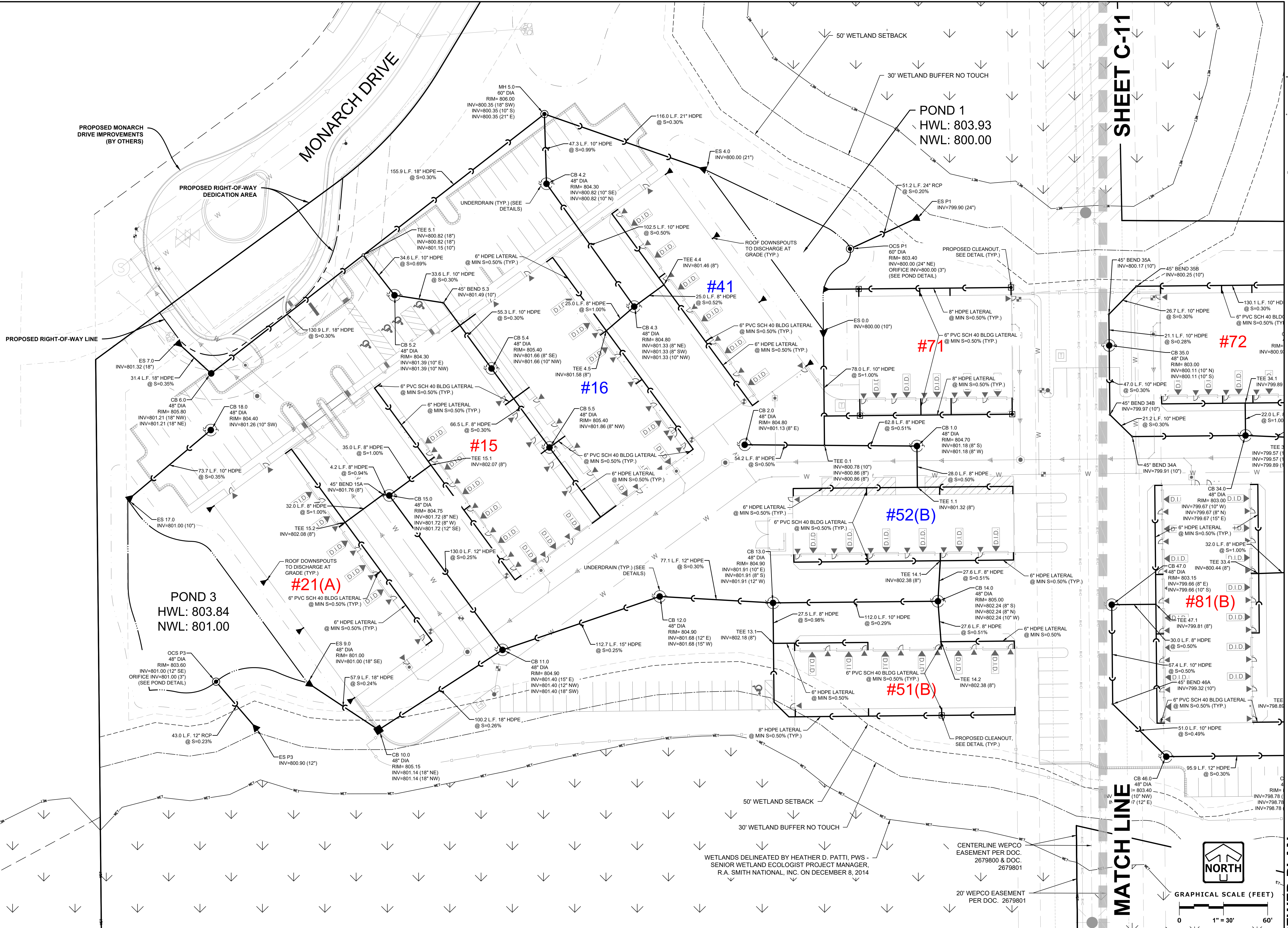
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LEGEND

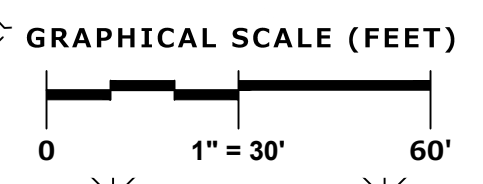
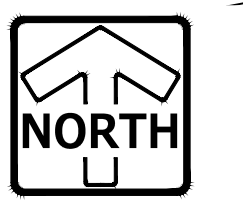


SEE PRIVATE STORM SEWER SPECIFICATIONS ON SHEET C-9



SHEET C-11

MATCH LINE



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LOT 84 RISE COMMERCIAL DISTRICT WEST MONARCH DRIVE, FRANKLIN, WI 53132

STORM SEWER PLAN

Table with columns for REVISIONS, SHEET C-10, and SHEET C-24.

REG JOB No., MAC, START DATE, SCALE, SHEET C-10, SHEET C-24.

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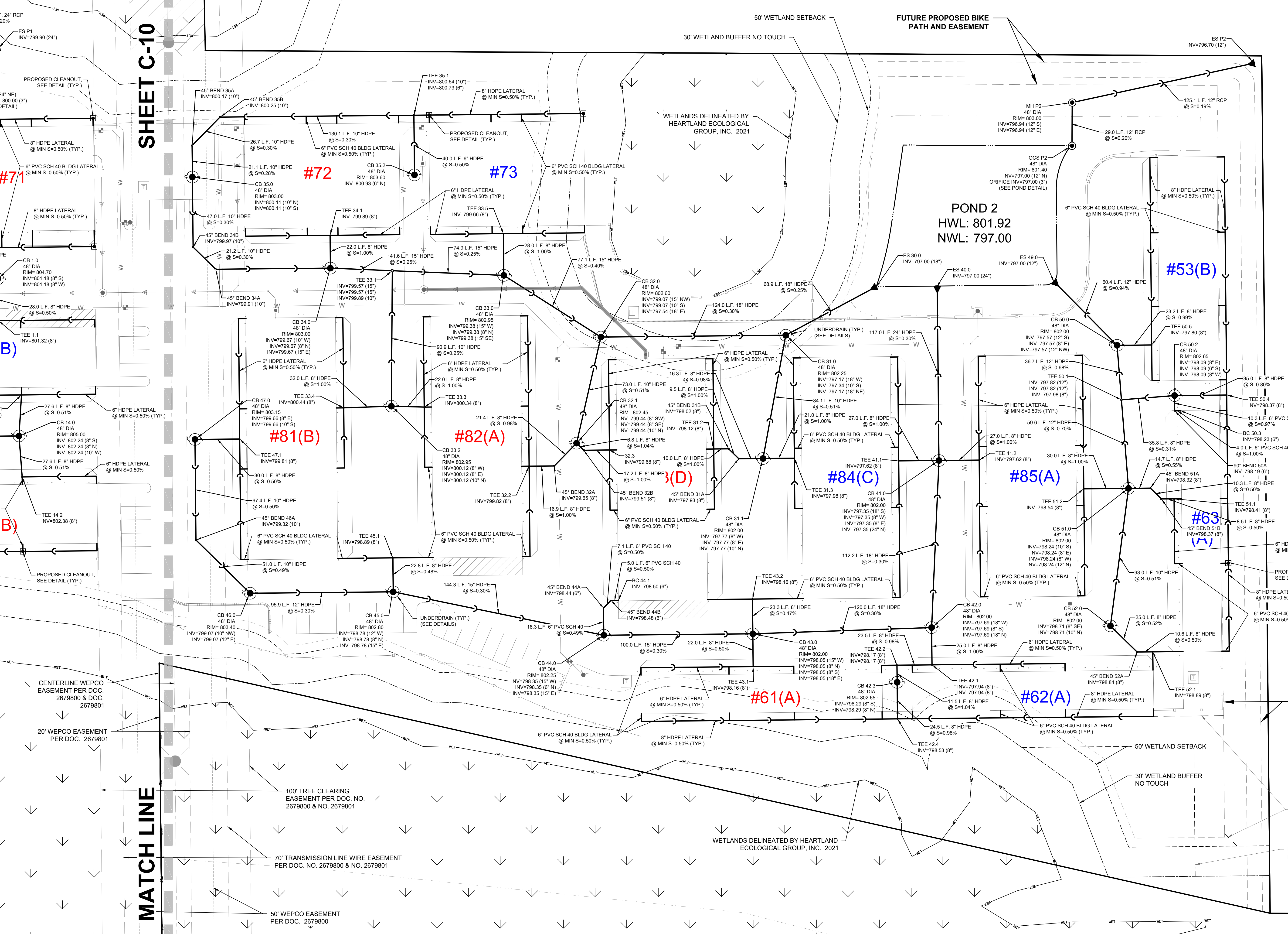
LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- WATER MAIN
- FIRE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE WITH LIGHTS
- STREET SIGN
- UTILITY TO BE REMOVED

SEE PRIVATE STORM SEWER SPECIFICATIONS ON SHEET C-9

SHEET C-10

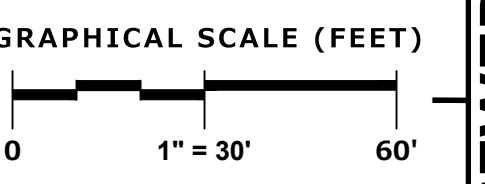
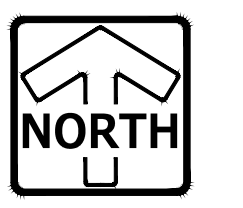
MATCH LINE



FUTURE PROPOSED BIKE PATH AND EASEMENT

PROPOSED WETLAND SETBACK LINE FOR MITIGATION

PROPOSED WETLAND BUFFER LINE FOR MITIGATION



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WEST MONARCH DRIVE, FRANKLIN, WI 53132

STORM SEWER PLAN

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 809.908
MAC
START DATE 01-12-22
SCALE 1" = 30'
SHEET C-11 C-24

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FOLLOW CITY OF FRANKLIN DESIGN STANDARDS AND SPECIFICATIONS AS DESCRIBED IN CHAPTER 10.11 FOR BEDDING AND BACKFILL OF UTILITIES IN CITY ROW

PROPOSED WATER MAIN FINAL SIZE SHALL BE DETERMINED BY A LICENSED FIRE PROTECTION DESIGNER

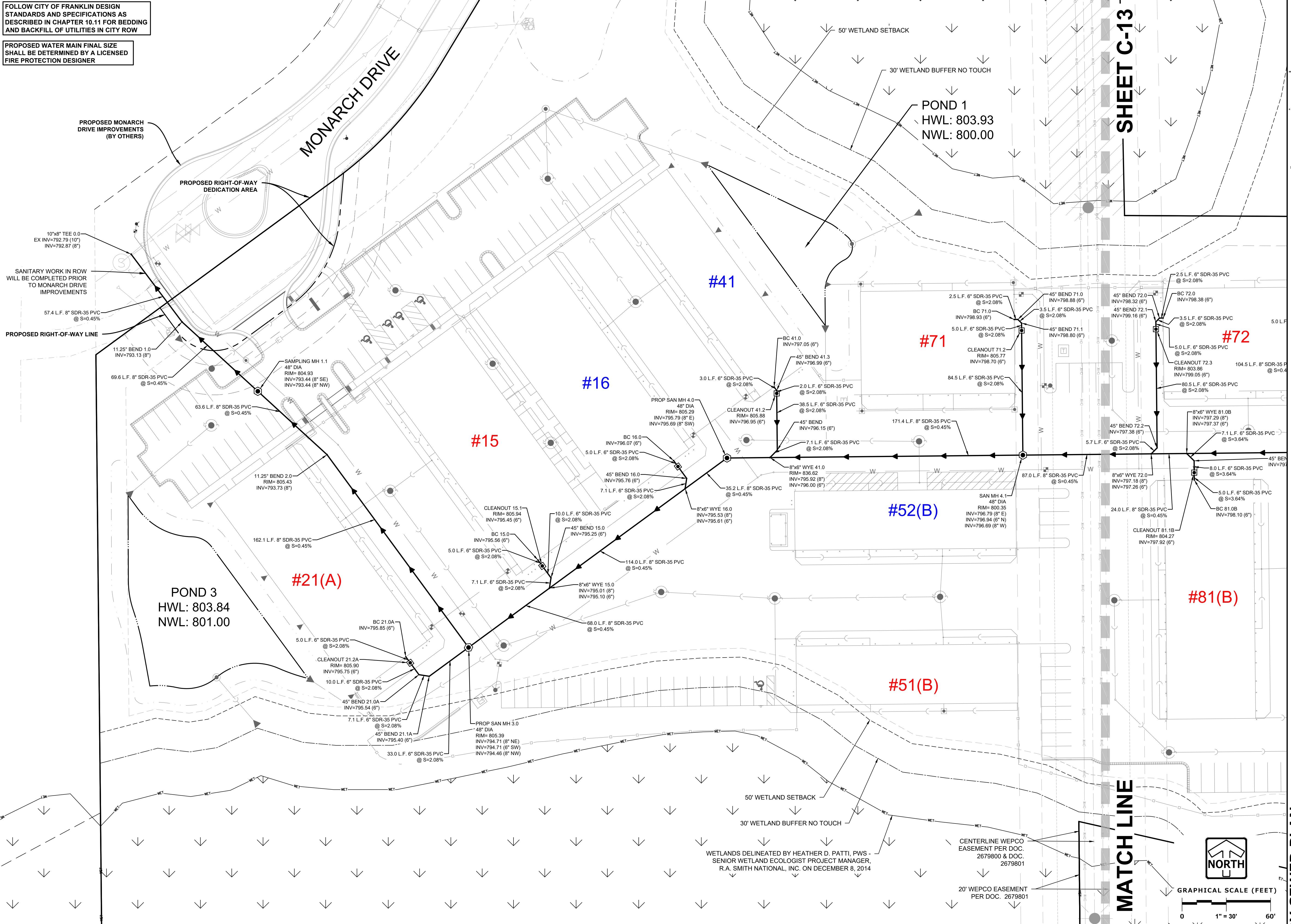
SEE PRIVATE SANITARY SEWER SPECIFICATIONS ON SHEET C-9

PROPOSED MONARCH DRIVE IMPROVEMENTS (BY OTHERS)

PROPOSED RIGHT-OF-WAY DEDICATION AREA

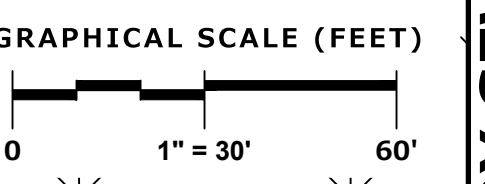
SANITARY WORK IN ROW WILL BE COMPLETED PRIOR TO MONARCH DRIVE IMPROVEMENTS

PROPOSED RIGHT-OF-WAY LINE



SHEET C-13

MATCH LINE



WETLANDS DELINEATED BY HEATHER D. PATTI, PWS - SENIOR WETLAND ECOLOGIST PROJECT MANAGER, R.A. SMITH NATIONAL, INC. ON DECEMBER 8, 2014

CENTERLINE WEPCO EASEMENT PER DOC. 2679800 & DOC. 2679801

20' WEPCO EASEMENT PER DOC. 2679801

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WEST MONARCH DRIVE, FRANKLIN, WI 53132

SANITARY SEWER PLAN

REVISIONS	
NO.	DESCRIPTION

REG JOB No. 809.908	MAC	SHEET
REG PM	DATE 01-12-22	C-12
SCALE 1" = 30'		C-24

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SANITARY SEWER PLAN

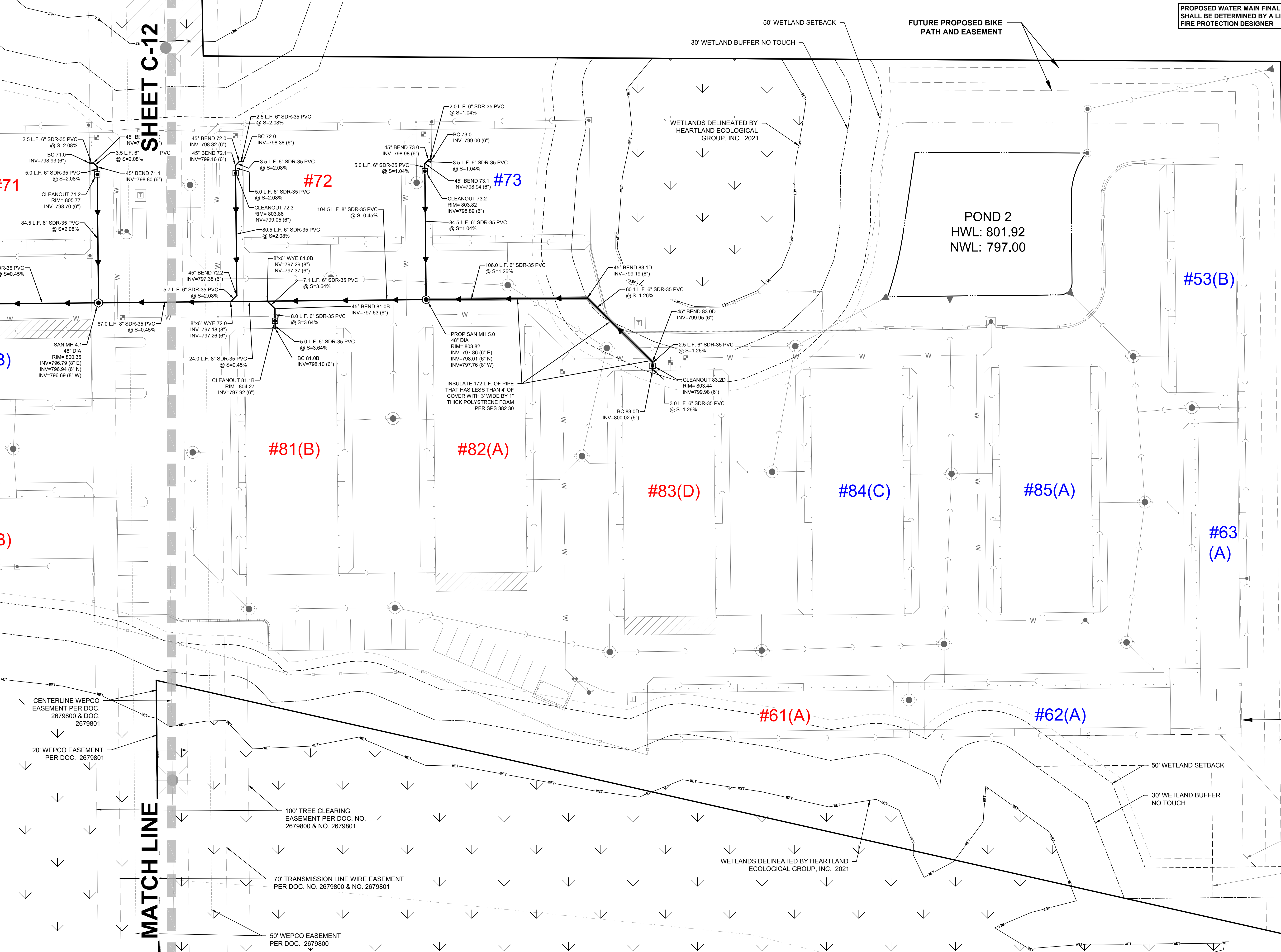
SHEET C-12

PROPOSED WATER MAIN FINAL SIZE SHALL BE DETERMINED BY A LICENSED FIRE PROTECTION DESIGNER

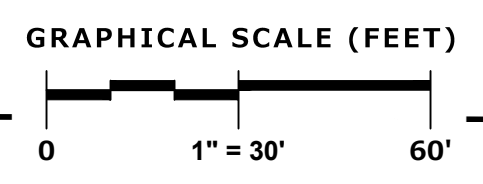
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SEE PRIVATE SANITARY SEWER SPECIFICATIONS ON SHEET C-9



MATCH LINE



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WEST MONARCH DRIVE, FRANKLIN, WI 53132

SANITARY SEWER PLAN

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB No. 809.908
REG. PM. MAC
START DATE 01-12-22
SCALE 1" = 30'

SHEET
C-13
C-24

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LEGEND

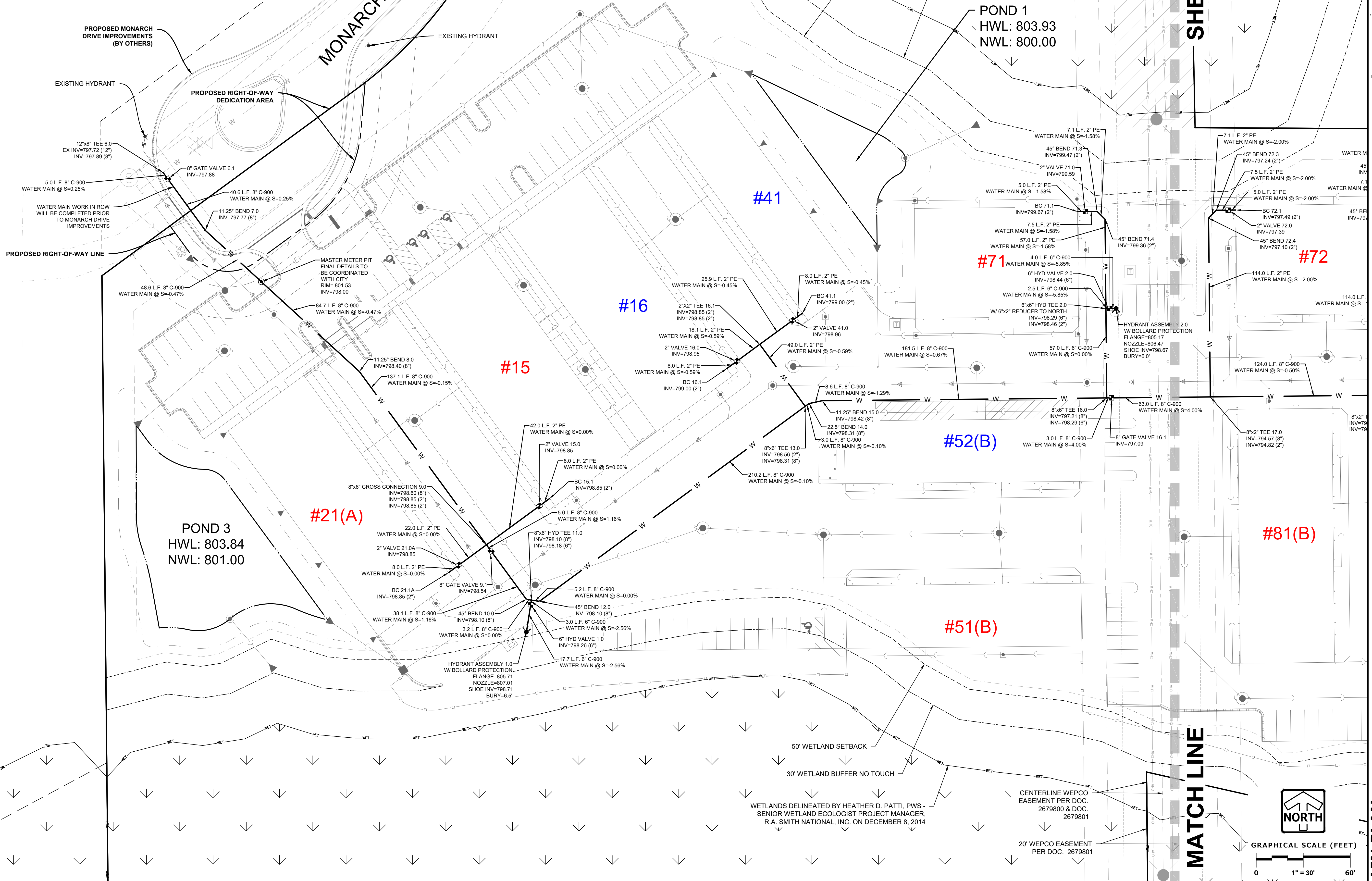
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ALL PRIVATE HYDRANTS ON-SITE SHALL BE PAINTED YELLOW

SEE PRIVATE WATER MAIN SPECIFICATIONS ON SHEET C-9



SHEET C-13

MATCH LINE



GRAPHICAL SCALE (FEET)

0 1" = 30' 60'

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WATERMAIN PLAN

REVISIONS	
NO.	DESCRIPTION

REG JOB No. 809.908
REG PM MAC
START DATE 01-12-22
SCALE 1" = 30'
SHEET C-14
C-24

www.pinnacle-engr.com WATERMAIN PLAN

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SHEET C-12

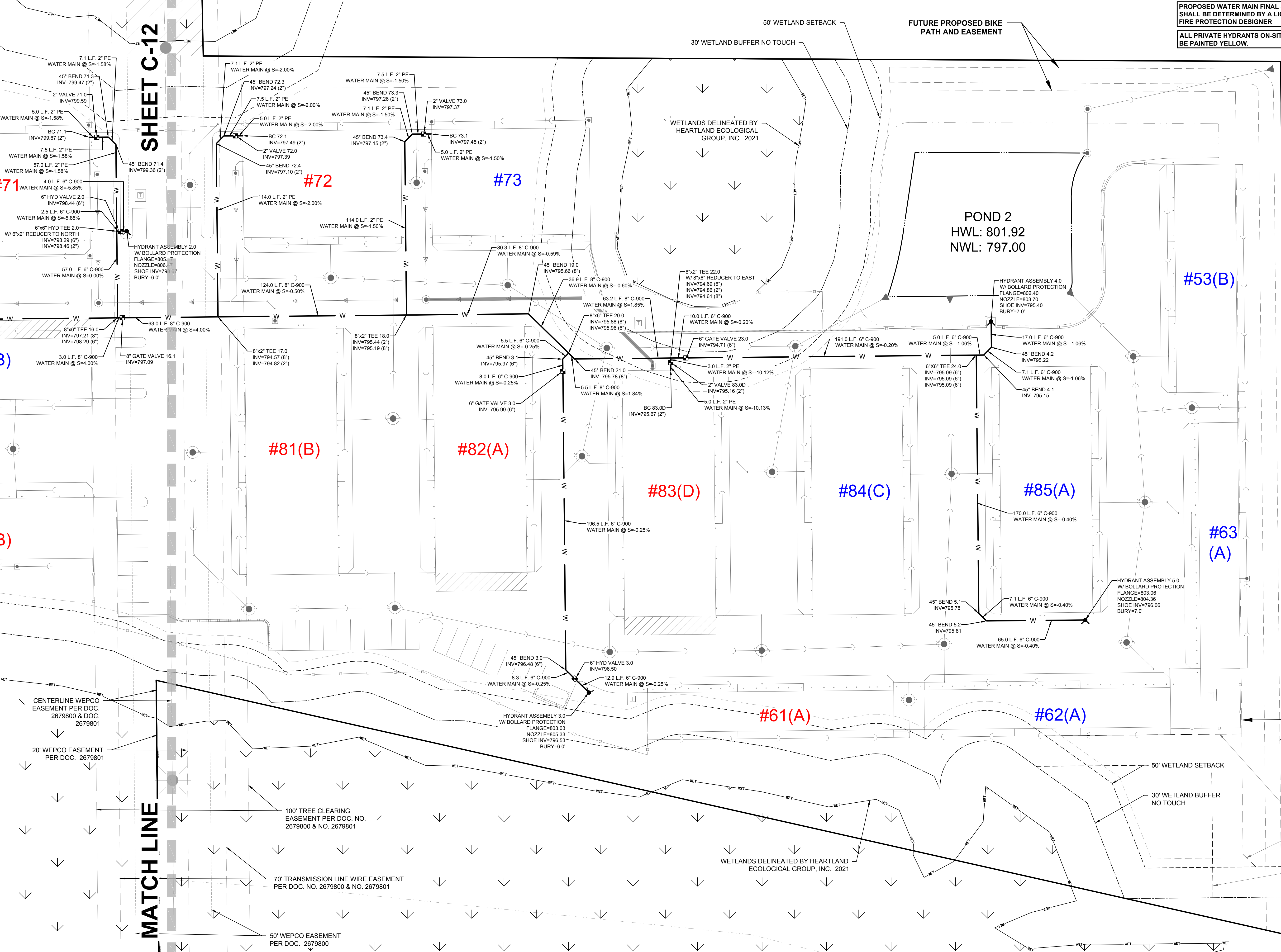
MATCH LINE

PROPOSED WATER MAIN FINAL SIZE SHALL BE DETERMINED BY A LICENSED FIRE PROTECTION DESIGNER
ALL PRIVATE HYDRANTS ON-SITE SHALL BE PAINTED YELLOW.

LEGEND

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SEE PRIVATE WATER MAIN SPECIFICATIONS ON SHEET C-9



POND 2
HWL: 801.92
NWL: 797.00



GRAPHICAL SCALE (FEET)
0 1" = 30' 60'

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WATERMAIN PLAN

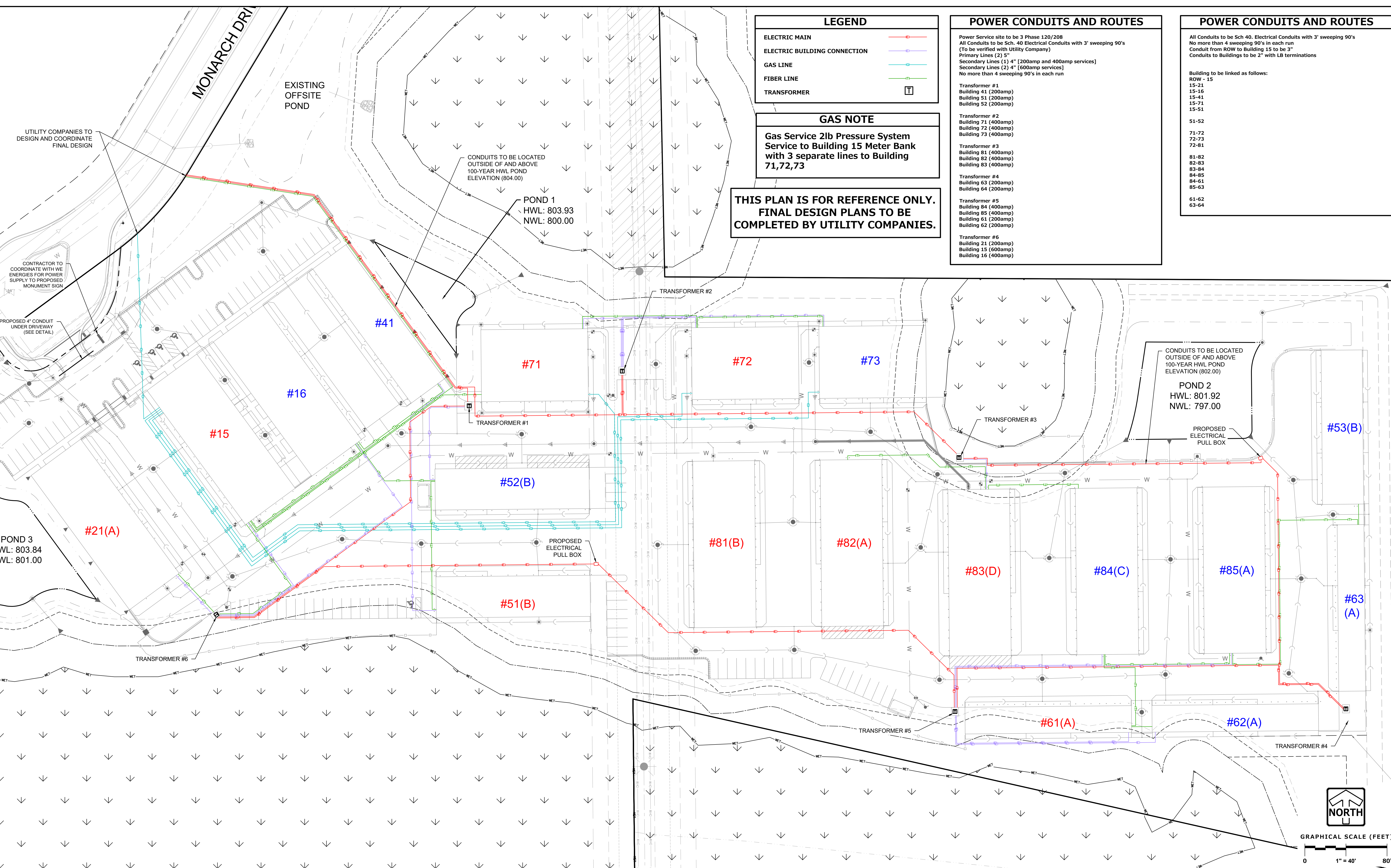
REVISIONS

NO.	DATE	DESCRIPTION

REG JOB No. 809.908
REG PM MAC
START DATE 01-12-22
SCALE 1" = 30'
SHEET C-15
C-24

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 DESIGNED: DCC
 DRAFTED: DCC
 REVIEWED: MAC

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 DRY UTILITY CONCEPT



LEGEND	
ELECTRIC MAIN	
ELECTRIC BUILDING CONNECTION	
GAS LINE	
FIBER LINE	
TRANSFORMER	

GAS NOTE
 Gas Service 2lb Pressure System Service to Building 15 Meter Bank with 3 separate lines to Building 71,72,73

THIS PLAN IS FOR REFERENCE ONLY. FINAL DESIGN PLANS TO BE COMPLETED BY UTILITY COMPANIES.

POWER CONDUITS AND ROUTES	
Power Service site to be 3 Phase 120/208	
All Conduits to be Sch. 40 Electrical Conduits with 3' sweeping 90's (To be verified with Utility Company)	
Primary Lines (2) 5"	
Secondary Lines (1) 4" [300amp and 400amp services]	
Secondary Lines (2) 4" [600amp services]	
No more than 4 sweeping 90's in each run	
Transformer #1	Building 41 (200amp)
	Building 51 (200amp)
	Building 52 (200amp)
Transformer #2	Building 71 (400amp)
	Building 72 (400amp)
	Building 73 (400amp)
Transformer #3	Building 81 (400amp)
	Building 82 (400amp)
	Building 83 (400amp)
Transformer #4	Building 63 (200amp)
	Building 64 (200amp)
Transformer #5	Building 84 (400amp)
	Building 85 (400amp)
	Building 61 (200amp)
	Building 62 (200amp)
Transformer #6	Building 21 (200amp)
	Building 15 (600amp)
	Building 16 (400amp)

POWER CONDUITS AND ROUTES	
All Conduits to be Sch. 40. Electrical Conduits with 3' sweeping 90's	
No more than 4 sweeping 90's in each run	
Conduit from ROW to Building 15 to be 3"	
Conduits to Buildings to be 2" with LB terminations	
Building to be linked as follows:	
ROW - 15	15-21
	15-16
	15-41
	15-71
	15-51
	51-52
	71-72
	72-73
	72-81
	81-82
	82-83
	83-84
	84-85
	84-61
	85-63
	61-62
	63-64

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DRY UTILITY CONCEPT

REVISIONS	

REG JOB No. 809.908
 REG PM MAC
 START DATE 01-12-22
 SCALE 1" = 60'
SHEET C-16
C-24

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LEGEND

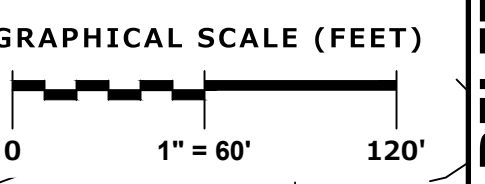
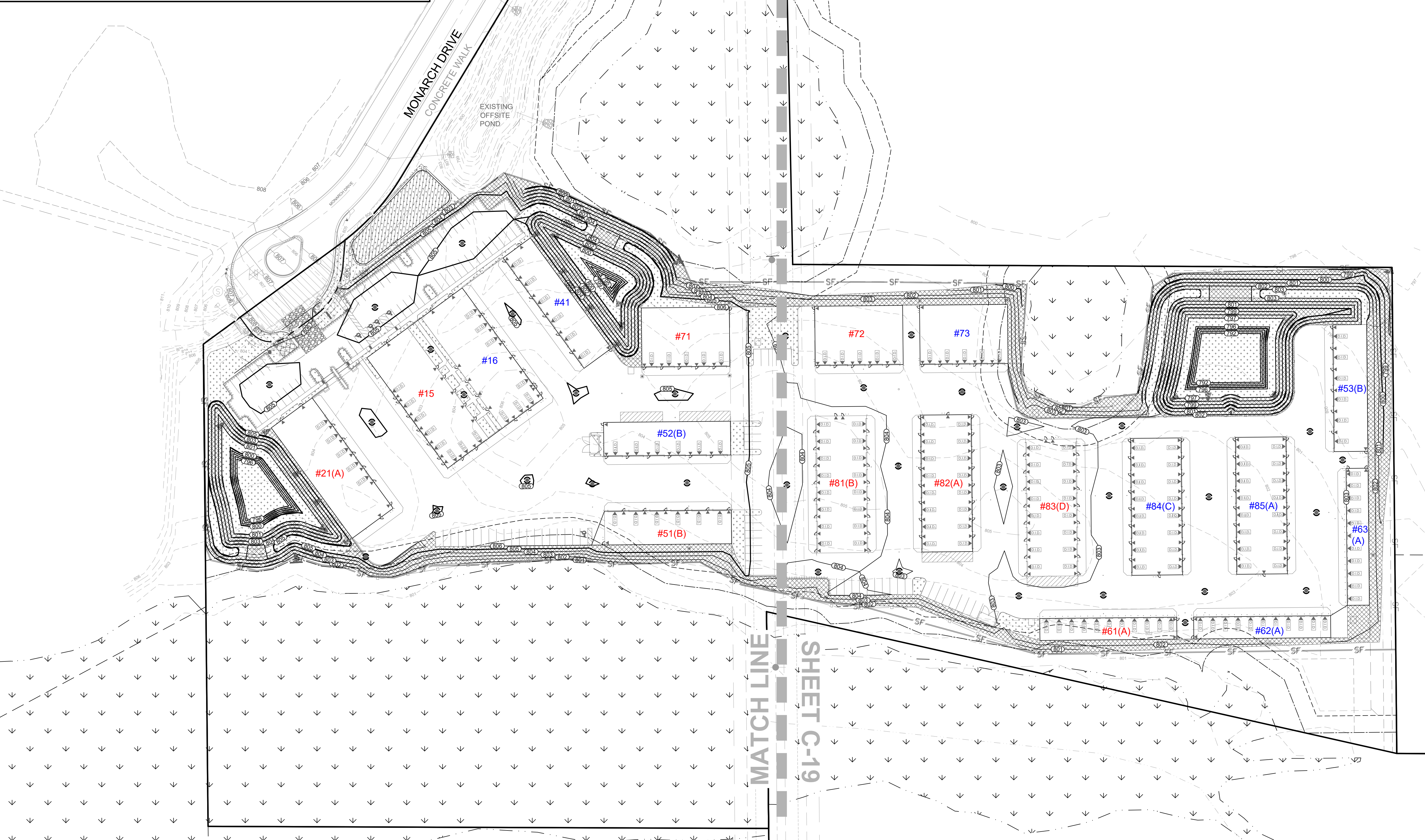
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- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- WETLANDS
- HIGH WATER LEVEL (HWL)
- NORMAL WATER LEVEL (NWL)
- DIRECTION OF SURFACE FLOW
- DITCH OR SWALE/BERM
- DIVERSION SWALE
- OVERFLOW RELIEF ROUTING
- SILT FENCE
- PROTECTION FENCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)

CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 5. CITY REQUIRES THAT STORM WATER MANAGEMENT FACILITIES (TEMPORARY OR PERMANENT) ARE INSTALLED, ROUGH GRADE CERTIFIED BY DESIGN ENGINEER, AND APPROVED BY THE CITY, PRIOR TO ANY IMPERVIOUS SURFACES BEING INSTALLED OR MASS SITE GRADING AND PRIOR TO BUILDING PERMITS BEING RELEASED.
 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER 95% VEGETATIVE COVER IS ESTABLISHED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
20. EROSION CONTROL INSPECTIONS REQUIRED BY CITY INSPECTOR (AT DEVELOPER'S EXPENSE) MINIMUM WEEKLY AND 0.5-INCH RAINFALL EVENTS. ADDITIONALLY, QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT AND CONTRACTOR WILL KEEP COPIES ON-SITE. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.



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CHICAGO | MILWAUKEE | NATIONWIDE

LOT 84 RISE COMMERCIAL DISTRICT
WEST MONARCH DRIVE, FRANKLIN, WI 53132

SITE STABILIZATION PLAN OVERVIEW

REVISIONS		SHEET
NO.	DESCRIPTION	
		C-17
		C-24

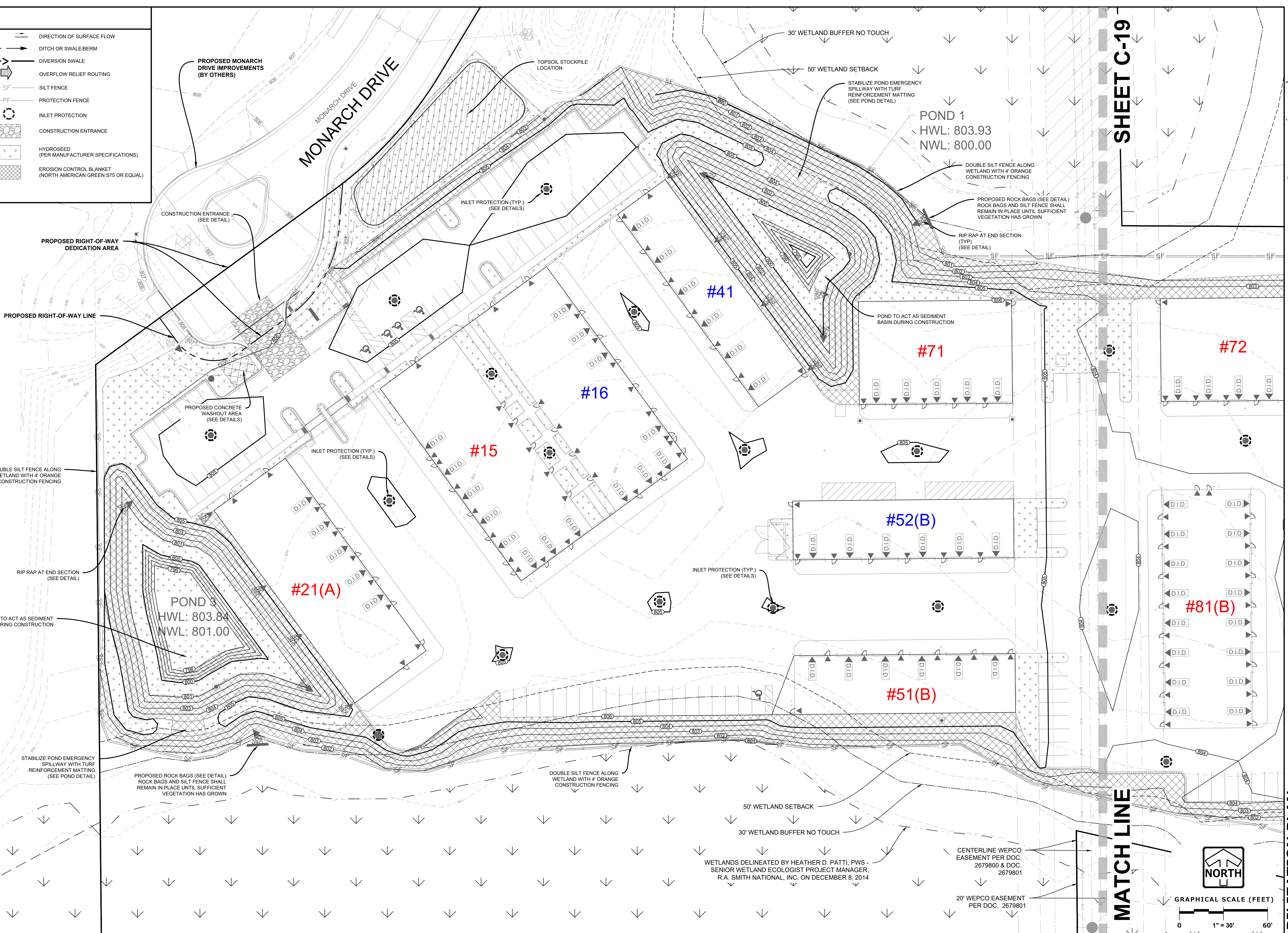
REG JOB No. 809.908
REG PM MAC
START DATE 01-12-24
SCALE 1" = 60'

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SITE STABILIZATION PLAN OVERVIEW

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LEGEND

- | | | | |
|--|---|--|---|
| | SANITARY SEWER MANHOLE | | DIRECTION OF SURFACE FLOW |
| | STORM SEWER MANHOLE | | DITCH OR SWALE/BERM |
| | STORM SEWER CATCH BASIN (ROUND CASTING) | | DIVERSION SWALE |
| | STORM SEWER CATCH BASIN (RECTANGULAR CASTING) | | OVERFLOW RELIEF ROUTING |
| | PRECAST FLARED END SECTION | | SILT FENCE |
| | CLEANOUT | | PROTECTION FENCE |
| | VALVE BOX | | INLET PROTECTION |
| | FIRE HYDRANT | | CONSTRUCTION ENTRANCE |
| | PROPOSED CONTOUR | | HYDROSEED (PER MANUFACTURER SPECIFICATIONS) |
| | PROPOSED SPOT ELEVATION | | EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL) |
| | WETLANDS | | |
| | HIGH WATER LEVEL (HWL) | | |
| | NORMAL WATER LEVEL (NWL) | | |



SHEET C-19

MATCH LINE

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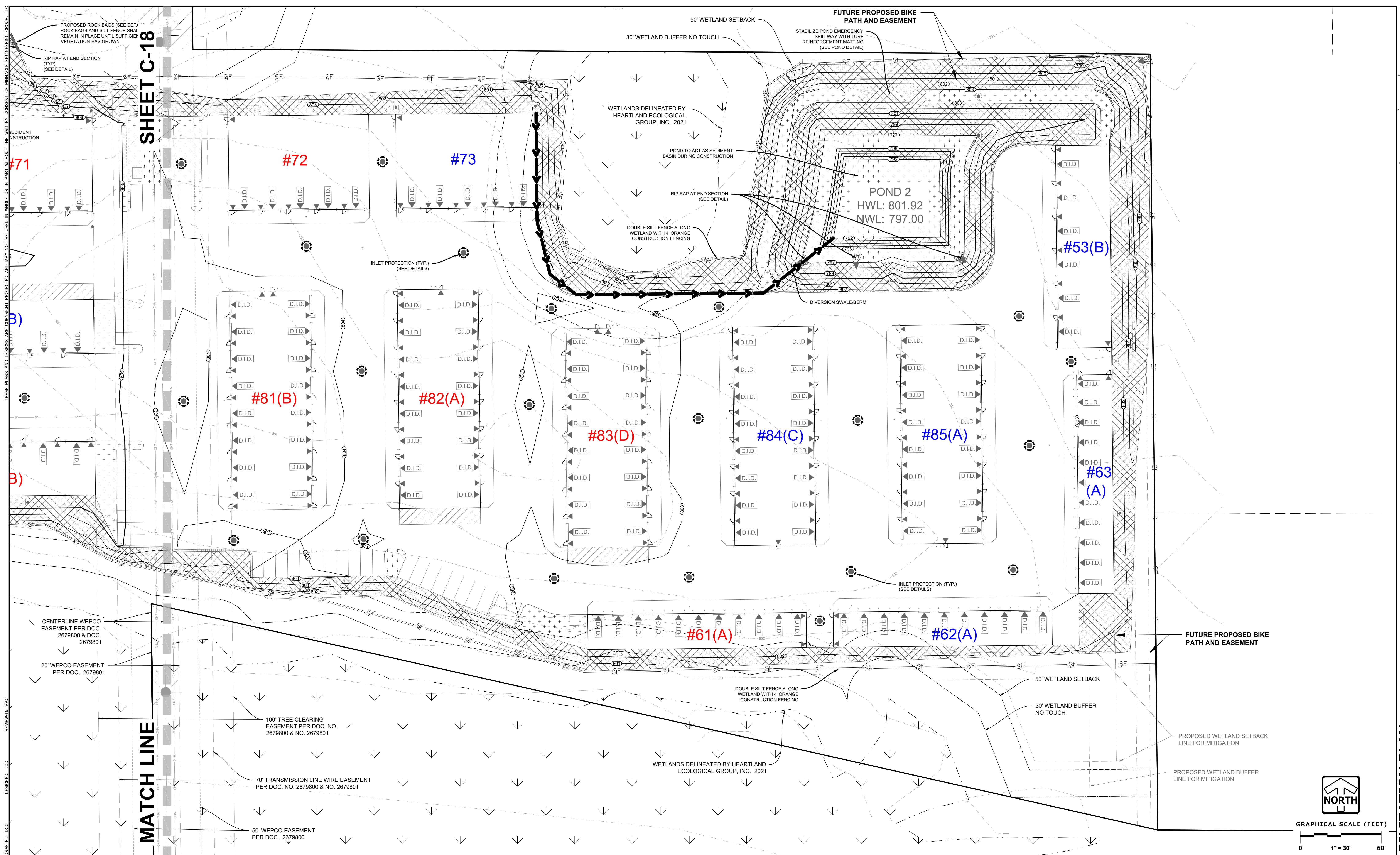
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WEST MONARCH DRIVE, FRANKLIN, WI 53132

SITE STABILIZATION PLAN

REVISIONS	
NO.	DESCRIPTION

REG JOB No. 809.908
 REG PM MAC
 START DATE 01-12-22
 SCALE 1" = 30'
 SHEET C-18
 C-24

Z:\PROJECTS\2016\809.908-WI\CAD\SHEETS\809.908 EROSION CONTROL PLAN.DWG



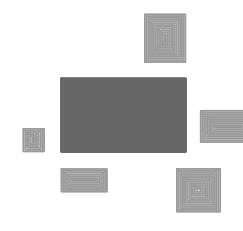
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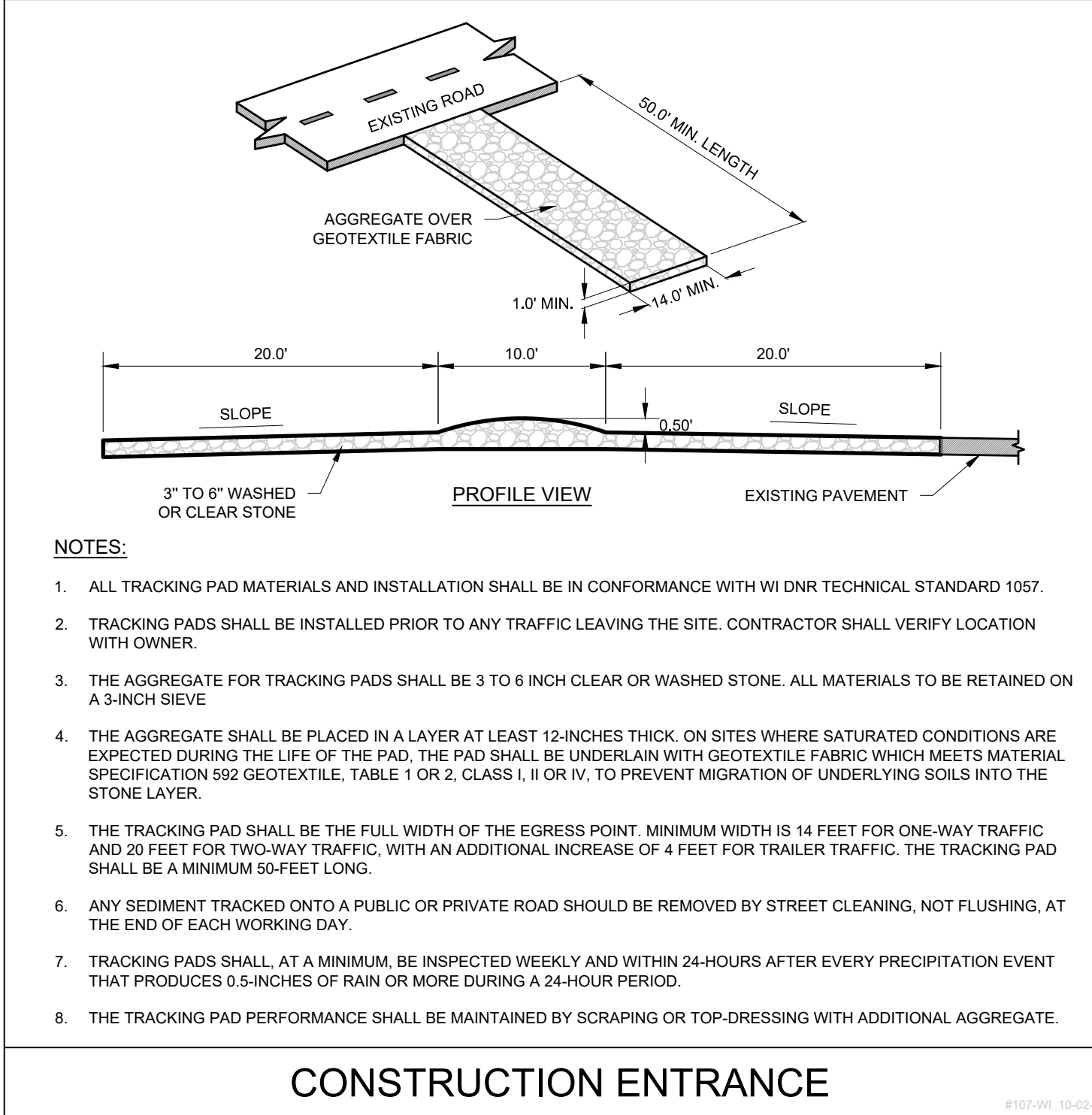
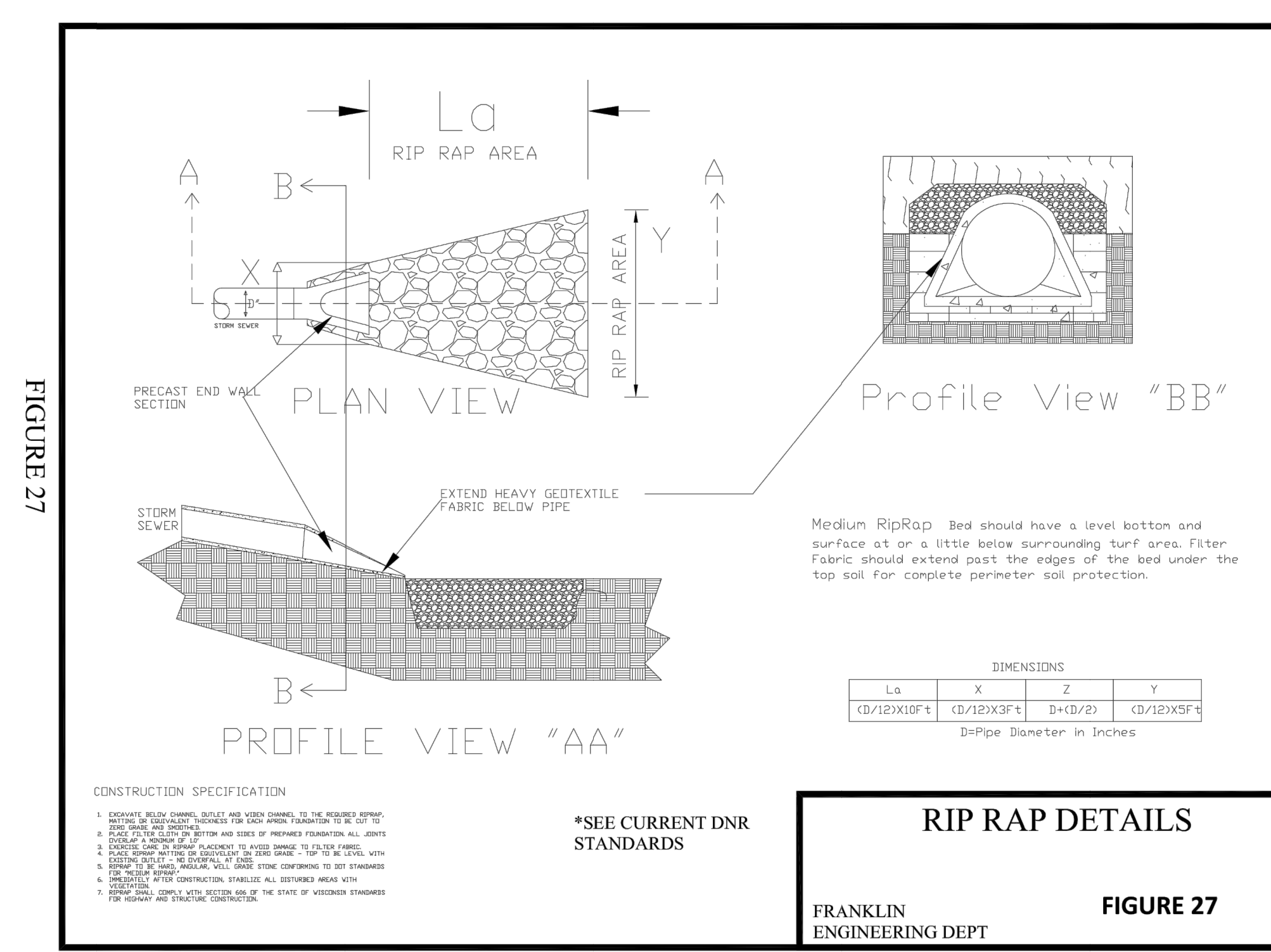
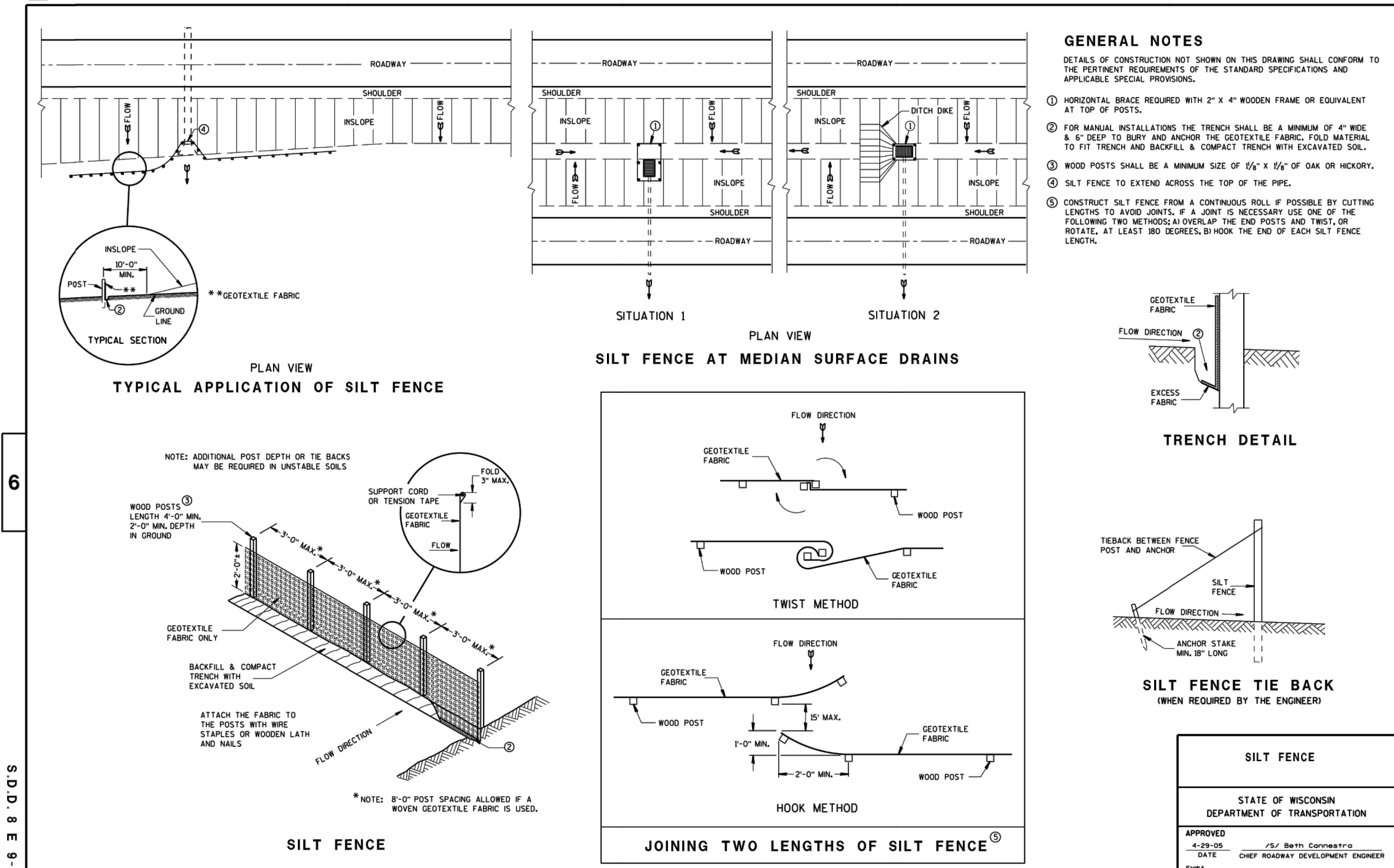
SITE STABILIZATION PLAN

REVISIONS	

REG JOB No. **809.908**
 REG PM **MAC**
 START DATE **01-12-22**
 SCALE **1" = 30'**
SHEET C-19
C-24

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1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION; REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL, OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND DUST; REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 8 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
- INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 95% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PRETECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

- THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.
- STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
- PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN
 - TEMPORARY SEEDING MAY CONSIST OF: SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS.

SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERMSWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROADWAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

DIVERSION BERMSWALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER CONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.

SEDIMENT TRAPS/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/SWALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

OUTLET SCOUR PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- CONSTRUCTION WASTE** SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL, WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN TO PREVENT BLOWING DEBRIS.
- DUST CONTROL** SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
 - ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
 - STREET SWEEPING** SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN, UPON IDENTIFICATION. DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

- SILT FENCE** - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- CONSTRUCTION ENTRANCE** - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
- DITCH CHECK (STRAW BALES)** - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.
- EROSION CONTROL MATTING** - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
- DIVERSION BERMSWALE** - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
- SEDIMENT TRAP** - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.
- INLET PROTECTION** - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.
- OUTLET PROTECTION** - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.
- SEDIMENT BASIN** - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ON-SITE.
- IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS.
- PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
- IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
- NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION ACT (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. W-3067831-6) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ON-SITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ON-SITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE OF PERMIT EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOOD ROUTES. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
SEDIMENT FILTERS	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
MUD AND DUST CONTROL	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
MUD AND DUST CONTROL	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING				A	*	*	*	*	*	*	*	*
DORMANT SEEDING				B	*	*	*	*	*	*	*	*
TEMPORARY SEEDING				C	*	*	*	*	*	*	*	*
SODDING				D	*	*	*	*	*	*	*	*

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 100 LBS/ACRE.
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E. SOD.
- F. STRAW MULCH 2 TONS/ACRE.

* IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

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CONSTRUCTION DETAILS

REVISIONS

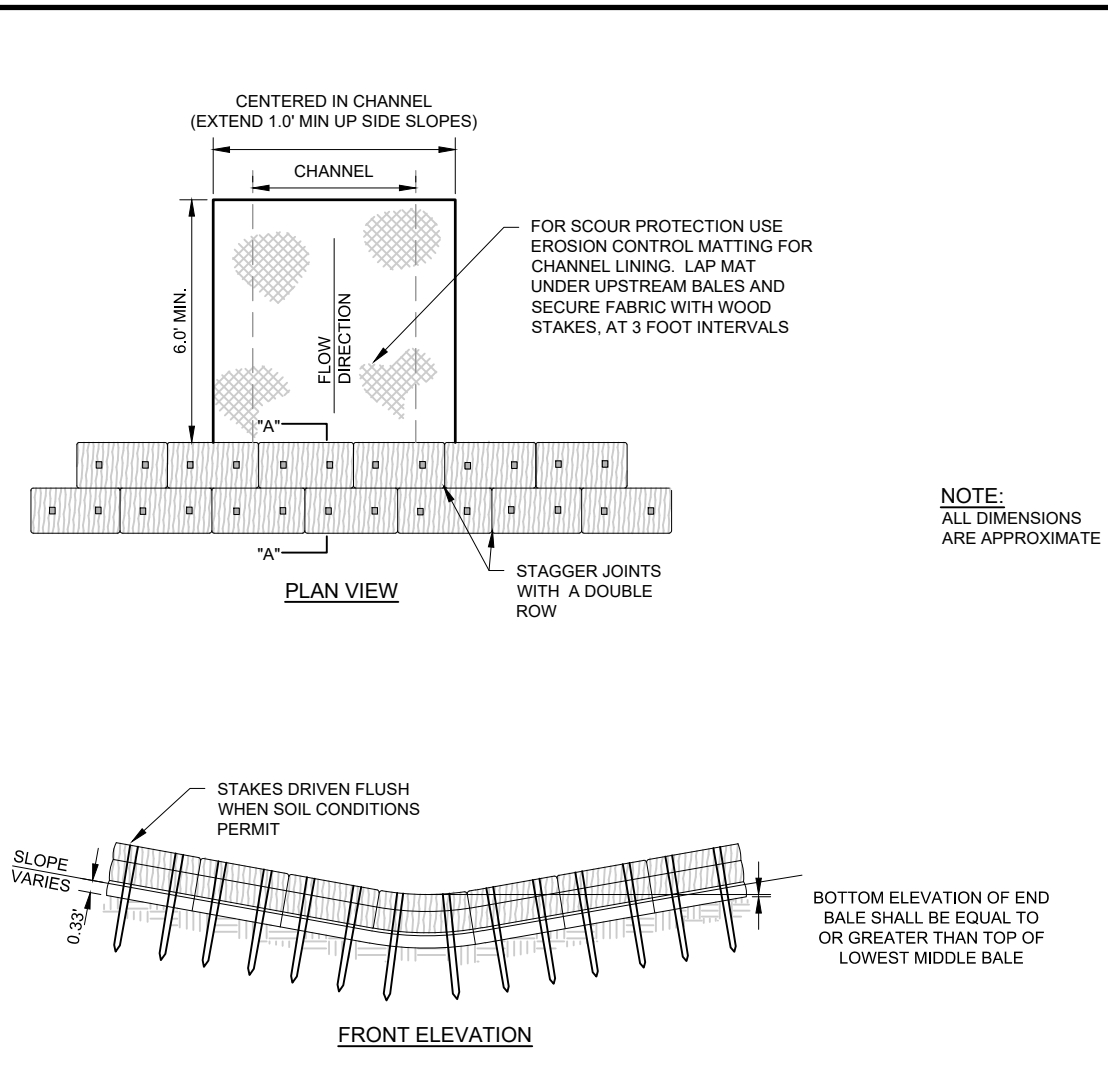
NO.	DATE	DESCRIPTION

REG. JOB No. 809-908
REG. PM. MAC
START DATE: 01-12-22
SCALE: 1" = 60'

SHEET C-20 C-24

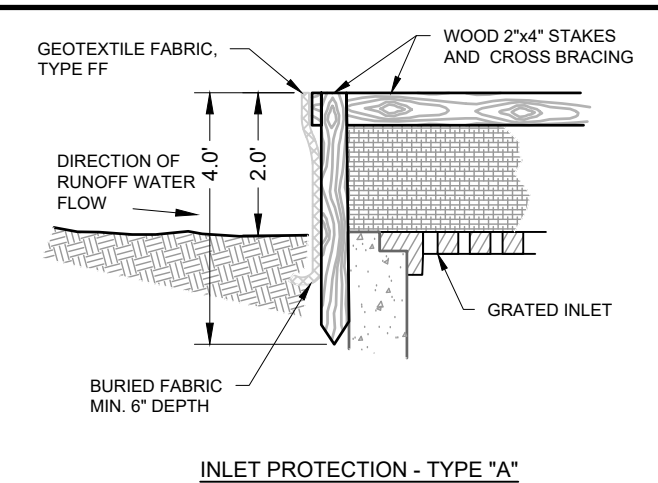
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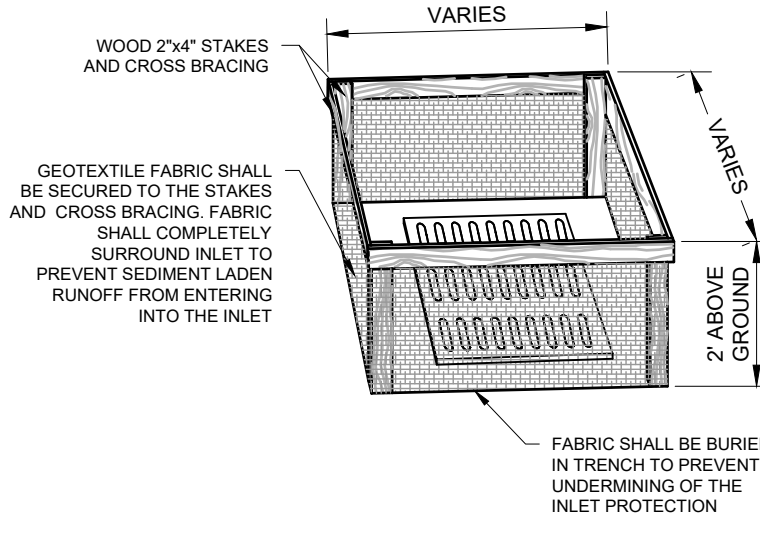


DITCH CHECK WITH STRAW BALES

- NOTES:**
- ALL DITCH CHECKS SHALL MEET THE SPECIFICATIONS OF WDNR DITCH CHECK (STRAW BALE) TECHNICAL STANDARD 1062.
 - INSTALLED, THE MINIMUM HEIGHT OF DITCH CHECK SHALL BE 10-INCHES AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 16-INCHES FOR MANUFACTURED OR BIODEGRADABLE MATERIALS.
 - DITCH CHECK MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A WEIR.
 - AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO FEET OF DROP IN THE CHANNEL.
 - DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.
 - DITCH CHECK SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND CHANNEL STABILIZATION IS APPLIED.
 - EROSION CONTROL MATTING FOR CHANNELS SHALL BE NORTH AMERICAN GREEN C1258N OR EQUIVAL.



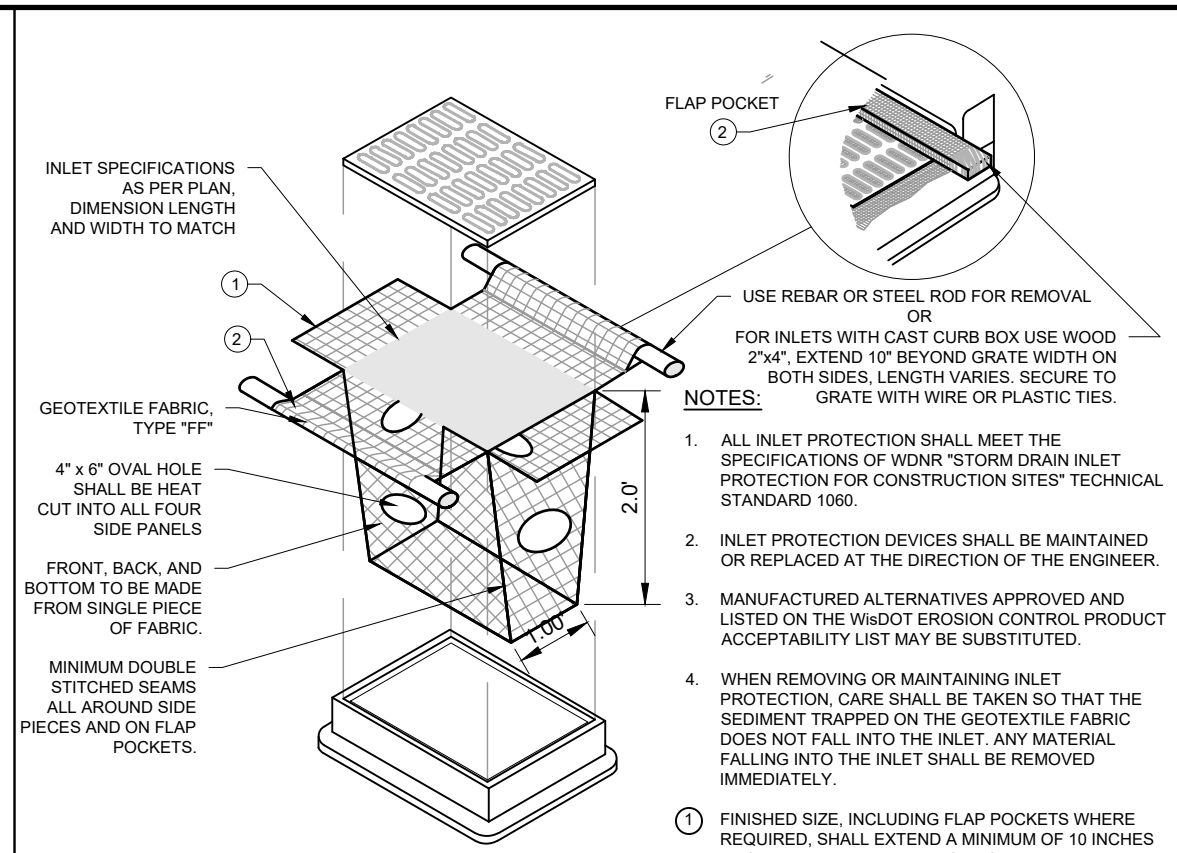
INLET PROTECTION - TYPE "A"



INLET PROTECTION - TYPE "B" (WITHOUT CURB BOX)

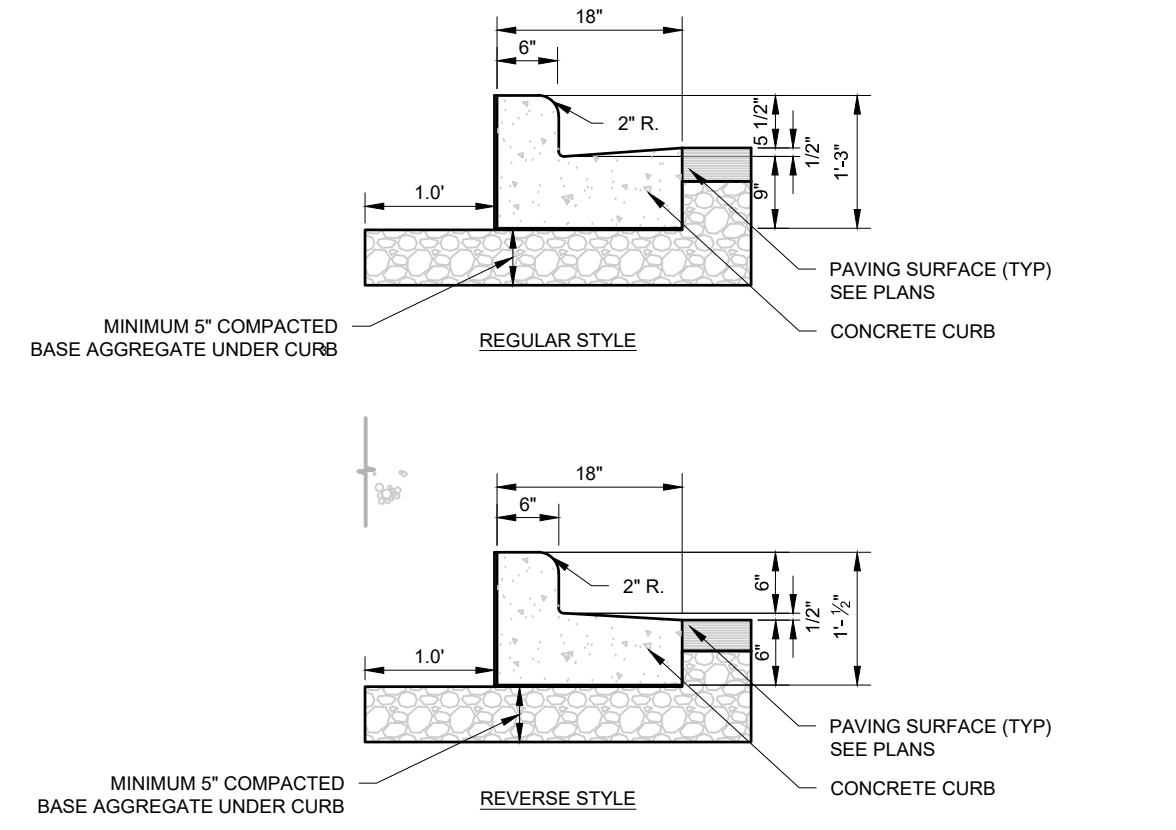
INLET PROTECTION- TYPES A AND B

- NOTES:**
- ALL INLET PROTECTION SHALL MEET THE SPECIFICATIONS OF WDNR "STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES" TECHNICAL STANDARD 1060.
 - TYPE A INLET PROTECTION SHOULD BE USED ON PROPOSED INLETS UNTIL PAVEMENTS AND CURB/GUTTER ARE INSTALLED. ONCE INSTALLED, THE INLET PROTECTION SHOULD SWITCH TO TYPE D (SEE DETAIL BELOW).
 - GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 562 GEOTEXTILE, TABLE 1 OR 2, CLASS 1, WITH AN EOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



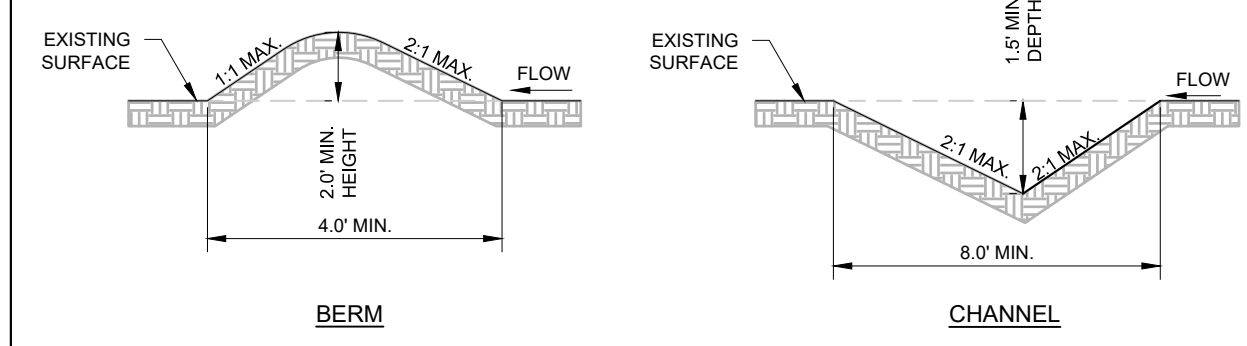
TYPE D INLET PROTECTION

- INSTALLATION NOTES:**
- DO NOT INSTALL INLET PROTECTION TYPE 'D' IN INLETS SHALL OVER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 - TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CUT THE BAG USING PLASTIC ZIP TIES TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.



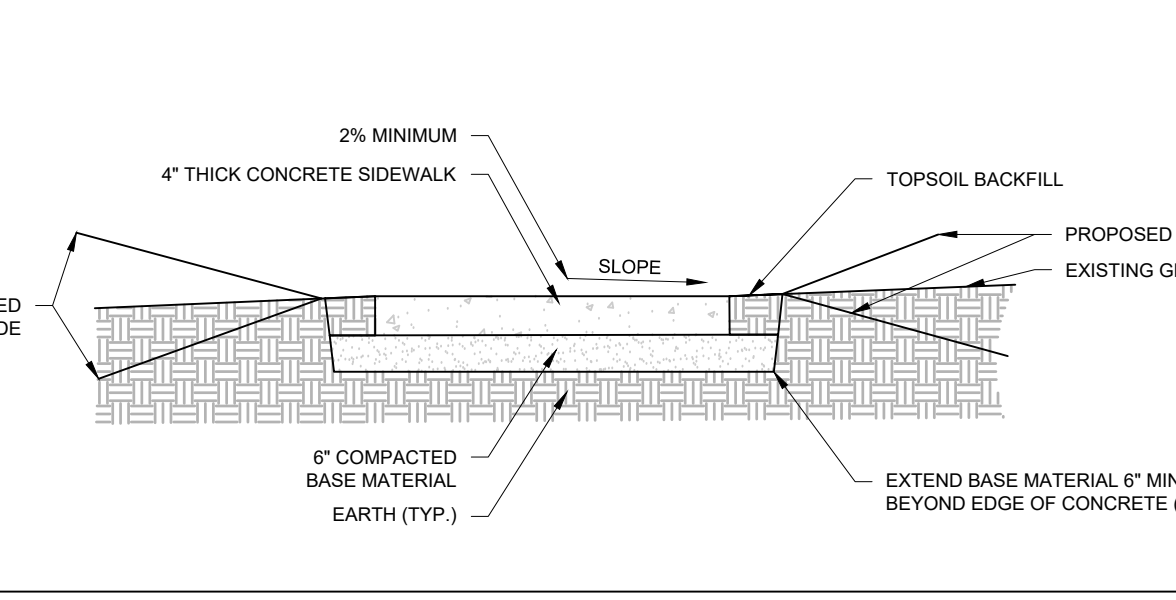
18" VERTICAL FACE CURB

- NOTES:**
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
 - EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE-PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
 - IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
 - REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

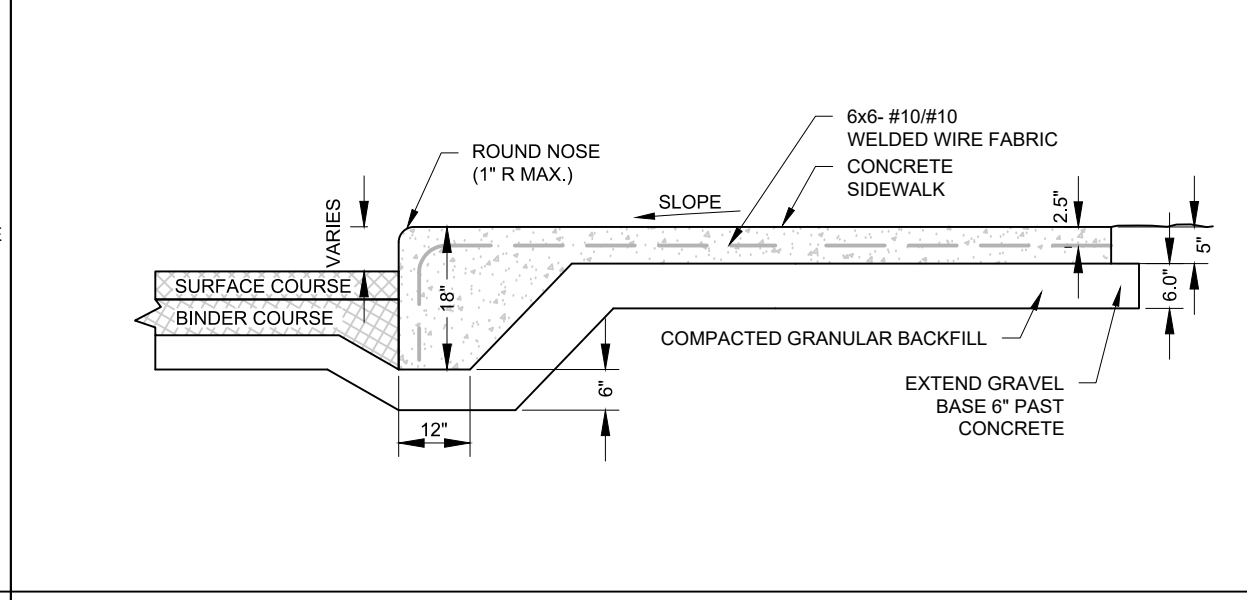


DIVERSION BERM / CHANNEL

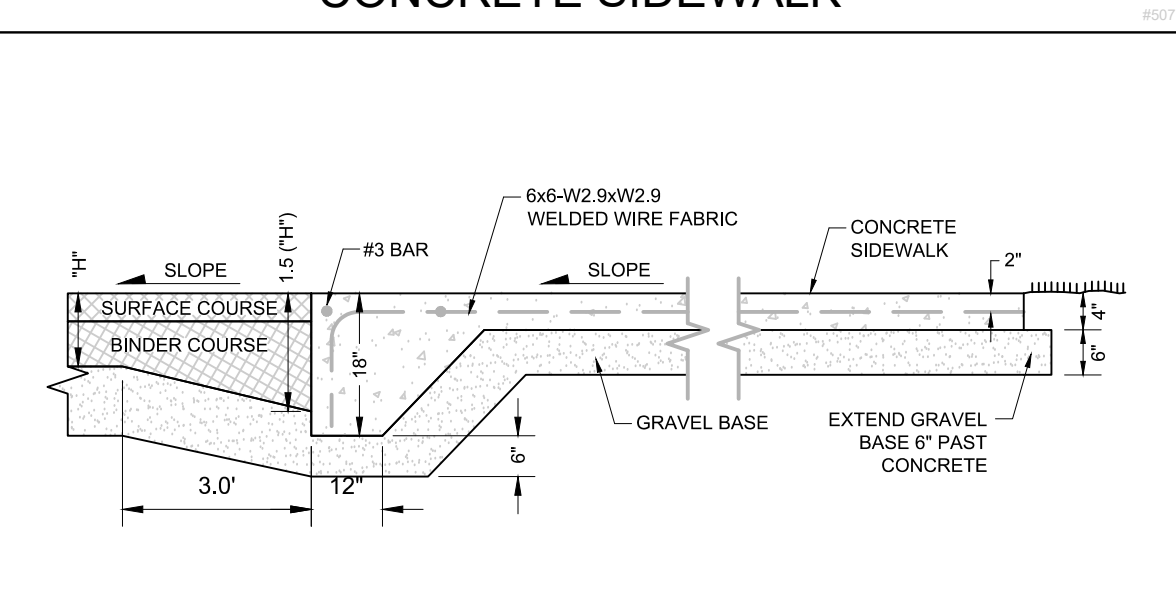
- NOTES:**
- ALL DIVERSION BERMS SHALL MEET THE SPECIFICATIONS OF WDNR "CONSTRUCTION SITE DIVERSION" TECHNICAL STANDARD 1066.
 - DIVERSION MAY REQUIRE AREAS OF BERM AND OTHER AREAS OF CHANNEL TO PROVIDE SUFFICIENT PERIMETER PROTECTION.
 - DIVERSION BERM VERSUS CHANNEL PRACTICES SHALL BE SELECTED SUCH TO PREVENT PONDING (E.G. - POSITIVE DRAINAGE SHALL BE MAINTAINED).
 - FOR DIVERSIONS THAT ARE TO SERVE LONGER THAN 30 DAYS, THE SIDE SLOPES INCLUDING THE RIDGE, AND THE DOWN SLOPE SIDE OF THE DIVERSION SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED BY EQUIPMENT TRACKING AND TEMPORARY SEEDING. FOR DIVERSIONS SERVING LESS THAN 30 DAYS, THE DOWN SLOPE SIDE OF THE DIVERSION SHALL BE STABILIZED AS SOON AS CONSTRUCTED BY EQUIPMENT TRACKING AND TEMPORARY SEEDING.
 - DIVERSIONS SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION ACTIVITIES. AT ALL POINTS WHERE DIVERSION BERMS OR CHANNELS WILL BE CROSSED BY CONSTRUCTION EQUIPMENT, THE DIVERSION SHALL BE SHAPED APPROPRIATELY AND/OR TEMPORARY CULVERTS OF ADEQUATE CAPACITY MAY BE ADDED AT CROSSINGS.
 - AT MINIMUM, INSTALL ONE DITCH CHECK (SEE DETAIL) FOR EVERY 2 VERTICAL FEET OF DROP.
 - DIVERSIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE DIVERSION BERM.



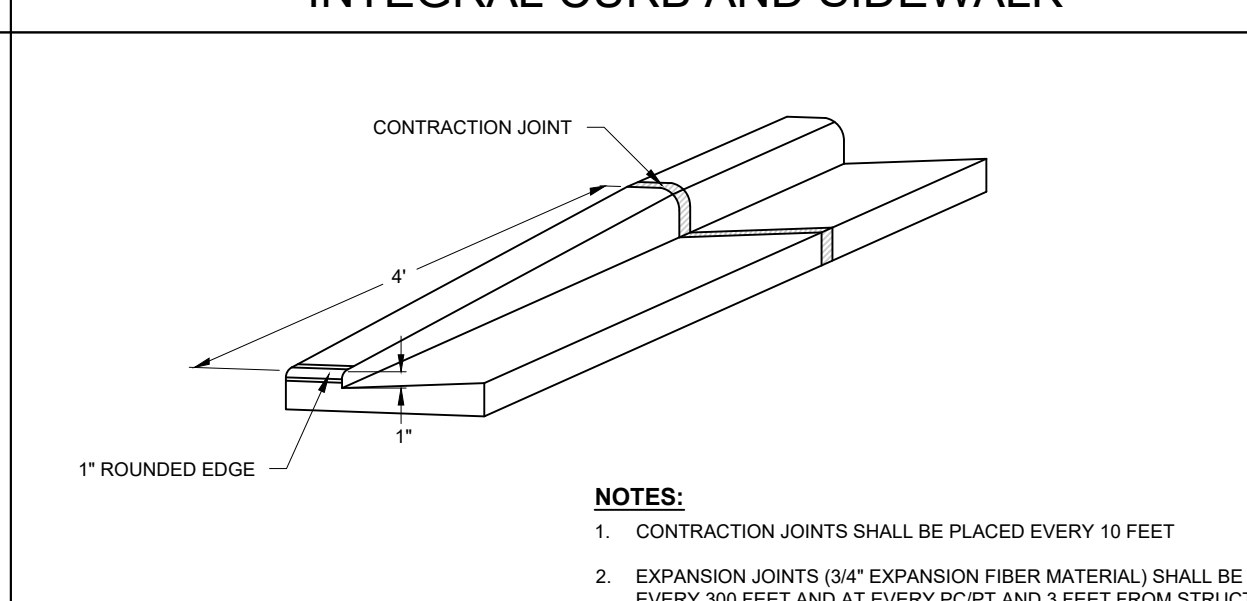
CONCRETE SIDEWALK



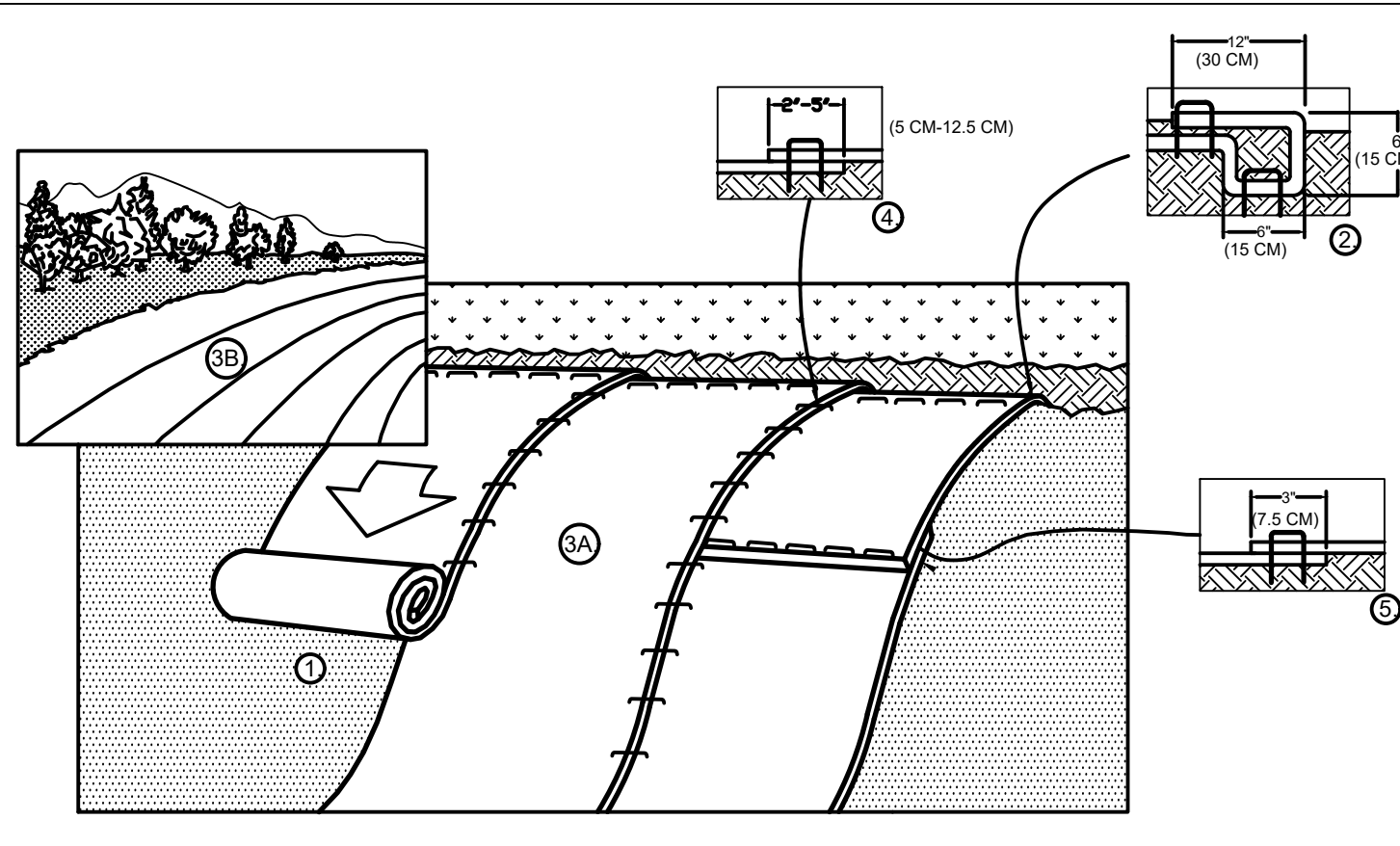
INTEGRAL CURB AND SIDEWALK



WALK FLUSH WITH PAVEMENT

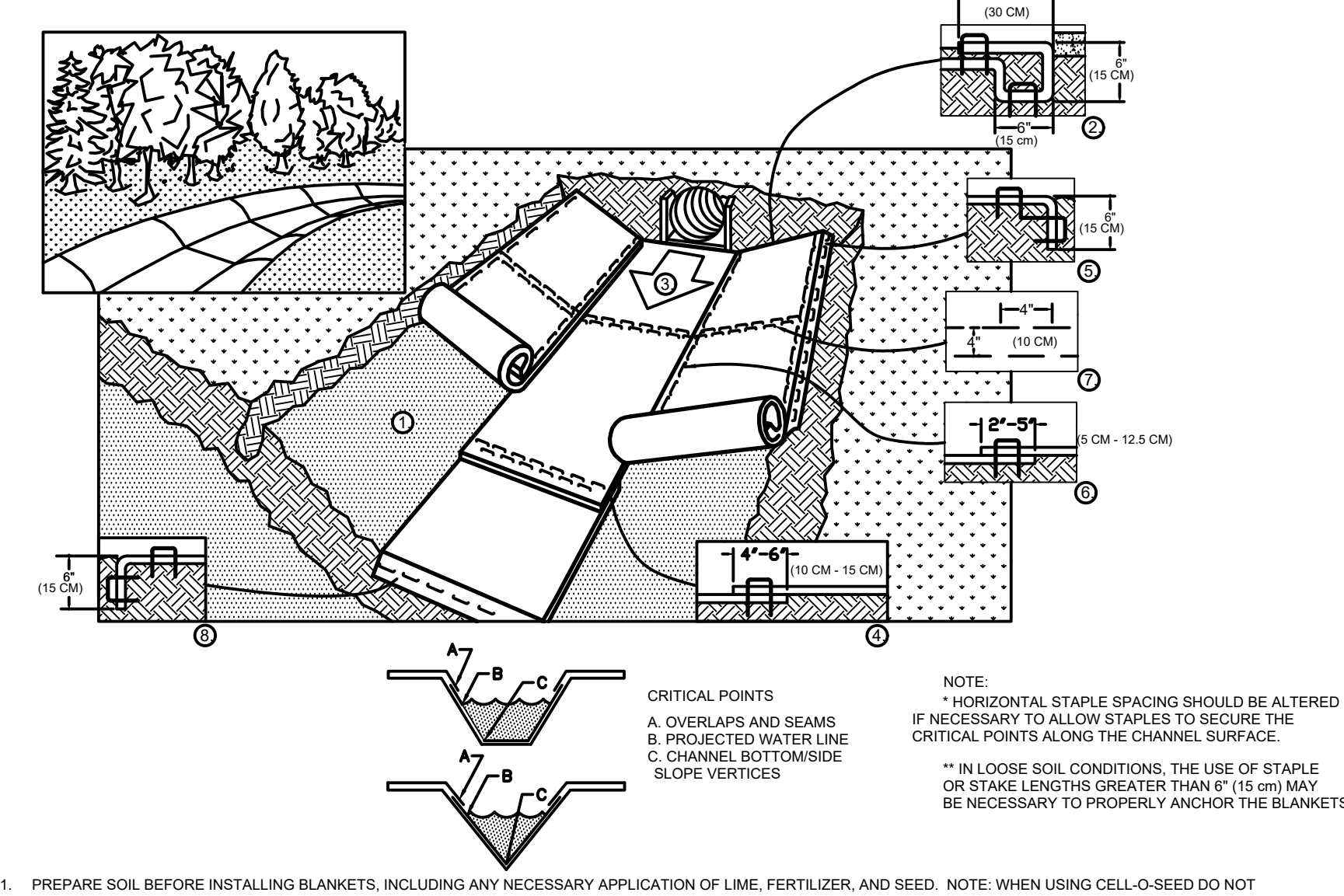


TAPER CURB HEAD



EROSION MATTING - SLOPE INSTALLATION

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.
- EROSION MATTING SHALL MEET THE SPECIFICATIONS OF WDNR "NON-CHANNEL EROSION MAT" TECHNICAL STANDARD 1052.



EROSION MATTING - CHANNEL INSTALLATION

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) (DEPENDING ON BLANKET TYPE) AND STAPLED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- EROSION MATTING FOR CHANNELS SHALL MEET THE SPECIFICATIONS OF WDNR "CHANNEL EROSION MAT" TECHNICAL STANDARD 1053.

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CONSTRUCTION DETAILS

REVISIONS

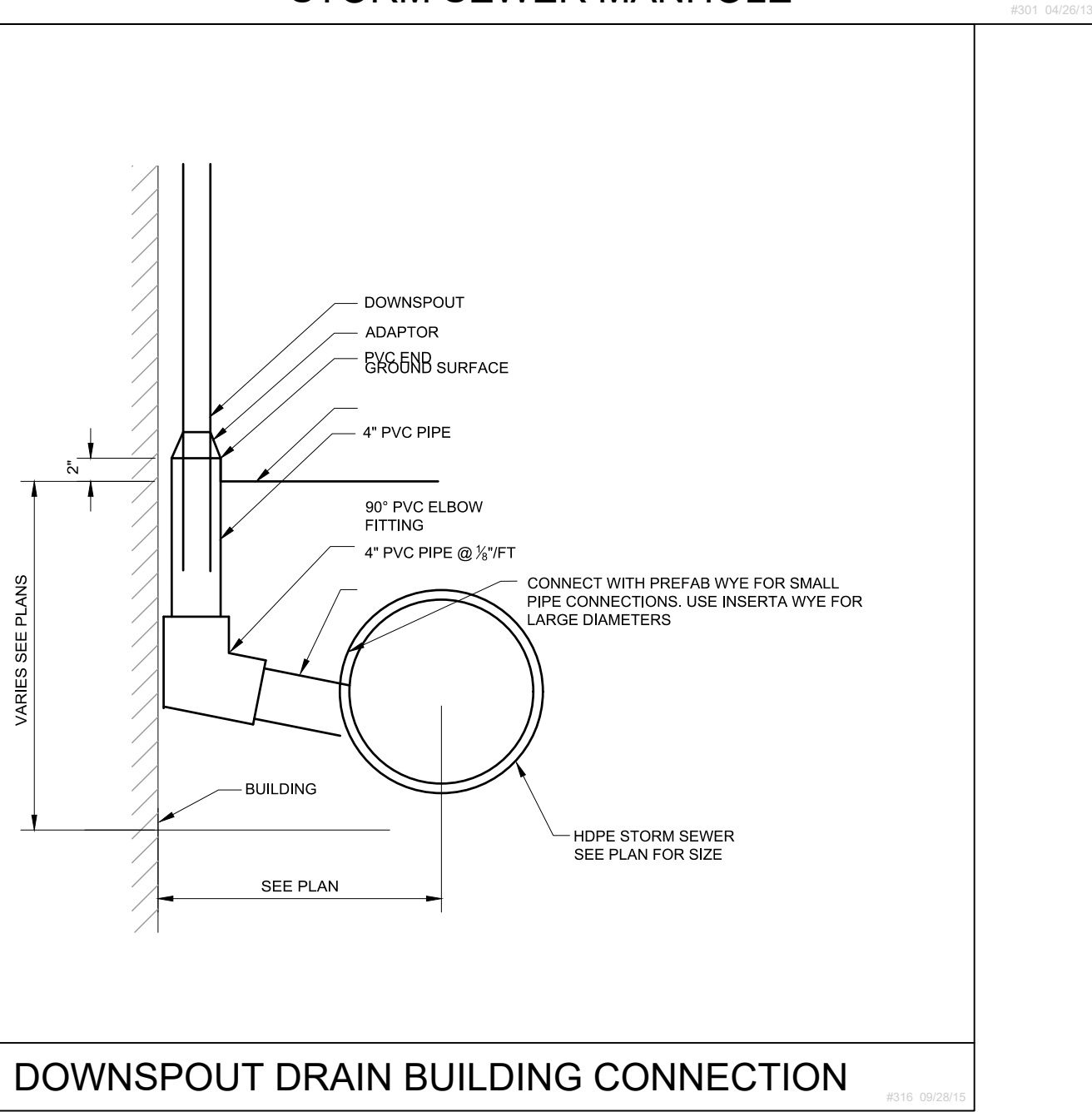
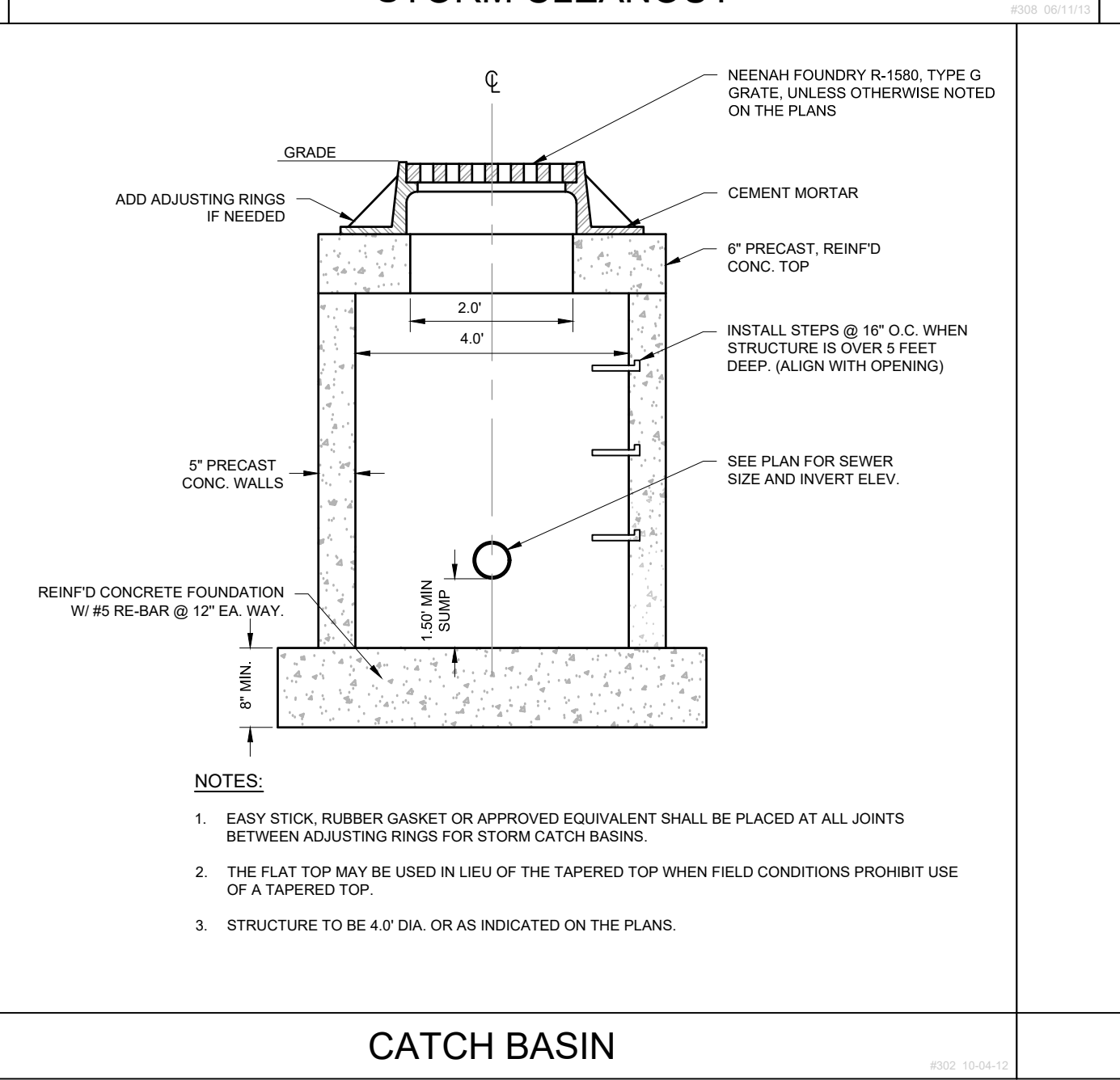
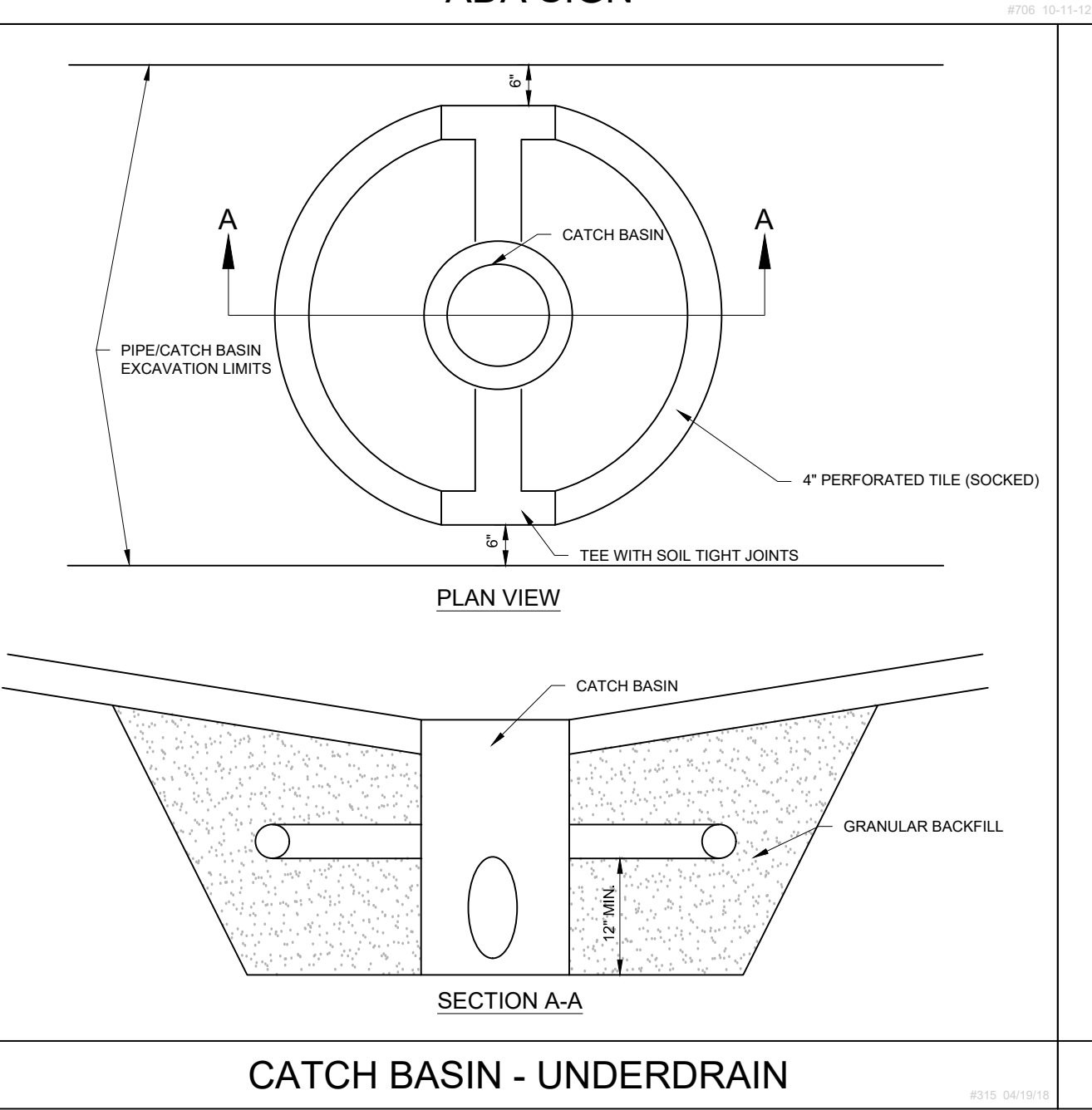
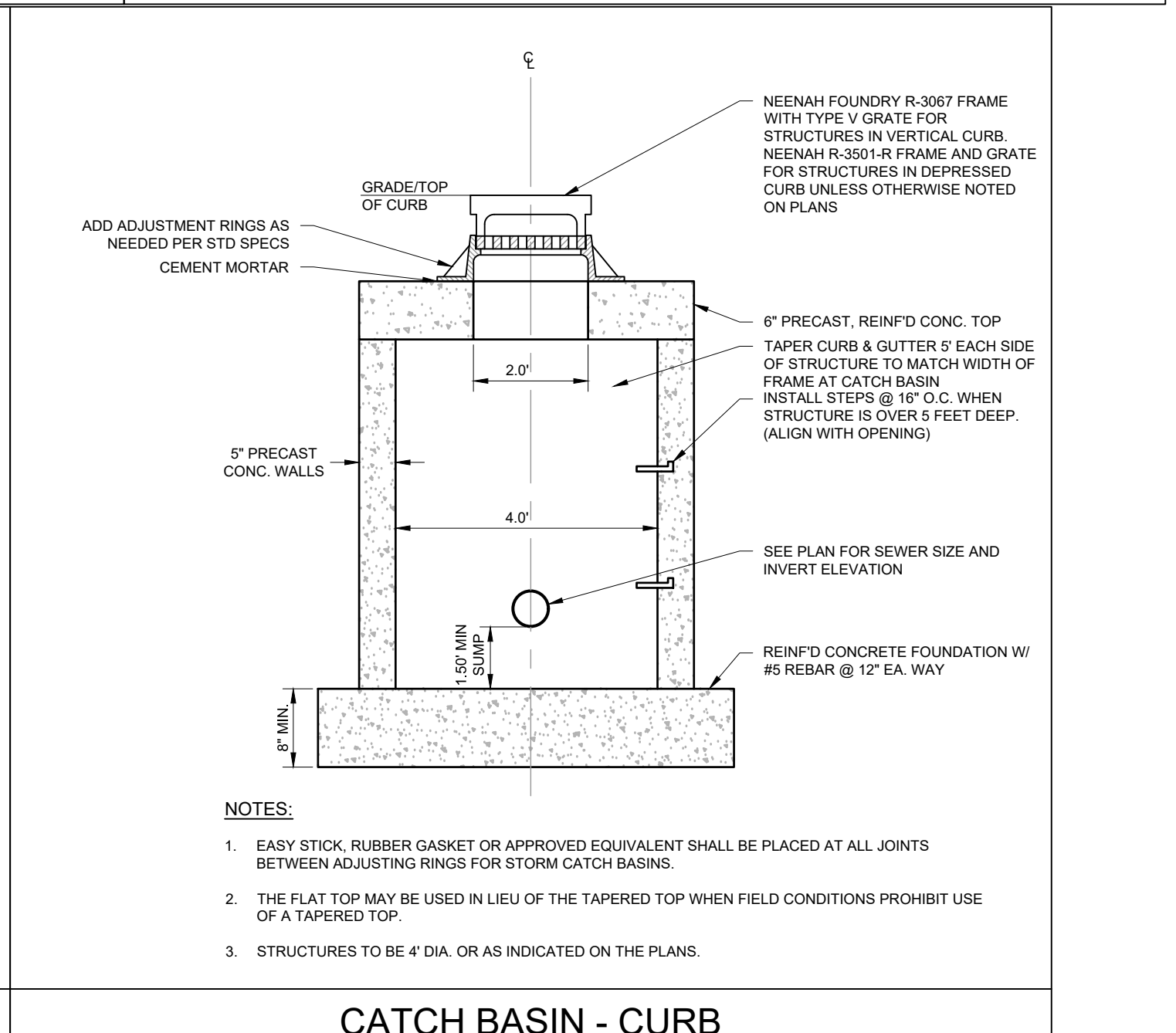
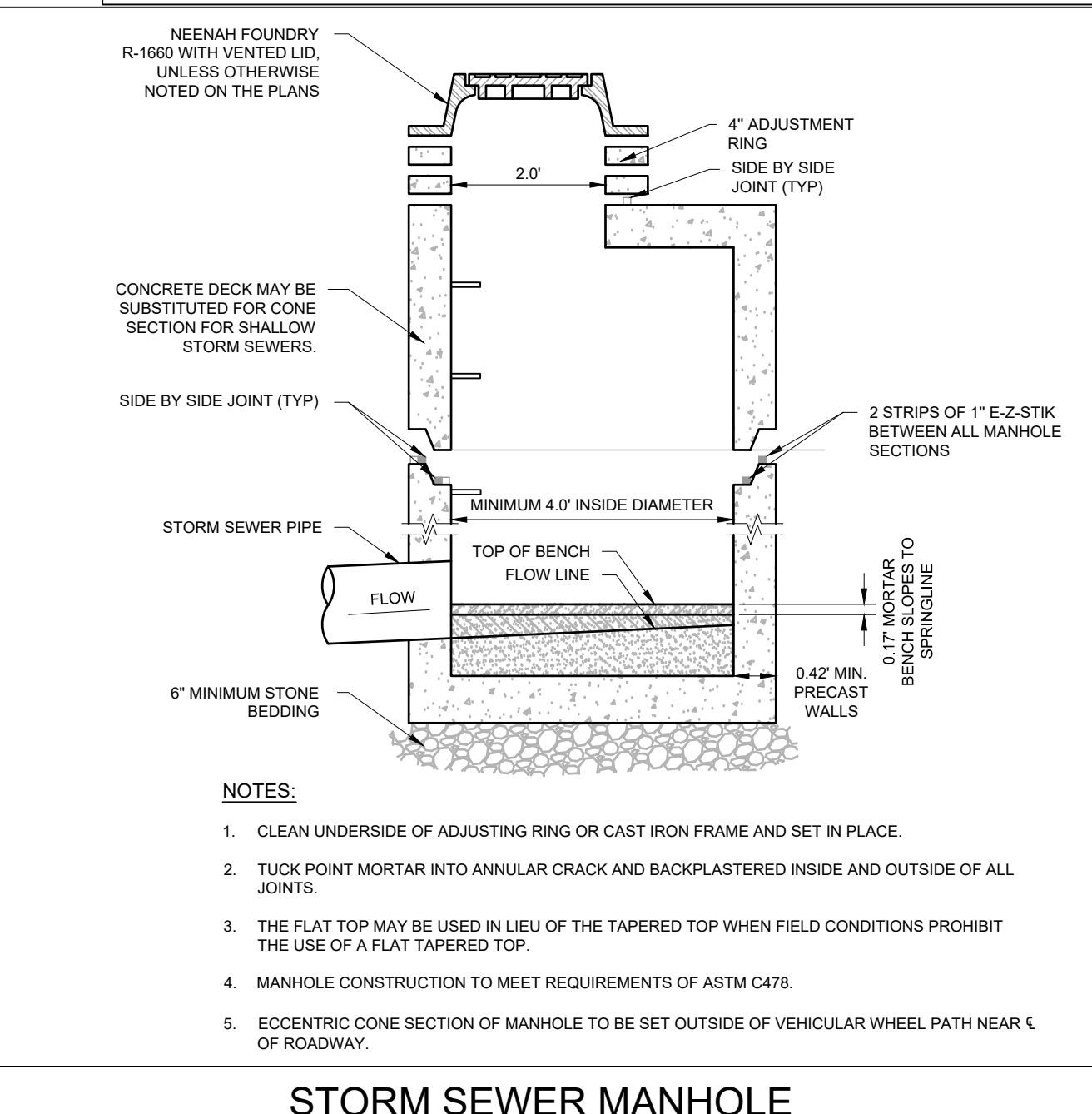
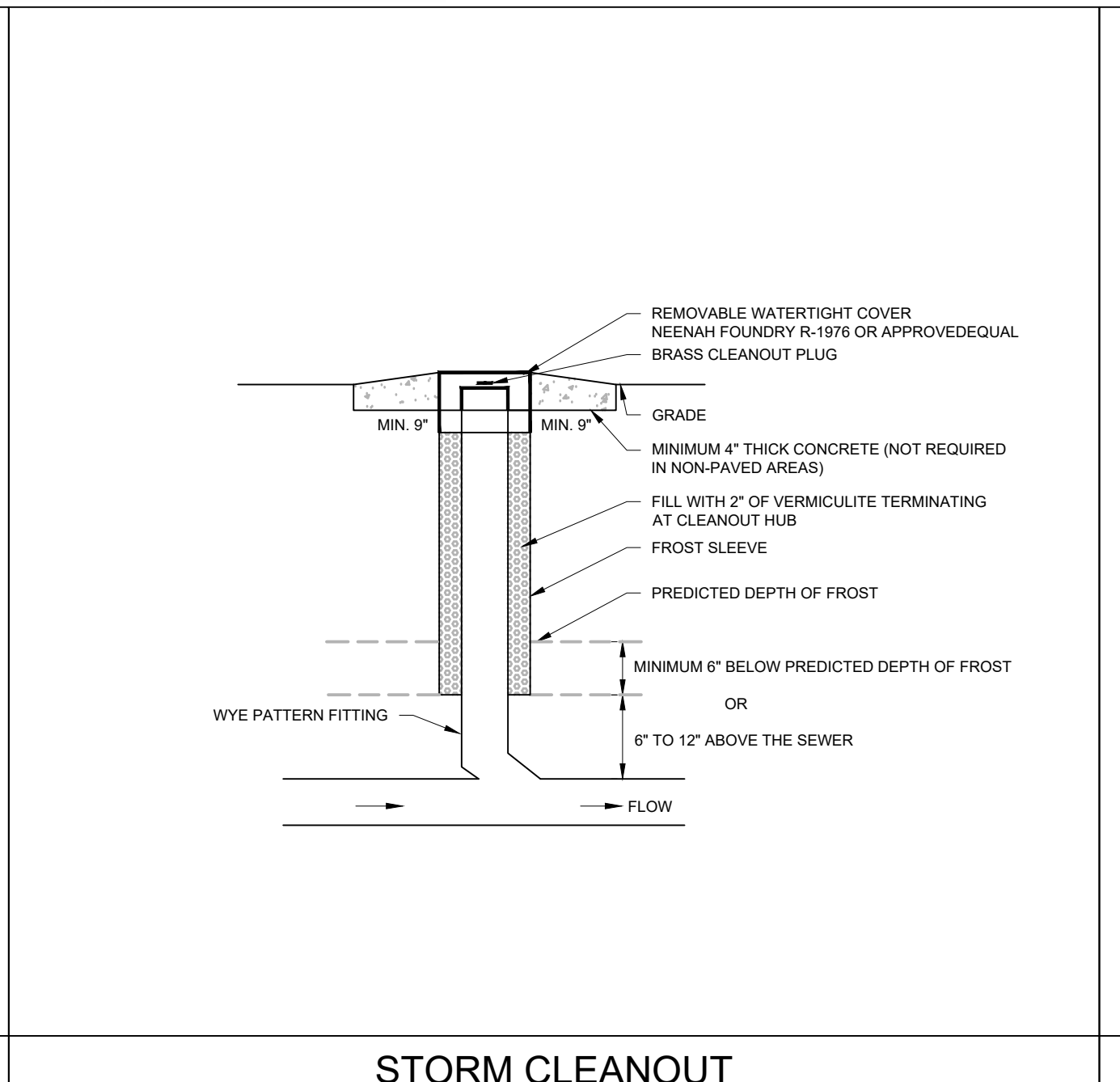
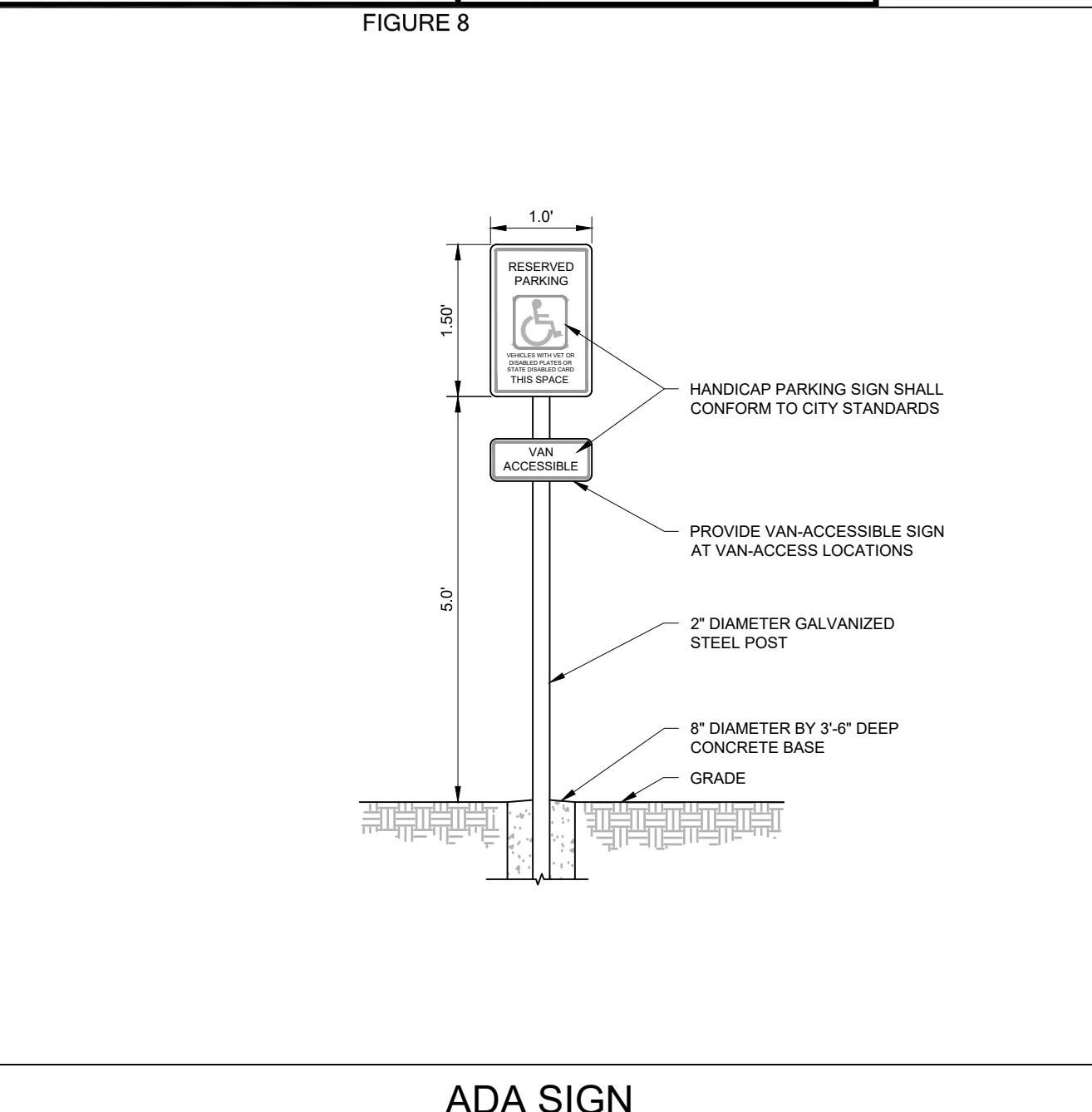
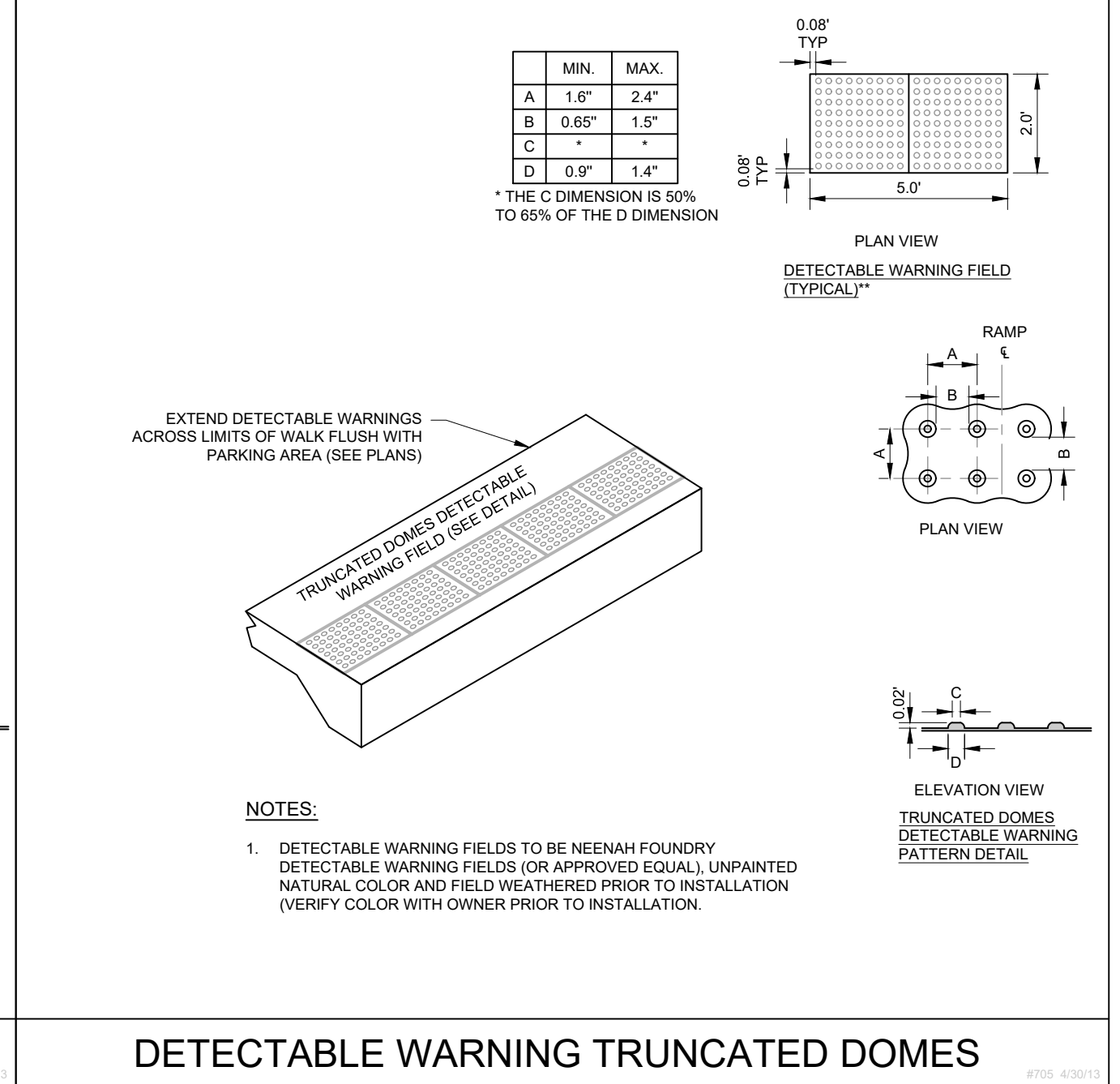
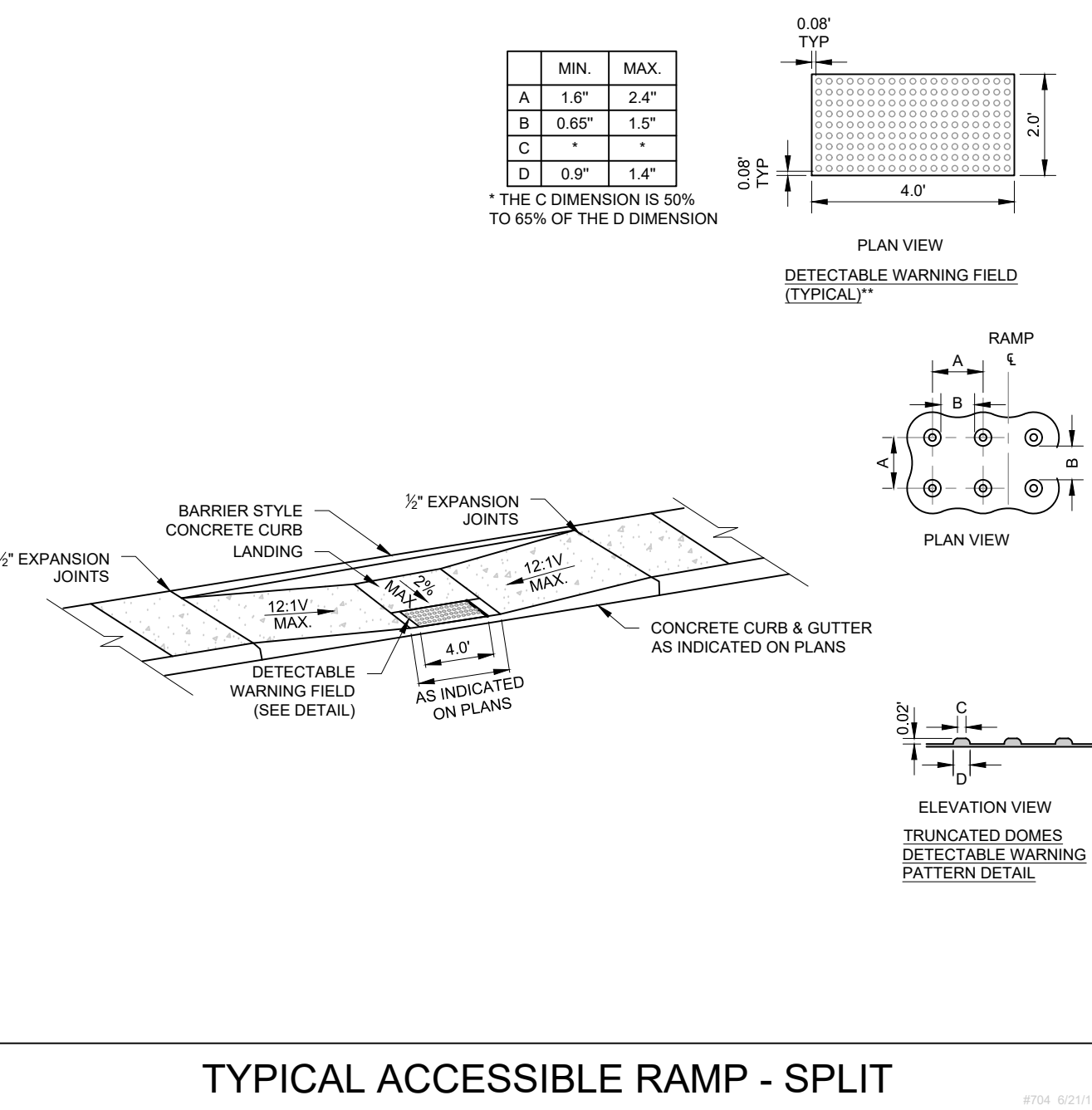
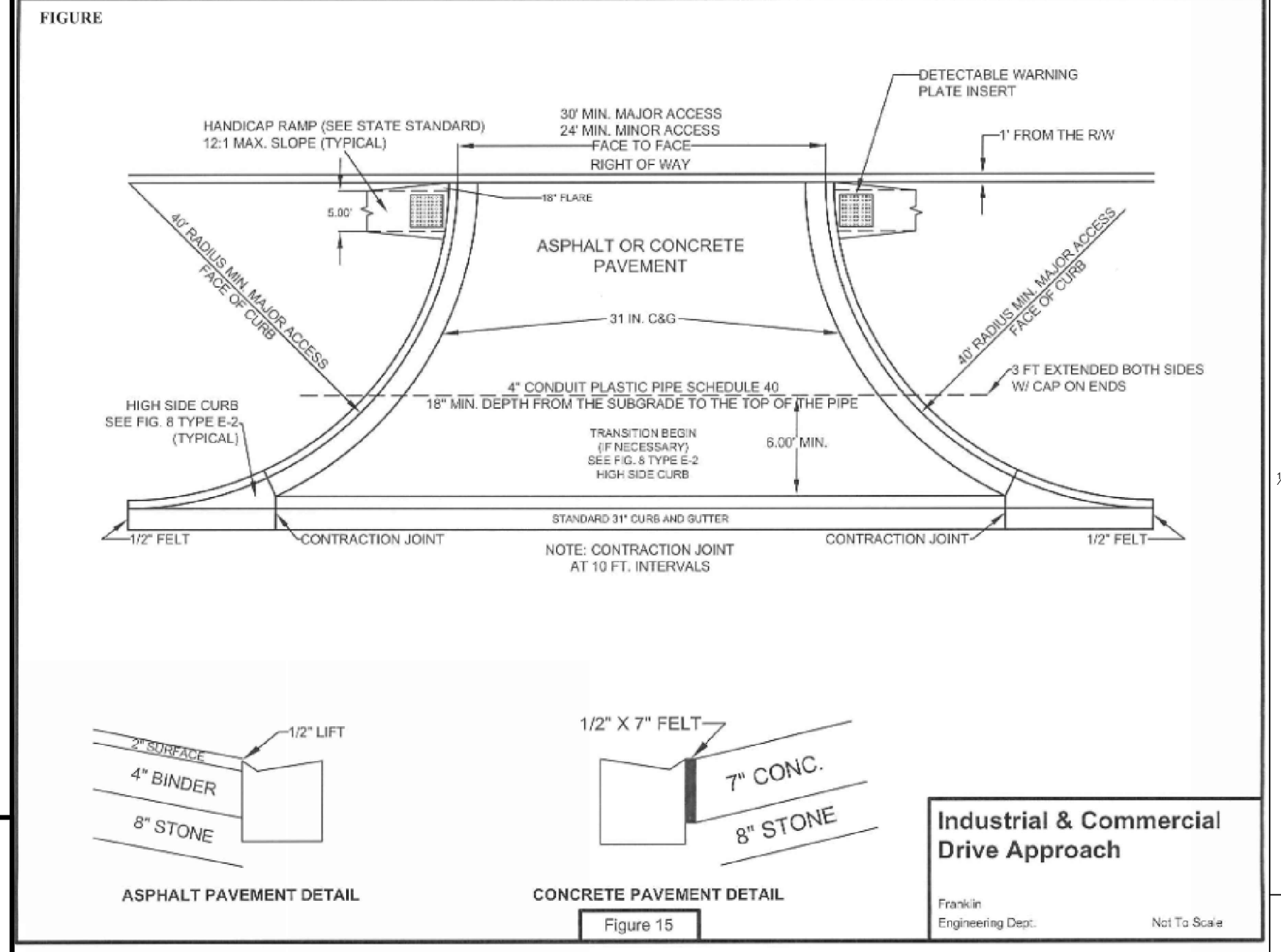
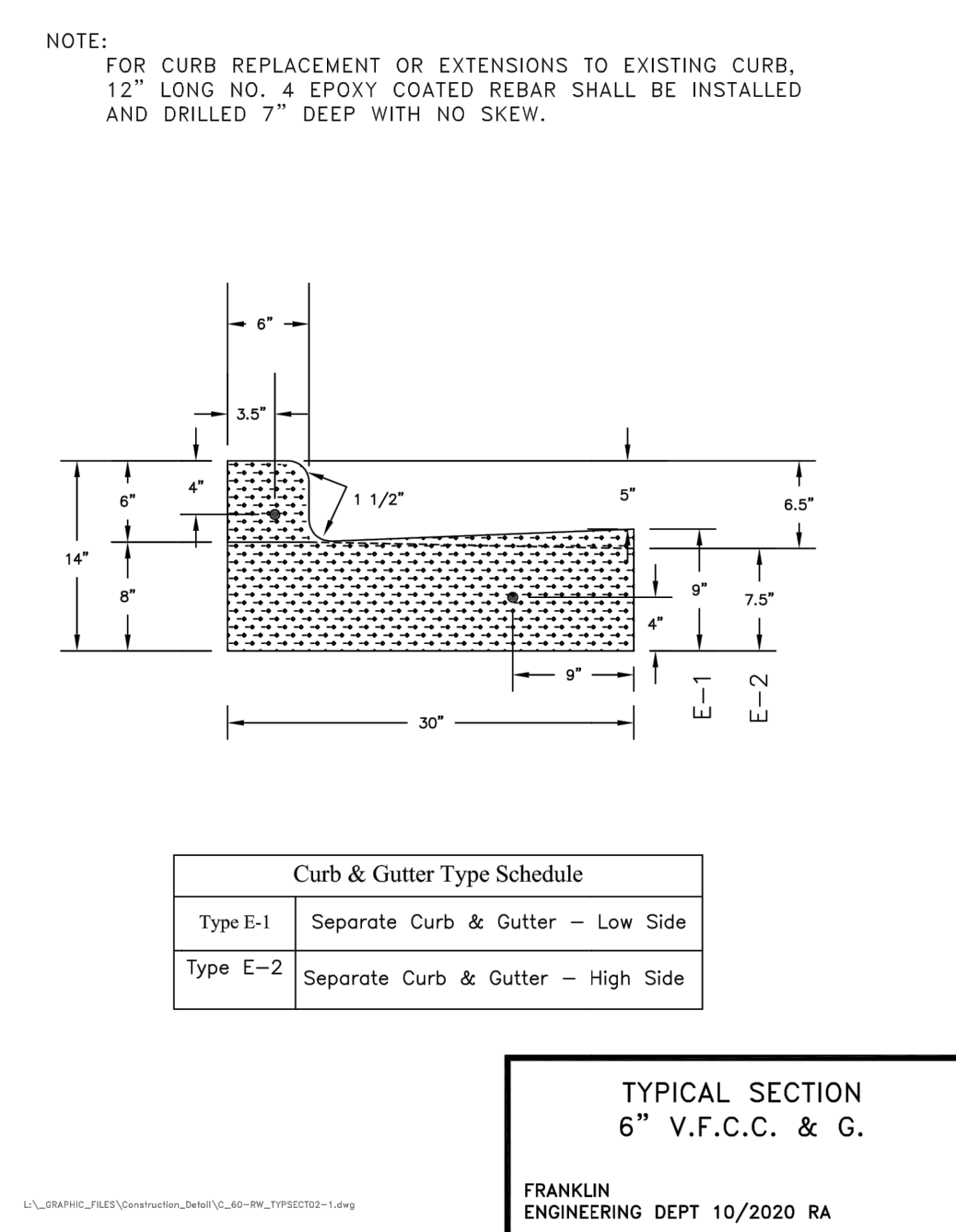
NO.	DATE	DESCRIPTION

