

CITY OF FRANKLIN  
PLAN COMMISSION MEETING\*  
FRANKLIN CITY HALL COUNCIL CHAMBERS  
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN  
AGENDA  
THURSDAY, AUGUST 5, 2021, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of July 22, 2021.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **PLEASANT VIEW RESERVE RESIDENTIAL SUBDIVISION DEVELOPMENT AND TRAIL.** Natural Resource Features Special Exception and Final Plat application by Veridian Homes, LLC, Franklin 49th Street LLC and Creative Custom Homes, LLC, property owners (VH PVR, LLC property owner for the Natural Resource Features Special Exception, Outlot 2), for a 53 lot single-family residential subdivision (which combines two previously proposed subdivision developments, Oak Ridge of Franklin Subdivision and Pleasant View Reserve Subdivision, into a single project (38.66 total acres)), containing two outlots, Outlot 1 containing a stormwater detention pond and Outlot 2 consisting primarily of protected natural resource features, including an additional stormwater pond, also including the extension of Marquette Avenue from its current location westward to South 51st Street, to be completed as part of Phase 1 of 2 of the development which will include 25 home sites, and an asphalt trail connecting the cul-de-sac of 49th Court southward and eastward to the City’s Pleasant View Park (Phase 2 includes 28 remaining home sites); Natural Resource Features Special Exception application for the purpose of allowing for grading and fill of approximately 1,905 square feet of wetland and 2,574 square feet of wetland buffer (at 7501 South 49th Street, Tax Key No. 791-9979-003), for the development of the asphalt trail (culverts will be installed to maintain wetland hydrology and the applicant is proposing mitigation on site, adjacent to a nearby section of the same wetland), properties located at 7475 South 49th Street and 7501 South 49th Street, zoned R-6 Suburban Single-Family Residence District; Tax Key Nos. 759-9981-010 and 788-9981-003. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE NATURAL RESOURCE SPECIAL EXCEPTION APPLICATION OF THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **TORBENSON SHOWS LLC HOLIDAY CRAFT AND GIFT EXPO AT THE MILWAUKEE COUNTY SPORTS COMPLEX.** Temporary Use application by James C. Torbenson/Torbenson Shows LLC, for a holiday craft and gift expo at the Milwaukee County Sports Complex located at 6000 West Ryan Road, on Friday, November 26, 2021, from 9:00 a.m. to 5:00 p.m., Saturday, November 27, 2021 from 9:00 a.m. to 4:00 p.m., and Sunday, November 28, 2021, from 10:00 a.m. to 2:00 p.m., on property zoned P-1 Park District, FC Floodplain Conservancy District and FW Floodway District; Tax Key Nos. 852-9999-001 and 882-9987-001.
  
2. **CLUBHOUSE ADDITION, PARTIAL RENOVATION OF THE MANAGEMENT OFFICES AND RENOVATION OF THE EXTERIOR SWIMMING POOL, DECK, POOL EQUIPMENT BUILDING AND BARBECUE AREA ADDITION.** Site Plan Amendment application by Whitnall Pointe Limited Partnership, for a single-story addition of approximately 1,200 square feet to the clubhouse building to expand and renovate the fitness center (hot tub upgrades, reconfiguration of the locker rooms (including replacing the saunas), creation of a recreation room with a kitchenette and a larger fitness center), partial renovation of the management offices located north of the existing fitness center, replacement of the exterior swimming pool, enlargement of the pool deck, addition of a new pool equipment building with a pergola and two toilet rooms and a grass barbecue area with charcoal grills and picnic tables, for Whitnall Pointe Apartment Homes, property zoned R-8 Multiple-Family Residence District, located at 10591 West Cortez Circle; Tax Key No. 747-0035-001.

E. **Adjournment**

\*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

**REMINDERS:**

Next Regular Plan Commission Meeting: August 19, 2021

**City of Franklin  
Plan Commission Meeting  
July 22, 2021  
Minutes**

unapproved

**A. Call to Order and Roll Call**

Mayor Steve Olson called the July 22, 2021, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Assistant City Engineer Tyler Beinlich, and Commissioners Patrick Leon and Kevin Haley. Absent were Commissioners Adam Burckhardt and Patricia Hogan. Also present were Alderwoman Shari Hanneman, City Attorney Jesse Wesolowski, Planning Manager Heath Eddy, Principal Planner Régulo Martínez-Montilva, Associate Planner Marion Ecks and Jackie Mich of Vandewalle & Associates, Inc.

**B. Approval of Minutes**

1. Regular Meeting of July 8, 2021

Commissioner Haley moved and Commissioner Leon seconded approval of the July 8, 2021 regular meeting minutes. On voice vote, all voted 'aye'. Motion carried (4-0-2).

**C. Public Hearing Business Matters**

None.

**D. Business Matters**

**2. ANTHONY D. KRAUS AND ANNE T. KRAUS AGRICULTURAL EQUIPMENT STORAGE BUILDING CONSTRUCTION.** Site Plan application by Anthony D. Kraus and Anne T. Kraus, applicants and property owners, to allow for construction of a 72 foot wide by 40 foot high (2,880 square foot) metal paneled building (at the west side setback line of the property) to store agricultural equipment such as tractors, skid-loader, plow, cultivators, weed killer machines, hay wagons, etc., upon property located at 10233 West Oakwood Road, zoned A-1 Agricultural District; Tax Key No. 942-0004-000.

