



FRANKLIN CITY HALL CHAMBERS
9229 W. LOOMIS ROAD
FRANKLIN, WISCONSIN

PLAN COMMISSION MEETING AGENDA
Thursday, September 7, 2023 at 7:00 P.M.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of August 17, 2023.

C. **Public Hearing Business Matters**

(Action may be taken on all matters following the respective Public Hearing thereon)

1. **Dairy Queen Restaurant with Drive-Through.** Special Use application by Dharmesh Ghelani, AK Developers LLC/ Franklin Wyndham LLC, property owner, for a Dairy Queen restaurant in a single building with a drive-through (drive-through requires Special Use approval). The property is located at 7730 S. Lovers Lane Rd. in the Shoppes at Wyndham Village Retail Center. The property is zoned CC Civic Center; Tax Key No. 794 9999 007. **A public hearing is scheduled for this matter.**

D. **Business Matters**

1. **Tuckaway Country Club Golf Simulator Tent.** Temporary Use application by Jay Lorino, Leading Edge Management Solutions, LLC/ Tuckaway Country Club, property owner, for a golf simulator tent in the rear golf cart parking area for the period of time between October 23, 2023 and March 31, 2024, operating from 7:00AM to 9:00PM with the potential to extend operation until 11:59PM for special events as needed. The property is zoned P-1 Park District; Tax Key No. 804 9989 022.

E. **Adjournment**

The YouTube channel "City of Franklin WI" will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting. <https://www.youtube.com/c/CityofFranklinWIGov>. Any question regarding items on this agenda may be directed to the Department of City Development's office at 414-425-4024, Monday through Friday, 8:30 AM – 5:00 PM.

Notice is given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.

REMINDERS:

Next Regular Plan Commission Meeting: September 21, 2023.

City of Franklin
Plan Commission Meeting
August 17, 2023
Minutes

unapproved

A. Call to Order and Roll Call

Mayor John Nelson called the August 17, 2023 regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, Alderwoman Courtney Day, City Engineer Glen Morrow and Commissioners Kevin Haley, Patrick Léon and Patricia Hogan. Also present were Director of Administration Kelly Hersh, Principal Planner Régulo Martínez-Montilva and City Attorney Jesse Wesolowski.

B. Approval of Minutes – Regular Meeting of August 3, 2023

Commissioner Hogan moved and Commissioner Haley seconded a motion to approve the August 3, 2023 meeting minutes. On voice vote, all voted 'aye'; motion carried (5-0-0).

C. Public Hearing Business Matters

- 1. Bion Strength and Conditioning LLC Special Use.** Special Use request to allow for a sports training facility in a multi-tenant building located in the M-1 Limited Industrial zoning district. Sports training facilities are classified as "Physical Fitness Facilities" under Standard Industrial Classification (SIC) Title No. 7991.

Applicant: Bion Strength and Conditioning LLC (Specter Holdings LLC, property owner)
Subject property: 6814 S. 112th Street, Tax Key Number: 748 0063 000

Principal Planner Regulo Martinez-Montilva presented this item and the Public Hearing opened at 6:59 pm and closed at 7:06 pm.

Specter Holdings LLC, property owner, commented about having issues with the 10 foot parking lot setback that is part of the recommended conditions of approval. The parking lot was recently repaved in the existing location. The property owner also commented it is not an option for either him or the tenant to absorb cost to improve the parking lot, however the property owner does not see any issues restriping the lot or adding shrubs and plantings to improve landscaping. Owner is asking that the 10 foot setback requirement not be applied.

City Engineer Morrow asked that when restriping have the cars set back 10 feet. Property owner agrees but is only able to accommodate 4 spots in front and will maneuver the remaining spots around.

City Attorney suggests recommend approval subject to further review by staff under condition #4 and look at legal nonconforming status.

Mayor Nelson closed the public hearing.

Commissioner Hogan asked about signage. The property owner indicated future tenant would apply for and obtain a permit.

Commissioner Leon asked if a variance to allow for a reduction of the parking lot setback subject to approval by the Board of Zoning and Building Appeals would be an option for the property owner. Would there be enough time to meet a deadline for the September 20, 2023 BZBA meeting?

Property owner responded and is willing to accommodate to meet the requirements.

City Engineer responded with leaving everything as written.

City Attorney Wesolowski added there's an understanding staff would review condition number 4 with regard to parking setbacks and the length of time the existing parking lot has existed.

City Engineer Morrow moved and Commissioner Leon seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a sports training facility use upon property located at 6814 S. 112th Street, (Bion Strength and Conditioning LLC, applicant) and as admitted by the City Attorney. On voice vote, all voted 'aye'; motion carried (5-0-0).

D. Business Matters

1. None.

E. Adjournment

Commissioner Leon moved and Commissioner Hogan seconded to adjourn the meeting at 7:16 p.m.. On voice vote, all voted 'aye'; motion carried (5-0-0).



CITY OF FRANKLIN

REPORT TO THE PLAN COMMISSION

Meeting of September 7, 2023

Special Use

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution with conditions as attached.

Project Name:	Dairy Queen Drive Through
Property Owner:	Franklin Wyndham LLC
Applicant:	Dharmesh Ghelani, AK Developers LLC
Property Address/Tax Key Number:	7730 S Lovers Lane Rd / 794 9999 007
Aldermanic District:	District 2
Agent:	Dharmesh Ghelani, AK Developers LLC
Zoning District:	CC Civic Center
Use of Surrounding Properties:	CC Civic Center (east, south, and west), R-3E Suburban/Estate Single-Family Residence District (south)
Application Request:	To allow for a restaurant with drive through
Staff Planner:	Marion Ecks, AICP

Background

The applicant is seeking a Special Use Permit for an approximately 2,000 sq. ft. Dairy Queen Drive Through restaurant. This site is part of the Shoppes at Wyndham Village; it is currently vacant. The site plan included in the meeting packet is a conceptual plan for a development with two businesses: the proposed Dairy Queen and a future tenant space. Pending Common Council's approval of the Special Use Permit, Planning Commission will review a full site plan at a future meeting, pending the applicant's submittal.

SPECIAL USE

The lot is zoned CC Civic Center. Eating Places (SIC Code 5812) are an allowed use; however, drive throughs require Special Use approval. The proposed drive-through use meets the requirements of the ordinance for queuing. Due to the location close to residential properties, staff recommends that the hours of operation for the drive-through and the hours of operation for businesses in the development, be limited to no later than 10:00 PM as condition of approval for the Special Use, to mitigate adverse impacts on nearby residential properties.

The Site Plan will be reviewed at a subsequent meeting, and must be responsive to Unified Development Ordinance (UDO) requirements relating to bufferyards and landscaping requirements. The Commission may recommend additional requirements related to buffering or mitigation of negative impacts for the Special Use.

Staff notes the following:

- The applicant has provided required responses to, and complies with, the standards of §15-3.0701: General Standards for Special Uses.
- The development is consistent with the existing zoning requirements, and Future Land Use Comprehensive Master Plan intent for the district (§15-7.0102.M).
- The conceptual Site Plan provides enough queuing space for cars to wait in the drive-through without encroaching on internal roads, exceeding the standards of Table 15-5.0203 which requires 7 queuing spaces per service lane.
- Two other developments in the Shoppes at Wyndham Village include drive-through uses: the Summit Bank and Biggby Coffee.
- Future users of the tenant space will be required to complete separate use approvals: either a Zoning Compliance or a Special Use depending on the business type.

SITE COMPLIANCE

A site visit was not performed in preparation for this staff report because the land is currently vacant.

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

Recommended Conditions of Approval

- The hours of operation for the drive through shall be limited to no later than 10:00 P.M.
- The hours of operation for business within the development shall be limited to no later than 10:00 P.M.

RESOLUTION NO. 2023-____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE FOR A DRIVE THROUGH RESTAURANT
UPON PROPERTY LOCATED AT 7730 S LOVERS LANE RD.
(BY DHARMESH GHELANI, AK DEVELOPERS LLC, APPLICANT,
FRANKLIN WYNDHAM LLC, PROPERTY OWNER)

WHEREAS, Dharmesh Ghelani, AK Developers, LLC having petitioned the City of Franklin for the approval of a Special Use for a restaurant with a drive-through, upon property located at 7730 S Lovers Lane Rd., zoned CC Civic Center. The property which is the subject of the application bears Tax Key No. 794 9999 007 and is more particularly described as follows:

Lot 3 of Certified Survey Map No. 8567, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on November 21, 2013. As Document No. 10315111; being a Redivision of Lot 1 of Certified Survey Map No. 8000, being a Redivision of Parcel 1 of Certified Survey Map 5762, Certified Survey Map No. 377, and lands in the Southwest Quarter and the Northwest Quarter of the Southeast Quarter of Section 8, Township 5 North, Range 21 East; said lands being in the City of Franklin, County of Milwaukee, State of Wisconsin; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of September, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue

traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Dharmesh Ghelani, AK Developers, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Dharmesh Ghelani, AK Developers, LLC , successors and assigns, for a restaurant with a drive-through use, which shall be developed in substantial compliance with, and operated and maintained by Dharmesh Ghelani, AK Developers, LLC , pursuant to those plans City file-stamped August 28, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Dharmesh Ghelani, AK Developers, LLC , successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Dharmesh Ghelani, AK Developers, LLC restaurant with a drive-through Special Use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Dharmesh Ghelani, AK Developers, LLC restaurant with a drive-through Special Use for the property located at 5444 West Rawson Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals,

permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. The hours of operation for the drive through shall be limited to no later than 10:00 P.M.
5. The hours of operation for business within the Dairy Queen development shall be limited to no later than 10:00 P.M.

BE IT FURTHER RESOLVED, that in the event Dharmesh Ghelani, AK Developers, LLC , successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2023.

APPROVED:

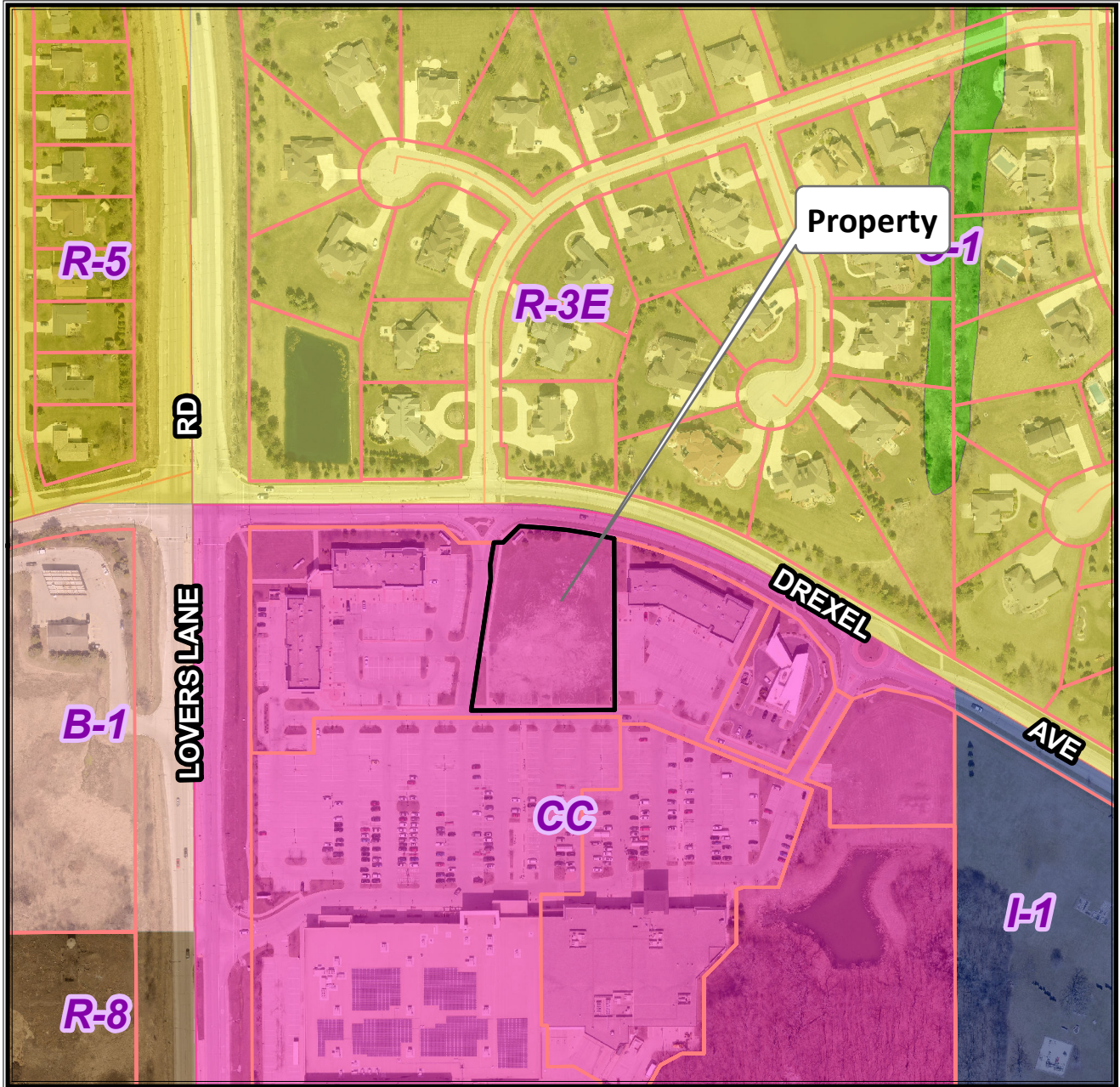
John R. Nelson, Mayor

ATTEST:

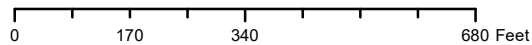
Karen L. Kastenson, City Clerk

AYES ____ NOES ____ ABSENT ____

7730 S. Lovers Lane Road
TKN 794 9999 007

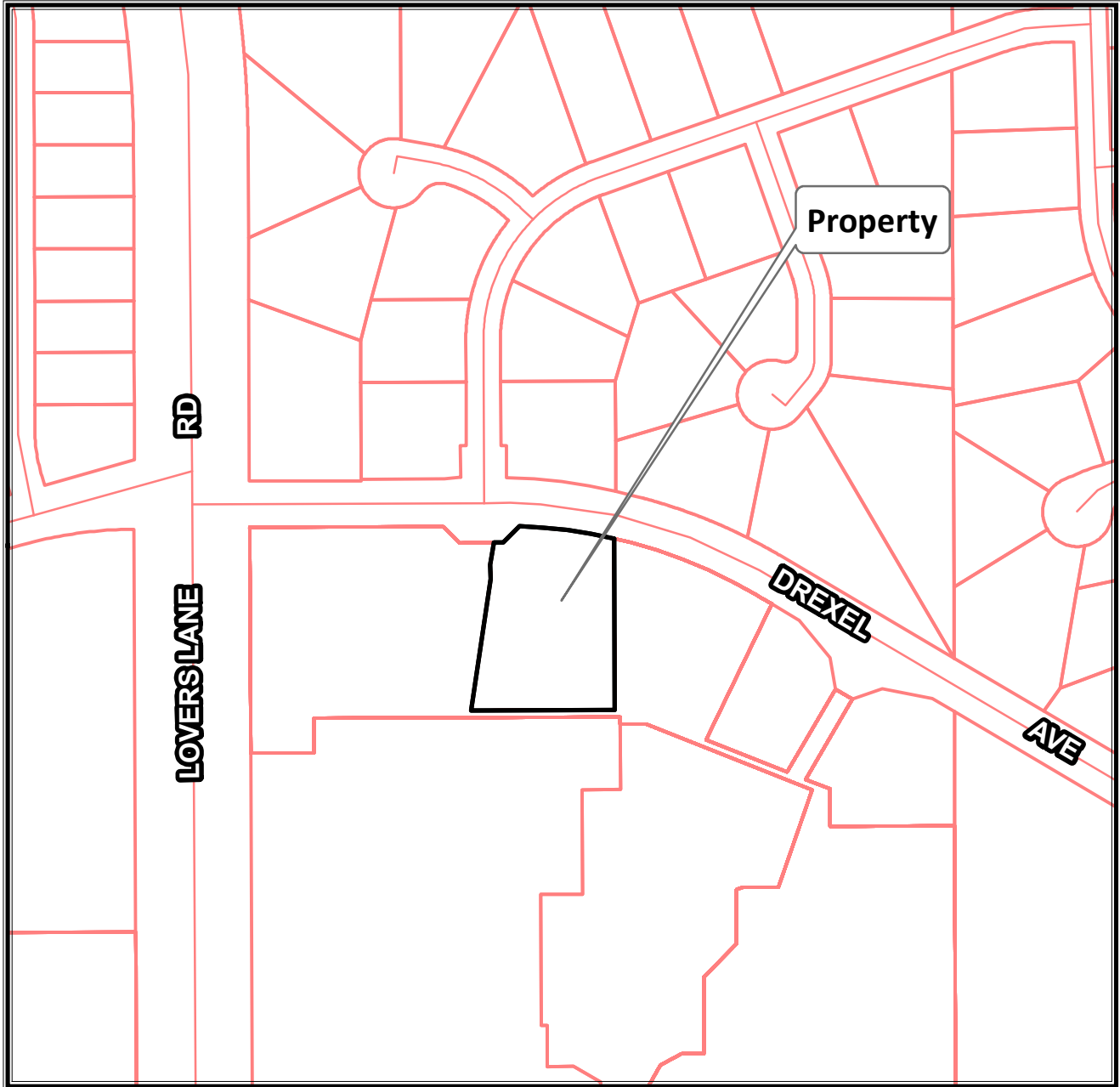


Planning Department
(414) 425-4024

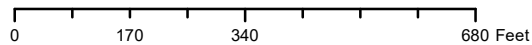


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7730 S. Lovers Lane Road
TKN 794 9999 007



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



August 14, 2023

Project Narrative: Special Use Application for a proposed drive-through use

We are proposing to construct an approximately 2,200 square foot drive-through restaurant upon property located at 7730 S. Lovers Lane Road. The restaurant will be a Dairy Queen Grill and Chill with seating for up to 46 customers. The proposed building would also contain roughly 5,700 square feet of additional retail space. It is anticipated that this will consist of two additional tenants. The users of this space will be subject to future use approvals as determined necessary by the City of Franklin and Unified Development Ordinance.

Currently only the Dairy Queen drive-through use is being requested for approval. Detailed site and building plans will be submitted following approval of the Special Use.

Responses to Section 15-3.0701, General Standards for Special Uses, have been provided as well as a conceptual site plan. Furthermore, responses have been provided that address all staff comments received in the August 11, 2023 Department of City Development review letter.

It should be noted that it is our intent to maintain and preserve the existing landscape buffer along the north property line. Moreover, hours of operations will be limited to 10:00 p.m. for the proposed restaurant and drive-through use. Sufficient parking will be provided, and lighting will be designed and consistent with the existing lighting at the shopping center. As such, there are no adverse impacts to the surrounding area.

Sincerely,

Dharmesh Ghelani

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
 franklinwi.gov



APPLICATION DATE: _____
 STAMP DATE: _____ city use only

COMMON COUNCIL REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: DHARMESH GHELANI	NAME: DHARMESH GHELANI
COMPANY: AK DEVELOPERS LLC	COMPANY: AK DEVELOPERS LLC
MAILING ADDRESS: 5514 W RIVER PARK CT	MAILING ADDRESS: 5514 W RIVER PARK CT
CITY/STATE: FRANKLIN ZIP: 53132	CITY/STATE: FRANKLIN ZIP: 53132
PHONE: 6306243545	PHONE: 6306243545
EMAIL ADDRESS: DGHELANI@YAHOO.COM	EMAIL ADDRESS: DGHELANI@YAHOO.COM

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 7730 S LOVERS LN ROAD	TAX KEY NUMBER: 794-9999-007
PROPERTY OWNER: FRANKLIN-WYNDHAM LLC	PHONE: 6306243545
MAILING ADDRESS: 686 DUNDEE RD SUITE 901	EMAIL ADDRESS: dghelani@yahoo.com
CITY/STATE: NORTHBROOK, IL ZIP: 60062	DATE OF COMPLETION: _____ office use only

APPLICATION TYPE

Please check the application type that you are applying for

- Concept Review
 Comprehensive Master Plan Amendment
 Planned Development District
 Rezoning
 Special Use / Special Use Amendment
 Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.
 Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
NAME & TITLE: Jonathan Basofin, President of DATE: 6/6/23	NAME & TITLE: DHARMESH GHELANI, PRESIDENT DATE: 06/05/2023
PROPERTY OWNER SIGNATURE: 	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: Manager of Franklin Wyndham, LLC DATE:	NAME & TITLE: _____ DATE: _____

CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

CONCEPT REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) copies of the Preliminary Site/Development Plan of the subject property(ies) and immediate surroundings on 8 1/2" X 11" or 11" X 17" paper (i.e., a scaled map identifying the subject property and immediate environs, including existing and proposed parcels, existing and proposed structures, existing and proposed land uses, existing and proposed zoning, existing and proposed infrastructure and utilities[approximate locations only], and existing and proposed site conditions/site constraints [i.e. approximate locations of public road access, rights-of-way, natural resources/green space and drainage issues/concerns, etc.]
 - Three (3) colored copies of building elevations on 11" X 17" paper if applicable.
- Email or flash drive with all plans / submittal materials.

COMPREHENSIVE MASTER PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$125 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Site Development Plan / Map, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Requires a Class I Public Hearing Notice at least 30 days before the Common Council Meeting

PLANNED DEVELOPMENT DISTRICT (PDD)

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$6,000: New PDD
 - \$3,500: PDD Major Amendment
 - \$500: PDD Minor Amendment
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, of the Site Plan Package, drawn to scale copies, on 24" x 36" paper, including Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- One (1) copy of the Site Intensity and Capacity Calculations, if applicable (see division 15-3.0500 of the UDO)
- Email or flash drive with all plans / submittal materials.
 - PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
 - Minor PDD Amendment requests require Plan Commission review and Common Council approval.

REZONING

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,250
 - \$350: one parcel residential.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Plot Plan or Site Plan, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts
 - Requires a Class II Public Hearing notice at Plan Commission.

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,500: New Special Use > 4000 square feet.
 - \$1,000: Special Use Amendment.
 - \$750: New Special Use < 4000 square feet.
- Word Document legal description of the subject property.
- One copy of a response to the General Standards, Special Standards, and Considerations *found in Section 15-3.0701(A), (B), and (C) of the UDO available at www.franklinwi.gov.*
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of the Site Plan package, drawn to scale at least 24" X 36", *The submittal should include only those plans/items as set forth in Section 15-7.0101, 15-7.0301 and 15-5.0402 of the UDO that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.*
- One (1) colored copy of the building elevations on 11" X 17" paper, *if applicable.*
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

UNIFIED DEVELOPMENT ORDINANCE (UDO) TEXT AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Three (3) project narratives, *including description of the proposed text amendment.*
 - Requires a Class II Public Hearing notice at Plan Commission.
 - The City's Unified Development Ordinance (UDO) is available at www.franklinwi.gov.

DIVISION 15-3.0700

SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701

GENERAL STANDARDS FOR SPECIAL USES

A. ***General Standards.*** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: Current use is Commercial and future use is Mixed Use. The Wyndham village OUT LOT 2 can be used for restaurant as a master plan and I would like to add drive through Dairy Queen Grill and Chill. I'm requesting special use for Drive through for Dairy Queen.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: Adding a state-of-the-art drive through National chain restaurant would not impact adversely to current occupants but it would increase appeal for future tenants in surrounding area in shopping center. Also, DQ Grill and Chill Restaurant would be a welcome addition for residents of Franklin and their welfare.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: It would not interfere with surrounding development.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The shoppes at Wyndham already have all the amenities and public facilities including public water and sewer.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: With at least 2 ingress and egress to the OUT LOT 2 people would be able to move in and out easily. Also, with at least 10 plus cars able to stack-up in drive through lane it would not cause any traffic congestions.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: It's currently approved for restaurant so adding drive through wouldn't cause any destruction of significant features.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: will comply with all the standards for the restaurant as per the ordinance.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: will comply with all the standards for the Drive Through restaurant as per the ordinance.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: Adding a state-of-the-art drive through National chain restaurant would enhance public convenience also it would increase appeal for future tenants in

surrounding area in the shopping center. Also, DQ Grill and Chill Restaurant would be a welcome addition for residents of Franklin and their tastebuds.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response:

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: With at least 2 ingress and egress to the OUT LOT 2 people would be able to move in and out easily. Also, with at least 10 plus cars able to stack-up in drive through lane it would not cause any traffic congestions.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: Restaurant is a compatible use within this shoppes at the Wyndham Village. Adding a drive through would not establish an incompatible uses,

City of Franklin Department of City Development

Date: August 11, 2023

To: Dharmesh Ghelani, AK Developers LLC

From: City Development Staff

RE: Dairy Queen Special Use for Drive Through

Department comments are as follows for the Dairy Queen Special Use for a Drive Through submitted by Dharmesh Ghelani, AK Developers LLC on 06/08/2023. The lot is zoned CC City Civic Center District. Drive through facilities require Special Use approval.

Department of City Development

1. How many employees will work out of this site?

It is anticipated that a maximum of four employees will be onsite at any given time for the Dairy Queen use.

Approximately ten employees are anticipated for all prospective tenants of the multi-tenant retail building; however, this will be dependent upon future approved uses.

2. What are the proposed hours of operation?

The hours of operations for the Dairy Queen restaurant are from 10:00 a.m. to 10:00 p.m., seven days a week.

3. Conceptual Site Sketch 1b shows a single building with drive through and an undeveloped area. Is the applicant proposing a phased development with multiple drive-throughs, or a land division?

Please see the attached site plan, which illustrates an existing building with a single drive-through. A second drive-through is not anticipated.

The development will be completed within a single phase.

A land division is not anticipated.

Special Use:

4. The applicant has provided required responses. The application complies with the standards of §15-3.0701: General Standards for Special Uses.
 - a. Staff recommends that the approval be responsive to the requirements of §5-3.0701.C.3: Mitigation of Adverse Impacts.
 - i. Please see comments on the conceptual site plan for recommendations on site design

The site will be designed to address staff comments and mitigate any adverse impacts to the surrounding area. With that said, it is not anticipated that the proposed uses and development will have any adverse impacts.

This is a retail development within an existing commercial/retail shopping center.

The existing landscape buffer will be utilized, as well as additional plantings, to continue to buffer the shopping center from adjacent uses, particularly the single-family residential subdivision to the north.

Lighting will be designed with the neighborhood in mind and the restaurant will be open no later than 10:00 p.m.

- ii. Staff recommends limiting the hours of operation to no later than 10:00 P.M.

10:00 p.m. is acceptable.