REG. JOB No. 809.908
REG. No. M4C
START DATE 01-12-24
SCALE 1" = 60'

SHEET C-21
C-24

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CONSTRUCTION DETAILS

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NO.	DESCRIPTION	DATE

REG JOB No. 809-908
REG PM MAC
START DATE 01-12-22
SCALE 1" = 60"

SHEET C-22
C-24

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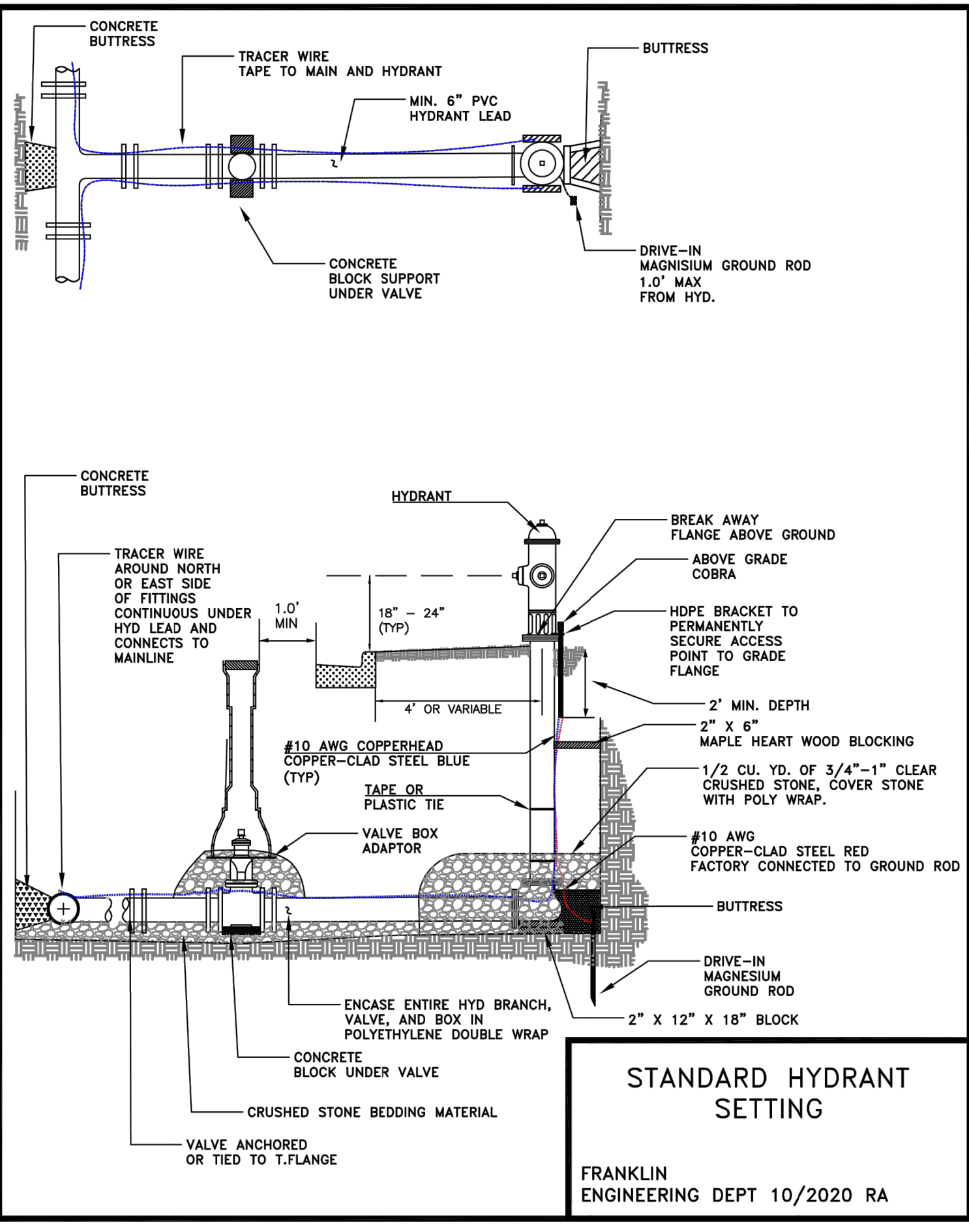
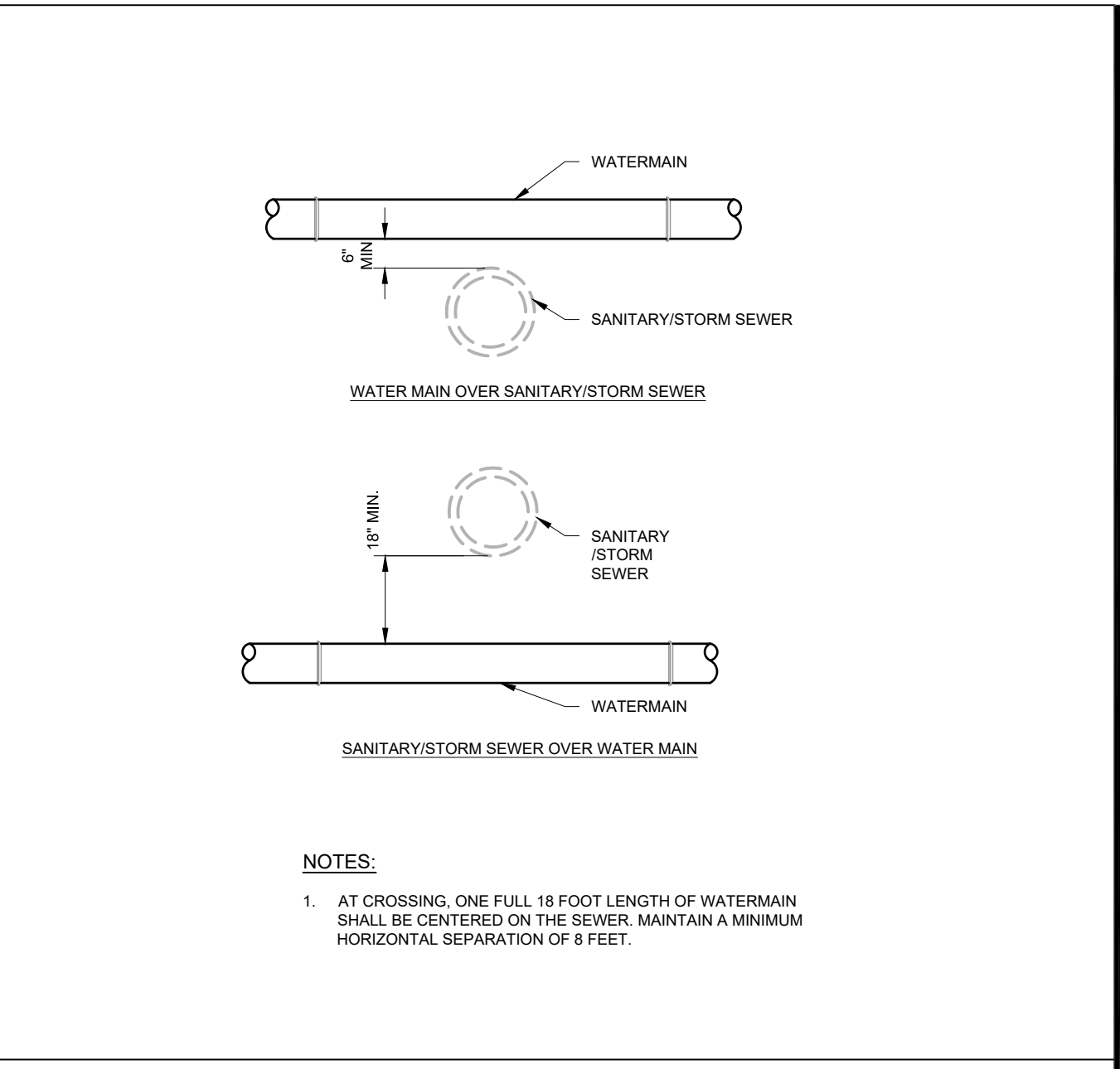
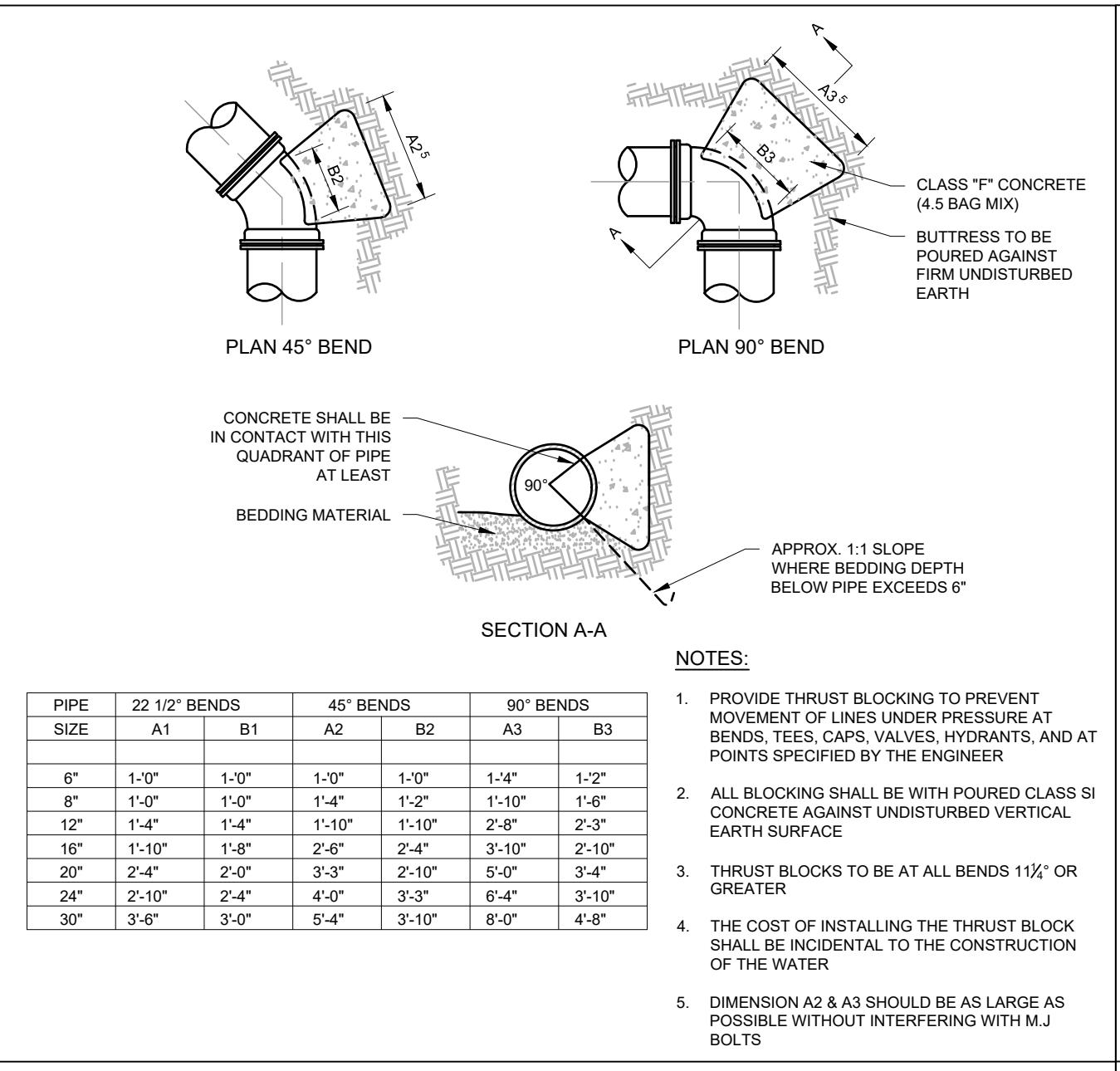
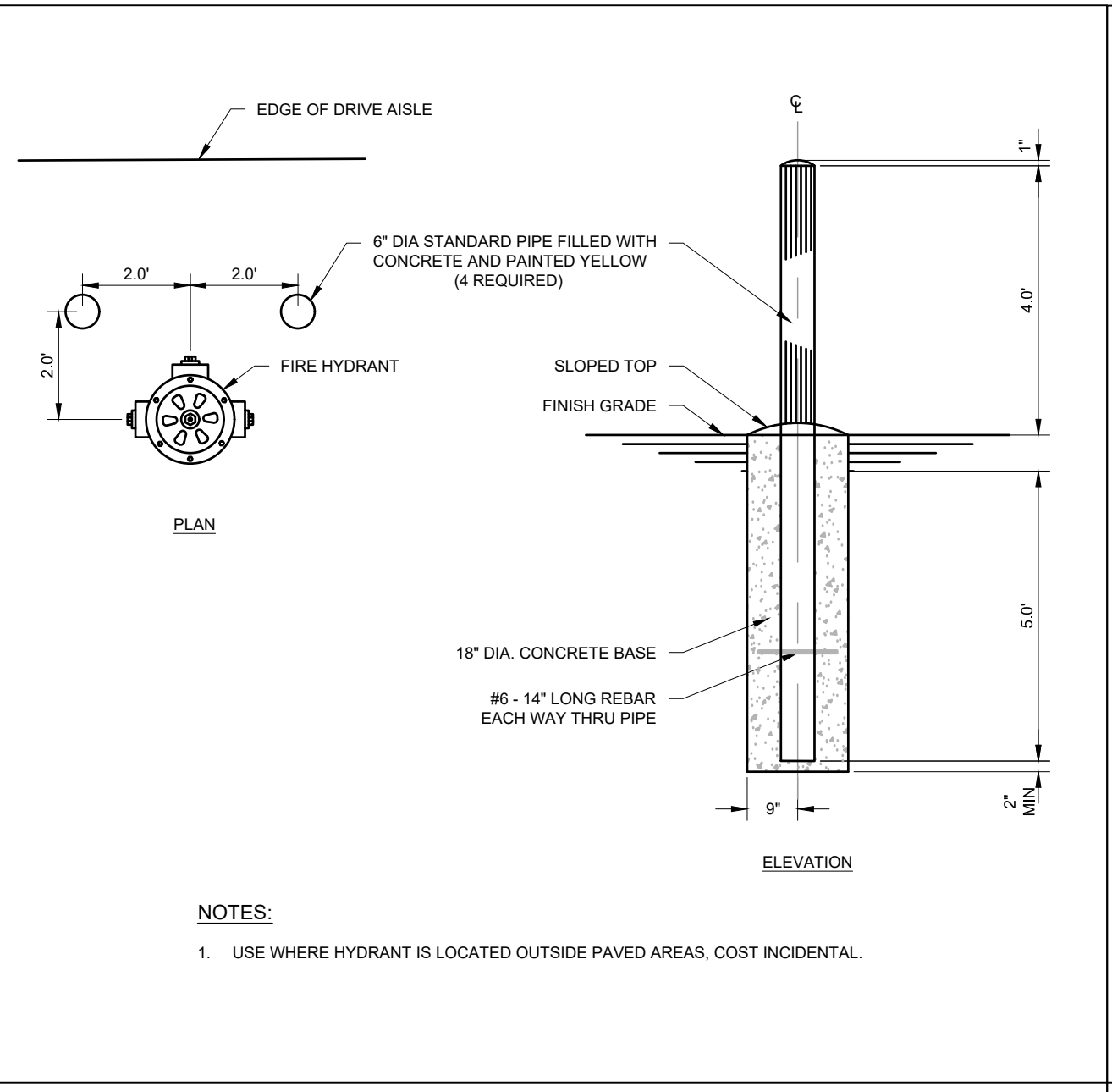
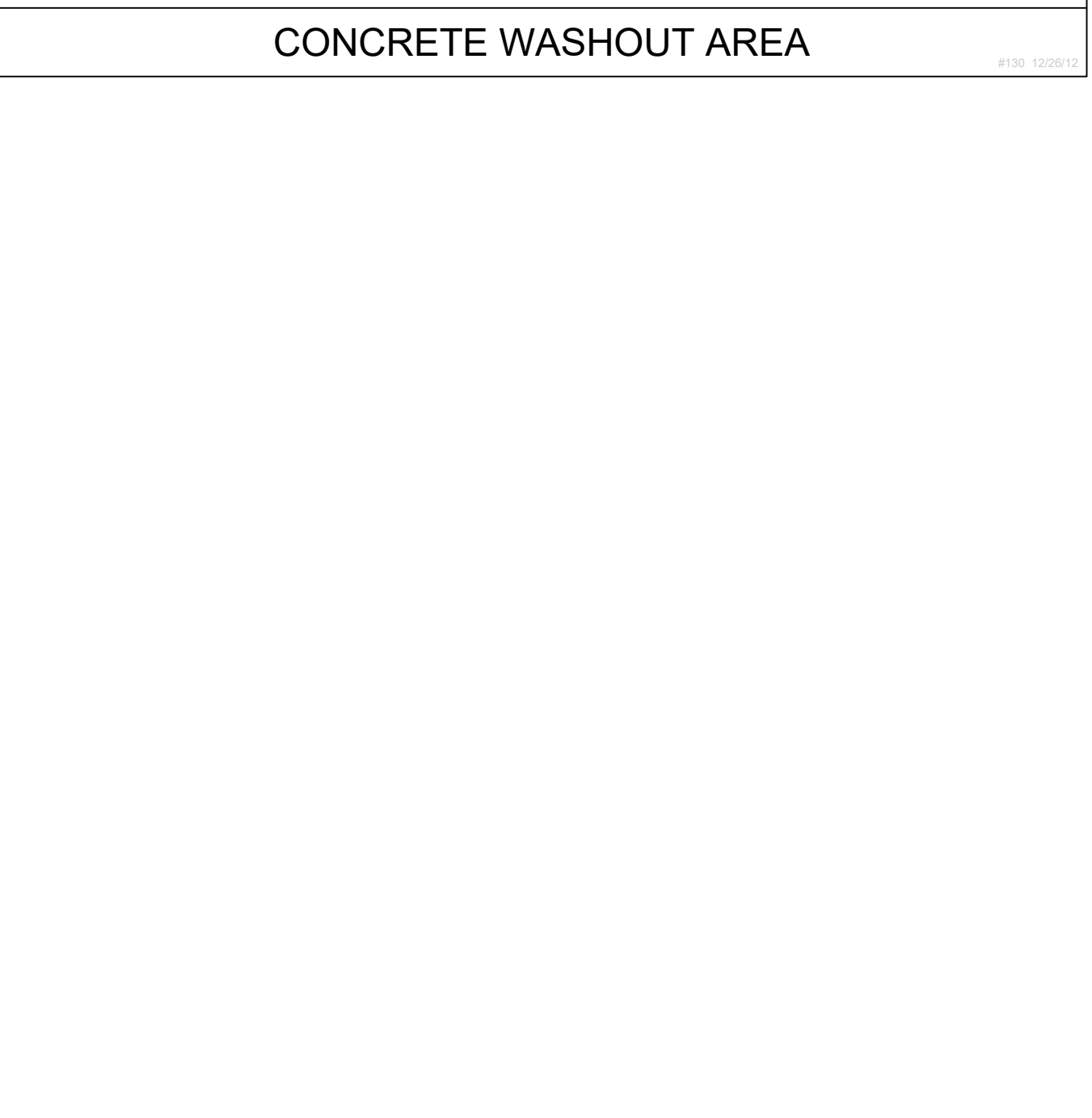
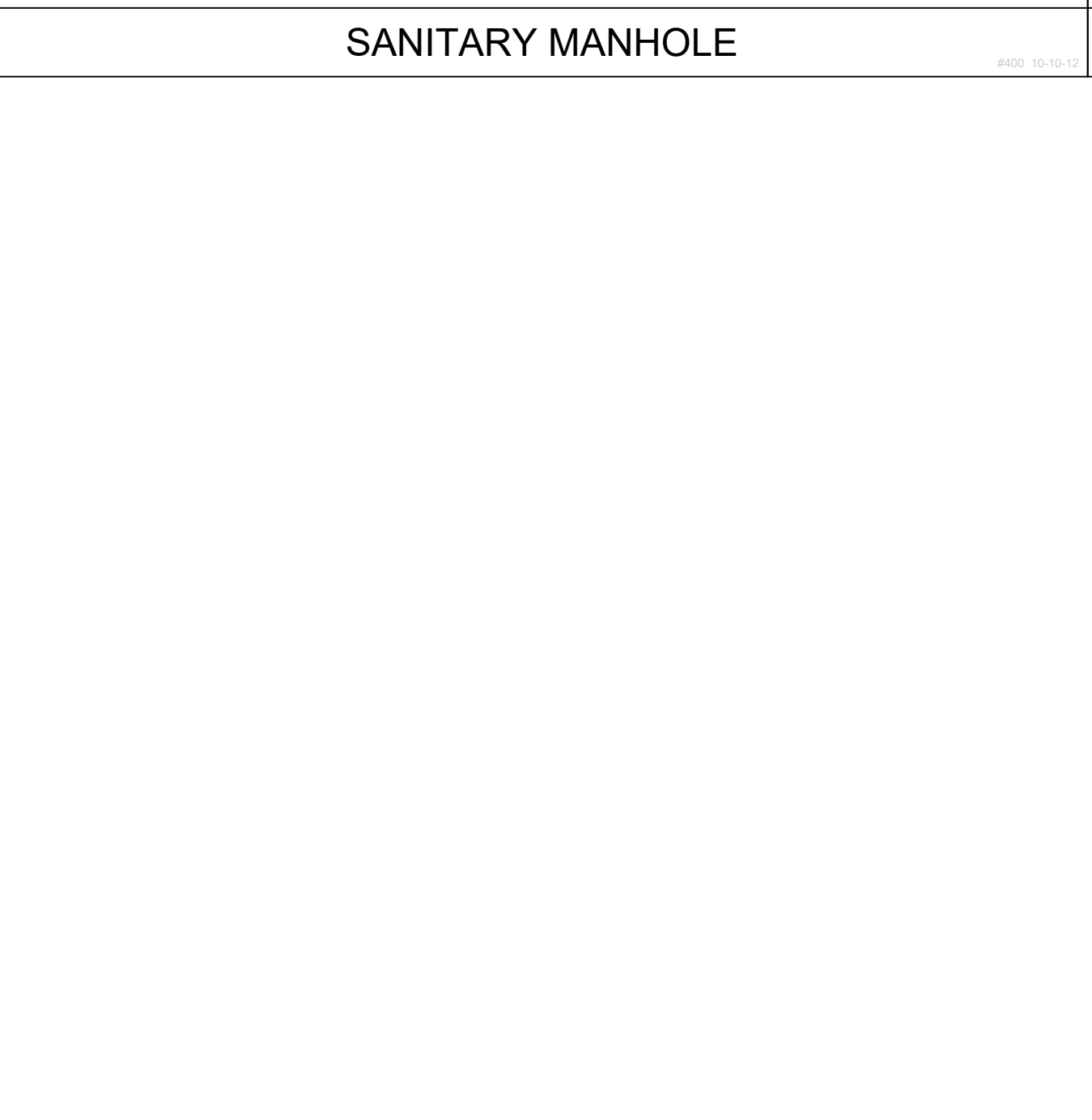
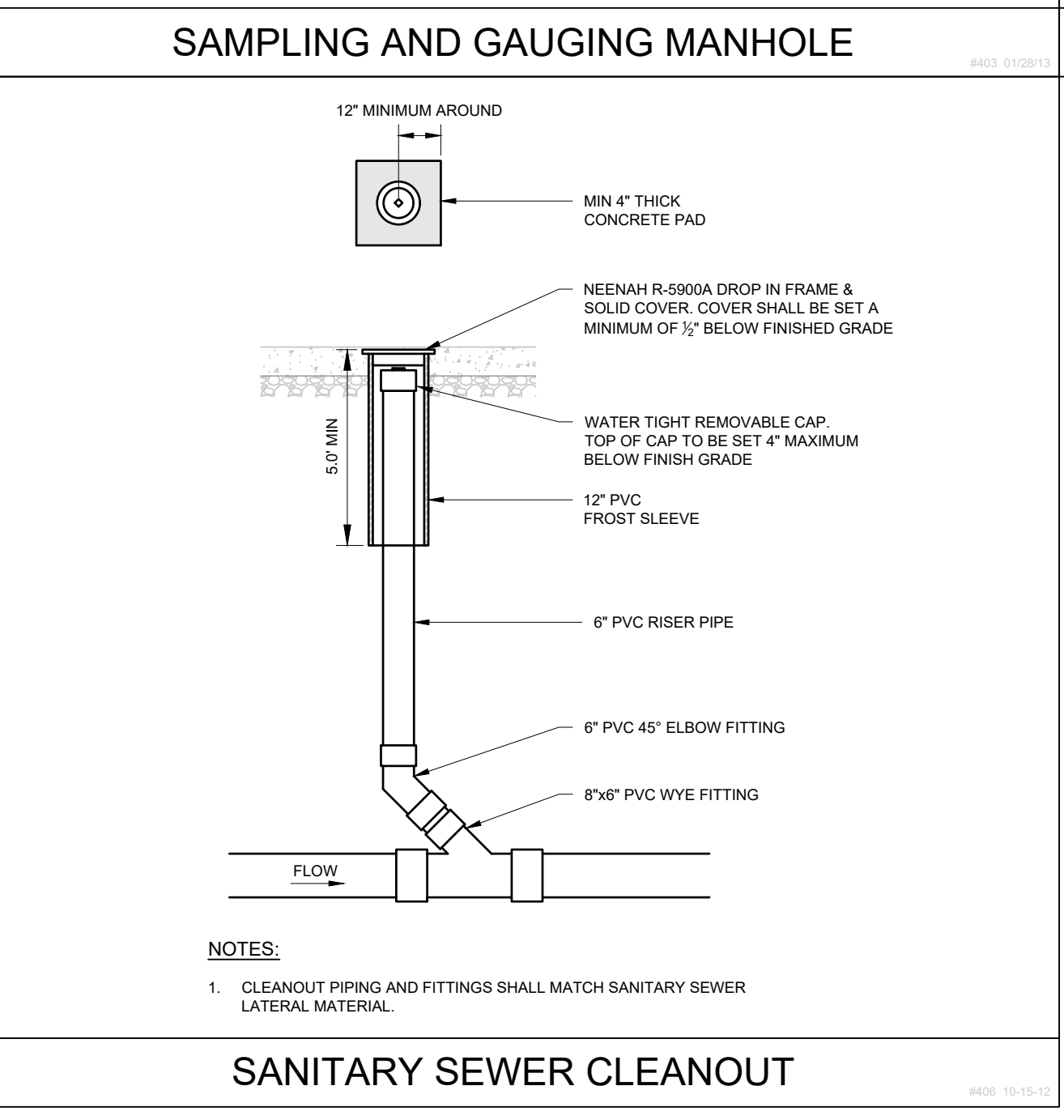
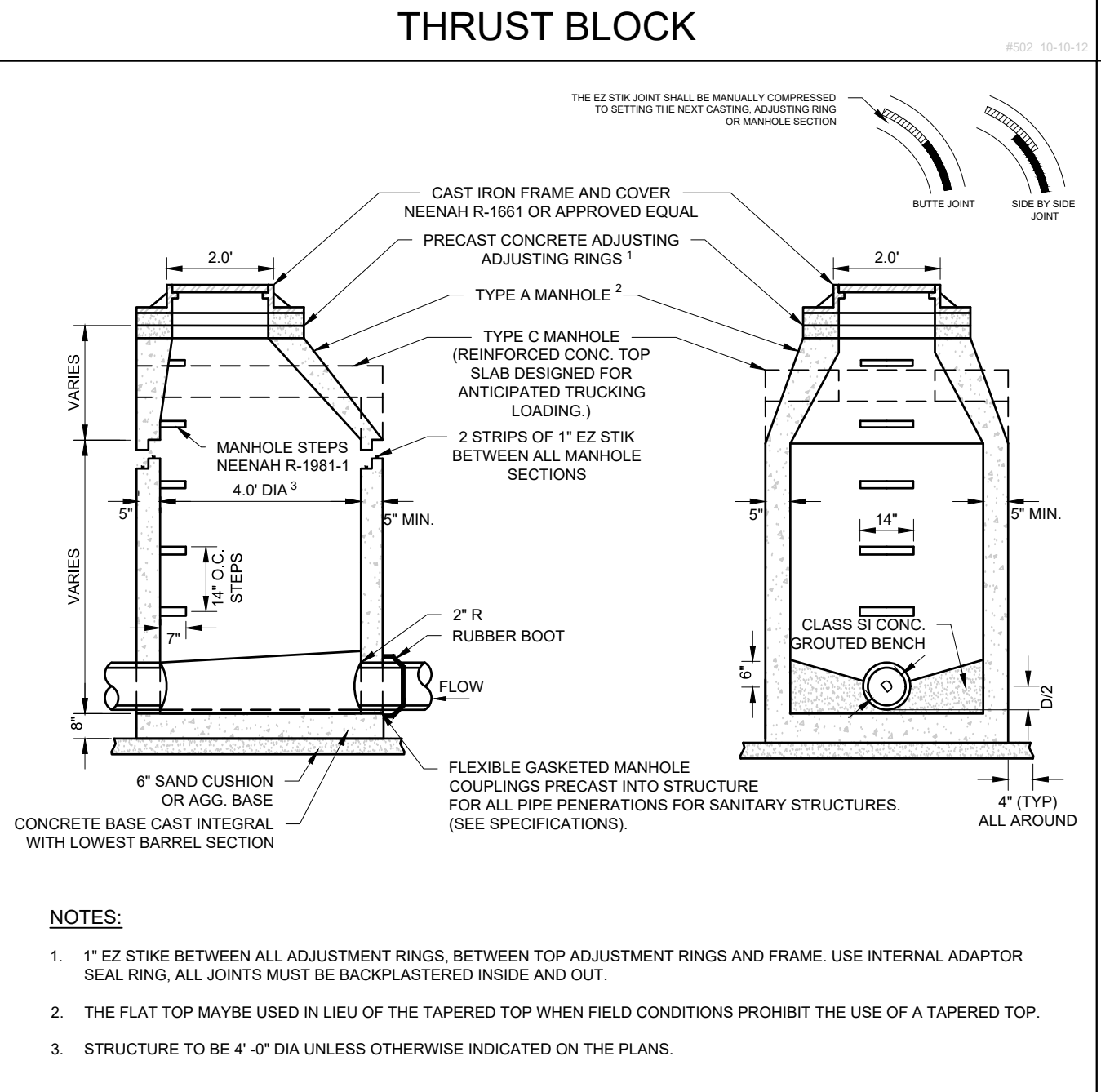
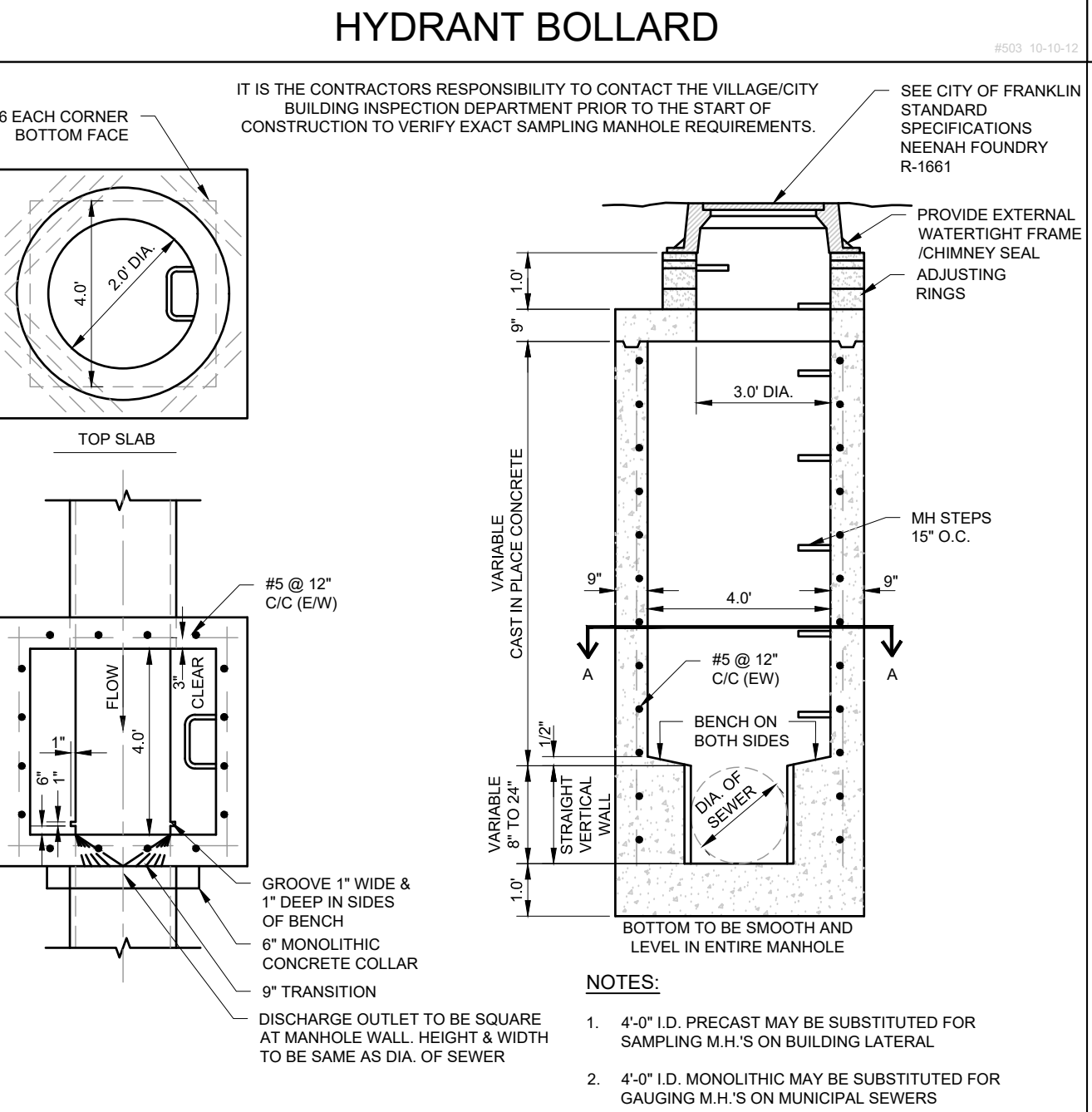


FIGURE 22

WDNR DITCH CHECK STANDARD 1062



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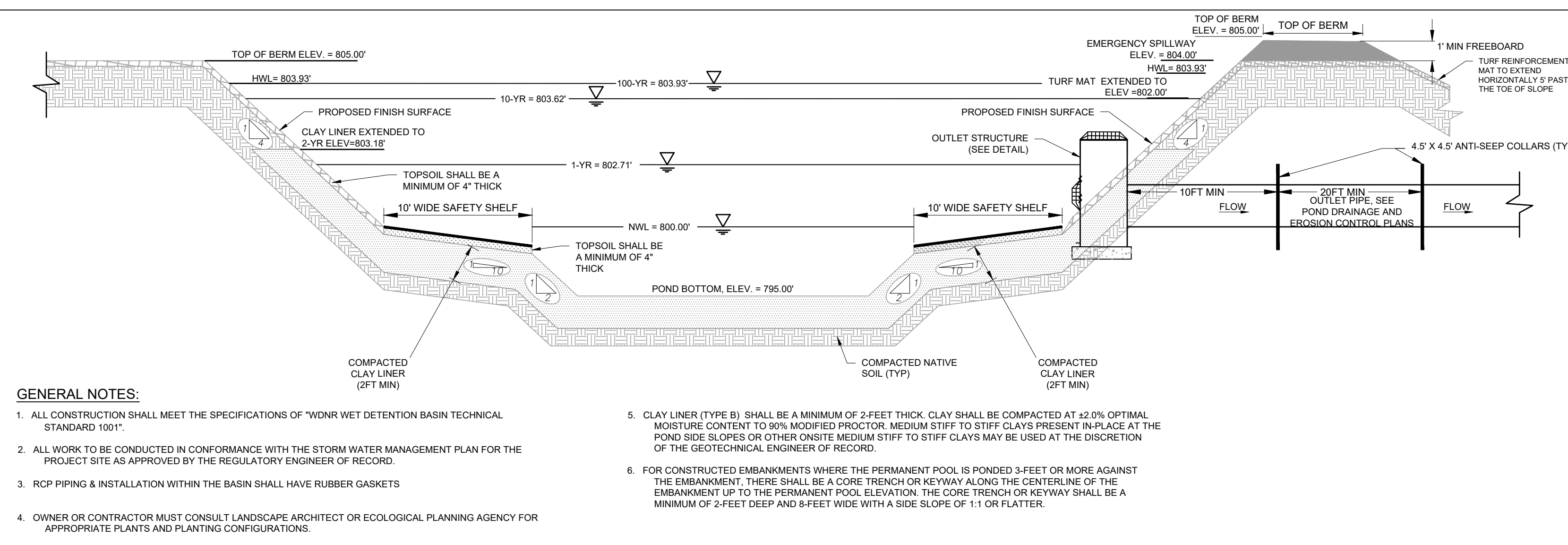
CONSTRUCTION DETAILS

REVISIONS	

REG JOB No. 809-908
 REG PM MAC
 START DATE 01-12-22
 SCALE 1" = 60'
 SHEET C-23
 C-24
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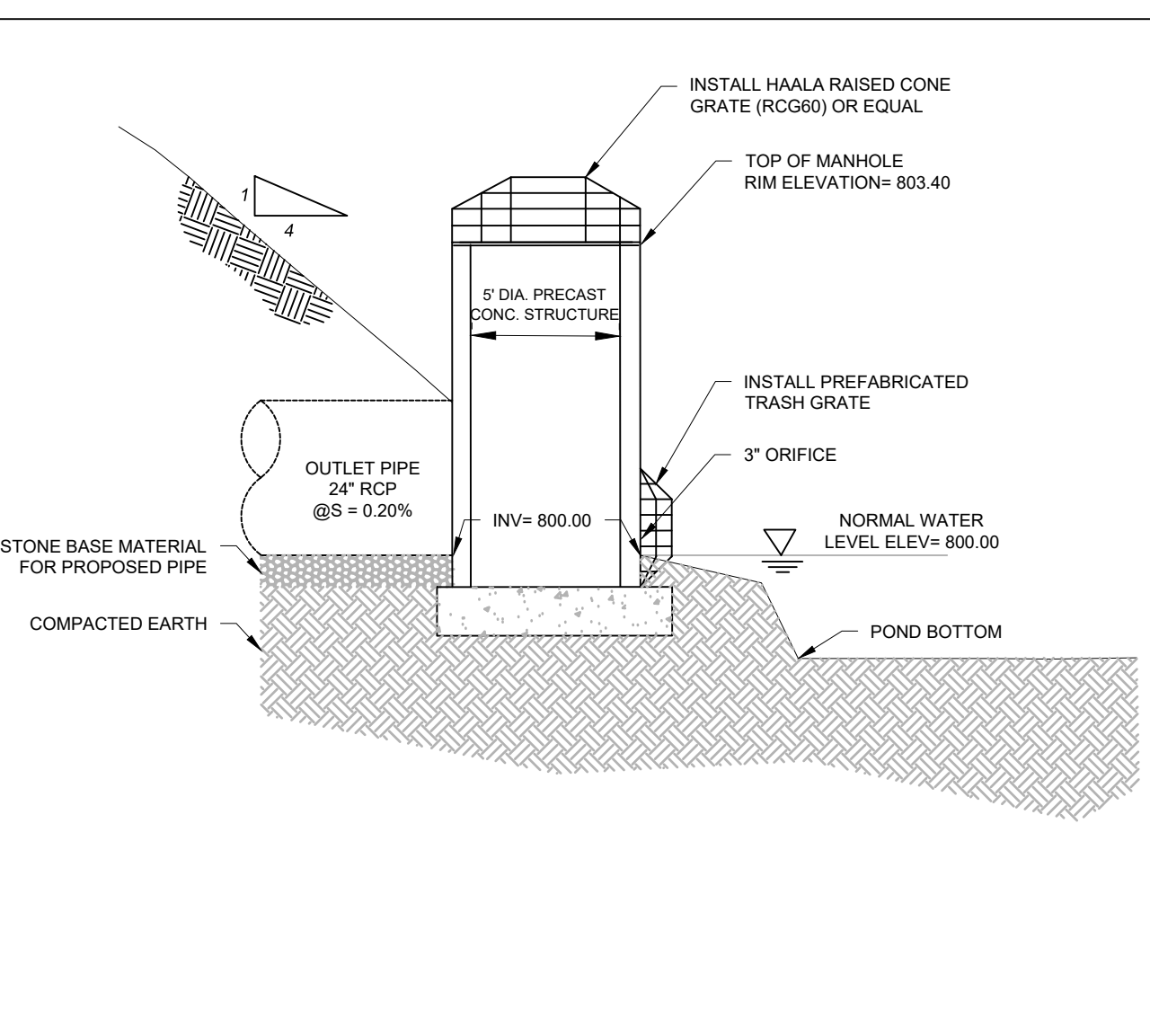
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DESIGNED: DCC
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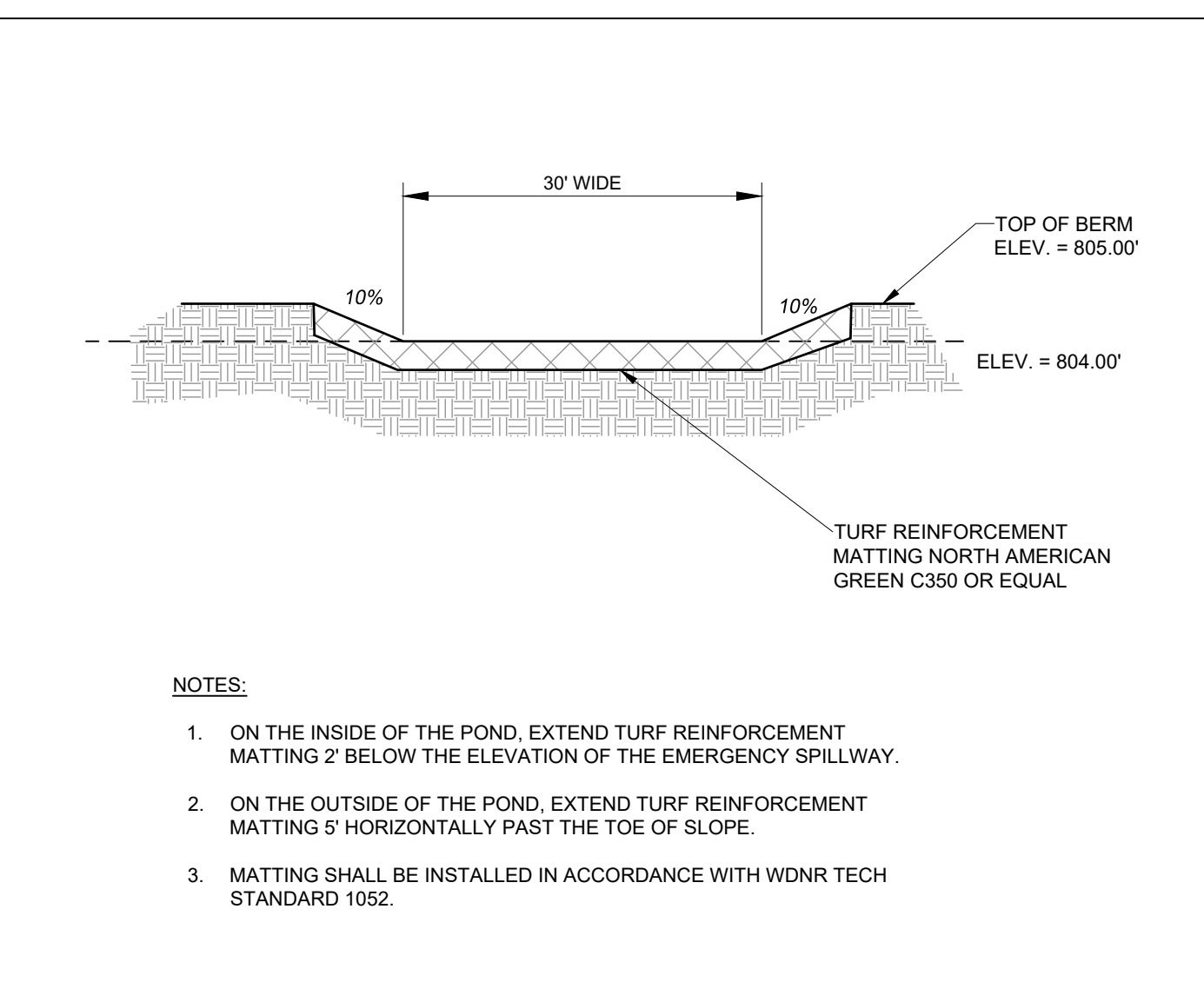


- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDR WET DETENTION BASIN TECHNICAL STANDARD 1001".
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
 - RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL HAVE RUBBER GASKETS
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
 - CLAY LINER (TYPE B) SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN PLACE AT THE POND SIDE SLOPES OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
 - FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

STORMWATER POND 1 CROSS SECTION

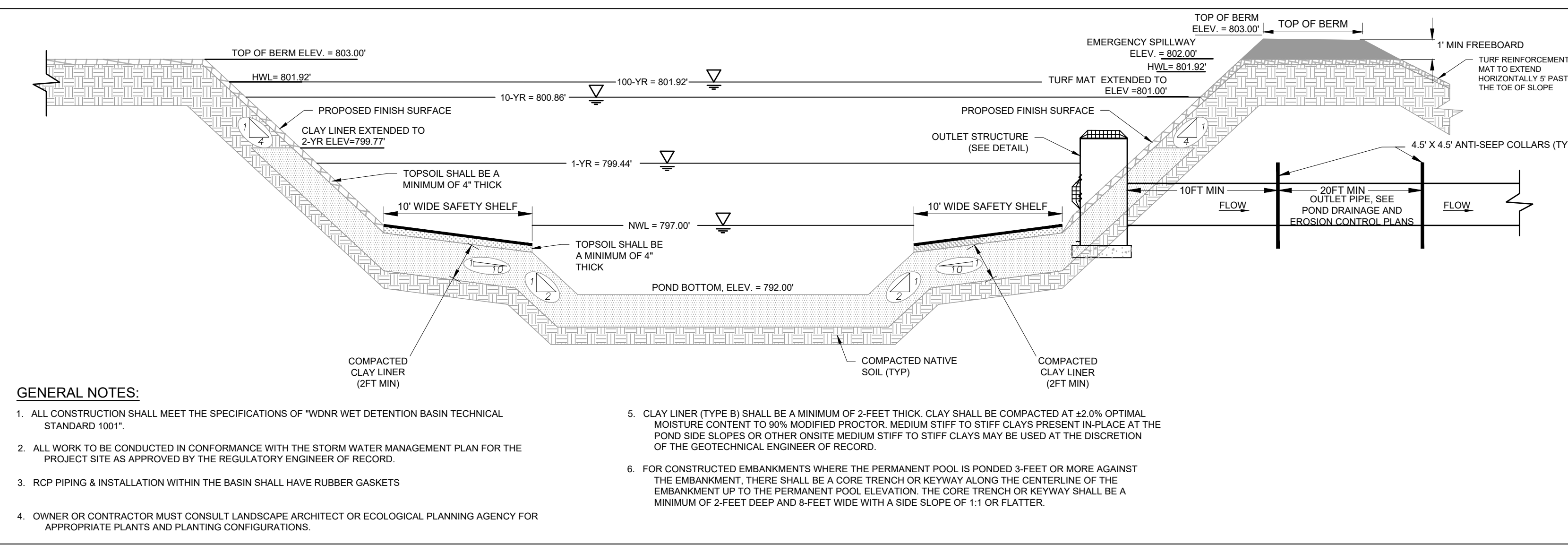


POND 1 OUTLET STRUCTURE



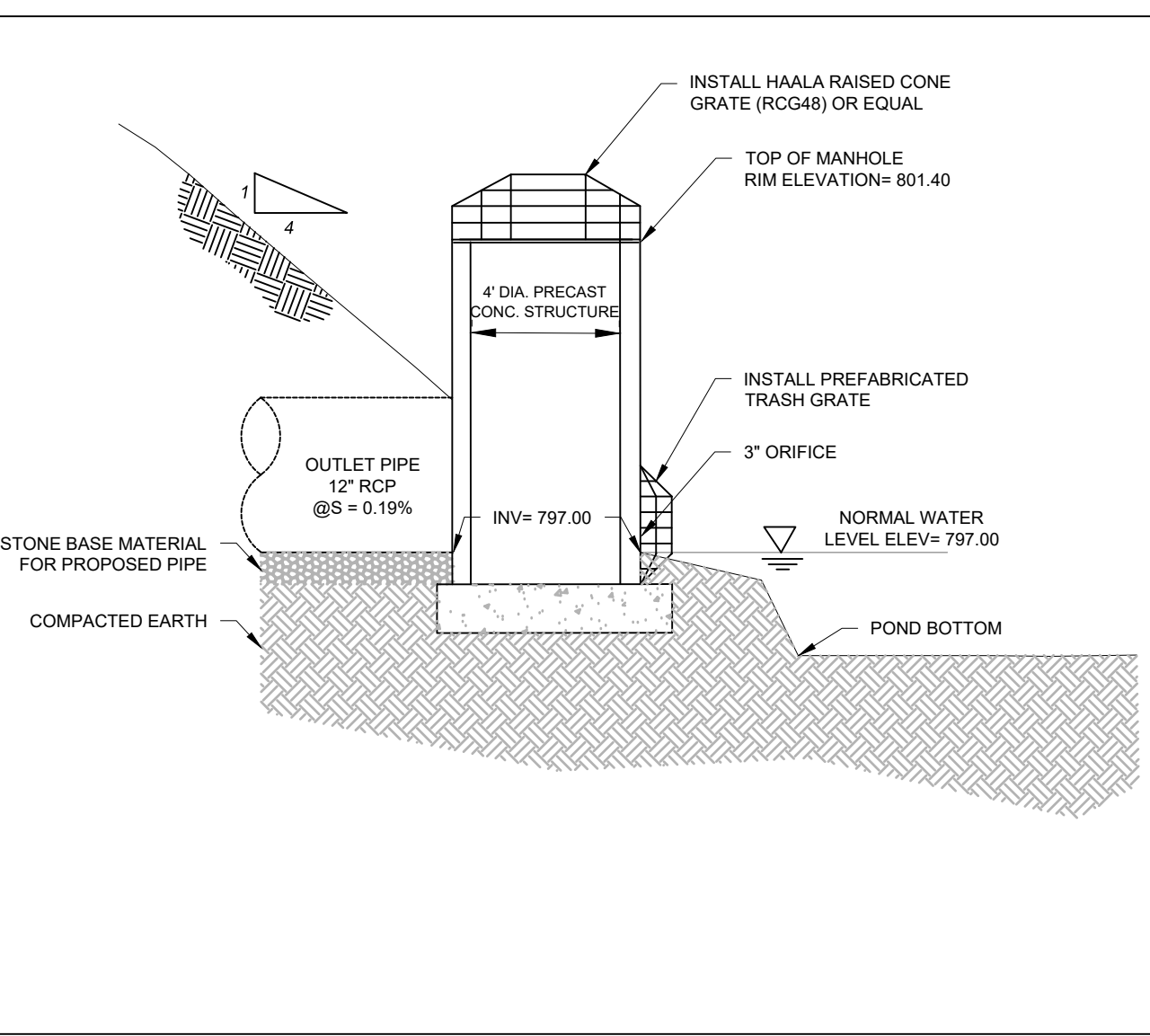
- NOTES:**
- ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 2' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
 - ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
 - MATting SHALL BE INSTALLED IN ACCORDANCE WITH WDR TECH STANDARD 1052.