Principal Planner Régulo Martínez-Montilva presented a request by Anthony D. Kraus and Anne T. Kraus, applicants and property owners, to allow for construction of a 72 foot wide by 40 foot high (2,880 square foot) metal paneled building (at the west side setback line of the property) to store agricultural equipment such as tractors, skid-loader, plow, cultivators, weed killer machines, hay wagons, etc., upon property located at 10233 West Oakwood Road, zoned A-1 Agricultural District; Tax Key No. 942-0004-000.

Commissioner Leon moved and Commissioner Haley seconded a motion to adopt a Resolution approving a Site Plan for construction of a storage building (10233 West Oakwood Road). On voice vote, all voted 'aye'; motion carried (4-0-2).

**1. MLG DEVELOPMENT, INC. LOT DIVISION FOR POTENTIAL FUTURE DEVELOPMENT.** Certified Survey Map application by MLG

Principal Planner Régulo Martínez-Montilva presented a request by MLG Development, Inc., to divide Lot 2 of Certified Survey Map No. 8546, located on the south side of West Oakwood Park Drive, into two new lots [the existing

Development, Inc., to divide Lot 2 of Certified Survey Map No. 8546, located on the south side of West Oakwood Park Drive, into two new lots [the existing property has an area of approximately 7.66 acres, and is located in the Franklin Business Park, generally east of the intersection of West Oakwood Park Drive and South 52nd Street]; proposed Lot 1 would have an area of 2.63 acres and the new Lot 2 5.02 acres, the common lot line between the proposed lots would run along the existing 12 foot elevation change [the purpose of this application is to sell Lot 1 to a third-party buyer who will develop this portion of the property], property zoned Planned Development District No. 18 (Franklin Business Park); Tax Key Number 930-1004-000.

property has an area of approximately 7.66 acres, and is located in the Franklin Business Park, generally east of the intersection of West Oakwood Park Drive and South 52nd Street]; proposed Lot 1 would have an area of 2.63 acres and the new Lot 2 5.02 acres, the common lot line between the proposed lots would run along the existing 12 foot elevation change [the purpose of this application is to sell Lot 1 to a third-party buyer who will develop this portion of the property], property zoned Planned Development District No. 18 (Franklin Business Park); Tax Key Number 930-1004-000.

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of a Resolution conditionally approving a 2 lot Certified Survey Map, being a redivision of Lot 2 of Certified Survey Map No. 8546 being a redivision of Outlot 1, block 11 of the plat of Franklin Business Park addition No. 1 and being part of the Southwest quarter (SW 1/4) and Southeast quarter (SE 1/4) of the Southeast quarter (SE 1/4) of Section 26, Town 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin (MLG Development, Inc.) (generally east of the intersection of West Oakwood Park Drive and South 52nd Street in the City of Franklin Business Park). On voice vote, all voted ‘aye’; motion carried (4-0-2).

#### **4. PARKLAND ACQUISITION STUDY INPUT SESSION.**

Associate Planner Marion Ecks, Alderwoman Shari Hanneman, and Jackie Mich of Vandewalle & Associates, Inc. presented the draft Parkland Acquisition Study. Ms. Mich conducted an input session to gather feedback on the draft study. No action taken.

#### **3. PROPOSAL TO CHANGE THE PUBLIC NOTICES TO PROPERTY OWNERS AND NOTICES TO THE MEDIA WITH REGARD TO ZONING AND LAND DIVISION AND LAND USE MATTERS APPLICATIONS ITEMS PURSUANT TO THE UNIFIED DEVELOPMENT ORDINANCE, METHODS AND FORMATS PROCESS, TO IMPLEMENT A MORE ACCESSIBLE AND EFFICIENT PROCESS-FORMAT RECOMMENDATIONS.**

Planning Manager Heath Eddy presented a proposal to change the public notices to property owners and notices to the media with regard to zoning and land division and land use matters applications items pursuant to the Unified Development Ordinance. After a brief discussion, the Plan Commission by consensus changed the format for notices and will move forward with a sign-posting policy for public hearings. No formal action taken.

#### **Adjournment**

Commissioner Leon moved and Commissioner Haley seconded to adjourn the Plan Commission meeting of July 22, 2021 at 8:51 p.m. On voice vote, all voted ‘aye’; motion carried. (4-0-2).



## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of July 28, 2021

## Natural Resource Special Exception and Final Plat

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**RECOMMENDATION:** Department of City Development Staff recommends approval of the request for a Special Exception to Natural Resource Feature Provisions. Recommendations of Staff and the recommendations of Environmental Commission are incorporated into the draft Standards, Findings, and Decision of the Common Council as recommended conditions of approval. Department of City Development Staff also recommends approval of the Final Plat, subject to the conditions in the draft Resolution