5. Note that the Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

Understood.

Conceptual Site Plan

Site Plan Applications must meet the general principles and standards of review under Division §15-7.0100.

6. Note that §15-5.0108 requires an increased setback of 40' along arterial streets and highways.

Please be aware that upon submittal of a detailed site plan, it will be requested that this increased setback requirement be exempted in accordance with Note (c) of Table 15-3.0307A. of Section 15-3.0307C.

7. Sign location and dimensions require separate permitting. While the planned location of the proposed monument sign should be shown, the site plan review does not constitute approval of the location of the sign or the sign itself.

Understood.

8. Shared Signage for the Shoppes at Wyndham Village is located on this property – removal requires Master Sign Program Amendment.

The existing signage is not proposed to be removed.

9. Buferyards (§15-7.0102.H) are required on the north property line, as the properties across the street do not share the same zoning (15-5.0301.D). Staff recommends conserving existing mature plants.

A landscape plan will be provided at the time of submittal of detailed site and development plans. As noted, there is an existing mature landscape screen along the north property line, adjacent to West Drexel Avenue. This planting buffer will be maintained as part of this development.

Fire Department Comments

The Fire Department comments below will be addressed upon submittal of detailed development plans.

- Follow all relevant WI DSPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.
- Pre-existing fire alarm and fire sprinkler systems shall be maintained in compliance with relevant code.
- Fire Extinguisher placement as per NFPA 10.
- Fire Department Connection (FDC), and hydrant placement and density must be acceptable to AHJ (applies to new construction).
- At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.
- Master Key set required for placement in Knox Box (if required).

- Permitting and submittal instructions for fire protection system review and inspection can be found at:
<https://www.franklinwi.gov/Departments/Fire.htm>

Engineering Comments

Engineering comments will be addressed upon submittal of detailed development plans. It is understood that the Engineering Department must be contacted to discuss storm water, grading and erosion control.

Engineering review aspects: Separate engineering submittal required

- Complete and submit engineering and storm water management plan review application
- 3 hard copies of plans, 1 hard copy of storm water management plan submitted to Engineering Dept
 - This site was part of a previously approved storm water management plan (SWMP)
 - The SWMP accounted for 79.93% impervious surface for the Shoppes at Wyndham Village development
 - Please contact Tyler Beinlich tbeinlich@franklinwi.gov 414-425-7510 to obtain a copied of the previously approved SWMP.

City Attorney's Office

- We need a more complete legal description.

Lot 3 of Certified Survey Map No. 8567, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on November 21, 2013. As Document No. 10315111; being a Redivision of Lot 1 of Certified Survey Map No. 8000, being a Redivision of Parcel 1 of Certified Survey Map 5762, Certified Survey Map No. 377, and lands in the Southwest Quarter and the Northwest Quarter of the Southeast Quarter of Section 8, Township 5 North, Range 21 East; said lands being in the City of Franklin, County of Milwaukee, State of Wisconsin.

DREXEL

AVE

40.41'

75.25'

39.96'

165.84'

59.51'

39.09'

15.74'

24.80'

230.28'

7730

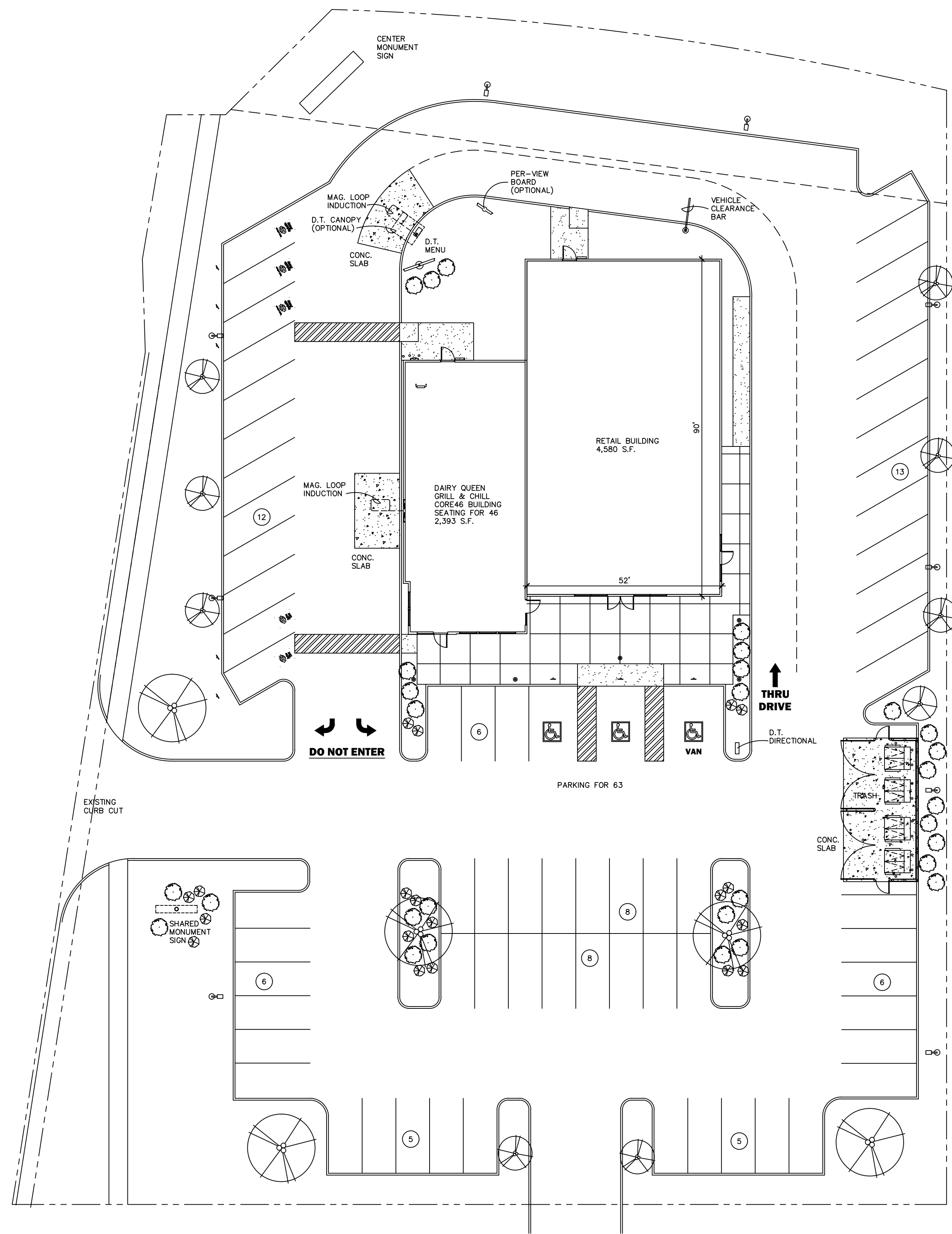
297.37'

249.41'

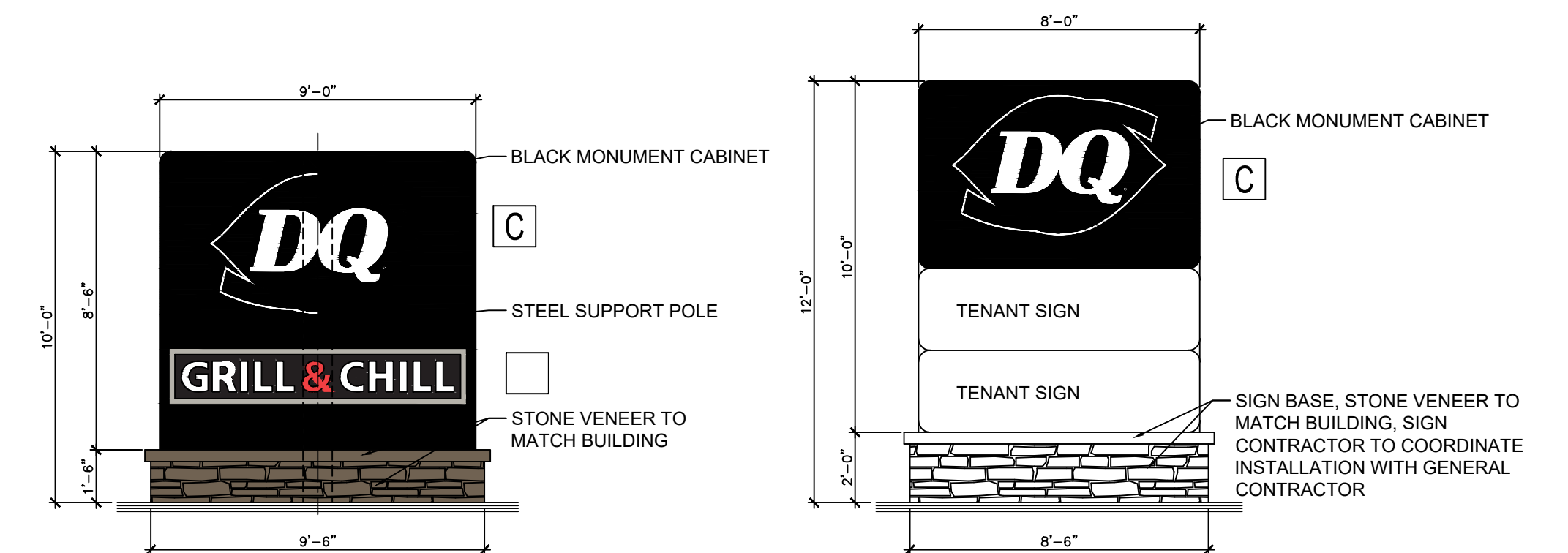
12.5'

45.47'

WEST DREXEL AVE.

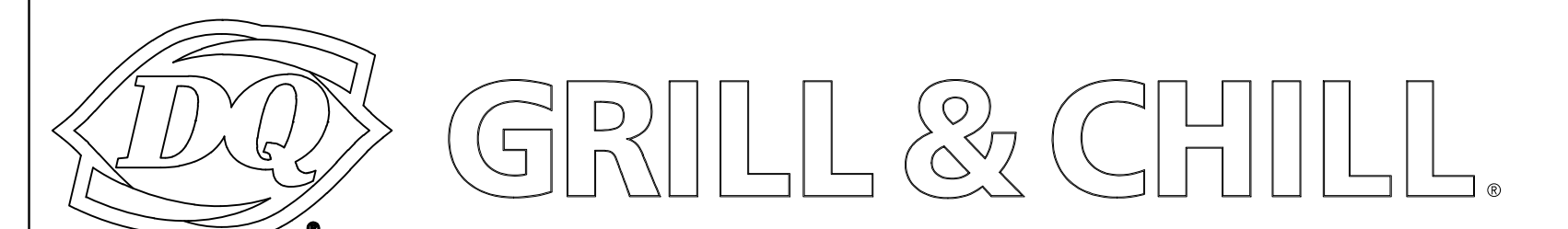


- N
- PARKING LOT LIGHT
 - SINGLE LIGHT
 - DOUBLE LIGHT
 - PATIO LIGHT
 - TRASH
 - PATIO DINING
 - PLANTER
 - PATIO RAILING W/ GATE
 - LANDSCAPING
- GROSS LOT AREA: = 69,864 S.F. (1.60 ACRE)
 LOT PERIMETER: = 1,062 L.F.
 PAVING AREA: = 13,335 S.F. (LIGHT DUTY)
 PAVING AREA: = 22,554 S.F. (HEAVY DUTY)
 CURBING LIN. FT. = 1,816 L.F.
 CONCRETE AREA: = 665 S.F. (WALKS-SITE)
 CONCRETE AREA: = N/A (WALKS-CITY)
 CONCRETE AREA: = 1,246 S.F. (SLABS)
 CONCRETE AREA: = N/A (SLABS-COOLER/FREEZER)
 GRADING: = 940 YRDS.
 UTILITY RUNS:
 SANITARY: = 90 L.F.
 WATER: = 115 L.F.
 GAS: = 90 L.F.
 ELEC./TEL.: = 160 L.F.
 STORM WATER: = N/A L.F.



TYPICAL MONUMENT SIGNS

SCALE: 1/4" = 1'-0"



FRANKLIN, WI
 W. DREXEL AVE.
 DQ Grill & Chill

FEASIBILITY #1
 #00000

THIS DRAWING, ITS DESIGN, DETAIL AND INVENTION, ARE THE PROPERTY OF INTERNATIONAL DAIRY QUEEN, INC. AND SHALL NOT BE COPIED IN ANY MANNER NOR DISCLOSED TO ANY OUTSIDE PARTY WITHOUT I.D.Q.'S CONSENT

F-1
 DATE
 07.21.2023
 S.Pithey



REPORT TO THE PLAN COMMISSION

Meeting of September 7th, 2023
Temporary Use

RECOMMENDATION: City Development staff recommends approval of the Temporary Use Application for Jay Lorino - Tuckaway Country Club to have a Golf Simulator Tent located in the rear parking lot of 6901 W. Drexel Avenue from 10/23/2023 to 03/30/2024.

Table with 2 columns: Field Name and Value. Fields include Project Name, Project Address, Property Owner, Applicant, Agent, Zoning, Use of Surrounding Properties, Comprehensive Plan, Planner, and Applicant Action Requested.

INTRODUCTION:

On July 28, 2023, the applicant, Tuckaway Country Club, represented by Jay Lorino, filed a Temporary Use Application to locate a golf simulator tent in a section of the rear parking lot located at 6901 W. Drexel Avenue. The requested time period of the use is from 10/23/2023 to 03/30/2024. This temporary use permit requires Plan Commission approval because the requested period of operation is over 30 calendar days.