POND 1 EMERGENCY SPILLWAY

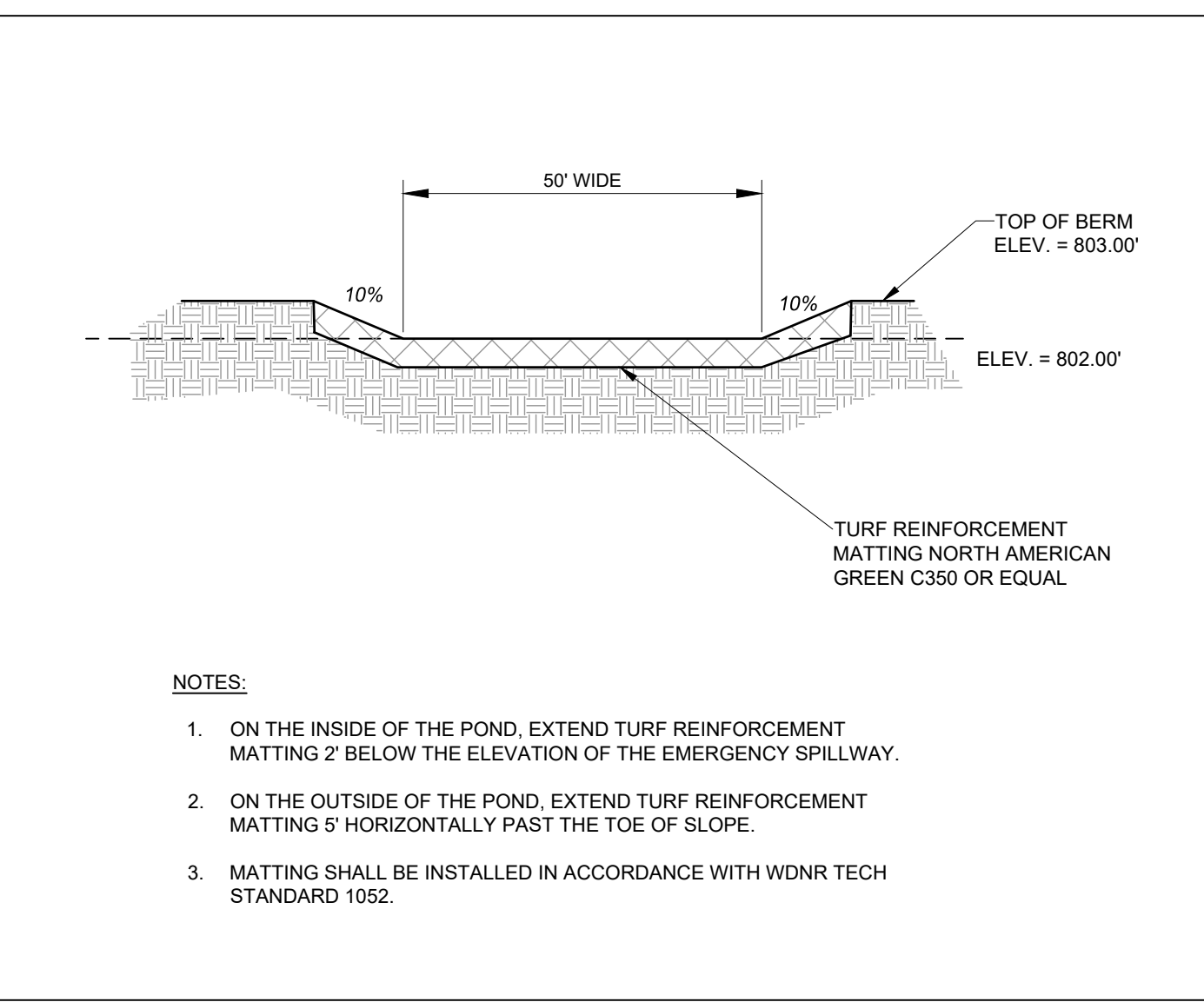


- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDR WET DETENTION BASIN TECHNICAL STANDARD 1001".
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
 - RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL HAVE RUBBER GASKETS
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
 - CLAY LINER (TYPE B) SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN PLACE AT THE POND SIDE SLOPES OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
 - FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

STORMWATER POND 2 CROSS SECTION

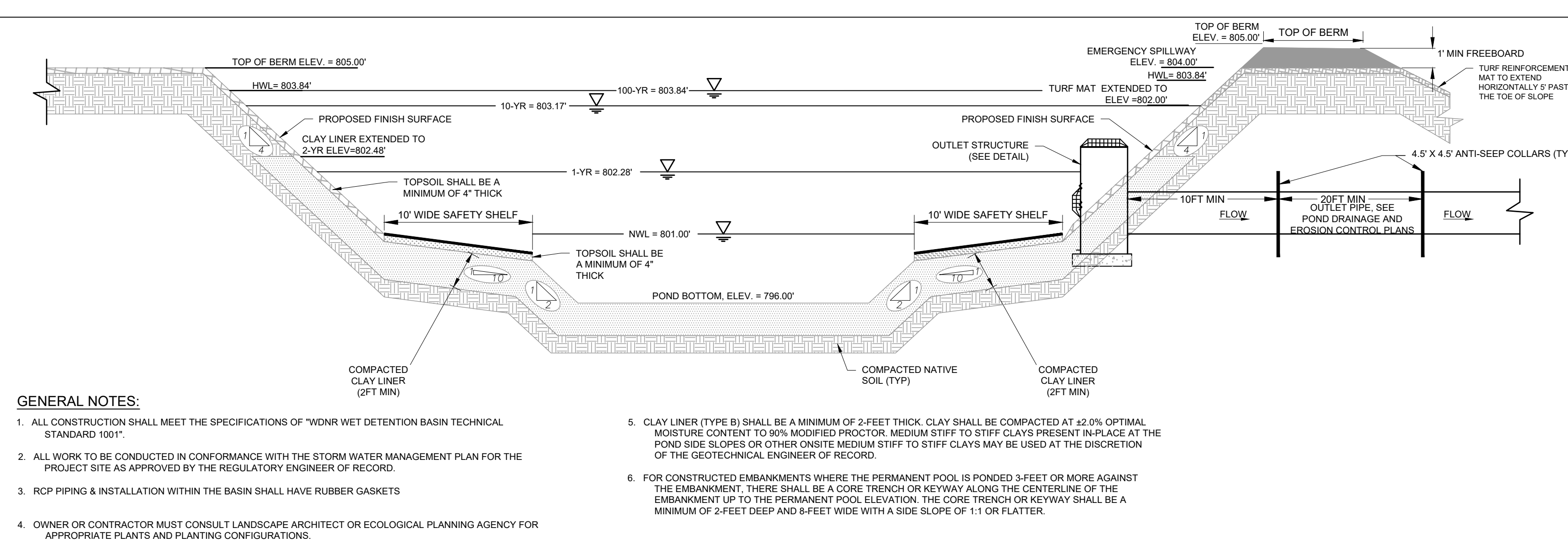


POND 2 OUTLET STRUCTURE



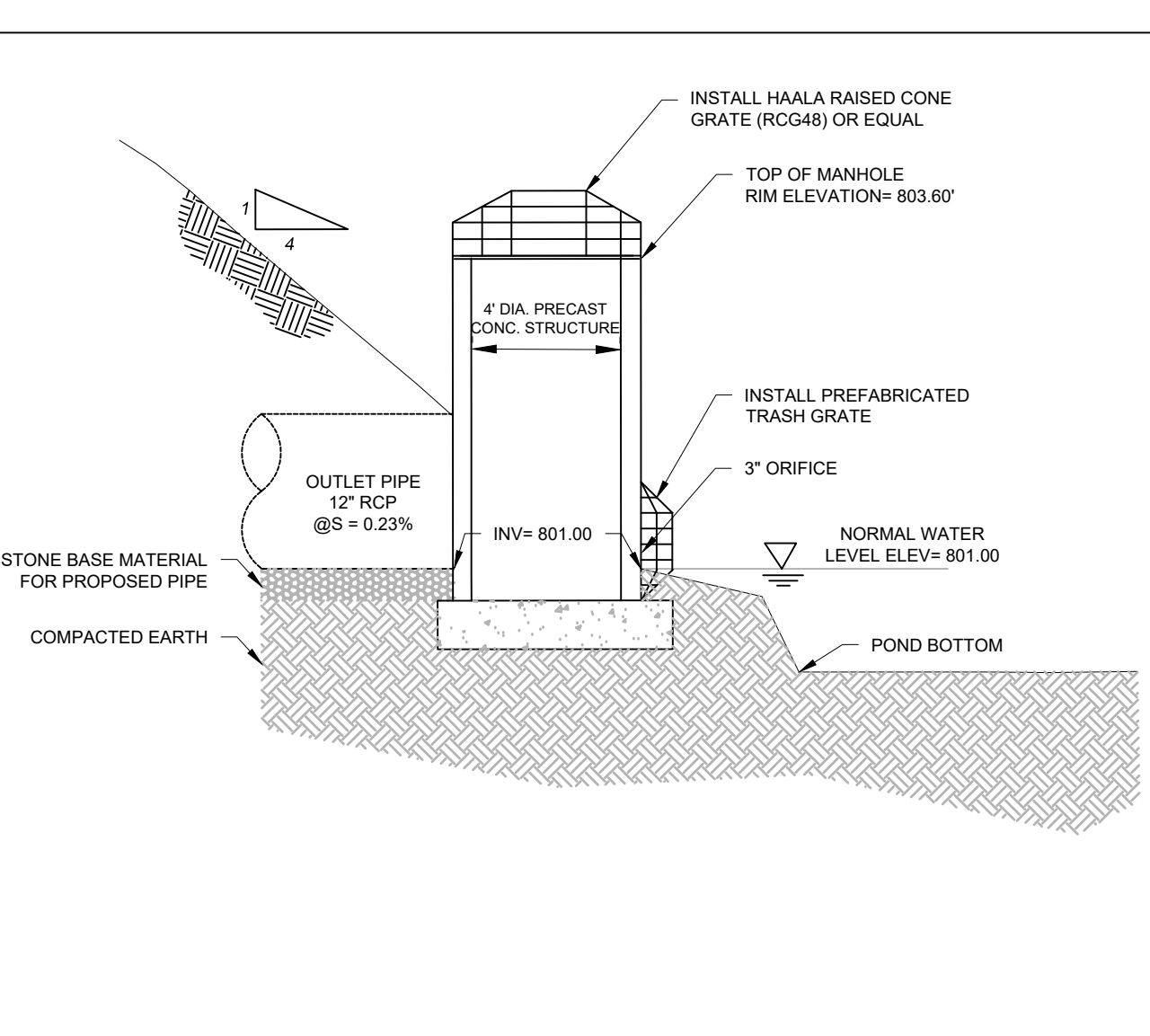
- NOTES:**
- ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 2' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
 - ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
 - MATting SHALL BE INSTALLED IN ACCORDANCE WITH WDR TECH STANDARD 1052.

POND 2 EMERGENCY SPILLWAY

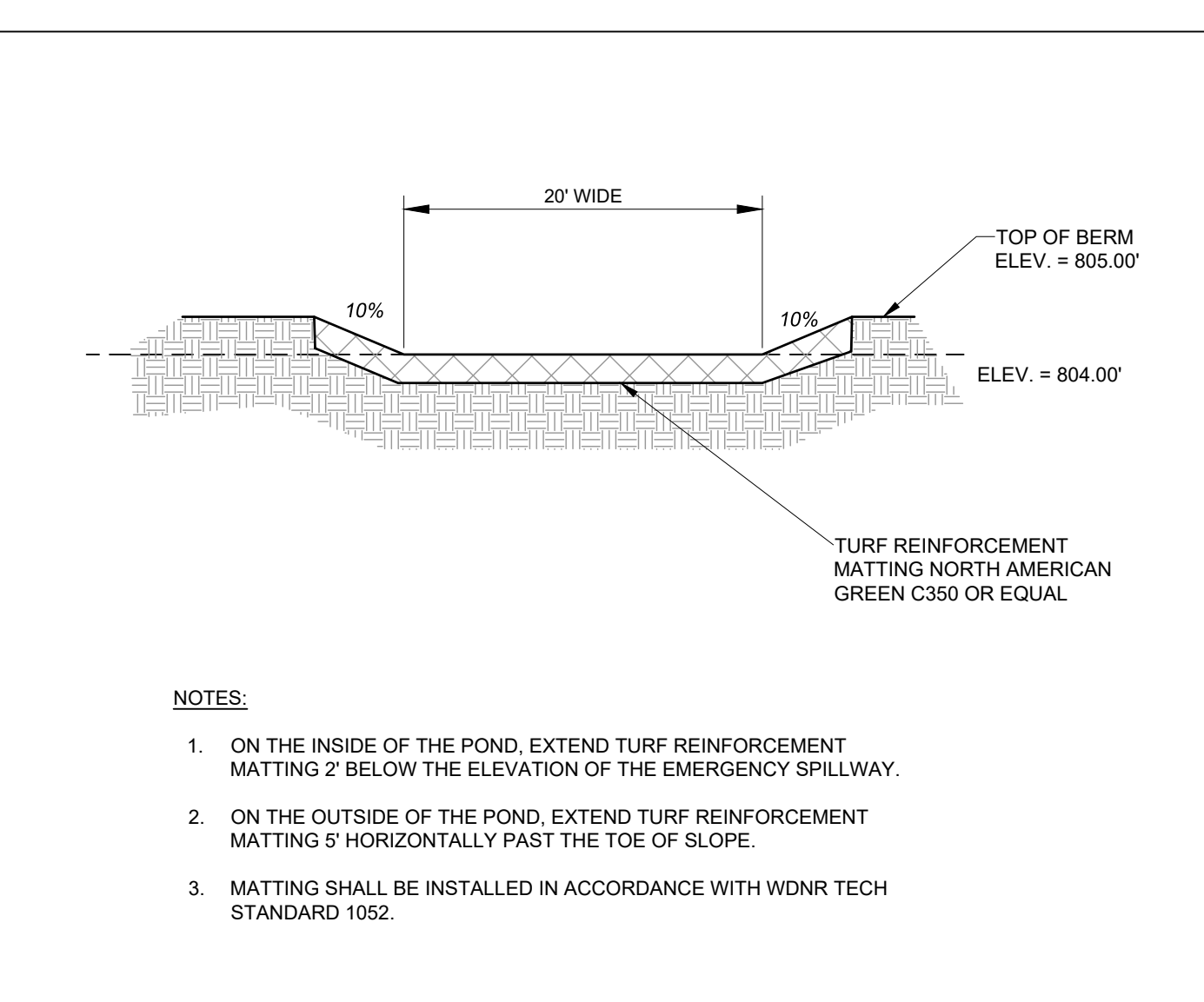


- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDR WET DETENTION BASIN TECHNICAL STANDARD 1001".
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
 - RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL HAVE RUBBER GASKETS
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
 - CLAY LINER (TYPE B) SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN PLACE AT THE POND SIDE SLOPES OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
 - FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

STORMWATER POND 3 CROSS SECTION



POND 3 OUTLET STRUCTURE



- NOTES:**
- ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 2' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
 - ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
 - MATting SHALL BE INSTALLED IN ACCORDANCE WITH WDR TECH STANDARD 1052.

POND 3 EMERGENCY SPILLWAY

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LOT 84 RISE COMMERCIAL DISTRICT
 WEST MONARCH DRIVE, FRANKLIN, WI 53132

CONSTRUCTION DETAILS

REVISIONS

REG JOB No. 809.908
 REG No. MAC
 START DATE 01-12-24
 SCALE 1" = 60'

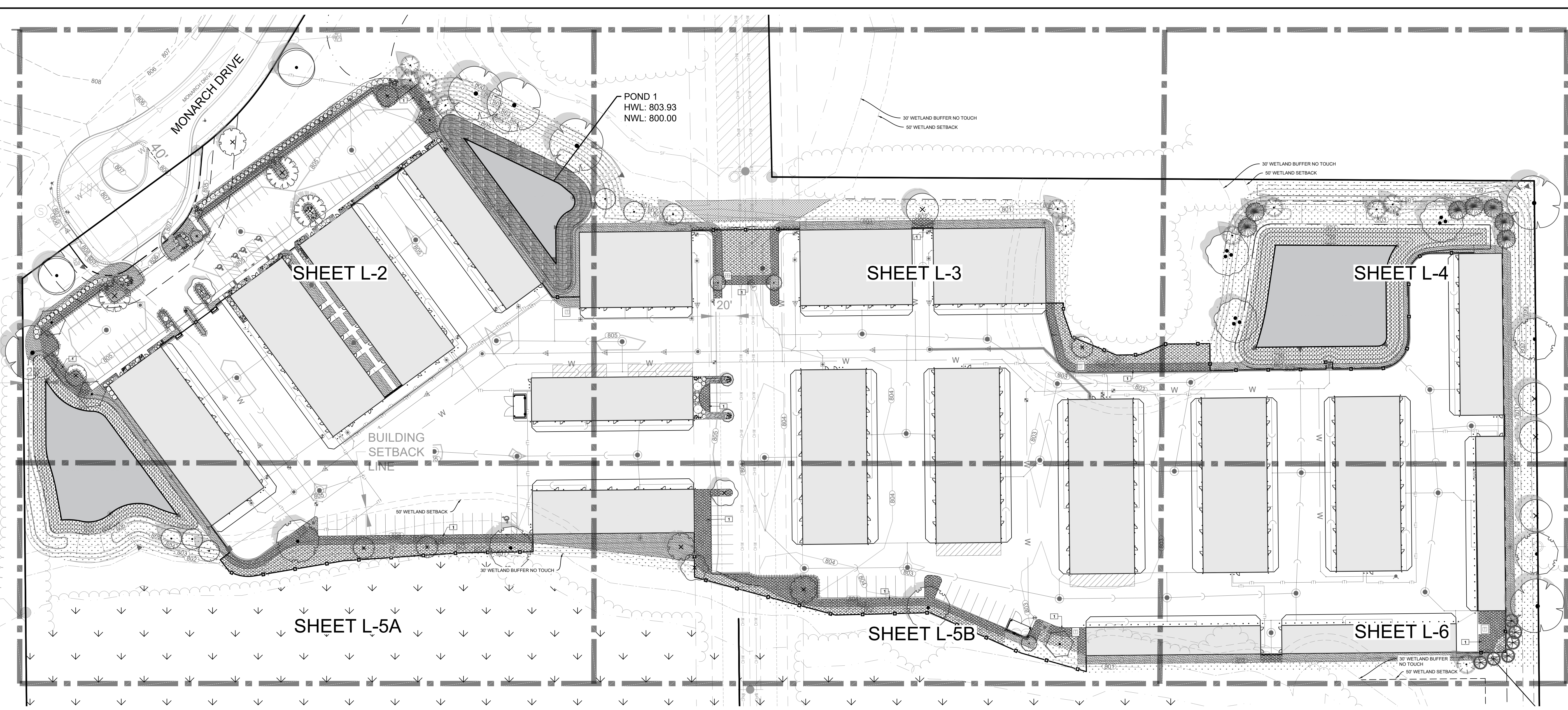
SHEET C-24
C-24

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CONSTRUCTION DETAILS

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 DESIGNED: DUB
 CHECKED: SAT
 DATE: SAT



PLANT SCHEDULE

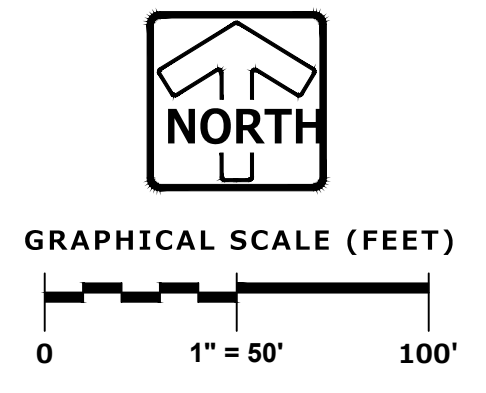
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AF3	3	Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	2.5' Cal.	50' T x 40' W
ASL	5	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5' Cal.	60' T x 50' W
AHB	2	Aesculus hippocastanum 'Baumannii'	Horse Chestnut	2.5' Cal.	65' T x 48' W
BNH	3	Betula nigra 'Heritage'	Heritage River Birch	2.5' Cal.	50' T x 40' W
CCH	4	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	2.5' Cal.	50' T x 40' W
GA	3	Ginkgo biloba 'Magyar'	Magyar Ginkgo	2.5' Cal.	50' T x 25' W
LTE	5	Liriodendron tulipifera 'Emerald City'	Emerald City Tulip Tree	2.5' Cal.	55' T x 25' W
QRR	6	Quercus rubra	Red Oak	2.5' Cal.	65' T x 65' W
UFR	4	Ulmus x 'Frontier'	Frontier Elm	2.5' Cal.	45' T x 30' W
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
ACF	6	Abies concolor	White Fir	5' Ht.	40' T x 23' W
PGD	6	Picea glauca 'Densata'	Black Hills Spruce	5' Ht.	30' T x 15' W
POS	12	Picea omorika	Serbian Spruce	5' Ht.	55' T x 23' W
PSW	7	Pinus strobus	White Pine	5' Ht.	65' T x 30' W
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CVK	3	Crataegus viridis 'Winter King'	Winter King Hawthorn	1.5' Cal.	25' T x 30' W
MBF	3	Magnolia x 'Butterflies'	Butterflies Magnolia	1.5' Cal.	17' T x 12' W
MR3	3	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	1.5' Cal.	20' T x 15' W

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HP2	4	Hydrangea paniculata 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	3' Ht.
HS	22	Hydrangea serrata 'Tuff Stuff'	Tuff Stuff Hydrangea	3 gal.
PO2	2	Physocarpus opulifolius	Ninebark	3' Ht.
PW	19	Physocarpus opulifolius 'SMNPMS' TM	Summer Wine Black Ninebark	3' Ht.
RT	11	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	3' Ht.
SO3	9	Syringa x 'SMNJRPI' TM	Bloomerang Dwarf Pink Lilac	3 gal.
VD	10	Viburnum dentatum 'Blue Muffin'	Southern Arrowwood	3' Ht.
WF3	1	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	3' Ht.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JCS	28	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3' Ht.
JSB	11	Juniperus sabina 'Buffalo'	Buffalo Juniper	3 gal.
JS2	9	Juniperus squamata 'Blue Star'	Blue Star Juniper	3 gal.
PN2	19	Picea abies 'Nidiformis'	Nest Spruce	3' Ht.
TX3	3	Taxus x media 'Everlow'	Yew	3 gal.
TH3	15	Thuja occidentalis 'Hetz Midget'	Hetz Midget Arborvitae	3' Ht.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AGD	6	Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem	1 gal.
CFO	7	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.
CX	15	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.
ESP	26	Eragrostis spectabilis	Purple Love Grass	1 gal.
PN3	30	Panicum virgatum 'Northwind'	Switch Grass	1 gal.
PB	60	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 gal.
SS2	18	Schizanthus scoparium 'Blue Heaven'	Blue Heaven Little Bluestem	1 gal.

PLANT SCHEDULE

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
EL	29	Echinacea x 'Balsomemyim' TM	Sombrero Lemon Yellow Improved Coneflower	4.5' cont.	28" o.c.
EY	30	Echinacea x 'Giddy Pink'	Giddy Pink Coneflower	4.5' cont.	20" o.c.
ESJ	10	Eupatorium purpureum	Sweet Joe-Pye Weed	4.5' cont.	36" o.c.
NP	69	Nepeta nervosa 'Pink Cat'	Dwarf Pink Catmint	4.5' cont.	12" o.c.
NS	63	Nepeta racemosa 'Snowflake'	Snowflake White Catmint	4.5' cont.	15" o.c.
NWL	47	Nepeta x 'Walker's Low'	Walker's Low Catmint	4.5' cont.	28" o.c.
SA4	42	Sedum x 'Autumn Fire'	Autumn Fire Sedum	4.5' cont.	15" o.c.
24" T x 18" W					
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME		
2,179 sf		AGRECOL SHORTGRASS PRAIRIE	AGRECOL SHORTGRASS PRAIRIE MIX		
14,369 sf		AGRECOL RAINWATER RENEWAL	AGRECOL RAINWATER RENEWAL MIX		
TURF	QTY	BOTANICAL NAME	COMMON NAME		
7,504 sf		Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix		
72,367 sf		Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix		



LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
GREEN SPACE	2,460	>2,460
PARKING LOT - 118 STALLS		
• SHADE/CANOPY TREES (*x's 1.2)	24 (*29)	32
• CONIFER TREES (*x's 1.2)	24 (*29)	31
*BUFFER YARD REQUIRED ALONG EASTERN PROPERTY LINE.		
STREET TREES 112 ft		
• TREES	2	3
PARKING SCREENING/BUFFERS 903FT		
• SHRUBS	61	74

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	SNOW STORAGE AREAS	24,831 sf	10%

- NOTES**
- REFER TO INDIVIDUAL SHEETS FOR SHRUB PLANTING KEY AND SPECIES CALLOUTS
 - RESIDENTIAL BUFFER IN PLACE WITH EXISTING TREE LINE
 - ALL TURF AREAS TO BE SEEDED

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LOT 84 RISE COMMERCIAL DISTRICT
LANDSCAPE OVERVIEW
 WEST MONARCH DRIVE, FRANKLIN, WI 53132

REVISIONS

NO.	DATE	DESCRIPTION

SHEET **L-1**
 L-8
 PEG JOB No. 809.908
 MAC
 START DATE 01-12-22
 SCALE 1" = 50'
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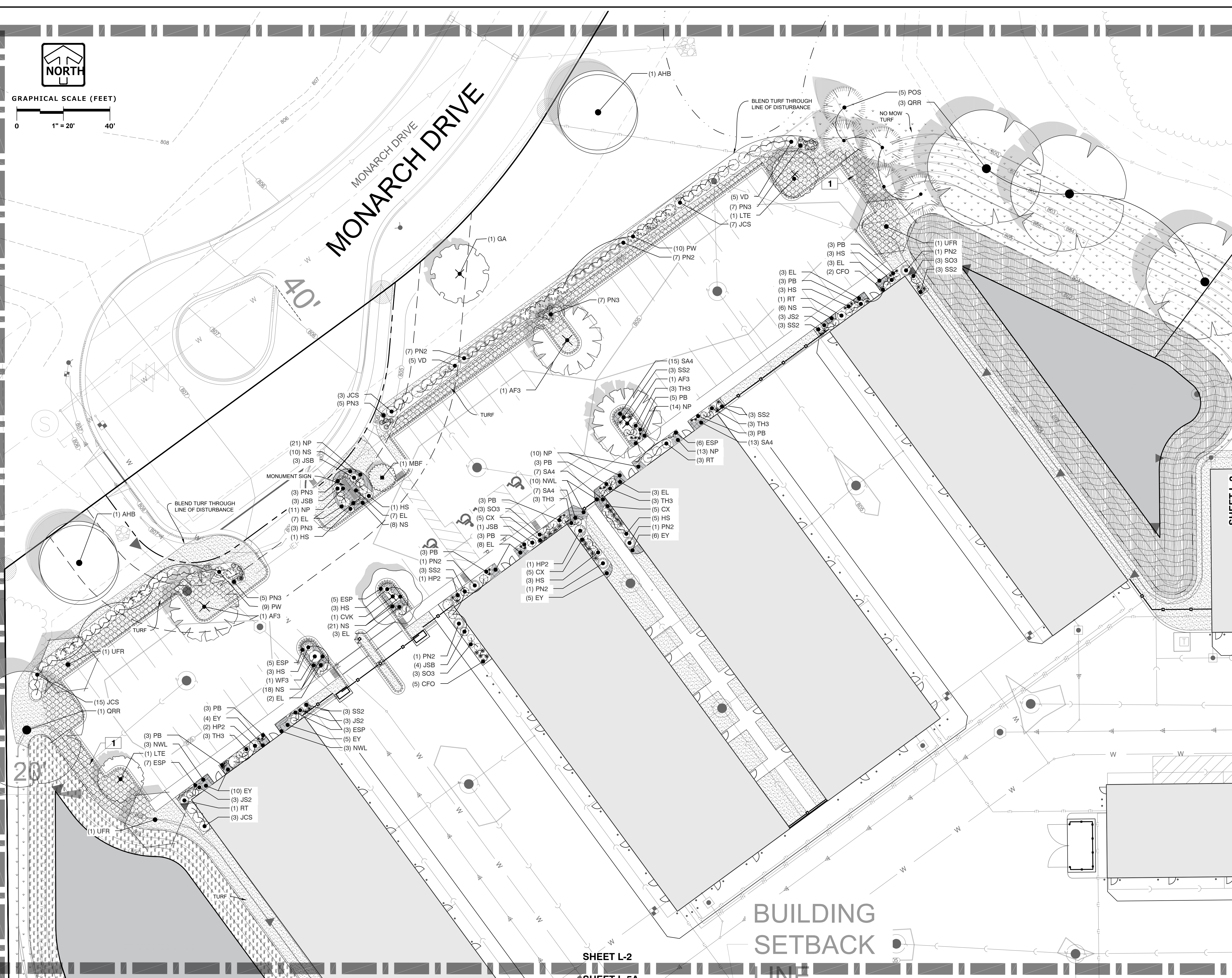
LANDSCAPE OVERVIEW

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GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

MONARCH DRIVE
MONARCH DRIVE



PLANT KEY

TREES	BOTANICAL NAME	COMMON NAME
AF3	Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple
ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple
AHB	Aesculus hippocastanum 'Baumannii'	Horse Chestnut
BNH	Betula nigra 'Heritage'	Heritage River Birch
CCH	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry
GA	Ginkgo biloba 'Magyar'	Magyar Ginkgo
LTE	Liriodendron tulipifera 'Emerald City'	Emerald City Tulip Tree
QRR	Quercus rubra	Red Oak
UFR	Ulmus x 'Frontier'	Frontier Elm
UFR	Ulmus x 'Frontier'	Frontier Elm
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
ACF	Abies concolor	White Fir
PGD	Picea glauca 'Densata'	Black Hills Spruce
POS	Picea omorika	Serbian Spruce
PSW	Pinus strobus	White Pine
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
CVK	Crataegus viridis 'Winter King'	Winter King Hawthorn
MBF	Magnolia x 'Butterflies'	Butterflies Magnolia
MR3	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple
SHRUBS	BOTANICAL NAME	COMMON NAME
HP2	Hydrangea paniculata 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HS	Hydrangea serrata 'Tuff Stuff'	Tuff Stuff Hydrangea
PO2	Physocarpus opulifolius	Ninebark
PW	Physocarpus opulifolius 'SMNPMS' TM	Summer Wine Black Ninebark
RT	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac
SO3	Syringa x 'SMNJRPI' TM	Bloomerang Dwarf Pink Lilac
VD	Viburnum dentatum 'Blue Muffin'	Southern Arrowwood
WF3	Weigela florida 'Wine & Roses'	Wine & Roses Weigela
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JCS	Juniperus chinensis 'Sea Green'	Sea Green Juniper
JSB	Juniperus sabinia 'Buffalo'	Buffalo Juniper
JS2	Juniperus squamata 'Blue Star'	Blue Star Juniper
PN2	Picea abies 'Nidiformis'	Nest Spruce
TX3	Taxus x media 'Everlow'	Yew
TH3	Thuja occidentalis 'Hetz Midget'	Hetz Midget Arborvitae
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem
CFO	Calamagrostis x a 'Overdam'	Overdam Reed Grass
CX	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
ESP	Eragrostis spectabilis	Purple Love Grass
PN3	Panicum virgatum 'Northwind'	Switch Grass
PB	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass
SS2	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem
PERENNIALS	BOTANICAL NAME	COMMON NAME
EL	Echinacea x 'Balsomemim' TM	Sombbrero Lemon Yellow Improved Coneflower
EY	Echinacea x 'Giddy Pink'	Giddy Pink Coneflower
ESJ	Eupatorium purpureum	Sweet Joe-Pye Weed
NP	Nepeta neriifolia 'Pink Cat'	Dwarf Pink Catmint
NS	Nepeta racemosa 'Snowflake'	Snowflake White Catmint
NWL	Nepeta x 'Walker's Low'	Walker's Low Catmint
SA4	Sedum x 'Autumn Fire'	Autumn Fire Sedum
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	AGRECOL SHORTGRASS PRAIRIE MIX	AGRECOL SHORTGRASS PRAIRIE MIX
	AGRECOL RAINWATER RENEWAL MIX	AGRECOL RAINWATER RENEWAL MIX
TURF	BOTANICAL NAME	COMMON NAME
	Turf Hydroseed Mix	Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix

SHEET L-2
SHEET L-3

SHEET L-2
SHEET L-5A

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	SNOW STORAGE AREAS	

PLAN | DESIGN | DELIVER
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CHICAGO | MILWAUKEE | NATIONWIDE

LOT 84 RISE COMMERCIAL DISTRICT
WEST MONARCH DRIVE, FRANKLIN, WI 53132

ENLARGED LANDSCAPE PLAN

REVISIONS

PEC JOB NO. 809.908
MAC
START DATE 01-12-22
SCALE 1" = 20'

SHEET
L-2
L-8



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

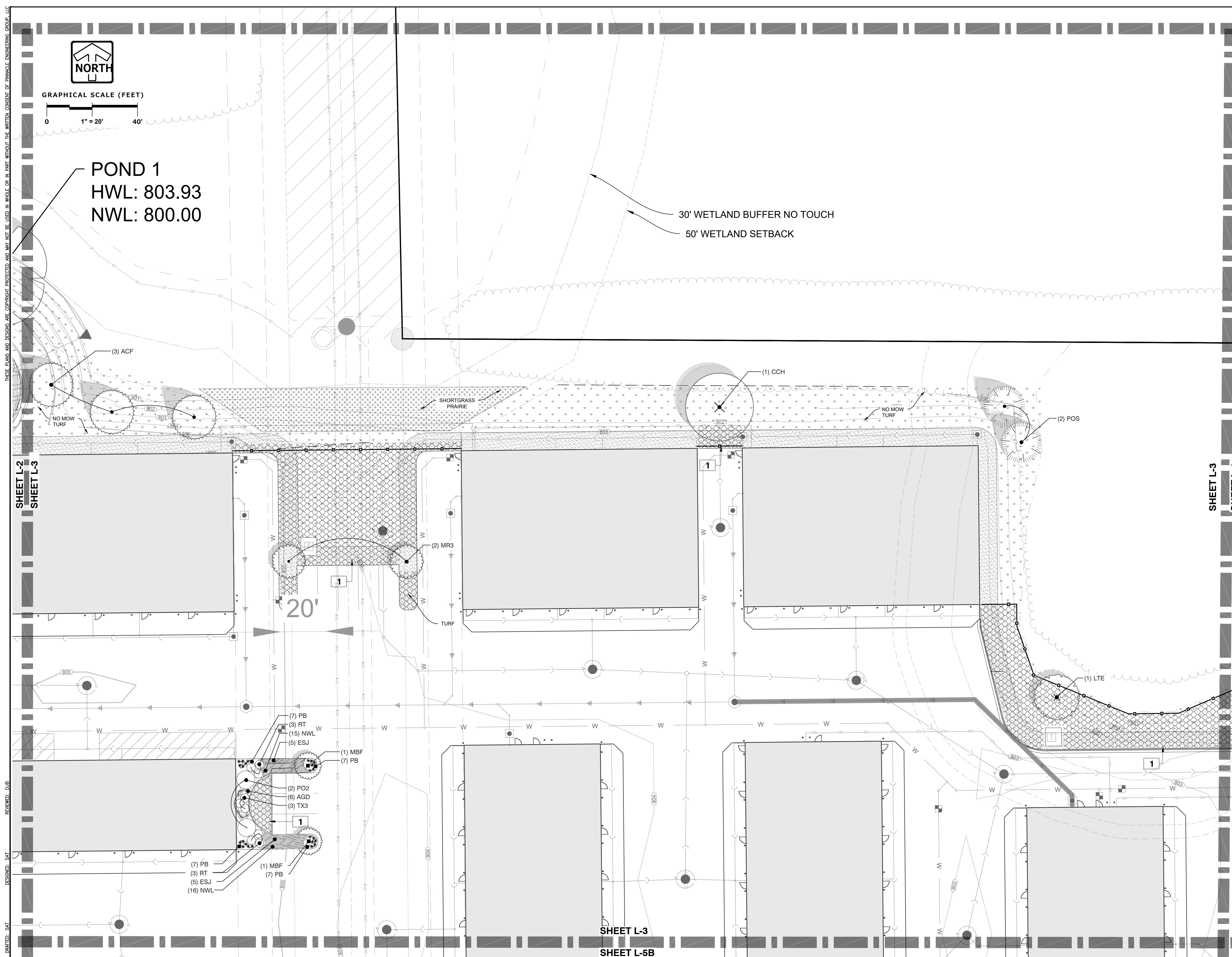
POND 1
HWL: 803.93
NWL: 800.00

30' WETLAND BUFFER NO TOUCH
50' WETLAND SETBACK

PLANT KEY		
TREES	BOTANICAL NAME	COMMON NAME
AF3	Acer freemanii 'Autumn Fantasy' 50' T x 40' W	Autumn Fantasy Maple
ASL	Acer saccharum 'Legacy' 60' T x 50' W	Legacy Sugar Maple
AHB	Aesculus hippocastanum 'Baumannii' 65' T x 48' W	Horse Chestnut
BNH	Betula nigra 'Heritage' 60' T x 50' W	Heritage River Birch
CCH	Celtis occidentalis 'Chicagoland' 50' T x 40' W	Chicagoland Hackberry
GA	Ginkgo biloba 'Magyar' 50' T x 25' W	Magyar Ginkgo
LTE	Liriodendron tulipifera 'Emerald City' 55' T x 25' W	Emerald City Tulip Tree
ORR	Quercus rubra 65' T x 65' W	Red Oak
UFR	Ulmus x 'Frontier' 45' T x 30' W	Frontier Elm
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
ACF	Abies concolor 40' T x 25' W	White Fir
PGD	Picea glauca 'Densata' 30' T x 15' W	Black Hills Spruce
POS	Picea omorika 55' T x 23' W	Serbian Spruce
PSW	Pinus strobus 65' T x 30' W	White Pine
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
CVK	Crataegus viridis 'Winter King' 25' T x 30' W	Winter King Hawthorn
MBF	Magnolia x 'Butterflies' 17' T x 12' W	Butterflies Magnolia
MR3	Malus x 'Royal Raindrops' 20' T x 15' W	Royal Raindrops Crabapple
SHRUBS	BOTANICAL NAME	COMMON NAME
HP2	Hydrangea paniculata 'Vanilla Strawberry' 7' T x 5' W	Vanilla Strawberry Hydrangea
HS	Hydrangea serrata 'Tuff Stuff' 3' T x 3' W	Tuff Stuff Hydrangea
PO2	Physocarpus opulifolius 9' T x 9' W	Ninebark
PW	Physocarpus opulifolius 'SMNPMS' TM 6' T x 7' W	Summer Wine Black Ninebark
RT	Rhus typhina 'Tiger Eyes' 5' T x 5' W	Tiger Eyes Sumac
SO3	Syringa x 'SMNJRPI' TM 4' T x 3' W	Blooming Dwarf Pink Lilac
VD	Viburnum dentatum 'Blue Muffin' 6' T x 6' W	Southern Arrowwood
WF3	Weigela florida 'Wine & Roses' 5' T x 5' W	Wine & Roses Weigela
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JCS	Juniperus chinensis 'Sea Green' 5' T x 5' W	Sea Green Juniper
JSB	Juniperus sabinia 'Buffalo' 1' T x 7' W	Buffalo Juniper
JS2	Juniperus squamata 'Blue Star' 3' T x 4' W	Blue Star Juniper
PN2	Picea abies 'Nidiformis' 5' T x 7' W	Nest Spruce
TX3	Taxus x media 'Everlow' 3' T x 5' W	Yew
TH3	Thuja occidentalis 'Hetz Midget' 3' T x 3' W	Hetz Midget Arborvitae
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
AGD	Andropogon gerardi 'Dancing Wind' 36" T x 30" W	Dancing Wind Big Blue Stem
CFO	Calamagrostis x a 'Overdam' 24" T x 24" W	Overdam Reed Grass
CX	Calamagrostis x acutiflora 'Karl Foerster' 3' T x 2.5' W	Feather Reed Grass
ESP	Eragrostis spectabilis 24" T x 18" W	Purple Love Grass
PN3	Panicum virgatum 'Northwind' 18" T x 24" W	Switch Grass
PB	Pennisetum alopecuroides 'Little Bunny' 18" T x 24" W	Little Bunny Fountain Grass
SS2	Schizachyrium scoparium 'Blue Heaven' 3' T x 2' W	Blue Heaven Little Bluestem
PERENNIALS	BOTANICAL NAME	COMMON NAME
EL	Echinacea x 'Balsomemim' TM 28" T x 28" W	Sombrero Lemon Yellow Improved Coneflower
EY	Echinacea x 'Giddy Pink' 22" T x 24" W	Giddy Pink Coneflower
ESJ	Eupatorium purpureum 36" T x 36" W	Sweet Joe-Pye Weed
NP	Nepeta nervosa 'Pink Cat' 12" T x 15" W	Dwarf Pink Catmint
NS	Nepeta racemosa 'Snowflake' 12" T x 18" W	Snowflake White Catmint
NWL	Nepeta x 'Walker's Low' 20" T x 28" W	Walker's Low Catmint
SA4	Sedum x 'Autumn Fire' 24" T x 18" W	Autumn Fire Sedum
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	AGRECOL SHORTGRASS PRAIRIE MIX	AGRECOL SHORTGRASS PRAIRIE MIX
	AGRECOL RAINWATER RENEWAL MIX	AGRECOL RAINWATER RENEWAL MIX
TURF	BOTANICAL NAME	COMMON NAME
	Turf Hydroseed Mix	Reinders - Cadet 70/30 Fescue/Blue
	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	SNOW STORAGE AREAS	



SHEET L-2
SHEET L-3
SHEET L-3
SHEET L-5B

SHEET L-3
SHEET L-4

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CHICAGO | MILWAUKEE | NATIONWIDE

LOT 84 RISE COMMERCIAL DISTRICT
WEST MONARCH DRIVE, FRANKLIN, WI 53132

ENLARGED LANDSCAPE PLAN

NO.	DATE	DESCRIPTION

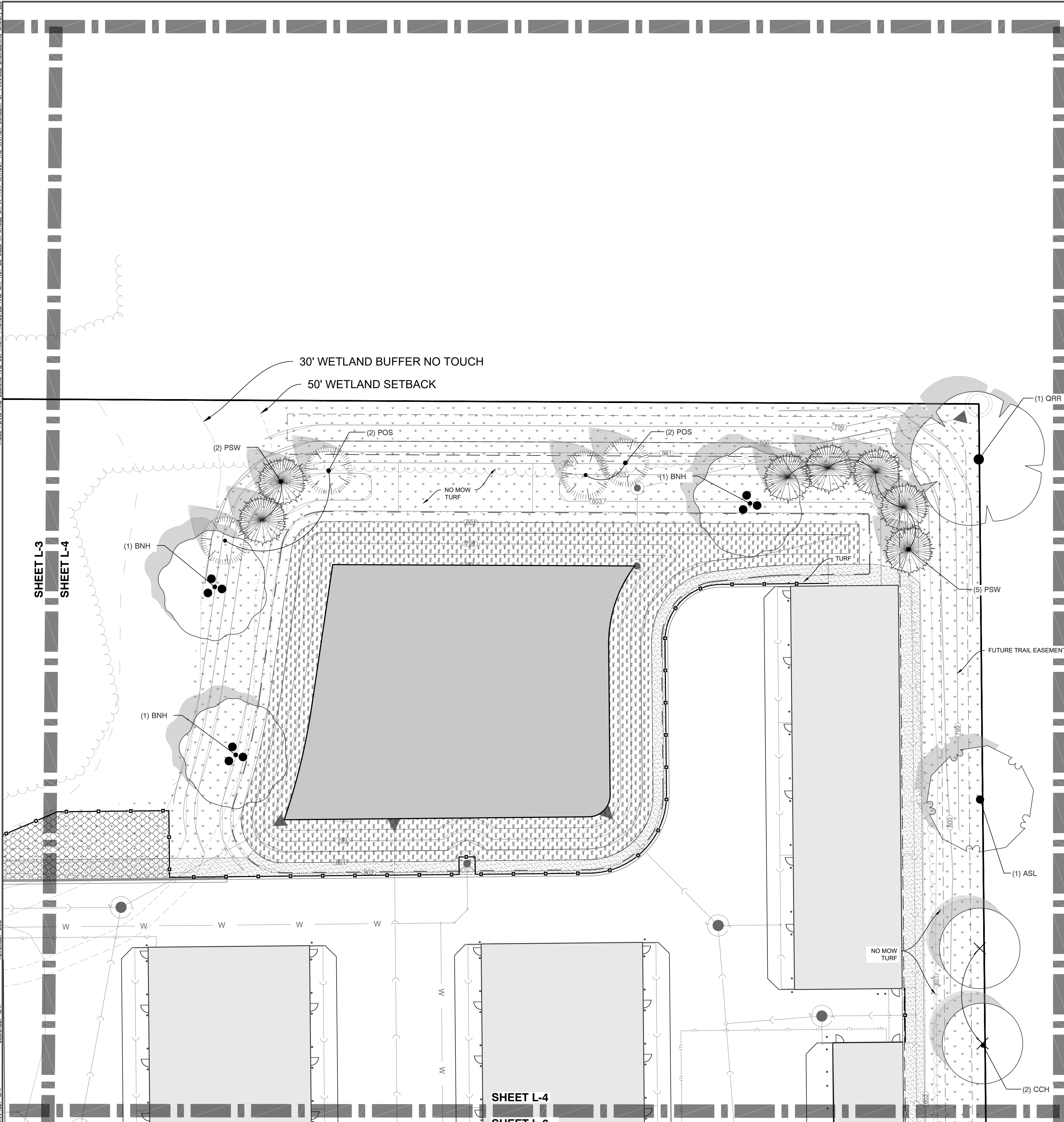
REVISIONS

PEC JOB No. 809.908
M/GC
START DATE 01-12-24
SCALE 1" = 20'

SHEET
L-3
L-8

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DATE: SAT

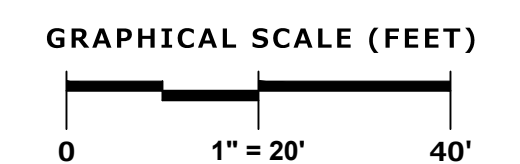


PLANT KEY

TREES	BOTANICAL NAME	COMMON NAME
AF3	Acer freemanii 'Autumn Fantasy' 50' T x 40' W	Autumn Fantasy Maple
ASL	Acer saccharum 'Legacy' 60' T x 50' W	Legacy Sugar Maple
AHB	Aesculus hippocastanum 'Baumannii' 65' T x 48' W	Horse Chestnut
BNH	Betula nigra 'Heritage' 50' T x 50' W	Heritage River Birch
CCH	Celtis occidentalis 'Chicagoland' 50' T x 40' W	Chicagoland Hackberry
GA	Ginkgo biloba 'Magyar' 50' T x 25' W	Magyar Ginkgo
LTE	Liriodendron tulipifera 'Emerald City' 55' T x 25' W	Emerald City Tulip Tree
QRR	Quercus rubra 65' T x 65' W	Red Oak
UFR	Ulmus x 'Frontier' 45' T x 30' W	Frontier Elm
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
ACF	Abies concolor 40' T x 23' W	White Fir
PGD	Picea glauca 'Densata' 30' T x 15' W	Black Hills Spruce
POS	Picea omorika 55' T x 23' W	Serbian Spruce
PSW	Pinus strobus 65' T x 30' W	White Pine
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
CVK	Crataegus viridis 'Winter King' 25' T x 30' W	Winter King Hawthorn
MBF	Magnolia x 'Butterflies' 17' T x 12' W	Butterflies Magnolia
MR3	Melus x 'Royal Raindrops' 20' T x 15' W	Royal Raindrops Crabapple
SHRUBS	BOTANICAL NAME	COMMON NAME
HP2	Hydrangea paniculata 'Vanilla Strawberry' 7' T x 5' W	Vanilla Strawberry Hydrangea
HS	Hydrangea serrata 'Tuff Stuff' 3' T x 3' W	Tuff Stuff Hydrangea
PO2	Physocarpus opulifolius 9' T x 9' W	Ninebark
PW	Physocarpus opulifolius 'SMNPMS' TM 6' T x 7' W	Summer Wine Black Ninebark
RT	Rhus typhina 'Tiger Eyes' 5' T x 5' W	Tiger Eyes Sumac
SO3	Syringa x 'SMNJRP' TM 4' T x 3' W	Bloomerang Dwarf Pink Lilac
VD	Viburnum dentatum 'Blue Muffin' 6' T x 6' W	Southern Arrowwood
WF3	Weigela florida 'Wine & Roses' 5' T x 5' W	Wine & Roses Weigela
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JCS	Juniperus chinensis 'Sea Green' 5' T x 5' W	Sea Green Juniper
JSB	Juniperus sabinna 'Buffalo' 1' T x 7' W	Buffalo Juniper
JS2	Juniperus squamata 'Blue Star' 3' T x 4' W	Blue Star Juniper
PN2	Picea abies 'Nidiformis' 5' T x 7' W	Nest Spruce
TX3	Taxus x media 'Everlow' 3' T x 5' W	Yew
TH3	Thuja occidentalis 'Hetz Midget' 3' T x 3' W	Hetz Midget Arborvitae
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind' 36' T x 30' W	Dancing Wind Big Blue Stem
CFO	Calamagrostis x a 'Overdam' 24' T x 24' W	Overdam Reed Grass
CX	Calamagrostis x acutiflora 'Karl Foerster' 3' T x 2.5' W	Feather Reed Grass
ESP	Eragrostis spectabilis 24' T x 18" W	Purple Love Grass
PN3	Panicum virgatum 'Northwind' 18' T x 24' W	Switch Grass
PB	Pennisetum alopecuroides 'Little Bunny' 18' T x 24' W	Little Bunny Fountain Grass
SS2	Schizachyrium scoparium 'Blue Heaven' 3' T x 2' W	Blue Heaven Little Bluestem
PERENNIALS	BOTANICAL NAME	COMMON NAME
EL	Echinacea x 'Balsomemym' TM 28" T x 28" W	Sombrero Lemon Yellow Improved Coneflower
EY	Echinacea x 'Giddy Pink' 22" T x 24" W	Giddy Pink Coneflower
ESJ	Eupatorium purpureum 36" T x 36" W	Sweet Joe-Pye Weed
NP	Nepeta nervosa 'Pink Cat' 12" T x 15" W	Dwarf Pink Catmint
NS	Nepeta racemosa 'Snowflake' 12" T x 16" W	Snowflake White Catmint
NWL	Nepeta x 'Walker's Low' 20" T x 28" W	Walker's Low Catmint
SA4	Sedum x 'Autumn Fire' 24" T x 18" W	Autumn Fire Sedum
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	AGRECOL SHORTGRASS PRAIRIE MIX	AGRECOL SHORTGRASS PRAIRIE
	AGRECOL RAINWATER RENEWAL MIX	AGRECOL RAINWATER RENEWAL
TURF	BOTANICAL NAME	COMMON NAME
	Turf Hydrosseed Mix	Reinders - Cadet 70/30 Fescue/Blue
	Turf Hydrosseed Low Grow	Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	SNOW STORAGE AREAS	



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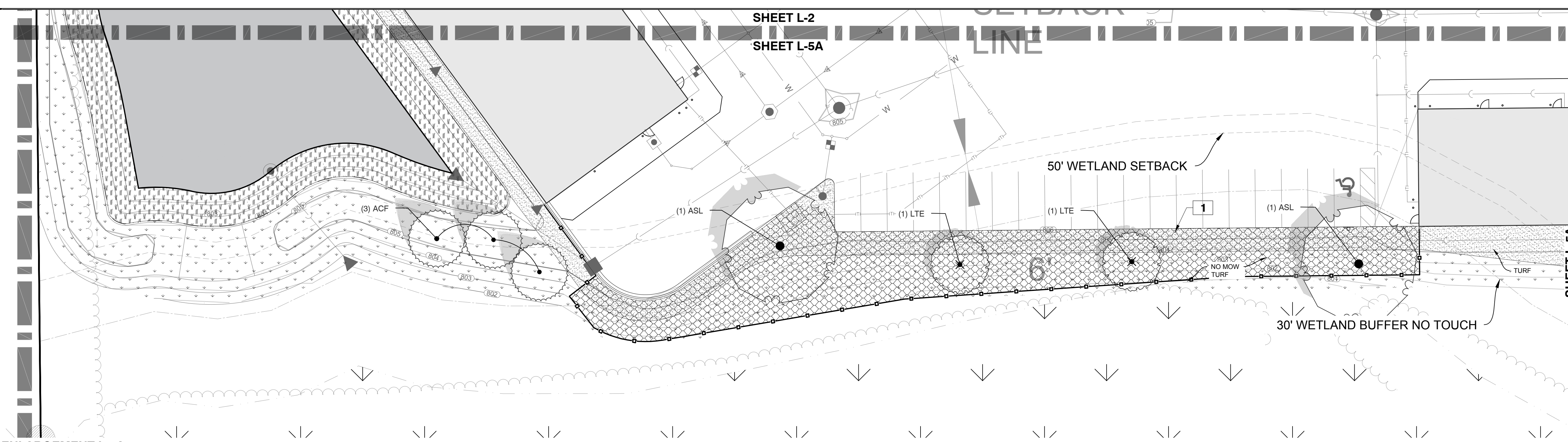
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ENLARGED LANDSCAPE PLAN

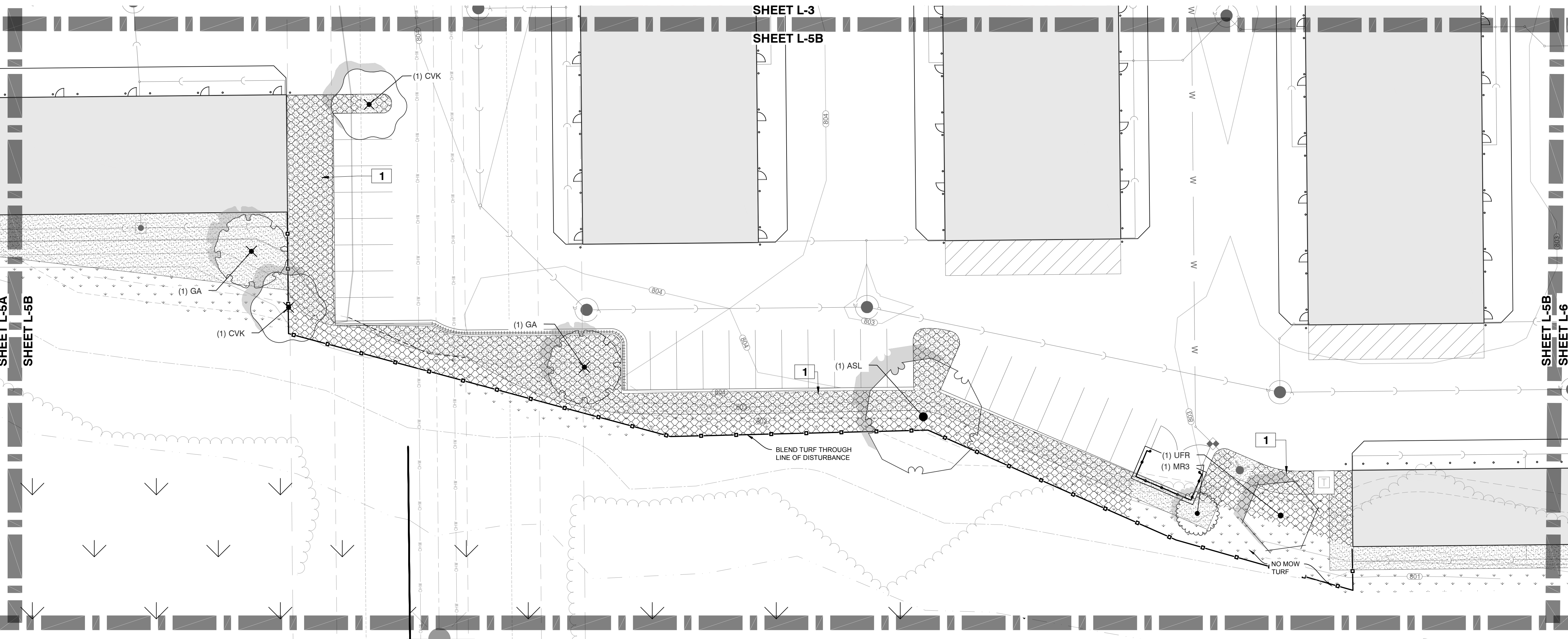
REVISIONS	
NO.	DESCRIPTION

SHEET
L-4
 L-8
 PEG JOB No. 809.908
 M/AC
 START DATE 01-12-22
 SCALE 1" = 20'
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DESIGNED: LDB
 CHECKED: SAT
 DELETED: SAT
 REVIEWED: LDB
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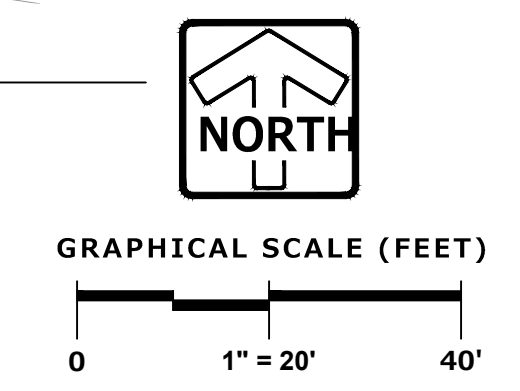
ENLARGEMENT L-5A
SCALE: 1"=20'



ENLARGEMENT L-5B
SCALE: 1"=20'

PLANT KEY		
TREES	BOTANICAL NAME	COMMON NAME
AF3	Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple
ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple
AHL	60' T x 50' W	
AHB	Aesculus hippocastanum 'Baumannii'	Horse Chestnut
BNH	Betula nigra 'Heritage'	Heritage River Birch
CCH	50' T x 50' W	
GA	Callis occidentalis 'Chicagoland'	Chicagoland Hackberry
LTE	50' T x 40' W	
ORR	Ginkgo biloba 'Magyar'	Magyar Ginkgo
UFR	50' T x 25' W	
	Liriodendron tulipifera 'Emerald City'	Emerald City Tulip Tree
	55' T x 25' W	
	Quercus rubra	Red Oak
	65' T x 65' W	
	Ulmus x 'Frontier'	Frontier Elm
	45' T x 30' W	
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
ACF	Abies concolor	White Fir
PGD	Picea glauca 'Densata'	Black Hills Spruce
POS	30' T x 15' W	
PSW	Picea omorika	Serbian Spruce
	55' T x 23' W	
	Pinus strobus	White Pine
	65' T x 30' W	
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
CVK	Catalpa bignonioides 'Winter King'	Winter King Hawthorn
MBF	25' T x 30' W	
	Magnolia x 'Butterflies'	Butterflies Magnolia
MR3	17' T x 12' W	
	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple
	20' T x 15' W	
SHRUBS	BOTANICAL NAME	COMMON NAME
HP2	Hydrangea paniculata 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HS	7' T x 5' W	
	Hydrangea serrata 'Tuff Stuff'	Tuff Stuff Hydrangea
PO2	3' T x 3' W	
	Physocarpus opulifolius	Ninebark
PW	9' T x 9' W	
	Physocarpus opulifolius 'SMNPM5' TM	Sumner Black Ninebark
RT	6' T x 7' W	
	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac
SO3	5' T x 5' W	
	Syringa x 'SMNJRPT' TM	Blooming Dwarf Pink Lilac
VD	4' T x 3' W	
	Viburnum dentatum 'Blue Muffin'	Southern Arrowwood
WF3	6' T x 6' W	
	Weigela florida 'Wine & Roses'	Wine & Roses Weigela
	5' T x 5' W	
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME
JCS	Juniperus chinensis 'Sea Green'	Sea Green Juniper
JSB	5' T x 5' W	
	Juniperus sabina 'Buffalo'	Buffalo Juniper
JS2	1' T x 7' W	
	Juniperus squamata 'Blue Star'	Blue Star Juniper
PN2	3' T x 4' W	
	Picea abies 'Nidiformis'	Nest Spruce
TX3	5' T x 7' W	
	Taxus x media 'Everlow'	Yew
TH3	3' T x 5' W	
	Thuja occidentalis 'Hetz Midget'	Hetz Midget Arborvitae
	3' T x 3' W	
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem
CFO	30' T x 30' W	
	Calamagrostis x a 'Overdam'	Overdam Reed Grass
CX	24' T x 24' W	
	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
ESP	3' T x 2.5' W	
	Eragrostis spectabilis	Purple Love Grass
PN3	24' T x 18' W	
	Panicum virgatum 'Northwind'	Switch Grass
PB	18' T x 24' W	
	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass
SS2	18' T x 24' W	
	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem
	3' T x 2' W	
PERENNIALS	BOTANICAL NAME	COMMON NAME
EL	Echinacea x 'Balsominymj' TM	Sombriero Lemon Yellow Improved Coneflower
EY	28' T x 28' W	
	Echinacea x 'Giddy Pink'	Giddy Pink Coneflower
ESJ	22' T x 24' W	
	Eupatorium purpureum	Sweet Joe-Pye Weed
NP	30' T x 30' W	
	Nepeta nervosa 'Pink Cat'	Dwarf Pink Catmint
NS	12' T x 15' W	
	Nepeta racemosa 'Snowflake'	Snowflake White Catmint
NWL	12' T x 10' W	
	Nepeta x 'Walker's Low'	Walker's Low Catmint
SA4	20' T x 28' W	
	Sedum x 'Autumn Fire'	Autumn Fire Sedum
	24' T x 18' W	
GROUND COVERS	BOTANICAL NAME	COMMON NAME
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TURF	BOTANICAL NAME	COMMON NAME
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REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL
1	SNOW STORAGE AREAS	



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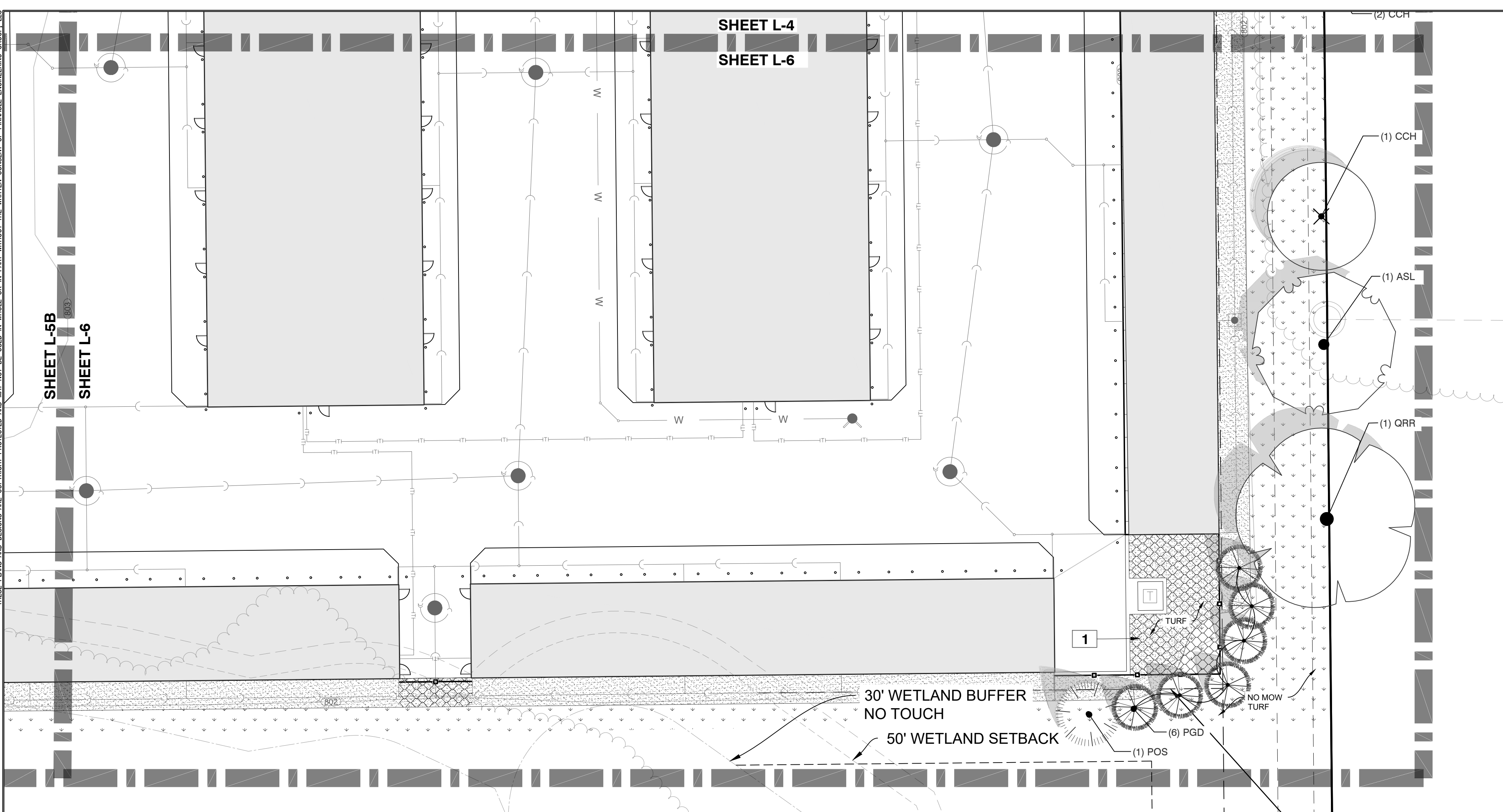
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ENLARGED LANDSCAPE PLAN

REVISIONS		SHEET
NO.	DESCRIPTION	
		L-5
		L-8

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 ENLARGED LANDSCAPE PLAN

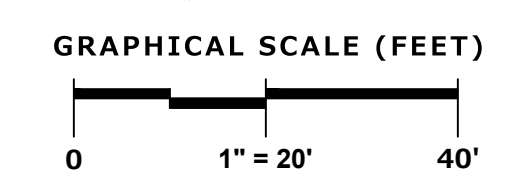
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PLANT KEY		
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PN2	Picea abies 'Nidiformis' 5' T x 7' W	Nest Spruce
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TH3	Thuja occidentalis 'Hetz Midget' 3' T x 3' W	Hetz Midget Arborvitae
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TURF	BOTANICAL NAME	COMMON NAME
	Turf Hydroseed Mix	Reinders - Cadet 70/30 Fescue/Blue
	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
	1 SNOW STORAGE AREAS	



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WEST MONARCH DRIVE, FRANKLIN, WI 53132

ENLARGED LANDSCAPE PLAN

REVISIONS	

SHEET
L-6
L-8
 PEG JOB No. 805.908
 M/G
 START DATE 01-12-24
 SCALE 1" = 20'
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 ENLARGED LANDSCAPE PLAN

GENERAL PLANTING NOTES

1. THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
3. NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
4. ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
5. ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
6. ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
7. TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
8. ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
9. BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
10. ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
11. ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
12. TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
13. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
14. ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
15. WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
16. THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
17. OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
18. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
19. ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
20. ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
21. FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
22. THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
23. ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
24. ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
25. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
26. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
27. TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
28. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
29. THE CONTRACTOR SHALL PROVIDE AND INSTALL AN IRRIGATION SYSTEM FOR THE AREAS *. IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED PER INDUSTRY STANDARDS.
30. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
31. THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
32. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
33. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
34. THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

DESIGNED: SAT
 DRAWN: SAT
 CHECKED: SUB
 REVIEWED: DUB
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SOIL PLACEMENT NOTES

1. LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENE TO A DEPTH OF 30".
2. THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
3. TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
5. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENE SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
6. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
7. FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
8. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
9. RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

NATIVE PLANTINGS

SPECIFICATIONS FOR HAND BROADCASTING:

SEEDING SHALL BE CONDUCTED IN LATE FALL (SEPTEMBER 1- SOIL FREEZE) SO THAT SEEDS MAY LIE DORMANT DURING THE WINTER, ALLOWING FOR STRATIFICATION, OR SPRING (MARCH 1-JUNE 1) TO ALLOW A COMPLETE GROWING SEASON TO BECOME ESTABLISHED
PRIOR TO SEEDING: ALL WEEDS AND EXISTING VEGETATION SHALL BE REMOVED. EXISTING VEGETATION SHALL BE TREATED WITH GLYPHOPHATE OR SIMILAR HERBICIDE BY A LICENSED PROFESSIONAL. TREATMENT SHALL OCCUR A MINIMUM OF 10 DAYS PRIOR TO SEEDING/PLANTING. VEGETATION STILL ALIVE AFTER INITIAL HERBICIDE TREATMENT SHALL BE TREATED A SECOND TIME PRIOR TO TILLING INTO THE SOIL.TREATED VEGETATION SHALL BE TILLED INTO THE SOIL NO EARLIER THAN 1 DAY PRIOR TO SEEDING.