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<b>Project Name:</b>	Pleasant View Reserve NRSE and Final Plat
<b>Project Location:</b>	Approximately S. 49 <sup>th</sup> Street and Marquette Avenue (Tax Key No: 788-9981-003 and 759 9981 010)
<b>Property Owner:</b>	Creative Homes Inc. (788-9981-003) and Franklin 49 <sup>th</sup> St. LLC (759 9981 010)
<b>Applicant:</b>	Matt Cudney, Veridian Homes
<b>Agent:</b>	Grant Duchac, Excel Engineering Inc.
<b>Current Zoning:</b>	R-6 Suburban Single-Family Residence District
<b>2025 Comprehensive Plan:</b>	Residential and Areas of Natural Resource Features
<b>Use of Surrounding Properties:</b>	Single-family residential to the north, a public school and public park to the east, single family residential to the south, and institutional/senior housing, single family residential, and Payne & Dolan quarry to the west.
<b>Applicant's Action Requested:</b>	Recommendation to the Common Council for approval of the Natural Resource Special Exception Application, and the Final Plat.
<b>Planner:</b>	Marion Ecks, Associate Planner

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On January 4, 2021, the applicant submitted an application for a Preliminary Plat for subdivision of properties located west and south of the intersection of South 49th Street and Marquette Avenue. Their total area for development will be 1,684,039 square feet (38.660 acres). At the March 16, 2021 meeting of the Common Council, the applicant received conditional approval of a Preliminary Plat for this development.

The applicant has subsequently submitted a Final Plat application on June 17, 2021, and related request for a Natural Resource Special Exception (NRSE) on May 28, 2021.

**FINAL PLAT PROJECT DESCRIPTION:**

The plat proposes to subdivide these parcels into 53 single-family residential lots and two (2) outlots. The zoning for the proposed plat is R-6 Suburban Single-Family Residence District. Site Intensity calculations have been prepared (§15-3.0500), and indicate that the proposed

development meets specifications regarding density and “site intensity” or the amount of land that will be built upon versus the amount which will be dedicated to greenspace either on private lots or within shared “outlots”. The proposed development will include the completion of Marquette Avenue between 49<sup>th</sup> and 51<sup>st</sup> streets, and the improvement of South 50<sup>th</sup> Street to connect with Marquette Avenue. 49<sup>th</sup> Street and 50<sup>th</sup> Street will extend southward from the proposed Marquette Avenue and terminate in cul-de-sacs. The proposed subdivision will be served by municipal water and public sanitary sewer.

Outlot 1 will contain stormwater detention to serve the subdivision and road improvements, and outlot 2 will contain additional stormwater management facilities, natural resource features including wetlands, and a public trail connecting to Pleasant View Park to the east. The applicant proposes a 10’ wide trail within a 20’ wide access point extending from the 50th Street cul-de-sac between lots 36 and 37, southward along the west edge of the property, then turning eastward across a wetland, to connect to the existing Pleasant View Park. The trail access is included as part of outlot 2. The current site plan for improvements to Pleasant View Park includes a connecting trail. The trail is designed so as to be able to accommodate emergency vehicle access to the park, should the need for an alternate route arise.

The applicant received approval of a Preliminary Plat on March 16, 2021 via Resolution No. 2021-7716, attached here for reference. Several conditions of this approval remain outstanding, or still apply to this Final Plat approval and are carried over into the recommended conditions in the draft resolution. These include the requirement that the application receive a Natural Resource Special Exception for wetland and related buffer and setback impacts; that appropriate easements be provided; that Lot 2 does not allow access to S. 51<sup>st</sup> Street; and completion of other requirements of the UDO or conditions of the preliminary approval.

The dimensions of the lots 12, 22, 25, 27, and Outlot 1 have changed slightly from the Preliminary Plat. Lots 41, 40, 39 have also been reconfigured slightly as a group. All lots still meet the requirements of the R-6 district standards.

#### Pedestrian Amenities, Roads, and Trail:

The preliminary plat depicted sidewalks and trail facilities to serve this future neighborhood as well as the previously described roads. Staff notes that Improvements including streets and utilities must be installed prior to recording of the Final Plat (§15-2.0303.A). Alternatively, the applicant may enter into a Subdivider’s (“Developer’s”) agreement with the City of Franklin, and provide a letter of credit for improvements (§15-2.0303.B).

#### Stormwater Management and other Engineering approvals and required improvements:

Stormwater ponds are proposed within both outlots. A Stormwater Management Plan and other materials were submitted to the Engineering Department for review, and will require final Engineering Department approval as part of the review of the Final Plat Application.

Section 15-8.0100 of the UDO sets forth the required improvements for all land divisions. The applicant has provided the Engineering Department with designs; their technical review and approval must be completed prior to recording of the final plat.

### Previous NRSE

A Natural Resource Protection Plan (NRPP) has been provided for the development, which contain wetlands, and areas of trees which do not rise to the standard to be considered woodlands. Wetland delineations were completed for both properties by assured delineators. The delineation and field investigation of the former Oak Ridge subdivision, the norther parcel (Tax Key No. 759 9981 010), is dated October 31, 2017. It was completed by Thompson and Associates Wetland Services, LLC. A new wetland delineation and field investigation survey was completed on September 25, 2020 on the Pleasant view Estates parcel by Evergreen Consultants, LLC.

On April 16, 2019, a previous developer received a Natural Resources Special Exception for impacts to two wetlands, and related setback and buffer on the northern parcel. These wetlands are identified as wetlands “A” and “B” in the delineation report. A mitigation plan for these impacts was required as a condition of that approval. The relevant WI DNR permits expired in 2020 without completion of mitigation. The current applicants have obtained both Army Corps and WI DNR exemption. Under Wisconsin State Statute §281.36 (2019) which was enacted after the NRSE approval for wetlands A and B, the City of Franklin cannot enforce local natural resource protection standards on these wetlands, including requiring mitigation.