The golf simulator tent will be in operation from 7:00 AM to 9:00 PM Monday through Sunday, with the possibility to extend operating hours to 11:59PM for special events as needed.

Analysis

City Development staff reviewed this application for compliance with the Unified Development Ordinance (UDO) Section 15-3.0804.B "Temporary Miscellaneous Outdoor Sales." Staff comments are attached; the applicant has provided responses to these comments in Plan Commission materials. Staff has no concerns with the proposed location or overall ability of the site to accommodate the golf simulator tent and related parking.

If approved, the temporary use permit will be valid from 10/23/2023 to 03/31/2024. A separate temporary use permit will be required for any operations beyond this time frame.

The Franklin Health Department requires that the only beverage service provided must be limited to prepackaged cans and bottles unless there is approved hand wash available. If any exposed food, beverage or ice is handled or prepared in this area, handwash must be provided.

Staff Recommendation

Approval of the request for a Temporary Use for Tuckaway Country Club to have a golf simulator tent located in the parking lot at 6901 W. Drexel Avenue from 10/23/2023 to 03/31/2024, subject to the conditions set forth in the attached resolution.

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE
APPROVAL OF A TEMPORARY USE FOR GOLF SIMULATOR TENT OPERATION
IN A PARKING LOT LOCATED AT 6901 W. DREXEL AVENUE
(JAY LORINO/TUCKAWAY COUNTRY CLUB, APPLICANTS)

WHEREAS, Jay Lorino/Tuckaway Country Club having petitioned the City of Franklin for the approval of a Temporary Use to allow for a golf simulator tent operation in a paved parking lot located at 6901 W Drexel Avenue, from October 23, 2023 to March 31, 2024, with business hours from 7:00 a.m. to 9:00 p.m., Monday through Sunday, with the possibility to extend operating hours to 11:59 p.m. for special events as needed; and

WHEREAS, the Plan Commission having found that the proposed Temporary Use, subject to conditions, meets the standards set forth under §15-3.0804 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the petition of Jay Lorino/Tuckaway Country Club for the approval of a Temporary Use to allow for a golf simulator tent operation, for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. The approval granted hereunder shall allow for such use from October 23, 2023 to March 31, 2024, with business hours from 7:00 a.m. to 9:00 p.m., Monday through Sunday, with the possibility to extend operating hours to 11:59 p.m. for special events as needed.
2. The golf simulator tent shall be located generally as shown on the Site Plan provided (Exhibit 1), City file-stamped July 28, 2023.
3. This Temporary Use approval is contingent on the applicant receiving all applicable licenses/permits through the City of Franklin. This includes, but not limited to, all necessary licenses/permits which are required through the Building Inspection Department, Clerks Office, and Health Department.

JAY LORINO/TUCKAWAY COUNTRY CLUB – TEMPORARY USE
RESOLUTION NO. 2023-_____

Page 2

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

APPROVED:

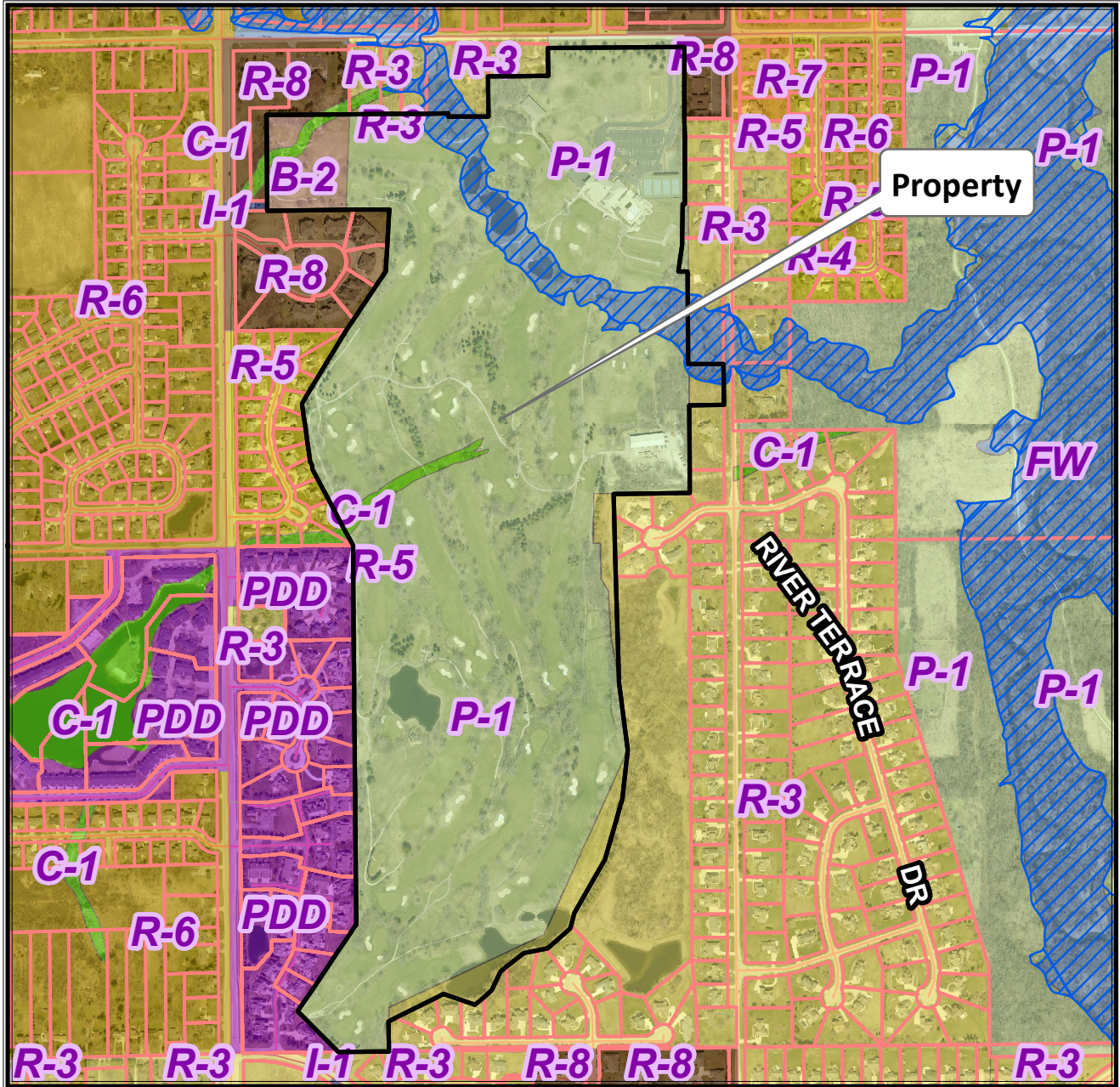
John Nelson, Chairman

ATTEST:

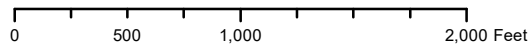
Karen Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

6901 W. Drexel Ave.
TKN 804 9989 022

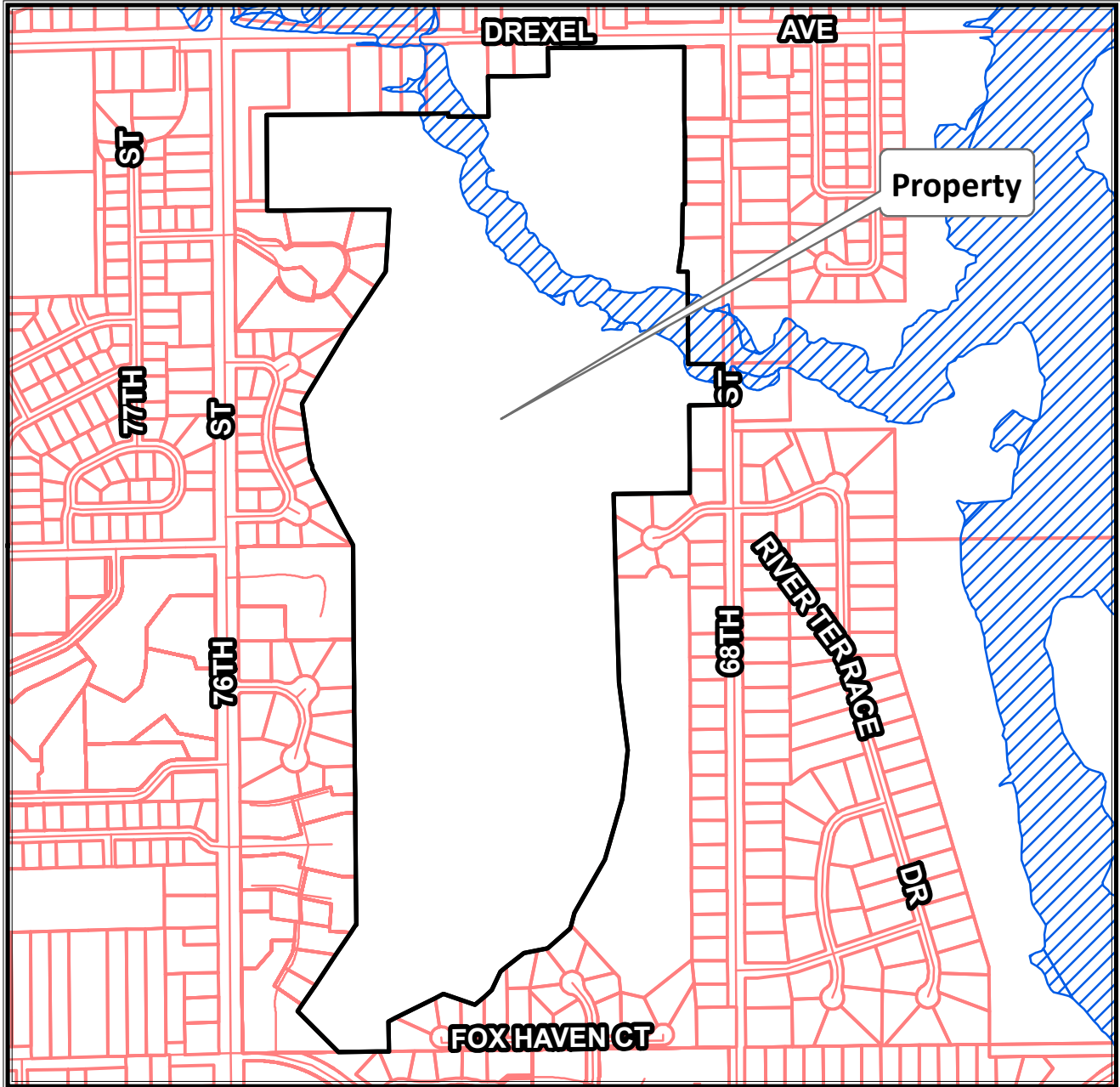


Planning Department
(414) 425-4024

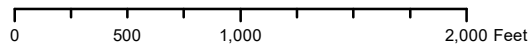


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

6901 W. Drexel Ave.
TKN 804 9989 022



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: _____ city use only

PLAN COMMISSION REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME: Tuckaway Country Club		NAME: Jay Lorino	
COMPANY: Tuckaway Country Club		COMPANY: Leading Edge Management Solutions, LLC	
MAILING ADDRESS: 6901 W Drexel Ave		MAILING ADDRESS: 26120 S Wind Lake RD	
CITY/STATE: Franklin, WI ZIP: 53132		CITY/STATE: Wind Lake, WI ZIP: 53185	
PHONE: 414-425-4280		PHONE: 414-630-5297	
EMAIL ADDRESS: joel@tuckawaycountryclub.com		EMAIL ADDRESS: jay.lorino@leadingedgemgt.com	

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 6901 W Drexel Ave	TAX KEY NUMBER: 804-9989-022
PROPERTY OWNER: Tuckaway Country Club	PHONE: 414-425-4280
MAILING ADDRESS: 6901 W Drexel Ave	EMAIL ADDRESS: joel@tuckawaycountryclub.com
CITY/STATE: Franklin, WI ZIP: 53185	DATE OF COMPLETION: <small>office use only</small>

APPLICATION TYPE

Please check the application type that you are applying for

Building Move
 Sign Review
 Site Plan / Site Plan Amendment
 Temporary Use

Most requests require Plan Commission review and approval.

Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for plan commission approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
DATE: 7-25-2023	DATE: 7-25-2023
NAME & TITLE: Joel Voisin General Manager Tuckaway Country Club	NAME & TITLE: Joel Voisin/General Manager Tuckaway Country Club
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE:	DATE: 7/18/2023
DATE:	NAME & TITLE: Jay Lorino/CEO-President Leading Edge Management

Temporary Use Application

Project Narrative: Tuckaway Country Club Golf Simulator Tent

Introduction:

Tuckaway Country Club, located in Franklin, WI, has been a prestigious private country club for over 56 years. With its renowned PGA quality golf course, exceptional amenities, and top-notch services, Tuckaway has maintained its reputation as one of the premier country clubs in the Midwest. However, to stay competitive in an ever-evolving market and meet the demands of its members, Tuckaway recognizes the need to embrace technological advancements and expand its offerings. Based on a recent membership survey, it was identified that 58% of respondents expressed support for a dedicated space for golf simulators and a socializing/lounge area, making it the second most significant request from the membership base.