- A. PREPARATION OF SOIL PRIOR TO SEEDING
 1. REFER TO CIVIL PLANS FOR SOIL MIX.
 2. ALL FOREIGN MATERIALS LARGER THAN 1-INCH SHALL BE REMOVED FROM THE SOIL PRIOR TO SEEDING OR PLANTING.
 3. AREA SHOULD BE FREE FROM UNSIGHTLY VARIATIONS, RIDGES, AND DEPRESSIONS.
 4. AVOID DRIVING OVER THE SPECIFIED AREA WITH MACHINERY.
- B. COVER CROP
 1. ANNUAL RYE SHALL BE SPREAD AT A DENSITY OF 20 POUNDS PER ACRE DURING THE PLANTING OR SEEDING OF THE NATIVE PLANT SPECIES TO STABILIZE THE SOIL AND REDUCE THE GROWTH OF UNWANTED VEGETATION. THIS ANNUAL GRASS GROWS RAPIDLY WITHOUT COMPETING WITH THE WILDFLOWERS AND GRASSES THAT ARE PLANTED IN THE TARGET AREAS.
 2. WINTER WHEAT OR PERENNIAL RYE SHALL NOT BE USED AS A COVER CROP. THESE GRASSES MAY OUT COMPETE PRAIRIE SEEDLINGS, LEADING TO A REDUCTION IN THE SUCCESS OF THE PLANTINGS.
- C. SEED MIX: MIX ALL PRAIRIE SEED WITH VERMICULITE ACCORDING TO AGRECOL RECOMMENDATIONS AND INSTALLATION GUIDELINES.
 1. BROADCAST HALF THE SEED OVER THE ENTIRE SITE OR TARGET AREA.
 2. BROADCAST THE OTHER HALF OF SEED PERPENDICULAR TO THE DIRECTION THAT THE FIRST HALF OF THE SEED WAS BROADCAST.
 3. COVER SEED WITH $\frac{1}{4}$ -INCH TO $\frac{1}{2}$ -INCH OF SOIL (USE ANY EXCESS SOIL FROM THE SITE) WITH RAKE OR DRAG.
 4. ROLL SITE TO ENSURE FIRM SEED-TO-GROUND CONTACT.
 5. KEEP SEED CONSTANTLY WET THROUGH GERMINATION PERIOD. GENERALLY 3 WEEKS.

ALL SEEDING SHALL BE COVERED WITH 1-INCH OF CLEAN, NON-INVASIVE STRAW (NO MARSH HAY, OR REED CANARY GRASS) WITHOUT SEEDS, WITHIN SEVEN DAYS. WHEAT, RYE, OATS, OR BARLEY ARE ACCEPTABLE FORMS OF STRAW. THOSE AREAS OF SLOPES STEEPER THAN 8:1 (EIGHT FEET HORIZONTAL TO ONE FOOT VERTICAL) SHALL BE PLANTED NO LATER THAN OCTOBER 1 AND STAKED WITH AN EROSION CONTROL BLANKET TO PREVENT EROSION.

NATIVE PLANTINGS:

WEED SUPPRESSION MEASURES:

- 1st YEAR** - PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. THIS SHOULD OCCUR APPROXIMATELY EVERY MONTH OF THE GROWING SEASON AFTER NATIVE PLANTINGS HAVE BEEN ROUGH GRADED.
- 2nd YEAR** - IN MAY/JUNE MOW NATIVE PLANTINGS AT 6" HEIGHT TO SUPPRESS THE WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. HAVE PROFESSIONAL ASSESS PLANTINGS. REPEAT MOWING NATIVE PLANTINGS AND SPOT-SPRAY IN EARLY JULY.
- 3rd YEAR** - IN MAY/JUNE MOW NATIVE PLANTINGS AT 8" HEIGHT TO SUPPRESS THE WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS.
- 4th YEAR** - IN MAY PERFORM A PRESCRIBED BURN. IN JUNE HAVE A QUALIFIED PROFESSIONAL ASSESS PLANTINGS. IF A PRESCRIBED BURN CAN NOT BE UTILIZED, NATIVE PLANTINGS SHALL BE CUT TO THE GROUND AND ALL CUT MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF SITE.



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 (262) 754-8888
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LOT 84 RISE COMMERCIAL DISTRICT
 WEST MONARCH DRIVE, FRANKLIN, WI 53132

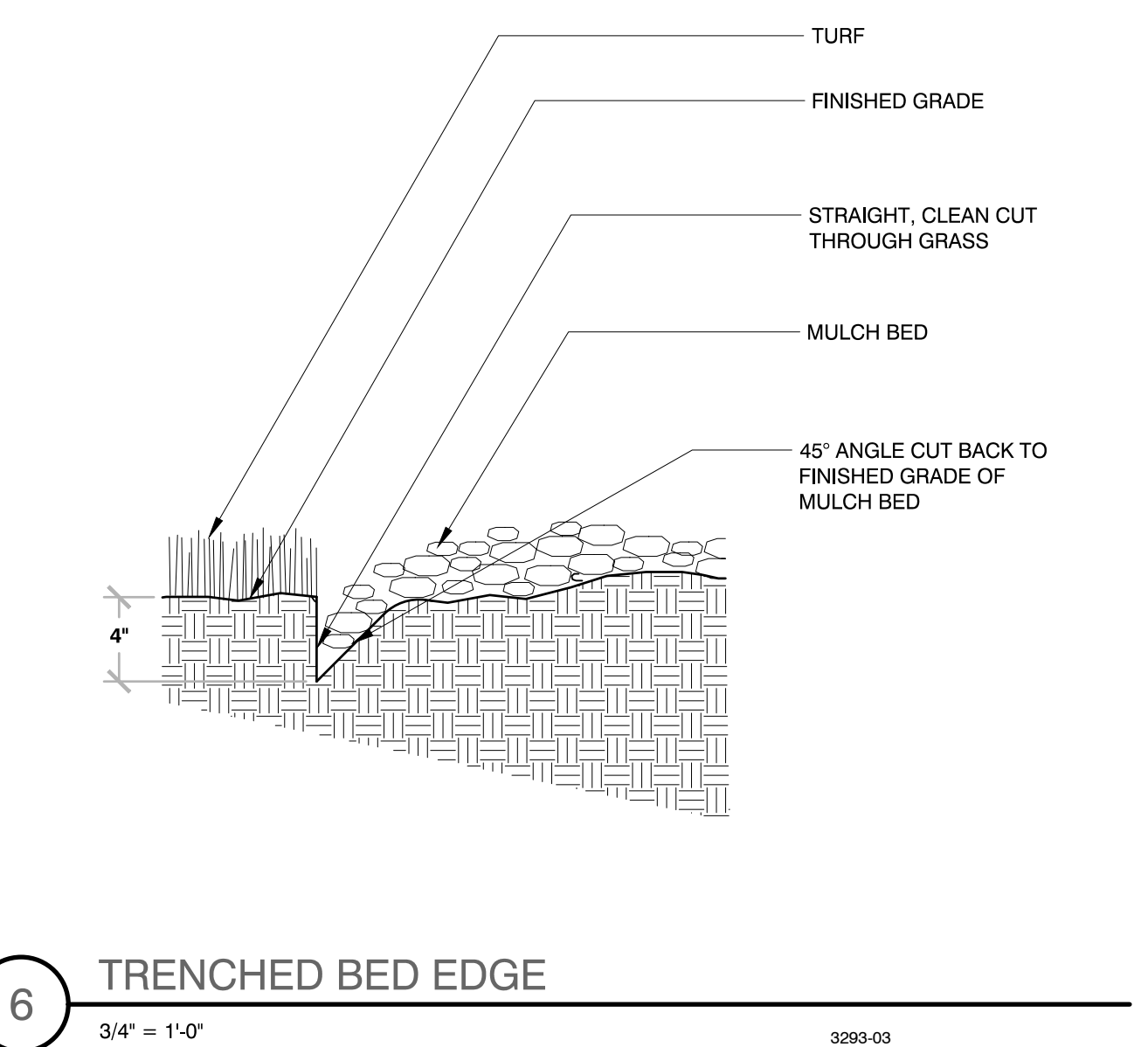
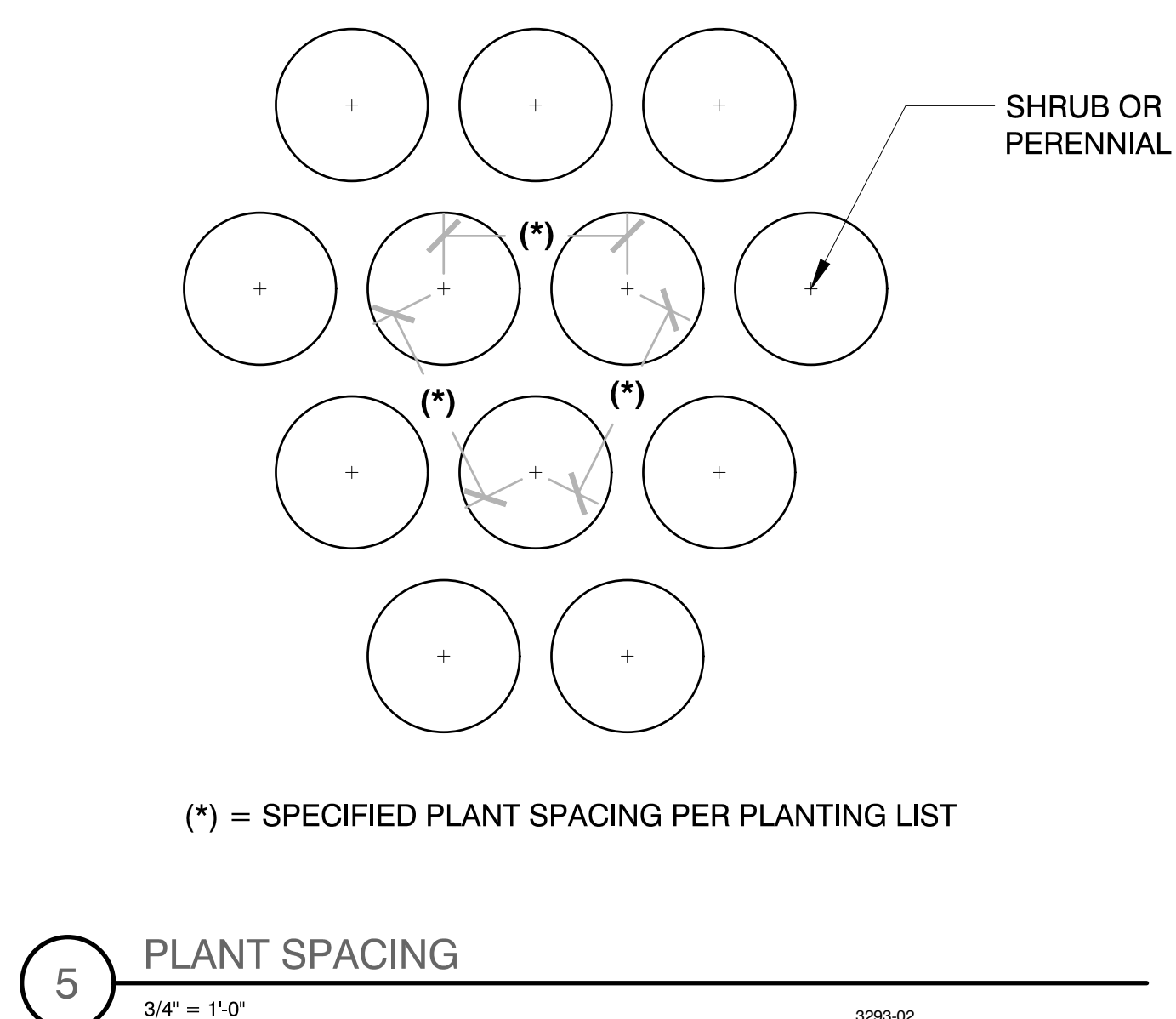
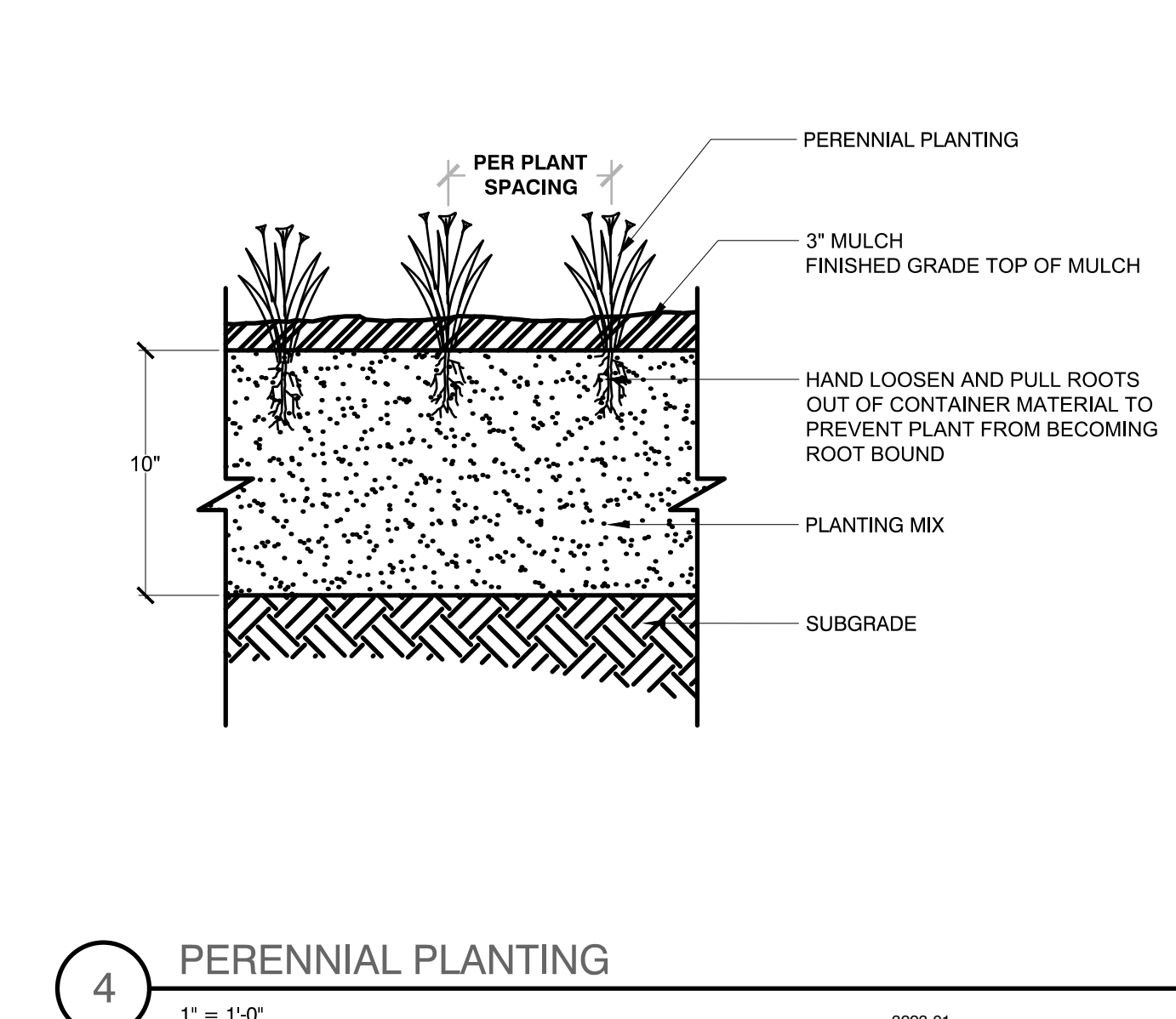
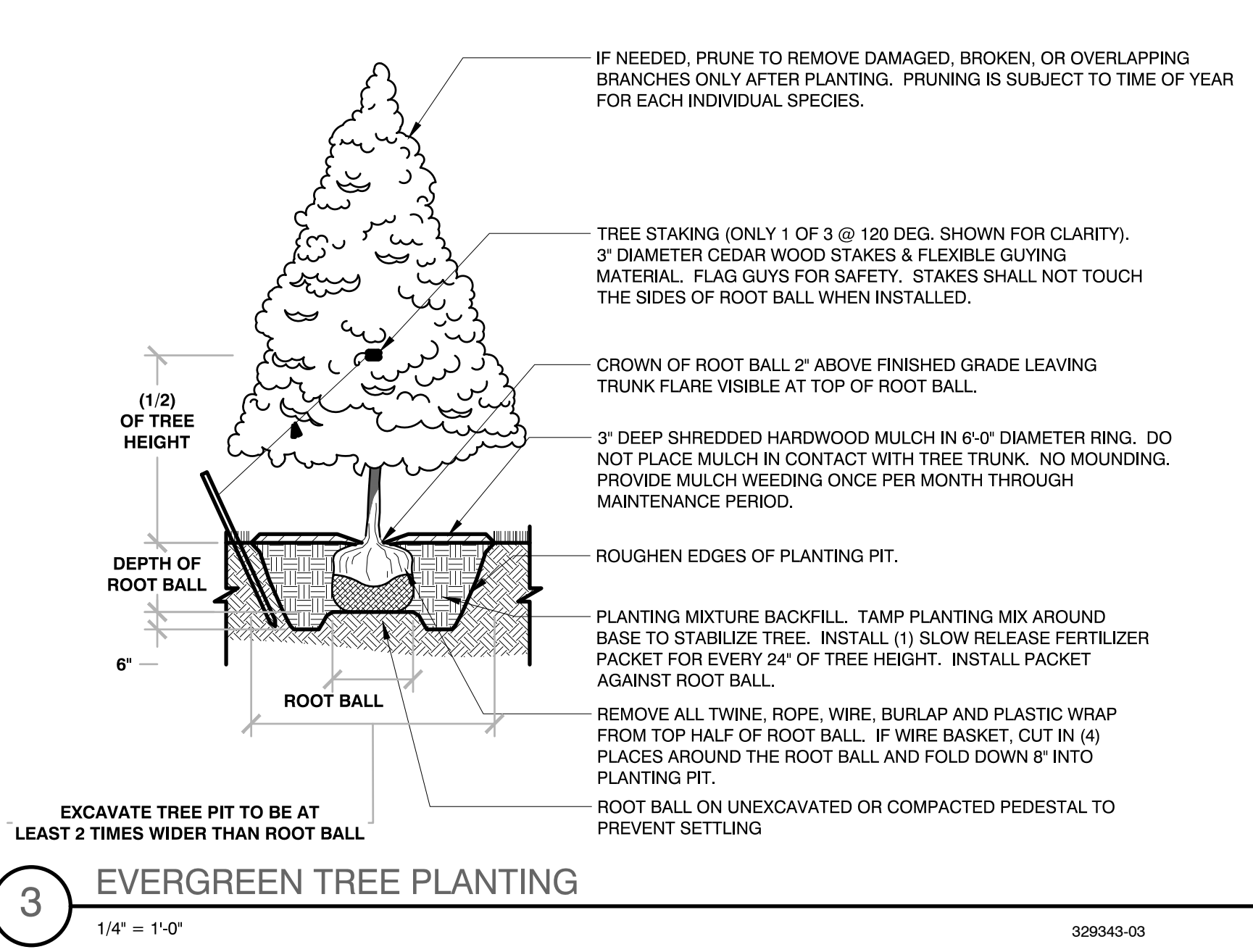
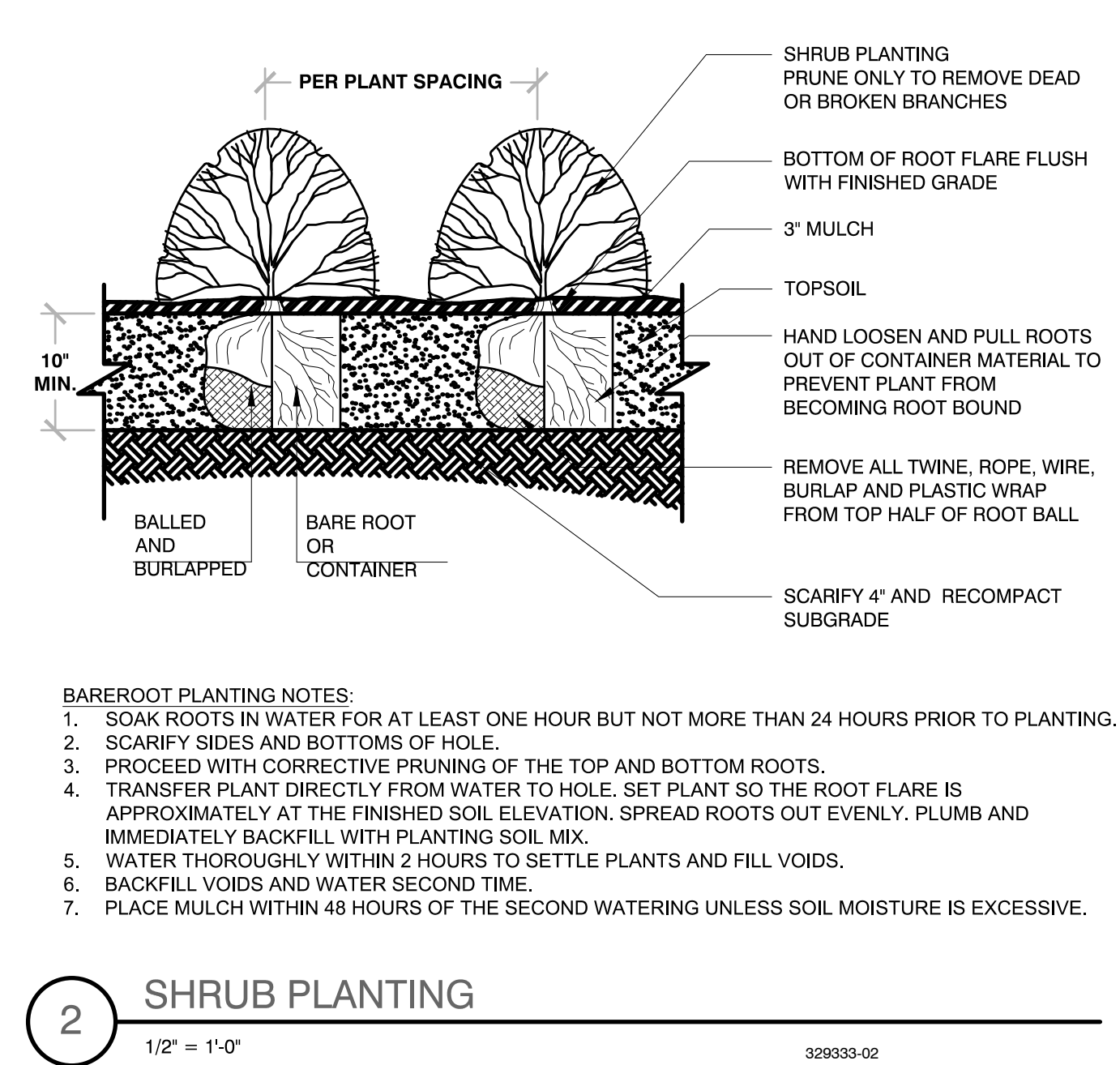
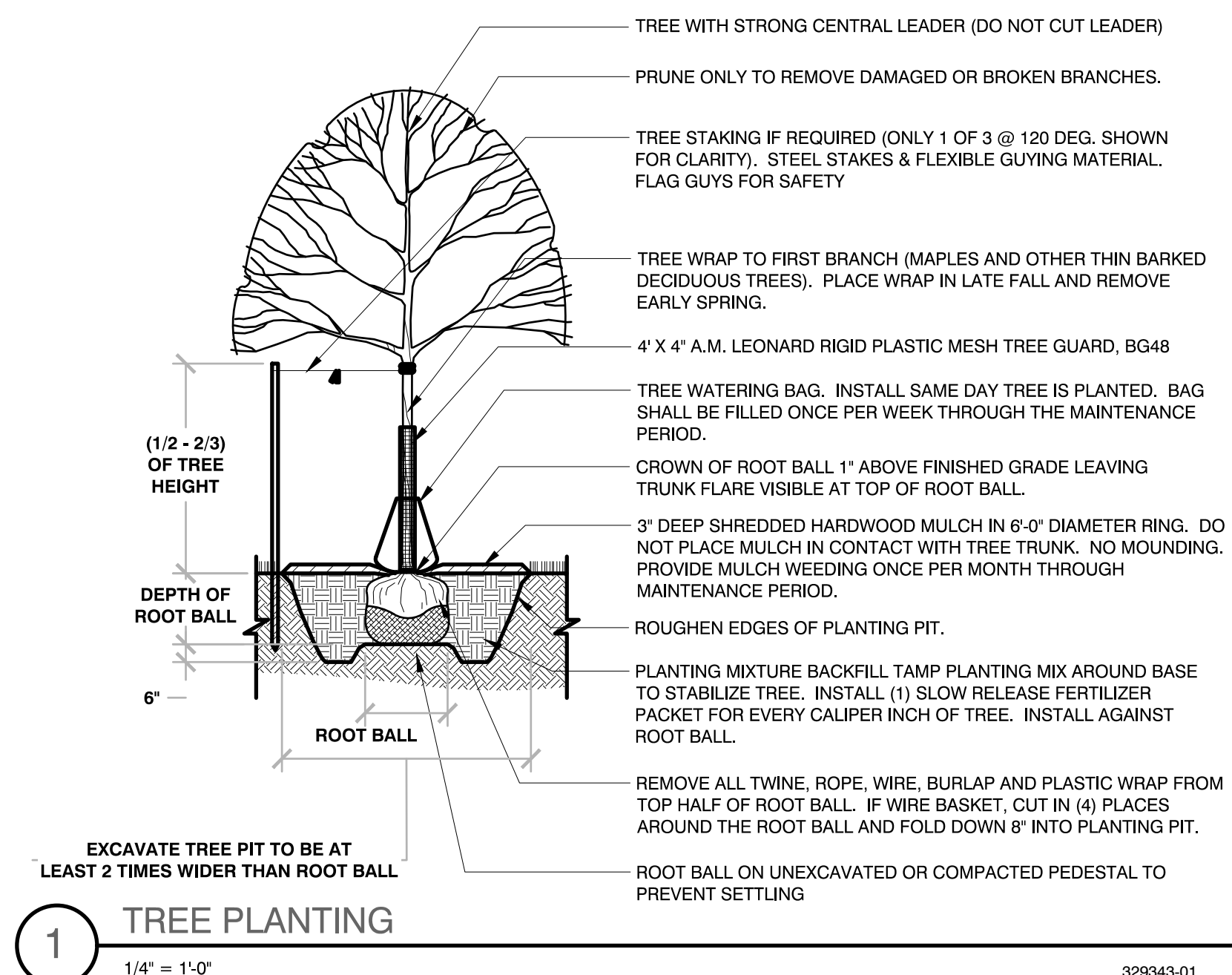
LANDSCAPE GENERAL NOTES

REVISIONS	
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PEG JOB NO. 809.908
 MISC
 START DATE 01-12-22
 SCALE VARIES

SHEET
 L-7
 L-8

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WEST MONARCH DRIVE, FRANKLIN, WI 53132

LANDSCAPE GENERAL DETAILS

REVISIONS	

PEG JOB No. 809.908
REG PM: MJC
START DATE: 01-12-22
SCALE: VARIES

SHEET
L-8
L-8

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LANDSCAPE GENERAL DETAILS
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CITY OF FRANKLIN

Item C.2

REPORT TO

THE PLAN COMMISSION

Meeting of May 5, 2022

Natural Resource Special Exception and Rezoning

RECOMMENDATION: Department of City Development Staff recommends approval of the rezoning request for the Blake and Mutter development. Recommended conditions of approval for the NRSE of are incorporated into the draft Standards, Findings and Decision of the Common Council.

Table with 2 columns: Label (Project Name, Project Location, Property Owner, Applicant, Current Zoning, 2025 Comprehensive Plan, Applicant's Action Requested, Planner) and Value (Blake NRSE and Rezoning, 0 W Lake Pointe Drive (839 9996 007), Crescent Construction, Karley J Blake & Jacob W Mutter, R-8 Multiple-Family Residence District, Residential and Areas of Natural Resource Features, Recommendation to the Common Council for approval of the Natural Resource Special Exception Application, Recommendation to the Common Council for approval of the Rezoning, Marion Ecks, Associate Planner)

On December 22, 2021, the applicant submitted applications requesting a rezoning of the property from R-8 Multiple Family Residence District to R-6 Suburban Single-Family Residence District, and approval of a Natural Resource Special Exception to allow for grading and installation of a driveway for a single family home.

Project Description and Analysis

The property is vacant of improvements or structures, and contains woodland, and a large wetland complex and related buffer and setback. W. Lakepoint Drive terminates at the northwest corner of the parcel. The applicant proposes to dedicate a 2,269 square foot area to the City and connect a driveway to this stub of W. Lake Pointe Drive.

Approved Certified Survey Map (CSM):

The property is currently Outlot 1 of CSM No. 6416, located at a stub of W. Lakepoint Dr. The applicant has obtained approval for a one-lot Certified Survey Map and Land Division Variance to allow for development of this single family home, which was approved on March 15, 2022. The Certified Survey Map request removed the outlot designation on this 3.45 acre property. Properties designated as outlots may not be developed without removal of the designation via a CSM.

Sewerage District (MMSD) without stormwater retention facilities. In this case, the applicant has opted for installation of Green Infrastructure stormwater facilities, which typically include native plantings.

Because impacts to the wetland itself are not proposed, additional approvals from the Department of Natural Resources are not required.

Temporary impacts to wetland setbacks must be restored to the standards of §15-4.0102.I.1 for plantings; native plantings are preferred. Plan Commission may also require the applicant to provide financial sureties securing this restoration. Staff recommends that orange construction fencing be installed during construction to protect the wetland buffer.

Conservation easements must be submitted for all natural resources to be protected (§15-4.0103.B.1.d, §15-7.0201.H), and staff recommends that boulders be placed at the boundary of the conservation easement areas to demarcate them.

The applicant has provided the attached Natural Resource Special Exception Application, Questionnaire, Project Description, and associated information.

Pursuant to Section 15-10.0208 of the Unified Development Ordinance (UDO), all requests for a Natural Resource Special Exception shall be provided to the Environmental Commission for its review and recommendation. The Environmental Commission heard the matter at their April 27, 2022 meeting and recommended approval without changes. Their recommendation is attached, and recommended conditions of approval have been incorporated into the draft Standards, Findings and Decision of the Common Council.

CONCLUSION

Natural Resource Special Exception (NRSE) Request

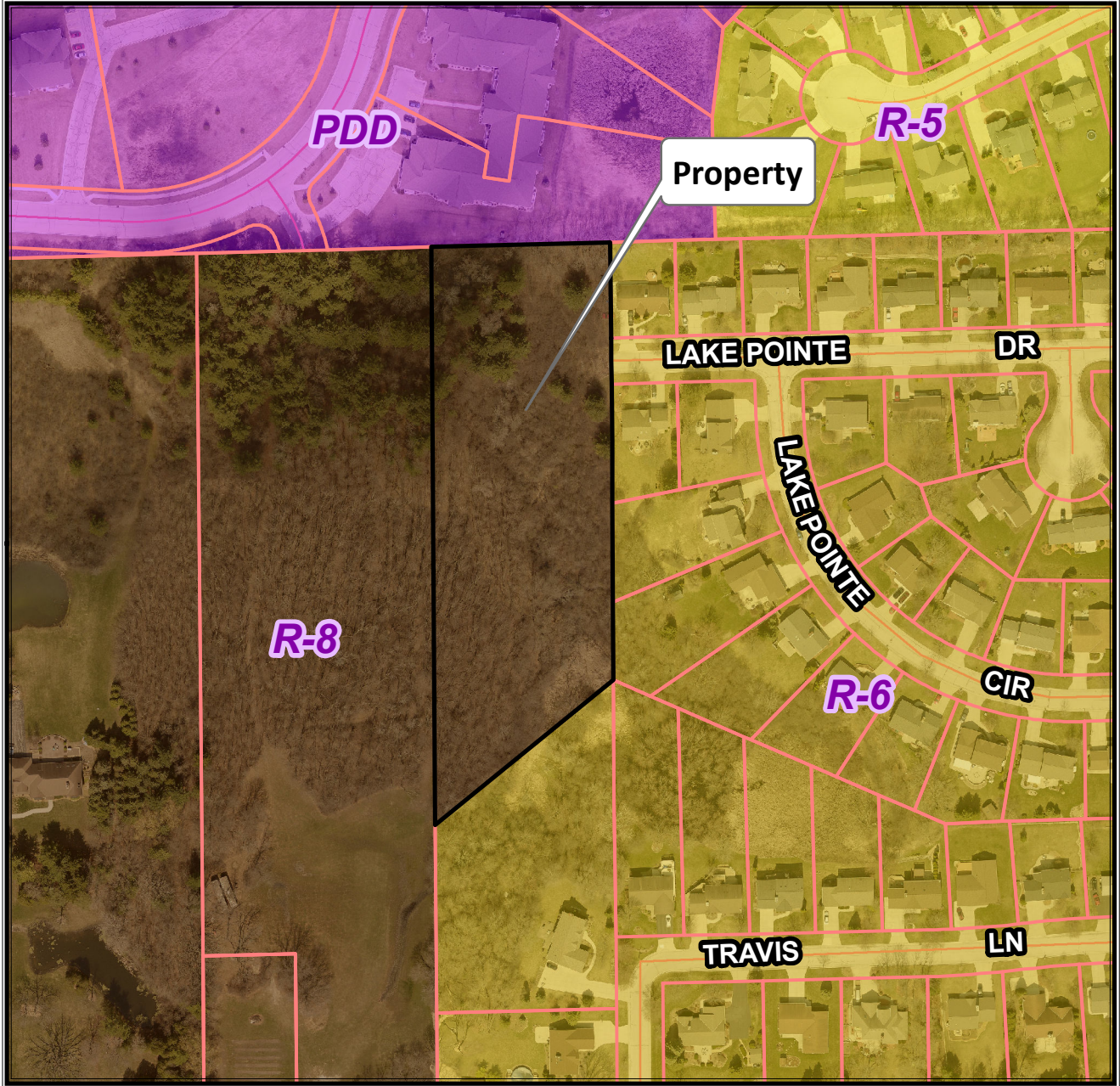
Staff and Environmental Commission recommendations for proposed conditions of approval for the NRSE are incorporated into the decisions section of the draft Standards, Findings, and Decision of the Common Council as recommended conditions of approval.

Per Section 15-10.0208 of the Unified Development Ordinance (UDO), the applicant shall have the burden of proof to present evidence sufficient to support a Natural Resource Special Exception (NRSE) request. The applicant has presented evidence for the request by answering the questions and addressing the statements that are part of the Natural Resource Special Exception (NRSE) application. The applicant's responses to the application's questions and statements are attached for your review.

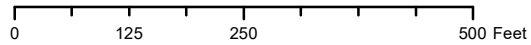
Also attached is a copy of the document titled, "City of Franklin Environmental Commission" that reflects the review of the Environmental Commission which must be forwarded to the Common Council. The questions and statements on this document correspond with the Natural Resource Special Exception (NRSE) application questions and statements that the applicant has answered and addressed.

Rezoning

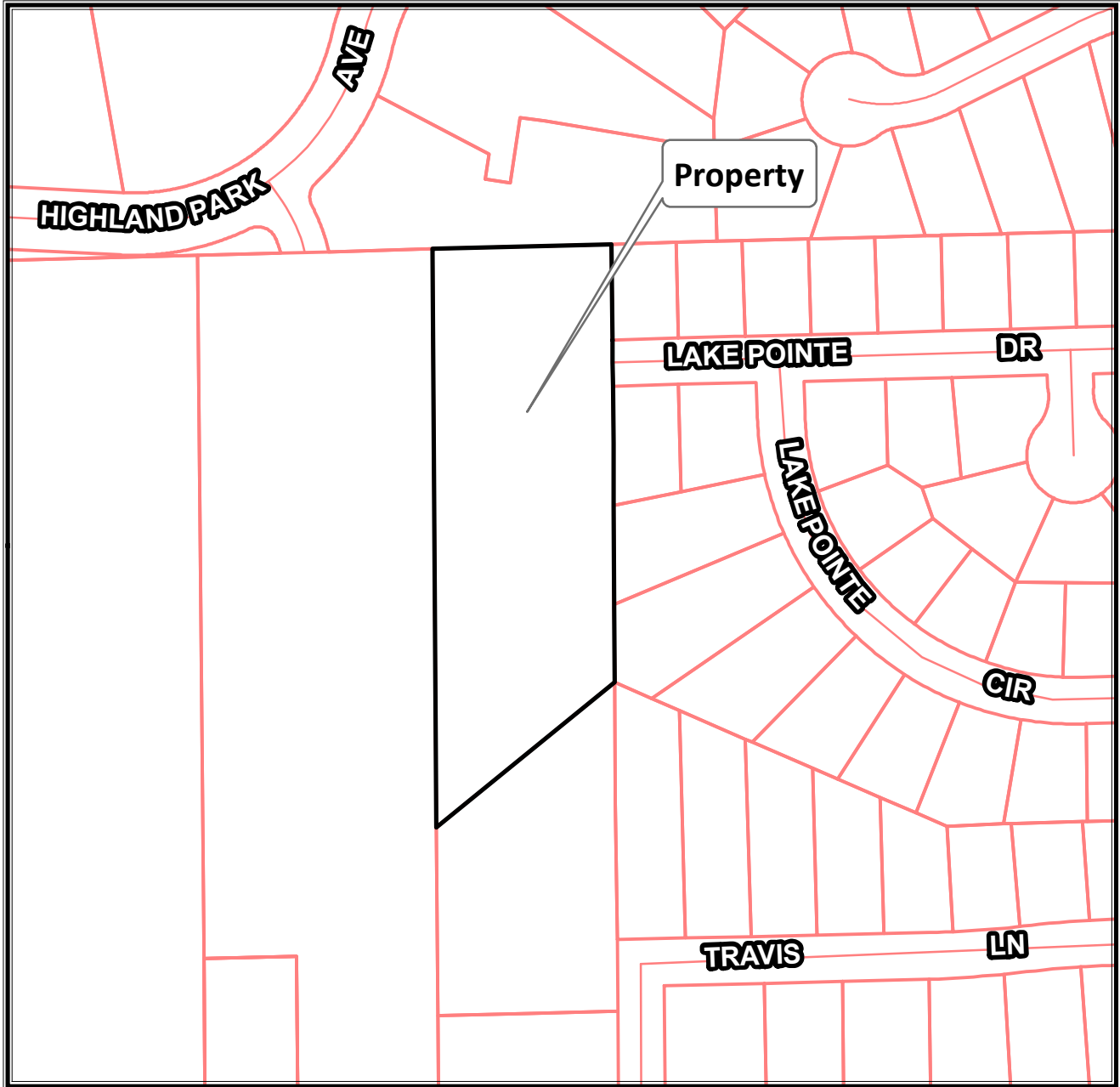
City Development staff recommends approval of the Rezoning, subject to the conditions set forth in the attached ordinance.



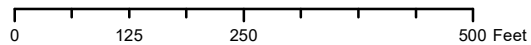
Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

[redraft 4-28-22]

ORDINANCE NO. 2022-_____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT
ORDINANCE (ZONING MAP) TO REZONE A CERTAIN PARCEL OF
LAND FROM R-8 MULTIPLE-FAMILY RESIDENCE DISTRICT TO
R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT
(SPECIFICALLY LOCATED AT THE ABRUPT, WEST DEAD
END OF WEST LAKE POINTE DRIVE)
(APPROXIMATELY 3.45 ACRES)
(KARLEY J. BLAKE AND JACOB W. MUTTER, APPLICANTS)

WHEREAS, Karley J. Blake and Jacob W. Mutter, LLC having petitioned for the rezoning of approximately 3.45 acres of land, from R-8 Multiple-Family Residence District to R-6 Suburban Single-Family Residence District, such land specifically located at the abrupt, west dead end of West Lake Pointe Drive (on the east property line of the parcel, abutting the northwest portion of Lake Pointe Estates subdivision); and

WHEREAS, a public hearing was held before the City of Franklin Plan Commission on the 5th day of May, 2022, upon the aforesaid petition and the Plan Commission thereafter having determined that the proposed rezoning would promote the health, safety and welfare of the City and having recommended approval thereof to the Common Council; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission and having determined that the proposed rezoning is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and would promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended to provide that the zoning district designation for land specifically located at the abrupt, west dead end of West Lake Pointe Drive (on the east property line of the parcel, abutting the northwest portion of Lake Pointe Estates subdivision), described below, be changed from R-8 Multiple-Family Residence District to R-6 Suburban Single-Family Residence District:

Outlot 1 of Certified Survey Map No. 6416 – Southwest 1/4 of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

Tax Key No.: 839-9996-007.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

City of Franklin Environmental Commission

TO: Common Council
DATE: April 27, 2022
RE: Special Exception application review and recommendation
APPLICATION: Karley J. Blake and Jacob W. Mutter, Applicants, dated:
December 23, 2021
(specifically located at the abrupt, west dead end of West Lake
Pointe Drive (on the east property line of the parcel, abutting the
northwest portion of Lake Pointe Estates subdivision)

I. §15-9.0110 of the Unified Development Ordinance Special Exception to Natural Resource Feature Provisions Application information:

1. Unified Development Ordinance Section(s) from which Special Exception is requested: *The Special Exception is being requested to waive the standards of UDO Part 4 Natural Resource Protection, specifically the requirements of §15-4.0102I Natural Resource Features Determination for Wetland Setbacks.*
2. Nature of the Special Exception requested (description of resources, encroachment, distances and dimensions): *Permanent impacts to approximately 1,730 square feet of wetland setbacks.*
3. Applicant's reason for request: *Grading, installation of a driveway and installation of green infrastructure stormwater areas.*
4. Applicant's reason why request appropriate for Special Exception: *The applicant states that "Unlike the adjoining parcels surrounding the site, this parcel is fully undeveloped and comprised of natural resources including approximately 0.9 acres of delineated wetland. As a result, invasive common buckthorn has been able to proliferate without incentive to apply mitigation strategies. This has resulted in the deterioration of beneficial natural resources on the property, including but not limited to the reduction of the present wetland by approximately 35% of the previously delineated size (previous delineation completed July 24, 2002 by Thompson and Associates Wetland Service). The development, including the relatively minimal encroachment of the 50ft wetland setback, would employ incentive, starting at the initial stages of development, to largely mitigate the negative impacts of*

the invasive common buckthorn while also continuing to incentivize mitigation strategies in the future. Thus, this request is an appropriate case for approval of a Special Exception because the impacts of the requested exception are minimal in comparison to natural resource benefits gained as a result of such exception.”

II. Environmental Commission review of the §15-9.0110C.4.f. Natural Resource Feature impacts to functional values:

1. Diversity of flora including State and/or Federal designated threatened and/or endangered species: *Not applicable*
2. Storm and flood water storage: *The applicant will provide Green Infrastructure to manage rainfall on impermeable surfaces.*
3. Hydrologic functions: *The applicant will provide Green Infrastructure to manage rainfall on impermeable surfaces.*
4. Water quality protection including filtration and storage of sediments, nutrients or toxic substances: *The applicant will provide Green Infrastructure to manage rainfall on impermeable surfaces.*
5. Shoreline protection against erosion: *Not applicable*
6. Habitat for aquatic organisms: *Not applicable*
7. Habitat for wildlife: *The applicant has proposed a minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards.*
8. Human use functional value: *The location and configuration of the wetland limits the possible locations for structures. The applicant has proposed a minimally impactful design that still allows for development and human use.*
9. Groundwater recharge/discharge protection: *The applicant will provide Green Infrastructure to manage rainfall on impermeable surfaces.*
10. Aesthetic appeal, recreation, education, and science value: *The location and configuration of the wetland limits the possible locations for structures. The applicant has proposed a minimally impactful design that still allows for development and human use. The minimal impact to the 50ft wetland setback would not negatively affect the aesthetics of the parcel as removal of invasive common buckthorn would allow other, non-impacted areas, to flourish accordingly.*

11. State or Federal designated threatened or endangered species or species of special concern: *Not applicable*
12. Existence within a Shoreland: *Not applicable*
13. Existence within a Primary or Secondary Environmental Corridor or within an Isolated Natural Area, as those areas are defined and currently mapped by the Southeastern Wisconsin Regional Planning Commission from time to time: *Not applicable*

III. Environmental Commission review of the §15-10.0208B.2.d. factors and recommendations as to findings thereon:

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *the wetland on the parcel is a naturally occurring feature. The location and configuration of the wetland limits the possible locations for structures.*
2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:
 - a. be unreasonably burdensome to the applicants and that there are no reasonable practicable alternatives: _____ ; *or*
 - b. unreasonably and negatively impact upon the applicants' use of the property and that there are no reasonable practicable alternatives: *The location and configuration of the wetland limits the possible locations for structures. Alternative configurations would still require impacts to natural resources.*
3. The Special Exception, including any conditions imposed under this Section will:
 - a. be consistent with the existing character of the neighborhood: *The proposed development of a single-family home is consistent with the proposed zoning (R-6) and the zoning and character of the neighborhood.* _____ ; *and*
 - b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: *The applicant has proposed a minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards; and*
 - c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: *The applicant has proposed a*

minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards; and

- d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development (*this finding only applying to an application to improve or enhance a natural resource feature*):

IV. Environmental Commission review of the §15-10.0208B.2.a., b. and c. factors and recommendations as to findings thereon:

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: *The setback requirements (e.g. side yard, front yard, etc.) of the proposed R-6 Suburban Single-Family Residence District Setback Development Standards (Table §15-3.0207) will be followed. The applicant has proposed a design based on these requirements that still attempts to minimize impacts to natural resources to the degree possible.*
2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: *the wetland on the parcel is a naturally occurring feature. The location and configuration of the wetland limits the possible locations for structures.*
3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: *Prior to this development proposal, the property was designated as an Outlot, with R-8 multifamily zoning which would allow for a greater intensity of development. By allowing reasonable development that meets the protection standards (Natural Resource Protection Standards §15-4.0101) the majority of existing natural resources will be preserved.*
4. Aesthetics: *The applicant has proposed a minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards;*
5. Degree of noncompliance with the requirement allowed by the Special Exception: *The applicant has proposed a minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards;*
6. Proximity to and character of surrounding property: *The proposed development will not impact surrounding properties to a greater degree than any other development proposal.*

7. Zoning of the area in which property is located and neighboring area: *Prior to this development proposal, the property was designated as an Outlot, with R-8 multifamily zoning which would allow for a greater intensity of development. The applicant proposes to rezone the parcel to R-6 to conform with the adjacent developed subdivision's zoning classification. By allowing reasonable development that meets the protection standards (Natural Resource Protection Standards §15-4.0101) the majority of existing natural resources will be preserved.*

8. Any negative affect upon adjoining property: *The proposed development will not impact surrounding properties to a greater degree than any other development proposal.*

9. Natural features of the property: *The applicant has proposed a minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards;*

10. Environmental impacts: *The applicant has proposed a minimally impactful design and developed alternatives based on feedback from the City. This request is in harmony with the purpose of the Natural Resource Protection Standards. The applicant will provide Green Infrastructure to manage rainfall on impermeable surfaces.*

V. Environmental Commission Recommendation:

The Environmental Commission has reviewed the subject Application pursuant to §15-10.0208B. of the Unified Development Ordinance and makes the following recommendation:

1. The recommendations set forth in Sections III. and IV. Above are incorporated herein.
2. The Environmental Commission recommends [approval] [denial] of the Application upon the aforesaid recommendations for the reasons set forth therein.
3. The Environmental Commission recommends that should the Common Council approve the Application, that such approval be subject to the following conditions:
 - a. The applicant shall submit conservation easements for areas of preserved natural resources (§15-4.0103.B.1.d, §15-7.0201.H) for Common Council review and approval, prior to any land disturbing activities.
 - b. The applicant shall obtain any necessary approvals from Federal and State regulatory agencies (§15-10.0208.B.3) prior to any land disturbing activities.

- c. The applicant shall provide for restoration of wetland setback that conforms to the standards of §15-4.0102I for appropriate plantings. Turf grasses are prohibited. Non-vegetative cover is permitted in areas subject to erosion. Plan Commission may require financial sureties for implementation of restoration, as permitted by §15-4.0103.D.
- d. The applicant shall place boulders or other markers to demarcate the conservation easement boundary on the property.
- e. The applicant shall install temporary orange construction fencing at the boundary of the 30' wetland buffer during construction to protect Natural Resources.

The above review and recommendation was passed and adopted at a regular meeting of the Environmental Commission of the City of Franklin on the _____ day of _____, 2022.

Dated this ____ day of _____, 2022.

Linda Horn, Chairman

Attest:

Jamie Groark, Vice-Chairman

Draft 5/5/22

Standards, Findings and Decision
of the City of Franklin Common Council upon the Application of Karley J. Blake and
Jacob W. Mutter, applicants, for a Special Exception
to Certain Natural Resource Provisions of the City of Franklin
Unified Development Ordinance

Whereas, Karley J. Blake and Jacob W. Mutter, applicants, having filed an application dated December 23, 2021, for a Special Exception pursuant to Section 15-9.0110 of the City of Franklin Unified Development Ordinance pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature; a copy of said application being annexed hereto and incorporated herein as Exhibit A; and

Whereas, the application having been reviewed by the City of Franklin Environmental Commission and the Commission having made its recommendation upon the application, a copy of said recommendation dated April 27, 2022 being annexed hereto and incorporated herein as Exhibit B; and

Whereas, following a public hearing before the City of Franklin Plan Commission, the Plan Commission having reviewed the application and having made its recommendation thereon as set forth upon the report of the City of Franklin Planning Department, a copy of said report dated May 5, 2022 being annexed hereto and incorporated herein as Exhibit C; and

Whereas, the property which is the subject of the application for a Special Exception is specifically located at the abrupt, west dead end of West Lake Pointe Drive (on the east property line of the parcel, abutting the northwest portion of Lake Pointe Estates subdivision), currently zoned R-8 Multiple-Family Residence District (the requested Special Exception to Natural Resource Feature Provisions is contingent upon approval of a concurrent rezoning application to rezone the property to R-6 Suburban Single-Family Residence District), and such property is more particularly described upon Exhibit D annexed hereto and incorporated herein; and

Whereas, Section 15-10.0208B. of the City of Franklin Unified Development Ordinance, as amended by Ordinance No. 2003-1747, pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature, provides in part: “The decision of the Common Council upon any decision under this Section shall be in writing, state the grounds of such determination, be filed in the office of the City Planning Manager and be mailed to the applicant.”

Now, Therefore, the Common Council makes the following findings pursuant to Section 15-10.0208B.2.a., b. and c. of the Unified Development Ordinance upon the application for a Special Exception dated December 23, 2021, by Karley J. Blake and Jacob W. Mutter, applicants, pursuant to the City of Franklin Unified Development Ordinance, the proceedings heretofore had and the recitals and matters incorporated as set forth above, recognizing the applicant as having the burden of proof to present evidence sufficient to support the following findings and that such findings be made by not less than four members of the Common Council in order to grant such Special Exception.

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *but rather*, _____.
2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:
 - a. be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives: _____; *or*
 - b. unreasonably and negatively impact upon the applicant's use of the property and that there are no reasonable practicable alternatives: _____.
3. The Special Exception, including any conditions imposed under this Section will:
 - a. be consistent with the existing character of the neighborhood: *the proposed development with the grant of a Special Exception as requested will be consistent with the existing character of the neighborhood; and*
 - b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: _____; *and*
 - c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: _____; *and*
 - d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development: *(this finding only applying to an application to improve or enhance a natural resource feature).*

The Common Council considered the following factors in making its determinations pursuant to Section 15-10.0208B.2.d. of the Unified Development Ordinance.

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: _____.
2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: _____.
3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: _____.
4. Aesthetics: _____.
5. Degree of noncompliance with the requirement allowed by the Special Exception: _____.
6. Proximity to and character of surrounding property: _____.
7. Zoning of the area in which property is located and neighboring area: *Residential*.
8. Any negative affect upon adjoining property: *No negative affect upon adjoining property is perceived.*
9. Natural features of the property: _____.
10. Environmental impacts: _____.
11. A recommendation from the Environmental Commission as well as a review and recommendation prepared by an Environmental Commission-selected person knowledgeable in natural systems: *The Environmental Commission recommendation and its reference to the report of April 27, 2022 is incorporated herein.*
12. The practicable alternatives analysis required by Section 15-9.0110C.4. of the Unified Development Ordinance and the overall impact of the entire proposed use or structure, performance standards and analysis with regard to the impacts of the proposal, proposed design solutions for any concerns under the Ordinance, executory actions which would maintain the general intent of the Ordinance in question, and other factors relating to the purpose and intent of the Ordinance section imposing the requirement: *The Plan Commission recommendation and the Environmental Commission recommendation address these factors and are incorporated herein.*

Decision

Upon the above findings and all of the files and proceedings heretofore had upon the subject application, the Common Council hereby grants a Special Exception for such relief as is described within Exhibit C, upon the conditions:

- 1) that the natural resource features and mitigation areas upon the properties to be developed be protected by a perpetual conservation easement to be approved by the Common Council prior to any development within the areas for which the Special Exception is granted prior to the issuance of any Occupancy Permits;*
- 2) that the applicant obtain all other necessary approval(s) from all other applicable governmental agencies prior to any development within the areas for which the Special Exception is granted;*
- 3) that all development within the areas for which the Special Exception is granted shall proceed pursuant to and be governed by the approved Natural Resource Protection Plan and all other applicable plans for Karley J. Blake and Jacob W. Mutter, applicants, and all other applicable provisions of the Unified Development Ordinance.*
- 4) that the applicant shall provide for restoration of wetland setback that conforms to the standards of §15-4.0102I for appropriate plantings. Turf grasses are prohibited. Non-vegetative cover is permitted in areas subject to erosion. Plan Commission may require financial sureties for implementation of restoration, as permitted by §15-4.0103.D.*
- 5) that the applicant shall place boulders or other markers to demarcate the conservation easement boundary on the property.*
- 6) that the applicant shall install temporary orange construction fencing at the boundary of the 30' wetland buffer during construction to protect Natural Resources.*

The duration of this grant of Special Exception is permanent.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

Legal Description

Outlot 1 of Certified Survey Map No. 6416 – Southwest $\frac{1}{4}$ of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

Project Summary

General

The site is located in the SW $\frac{1}{4}$ of Section 16, Township 5 North, Range 21 East in the City of Franklin, Milwaukee County, Wisconsin – it abuts the northwest portion of Lake Pointe Estates subdivision. The parcel is approximately 3.45 acres and is currently zoned R-8 Multiple-Family Residence District with intention of re-zoning to R-6 Suburban Single-Family Residence District.

The parcel contains approximately 0.9 acres of delineated wetland (assured wetland delineation completed by Thompson and Associates Wetland Service on May 12, 2021). The wetland extends north to the center of the parcel from the southeast corner of the parcel. The land slopes to the wetland at varying degrees and is covered with mature hardwood forest on the west side of the parcel and mature conifer forest on the north end of the parcel.

Proposed Development

The proposed development for the site looks to maximize and maintain the natural resources of the parcel while developing the parcel to an extent consistent with adjacent parcels within the Lake Pointe Estates subdivision. The wetland boundaries, as determined by Thompson and Associates Wetland Service, May 12, 2021, would be respected fully with no additional impact to the identified wetland buffer per Wisconsin Department of Natural Resources and City of Franklin requirements, respectively. A Natural Resource Special Exception will be requested to allow for driveway and landscaping impacts, primarily rain gardens to effectively manage storm water runoff (see Storm Water Management Plan), to the wetland setback due to the expanse and location of the wetland within the parcel. Invasive common buckthorn (*Rhamnus cathartica*), absent from previous ecologist survey and delineations (circa 2002), has begun to severely impact the parcel (Wetland Delineation Report can be provided upon request) by significantly affecting the mature hardwood forest and wetland established on the property (see Figure 1 – 3). Lack of development of the property has resulted in inadequate incentive to reduce and remove this invasive species which will continue to propagate the established natural resources both within the parcel as well as adjacent to the parcel. The proposed development of the parcel will require removing invasive common buckthorn from areas with the highest concentration (see Natural Resource Protection Plan) of the invasive species while also establishing an incentive for the developer (i.e. home owner) to continue to remove invasive common buckthorn throughout the rest of the parcel to maintain the valuable natural resources that still exist.

The development proposal includes re-zoning from a higher-density R-8 Multiple-Family Residence District to a more density-appropriate R-6 Single-Family Residential District and removing the current outlot designation from the parcel. The development would include erecting a two-story, single-family home, roughly 3,500sq.ft. in size, as well as a potential secondary, detached garage as a future development. It is believed, due to the extent of the natural resources on the property, that developments typical to R-8 zoning would exceed the Natural Resource Protection Standards (Unified Development Ordinance §15-4.0101) established by the City of Franklin and would likely require more severe impacts to the established wetlands. However, R-6 zoning, which is consistent with the parcels east and south of the identified site, would be more appropriate to meet the Natural Resource Protection Standards while also developing the site fully. The Comprehensive Master Plan (2025) identifies the site as an area of natural resource which doesn't preclude development. Yet maintaining the parcel as an outlot will not incentivize removal of the invasive common buckthorn infiltrating the parcel. Thus, allowing the parcel to be developed to R-6 zoning standards will elicit motivation to maintain the valuable natural resources that still exists.

The proposed development will also support the community by improving the dead-end located at the west end of W Lake Pointe Drive. Currently, without an established cul-de-sac typically required (§15-5.0106.C), or an adequate extended right-of-way at the end of W Lake Pointe Drive, this type of abrupt dead-end (Figure 4) can create access and service difficulties for emergency services, delivery services (i.e. USPS), and the department of public works (i.e. snow plows), among other agencies. For example, currently during winter months, snow from W Lake Pointe Drive is pushed directly on to this parcel via City of Franklin snow removal efforts; with enough snow, the fire hydrant located in the north right-of-way at the end of W Lake Pointe Drive (Figure 5), becomes blocked with >8-foot-high snow drifts. The proposed development would extend, to City of Franklin Design Standards and Construction Specifications, W Lake Pointe Drive an estimated 20 feet beyond the fire hydrant and would establish an additional estimated 15 feet of functional right-of-way at the newly constructed west end of W Lake Pointe Drive to allow for snow removal efforts to be contained to the public right-of-way. The extension of the road and right-of-way would also allow for increased space for emergency services, delivery services, etc. to more effectively access and serve residences already established on W Lake Pointe Drive since gutters, curb, etc. would not be extended on the south side of the road (e.g. flat, inhibited, surface available to turn around emergency vehicles, snow plows, etc.) but instead would contain a 3-foot gravel shoulder. A 90-foot radius cul-de-sac typically required by the City of Franklin to terminate existing subdivision roadways (§15-5.0106.C) would not be feasible for this parcel due to the proximity of established wetlands to W Lake Pointe Drive (see Natural Resource Protection Plan). The extension of the road, in addition to the single-family home development, still meets the established Natural Resource Protection Standards (§15-4.0101) required of the parcel.

Per determination of the City of Franklin City Engineer, Plumbing Inspector and Department of Water Utility, the proposed development would also be required to connect to both city water and city sewer. Discussion on what these utility connections would entail continue with the Engineering department.

List of Figures



Figure 1. Area of nearly 100% coverage of invasive common buckthorn located at the end of W Lake Pointe Drive (see Natural Resource Protection Plan Map).



Figure 2-3. Examples of invasive common buckthorn infiltrating and out-competing beneficial natural resources within the mature hardwood forest areas.



Figure 4. Abrupt dead-end located at the west end of W Lake Pointe Drive on the east property line of parcel.



Figure 5. Proximity of fire hydrant to the dead-end located at the west end of W Lake Pointe Drive.

Date: April 22, 2022
To: Department of City Development
From: Karley J Blake & Jacob W Mutter
RE: Rezoning – Staff Comments – TKN 839 9996 007

Please see comments and responses *italicized* below.

City of Franklin - Department of City Development

Date: April 14, 2022
To: Karley J Blake & Jacob W Mutter
From: Department of City Development
RE: Rezoning – Staff Comments – TKN 839 9996 007

Department comments are as follows for the application to Rezone the property bearing TKN 839 9996 007 from R-8 Multiple Family Residence District to R-6 Suburban Single Family Residence District submitted by Karley J Blake & Jacob W Mutter, date stamped by the City of Franklin on December 22, 2021.

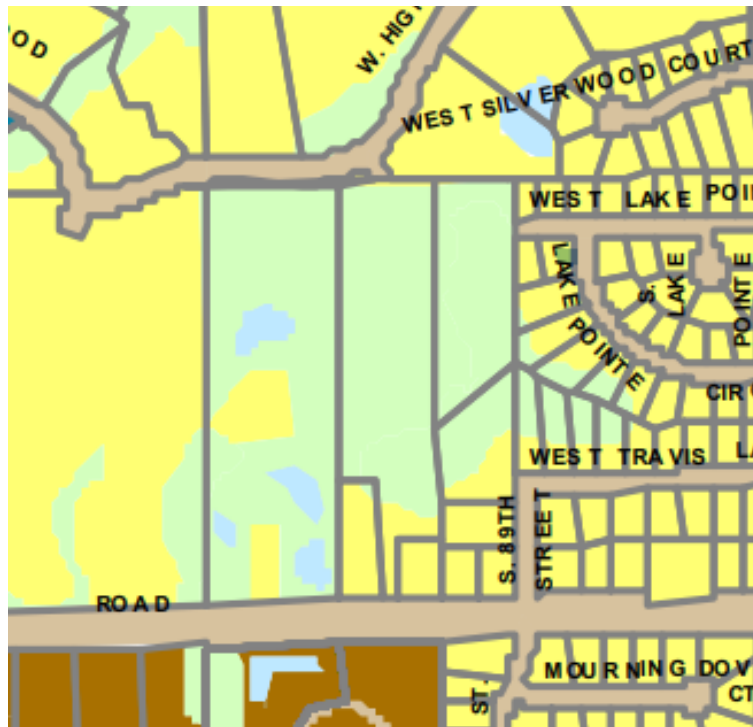
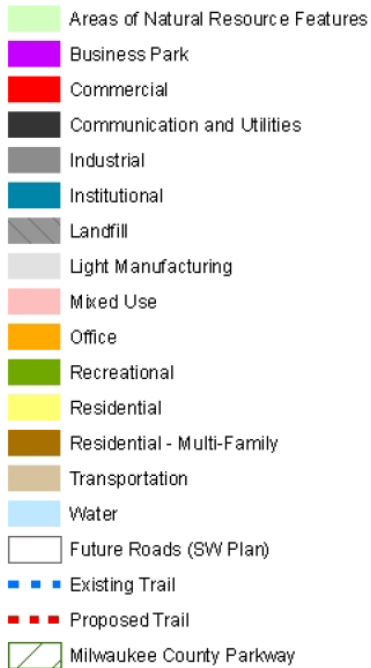
Unified Development Ordinance (UDO) Requirements:

Requests for change or amendment to zoning of specific properties are regulated by the standards of UDO Division 15-9.0200 “Unified Development Ordinance Text and Zoning Map Changes and Amendments.”

1. **Future Land Use Designation.** Pursuant to Wis. Stats. § 66.1001(3), a rezoning ordinance needs to be consistent with the local comprehensive plan. The property to be rezoned is designated as “Areas of Natural Resources” in the future land use map of the City of Franklin 2025 Comprehensive Master Plan, abutting residential land uses. The Natural Resource designation serves to indicate natural resources, not preclude development. This lot was previously determined to be developable by the Common Council through a Certified Survey Map. It should be noted that proposal for a single-family residential home will result in a lesser degree of disturbance to natural resource areas than a more intense multi-family development.

As noted, although the future land use map of the City of Franklin 2025 Comprehensive Master Plan identifies the parcel as an “Areas of Natural Resource Features”, the proposed development would mimic the degree of development to the west, south, and east of the parcel, as indicated on the same map. With the development as proposed having a total estimated impact of <8% of the area of the parcel, in conjunction with a proposed conservation easement to cover nearly half of the parcel (see NRPP Map), the parcel will largely maintain it’s land use as prescribed in the 2025 Comprehensive Master Plan.