### **NATURAL RESOURCE SPECIAL EXCEPTION REQUEST**

The proposed trail crosses a wetland, identified as Wetland 1, and the resulting impacts require this Natural Resource Special Exception request. Pursuant to Section 15-10.0208 of the Unified Development Ordinance (UDO), all requests for a Natural Resource Special Exception shall be provided to the Environmental Commission for its review and recommendation. The Commission’s review and recommendation is also attached here as an exhibit.

The requested for a Natural Resource Special Exception is for property bearing Tax Key No. 788 9981 003; the southern of the two parcels which are part of this future subdivision. The property contains wetlands and areas of trees which do not meet the standard to be considered woodlands.

The NRSE request is to allow for impacts to wetland, wetland buffer, and setback of Wetland 1 in the future outlot 2 of this subdivision. Impacts are precipitated by the installation of the trail, and related grading. Wetland 1 is 165,499 square feet (4.49 acres). Specifically, the exception is requested for impacts to:

- 1,431 square feet of wetland area.
- 1,817 square feet of wetland buffer area.
- The applicant must provide information about the quantity of impact to setback area outside the buffer.

The applicant proposes to install a culvert to connect the two portions of the wetland and maintain the hydrology or flow of water between them. There is a waterway which flows through this area which was deemed non-navigable by the WI Department of Natural Resources on September 7, 2016 (DNR File No. INF-SE-41-03710). Natural Resource Protection Standards related to shoreland therefore do not apply. The Alderwoman of the District inquired as to whether a pond exists within the wetland. The WI DNR defines a pond as “a waterbody containing water year-round and smaller than 10 acres in size.” Application materials including wetland delineations do not identify a pond or other water

bodies in the area, and the WI DNR Surface Water Data Viewer also does not identify a pond in this location.

The applicant received the necessary US Army Corps of Engineer (USACE) permits to allow for wetland impacts on July 27, 2021 (File No. 2016-00342-AJK) and Wisconsin Department of Natural Resources (DNR) permits on July 28, 2021 (File No. GP-SE-2021-41-02210).

Conservation easements are required for all natural resources to be protected, including mitigation areas. Condition 9 of the Pleasant View Reserve Preliminary Plat approval Resolution No. 2021-7716 requires that all wetland buffers and all wetland setbacks shall be included within a Conservation Easement (§15-4.0102.I). Those setbacks and buffers not within an Outlot shall have conservation signage to delineate the area(s) as protected and unbuildable. The applicant has submitted draft easements which are currently under review.

Staff notes that the total wetland area described in the Site Intensity calculations provided - 3.76 acres or 163,785.6 square feet - differs from the area identified in the Evergreen Consultants, LLC delineation finding of that wetland of 165,499 square feet (4.49 acres). Site intensity calculations must be clarified.

The applicant has provided the attached Natural Resource Special Exception Application, Questionnaire, Project Description, and associated information. Staff would note:

- The wetland delineations were prepared by Assured Delineators.
- Required permits from other units of government have been obtained.
- Conservation easements materials for existing natural resources to be preserved must be approved.
- The applicant is proposing mitigation to take place on the property.

#### Natural Resource Mitigation

Mitigation is proposed within the site, by expanding existing wetland and buffer areas. §15-4.0103B.4 and §15-4.0103B.5 require that wetland setback and buffer impacts be mitigated by creation of new, high-quality areas of setback and buffer in the amount of 1.5 times the area of impact. Mitigation areas must be protected by a conservation easement, along with existing natural resources.

The applicant will provide mitigation for these impacts, adjacent to the western edge of Wetland 1, located between the wetland and a future stormwater detention pond. Mitigation will consist of:

- Creation of 2,147 square feet of wetland;
- Creation of 2,726 square feet of wetland buffer; and
- Restoration of the setback areas disturbed or created by construction of this project is required, by re-establishing native grasses.

Staff notes that proposed mitigation includes reuse of existing soils. §15-4.0103.B.5 requires “soils of equal or greater quality.” Given that the current soil conditions of the area are described by delineations as degraded, reuse of existing soils may create maintenance challenges for establishing new plantings. Staff therefore recommends that Plan Commission require financial sureties for mitigation, as permitted by §15-4.0103.D.



## Natural Resource Protection Plan

A number of technical corrections to the Natural Resource Protection Plan must be made, including addition of a table with consolidated information about all natural resources and degree of impact, and corrections to site intensity calculations, as required by §15-7.0201 §15-4.0102, and §15-7.0201.I, etc.

## Environmental Commission Recommendation

At the July 28, 2021 meeting of the Environmental Commission, the Commission recommended approval of the NRSE request. At that meeting, the Commission recommended that financial sureties for the maintenance of mitigation areas be required by Plan Commission, and that the maintenance be provided for 5 years. A condition relating to required permits from the Army Corps of Engineers and WI DNR was deleted. Recommended conditions of approval are also incorporated into the draft Standards, Findings, and Decision of the Common Council.

## **CONCLUSION**

Per Section 15-10.0208 of the Unified Development Ordinance (UDO), the applicant has the burden of proof to present evidence sufficient to support a Natural Resource Special Exception (NRSE) request. The applicant has presented evidence for the request by answering the questions and addressing the statements that are part of the Natural Resource Special Exception (NRSE) application. The applicant's responses to the application's questions and statements are provided for your review.