Objective:

The objective of this project is to address the demand for golf simulators and create a space for member engagement and socialization during the "off-season." By implementing a temporary golf simulator structure, Tuckaway Country Club aims to assess the interest and engagement levels among its membership. This proof of concept will provide valuable insights into the potential benefits of having golf simulators on-site and serve as a basis for future capital investments.

Project Details:

The proposed structure is an exterior membrane tent measuring 9m (29.53') in width, 20m (65.62') in length, with an eave height of 4m (13.12') and a peak height of 5.64m (18.49'). It is designed to withstand a snow load of 40 PSF and wind speeds of up to 115 MPH. The location of the tent, as outlined in the site plan, adheres to all city setback requirements and complies with the 2015 IFC chapter 3103 regulations. The interior will be equipped with hardwall/insulated panels, and the flooring will consist of a Sur-Loc poly system covered with astro-turf. Heating will be provided by two TempAir THP-550a HVAC heaters connected to propane LP tanks and vaporizer provided/serviced by Boehlke Bottled Gas Corp. Based on configuration all heating equipment will meet setback requirements and be barricaded/protected. Electricity will be supplied by a hardwired spider-box with GFCI protection also connected to the main clubhouse. Inspections will be organized with the City of Franklin Fire Department to meet 2015 IFC Ch 3103 requirements as well as inspection services related to electricity. Based on board approval we will also need to ensure compliance with liquor license and/or food service provided in this temporary structure.

Implementation:

The golf simulator structure will house four golf simulators, along with suitable furniture and a dedicated area for members and guests to gather and socialize. Additionally, a temporary bar will be set up to serve beverages, enhancing the overall experience. The facility will operate daily from 7am to 9pm, with the possibility of extended operating hours for special events until 11:59pm as needed.

Duration:

The project will commence with setup the week of October 23, 2023 and operations to begin on November 1, 2023, and conclude on March 30, 2024, covering the winter months when outdoor golf activities are limited. Anticipated parking needs will not exceed capacity during this time and be sufficient in serving regular club activities as well as the temporary golf simulator use.

Benefits:

By providing a dedicated space for golf simulators and socializing, Tuckaway Country Club aims to cater to the evolving needs and preferences of its members and prospective members. The project will offer an innovative and enjoyable experience, enabling members to practice their golf skills regardless of weather conditions. The socializing and lounge area will foster a sense of community among members, encouraging interaction and strengthening relationships. Moreover, the project aligns with Tuckaway's long-term goals of enhancing member satisfaction, staying competitive within the market, and potentially exploring permanent solutions in the future.

Conclusion:

Tuckaway Country Club seeks a temporary use permit for the golf simulator structure described above, allowing it to address the growing demand for golf simulators and member engagement. By investing in this temporary solution, Tuckaway aims to validate the interest and engagement levels of its membership. The successful implementation of this project will not only benefit the club's members but also have a positive impact on the surrounding community of Franklin as future permanent solutions are explored. Through this initiative, Tuckaway Country Club aspires to continue providing exceptional experiences and remain a leader in the country club industry here in the great city of Franklin.

**City of Franklin
Department of City Development**

Date: August 23, 2023

To: Jay Lorino – Tuckaway Country Club

From: Department of City Development Staff

RE: Temporary Use – Golf Simulator Tent – Staff Comments

Department comments are as follows for the temporary use application for a Golf Simulator Tent Temporary Use submitted by Jay Lorino – Leading Edge Management Solutions on behalf of Tuckaway Country Club, and date stamped by the City of Franklin on July 28, 2023.

Department of City Development Staff Comments

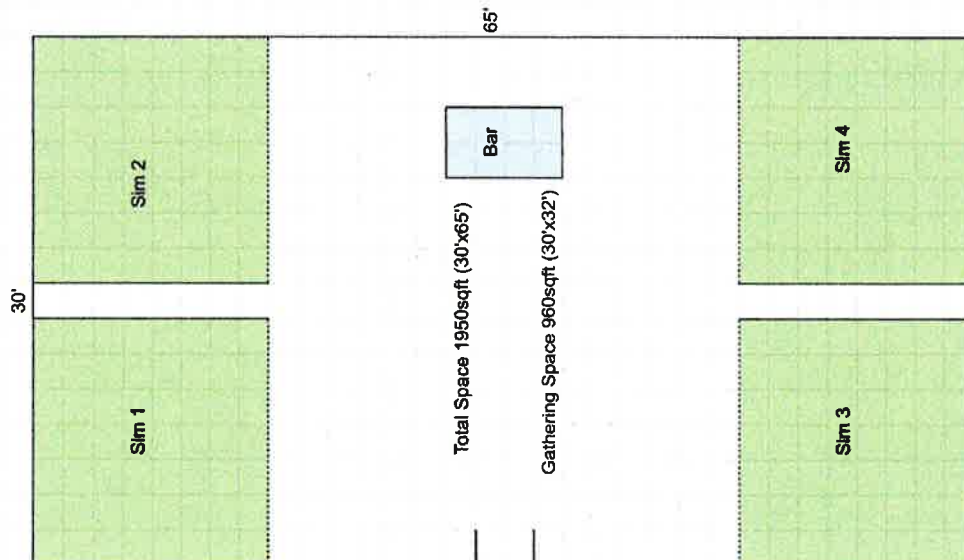
City Development staff reviewed this application for compliance with the Unified Development Ordinance (UDO) § 15-3.0804.B “Temporary Miscellaneous Outdoor Sales”:

1. *Location. No display, sales or parking is permitted in any street right-of-way, except such parking on-street as is regularly permitted. In addition, no display, sales or parking shall obstruct pedestrian or vehicular traffic. All display areas or temporary structures shall comply with the minimum required yard setbacks for the zoning district for the property upon which the temporary miscellaneous outdoor sale occurs.*
 - a. City Development staff have no concerns with the proposed location.
**TCC Acknowledgement-IPL 8/24/2023
2. *Parking. All parking shall be on-site, except such on-street parking as is regularly permitted. The applicant must demonstrate that there will be adequate parking for the existing uses as well as the proposed temporary miscellaneous outdoor sale.*
 - a. Include in the project narrative that the anticipated parking needs will not exceed capacity due to seasonal reduction in outdoor golf attendance.
**TCC Acknowledgement-IPL 8/24/2023. See updated project narrative under the “Duration” section attached.
3. *Trash and Debris. The applicant must demonstrate and provide adequate facilities to dispose of all trash or other waste generated by the temporary miscellaneous outdoor sale.*
 - a. The applicant has indicated that they will provide an adequate number of receptacles for disposal. Receptacles will be emptied into an on-site dumpster regularly. **TCC Acknowledgement-IPL 8/24/2023
4. *Signage. All signage shall be in accordance with the sign regulations set forth in this Ordinance.*
 - a. City Development staff must approve all temporary signage for the tent.
**TCC Acknowledgement-IPL 8/24/2023. There will be no signage affixed to the exterior of the tent.

5. *Temporary Outdoor Structures. All proposed temporary outdoor structures (tents, canopies) are subject to review and approval of the Fire Inspector and the Building Inspector.*
 - a. The applicant has provided specs and drawings for Staff to review. Additional Department comments are provided below and must be addressed. Please contact the departments for their feedback, and include that information in responses to comments. **TCC Acknowledgement-IPL 8/24/2023
6. *Temporary Miscellaneous Outdoor Sales Shall be Limited to 14 Consecutive Days. Owners must obtain a Temporary Use Permit for each temporary miscellaneous outdoor sale before the use is permitted. Each such uses shall not exceed 14 consecutive calendar days. The total days of such temporary uses during a calendar year shall not exceed 30 calendar days.*
 - a. If approved, the temporary use permit will be valid from October 23, 2023 to the end of event date of March 30, 2024. A separate temporary use permit will be required for any operations beyond this time frame. **TCC Acknowledgement-IPL 8/24/2023
7. *A Site Plan is Required. A site plan showing location of existing buildings, locations of proposed structures for the sales/events, locations of parking spaces, signage, hours of operation, what merchandise is being sold and any other information pertinent to the review of the sales/events and as may be so required by the Zoning Administrator or designee of the City Planning Department or the Plan Commission, as applicable, shall be submitted as part of the application for a commercial temporary outdoor sale use.*
 - a. No comments. **TCC Acknowledgement-IPL 8/24/2023. Site plan included in initial application.

Additionally, staff asks the applicant to provide the following information:

1. Maximum occupancy count for the tent. **TCC Acknowledgement-IPL 8/24/2023. Maximum occupancy: 96 people.



2. How the HVAC equipment will be screened **TCC Acknowledgement-IPL 8/24/2023. HVAC equipment will be screened/barricaded by reflective/orange water-filled barricades pictured here.



Health Department Staff Comments

Beverage service in this area would be limited to prepackaged cans and bottles unless there is approved hand wash available. If any exposed food, beverage or ice is handled or prepared in this area, handwash must be provided. **TCC Acknowledgement-IPL 8/24/2023. TCC GM loel Voisin will be connecting with the health dept.

Fire Department Staff Comments

3. If tents are present they must be meet the following conditions/requirements:
- Tents must be certified to be constructed of fire-retardant materials, ***Attached**
 - "NO SMOKING" signs must be posted in each tent,
 - No LP gas or charcoal grills are allowed in or under tents,
 - Vehicles must be a minimum of 20 (twenty)feet from any tent. The ground area enclosed by the tent, and a radius of 10 (ten) feet outside of the tent must be cleared of combustible/flammable materials (i.e., trash, leaves, and dry vegetation),
 - Tents must be placed a minimum of 10 (ten) feet apart,
 - Flammable or combustible liquids must be a minimum of 50 (fifty) feet from any tent. **TCC Acknowledgement-IPL 8/24/2023. All flammable and combustible liquids will be kept 50 feet from the tent. However, placement of 1: 1000# Propane Tank/Vaporizer will be 25 feet from the tent and within code as shown on site plan. This equipment will be screened/barricaded with reflective/orange water-filled barricades same as HVAC equipment. Propane gas hoses to the heaters will be covered/protected by ramps.
 - Any props used in tents must be non-flammable.
 - Exits must be marked and exit paths kept clear.
 - Tent shall not block egress paths from adjacent buildings or structures. **TCC Acknowledgement items 3a-3e/3g-3i. -IPL 8/24/2023.
4. All extension cords (if used) must UL listed for outdoor use, and be unplugged when not in use. **TCC Acknowledgement-IPL 8/24/2023.

Inspection Services Staff Comments

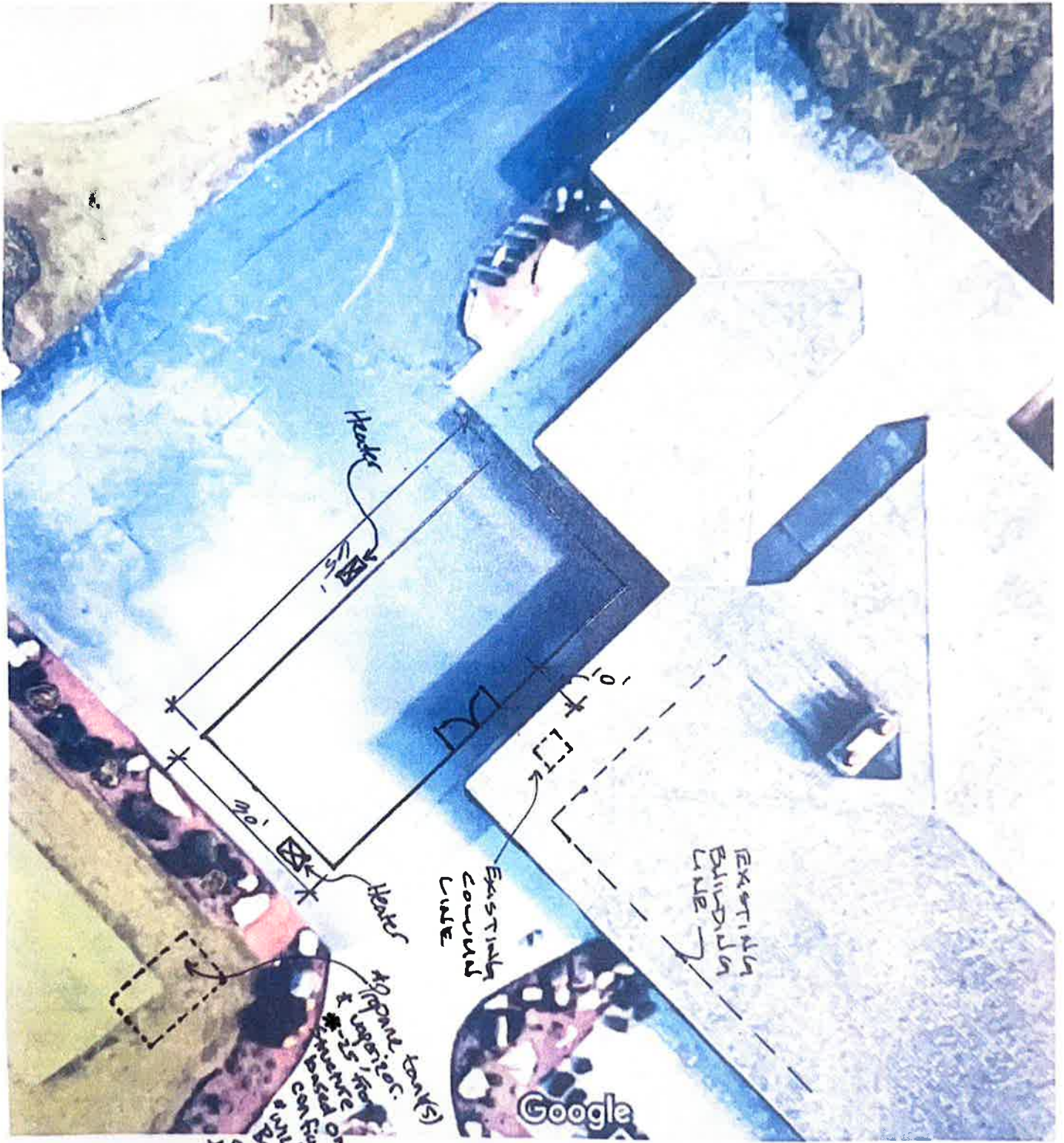
Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code. IBC 3102 for structures erected for more than 180 days or 3103 for structures erected for less than 180 days. **TCC Acknowledgement-IPL 8/24/2023.