Future Land Use



2. Please provide the following information required by § 15-9.0203.

A. A Site Plan indicating the location of the proposed house (§15-9.0203.E).

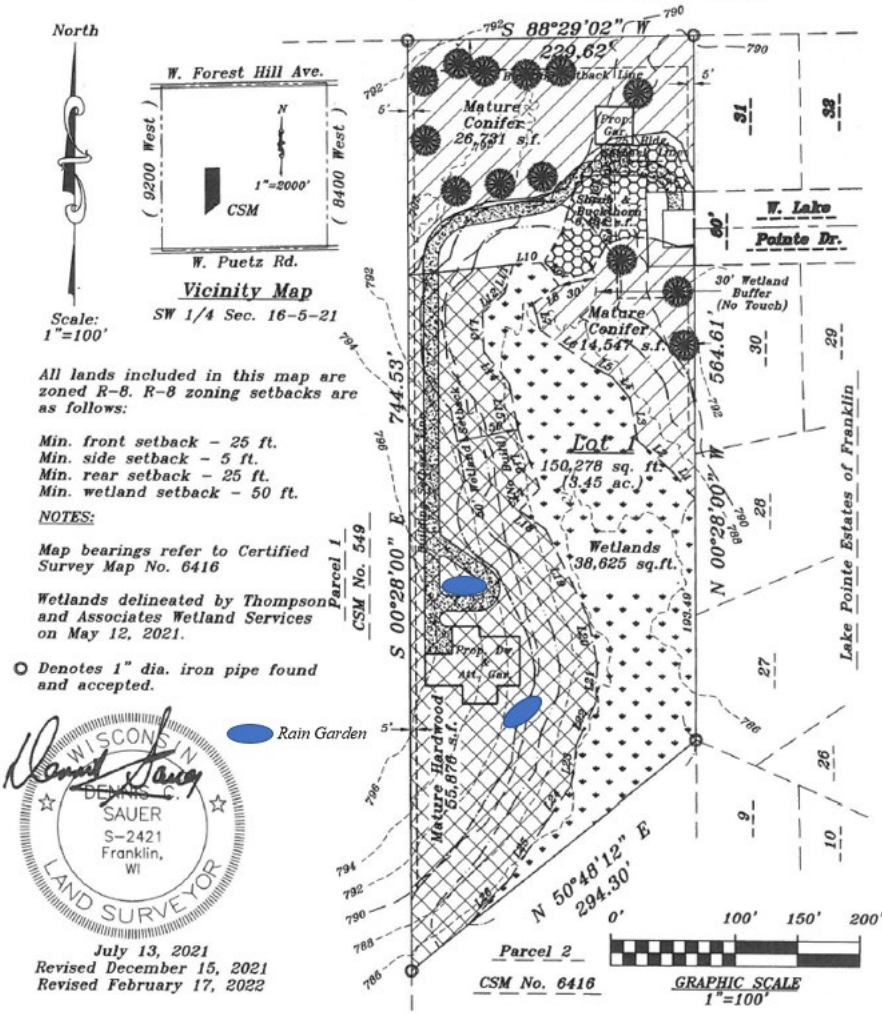
Proposed house placement has been indicated on the corresponding Natural Resource Protection Plan Map.

B. Rezoning applications require submittal of a landscape plan (§15-9.0203.F). A preliminary or draft plan is acceptable; you may revise your NRPP to show the location of proposed green infrastructure, and any bufferyards, to meet this requirement. You will need to submit a final plan for staff review as a condition of approval.

Since house placement has yet to be confirmed due to the pending approval of the NRSE Application, only a preliminary drawing (below) indicating target placement of the Green Infrastructure strategy (e.g. rain gardens) recommended by Fresh Coast Resource Center, consistent with the pending Stormwater Management Plan, can be provided. Final landscape plans will not be available until after building permits are granted by the City of Franklin as the development will look to minimize impacts, both temporary and permanent, to the existing natural resources during construction, incorporating existing natural resource features, where possible, into the resulting landscaping.

PREPARED FOR:
 Karley Blake
 6426 S. 35th Street, Apt. #12
 Franklin, WI 53132

PREPARED BY: Dennis C. Sauer
 Metropolitan Survey Service, Inc.
 9415 West Forest Home Avenue
 Hales Corners, WI 53130



C. Site intensity and capacity calculations meeting the requirements set forth in Division 15-3.0500 and in the prescribed format set forth in the City's application form (§15-9.0203.H).

See the worksheets (Table 15-3.0502, Table 15-3.0503 and Table 15-3.0504) below reflecting R-6 Suburban Single-Family Residence District Development Standards.

Table 15-3.0502	
Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development	
Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	3.45 acres
Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0.05 acres
Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	0 acres
Equals "Base Site Area"	3.40 acres

Table 15-3.0503			
Worksheet for the Calculation of Resource Protection Land			
Natural Resource Feature	Residential District Protection Standard	Acres of Land in Resource Feature	
Steep Slopes:		Total Acres:	X Protection Standard:
10-19%	0.60	0 acres	0 acres
20-30%	0.75	0 acres	0 acres
+30%	0.85	0 acres	0 acres
Woodlands & Forests:			
Mature	0.70	1.88 acres	1.32 acres
Young	0.50	0 acres	0 acres
Lakes & Ponds	1.00	0 acres	0 acres
Streams	1.00	0 acres	0 acres
Shore Buffer	1.00	0 acres	0 acres
Floodplains	1.00	0 acres	0 acres
Wetland Buffers	1.00	0.63 acres	0.63 acres
Wetlands & Shoreland Wetlands	1.00	0.89 acres	0.89 acres
Total Resource Protection Land =			2.84 acres

Table 15-3.0504	
Worksheet for the Calculation of Site Intensity and Capacity for Residential Development	
<i>Calculate Minimal Required On-Site Open Space:</i>	
Take Base Site Area: 3.40	
Multiply by Minimum Open Space Ratio (OSR): X 0	
Equals Minimum Required On-Site Open Space = 0	0 acres
<i>Calculate Net Buildable Site Area:</i>	
Take Base Site Area: 3.40	
Subtract Total Resource Protection Land or Minimum Required On-Site Open Space, whichever is greater: - 2.84	
Equals Net Buildable Site Area = 0.56	0.56 acres
<i>Calculate Maximum Net Density Yield of Site</i>	
Take Net Buildable Site Area: 0.56	
Multiply by Maximum Net Density: X 2.972	
Equals Maximum Net Density Yield of Site = 1.66	1 D.U.s
<i>Calculate Maximum Gross Density Yield of Site</i>	
Take Base Site Area: 3.40	
Multiply by Maximum Gross Density: X 2.972	
Equals Maximum Gross Density Yield of Site = 10.10	10 D.U.s
<i>Determine Maximum Permitted D.U.s of Site</i>	
Take the lowest of Maximum Net Density Yield of Site or Maximum Gross Density Yield of Site = 1.66	1 D.U.s

D. Note that additional information may be required by the Plan Commission or the Common Council (§15-9.0203.J).

Other Department Comments

None.

Date: April 18, 2022
To: City Development Staff
From: Karley Blake and Jacob Mutter
RE: Natural Resource Special Exception – Staff Comments – TKN 839 9996 007

Please see comments and responses *italicized* below.

City of Franklin - Department of City Development

Date: April 8, 2022
To: Karley J Blake & Jacob W Mutter
From: Department of City Development
RE: Natural Resource Special Exception – Staff Comments – TKN 839 9996 007

Department comments are as follows for the Natural Resource Special Exception (NRSE) materials submitted by Karley J Blake & Jacob W Mutter, date stamped by the City of Franklin on December 22, 2021.

Unified Development Ordinance (UDO) Requirements:

Natural Resources are protected by the City of Franklin UDO Part 4: Natural Resource Protection. Impacts to resources in excess of these standards require a Natural Resource Special Exception under §15-10.0208; the application currently under review. In addition to the standards of Part 4, which regulates the degree of allowable disturbance, and procedures to mitigate or restore such disturbance, the standards of §15-7.0201 also apply to Natural Resource Protection Plan (NRPP) documents to be filed with the City.

1. Please submit conservation easements for areas of preserved natural resources (§15-4.0103.B.1.d, §15-7.0201.H). Please be aware that conservation easements require Common Council approval.

Since no impacts to the parcel will exceed the established 70% Residential Protection Standard designated for Mature Woodlands and Forests (§Table 15-4.100), mitigation standards (§15- 4.0103.B.1) would be unnecessary, and therefore deed restriction and conservation easement requirement (§15- 4.0103.B.1.d) relative to these mitigation standards would also be unnecessary. Similarly, no easements have been identified on the subject property boundary lines (§15- 7.0201.H) requiring specific deed restrictions and/or conservation easements. That being said, a voluntary conservation easement is

being proposed to mimic the delineated 30ft wetland buffer boundary which covers nearly half of the parcel under a conservation easement.

Natural Resource Protection Plan (NRPP)

2. Note that wetland delineations used in the NRPP cannot be older than 5 years, per the standards of §15-4.0102.G. Electronic copies of delineation reports should be submitted with the NRPP.

The wetland delineation reflected on both the corresponding CSM and NRPP Map was completed May 12, 2021. The full wetland delineation report will also be provided electronically for further review by the Planning Department.

3. Please include the following information on the NRPP Map:
 - a. Date of the plan and any applicable revision dates (§15-7.0201.D).

This has been included on the latest revision of the NRPP Map.

- b. Location of any disturbances to natural resources, including temporary disturbances for grading or other work. (§15-7.0201.J)

This has been included on the latest revision of the NRPP Map.

- c. A graphic scale bar (§15-7.0201.L)

This has been included on the latest revision of the NRPP Map.

- d. The total site area in the Natural Resource impact table (§15-7.0201.E)

This has been included on the latest revision of the NRPP Map.

Natural Resource Special Exception (NRSE)

4. Please provide an electronic copy of the wetland delineation report for this property.

The full wetland delineation report will be provided electronically for further review by the Planning Department.

5. Please revise the response to Question C.1 to include a statement that this NRSE is being requested also to waive the standards of UDO Part 4 Natural Resource Protection, specifically the requirements of §15-4.0102I Natural Resource Features Determination for Wetland Setbacks.

This request has been included in the latest revision of the NRSE Questionnaire.

6. Please provide information seed mixes and soils proposed for Green Infrastructure areas.

The Green Infrastructure strategy recommended by Andy Kaminski, Project Manager with Fresh Coast Guardians, for this specific development is the implementation of two rain gardens to capture storm water runoff. Per the terms defined in the in-progress Storm Water Facility Maintenance Agreement, final placement of the rain gardens will be determined post-development once final site grading is achieved to maximize capture of storm water runoff. Placement determination will also take into account minimizing impact to existing natural resources. Thus, specific seed mixes for silt loam and silty-clay loam soils will need to be determined post-development once placement, and thus expected sun exposure for the respective rain gardens, is understood.

7. Impacts to woodlands do not require a Natural Resource Special Exception at this time. Please note that future impacts in excess of the standards of UDO Part 4 would require an NRSE.

The proposed development impacts will not exceed the established 70% Residential Protection Standard designated for Mature Woodlands and Forests (§Table 15-4.100) nor are any additional developments, beyond what has been included on the NRPP Map, foreseen at this time.

Additional Planning Comments:

8. Note that §15-4.0103D allows for financial sureties to be required for restoration. Plan Commission may choose to impose this requirement on landscape and restoration plans.

Since significant financial sureties are being requested of the developers (i.e. home owners) as it relates to the public infrastructure improvements required for the development, it is requested that additional financial sureties not be imposed on the developers in a way that would create undue burden on the developers to initiate the development. Additionally, appropriate storm water management of the parcel has already required that the developers engage in contractual agreement with the City of Franklin regarding Green Infrastructure strategies that are consequently directly related to future landscape and restoration plans, making additional financial sureties immoderate.

Other Department Comments

None.

Natural Resource Special Exception Question and Answer Form

Section 1: Per Section 15-9.0110, Applications for a Special Exception to stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback provisions, and for improvements or enhancements to a natural resource feature of this Ordinance shall include the following:

- A. Name and address of the applicant and all abutting and opposite property owners of records.
(Please attach supplemental documents as necessary)
- B. Plat of survey. Plat of survey prepared by a registered land surveyor showing all of the information required under §15-9.0102 of this Ordinance for a Zoning Compliance Permit.
(Please attach)
- C. Questions to be answered by the applicant. Items on the application to be provided in writing by the applicant shall include the following:
 1. Indication of the section(s) of the UDO for which a Special Exception is requested.
The Special Exception is being requested to waive the standards of UDO Part 4 Natural Resource Protection, specifically the requirements of §15-4.0102I Natural Resource Features Determination for Wetland Setbacks.
 2. Statement regarding the Special Exception requested, giving distances and dimensions where appropriate.
The requested Special Exception pertains to placement of a single-family, residential driveway and respective landscaping, including but not limited to landscaping used to manage stormwater run-off per recommendation of Fresh Coast Guardians, within the required 50ft wetland setback but peripheral to the 30ft wetland buffer (Table §15-3.0207). The driveway placement would need to transverse the 50ft wetland setback by, at minimum, approximately 100ft in length with an approximately 12ft width of impervious driveway surface to allow access to the single-family home. The landscaping, including recommended rain gardens for management of stormwater run-off from impervious surfaces prior to entering designated wetland areas, would require, at minimum, an additional 300sq.ft. of impact to the 50ft wetland setback. The single-family home itself would not impose on the 50ft wetland setback. No impacts to the 30ft wetland buffer, nor the wetland itself, are expected to meet the objectives of the proposed development.
 3. Statement of the reason(s) for the request.
The Special Exception is being requested due to the placement of the single-family home which would look to minimize impacts to the beneficial natural resources (e.g. mature hardwood and conifer forest) within the parcel while maximizing the removal of the invasive common buckthorn (*Rhamnus cathartica*) from the parcel – the development would still meet all required Natural Resource Protection Standards (§15-4.0101). Thus, the single-family home, and subsequent driveway, landscaping, etc., would be placed in areas of higher-density invasive common buckthorn while avoiding areas of less buckthorn. To achieve this objective, driveway and landscaping impacts to the 50ft wetland setback are unavoidable.
 4. Statement of the reasons why the particular request is an appropriate case for a Special Exception, together with any proposed conditions or safeguards, and the reasons why the proposed Special Exception is in harmony with the general purpose and intent of the

Ordinance. In addition, the statement shall address any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district, including a practicable alternative analysis as follows:

Unlike the adjoining parcels surrounding the site, this parcel is fully undeveloped and comprised of natural resources including approximately 0.9 acres of delineated wetland. As a result, invasive common buckthorn has been able to proliferate without incentive to apply mitigation strategies. This has resulted in the deterioration of beneficial natural resources on the property, including but not limited to the reduction of the present wetland by approximately 35% of the previously delineated size (previous delineation completed July 24, 2002 by Thompson and Associates Wetland Service). The development, including the relatively minimal encroachment of the 50ft wetland setback, would employ incentive, starting at the initial stages of development, to largely mitigate the negative impacts of the invasive common buckthorn while also continuing to incentivize mitigation strategies in the future. Thus, this request is an appropriate case for approval of a Special Exception because the impacts of the requested exception are minimal in comparison to natural resource benefits gained as a result of such exception.

a. Background and Purpose of the Project.

- i. Describe the project and its purpose in detail. Include any pertinent construction plans.

See Project Summary and Natural Resource Protection Plan Map.

- ii. State whether the project is an expansion of an existing work or new construction.

The project would constitute new construction of a single-family home with respective driveway, hardscape, and landscape developments.

- iii. State why the project must be located in or adjacent to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback to achieve its purpose.

Over 25% of the parcel is covered with wetland (see Natural Resource Protection Plan Map) and therefore, when implementing the required 50ft wetland setback, any and all development would be, at minimum, adjacent to the designated wetland setback if not, as the proposed request states, intruding within the wetland setback.

b. Possible Alternatives.

- i. State all of the possible ways the project may proceed without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback as proposed.

Placement of the single-family home on the north end of the parcel would allow for less impact to the designated 50ft wetland setback – the City of Franklin Engineering Department requirement of road and right-of-way extension could still result in impacts to the wetland setback pending this alternative home placement.

- ii. State how the project may be redesigned for the site without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

See Section 1 C.4.b.i. above.

- iii. State how the project may be made smaller while still meeting the project's needs.
Adjustment to project size (i.e. construction of a smaller single-family home) would not impact the exception request as the majority of the exception requested corresponds directly to access (e.g. driveway) to the single-family home. The driveway, especially in areas encroaching the 50ft wetland setback, has been designed in the slimmest, most-reasonable size for standard vehicle access.
- iv. State what geographic areas were searched for alternative sites.
All parcels >1.5 acres in size located within the Caledonia, Franklin, Greendale, Greenfield, Oak Creek, and Raymond areas, available for purchase between January 2019 and present times, were seriously reviewed by the parcel developers (i.e. home owners). Offers were made on at least five of these properties with no success found due to similar natural resource restrictions among other property issues.
- v. State whether there are other, non-stream, or other non-navigable water, non-shore buffer, non-wetland, non-wetland buffer, and/or non-wetland setback sites available for development in the area.
All properties referenced in Section 1 C.4.b.iv. contained some type of natural resource limitation (e.g. stream, wetland, mature forests, etc.).
- vi. State what will occur if the project does not proceed.
Developers (i.e. home owners) would resign to building their home on the north end of the parcel which would require larger impacts to beneficial natural resources on the parcel.

c. Comparison of Alternatives.

- i. State the specific costs of each of the possible alternatives set forth under sub.2., above as compared to the original proposal and consider and document the cost of the resource loss to the community.
The alternative option determined in Section 1 C.4.b.i. above would actually result in a reduced total development fiscal cost for the developers (i.e. home owners). This would be due to the reduced distance needed of both the driveway and respective utilities to support the single-family home.
- ii. State any logistical reasons limiting any of the possible alternatives set forth under sub. 2., above.
N/A
- iii. State any technological reasons limiting any of the possible alternatives set forth under sub. 2., above.
N/A
- iv. State any other reasons limiting any of the possible alternatives set forth under sub. 2., above.
The alternative option determined in Section 1 C.4.b.i. above does not adequately address the invasive common buckthorn issue of the parcel. The alternative option instead requires a more significant impact to the beneficial mature conifer forest delineated on the parcel (see Natural

Resource Protection Plan Map) which contains significantly less invasive common buckthorn than the rest of the parcel due to the shade cover of the mature conifer trees present, limiting the growth ability of the buckthorn. Additionally, the alternative option also then results in a much smaller impact, if at all, on the mature hardwood forest; an area of much higher-density invasive common buckthorn.

- d. Choice of Project Plan. State why the project should proceed instead of any of the possible alternatives listed under sub.2., above, which would avoid stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback impacts.

The project should proceed as proposed in lieu of the identified alternative because, although it will increase the total project cost for the developer (i.e. home owner), it is the most reasonable way to protect the valuable natural resources present on the property whilst also contributing the most significant reduction to the established invasive common buckthorn. The minimal impact of the imposing impervious surface (e.g. driveway) within the 50ft wetland setback, in addition to the natural improvement (e.g. landscaping, rain gardens, etc.) to other portions of the wetland setback, are disadvantages largely outweighed by the benefits of reducing the proliferation of invasive common buckthorn throughout the parcel and beyond.

- e. Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Description. Describe in detail the stream or other navigable water shore buffer, wetland, wetland buffer, and/or wetland setback at the site which will be affected, including the topography, plants, wildlife, hydrology, soils and any other salient information pertaining to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

The sampling points identified within the Wetland Delineation Report most closely associated with the 50ft wetland setback include sampling points #2 and #4. The report states of sampling point #2 that it is based as “bare ground” with the most dominant vegetative species being invasive common buckthorn followed by Chokecherry and Tatarian Honeysuckle. The soils at this sampling point are comprised of silty clay loam and fine gravels with no hydric soils present being “upslope of wetland”. Sampling point #4 reflects “steep slope from wetland basin” with the dominant vegetative species being, again, invasive common buckthorn followed by Hawthorn trees and Virginia Strawberry herbs – there also includes a comment of “dead green ash”, likely a result of the proliferation of the invasive common buckthorn. The soils at this sampling point are comprised of silt loam and silty clay loam with no hydric soils present.

- f. Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Impacts. Describe in detail any impacts to the above functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback:

- i. Diversity of flora including State and/or Federal designated threatened and/or endangered species.

N/A – no threatened and/or endangered species were identified in areas of proposed impact.

- ii. Storm and flood water storage.
N/A – areas of proposed impact would be up slope of natural water storage areas. Appropriate storm water management plans are in place to accommodate the impervious surfaces as a result of the proposed development within the 50ft wetland setback.

- iii. Hydrologic functions.
Appropriate storm water management plans are in place to accommodate the impervious surfaces as a result of the proposed development within the 50ft wetland setback.

- iv. Water quality protection including filtration and storage of sediments, nutrients or toxic substances.
Appropriate storm water management plans are in place to accommodate the impervious surfaces as a result of the proposed development within the 50ft wetland setback.

- v. Shoreline protection against erosion.
N/A

- vi. Habitat for aquatic organisms.
N/A

- vii. Habitat for wildlife.
The proposed development within the 50ft wetland setback would likely reduce the available habitat for wildlife. However, the extent of this impact is uncertain since lack of development (i.e. no impact to the 50ft wetland setback) would also likely reduce the available habitat for wildlife as invasive common buckthorn continues to diminish the beneficial natural resources on the parcel.

- viii. Human use functional value.
The proposed development would increase the human use functional value of the 50ft wetland setback greatly as all impacts would support access to the development of a single-family home.

- ix. Groundwater recharge/discharge protection.
N/A

- x. Aesthetic appeal, recreation, education, and science value.
The proposed development within the 50ft wetland setback would remove invasive common buckthorn which would likely allow other, non-impacted areas, to flourish, increasing the total aesthetic appeal of the beneficial natural resources.

- xi. Specify any State or Federal designated threatened or endangered species or species of special concern.
N/A – no threatened and/or endangered species were identified in areas of proposed impact.

xii. Existence within a Shoreland.

N/A

xiii. Existence within a Primary or Secondary Environmental Corridor or within an Isolated Natural Area, as those areas are defined and currently mapped by the Southeastern Wisconsin Regional Planning Commission from time to time.

N/A

g. Water Quality Protection. Describe how the project protects the public interest in the waters of the State of Wisconsin.

Appropriate storm water management plans are in place to accommodate the impervious surfaces as a result of the proposed development within the 50ft wetland setback.

5. Date of any previous application or request for a Special Exception and the disposition of that previous application or request (if any).

N/A

D. Copies of all necessary governmental agency permits for the project or a written statement as to the status of any application for each such permit. *(Please attach accordingly)*

Section 2: Staff recommends providing statements to the following findings that will be considered by the Common Council in determining whether to grant or deny a Special Exception to the stream, shore buffer, navigable water-related, wetland, wetland buffer and wetland setback regulations of this Ordinance and for improvements or enhancements to a natural resource feature, per Section 15-10.0208B.2. of the Unified Development Ordinance.

a. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature):

The location of the wetland, and thus respective wetland buffer and setback, in relation to the parcel, are not a result of any actions on the part of the proposed developer (i.e. home owner).

b. Compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:

i. be unreasonably burdensome to the applicants and that there are no reasonable practicable alternatives:

;or

ii. unreasonably and negatively impact upon the applicants' use of the property and that there are no reasonable practicable alternatives:

The reasonable practical alternative (identified in Section 1 C.4.b.i) would not adequately address the invasive common buckthorn issue afflicting the parcel.

- c. The Special Exception, including any conditions imposed under this Section will:
- i. be consistent with the existing character of the neighborhood:
 Parcels to the east, south and west of the parcel of proposed development contain single-family homes and therefore a single-family home development would be consistent with the existing character of the surrounding neighborhood; *and*
 - ii. not effectively undermine the ability to apply or enforce the requirement with respect to other properties:
 Other adjacent properties of which also contain portions of the identified wetland have already been fully developed (e.g. established single-family home). Therefore, the Special Exception requested would not be relevant to further development of said properties (i.e. for recreational use (e.g. installation of a swimming pool, deck, etc.)) since the Special Exception is based on access (e.g. driveway) and development mitigation strategies (e.g. rain garden installation for storm water management); *and*
 - iii. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement:
 The Special Exception requested would not create significant impacts to the established wetland as appropriate storm water management plans have been established to accommodate the impervious surface of the driveway; *and*
 - iv. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development (*this finding only applying to an application to improve or enhance a natural resource feature*):
 The Special Exception requested would allow the resulting development to impact the areas of highest-density invasive common buckthorn on the parcel, which would help preserve the wetland, wetland buffer and wetland setback more effectively compared to the alternative (identified in Section 1 C.4.b.i). The alternative would not adequately address the invasive common buckthorn issue of which the invasive common buckthorn would likely continue to diminish the functional value of the wetland, wetland buffer and wetland setback.
- d. In making its determinations, the Common Council shall consider factors such as:
- i. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks:
 All remaining setback requirements (e.g. side yard, front yard, etc.) would be respected as determined by the proposed R-6 Suburban Single-Family Residence District Setback Development Standards (Table §15-3.0207).
 - ii. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district:
 Unlike the adjoining R-6 parcels surrounding the site, this parcel is fully undeveloped and comprised of natural resources including approximately 0.9 acres of delineated wetland. As a result, invasive common buckthorn has been able to proliferate without incentive to apply mitigation strategies. This has resulted in the deterioration of beneficial natural resources on the property. The development, including the relatively minimal encroachment of the 50ft wetland setback, would employ incentive, starting at the initial stages of development, to

largely mitigate the negative impacts of the invasive common buckthorn while also continuing to incentivize mitigation strategies in the future.

Additionally, the City of Franklin Engineering Department is requiring an extension of W Lake Pointe Drive (see Project Summary) to accommodate the driveway for the single-family home development as driveway access off of the end of a dead-end street (e.g. W Lake Pointe Drive) is not recommended due to snow removal concerns. The road extension will not impact the development standards in terms of meeting the proposed R-6 zoning requirements (§15-3.0207), nor will it impact the protection standards required of the development identified in the Natural Resource Protection Standards (§15-4.0101) as the extension would occur in areas of high-density of invasive common buckthorn.

- iii. Existing and future uses of property; useful life of improvements at issue; disability of an occupant:
Until recent determination (Common Council approval: March 15, 2022) the parcel was previously designated as an unbuildable Out Lot. Thus, the natural resources within the parcel have suffered as a result of this prior designation as incentive to manage the invasive common buckthorn has been non-existent. By allowing reasonable development that meets the protection standards (Natural Resource Protection Standards §15-4.0101) required of such natural resource-dense parcels, incentive to mitigate the invasive common buckthorn would become apparent for the owner/developer (i.e. home owner) of the parcel.
- iv. Aesthetics:
The minimal impact to the 50ft wetland setback would not negatively affect the aesthetics of the parcel as removal of invasive common buckthorn would allow other, non-impacted areas, to flourish accordingly.
- v. Degree of noncompliance with the requirement allowed by the Special Exception:
The degree of noncompliance with the requirement allowed by the Special Exception includes estimates of <10% of the total 50ft wetland setback identified on the parcel being impacted by an impervious driveway surface while an additional <2% of the total 50ft wetland setback being developed with natural improvements (e.g. landscaping, rain gardens, etc.).
- vi. Proximity to and character of surrounding property:
Special Exception impacts reside in areas of natural resources, primarily on the west side of the parcel, away from other residences.
- vii. Zoning of the area in which property is located and neighboring area:
Proposed R-6 zoning of the parcel is consistent with the parcels to the east and south within the Lake Pointe Estates subdivision of which access of the proposed single-family home to W Lake Pointe Drive resides.
- viii. Any negative affect upon adjoining property:
Granting the Special Exception would not affect adjoining properties in a negative fashion as all points of exception are within in the bounds of the parcel.

- ix. Natural features of the property:
Granting the Special Exception would reduce the natural resources in the areas of exception, including areas of invasive common buckthorn, however, the natural resource reduction would be within the limits granted by the Natural Resource Protection Standards (§15-4.0101) for the parcel.

- x. Environmental impacts:
Granting the Special Exception would allow developers (i.e. home owners) to target areas of invasive common buckthorn on the parcel, replacing buckthorn-dense areas with impervious surface, landscaping, rain gardens, etc., while minimizing impacts to other beneficial natural resources.

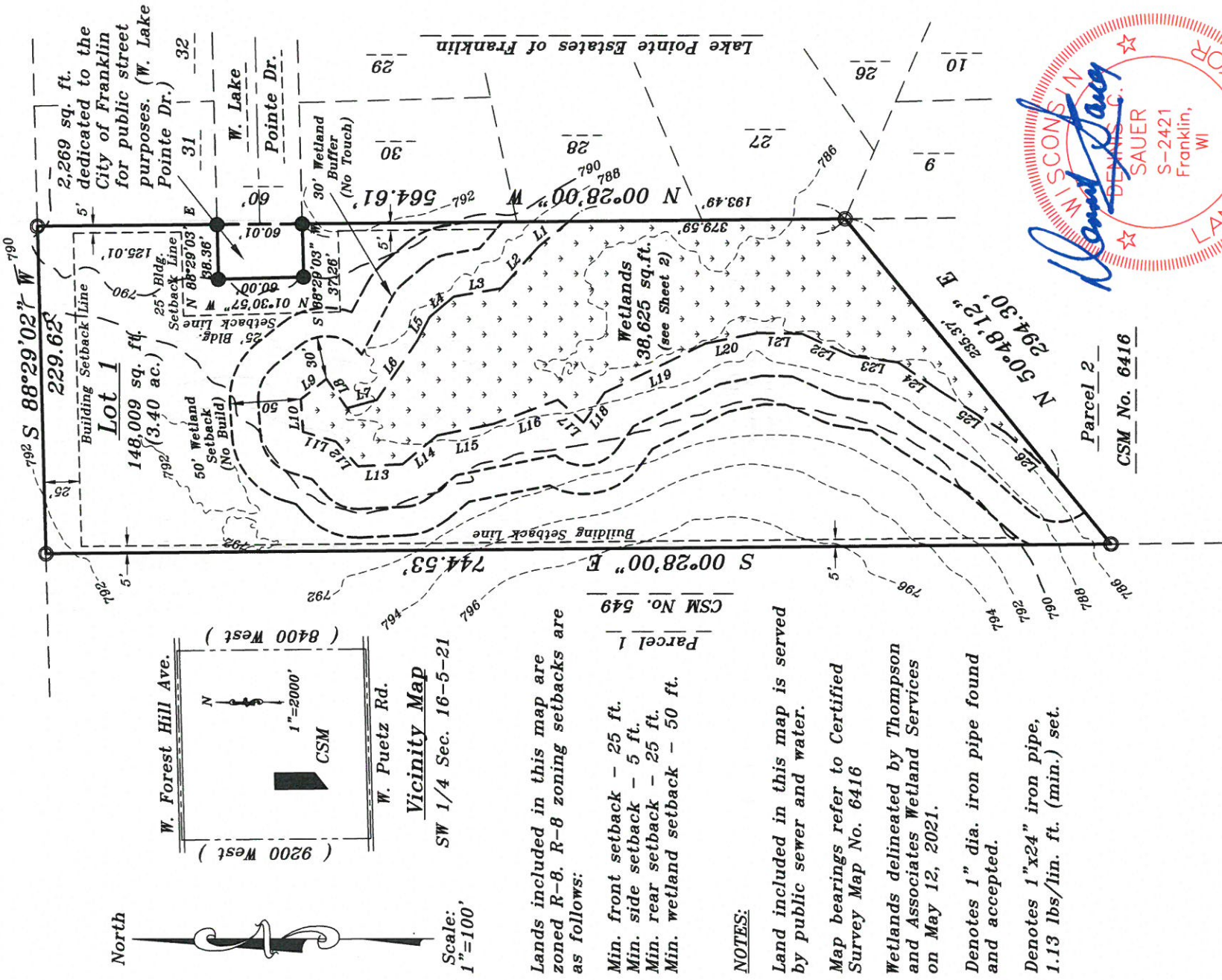
CERTIFIED SURVEY MAP NO.

Being a remapping of Outlot 1 of Certified Survey Map No. 6416, being a part of the Southwest 1/4 of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

PREPARED FOR:

Karley Blake
6426 S. 35th Street, Apt. #12
Franklin, WI 53132

PREPARED BY: Dennis C. Sauer
Metropolitan Survey Service, Inc.
9415 West Forest Home Avenue
Hales Corners, WI 53130



Dennis C. Sauer



July 13, 2021
Revised November 3, 2021
Revised December 15, 2021
Revised February 17, 2022

Lands included in this map are zoned R-8. R-8 zoning setbacks are as follows:

- Min. front setback - 25 ft.
- Min. side setback - 5 ft.
- Min. rear setback - 25 ft.
- Min. wetland setback - 50 ft.

NOTES:

- Land included in this map is served by public sewer and water.
- Map bearings refer to Certified Survey Map No. 6416
- Wetlands delineated by Thompson and Associates Wetland Services on May 12, 2021.
- Denotes 1" dia. iron pipe found and accepted.
- Denotes 1"x24" iron pipe, 1.13 lbs/lin. ft. (min.) set.

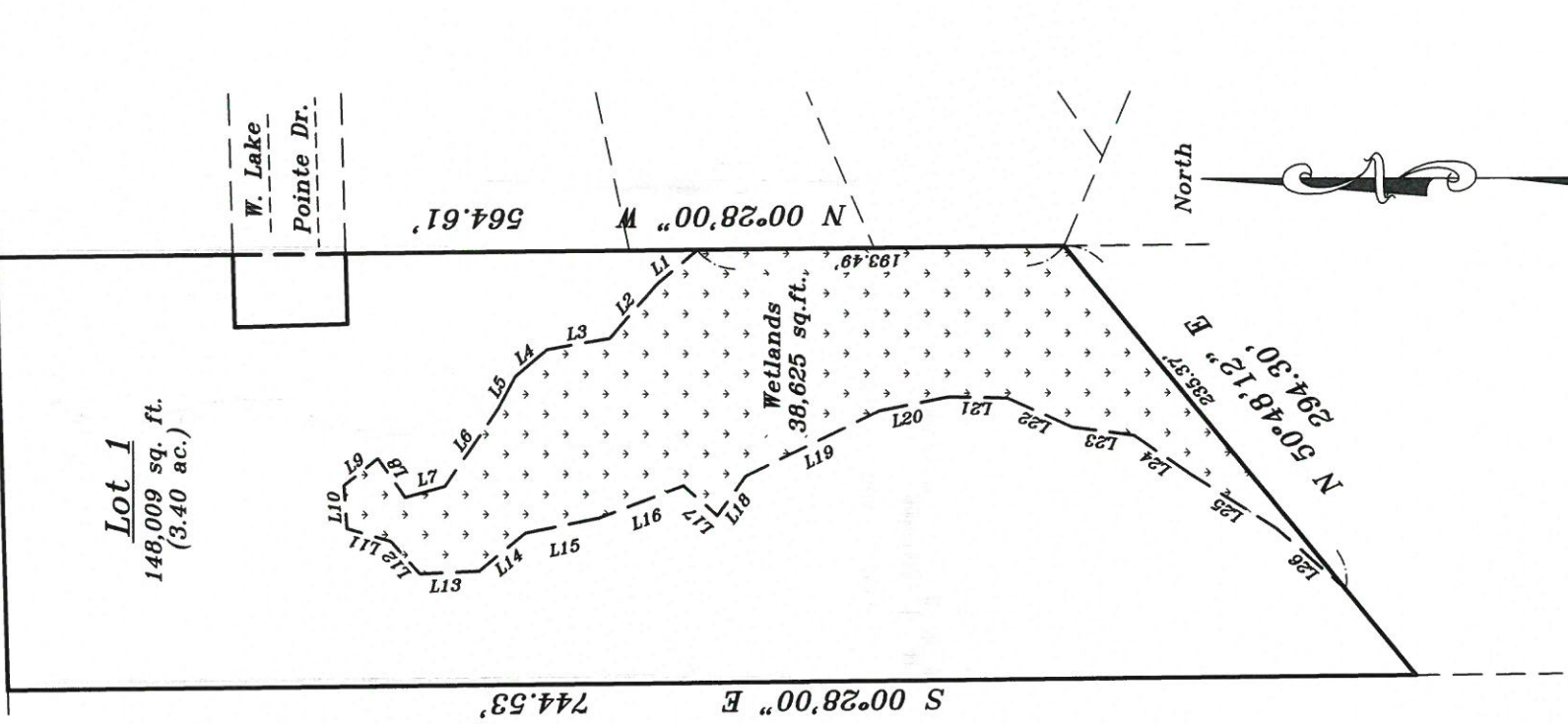
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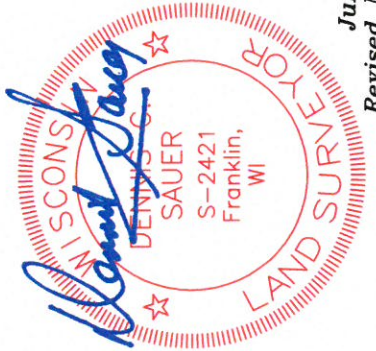
S 88°29'02" W
229.62'

Lot 1
148,009 sq. ft.
(3.40 ac.)

WETLAND LINE TABLE		
LINE	BEARING	LENGTH
L1	N40°00'43"W	27.67
L2	N48°39'34"W	38.39
L3	N09°56'34"W	33.64
L4	N40°09'47"W	22.23
L5	N62°17'02"W	18.55
L6	N55°39'22"W	50.36
L7	N15°34'05"W	21.77
L8	N55°09'30"E	25.07
L9	N38°20'11"W	22.88
L10	S86°11'58"W	22.80
L11	S16°44'35"W	24.15
L12	S48°35'13"W	23.02
L13	S02°33'00"E	31.38
L14	S39°20'20"E	31.82
L15	S11°25'01"E	39.67
L16	S20°41'40"E	47.85
L17	S41°52'06"W	23.97
L18	S54°40'19"E	25.65
L19	S25°55'25"E	79.00
L20	S11°27'41"E	36.70
L21	S01°10'42"W	30.85
L22	S24°12'27"W	37.82
L23	S07°52'20"W	33.31
L24	S34°35'56"W	36.18
L25	S32°37'05"W	54.25
L26	S41°32'21"W	48.39



Scale: 1"=100'



July 13, 2021
Revised November 3, 2021
Revised December 15, 2021
Revised February 17, 2022

CERTIFIED SURVEY MAP NO. _____

Being a remapping of Outlot 1 of Certified Survey Map No. 6416, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify: That I have surveyed, divided and mapped, a remapping of Outlot 1 of Certified Survey Map No. 6416, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin. Said lands contain 150,278 square feet (3.45 acres).

That I have made such survey, land division and map by the direction of Crescent Construction, Inc., owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the Unified Development Ordinance - Division 15, of the City of Franklin Municipal Code in surveying, dividing and mapping the same.

July 13, 2021
Date
Revised 11/3/21
12/15/21
2/17/22

Dennis C. Sauer

Dennis C. Sauer
Professional Land Surveyor S-2421



PREPARED FOR:
Karley Blake
7213 W. Drexel Avenue
Franklin, WI 53132

PREPARED BY: Dennis C. Sauer
Metropolitan Survey Service, Inc.
9415 West Forest Home Avenue
Hales Corners, WI 53130

CERTIFIED SURVEY MAP NO. _____

Being a remapping of Outlot 1 of Certified Survey Map No. 6416, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

Crescent Construction, Inc., as owner, do hereby certify that I have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236.34 of the Wisconsin State Statutes and Unified Development Ordinance - Division 15, of the City of Franklin Municipal Code.

WITNESS the hand and seal of said owner this _____ day of _____, 20_____.

Inaam Arshad, Owner

STATE OF WISCONSIN)
Milwaukee COUNTY) SS

PERSONALLY came before me this _____ day of _____, 20_____, Inaam Arshad, Owner, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public
State of Wisconsin
My Commission Expires: _____

COMMON COUNCIL APPROVAL

APPROVED and dedication accepted by the Common Council of the City of Franklin, Resolution No. _____, on this _____ day of _____, 20_____.

Stephen R. Olson, Mayor
City of Franklin

Sandra L. Wesolowski, Clerk
City of Franklin



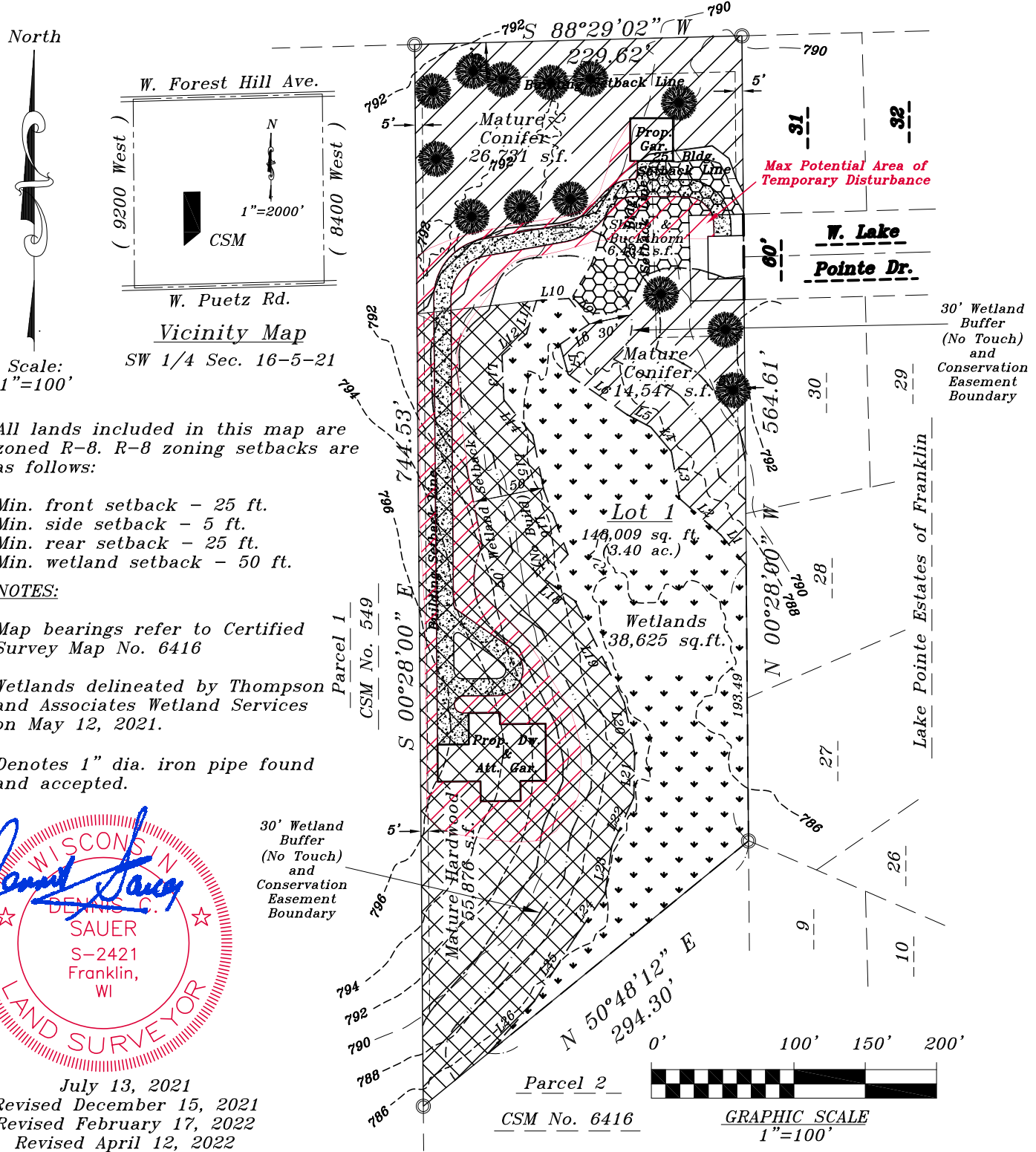
7/13/21
Revised 11/13/21
12/15/21
2/17/22

NATURAL RESOURCE PROTECTION PLAN

Being a remapping of Outlot 1 of Certified Survey Map No. 6416, being a part of the Southwest 1/4 of Section 16, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

PREPARED FOR:
Karley Blake
6426 S. 35th Street, Apt. #12
Franklin, WI 53132

PREPARED BY: Dennis C. Sauer
Metropolitan Survey Service, Inc.
9415 West Forest Home Avenue
Hales Corners, WI 53130



All lands included in this map are zoned R-8. R-8 zoning setbacks are as follows:

- Min. front setback - 25 ft.
- Min. side setback - 5 ft.
- Min. rear setback - 25 ft.
- Min. wetland setback - 50 ft.

NOTES:

Map bearings refer to Certified Survey Map No. 6416

Wetlands delineated by Thompson and Associates Wetland Services on May 12, 2021.

○ Denotes 1" dia. iron pipe found and accepted.



July 13, 2021
Revised December 15, 2021
Revised February 17, 2022
Revised April 12, 2022
Revised April 15, 2022
Revised April 16, 2022
Revised April 18, 2022

Natural Resource Impacts					
Total Site Area = 148,009 sq. ft.					
Natural Resource Feature	Total Area of Resource	Total Area of Disturbance	Degree of Disturbance (%)	Protection Standard	
Steep Slopes:					
10-19%	0	0	0	0	40%
20-30%	0	0	0	0	70%
30%	0	0	0	0	80%
Woodlands & Forests:					
Mature	63,319	8410	13.28	0	70%
Young	0	0	0	0	50%
Water Resources:					
Lakes & Ponds	0	0	0	0	100%
Streams	0	0	0	0	100%
Shore Buffers	0	0	0	0	100%
Flood- plains/ Flood- ways	0	0	0	0	100%
Wetlands & Shoreland Wetlands	38,625	0	0	0	100%
30 foot Wetland Buffers	27,312	0	0	0	100%

An additional 20 foot wetland setback to the 30 foot wetland buffer is 18,753 square feet, of that 1730 square feet are disturbed for a driveway or 9.2%
Data supplied by Metropolitan Survey, delineation & table by Alice Thompson

Legend

- Property Line
- - - - - House Setback Line
- - - - - Wetland Boundary
- - - - - 30' Wetland Buffer and Conservation Easement Boundary
- - - - - 50' Wetland Setback
- [Wetlands Pattern] Wetlands
- [Mature Hardwoods Pattern] Mature Hardwoods
- [Mature Conifers Pattern] Mature Conifers
- [Shrub & Buckthorn Pattern] Shrub & Buckthorn



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.3.

Meeting of May 5, 2022

Area Exception

RECOMMENDATION: City Development staff recommends that the applicant should revise the proposed site plan and lot coverage calculations to reduce the lot coverage to 0.18 (5,012 sf) or less.

Project Name:	Trecek, Area Exception for lot coverage increase
Project Address:	9023 W Warwick Way
Applicant:	Trecek, Timothy S
Property Owner:	Trecek, Timothy S
Current Zoning:	R-3E Suburban/Estate Single Family Residence District
Use of Surrounding Properties:	Residential single-family zoned R-3E
Applicant’s Action Requested:	Recommendation for approval of Area Exception
Planner:	Régulo Martínez-Montilva, AICP, Principal Planner

INTRODUCTION:

Area Exception to allow for a lot coverage of 18.6% (5,190 square feet) for the installation of an inground pool, pergola and paved areas, exceeding the R-3E Suburban/Estate Single Family Residence District maximum lot coverage standard of 15% (4,177 square feet). The area of the subject property is 27,847 square feet.

According to the applicant’s calculation, the residence structure has a footprint of 4,254 square feet; in addition to the proposed swimming pool (648 sf), pergola (192 sf) and paved areas associated with the pool (96 ft, within 4 feet from the pool).

PROJECT ANALYSIS:

The process to grant an Area Exception involves review and recommendation of the Plan Commission followed by approval by the Board of Zoning and Building Appeals.

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%. Section 15-10.0209.G. of the Unified Development Ordinance (UDO) specifically lists Standards to be reviewed to grant or deny an Area Exception, which the Plan Commission and Board of Zoning and Building Appeals will use to consider the request.

Lot coverage is defined as “the area of a zoning lot occupied by the principal building or buildings, accessory structure(s) and accessory building(s)”. For example, structures that count towards lot coverage include: principal buildings or dwellings, garages, sheds, swimming pools and associated paved surfaces within 4 feet from the pool, decks, any structures with a cover or canopy, etc. This Lot Coverage definition should not be

confused with Impervious Surface Ratio (ISR) as driveways and walkways count towards ISR but not for lot coverage.

Maximum lot coverage calculation:

- The property area is 27,847 square feet (sf).
- Per UDO Table 15-3.0204, the maximum lot coverage is 0.15 in the R3-E Suburban/Estate Single-Family Residence District where the subject property is located. Based on the property area, the maximum lot coverage for this property is 4,177 sf.
- Building permit (PB21-0097) has been issued for a single-family dwelling on this property. According to the applicant's calculations, the house, garage, porch and deck cover an area of 4,254 square feet.
- The proposed improvements for which this Area Exception has been requested would have an area of 936 sf, specifically: swimming pool (648 sf), paved areas within 4 feet from the pool (96 sf) and pergola (192 sf).
- The resulting lot coverage of the residence with the proposed improvements would be 0.186 (5,190 sf).
- With approval of an Area Exception, the maximum lot coverage may be increased up to 20%, resulting in 0.18 (5,012 sf). Therefore, this request exceeds by 178 sf the allowable increase that can be approved with an Area Exception.

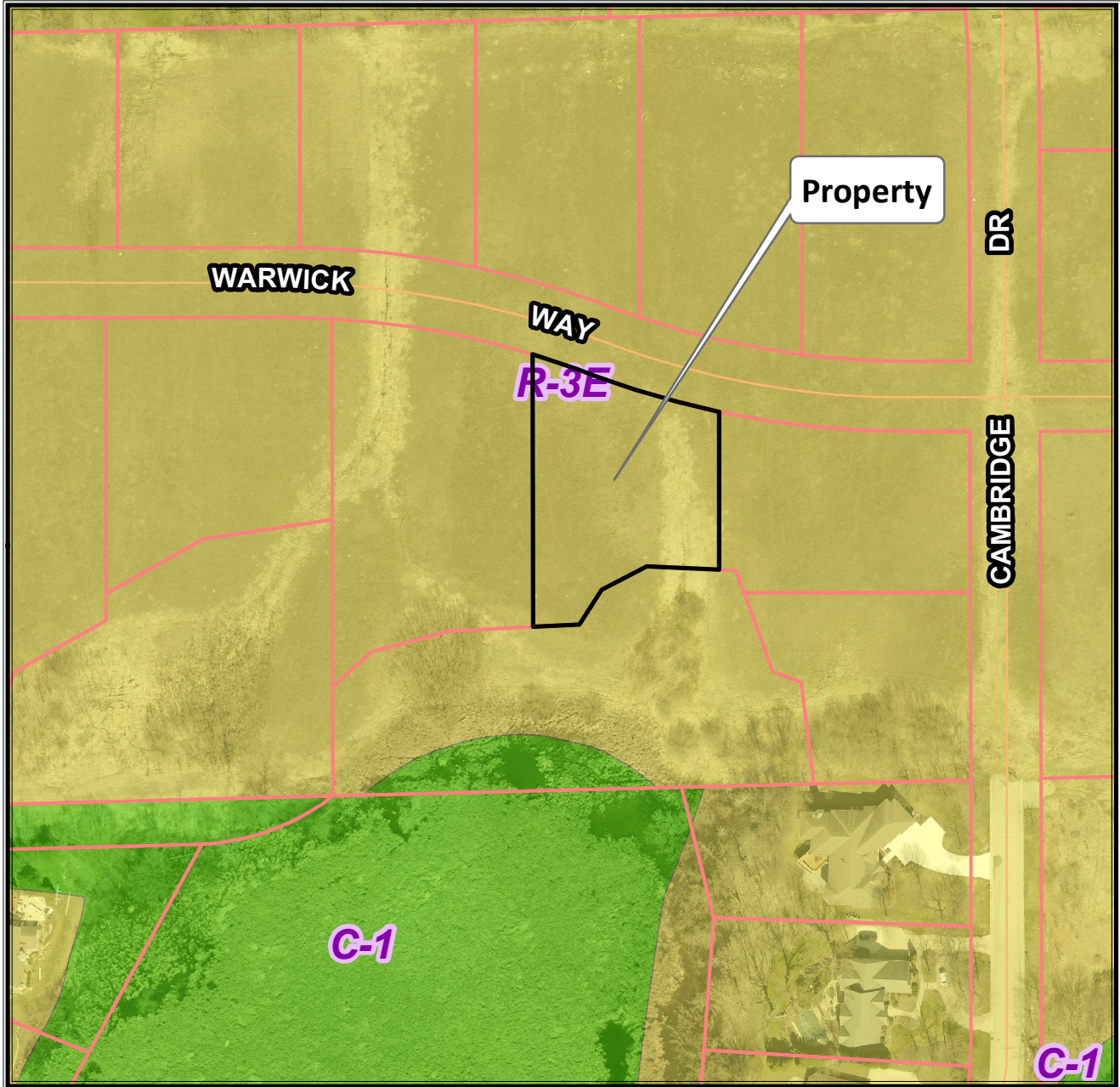
Per the site plan dated March 2, 2022, the lot coverage was 17.6 %, but with the new site plan dated April 27, the lot coverage rose to 18.6 %.

The Engineering Department commented that "The total impervious area came to be 38.6% more than the designed impervious surface per lot of 30% based on the approved SWMP. The proposed improvement must meet the design capacity of the approved SWMP". The applicant revised the original design to reduce the impervious surface ratio to 29.92 %.

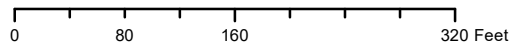
STAFF RECOMMENDATION

City Development staff recommends that the applicant should revise the proposed site plan and lot coverage calculations to reduce the lot coverage to 0.18 (5,012 sf) or less.

9023 W. Warwick Way
TKN: 754 0084 000



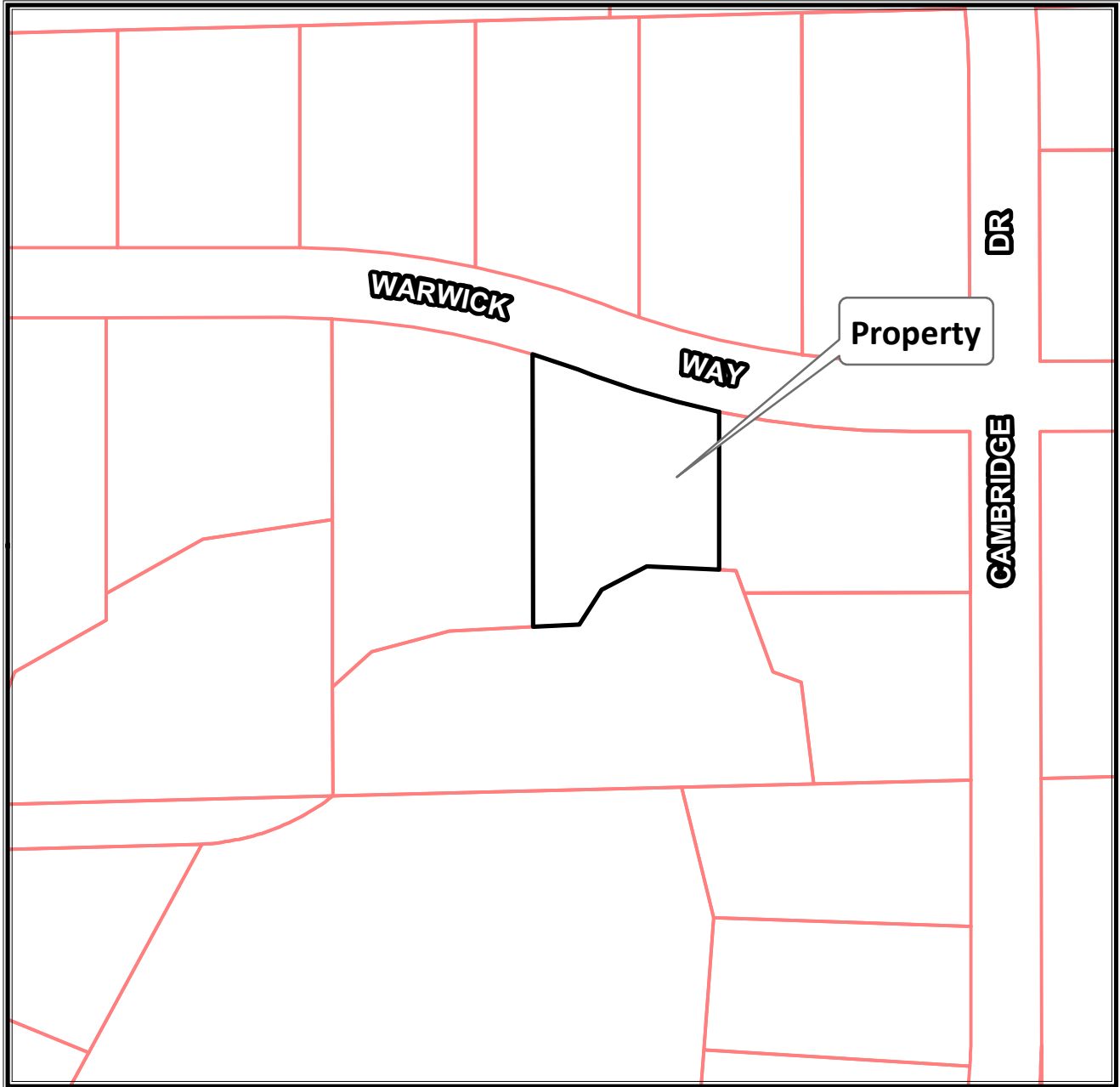
Planning Department
(414) 425-4024



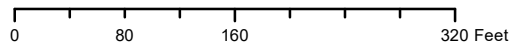
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



9023 W. Warwick Way
TKN: 754 0084 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
 franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: city use only

Franklin

MAR 07 2022

City Development

BOARD OF ZONING AND BUILDING APPEALS REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME:	TIMOTHY S. TRECEK	NAME:	THOMAS EARL
COMPANY:	HOMEOWNER	COMPANY:	DURHAM HILL
MAILING ADDRESS:	9297 KENSINGTON WAY	MAILING ADDRESS:	599 WIZT07 LOOMIS DR
CITY/STATE:	FRANKLIN WI ZIP: 53132	CITY/STATE:	MUSKEGO WI ZIP: 53150
PHONE:	414-271-0900 (w)	PHONE:	414-529-5262
EMAIL ADDRESS:	ttrecek@habush.com	EMAIL ADDRESS:	tearl@durhamhill.com

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS:	9023 WARWICK WAY	TAX KEY NUMBER:	
PROPERTY OWNER:	TIMOTHY S. TRECEK	PHONE:	AS ABOVE
MAILING ADDRESS:	AS ABOVE	EMAIL ADDRESS:	AS ABOVE
CITY/STATE:	ZIP:	DATE OF COMPLETION:	office use only

APPLICATION TYPE

Please check the application type that you are applying for

- Area Exception Minor Variance Sign Variance and Appeals Variance and Appeals

Most requests require Board of Zoning and Building Appeals approval.

Applicant is responsible for providing Board of Zoning and Building Appeals resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for BZBA approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE:		APPLICANT SIGNATURE:	
NAME & TITLE:	TIMOTHY S. TRECEK	NAME & TITLE:	THOMAS EARL RLA
DATE:	2/28/22	DATE:	
PROPERTY OWNER SIGNATURE:		APPLICANT REPRESENTATIVE SIGNATURE:	
NAME & TITLE:		NAME & TITLE:	
DATE:		DATE:	

CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

AREA EXCEPTION APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$300 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) the Plat of Survey, Site Plan, Building Elevations, and Outdoor Lighting Plans, as appropriate, and any other supporting documents, which illustrate the Area Exception request. *ALL plans must be collated and folded into 9x12-inch sets.*
 - ~~Two (2) photographs of the subject structure from different views, when applicable.~~
- Completed Standards in the Review of Area Exceptions form *(section 15-10.0209G. of the UDO).*
- Three (3) Affidavit forms with original and notarized signatures *(facilities and copies will not be accepted).*
- Email or flash drive with all plans / submittal materials.
 - All Area Exceptions require a public hearing at Plan Commission, Plan Commission recommendation to BZBA, and BZBA review and approval.
 - If a building permit is not issued within twelve (12) months of approval, the Area Exception will be null and void.

MINOR VARIANCE APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) copies of the form "Questions to be Answered by the Applicant" *per Section 15-9.0107 Minor Variances of the UDO*
 - Three (3) full size, drawn to scale copies of the Plat of Survey, Site Plan, and Building Elevations, as appropriate, photographs supporting the application and any other supporting documents, which illustrate the Variance request.
- Three (3) Affidavit Forms with original and notarized signatures *(facilities and copies will not be accepted).*
- Completed "Finding and Factors in the Review of Minor Variances" form *from Sections 15-10.0206C.2. of the UDO.*
- Email or flash drive with all plans / submittal materials.
 - A Building Permit must be issued within six (6) months of approval or the variance will be null and void.

Variance Type Requested [check one]: Accessory Structure (150 square feet or less) Deck Fence

SIGN VARIANCE AND APPEALS APPLICATION MATERIALS

- Copy of the Sign Permit "Letter of Denial". *(Appeals within 30 days after said denial; Variances within 60 days after said denial.)*
- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin [*\$250 per appeal or variance from Sign Code*]
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) Sign elevations, *drawn to scale not less than 1/2" = 1', plans folded to a maximum size of 9x12 inches. The elevations should denote the sign dimensions and area. Identify the colors, materials, finishes and lighting method (if applicable).*
 - Three (3) Site Plan, *showing the location of the proposed signage relative to (1) any existing or proposed structures; (2) parking stalls and/or driveways; (3) proposed landscaping and outdoor lighting; (4) the setback distance from the street right-of-way at the proposed location; (5) height of sign above the finished grade; and (6) the vision triangle distances described in Section 15-5.0201 of the Unified Development Ordinance.*
- Three (3) Affidavit Forms with original and notarized signatures *(facilities and copies will not be accepted).*
- Email or flash drive with all plans / submittal materials.
 - Permits for construction are REQUIRED after approval. Contact the Building Inspector (414-425-0084) for additional information.

VARIANCE AND APPEALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, copies of the Plat of Survey, Site Plan, Building Elevations, Landscape Plan and Outdoor Lighting Plan, *drawn to scale as appropriate, Photographs and any other supporting documents, which illustrate the Variance request.*
- Three (3) Affidavit Forms with original and notarized signatures *(facilities and copies will not be accepted).*
- Completed "Findings and Factors in the Review of Variances" form *from Sections 15-10.0206C.1. and 15-10.0211 of the UDO.*
- Completed "Findings and Factors in the Review of Land Division Variances" form *from Sections 15-9.0310B.1 of the UDO.*
- Email or flash drive with all plans / submittal materials.

Variance Type Requested [check one]: Administrative Appeal Area Variance Use Variance Non-conforming Use(s) Land Division Variance



PROJECT NARRATIVE

THE TRECEK RESIDENCE LOCATED AT 9023 WARWICK WAY IS AN EXQUISITE NEW HOME OF FRENCH COLONIAL DESIGN.

THEY HAVE AGREED TO INSTALL A LANDSCAPE THAT IS TASTEFUL AND COMPLIMENTARY TO THE HOME'S DESIGN.

A FENCED IN PRIVATE POOL AREA HAS BEEN DECLINED FOR THEIR PERSONAL USE. THE USE OF WILD FLOWERS AND TALL FEUCHE GRASSES ALLOW A NATURAL TRANSITION TO THE ADJOINING FIELDS. A STONE/BOULDER FREE STANDING WALL SEPERATES THE NATURAL AREAS. STONE STEPS WILL BE PLACED AS A STAIRCASE FROM THE FRONT ELEVATION INTO THE POOL AREA.