Also attached is a copy of the draft "City of Franklin Environmental Commission" review and recommendation which must be forwarded to the Common Council. The questions and statements on this document correspond with the Natural Resource Special Exception (NRSE) application questions and statements that the applicant has answered and addressed.

Environmental Commission recommendations are also contained in the decisions section of the attached draft Standards, Findings and Decision of the City of Franklin document. Staff recommends approval of the NRSE request, subject to the proposed conditions.

City Development Staff further recommends approval of the Final Plat for the Pleasant View Reserve Subdivision, subject to the conditions as noted in the attached draft resolution.

A RESOLUTION CONDITIONALLY APPROVING A FINAL PLAT  
FOR PLEASANT VIEW RESERVE SUBDIVISION  
(AT 7475 AND 7501 SOUTH 49TH STREET)  
(VERIDIAN HOMES, LLC, APPLICANT)

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WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a final plat for Pleasant View Reserve Subdivision, such plat being a redivision of part of Parcel 3 of Certified Survey Map No. 6949 recorded in the Milwaukee County Register of Deeds office as Document No. 8064321 and part of the Southwest 1/4 of the Northeast 1/4, and part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 11, all being a part of the Southwest 1/4 of the Northeast 1/4 and part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 11, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, more specifically, of the properties located at 7475 South 49th Street and 7501 South 49th Street [the final plat includes a 53 lot single-family residential subdivision (which combines two previously proposed subdivision developments, Oak Ridge of Franklin Subdivision and Pleasant View Reserve Subdivision, into a single project (38.66 total acres)), containing two outlots, Outlot 1 containing a stormwater detention pond and Outlot 2 consisting primarily of protected natural resource features, including an additional stormwater pond, also including the extension of Marquette Avenue from its current location westward to South 51st Street, to be completed as part of Phase 1 of 2 of the development which will include 25 home sites, and an asphalt trail connecting the cul-de-sac of 49th Court southward and eastward to the City's Pleasant View Park (Phase 2 includes 28 remaining home sites)], bearing Tax Key Nos. 759-9981-010 and 788-9981-003, Veridian Homes, LLC, applicant; said Final Plat having been reviewed by the City Plan Commission following the reviews and recommendations or reports of the City Planning Department and the City Engineering Department, and the Plan Commission having recommended approval thereof at its meeting on August 5, 2021, pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed final plat is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Final Plat of Pleasant View Reserve Subdivision, as submitted by Veridian Homes, LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and

VERIDIAN HOMES, LLC - FINAL PLAT FOR PLEASANT VIEW RESERVE  
SUBDIVISION  
RESOLUTION NO. 2021-\_\_\_\_\_

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made by the applicant, and that all minor technical deficiencies within the Final Plat be rectified, all prior to the recording of the Final Plat.

2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9 of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
3. Pursuant to §236.13(1) and (2), Stats., pertaining to conditions of plat approval and the provision of public improvements reasonably necessary, respectively, and §15-8.0101 and §15-2.0303 of the Unified Development Ordinance, pertaining to required improvements and the financial security to be provided therefore as conditions of plat approval, the required improvements prescribed in the Unified Development Ordinance for land divisions are required as a condition of the approval of the Final Plat for Pleasant View Reserve Subdivision; a Subdivision Development Agreement (“Subdivider’s Agreement”), as may be approved by the Common Council upon the recommendation of the City Engineer and as secured by a letter of credit in form as approved by the City Attorney, shall provide for the furnishing, construction and installation of the required improvements and such other matters as set forth therein, and shall be entered into and executed by Veridian Homes, LLC prior to the recording of the Final Plat.
4. Each and any easement shown on the Final Plat shall be the subject of separate written grant of easement instrument, in such form as provided within the *City of Franklin Design Standards and Construction Specifications* and such form and content as may otherwise be reasonably required by the City Engineer or designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Final Plat.
5. That any and all submissions, reviews and approvals, for any and all matters required to be submitted, reviewed and/or approved within the final plat application process as specified within the Unified Development Ordinance, which may not have been submitted, reviewed and/or approved as of the date of adoption of this Resolution, if any, including for matters of utility easements, a declaration of deed restrictions and protective covenants, conservation easements, other public purpose easements, stormwater management agreements, and homeowners’ association legal instruments, shall be so submitted, reviewed and/or approved, prior to the recording of the Final Plat.

VERIDIAN HOMES, LLC - FINAL PLAT FOR PLEASANT VIEW RESERVE  
SUBDIVISION  
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6. Veridian Homes, LLC, successors and assigns and any developer of the Pleasant View Reserve 53 lot and 2 outlot single-family residential subdivision development shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Pleasant View Reserve 53 lot and 2 outlot single-family residential subdivision development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
7. The approval granted hereunder is conditional upon Veridian Homes, LLC and the Pleasant View Reserve 53 lot and 2 outlot single-family residential subdivision development project for the property located at 7475 and 7501 South 49th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
8. The Pleasant View Reserve 53 lot and 2 outlot single-family residential subdivision development project shall be developed in substantial compliance with the terms and provisions of this Resolution.
9. The applicant must obtain A Natural Resource Special Exception for impacts to protected natural resources prior to recording the Final Plat.
10. Written conservation easements shall be submitted as part of the Final Plat Application for Common Council review and approval, and recording with the Milwaukee County Register of Deeds Office at the time of recording the Final Plat.
11. All wetland buffers and all wetland setbacks shall be included within a Conservation Easement. Those setbacks and buffers not within an Outlot shall have conservation signage to delineate the area(s) as protected and unbuildable. The plat "Conservation Easement Restrictions" shall be depicted on the face of the plat, for Department of City Development review and approval prior to recording of the Final Plat.
12. A draft of the declaration of deed restrictions, protective covenants, and the legal instruments and rules for any proposed Wisconsin non-profit membership corporation (homeowners association) whereby the subdivider intends to regulate land uses in the proposed subdivision and otherwise protect the proposed development shall be submitted to the City as part of the Final Plat for review and approval solely as to form and as such may pertain to existing city rules and regulations.