Temporary Structure

- **Structure is a clearspan 9m x 20m x 4m (approx 30' x 65' x 13') membrane tent with double glass access doors. Heated/Insulated, comfortable environment.
- **To include: interior, insulated hard walls and flooring with artificial turf as pictured.
- **4 Simulators available in 90 minute blocks.
- **String Light and electrical distribution for simulators and accessory TV's as well as portable bar setup.
- **Handwashing station and trash receptacles located in the tent which will be emptied regularly.
- **Located immediately off the bag room, close access to restrooms.



SITE PLAN



Heater

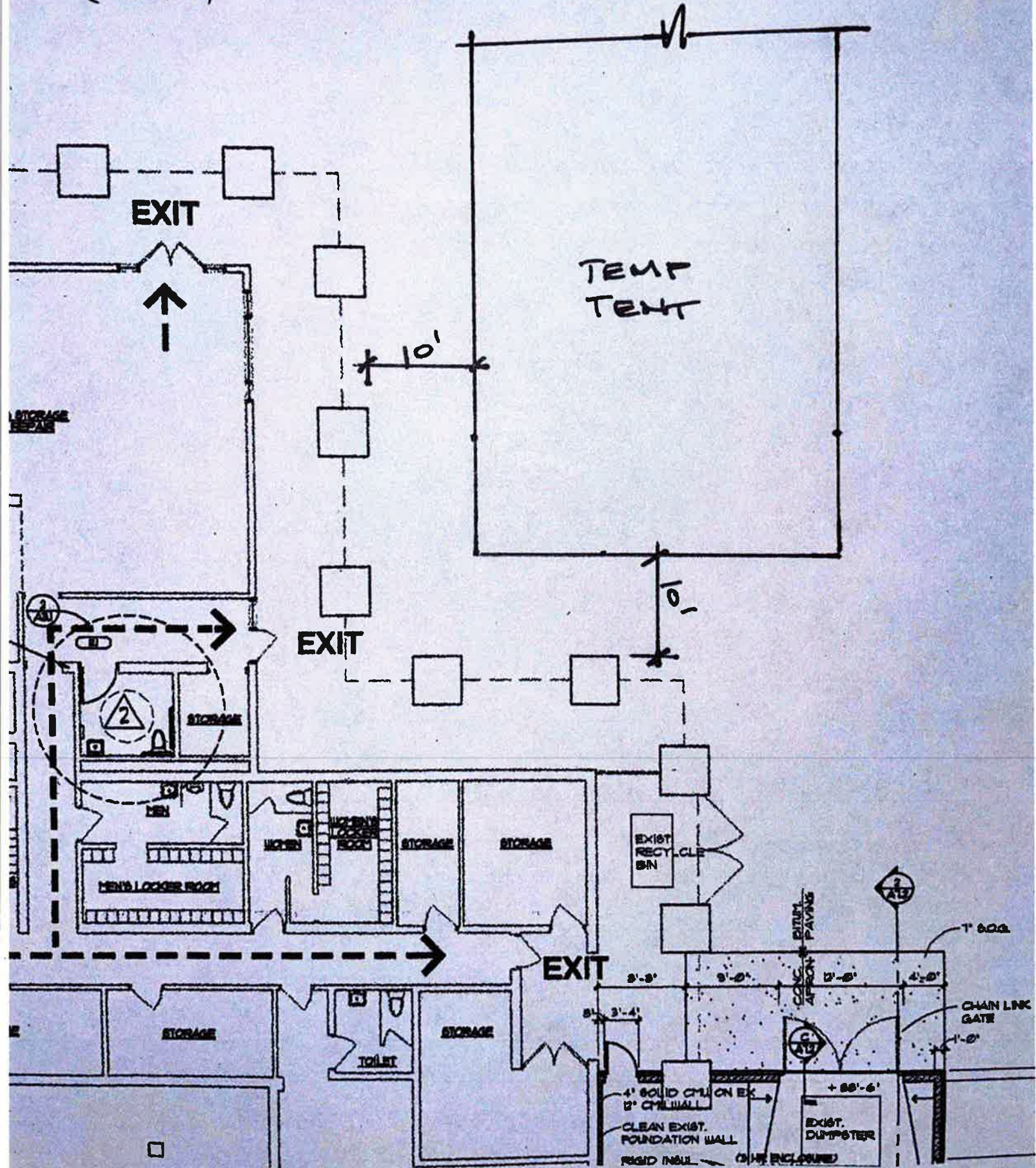
Heater

EXISTING
BUILDING
LINE

to spare tanks
& superior.
#-25' for
configuration.
will be
padded
and protected
to code.

Google

SITE PLAN (ZOOM)



McGINNIS & ASSOCIATES
Structural Engineers
1110 Westmark Drive
St. Louis, Missouri 63131
(314) 835-1224 Fax: (314) 984-0561

JOB: 9m Venue Series
Anchor Industries NO. 22320
SHEET NO: 1 of 45
CALC. BY: DWM DATE: 5/10/16

Structural Calculations for:



**A.S. Venue
9m Wide x 4m Eave Height (Variable Length)**

These calculations are acceptable for use for the tent configurations narrower and/or shorter in eave height than those outlined in the contents of this report by the next larger size configuration shown above them.

Design Standard: 2012 International Building Code / ASCE 7-10



5/10/2016

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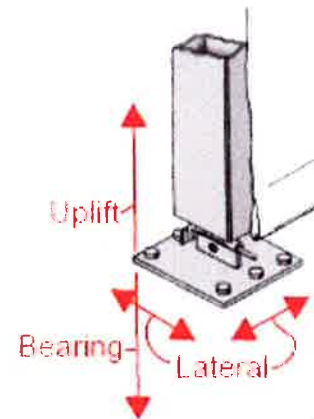
JOB: 9m Venue Series
Anchor Industries NO. 22320
SHEET NO: 2 of 45
CALC. BY: DWM DATE: 5/10/16

9m x 4m Venue Series Engineering Summary:

This structure is designed as a temporary structure to be in place for a period not to exceed 180 days.

LOAD CASE: MAXIMUM WIND LOADS

Product Group:	Venue
Width:	9m
Side Height:	4m
Main Extrusion Size:	160/100/3
Cable Diameter:	3/8"
Bay Size:	5m
Code Used:	ASCE 7-10
Basic Wind Speed:	115
Occupancy Category:	II
Wind Exposure Category:	C
No. of Years Mean Return (MRI)	100
3 sec Gust Wind Speed:	96
Ultimate Wind Pressure (qz ult):	17.05 psf
Ground Snow Load:	N/A
Snow Importance Factor:	N/A
Sloped Roof Snow Load:	N/A



HANGING LOADS	Ctr of End Rafter	End Ridge Location	Ctr of Mid Rafter	Mid Ridge Location
Hanging Live Load:	250lb	250lb	250lb	250lb
MAX BASEPLATE LOAD	Non-Cabled Bay BP	Cabled Bay BP	Gable End BP	Guy BP
Uplift: (Units of kips)	2.1	2.1	2.1	
Bearing: (Units of kips)	1	1	1	
Lateral: (Units of kips)	1.3	1.3	1.3	
Special Instructions:				

Structure may be extended in number of bays (length) without limit. When number of bays exceeds 10, cable bays shall be installed such that there are no more than 6 open bays between cable bays.

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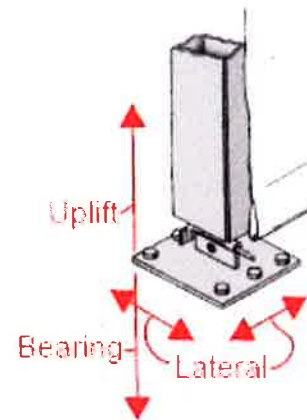
JOB: 9m Venue Series
Anchor Industries NO. 22320
SHEET NO: 3 of 45
CALC. BY: DWM DATE: 5/10/16

9m x 4m Venue Series Engineering Summary:

This structure is designed as a temporary structure to be in place for a period not to exceed 180 days.

LOAD CASE: REDUCED WIND TO 10 YEAR MRI.

Product Group:	Venue
Width:	9m
Side Height:	4m
Main Extrusion Size:	160/100/3
Cable Diameter:	3/8"
Bay Size:	5m
Code Used:	ASCE 7-10
Basic Wind Speed:	115
Occupancy Category:	II
Wind Exposure Category:	C
No. of Years Mean Return (MRI)	10
3 sec Gust Wind Speed:	76
Ultimate Wind Pressure (qz ult):	10.68 psf
Ground Snow Load:	N/A
Snow Importance Factor:	N/A
Sloped Roof Snow Load:	N/A



HANGING LOADS	Ctr of End Rafter	End Ridge Location	Ctr of Mid Rafter	Mid Ridge Location
Hanging Live Load:	250lb	250lb	250lb	250lb
MAX BASEPLATE LOAD	Non-Cabled Bay BP	Cabled Bay BP	Gable End BP	Guy BP
Uplift: (Units of kips)	1.4	1.4	1.4	
Bearing: (Units of kips)	1	1	1	
Lateral: (Units of kips)	1	1	1	
Special Instructions:	Structure may be extended in number of bays (length) without limit. When number of bays exceeds 10, cable bays shall be installed such that there are no more than 6 open bays between cable bays.			

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JOB: 9m Venue Series
Anchor Industries NO. 22320
SHEET NO: 4 of 45
CALC. BY: DWM DATE: 5/10/16

Tent Dimensions: (9m x 4m)

(Shown in both SI Units and United States customary units)

$$\text{Width} := 9\cdot\text{m}$$

$$\text{Width} = 29.53\cdot\text{ft}$$

$$\text{Length} := 35\cdot\text{m}$$

$$\text{Length} = 114.83\cdot\text{ft} (\text{Length varies} - \text{minimum 4 bays @ 5m} - \text{no maximum})$$

$$\text{Eave_height} := 4\cdot\text{m}$$

$$\text{Eave_height} = 13.12\cdot\text{ft}$$

$$\text{Peak_height} := 5.635\cdot\text{m}$$

$$\text{Peak_height} = 18.49\cdot\text{ft}$$

$$\text{Mean_height} := \text{Eave_height} + \frac{(\text{Peak_height} - \text{Eave_height})}{2} \quad \text{Mean_height} = 4.82\cdot\text{m} \quad \text{Mean_height} = 15.81\cdot\text{ft}$$

$$\text{Roof Angle: } \Theta_{\text{roof}} := \text{atan}\left(\frac{\text{Peak_height} - \text{Eave_height}}{\text{Width} \cdot 0.5}\right) \quad \Theta_{\text{roof}} = 20\cdot\text{deg}$$

$$\text{Typical Bay Spacing: } \text{Bay_spacing} := 5\cdot\text{m} \quad \text{Bay_spacing} = 16.4\cdot\text{ft}$$

Gravity Loads:

Dead Load

$$\text{DL} := 2.5\cdot\text{psf} \quad \text{w}_{\text{DL}} := \text{DL} \cdot \text{Bay_spacing} \quad \text{w}_{\text{DL}} = 41 \cdot \frac{\text{lb}}{\text{ft}}$$

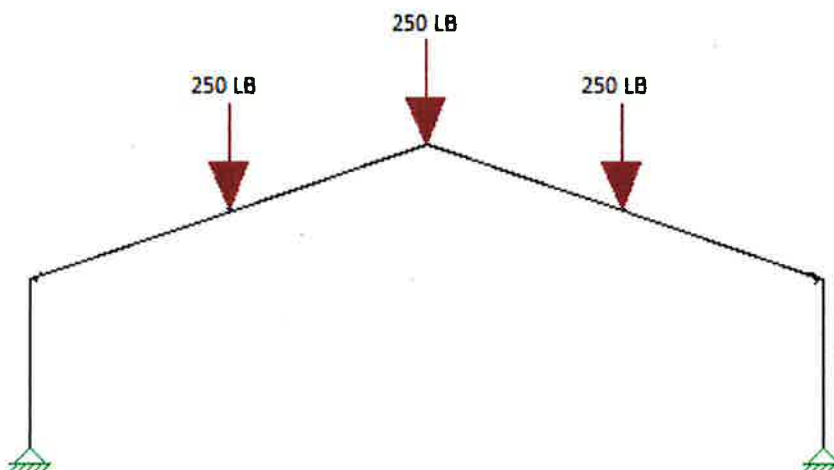
Roof Live Load

Concentrated Hanging Loads:

A maximum of 750 pounds of hanging load may be applied to each rafter frame line distributed as follows:

250 pounds hung from the 1/4 points of the rafter frame

250 pounds hung from the midpoint of the rafter frame



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JOB: 9m Venue Series
 Anchor Industries NO. 22320
 SHEET NO: 5 of 45
 CALC. BY: DWM DATE: 5/10/16

Snow Loads

Not rated for snow loads.