A B C D E F G H I J

9023 W.
WARWICK WAY

PLAT OF SURVEY

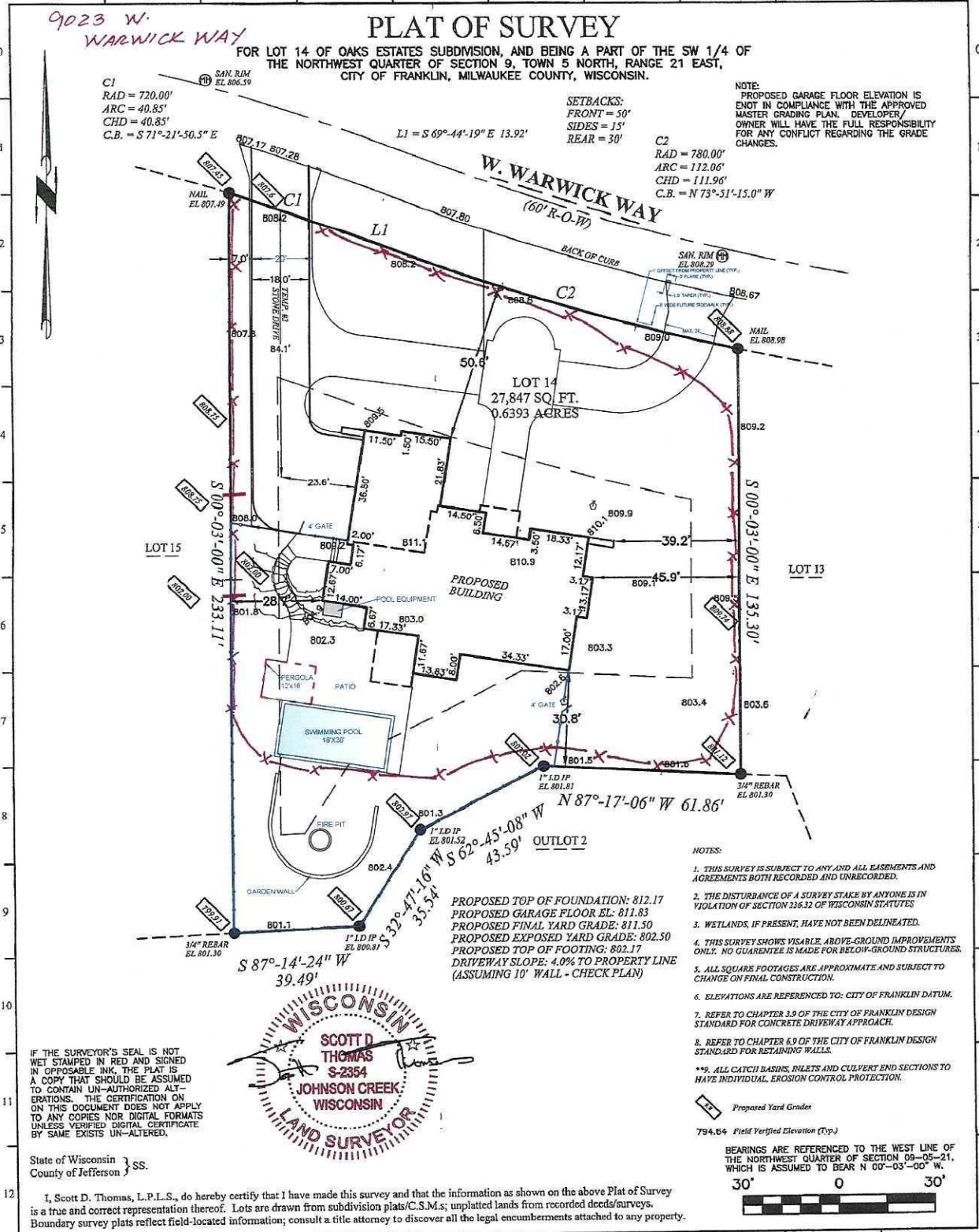
FOR LOT 14 OF OAKS ESTATES SUBDIVISION, AND BEING A PART OF THE SW 1/4 OF THE NORTHWEST QUARTER OF SECTION 9, TOWN 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

C1
RAD = 720.00'
ARC = 40.85'
CHD = 40.85'
C.B. = S 71°-21'-50.5" E

SETBACKS:
FRONT = 50'
SIDES = 15'
REAR = 30'

NOTE:
PROPOSED GARAGE FLOOR ELEVATION IS ENOT IN COMPLIANCE WITH THE APPROVED MASTER GRADING PLAN. DEVELOPER/OWNER WILL HAVE THE FULL RESPONSIBILITY FOR ANY CONFLICT REGARDING THE GRADE CHANGES.

C2
RAD = 780.00'
ARC = 112.06'
CHD = 111.96'
C.B. = N 73°-51'-15.0" W



PROPOSED TOP OF FOUNDATION: 812.17
PROPOSED GARAGE FLOOR EL: 811.83
PROPOSED FINAL YARD GRADE: 811.50
PROPOSED EXPOSED YARD GRADE: 802.50
PROPOSED TOP OF FOOTING: 802.17
DRIVEWAY SLOPE: 4.0% TO PROPERTY LINE (ASSUMING 10" WALL - CHECK PLAN)

- NOTES:
1. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS BOTH RECORDED AND UNRECORDED.
 2. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS IN VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.
 3. WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED.
 4. THIS SURVEY SHOWS VISIBLE ABOVE-GROUND IMPROVEMENTS ONLY. NO GUARENTEE IS MADE FOR BELOW-GROUND STRUCTURES.
 5. ALL SQUARE FOOTAGES ARE APPROXIMATE AND SUBJECT TO CHANGE ON FINAL CONSTRUCTION.
 6. ELEVATIONS ARE REFERENCED TO: CITY OF FRANKLIN DATUM.
 7. REFER TO CHAPTER 3.9 OF THE CITY OF FRANKLIN DESIGN STANDARD FOR CONCRETE DRIVEWAY APPROACH.
 8. REFER TO CHAPTER 6.9 OF THE CITY OF FRANKLIN DESIGN STANDARD FOR RETAINING WALLS.
 9. ALL CATCH BASINS, INLETS AND CULVERT END SECTIONS TO HAVE INDIVIDUAL EROSION CONTROL PROTECTION.

WISCONSIN
SCOTT D. THOMAS
S-2354
JOHNSON CREEK
WISCONSIN
LAND SURVEYOR

IF THE SURVEYOR'S SEAL IS NOT WET STAMPED IN RED AND SIGNED IN OPPOSITE INK, THE PLAT IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UN-AUTHORIZED ALTERATIONS. THE CERTIFICATION ON THIS DOCUMENT DOES NOT APPLY TO ANY COPIES NOR DIGITAL FORMATS UNLESS VERIFIED DIGITAL CERTIFICATE BY SAME EXISTS UN-ALTERED.

State of Wisconsin }
County of Jefferson } SS.

I, Scott D. Thomas, L.P.L.S., do hereby certify that I have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof. Lots are drawn from subdivision plats/C.S.M.s; unplatted lands from recorded deeds/surveys. Boundary survey plats reflect field-located information; consult a title attorney to discover all the legal encumbrances attached to any property.

Proposed Yard Grades
794.64 Field Verified Elevation (Typ.)
BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 09-05-21, WHICH IS ASSUMED TO BEAR N 00°-03'-00" W.
30' 0 30'

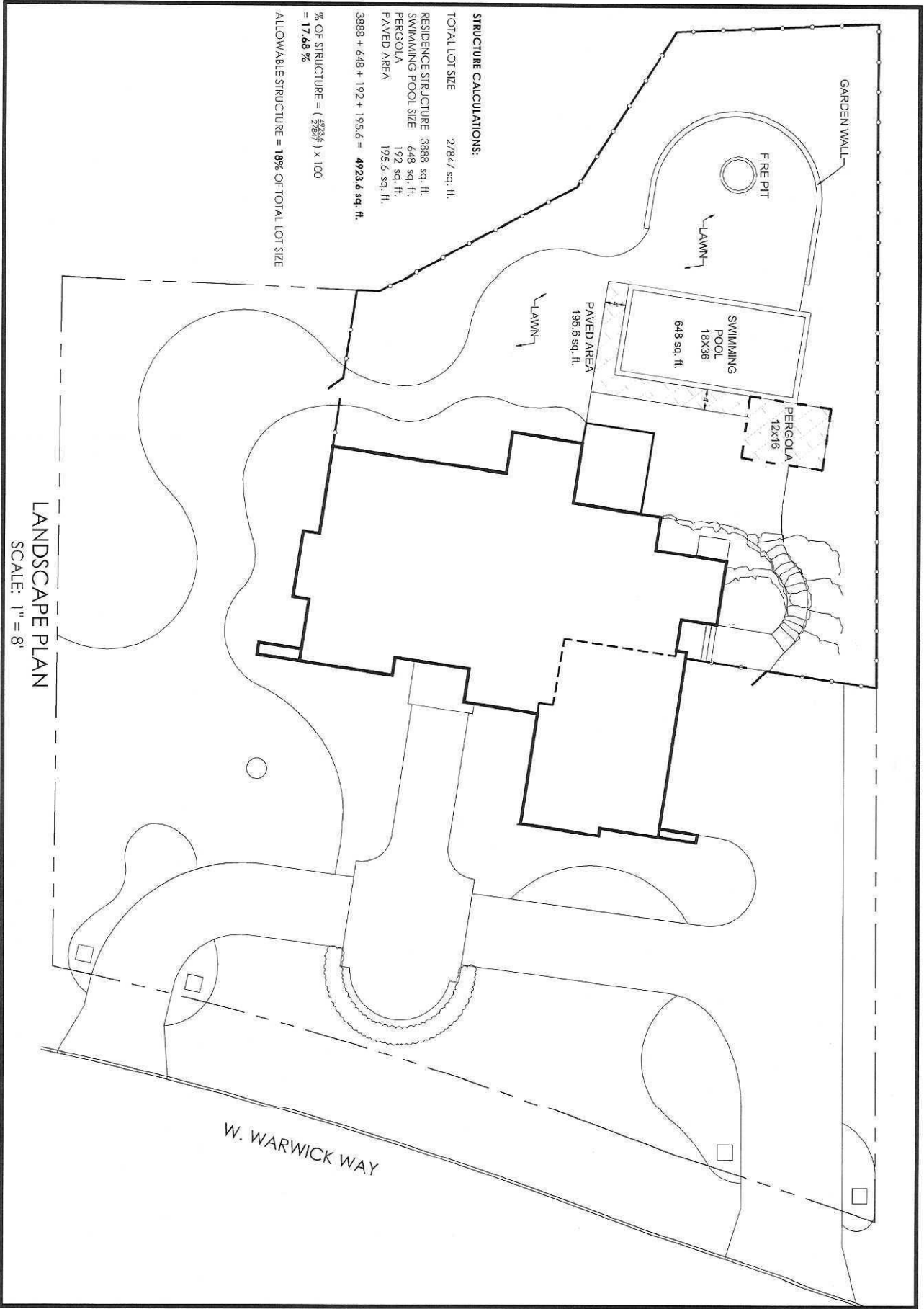
NOTE: EXCAVATOR AND MASON MUST VERIFY AT LEAST TWO BENCH MARKS SHOWN ABOVE.

- LEGEND: These standard symbols may be found in the drawing.
- Lot Corner (Found) w/desc.
 - Elec. Trans. Box
 - ⊕ Man Hole
 - Utility Pedestal
 - ⊕ Fire Hydrant
 - ⊕ Water Valve
 - Catch Basin
 - ┆ Lateral End
 - ⊕ Offset Stake
 - Platted Utility Easement
 - Building Setback Line
 - Proposed Silt Fence

REVIEWED
FINISHED GRADE ELEVATION = 811.83
AT GARAGE FLOOR CITY OF FRANKLIN DATUM
CITY ENGINEER PER RMA 3-10-2021 DATE

PROJECT: Trecek
BUILDER: Steeple Pointe Homes, LLC
2425 N. Grandview Blvd.
Waukesha, WI 53188

Digitally signed by
Scott D. Thomas
Date: 2021.03.09




STRUCTURE CALCULATIONS:

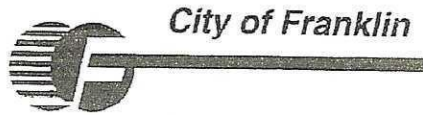
TOTAL LOT SIZE 27,847 sq. ft.
 RESIDENCE STRUCTURE 3888 sq. ft.
 SWIMMING POOL SIZE 648 sq. ft.
 PERGOLA 192 sq. ft.
 PAVED AREA 195.6 sq. ft.
 3888 + 648 + 192 + 195.6 = **4923.6 sq. ft.**
 % OF STRUCTURE = $(\frac{4923.6}{27847}) \times 100$
 = **17.48 %**
 ALLOWABLE STRUCTURE = **18% OF TOTAL LOT SIZE**

LANDSCAPE PLAN
 SCALE: 1" = 8'

DURHAM HILL
 DURHAM HILL
 599 W. 127th LOOMIS DR.
 MUSKEGO, WI 53150
 414-529-5262
 www.durhamhill.com

TRECEK RESIDENCE
 W. Warwick Way,
 Frankin, WI

Sheet Title	LANDSCAPE PLAN
Scale	1" = 8'
Revisions	Date
 NORTH	
Date:	03-02-2022
Checked By:	TE
Drawn By:	AJW
Sheet No.	L1.2



Standards in the Review of Area Exceptions

Date: 2/28/2022

Case No. _____

Property Owner: TIMOTHY S TRECEK

Property Address: 9023 WARWICK WAY

Section 15-10.0209G of the City of Franklin Unified Development Ordinance specifically lists Standards to be reviewed by the Board of Zoning and Building Appeals to grant or deny an Area Exception. The Standards are:

1. That the area exception will not be detrimental to or endanger the public health, safety, comfort or general welfare.

IT WILL NOT AS THE POOL (STRUCTURES)
ARE IN A FENCED AREA. IT ALSO IS OUT OF
IMMEDIATE SITE

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or diminished by the area exception.

IT WILL NOT AS THERE IS EXTENSIVE
LANDSCAPE BEING PLANNED. FURTHER THE POOL/
PERGOLA IS IN ITSELF ATTRACTIVE

3. That the area exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

IT WILL NOT AS A POOL SETTING
IS NOT AN UNCOMMON STRUCTURE

4. That the area exception will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire within the neighborhood.

IT WILL NOT

5. That the area exception shall be in harmony with the general purpose and intent of this Unified Development Ordinance.

IT WILL ENHANCE THE DEVELOPMENT
WITH THE PLANNED LANDSCAPE



DURHAM HILL
 S99 W12707 LOOMIS DR.
 MUSKEGO, WI 53150
 414-529-5262
 www.durhamhill.com

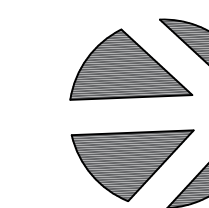
TRECEK RESIDENCE
 9023 W. Warwick Way,
 Franklin, WI

Sheet Title

PLAN FOR IMPERVIOUS
 AREA CALCULATIONS

Scale: 1" = 8'

Revisions: Date:



NORTH

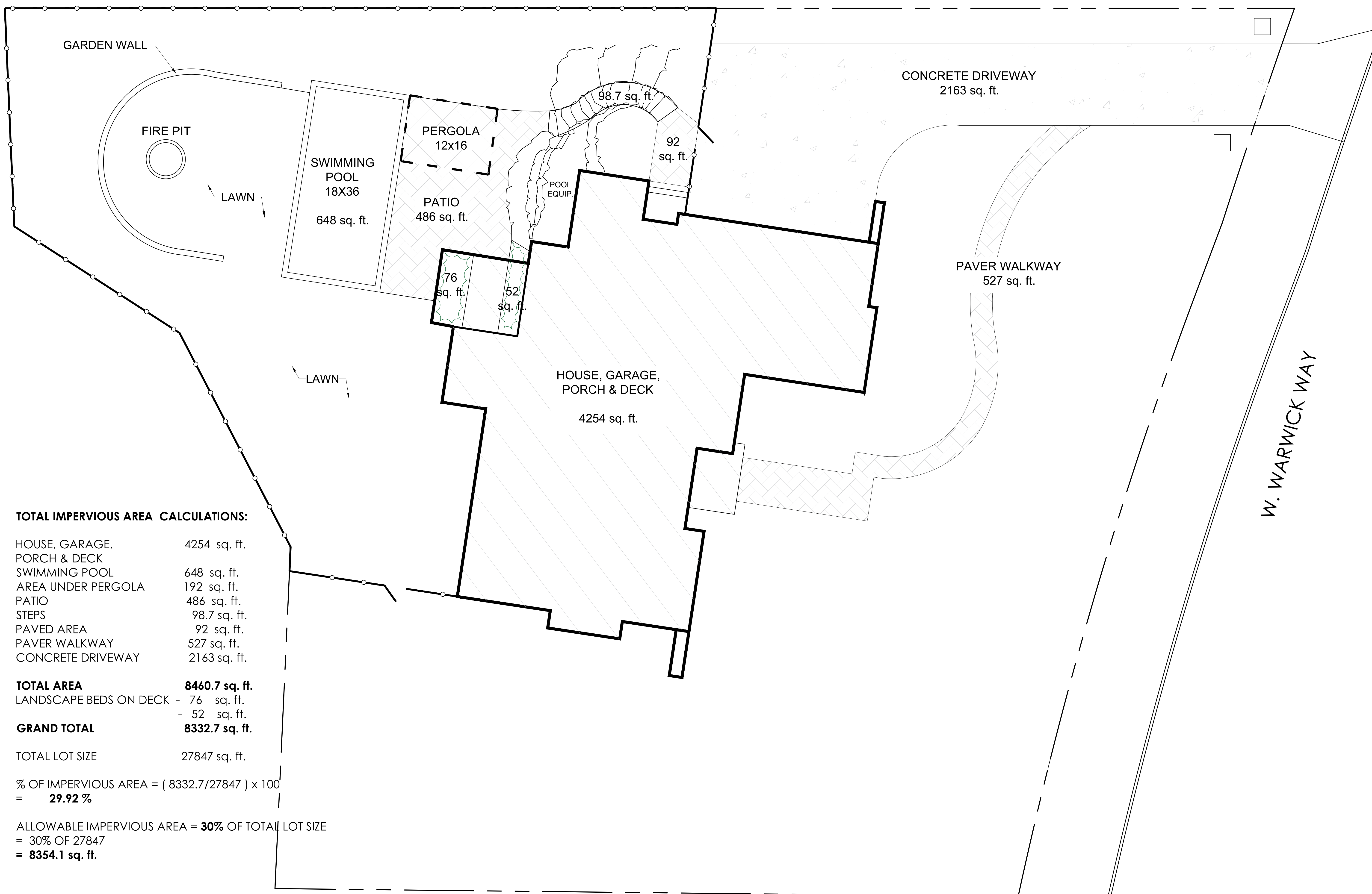
Date: 04-27-2022

Checked By: TE

Drawn By: AM

Sheet No.

L 1.3



TOTAL IMPERVIOUS AREA CALCULATIONS:

HOUSE, GARAGE, PORCH & DECK	4254 sq. ft.
SWIMMING POOL	648 sq. ft.
AREA UNDER PERGOLA	192 sq. ft.
PATIO	486 sq. ft.
STEPS	98.7 sq. ft.
PAVED AREA	92 sq. ft.
PAVER WALKWAY	527 sq. ft.
CONCRETE DRIVEWAY	2163 sq. ft.

TOTAL AREA	8460.7 sq. ft.
LANDSCAPE BEDS ON DECK -	76 sq. ft.
-	52 sq. ft.
GRAND TOTAL	8332.7 sq. ft.

TOTAL LOT SIZE 27847 sq. ft.

% OF IMPERVIOUS AREA = (8332.7/27847) x 100
 = **29.92 %**

ALLOWABLE IMPERVIOUS AREA = **30%** OF TOTAL LOT SIZE
 = 30% OF 27847
 = **8354.1 sq. ft.**

PLAN FOR IMPERVIOUS AREA CALCULATIONS
 SCALE: 1" = 8'



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.4.

Meeting of May 5, 2022

Area Exception

RECOMMENDATION: City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant’s recommended findings and consideration of any comments provided at the public hearing.

Project Name:	Bouraxis, Area Exception for lot coverage increase
Project Address:	9044 W Warwick Way
Applicant:	Bouraxis, Andreas
Property Owner:	Bouraxis, Andreas
Current Zoning:	R-3E Suburban/Estate Single Family Residence District
Use of Surrounding Properties:	Residential single-family zoned R-3E
Applicant’s Action Requested:	Recommendation for approval of Area Exception
Planner:	Régulo Martínez-Montilva, AICP, Principal Planner

INTRODUCTION:

Area Exception to allow for a lot coverage of 17.6% (5,718.8 square feet) for a new single-family home in the Oakes Estates subdivision, exceeding the R-3E Suburban/Estate Single Family Residence District maximum lot coverage standard of 15% (4,862.7 square feet). The area of the subject property is 32,418 square feet.

According to the applicant’s calculation, the residence structure would have a footprint of 3,273 square feet; plus an attached garage (1,554.6 sf), a front porch (268.5 sf) and a rear porch (622.6 sf).

PROJECT ANALYSIS:

The process to grant an Area Exception involves review and recommendation of the Plan Commission followed by approval by the Board of Zoning and Building Appeals.

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%. Section 15-10.0209.G. of the Unified Development Ordinance (UDO) specifically lists Standards to be reviewed to grant or deny an Area Exception, which the Plan Commission and Board of Zoning and Building Appeals will use to consider this request.

Lot coverage is defined as “the area of a zoning lot occupied by the principal building or buildings, accessory structure(s) and accessory building(s)”. For example, structures that count towards lot coverage include: principal buildings or dwellings, garages, sheds, swimming pools and associated paved surfaces within 4 feet from the pool, decks, any structures with a cover or canopy, etc. This Lot Coverage definition should not be confused with Impervious

Surface Ratio (ISR) as driveways and walkways count towards ISR but not for lot coverage.

Maximum lot coverage calculation:

- The property area is 32,418 square feet (sf).
- Per UDO Table 15-3.0204, the maximum lot coverage is 0.15 in the R3-E Suburban/Estate Single-Family Residence District where the subject property is located. Based on the property area, the maximum lot coverage for this property is 4,863 sf.
- The proposed improvements for which this Area Exception has been requested would have an area of 5,719 sf, specifically: single-family residence (3,273.1 sf), attached garage (1,554.6 sf), front porch (268.5 sf) and rear porch (622.6 sf).
- The resulting lot coverage with all proposed improvements would be 0.176 (5,718.8 sf).
- With approval of an Area Exception, the maximum lot coverage may be increased up to 20%, resulting in 0.18 (5,835 sf). Therefore, this request falls within the allowable increase if the Area Exception is granted.

Engineering Department comments

- No comments. Keep in mind that they have only 3.4% of 32,418 sqft. (1,121.6 sqft. or less) left for an additional impervious area.

Inspection Services Department comments

- Inspection Services has no comments on the proposal at this time.

Fire Department comments

- FD has no comments.

Police Department comments

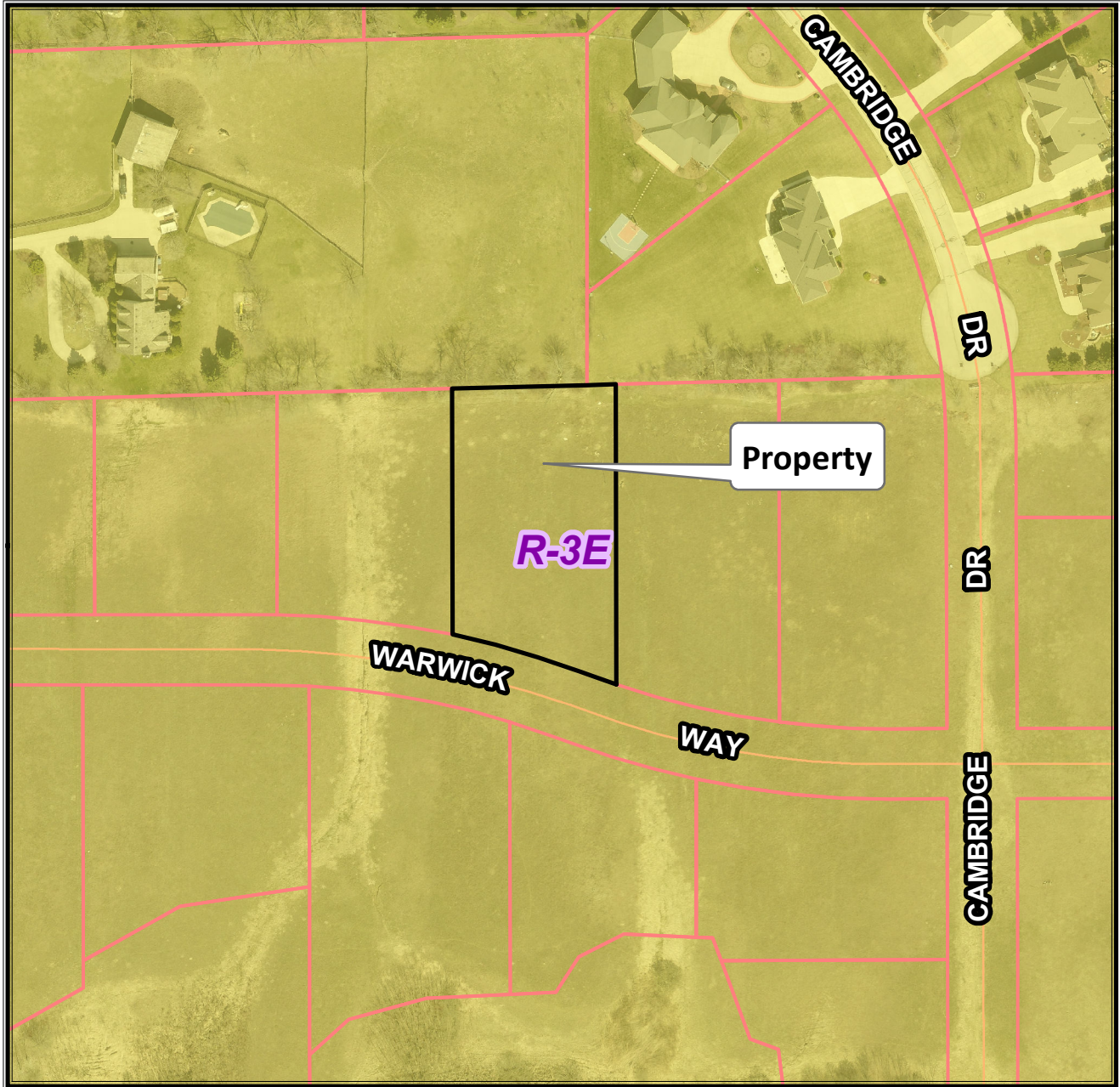
- The PD has no comment regarding this request.

STAFF RECOMMENDATION

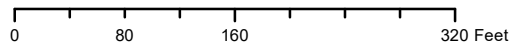
City Development Staff recommends review of the Findings and Factors and Standards and a decision be made based upon the applicant's recommended findings and consideration of any comments provided at the public hearing.

This application is scheduled for the May 18, Board of Zoning and Building Appeals meeting for decision.

9044 W. Warwick Way
TKN: 754 0074 000



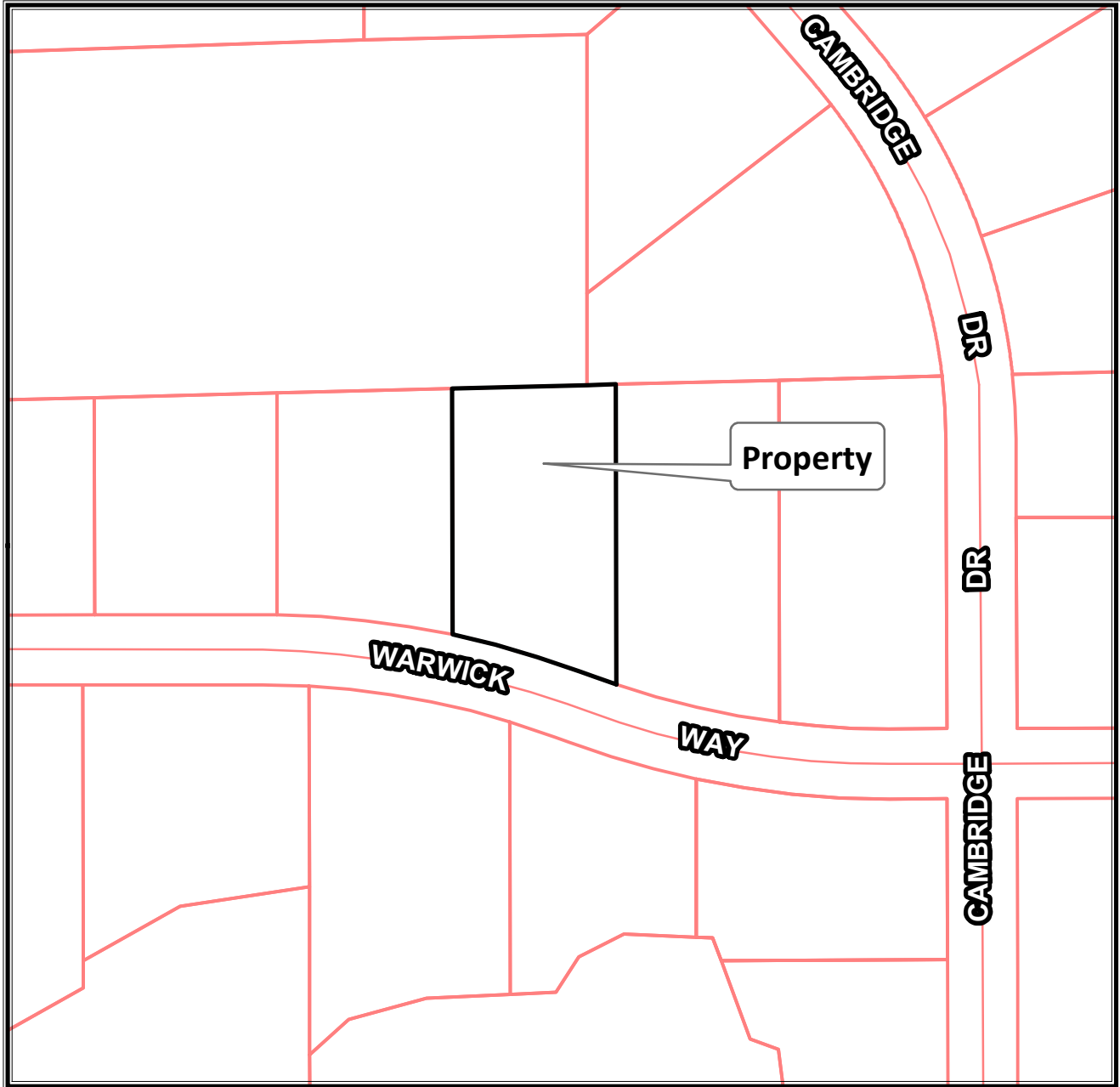
Planning Department
(414) 425-4024



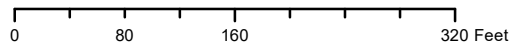
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



9044 W. Warwick Way
TKN: 754 0074 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 generalplanning@franklinwi.gov
 (414) 425-4024
 franklinwi.gov



APPLICATION DATE: 3/14/2022

STAMP DATE: Franklin office use only

MAR 16 2022

City Development

BOARD OF ZONING AND BUILDING APPEALS REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Andreas Bouraxis	NAME: Steve Wamsor
COMPANY:	COMPANY: Synergy Homes WI, LLC
MAILING ADDRESS: 7282 S. Stonehedge Drive	MAILING ADDRESS: PO Box 321486
CITY/STATE: Franklin, WI ZIP: 53132	CITY/STATE: Franklin, WI ZIP: 53132
PHONE: 414-617-8380	PHONE: 414-690-2533
EMAIL ADDRESS: abouraxis@yahoo.com	EMAIL ADDRESS: steve@synergyhomeswic.om

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 9044 W. Warwick Way	TAX KEY NUMBER: 7540074000
PROPERTY OWNER: Andreas Bouraxis	PHONE: 414-690-2533
MAILING ADDRESS: 7282 S. Stonehedge Drive	EMAIL ADDRESS: steve@synergyhomeswic.om
CITY/STATE: FranklinWI ZIP: 53132	DATE OF COMPLETION: office use only

APPLICATION TYPE

Please check the application type that you are applying for

Area Exception
 Minor Variance
 Sign Variance and Appeals
 Variance and Appeals

Most requests require Board of Zoning and Building Appeals approval.

Applicant is responsible for providing Board of Zoning and Building Appeals resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for BZBA approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
NAME & TITLE: Andreas Bouraxis DATE:	NAME & TITLE: Steve Wamsor/Home Builder DATE: 3-14-2022
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: DATE:

CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

AREA EXCEPTION APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$300 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) the Plat of Survey, Site Plan, Building Elevations, and Outdoor Lighting Plans, as appropriate, and any other supporting documents, which illustrate the Area Exception request. *ALL plans must be collated and folded into 9x12-inch sets.*
- Two (2) photographs of the subject structure from different views, *when applicable.*
- Completed Standards in the Review of Area Exceptions form (*section 15-10.0209G. of the UDO*).
- Three (3) Affidavit forms with original and notarized signatures (*facilities and copies will not be accepted*).
- Email or flash drive with all plans / submittal materials.
 - All Area Exceptions require a public hearing at Plan Commission, Plan Commission recommendation to BZBA, and BZBA review and approval.
 - If a building permit is not issued within twelve (12) months of approval, the Area Exception will be null and void.

MINOR VARIANCE APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) copies of the form "Questions to be Answered by the Applicant" *per Section 15-9.0107 Minor Variances of the UDO*
 - Three (3) full size, drawn to scale copies of the Plat of Survey, Site Plan, and Building Elevations, as appropriate, photographs supporting the application and any other supporting documents, which illustrate the Variance request.
- Three (3) Affidavit Forms with original and notarized signatures (*facilities and copies will not be accepted*).
- Completed "Finding and Factors in the Review of Minor Variances" form from *Sections 15-10.0206C.2. of the UDO.*
- Email or flash drive with all plans / submittal materials.
 - A Building Permit must be issued within six (6) months of approval or the variance will be null and void.

Variance Type Requested [check one]: Accessory Structure (150 square feet or less) Deck Fence

SIGN VARIANCE AND APPEALS APPLICATION MATERIALS

- Copy of the Sign Permit "Letter of Denial". (*Appeals within 30 days after said denial; Variances within 60 days after said denial.*)
- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin [*\$250 per appeal or variance from Sign Code*]
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) Sign elevations, *drawn to scale not less than 1/2" = 1', plans folded to a maximum size of 9x12 inches. The elevations should denote the sign dimensions and area. Identify the colors, materials, finishes and lighting method (if applicable).*
 - Three (3) Site Plan, *showing the location of the proposed signage relative to (1) any existing or proposed structures; (2) parking stalls and/or driveways; (3) proposed landscaping and outdoor lighting; (4) the setback distance from the street right-of-way at the proposed location; (5) height of sign above the finished grade; and (6) the vision triangle distances described in Section 15-5.0201 of the Unified Development Ordinance.*
- Three (3) Affidavit Forms with original and notarized signatures (*facilities and copies will not be accepted*).
- Email or flash drive with all plans / submittal materials.
 - Permits for construction are REQUIRED after approval. Contact the Building Inspector (414-425-0084) for additional information.

VARIANCE AND APPEALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, copies of the Plat of Survey, Site Plan, Building Elevations, Landscape Plan and Outdoor Lighting Plan, *drawn to scale as appropriate, Photographs and any other supporting documents, which illustrate the Variance request.*
- Three (3) Affidavit Forms with original and notarized signatures (*facilities and copies will not be accepted*).
- Completed "Findings and Factors in the Review of Variances" form from *Sections 15-10.0206C.1. and 15-10.0211 of the UDO.*
- Completed "Findings and Factors in the Review of Land Division Variances" form from *Sections 15-9.0310B.1 of the UDO*.
- Email or flash drive with all plans / submittal materials.

Variance Type Requested [check one]: Administrative Appeal Area Variance Use Variance Non-conforming Use(s) Land Division Variance



March 15, 2022

Heath Eddy
Planning Manager
City of Franklin

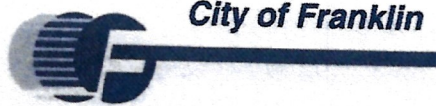
Dear Mr. eddy

I'm writing you in regards to 9044 W. Warwick Way Franklin, WI 53132. Parcel ID#7540074000. The home designed for The Bouraxis family is consistent in size and scope of the other homes in Oakes Estates and surrounding subdivisions. There are several homes with larger footprints in Oakes Estates already approved and under construction but this happens to be one of the smaller lots in the neighborhood. We are requesting approval to increase area coverage about the 15% for this home to be constructed as drawn.

I have attached the survey, home plans, signed affidavit, color rendering, and 360 degree video of home. This was also approved by the Developer Max Oakes.

Thank You,
Steve Wamser
Synergy Homes WI, LLC
www.synergyhomeswi.com

Synergy Homes WI, LLC.
PO Box 321486, Franklin, WI 53132
steve@synergyhomeswi.com
414 690 2533



Standards in the Review of Area Exceptions

Date: 3-14-2022

Case No. _____

Property Owner: Andreas Bouraxis

Property Address: 9044 W. Warner Way Franklin, WI

Section 15-10.0209G of the City of Franklin Unified Development Ordinance specifically lists Standards to be reviewed by the Board of Zoning and Building Appeals to grant or deny an Area Exception. The Standards are:

1. That the area exception will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Correct, This will pose no danger to public health in my way.

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or diminished by the area exception.

Correct, This is a beautiful executive home that will improve home values in the area.

3. That the area exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

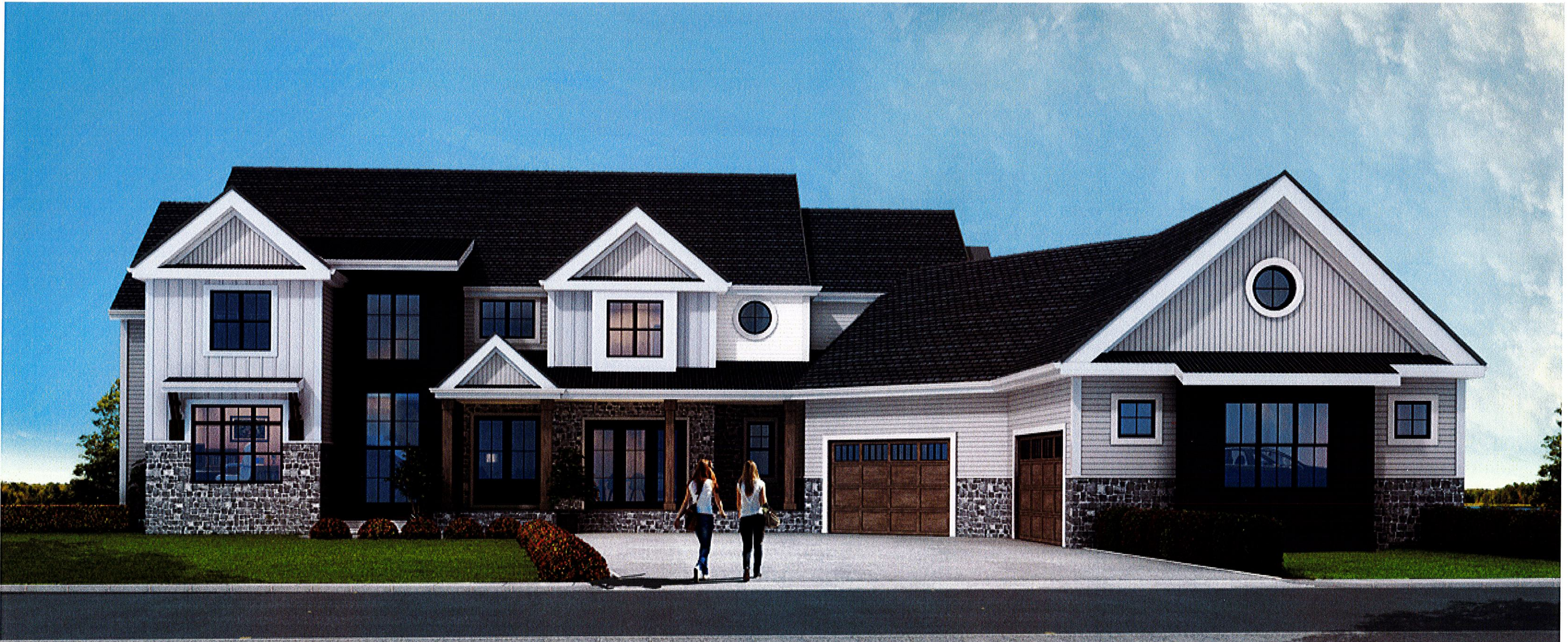
This home is comparable to other homes in the neighborhood.

4. That the area exception will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire within the neighborhood.

This home will not impede or cause any problems to the neighboring properties.

5. That the area exception shall be in harmony with the general purpose and intent of this Unified Development Ordinance.

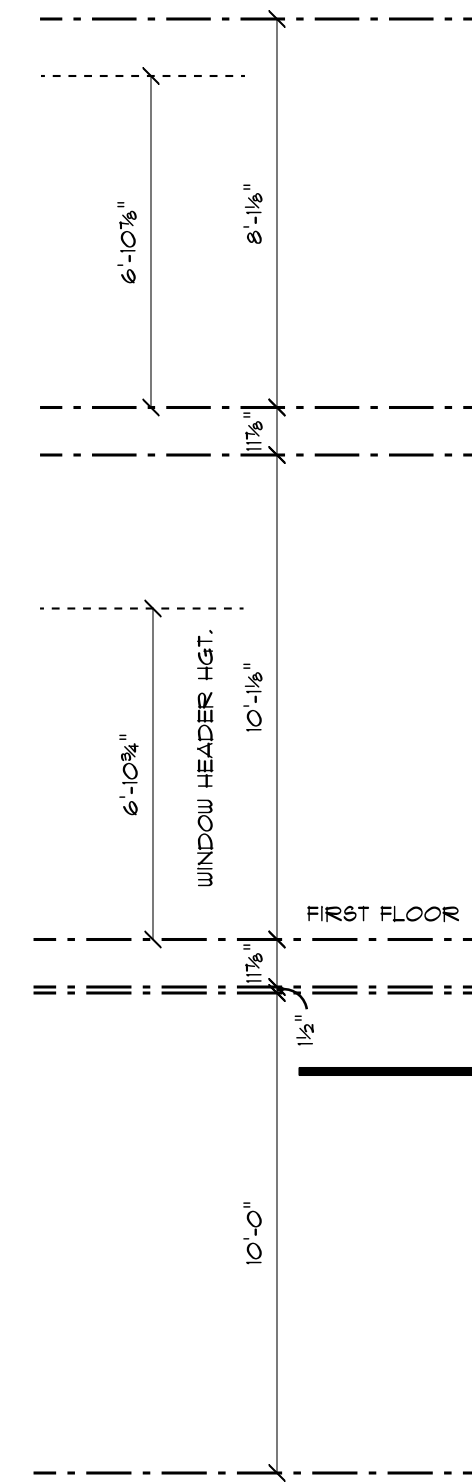
This home is in harmony with the other New homes being constructed in the development. The developer Max Oakes gave this home a ringing endorsement and his home is currently under construction right across the Street.





FRONT ELEVATION

1/4" = 1'-0"



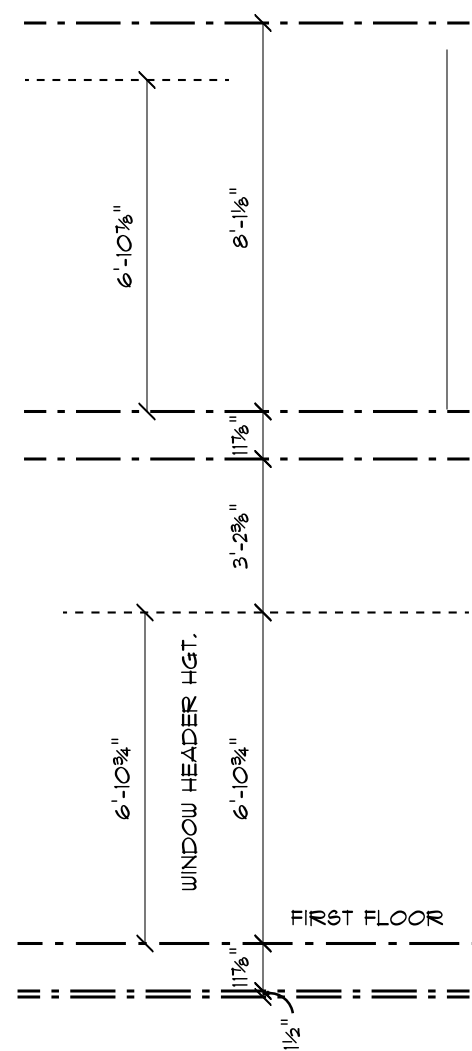
THIN CUT NATURAL STONE 10' SMOOTH CEDAR COLUMNS OVER 6 X 6 TREATED POSTS

1'-0" TYPICAL OVERHANG



REAR ELEVATION

1/4" = 1'-0"



THIN CUT NATURAL STONE THIN CUT NATURAL STONE BOARD & BATTEN

IMPORTANT NOTE:
 * IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE ARCHITECTURAL PLANS, THE ARCHITECT MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON, AND THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 * IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:
BOURAXIS, ANDREAS & MARIA
 LOT 4 OAKES ESTATES - FRANKLIN
 SHEET NO.: 1 OF 5
 BID DATE: 10-12-21 DATE: 02-22-21 DATE: 03-05-21 DATE:
 REV/ISSUE: DATE: 02-22-21 DATE: 03-05-21 DATE:
 DATE: 03-05-21 DATE: 03-05-21 DATE: 03-05-21 DATE:

TOTAL SQ. FT. - 1270
 FIRST FLOOR - 3226
 SECOND FLOOR - 2421
 LOWER LEVEL - 1623

SYNERGY HOMES WI, LLC
 P.O. BOX 321486 FRANKLIN, WI
 414 - 690 - 2933



IMPORTANT NOTE:
 * IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND SPECIFICATIONS FOR ANY DISCREPANCIES. HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 * IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND ALL APPLICABLE ORDINANCES SHALL TAKE PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:
BOURAXIS, ANDREAS & MARIA
 LOT 4 CAKES ESTATES - FRANKLIN

TOTAL SQ. FT. - 1,210
 FIRST FLOOR - 3,226
 SECOND FLOOR - 2,421
 LOWER LEVEL - 1,623

SYNERGY HOMES WI, LLC
 P.O. BOX 321486 FRANKLIN, WI
 414 - 690 - 2533



SHEET NO.: 1 OF 5
 PLAN NO.:
 BID DATE: 10-12-21 DATE: 10-12-21 DATE: 10-12-21
 REVISIONS: DATE: 10-12-21 DATE: 10-12-21 DATE: 10-12-21



LEFT ELEVATION

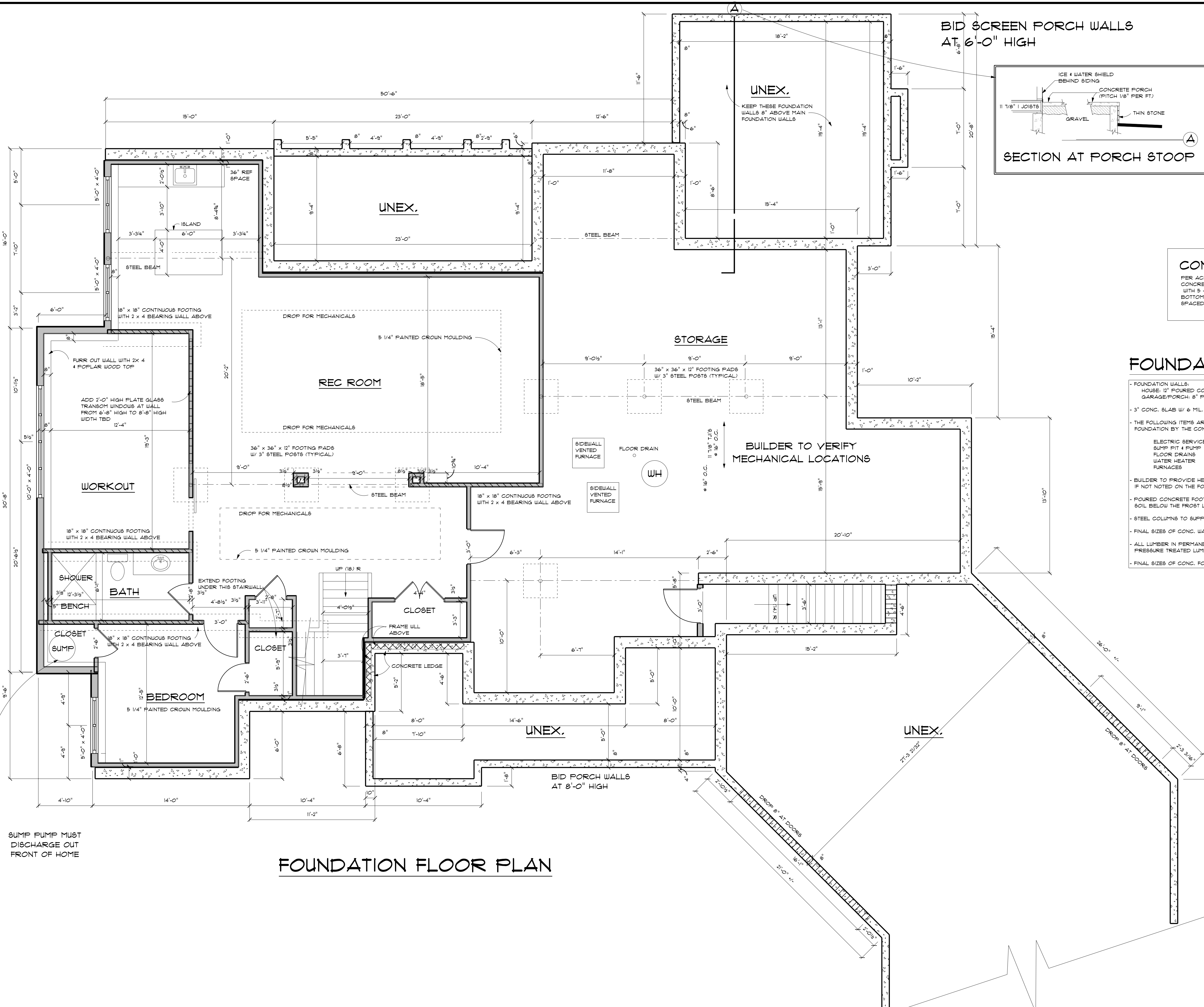
1/4" = 1'-0"

4" EXPOSURE SIDING (TYPICAL THROUGHOUT)



RIGHT ELEVATION

1/4" = 1'-0"



FOUNDATION FLOOR PLAN

SUMP PUMP MUST DISCHARGE OUT FRONT OF HOME

CONCRETE WALL NOTE:
PER ACI 302-14 TABLE 8.2.1(3) & SECTION 8.21 USE A 12" THICK CONCRETE WITH 3500 P.S.I. REINFORCE WITH 5 #4 REBAR HORIZONTALLY WITH 1 BAR WITHIN TOP 4" BOTTOM 24" OF WALL AND ANOTHER 3 BARS EQUALLY SPACED AND #4 REBAR VERTICALLY @ 11" O.C.

FOUNDATION NOTES:

- FOUNDATION WALLS: HOUSE: 12" POURED CONC. WALLS 10'-0" HIGH ON 24" X 8" CONC. FOOTINGS GARAGE/PORCH: 8" POURED CONC. WALLS MIN. 48" BELOW GRADE
- 3" CONC. SLAB W/ 6 MIL. VAPOR RETARDER 4 MIN. 4" CRUSHED STONE
- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
 - ELECTRIC SERVICES
 - SUMP PIT & PUMP
 - FLOOR DRAINS
 - WATER HEATER
 - FURNACES
- BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS IF NOT NOTED ON THE FOUNDATION PLAN.
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE.
- STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS NOTED.
- FINAL SIZES OF CONC. WALLS AND FOOTINGS TO BE VERIFIED BY OTHERS.
- ALL LUMBER IN PERMANENT CONTACT WITH CONCRETE MUST BE PRESSURE TREATED LUMBER.
- FINAL SIZES OF CONC. FOOTINGS & WALLS TO BE DETERMINED BY OTHERS.

IMPORTANT NOTE:
* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE ARCHITECTURAL PLANS, THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
* IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

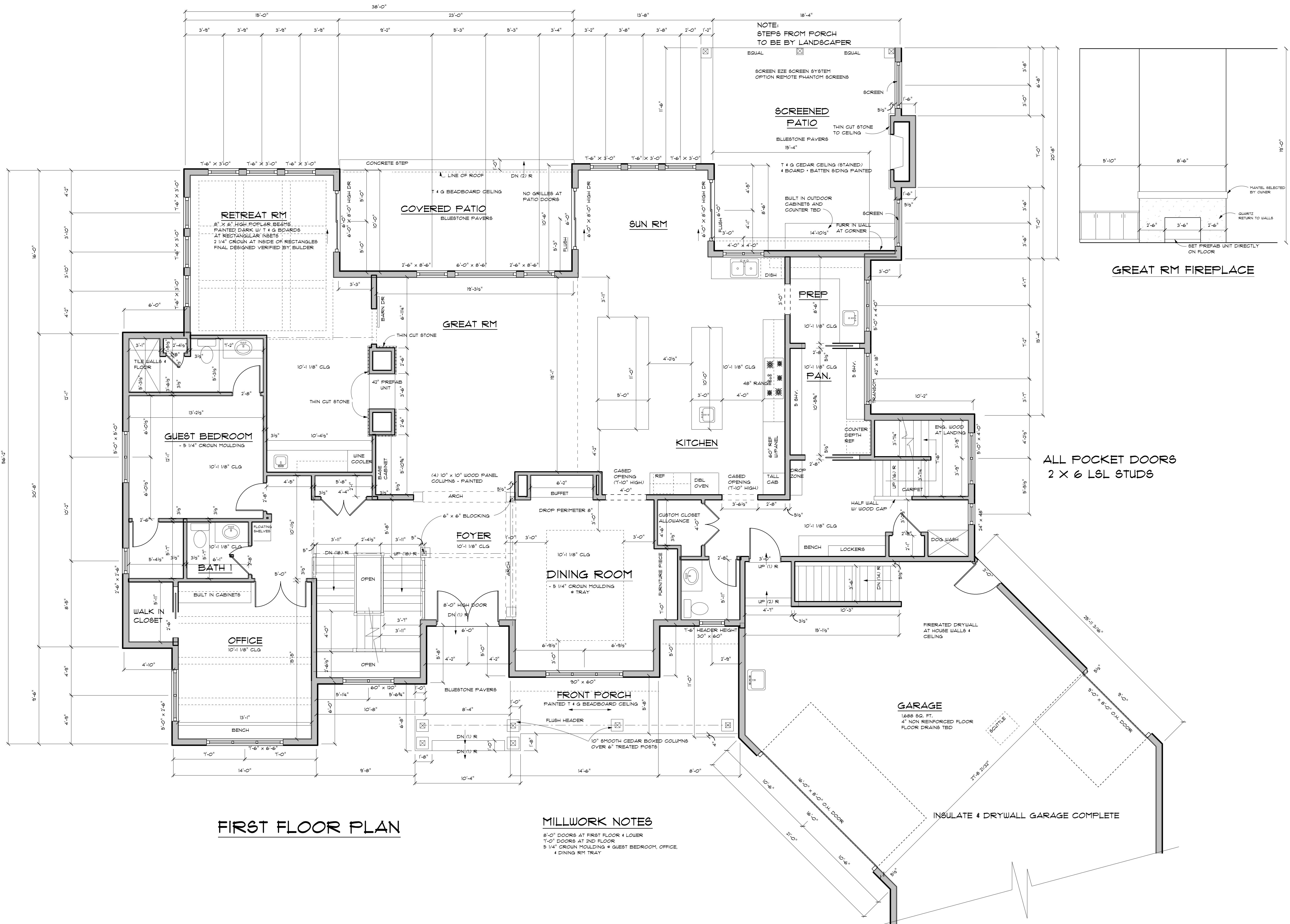
CUSTOM DESIGNED FOR:
BOURAXIS, ANDREAS & MARIA
LOT 4 OAKES ESTATES - FRANKLIN

SHEET NO.: 3 OF 6
PLAN NO.:
DATE: 10-12-21
DATE: 10-12-21
DATE: 10-12-21
DATE: 10-12-21

TOTAL SQ. FT. - 1270
FIRST FLOOR - 3226
SECOND FLOOR - 2421
LOUER LEVEL - 1623

SYNERGY HOMES WI, LLC
P.O. BOX 321486 FRANKLIN, WI
414 - 690 - 2533





FIRST FLOOR PLAN

MILLWORK NOTES

- 8'-0" DOORS AT FIRST FLOOR & LOUVER
- 7'-0" DOORS AT 2ND FLOOR
- 5 1/4" CROWN MOULDING @ GUEST BEDROOM, OFFICE, & DINING RM TRAY

NOTE:
STEPS FROM PORCH
TO BE BY LANDSCAPER

EQUAL EQUAL

SCREENED PATIO

SCREEN EZE SCREEN SYSTEM
OPTION REMOTE PHANTOM SCREENS

T & G CEDAR CEILING (STAINED)
4 BOARD BATTEN SIDING PAINTED

BUILT IN OUTDOOR
CABINETS AND
COUNTER T&G

GREAT RM FIREPLACE

ALL POCKET DOORS
2 X 6 LSL STUDS

GARAGE

1688 SQ. FT.
4" NON REINFORCED FLOOR
FLOOR DRAINS T&G

INSULATE & DRYWALL GARAGE COMPLETE

CUSTOM DESIGNED FOR:
BOURAXIS, ANDREAS & MARIA
LOT 4 OAKES ESTATES - FRANKLIN

TOTAL 60, FT. - 1270
FIRST FLOOR - 3226
SECOND FLOOR - 2421
LOWER LEVEL - 1623

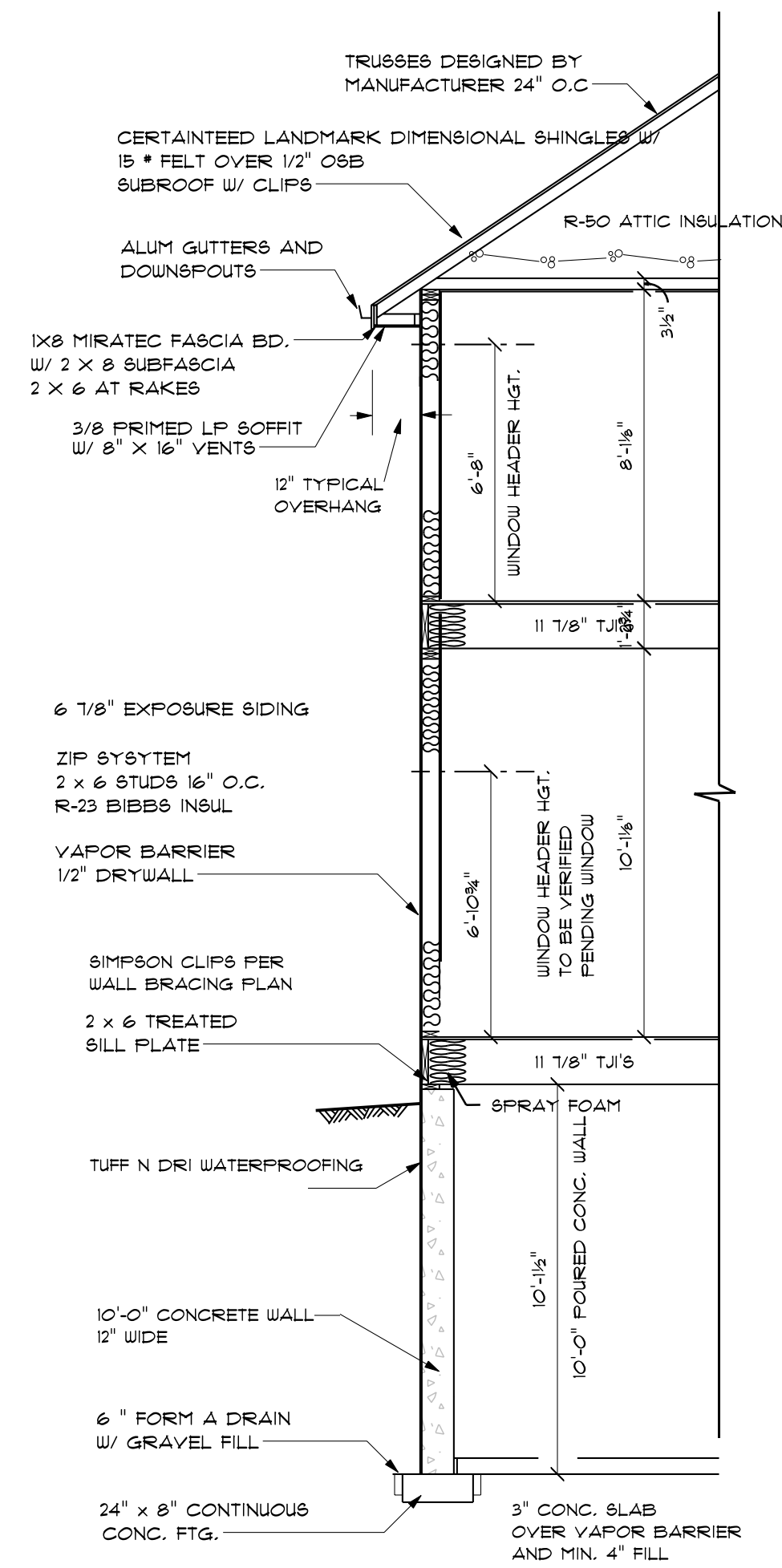
SYNERGY HOMES WI, LLC
P.O. BOX 321486 FRANKLIN, WI
414 - 630 - 2933



IMPORTANT NOTE:
* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN GENERAL CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCREPANCIES.
* IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

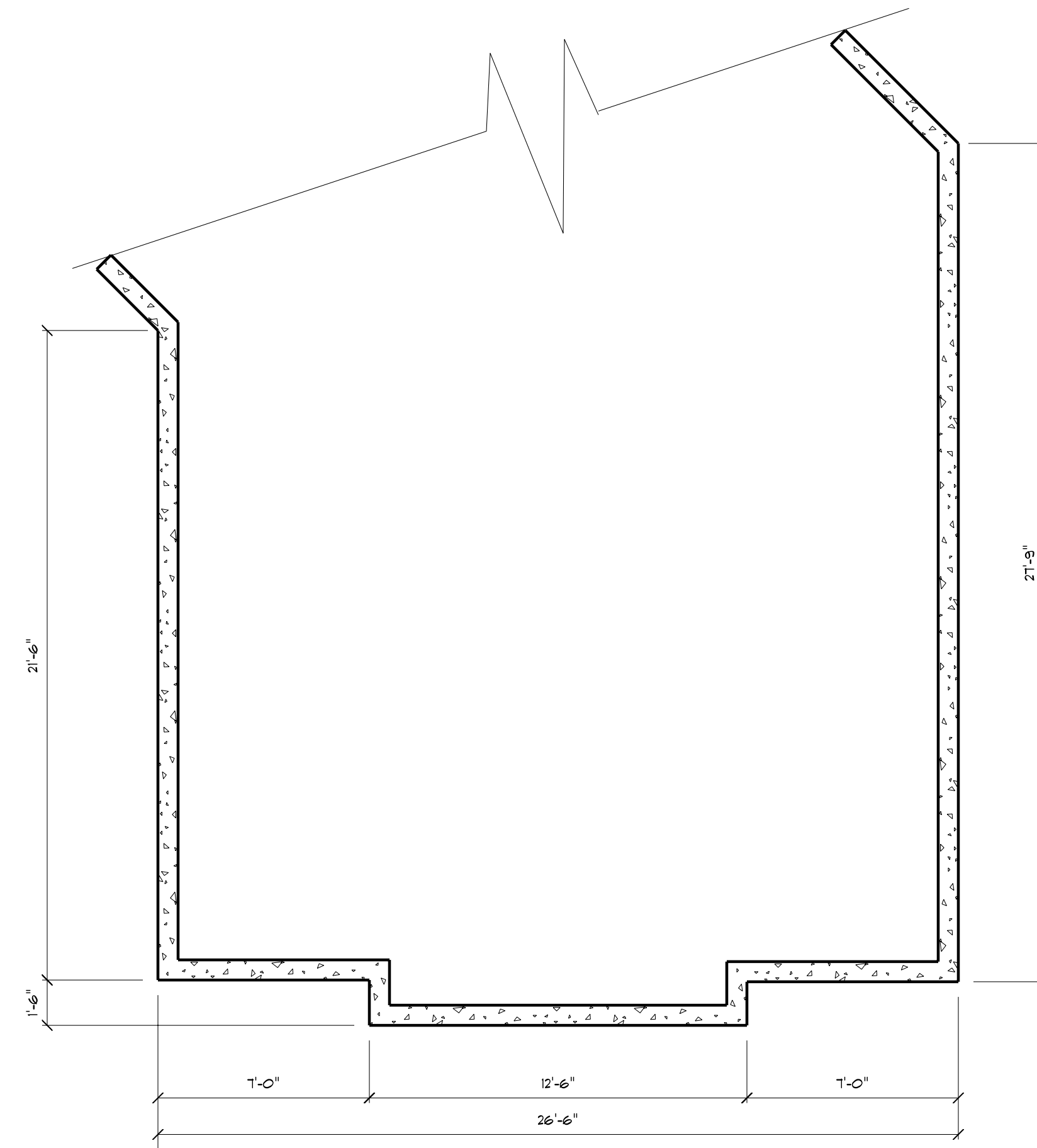
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REV/ISSUE:	DATE: 10-12-21	DATE: 10-12-21	DATE: 10-12-21
DATE: 10-12-21	DATE: 10-12-21	DATE: 10-12-21	DATE: 10-12-21

SHEET NO.: 4 OF 6
PLAN NO.:

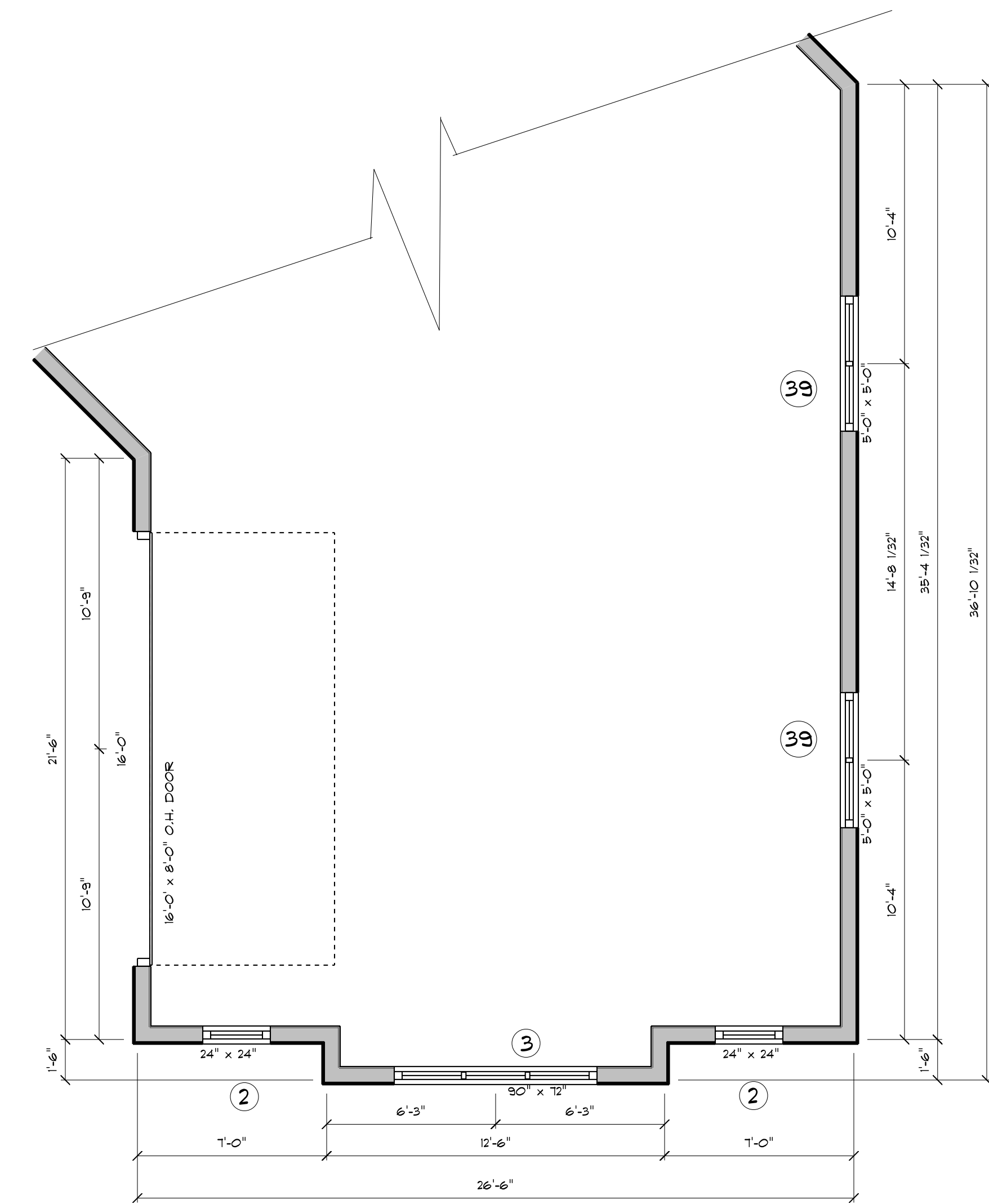


SECTION

CONCRETE WALL NOTE:
 PER ACI 308.4 TABLE 8.2.10D & SECTION 8.21 USE A 12\"/>



FOUNDATION FLOOR PLAN



FIRST FLOOR PLAN

IMPORTANT NOTE:
 * IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 * IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:
BOURAXIS, ANDREAS & MARIA
 LOT 4 OAKES ESTATES - FRANKLIN

BID DATE: 10-12-21
 REV/ISSUE: DATE/ISSUE
 DATE: 10-12-21
 DATE: 10-12-21
 DATE: 10-12-21
 DATE: 10-12-21

SHEET NO.: 6 OF 6
 PLAN NO.:

TOTAL SQ. FT. - 1270
 FIRST FLOOR - 3226
 SECOND FLOOR - 2421
 LOWER LEVEL - 1623

SYNERGY HOMES WI, LLC
 P.O. BOX 321486 FRANKLIN, WI
 414 - 690 - 2933

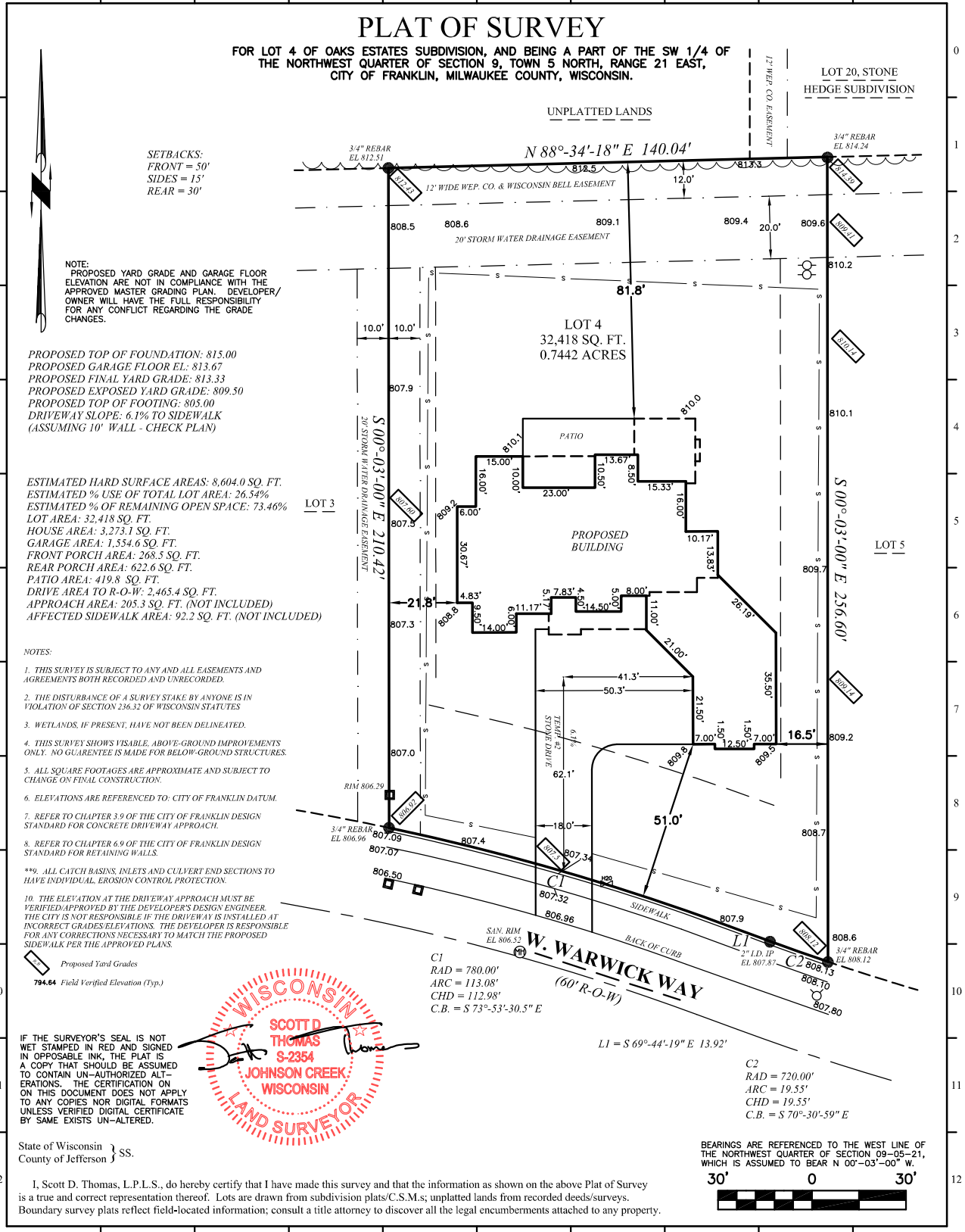


HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

PLAT OF SURVEY

FOR LOT 4 OF OAKS ESTATES SUBDIVISION, AND BEING A PART OF THE SW 1/4 OF THE NORTHWEST QUARTER OF SECTION 9, TOWN 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.