13. Any proposed subdivision monument sign(s) shall be subject to review and approval by the Plan Commission and issuance of a Sign Permit from the Inspection Department.
14. The Final Plat shall be in full compliance with all pertinent City of Franklin Design Standards and Construction Specifications.
15. The pedestrian trail shall be 10' wide, paved, and installed simultaneously with the construction of 49th Court. The connection to point to Pleasant View Park must align with the future park trail.
16. The applicant shall make any necessary technical corrections to the Final Plat as may be required by the City of Franklin Engineering Department, prior to recording of the final plat (§15-7.0602.J.).
17. Improvements including streets and utilities must be installed prior to recording of the Final Plat (§15-2.0303.A). Alternatively, the applicant may enter into a Subdivider's ("Developer's") agreement with the City of Franklin, and provide a letter of credit for improvements (§15-2.0303.B).
18. The applicant shall revise site intensity calculations to reflect the total wetland area of Wetland 1, or provide documentation of the amount listed in site intensity calculations, for Department of City Development review and approval prior to recording of the Final Plat.

BE IT FURTHER RESOLVED, that the Final Plat of Pleasant View Reserve Subdivision, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a final plat, the City Clerk is hereby directed to obtain the recording of the Final Plat of Pleasant View Reserve Subdivision with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

VERIDIAN HOMES, LLC - FINAL PLAT FOR PLEASANT VIEW RESERVE  
SUBDIVISION  
RESOLUTION NO. 2021-\_\_\_\_\_  
Page 5

Passed and adopted at a regular meeting of the Common Council of the City of  
Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

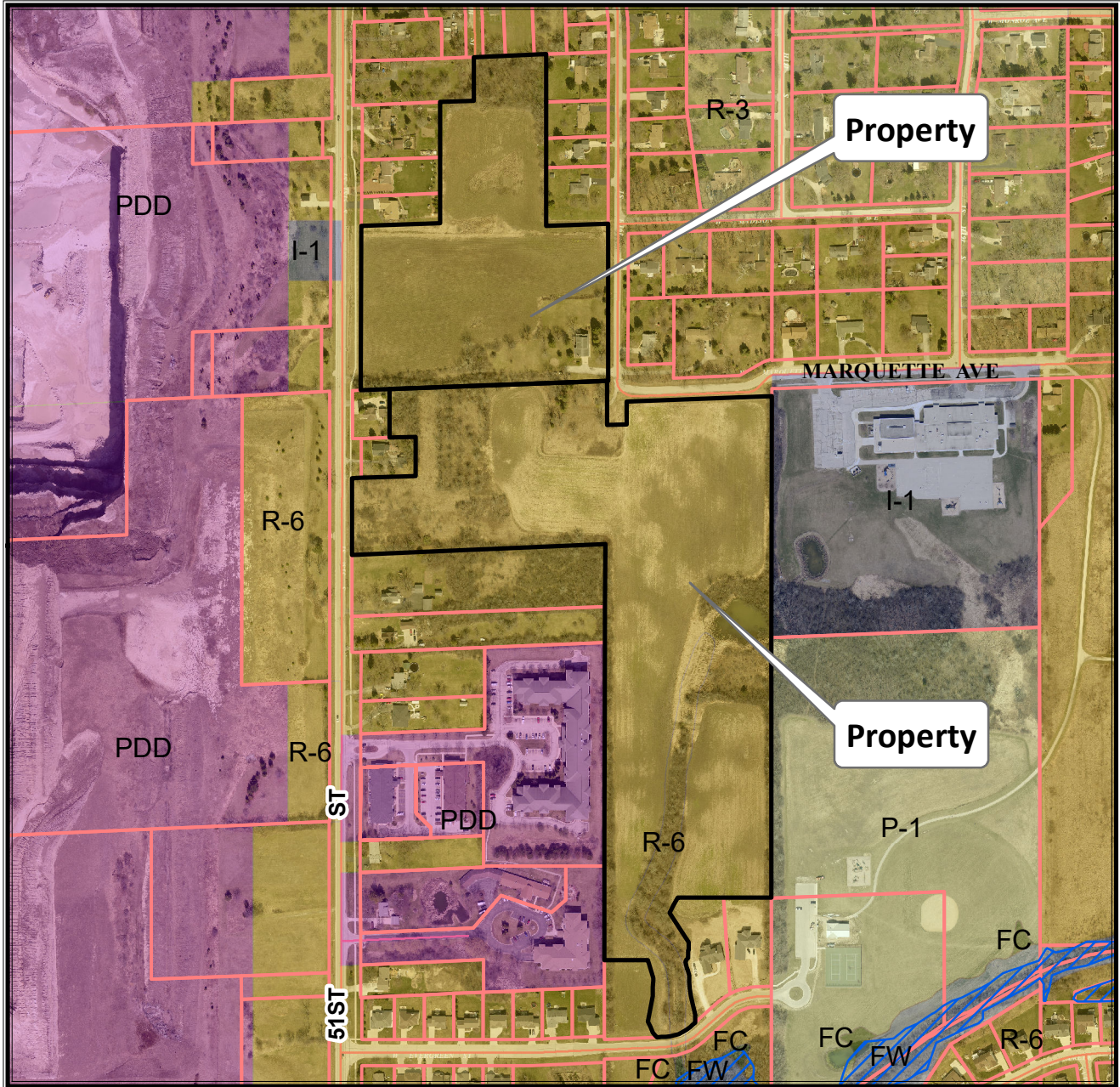
\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