** See Attached
 40 PSF Snow Loads RATED*

Earthquake Loads:

$S_{1_eq} := 1.5$ $S_{s_eq} := 1.0$ Seismic Design Category D $F_a := 1.0$ $F_v := 1.5$

MWFRS: (Reference AISC 7-05 Section 12.2.5.6)

North-South: Tension Cables - Steel systems not detailed R=3

$R_E := 3$

East-West: Rigid Frame - Steel system not detailed R=3

Importance Factor: 1.0

$I_E := 1.0$ $S_{DS} := 0.67 \cdot F_a \cdot S_{s_eq}$ $S_{DS} = 0.67$ $S_{D1} := 0.67 \cdot F_v \cdot S_{1_eq}$ $S_{D1} = 1.51$

$$C_s := \frac{S_{DS}}{\frac{R_E}{I_E}} \quad C_s = 0.22$$

Building dead load = 1.0 psf

Equivalent lateral seismic loading: $e_q := C_s \cdot DL$

$$e_q = 0.56 \cdot \text{psf}$$

Seismic loading is negligible and will not govern over wind loading.

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JOB: 9m Venue Series
 Anchor Industries NO. 22320
 SHEET NO: 6 of 45
 CALC. BY: DWM DATE: 5/10/16

Wind Loads

(Reference ASCE 7-10 - Chapter 26 & 28 - Wind Loads)

Classification of structure is: Building, Enclosed; Low-rise with height less than 60 feet.

Wind loads are determined using Chapter 28 - Envelope Procedure

Basic Wind Speed (mph): $V_{50} := 115$ Occupancy Category I Building - Figure 26.5-1C

For structure in place not to exceed 180 days, it is acceptable to use a 100 year return wind speed per Chapter C26 commentary based upon non-hurricane winds. See Figure CC-4.

100 year MRI 3 Second Gust Wind Speed: $V_{100} := 96$

Exposure Category: C

Velocity Pressure Exposure Coefficient: $K_z := 0.85$

Topographical Factor: $K_{zt} := 1.0$

Directionality Factor: $K_d := 0.85$

Velocity Pressure: $q_{z_ult} := 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot V_{100}^2 \text{ psf}$ $q_{z_ult} = 17.05 \cdot \text{psf}$

$q_z := q_{z_ult} \cdot 0.6$ $q_z = 10.23 \cdot \text{psf}$

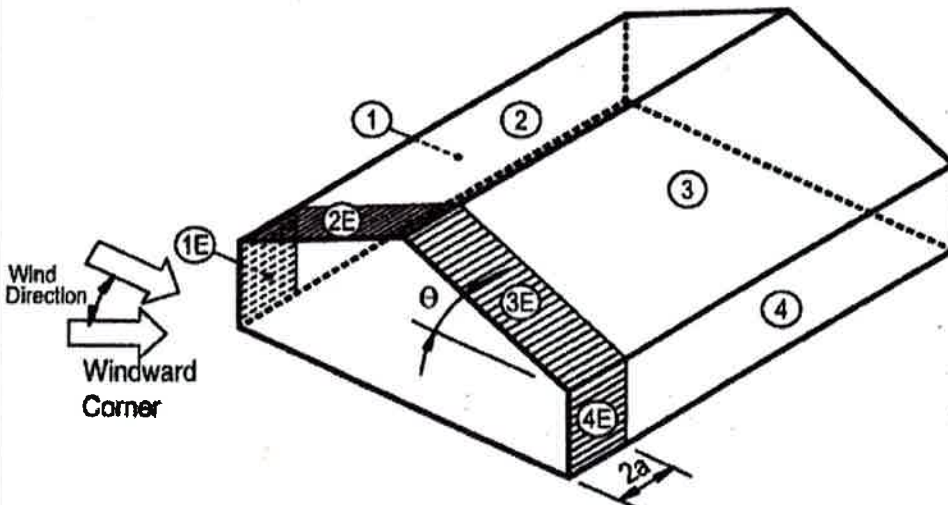
Internal Pressure Coefficients: $G C_{pi} := 0.18$

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JOB: 9m Venue Series
 Anchor Industries NO. 22320
 SHEET NO: 7 of 45
 CALC. BY: DWM DATE: 5/10/16

Wind Loads - Case A1 & A2

Resulting Design Wind Pressures for the MWFRS - Load Case A (Figure 28.4-1)								
Roof Angle (Degrees)	Building Surface							
	1	2	3	4	1E	2E	3E	4E
0-5	0.4	-0.69	-0.37	-0.29	0.61	-1.07	-0.53	-0.43
20	0.53	-0.69	-0.48	-0.43	0.8	-1.07	-0.69	-0.64
Interpolate values above shown for 5 deg and 20 deg to determine GC_{pf} for roof slope if required								
20	0.53	-0.69	-0.48	-0.43	0.80	-1.07	-0.69	-0.64
Recall Velocity Pressure: $q_h =$					10.2	psf		
Case A1: $GC_{pf} - GC_{pi}$ when $+GC_{pi}$								
0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18
$GC_{pf} - GC_{pi}$	0.35	-0.87	-0.66	-0.61	0.62	-1.25	-0.87	-0.82
$q_h(GC_{pf} - GC_{pi})$ psf	3.6	-8.9	-6.8	-6.2	6.3	-12.8	-8.9	-8.4
Case A2: $GC_{pf} - GC_{pi}$ when $-GC_{pi}$								
-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18
$GC_{pf} - GC_{pi}$	0.71	-0.51	-0.30	-0.25	0.98	-0.89	-0.51	-0.46
$q_h(GC_{pf} - GC_{pi})$ psf	7.3	-5.2	-3.1	-2.6	10.0	-9.1	-5.2	-4.7



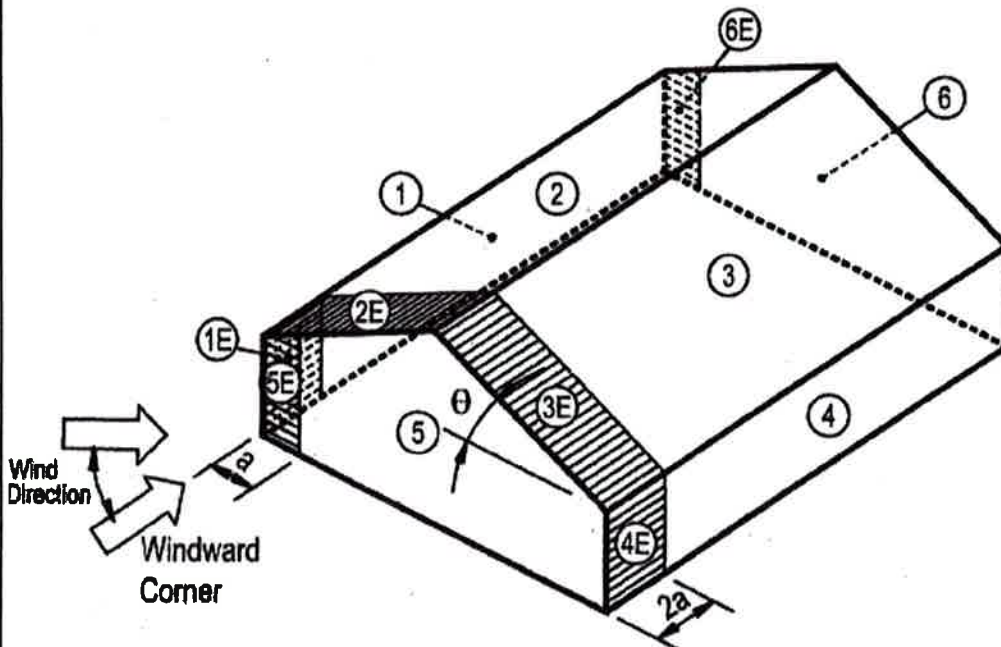
Wind Loads by Building Surface		
Surface Label	Case 1 Pressure (psf)	Case 2 Pressure (psf)
1	3.6	7.3
2	-8.9	-5.2
3	-6.8	-3.1
4	-6.2	-2.6
1E	6.3	10.0
2E	-12.8	-9.1
3E	-8.9	-5.2
4E	-8.4	-4.7

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JOB: 9m Venue Series
 Anchor Industries NO. 22320
 SHEET NO: 8 of 45
 CALC. BY: DWM DATE: 5/10/16

Wind Loads - Case B1 & B2

Resulting Design Wind Pressures for the MWFRS - Load Case B (Figure 28.4-1)												
Roof Angle (Degrees)	Building Surface											
	1	2	3	4	5	6	1E	2E	3E	4E	5E	6E
0-90	-0.45	-0.69	-0.37	-0.45	0.4	-0.29	-0.48	-1.07	-0.53	-0.48	0.61	-0.43
Recall Velocity Pressure: $q_h =$								10.2		psf		
Case B1: $GC_{pf} - GC_{pi}$ when $+GC_{pi}$												
0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18	0.18
$GC_{pf} - GC_{pi}$	-0.63	-0.87	-0.55	-0.63	0.22	-0.47	-0.66	-1.25	-0.71	-0.66	0.43	-0.61
$q_h(GC_{pf} - GC_{pi})$ psf	-6.4	-8.9	-5.6	-6.4	2.3	-4.8	-6.8	-12.8	-7.3	-6.8	4.4	-6.2
Case B2: $GC_{pf} - GC_{pi}$ when $-GC_{pi}$												
-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18	-0.18
$GC_{pf} - GC_{pi}$	-0.27	-0.51	-0.19	-0.27	0.58	-0.11	-0.30	-0.89	-0.35	-0.30	0.79	-0.25
$q_h(GC_{pf} - GC_{pi})$ psf	-2.8	-5.2	-1.9	-2.8	5.9	-1.1	-3.1	-9.1	-3.6	-3.1	8.1	-2.6



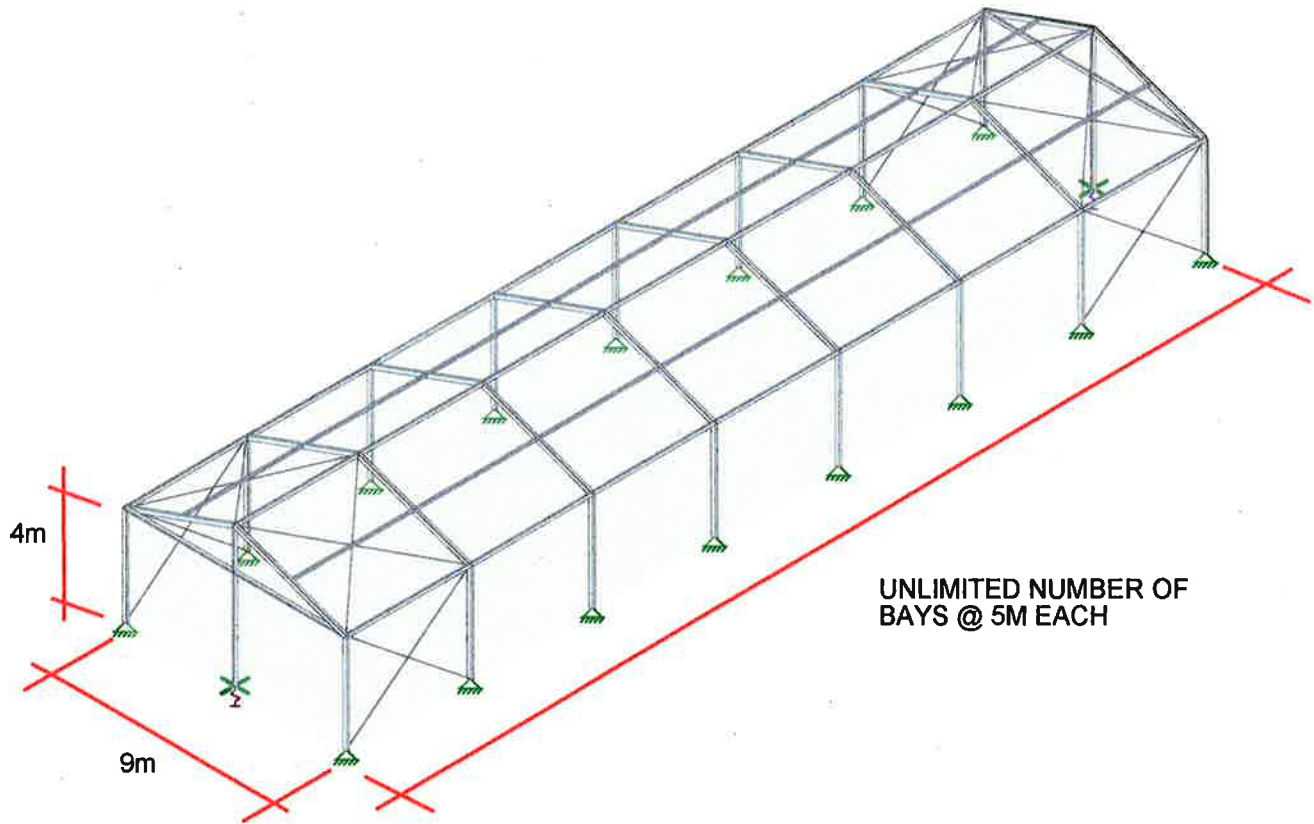
Wind Loads by Building Surface		
Surface Label	Case 1 Pressure (psf)	Case 2 Pressure (psf)
1	-6.4	-2.8
2	-8.9	-5.2
3	-5.6	-1.9
4	-6.4	-2.8
5	2.3	5.9
6	-4.8	-1.1
1E	-6.8	-3.1
2E	-12.8	-9.1
3E	-7.3	-3.6
4E	-6.8	-3.1
5E	4.4	8.1
6E	-6.2	-2.6