SETBACKS:
FRONT = 50'
SIDES = 15'
REAR = 30'

NOTE:
PROPOSED YARD GRADE AND GARAGE FLOOR ELEVATION ARE NOT IN COMPLIANCE WITH THE APPROVED MASTER GRADING PLAN. DEVELOPER/OWNER WILL HAVE THE FULL RESPONSIBILITY FOR ANY CONFLICT REGARDING THE GRADE CHANGES.

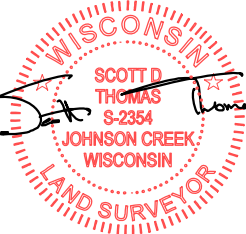
PROPOSED TOP OF FOUNDATION: 815.00
PROPOSED GARAGE FLOOR EL: 813.67
PROPOSED FINAL YARD GRADE: 813.33
PROPOSED EXPOSED YARD GRADE: 809.50
PROPOSED TOP OF FOOTING: 805.00
DRIVEWAY SLOPE: 6.1% TO SIDEWALK (ASSUMING 10' WALL - CHECK PLAN)

ESTIMATED HARD SURFACE AREAS: 8,604.0 SQ. FT.
ESTIMATED % USE OF TOTAL LOT AREA: 26.54%
ESTIMATED % OF REMAINING OPEN SPACE: 73.46%
LOT AREA: 32,418 SQ. FT.
HOUSE AREA: 3,273.1 SQ. FT.
GARAGE AREA: 1,554.6 SQ. FT.
FRONT PORCH AREA: 268.5 SQ. FT.
REAR PORCH AREA: 622.6 SQ. FT.
PATIO AREA: 419.8 SQ. FT.
DRIVE AREA TO R.O.W.: 2,465.4 SQ. FT.
APPROACH AREA: 205.3 SQ. FT. (NOT INCLUDED)
AFFECTED SIDEWALK AREA: 92.2 SQ. FT. (NOT INCLUDED)

- NOTES:
- THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS BOTH RECORDED AND UNRECORDED.
 - THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS IN VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.
 - WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED.
 - THIS SURVEY SHOWS VISIBLE, ABOVE-GROUND IMPROVEMENTS ONLY. NO GUARANTEE IS MADE FOR BELOW-GROUND STRUCTURES.
 - ALL SQUARE FOOTAGES ARE APPROXIMATE AND SUBJECT TO CHANGE ON FINAL CONSTRUCTION.
 - ELEVATIONS ARE REFERENCED TO: CITY OF FRANKLIN DATUM.
 - REFER TO CHAPTER 3.9 OF THE CITY OF FRANKLIN DESIGN STANDARD FOR CONCRETE DRIVEWAY APPROACH.
 - REFER TO CHAPTER 6.9 OF THE CITY OF FRANKLIN DESIGN STANDARD FOR RETAINING WALLS.
 - ALL CATCH BASINS, INLETS AND CULVERT END SECTIONS TO HAVE INDIVIDUAL EROSION CONTROL PROTECTION.
 - THE ELEVATION AT THE DRIVEWAY APPROACH MUST BE VERIFIED/APPROVED BY THE DEVELOPER'S DESIGN ENGINEER. THE CITY IS NOT RESPONSIBLE IF THE DRIVEWAY IS INSTALLED AT INCORRECT GRADES/ELEVATIONS. THE DEVELOPER IS RESPONSIBLE FOR ANY CORRECTIONS NECESSARY TO MATCH THE PROPOSED SIDEWALK PER THE APPROVED PLANS.

Proposed Yard Grades
794.64 Field Verified Elevation (Typ.)

IF THE SURVEYOR'S SEAL IS NOT WET STAMPED IN RED AND SIGNED IN OPPOSABLE INK, THE PLAT IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UN-AUTHORIZED ALTERATIONS. THE CERTIFICATION ON THIS DOCUMENT DOES NOT APPLY TO ANY COPIES NOR DIGITAL FORMATS UNLESS VERIFIED DIGITAL CERTIFICATE BY SAME EXISTS UN-ALTERED.



State of Wisconsin }
County of Jefferson } SS.

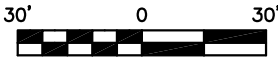
I, Scott D. Thomas, L.P.L.S., do hereby certify that I have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof. Lots are drawn from subdivision plats/C.S.M.s; unplatted lands from recorded deeds/surveys. Boundary survey plats reflect field-located information; consult a title attorney to discover all the legal encumbrances attached to any property.

- LEGEND: These standard symbols may be found in the drawing.
- Lot Corner (Found) w/desc.
 - Elec. Trans. Box
 - ⊕ Man Hole
 - Utility Pedestal (Implies Easement)
 - ⊙ Fire Hydrant
 - ⊕ Water Valve
 - Catch Basin
 - ✱ Light Post
 - ⊕ Lateral End
 - ⊕ Offset Stake
 - Platted Utility Easement
 - Building Setback Line
 - Proposed Builder Silt Fence
 - Treeline

NOTE: EXCAVATOR AND MASON MUST VERIFY AT LEAST TWO BENCH MARKS SHOWN ABOVE.

PROJECT: Bouraxis
BUILDER: Synergy Homes WI, LLC
P.O. Box 321486
Franklin, WI 53132
Ph: (414) 690-2533

BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 09-05-21, WHICH IS ASSUMED TO BEAR N 00°-03'-00" W.



Digitally signed by
Scott D. Thomas
Date: 2022.03.22
16:24:44 -05'00'



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item D.1.

Meeting of May 5, 2022

Site Plan Amendment

RECOMMENDATION: City Development staff recommends approval of this Site Plan Amendment request to relocate the Ballpark Commons (BPC) Challenge Tower.

Project Name:	Challenge Tower relocation
Project Address:	7011 S. Ballpark Drive
Applicant:	Rock Snow Park, LLC
Property Owner:	BPC County Land, LLC
Current Zoning:	PDD-37 – The Rock Sports Complex/Ballpark Commons
2025 Comprehensive Plan:	Mixed Use
Use of Surrounding Properties:	Snow tubing areas to the north, Ski Chalet to the west, parking areas to the south, parking areas and Umbrella Bar to the east.
Applicant’s Action Requested:	Approval of Site Plan Amendment
Planner:	Régulo Martínez-Montilva, AICP, Principal Planner

Site Plan amendment request submitted on January 25 to change the location of the previously approved, but not yet constructed Challenge Tower, to be located east of the Rock Snow Park Ski Chalet. The original request included the relocation of the previously approved Yurt but the applicant withdrew this part of the petition on April 7.

The Challenge Tower Site Plan was approved on April 23, 2020, by Plan Commission Resolution 2020-014; and a Special Use permit was also approved for the Challenge Tower on May 5, Resolution 2020-7618. Challenge towers (similar to and sometimes referred to as compact aerial courses or high rope courses) are typically tall structures designed to provide rope courses comprised of numerous swinging, climbing, and balancing challenges.

The Yurt Site Plan was approved on November 5, 2020, by Plan Commission Resolution 2020-029. The Yurt would be an accessory structure to the Ski Chalet, for ski and snowboard rental.

The new Challenge Tower location is approximately 50 feet south of the previously approved location. No changes are proposed to the Challenge Tower structure, the tower would be 50-foot tall, with 3 levels of obstacles and an observation deck on the top, the structure complies with the maximum height of 60 feet for this district.

The exact hours of operation are not defined yet, but the maximum would be from 9 am to sunset. The applicant did not submit an outdoor lighting plan as this facility would only be operated during daylight hours.

Fencing will be 6-foot high black vinyl coated chain link without privacy slats consistent with the rest of the property. This fence complies with the PDD Ord. Section 15-3.0442A(D)(1)(b).

At the April 21, regular meeting, the Plan Commission tabled this application until the May 5, 2022, meeting, so the applicant can work with the property owner.

Recommendation

City Development staff recommends approval of this Site Plan Amendment for the Challenge Tower at Ballpark Commons, subject to the conditions set forth in the attached Resolution and property owner's consent.

RESOLUTION NO. 2022-_____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY LOCATED AT APPROXIMATELY 7011 SOUTH BALLPARK DRIVE TO ALLOW FOR INSTALLATION OF A PROPOSED 50 FOOT HIGH CHALLENGE TOWER (TAX KEY NO. 744-1003-000)
(MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC, APPLICANT, BPC COUNTY LAND, LLC, PROPERTY OWNER)

WHEREAS, Michael R. Schmitz, owner of Rock Snow Park, LLC, applicant, BPC County Land, LLC, property owner, having applied for an amendment to the site plan for the property located at approximately 7011 South Ballpark Drive, such Site Plan having been previously approved on April 23, 2020, by Resolution No. 2020-014 and amended thereafter by Resolution No. 2020-029, on November 5, 2020; and

WHEREAS, such amendment proposes the installation of a 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, such challenge tower being located directly east of the existing Ski Chalet in The Rock Sports Complex, at approximately 7011 South Ballpark Drive, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for Michael R. Schmitz, owner of Rock Snow Park, LLC to install a Challenge Tower in The Rock Sports Complex area within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), as submitted by Michael R. Schmitz, owner of Rock Snow Park, LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. Michael R. Schmitz, owner of Rock Snow Park, LLC, applicant, BPC County Land, LLC, property owner, successors and assigns and any developer of the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to

MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC – SITE PLAN
AMENDMENT
RESOLUTION NO. 2022-_____
Page 2

§15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon Michael R. Schmitz, owner of Rock Snow Park, LLC, applicant, BPC County Land, LLC, property owner, and the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project for the property located at approximately 7011 South Ballpark Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project shall be developed in substantial compliance with the plans City file-stamped April 11, 2022.
4. Signs shall be subject to staff review in conformance with Chapter 210 of the Municipal Code and issuance of a Sign Permit.
5. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Michael R. Schmitz, owner of Rock Snow Park, LLC, Challenge Tower installation project as depicted upon the plans City file-stamped April 11, 2022, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at approximately 7011 South Ballpark Drive, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC – SITE PLAN
AMENDMENT
RESOLUTION NO. 2022-_____
Page 3

APPROVED:

Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

MEMORANDUM

Date: March 14, 2022
To: Mike R. Schmitz
From: Department of City Development
Régulo Martínez-Montilva, AICP, Principal Planner
RE: Application for Site Plan amendment – 7011 S Ballpark Drive (Challenge Tower and Yurt)

Staff comments are as follows for the Site Plan amendment application received on January 25, 2022, to change the location of previously approved Challenge Tower and Yurt.

City Development Department comments

1. The previously approved Challenge Tower included landscaped areas, pedestrian paths and outdoor seating areas as depicted in the Landscape Plan (L-500) dated February 4, 2020 and renderings (attached). Please submit an updated Landscape Plan.
2. Please indicate the ingress/egress location for the Challenge Tower and Yurt.
3. Any mechanical equipment or external storage associated with the Challenge Tower and/or Yurt? If so, please indicate location.
4. Any proposed outdoor lighting? If so, please provide a Lighting Plan that meets the requirements of Unified Development Ordinance Section 15-5.0402 “Exterior Lighting Plan Required” (attached).
5. Building and electrical permits will be required following approval of this Site Plan amendment. Please consider Inspection Services Department comment #7 when applying for building permits.

Inspection Services Department comments

6. *Project will require Building and Electrical Permits.*
7. *Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code.*
Additional information required from previous Yurt structure plan review.
 1. *Revised engineered stamped plans shall be indexed to include deck floor plans.*
 2. *Plans shall indicate connection details between Yurt and deck.*
 3. *Plans shall indicate interface details between Yurt and building.*
 4. *Provide floor plan showing exit door size/locations. Note: Min. 2 exits are required 36" wide.*
 5. *Provide code-compliant landings at all exit doors.*

6. *Exit hardware shall be ADA compliant.*
7. *At minimum, exit and emergency lights shall be installed at each exit door. NOTE: A separate Electrical Permit shall be required for all electrical wiring.*
8. *Occupant load shall be indicated on plans.*
9. *Documentation shall be submitted showing that membrane canvas is flame retardant material complying with NFPA 701.*
10. *Provide a minimum of two (2) 2A-10 (ABC rated) fire extinguishers.*
11. *Structure is being reviewed as an "unheated" structure. Otherwise, the provisions of IFC section 3104.15 shall apply and an HVAC plan submittal shall be required.*
12. *No food prep allowed in Yurt.*
13. *"No smoking" signs shall be installed inside Yurt.*
14. *Engineer to provide DSPS Statement of Substantial Compliance form SBD 9720 at completion of project.*
15. *Approval would be granted as a "Temporary Occupancy" for a period not to exceed 180 days.*

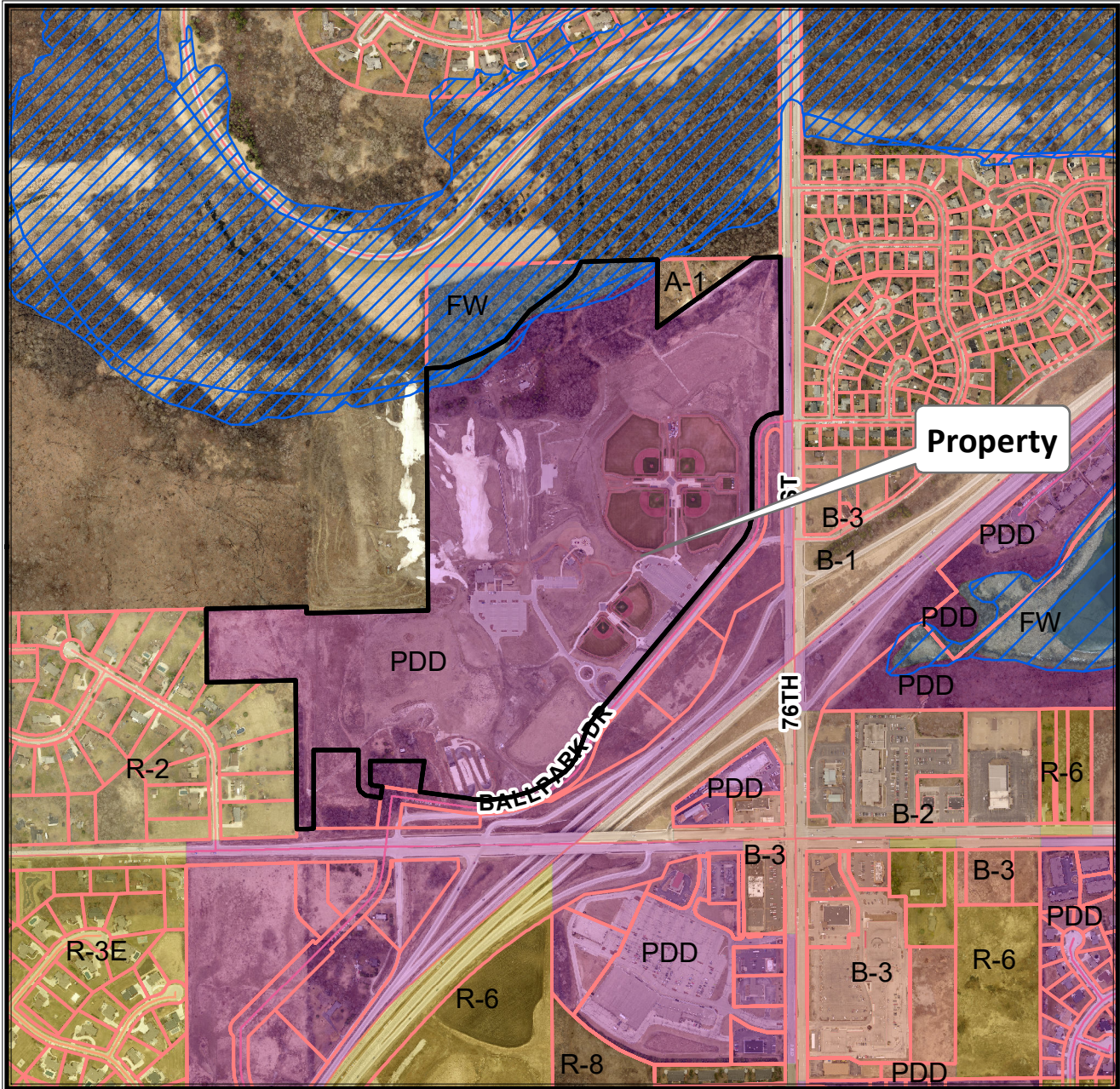
Police Department comments

8. *The PD has no comment regarding this request.*

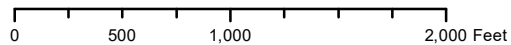
Engineering Department comments

9. *No comments.*

7011 S. Ballpark Drive
TKN: 744 1003 000

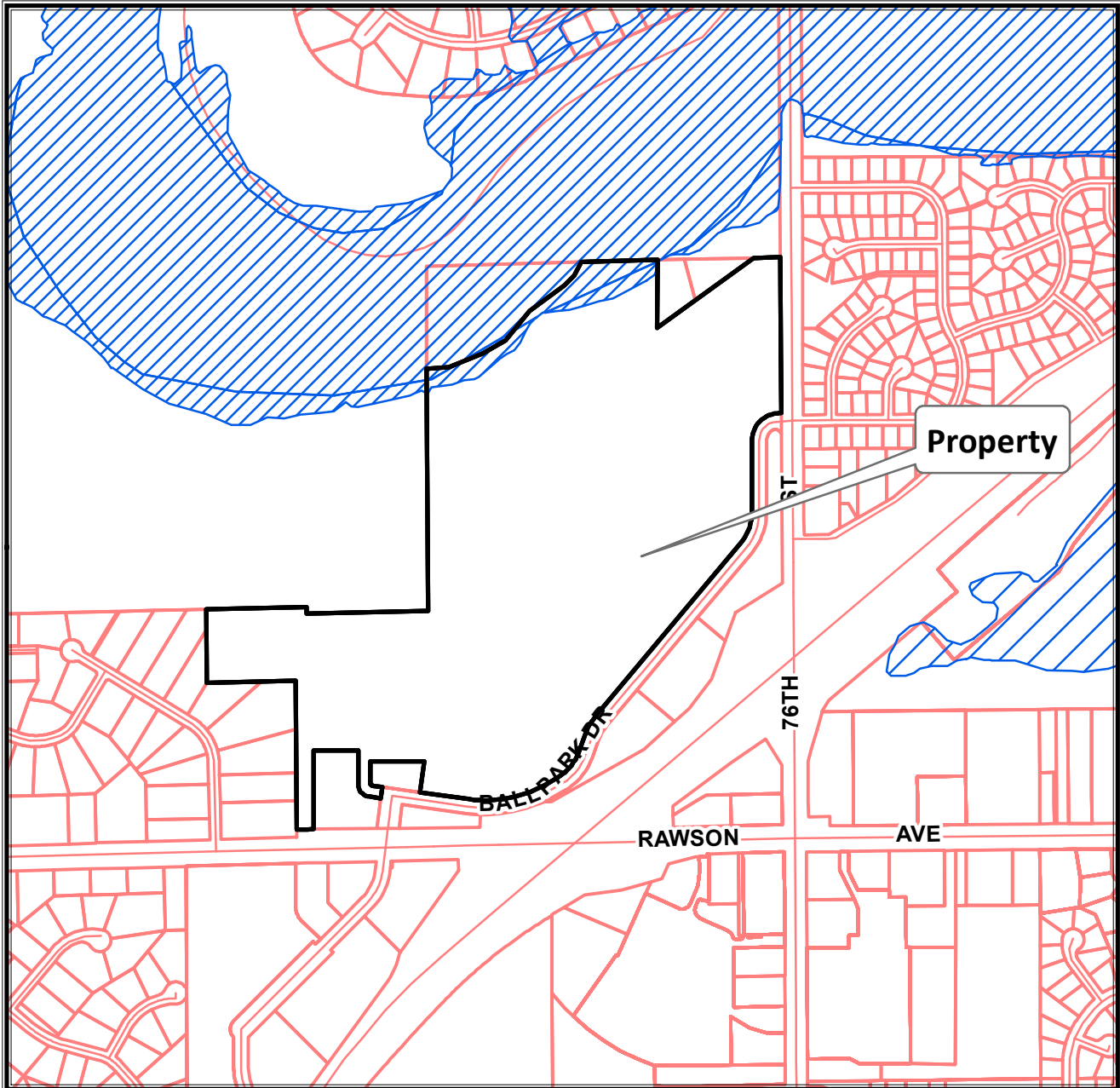


Planning Department
(414) 425-4024

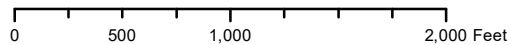


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7011 S. Ballpark Drive
TKN: 744 1003 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Rock Snow Park, LLC

Revised Challenge Tower Location

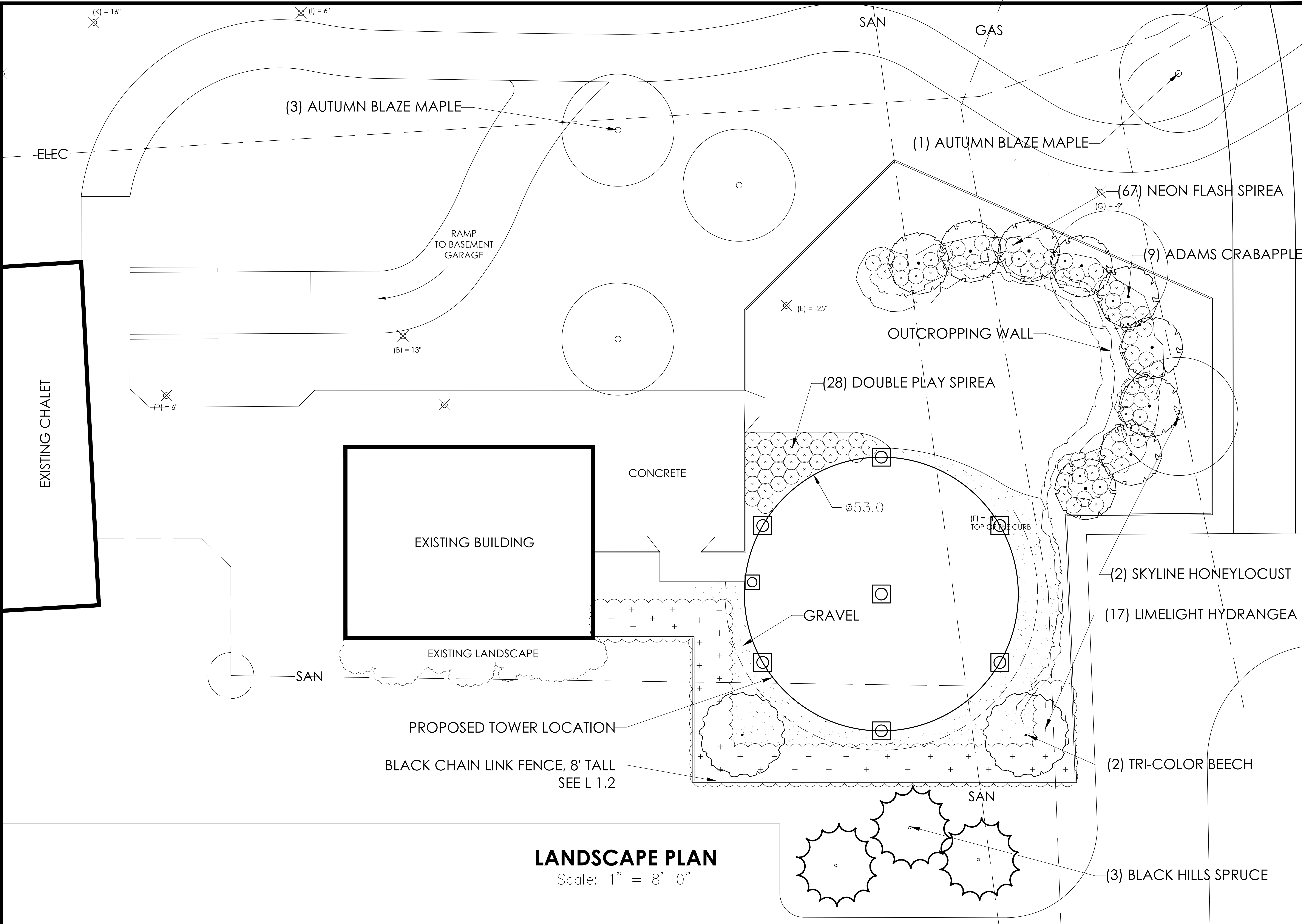
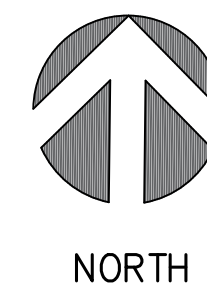
4/11/2022

The Rock Snow Park is seeking to revise the location of the challenge tower originally approved in 2020. Attached please find a new landscape plan as well as the original for reference. As you will see, the new location is approximately 50' south of the original location. This is the only change to the previously approved resolutions 2020-7618 and 2020-014.

Sincerely,

Mike Schmitz

Rock Snow Park, LLC



LANDSCAPE PLAN
 Scale: 1" = 8'-0"

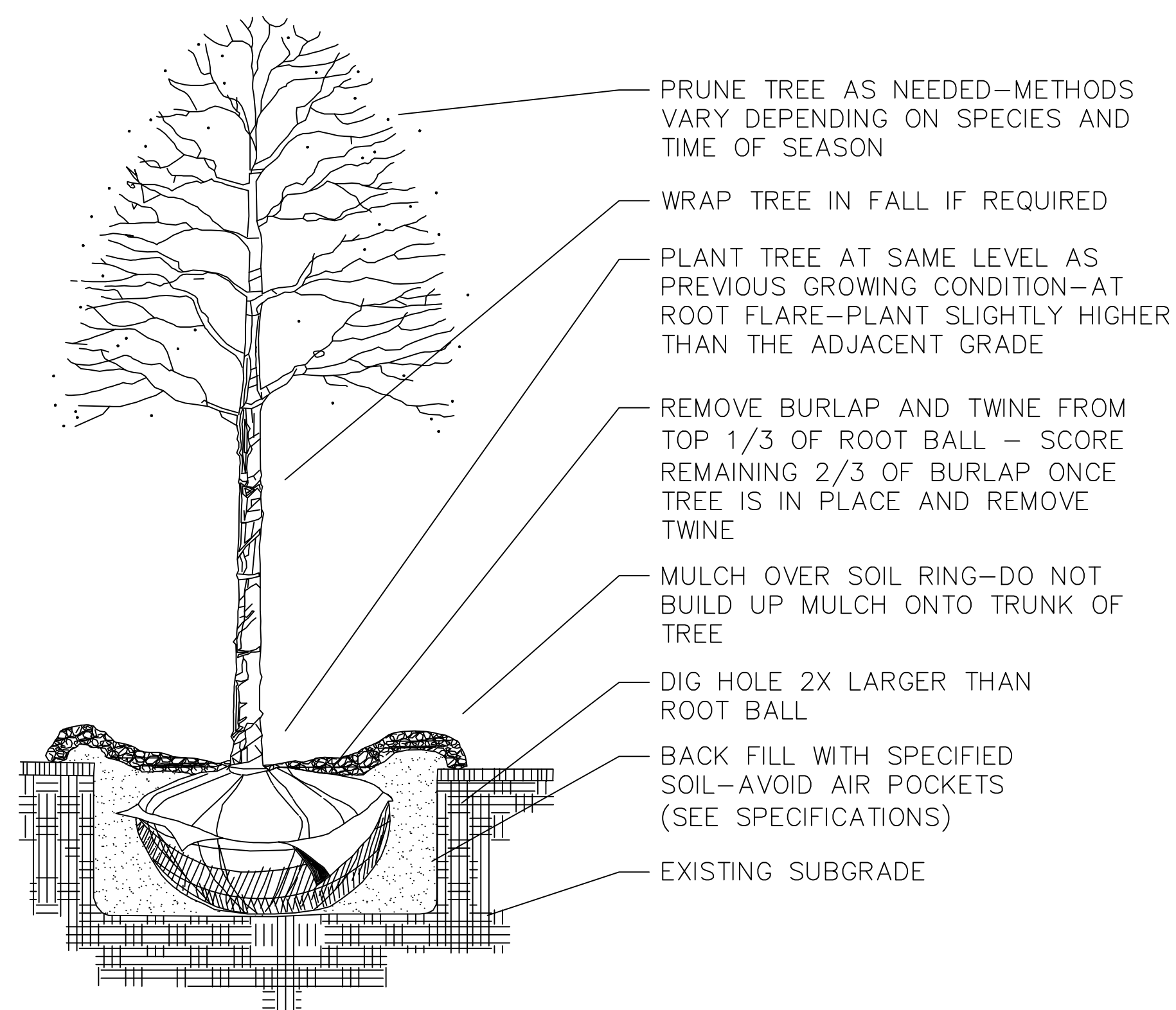


DURHAM HILL
 S99 W12707 LOOMIS DR.
 MUSKEGO, WI 53150
 414-529-5262
 www.durhamhill.com

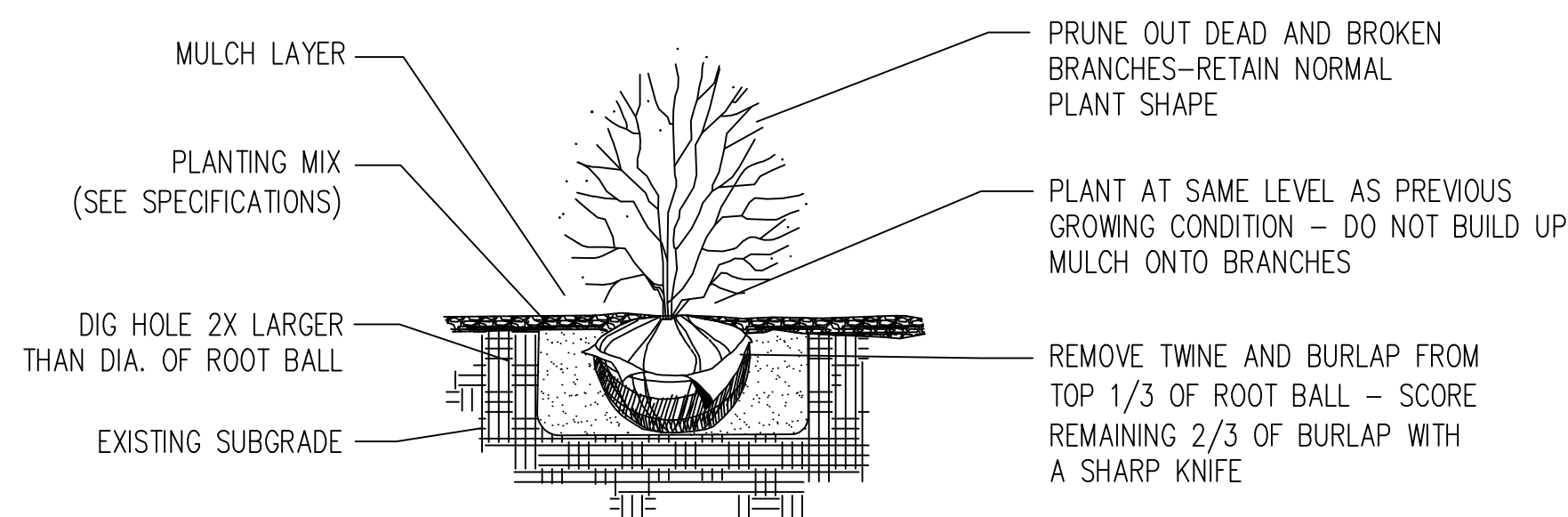
THE ROCK CLIMBING TOWER
 Franklin, WI 53132

PLANT SCHEDULE

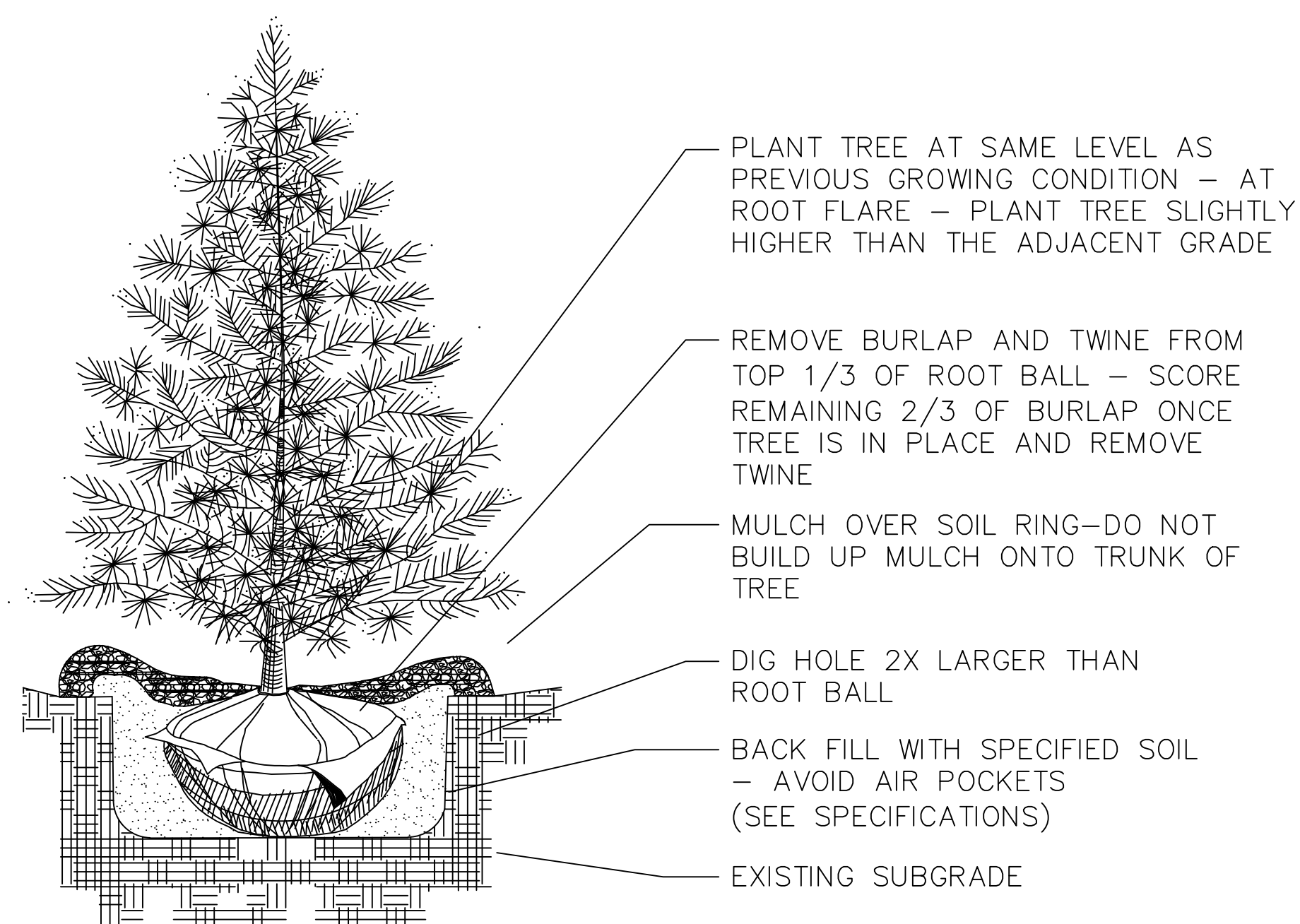
Scientific Name	Common Name	Size	Qty.
DECIDUOUS TREES			
<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2" Cal. B& B	4
<i>Gleditsia triacanthos</i> Skycole	Skyline Honeylocust	2" Cal. B& B	2
<i>Fagus sylvatica</i> 'Tricolor'	Tricolor European Beech	2" Cal. B& B	2
<i>Malus</i> 'Adams'	Adams Crabapple	6'	9
		TOTAL	17
EVERGREEN TREES			
<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	8'	3
		TOTAL	3
SHRUBS			
<i>Spiraea japonica</i> 'Double Play'	Double Play Red Spirea	3 Gal.	28
<i>Spiraea japonica</i> 'Neon Flash'	Neon Flash Spirea	3 Gal.	67
<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	5 Gal.	17
		TOTAL	112



DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE



DECIDUOUS SHRUB PLANTING DETAIL
 NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
 NOT TO SCALE



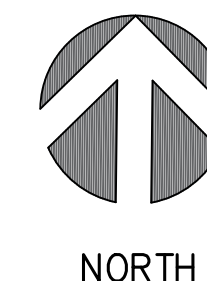
BLACK CHAIN LINK FENCE 8' TALL

Sheet Title

PLANTING DETAILS

Scale: 1" = 8'

Revisions: Date:



NORTH

Date: 04-11-2022

Checked By: TE

Drawn By: AM

Sheet No.

L 1.2

Landscape notes:

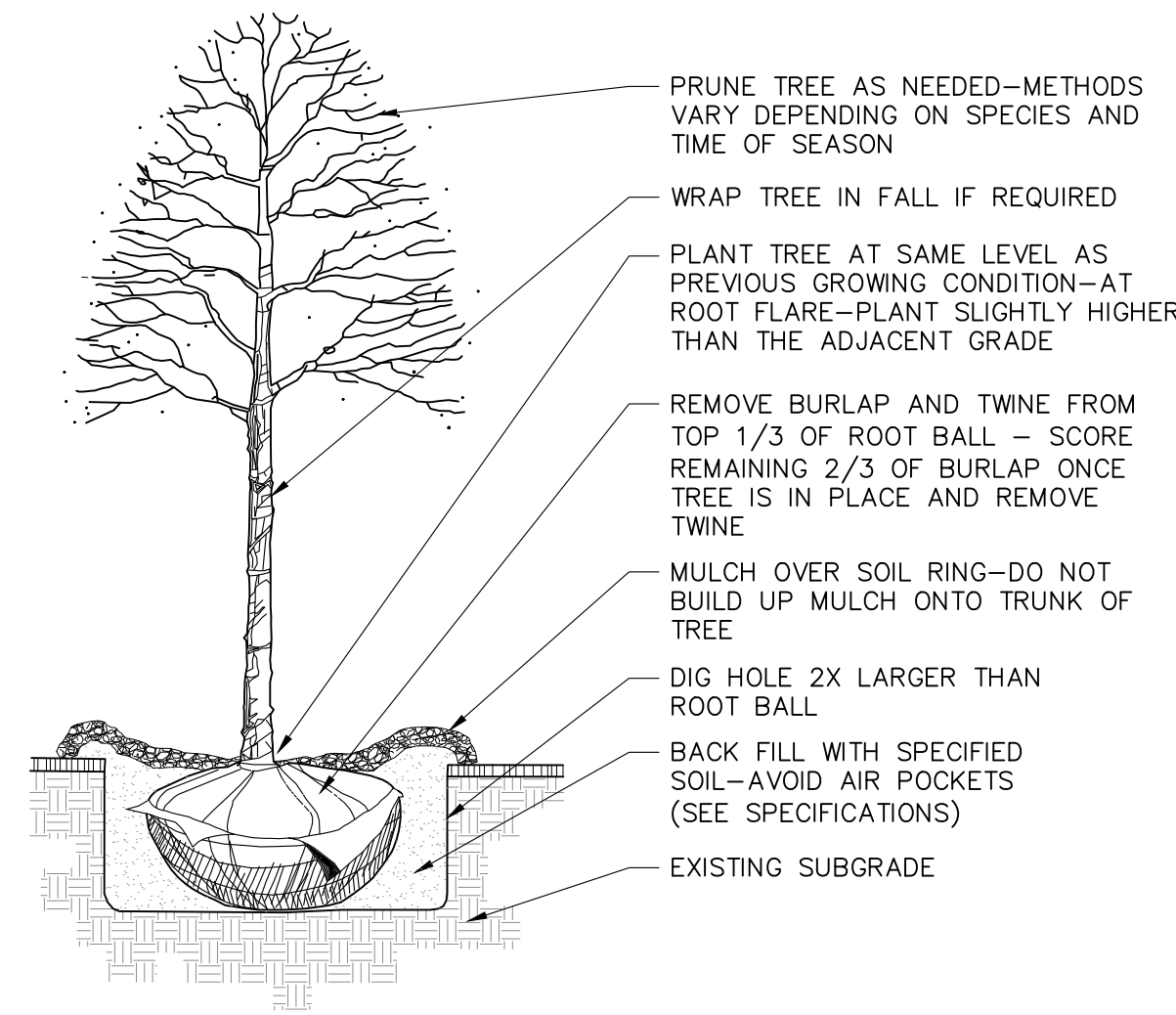
- 1) Contractor to call Digger's Hotline ((800) 242-8511) and have property marked before starting work.
- 2) Plant Bed preparation: furnish and install a 5" depth of screened blended topsoil and a 1" depth of plant starter compost. Rototill with existing soil.
- 3) Use 1/3 plant starter mixed with 2/3 existing soil for trees planted in lawn.
- 4) Furnish a spaded bed edge between lawn and plant beds.
- 5) Furnish and install a 3" depth of shredded bark mulch in planting beds and in 4-5' diameter circle around trees in the lawn.
- 6) Furnish and install a 1" depth of topsoil, Conserv FS Sunny Deluxe mix (98/85 Kentucky Bluegrass Fine perennial Ryegrass VNS Creeping Red Fescue VNS) or equivalent, starter fertilizer, and straw mulch in mowed turf grass areas as per plan.

CLIMBING TOWER PLANT LIST

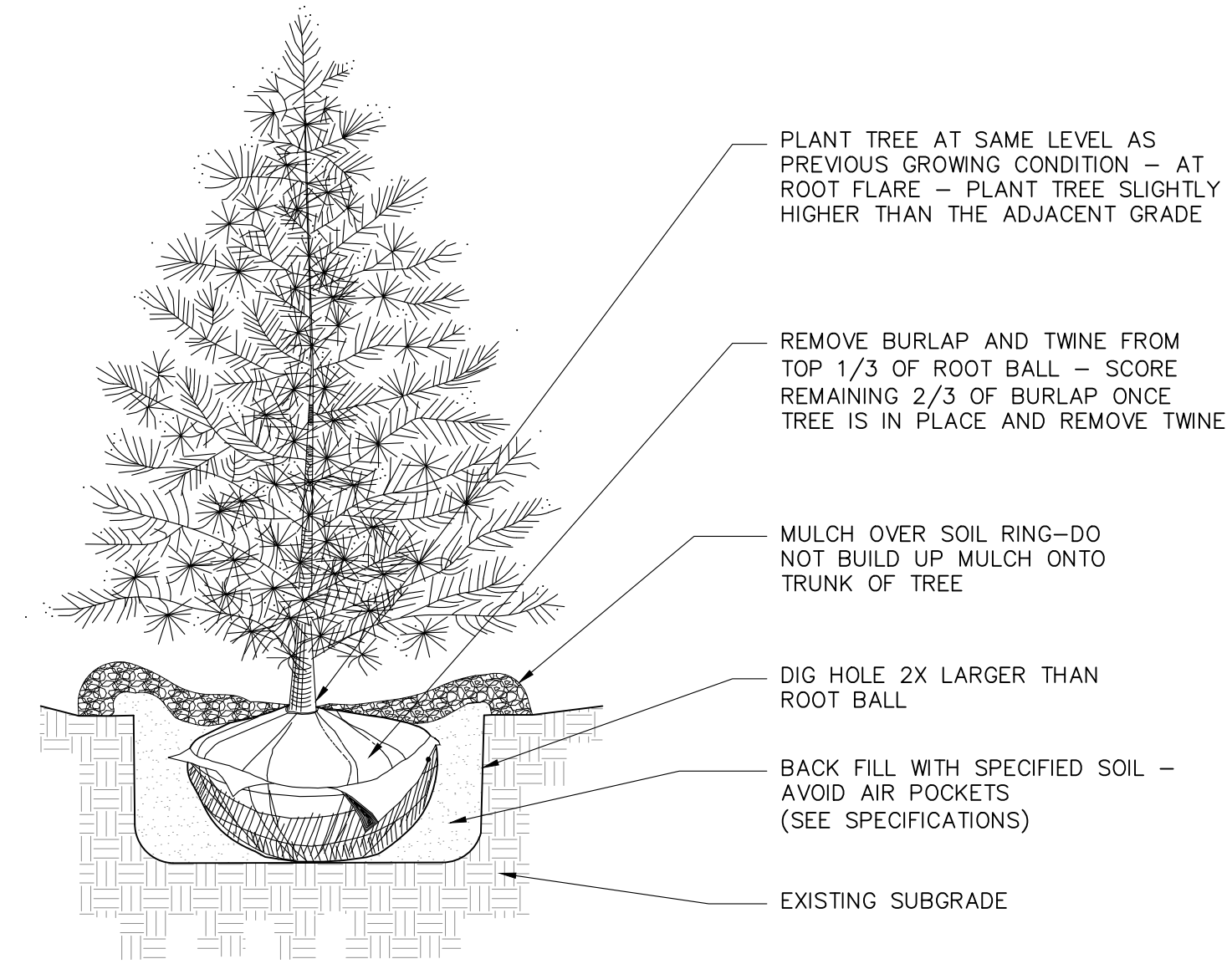
TREES	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Freeman Maple	6	2" B&B
	<i>Malus</i> 'Red Jewel'	Red Jewel Crabapple	6	2" B&B
	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	3	6'
	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae	7	6'
	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	3	2" B&B

SHRUBS	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	<i>Aronia melanocarpa</i> 'Brilliantissima'	Chokecherry	54	5 gal
	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	5	5 gal
	<i>Hydrangea</i> 'Invincibelle Spirit'	Invincibelle Spirit Hydrangea	5	5 gal
	<i>Hydrangea</i> 'Pinky Winky'	Invincibelle Spirit Hydrangea	3	5 gal
	<i>Juniperus</i> 'Kallay's Compact'	Kallay's Compact Juniper	15	5 gal
	<i>Spiraea japonica</i> 'Goldflame'	Goldflame Spirea	18	5 gal

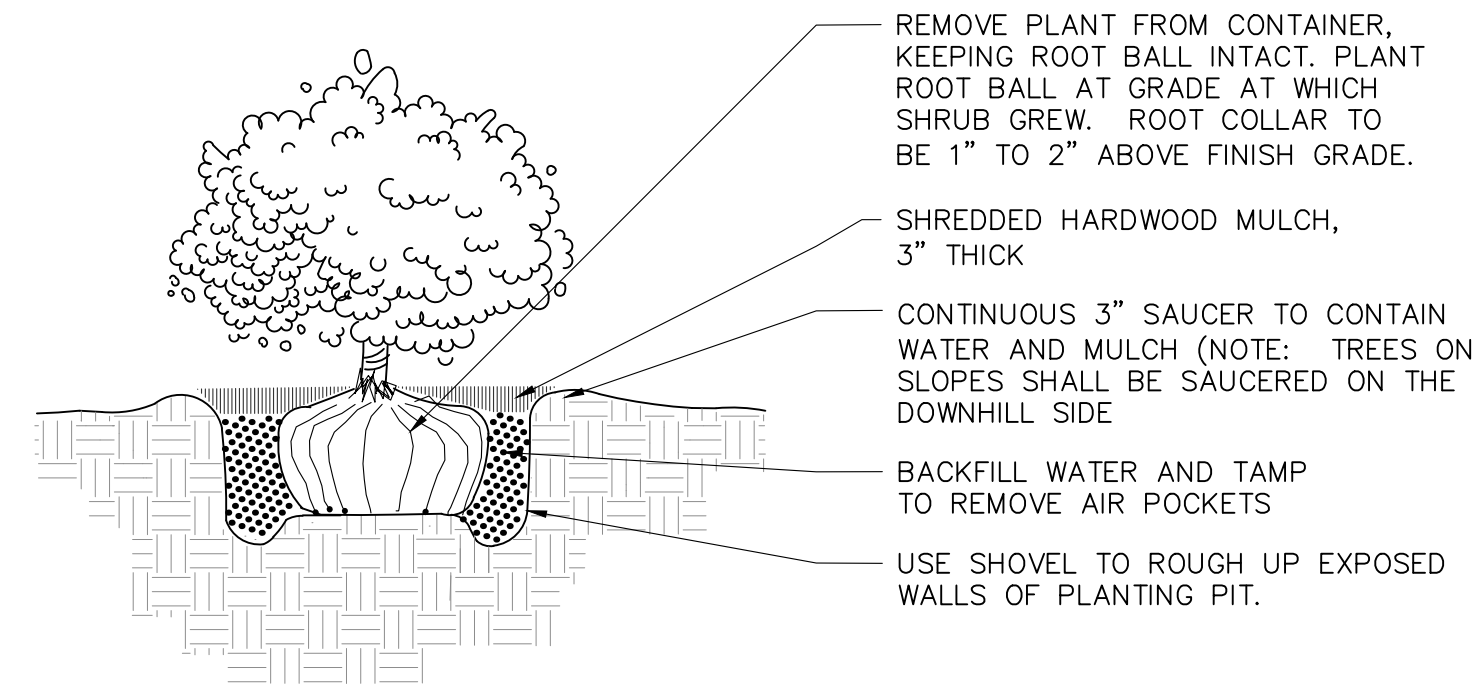
PERENNIALS	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	<i>Hemerocallis</i> 'Hyperion'	Hyperion Daylily	80	1 gal
	<i>Nepeta</i> 'Walker's Low'	Walker's Low Nepeta	40	1 gal



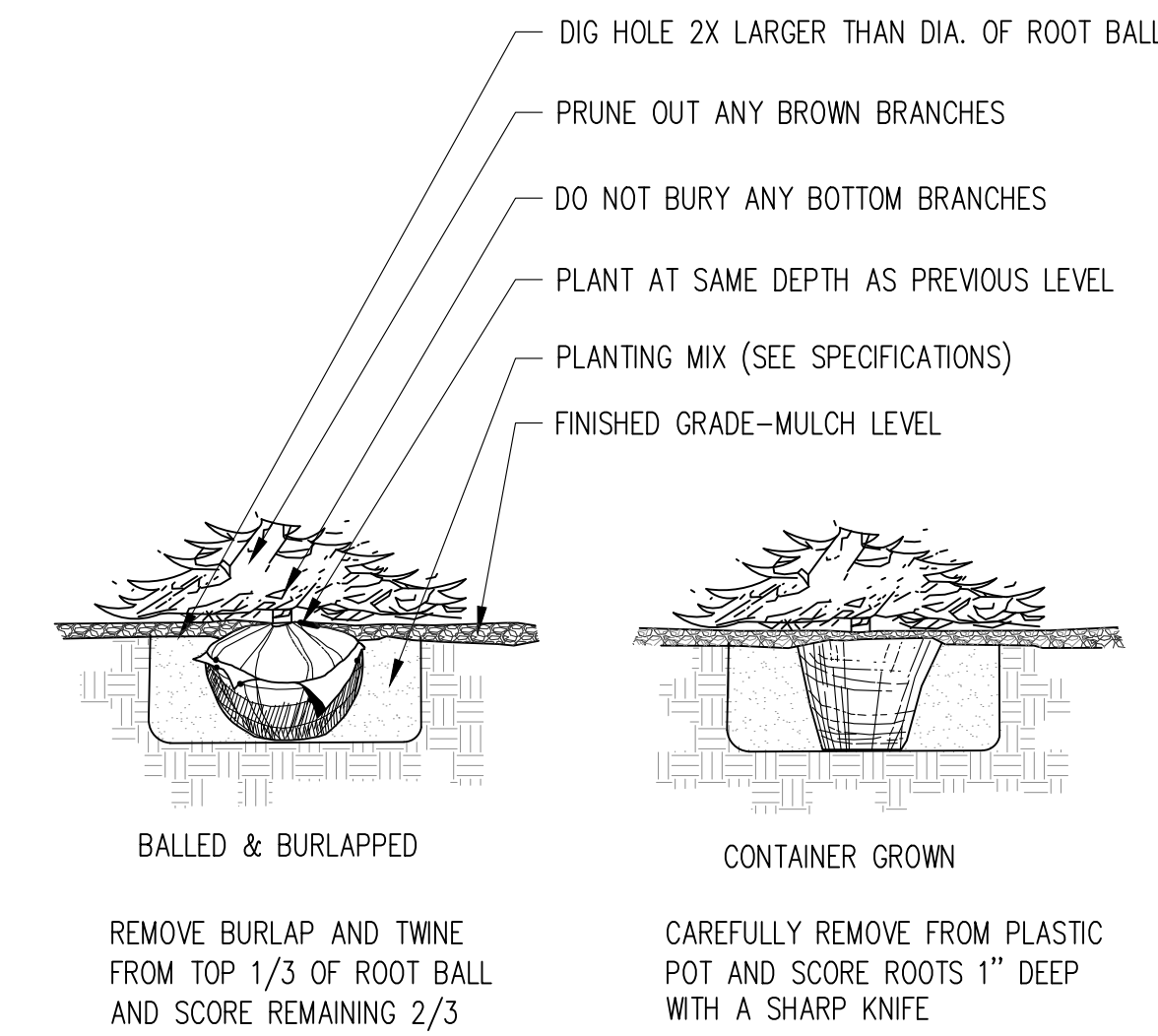
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



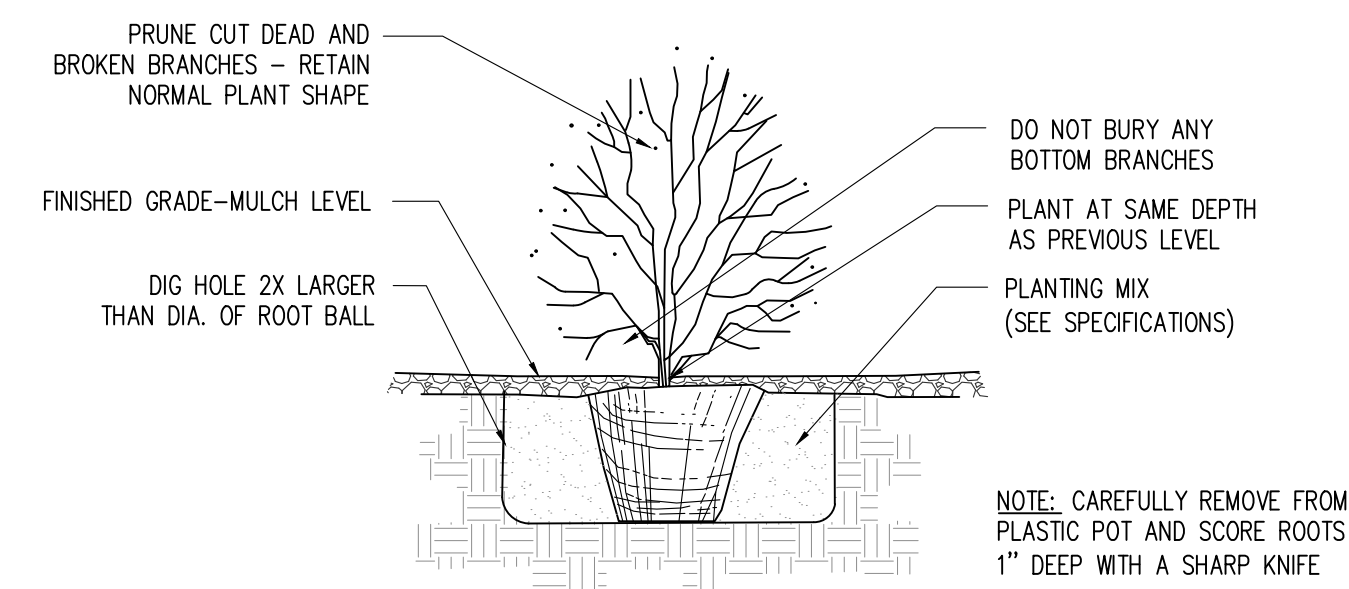
2 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



3 SHRUB PLANTING DETAIL
NOT TO SCALE



4 EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



5 POTTED PERENNIAL PLANTING DETAIL
NOT TO SCALE

REVISIONS

DATE	

DATE
FEBRUARY 4, 2020

SHEET NAME

**PLANTING
DETAILS**

SHEET NUMBER

L-600