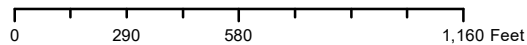
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

7475 S. 49th Street & 7501 S. 49th Street  
 TKNs: 759 9981 010 & 788 9981 003

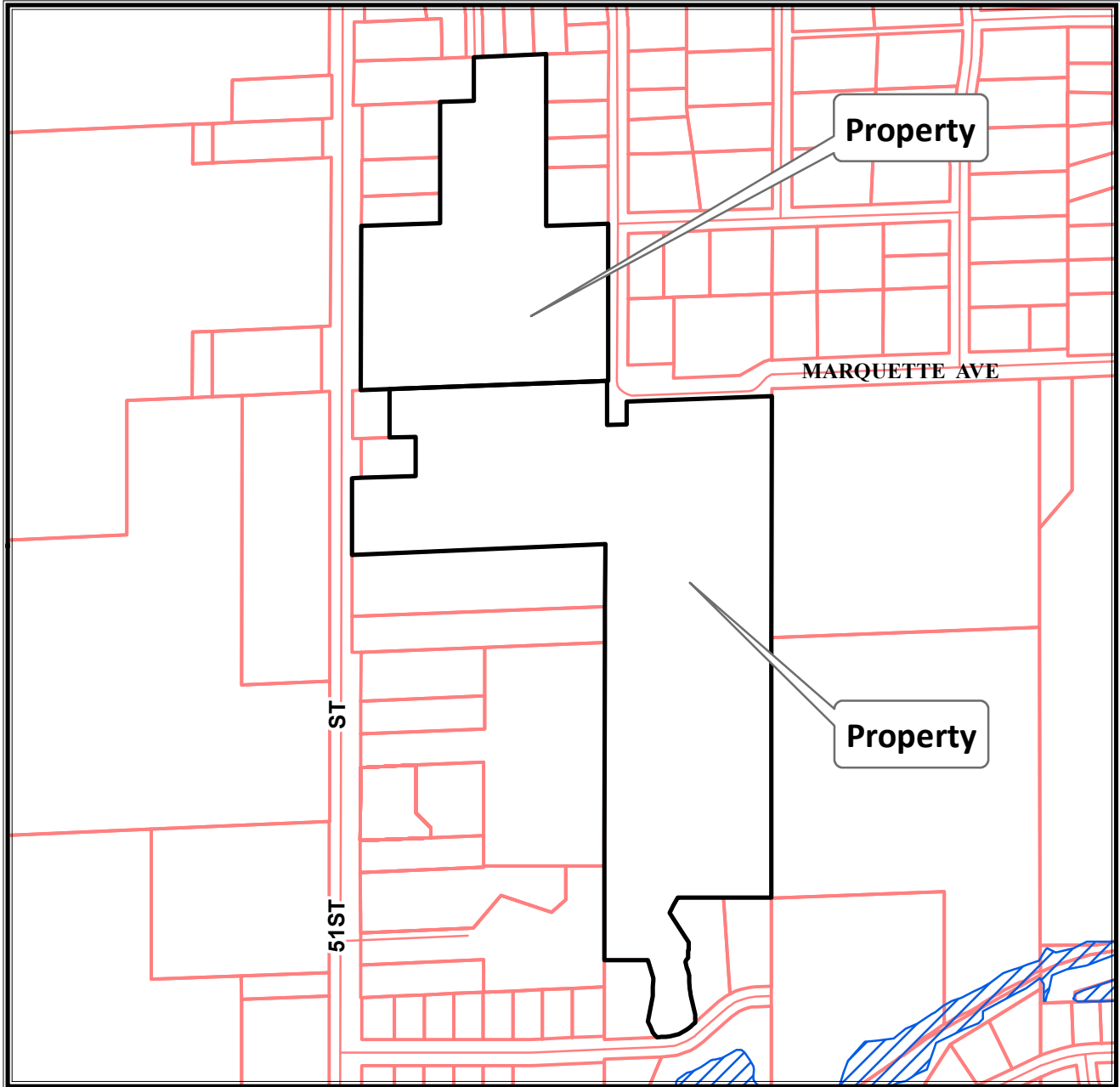


**Planning Department**  
 (414) 425-4024

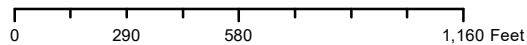


*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

7475 S. 49th Street & 7501 S. 49th Street  
TKNs: 759 9981 010 & 788 9981 003



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





*Draft 8/5/21*

Standards, Findings and Decision  
of the City of Franklin Common Council upon the Application of Veridian Homes,  
LLC, applicant, for a Special Exception  
to Certain Natural Resource Provisions of the City of Franklin  
Unified Development Ordinance