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JOB: 9m Venue Series
Anchor Industries NO. 22320
SHEET NO: 9 of 45
CALC. BY: DWM DATE: 5/10/16



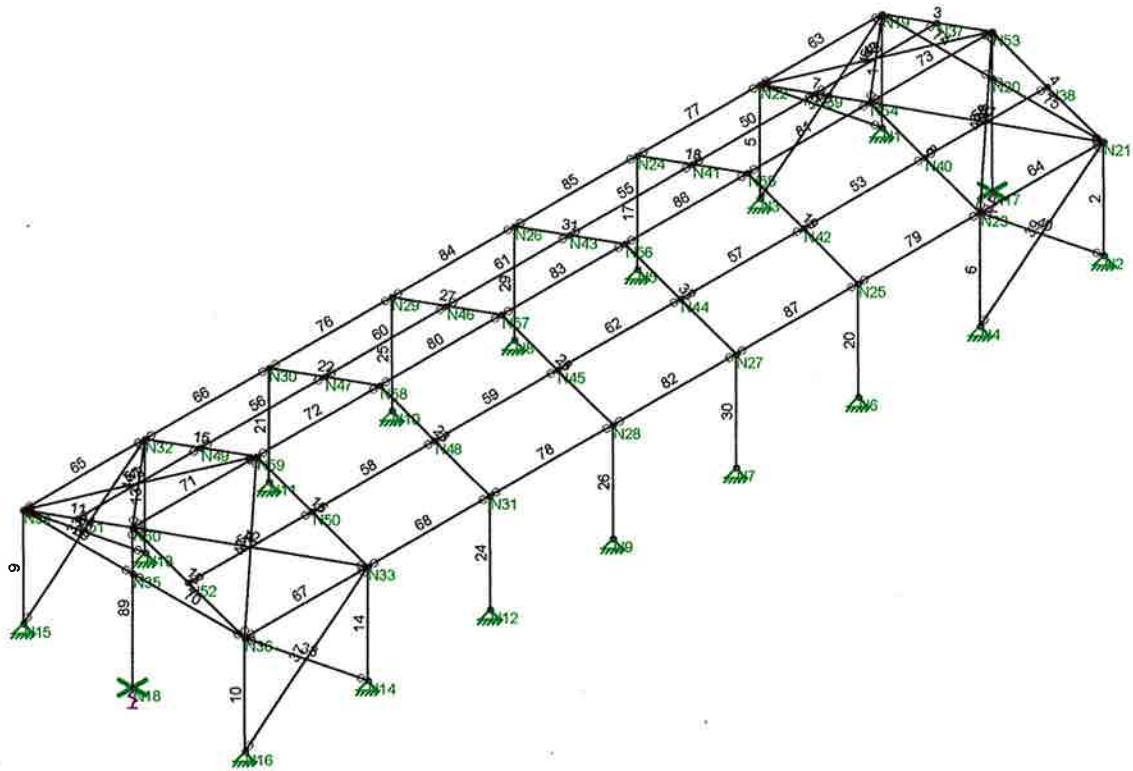
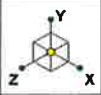
9m WIDE GABLE END VENUE SERIES



UNLIMITED NUMBER OF
BAYS @ 5M EACH

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JOB: 9m Venue Series
Anchor Industries NO. 22320
SHEET NO: 10 of 45
CALC. BY: DWM DATE: 5/10/16



VENUE

S E R I E S



VENUE

S E R I E S

CONVERT YOUR CLEAR SPAN STRUCTURE TODAY!

WIDTH (M)	SIDE HEIGHT (M)	BAY SIZE (M)	SNOW CABLE ¹	GROUND SNOW LOAD UNHEATED (PSF)	* GROUND SNOW LOAD HEATED (PSF) ²
9	4	5	N	13.7	20.0
	3	5	N	17.0	25.0
	4	5	Y	27.2	* 40.0 *
	4	3	Y	34.0	50.0
10	4	5	N	12.3	18.0
	3	5	N	13.6	20.0
	4	5	Y	20.4	30.0
	4	3	Y	30.6	45.0
12	4	5	N	8.2	12.0
	4	5	Y	17.0	25.0
	4	3	Y	23.8	35.0
15	4	5	N	5.5	8.0
	4	5	Y	13.6	20.0
	4	3	Y	20.4	30.0
18	4	5	N	3.4	5.0
	4	5	Y	8.2	12.0
	4	3	Y	13.6	20.0

DESIGN STANDARDS

- 2018 IBC/ASCE 7-16
- Basic wind speed: 115 mph
- Temporary structure
- Certified fully enclosed

WAYS TO INCREASE SNOW-LOAD CAPACITY

- Maintain heat inside tent
- Limit side height to 3M (9M & 10M widths only)
- Add snow cable at each arch
- Limit bay sizes to 3M & add snow loads

IMPORTANT DOCUMENT
Certificate of Flame Resistance

ISSUED BY



Date of Shipment
8/21/2020

Sales Order #
SO-683668

EVANSVILLE, INDIANA 47725

MANUFACTURERS OF THE FINISHED TENT PRODUCTS DESCRIBED HEREIN

This is to certify that the materials described are inherently flame retardant and were supplied to:

483575
J K RENTALS
625 TRADING POST LANE
ATTN: KURT GOEMAN 262-208-9943
KEWASKUM WI 53040
USA

FLAME RETARDANT



Registration Number: SERGE
FERRARI : F-44408.01 & NFPA 701
& DIN 4103 & BS7838 & M2

Fabric meets requirements of

Certification is hereby made that:

The articles described on this Certificate have been treated with a flame-retardant approved chemical and the application of said chemical was done in conformance with California Fire Marshall Code.

**Flame Retardant Process Used Will Not Be Removed By Washing
And Is Effective For the Life Of The Fabric**

Serial # 8125104 (5)

Description of item certified: VENUE 9M X 5M MIDDLE #702 FERRARI WHITE VL

SERGE FERRARI

Name of Applicator of Flame Resistant Finish

Signed: **ANCHOR INDUSTRIES INC**

IMPORTANT DOCUMENT
Certificate of Flame Resistance

ISSUED BY



Date of Shipment
6/22/2020

Sales Order #
SO-678751

EVANSVILLE, INDIANA 47725

MANUFACTURERS OF THE FINISHED TENT PRODUCTS DESCRIBED HEREIN

This is to certify that the materials described are inherently flame retardant and were supplied to:

483575
J K RENTALS
625 TRADING POST LANE
ATTN: KURT GOEMAN 262-208-9943
KEWASKUM WI 53040
USA

FLAME RETARDANT



Registration Number: SERGE
FERRARI : F-44408.01 & NFPA 701
& DIN 4103 & BS7838 & M2

Fabric meets requirements of

Certification is hereby made that:

The articles described on this Certificate have been treated with a flame-retardant approved chemical and the application of said chemical was done in conformance with California Fire Marshall Code.

**Flame Retardant Process Used Will Not Be Removed By Washing
And Is Effective For the Life Of The Fabric**

Serial # 8125119 (-4)

Description of item certified: VENUE 9M GABLE END #702 FERRARI WHITE VL

SERGE FERRARI

A handwritten signature in cursive script that reads "Michael L. McLean".

Name of Applicator of Flame Resistant Finish

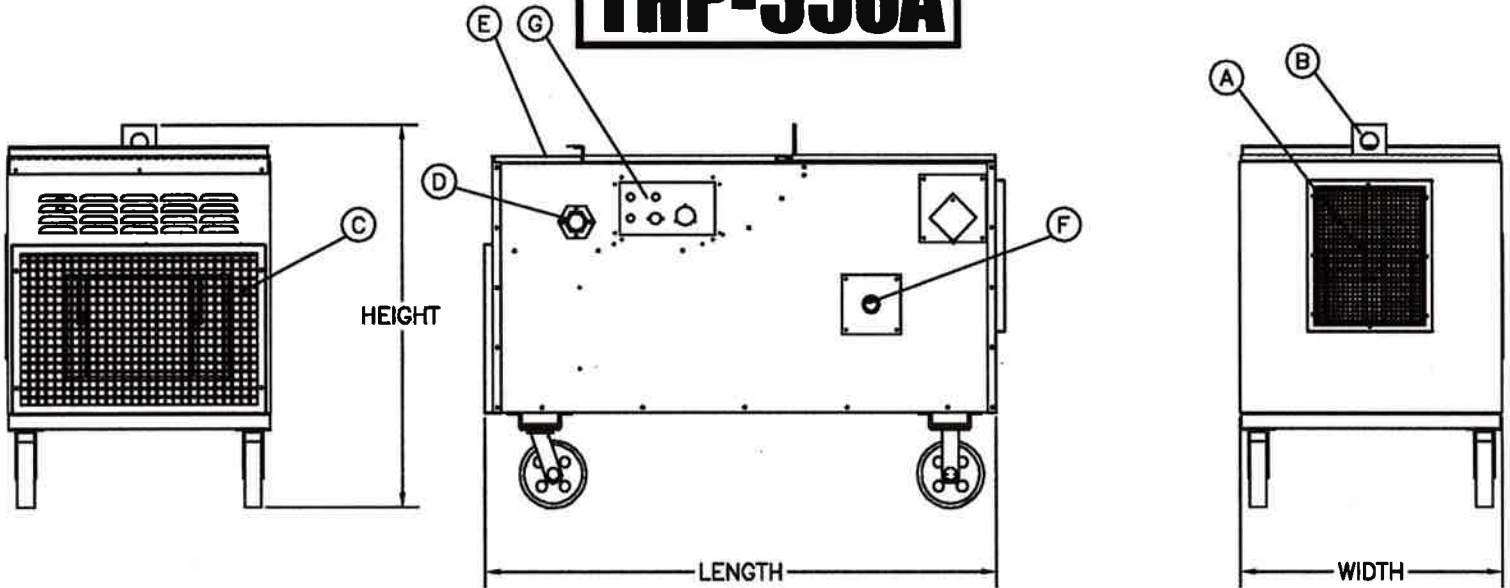
Signed: **ANCHOR INDUSTRIES INC**



TEMPAIR[®]

HVAC RENTAL SERVICES

THP-550A



UNIT SPECIFICATIONS:

POWER SUPPLY: 115V/1PH/60HZ/20A
AIR DELIVERY: 3,000 CFM
BTU INPUT: 40,500 - 550,000

FUEL SUPPLY:

PROPANE: 2 - 10 PSI
CONNECTION: 1/2" NPT
NATURAL GAS: 4 PSI
CONNECTION: 1" NPT

DIMENSIONS:

LENGTH: 61"
WIDTH: 31"
HEIGHT: 46"
WEIGHT: 500 lb

NOTE:

CONTACT TEMP-AIR FOR OTHER GAS PRESSURES.

- (A) DISCHARGE SCREEN
- (B) LIFTING EYE
- (C) INTAKE SCREEN
- (D) GAS INLET
- (E) SERVICE ACCESS ELECTRICAL/MANIFOLD/MOTOR
- (F) SERVICE ACCESS BEARINGS
- (G) CONTROL PANEL

DRAWN: ACJ	UPDATED: JH
DATE: 11/06/01	DATE: 09/21/16



Martin Franzkowiak Cell 414-491-3486
marty@boehlkebgcorp.com

Basic Safety Tips for ASME LP Gas Containers on Construction Sites (100 to 1,000 Gallon Tanks)

- 1) LP-gas containers shall not be used in a basement, pit or similar location where heavier-than-air gas might collect
- 2) LP-gas containers of less than a 125-gallon water capacity are allowed next to the building they serve when:
 - a) Container pressure relief device is at least 5 feet horizontally from building openings below the level of such discharge
 - b) Filling connection, relief device and the vent from liquid-level gauges on ASME LP-gas containers filled at the point of installation shall not be less than 10 feet from exterior sources of ignition, openings into direct vent (sealed combustion system) appliances or mechanical ventilation air intakes
- 3) LP-gas containers shall be located with respect to buildings, public ways and lot lines of adjoining property that can be built upon:
 - 251 to 500 gallons is 10' (3' separation between containers)
 - 501 to 2000 gallons is 25'* (3' separation between containers)

**The 25-ft. minimum distance from aboveground ASME containers of 501 gal through 2000-gal water capacity to buildings, a group of buildings, or the line of adjoining property that can be built upon shall be reduced to 10 ft. for a single ASME container of 1200 gal or less water capacity where such container is at least 25 ft. from any other LP-Gas container of more than 125-gal water capacity.*
- 4) Combustible materials shall not accumulate or be stored within 10 ft. of a container
- 5) An aboveground LP-Gas container and any of its parts shall not be located within 6 ft. of a vertical plane beneath overhead electric power lines that are over 600 volts, nominal
- 6) LP-Gas containers or systems of which they are a part that are installed within 10 ft. (Some AHJ's are at 25') of vehicular thoroughfares shall be provided with a means of vehicular barrier protection.

Located not less than 3 feet from the protected object. Physical barriers shall be a minimum of 36 inches in height and shall resist a force of 12,000 pounds applied 36 inches above the adjacent ground surface.
- 7) Minimum of 1 40 B:C rating fire extinguisher not more than 30 ft or 1 80 BC within 50' of the tank

Additional requirements may be needed depending on equipment and site conditions/location