Whereas, Veridian Homes, LLC, applicant, having filed an application dated May 28, 2021, for a Special Exception pursuant to Section 15-9.0110 of the City of Franklin Unified Development Ordinance pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature; a copy of said application being annexed hereto and incorporated herein as Exhibit A; and

Whereas, the application having been reviewed by the City of Franklin Environmental Commission and the Commission having made its recommendation upon the application, a copy of said recommendation dated July 28, 2021 being annexed hereto and incorporated herein as Exhibit B; and

Whereas, following a public hearing before the City of Franklin Plan Commission, the Plan Commission having reviewed the application and having made its recommendation thereon as set forth upon the report of the City of Franklin Planning Department, a copy of said report dated August 5, 2021 being annexed hereto and incorporated herein as Exhibit C; and

Whereas, the property which is the subject of the application for a Special Exception is located at 7501 South 49th Street, zoned R-6 Suburban Single-Family Residence District, and such property is more particularly described upon Exhibit D annexed hereto and incorporated herein; and

Whereas, Section 15-10.0208B. of the City of Franklin Unified Development Ordinance, as amended by Ordinance No. 2003-1747, pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature, provides in part: “The decision of the Common Council upon any decision under this Section shall be in writing, state the grounds of such determination, be filed in the office of the City Planning Manager and be mailed to the applicant.”

Now, Therefore, the Common Council makes the following findings pursuant to Section 15-10.0208B.2.a., b. and c. of the Unified Development Ordinance upon the application for a Special Exception dated May 28, 2021, by Veridian Homes,

LLC, applicant, pursuant to the City of Franklin Unified Development Ordinance, the proceedings heretofore had and the recitals and matters incorporated as set forth above, recognizing the applicant as having the burden of proof to present evidence sufficient to support the following findings and that such findings be made by not less than four members of the Common Council in order to grant such Special Exception.

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *but rather*, \_\_\_\_\_.

2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:

a. be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives: \_\_\_\_\_; *or*

b. unreasonably and negatively impact upon the applicant's use of the property and that there are no reasonable practicable alternatives: \_\_\_\_\_.

3. The Special Exception, including any conditions imposed under this Section will:

a. be consistent with the existing character of the neighborhood: *the proposed development with the grant of a Special Exception as requested will be consistent with the existing character of the neighborhood; and*

b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: \_\_\_\_\_; *and*

c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: \_\_\_\_\_; *and*

d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development: *(this finding only applying to an application to improve or enhance a natural resource feature).*

The Common Council considered the following factors in making its determinations pursuant to Section 15-10.0208B.2.d. of the Unified Development Ordinance.

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: \_\_\_\_\_.

2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: \_\_\_\_\_.
3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: \_\_\_\_\_.
4. Aesthetics: \_\_\_\_\_.
5. Degree of noncompliance with the requirement allowed by the Special Exception: \_\_\_\_\_.
6. Proximity to and character of surrounding property: \_\_\_\_\_.
7. Zoning of the area in which property is located and neighboring area: *Residential*.
8. Any negative affect upon adjoining property: *No negative affect upon adjoining property is perceived.*
9. Natural features of the property: \_\_\_\_\_.
10. Environmental impacts: \_\_\_\_\_.
11. A recommendation from the Environmental Commission as well as a review and recommendation prepared by an Environmental Commission-selected person knowledgeable in natural systems: *The Environmental Commission recommendation and its reference to the report of \_\_\_\_\_ is incorporated herein.*
12. The practicable alternatives analysis required by Section 15-9.0110C.4. of the Unified Development Ordinance and the overall impact of the entire proposed use or structure, performance standards and analysis with regard to the impacts of the proposal, proposed design solutions for any concerns under the Ordinance, executory actions which would maintain the general intent of the Ordinance in question, and other factors relating to the purpose and intent of the Ordinance section imposing the requirement: *The Plan Commission recommendation and the Environmental Commission recommendation address these factors and are incorporated herein.*

### Decision

*Upon the above findings and all of the files and proceedings heretofore had upon the subject application, the Common Council hereby grants a Special Exception for such relief as is described within Exhibit C, upon the conditions:*

- 1) *that the natural resource features and mitigation areas upon the properties to be developed be protected by a perpetual conservation easement to be*

- approved by the Common Council prior to any development within the areas for which the Special Exception is granted prior to the issuance of any Occupancy Permits;*
- 2) that the applicant obtain all other necessary approval(s) from all other applicable governmental agencies prior to any development within the areas for which the Special Exception is granted;*
  - 3) that all development within the areas for which the Special Exception is granted shall proceed pursuant to and be governed by the approved Natural Resource Protection Plan and all other applicable plans for Veridian Homes, LLC, applicant, and all other applicable provisions of the Unified Development Ordinance;*
  - 4) that the applicant obtain approval by Common Council of conservation easements for areas of preserved natural resources (§15- 4.0103.B.1.d, §15-7.0201.H) and mitigation areas (§15- 4.0103.B.1.d). RES 2021-7716 Condition 8 further requires that easements will be submitted for recording in conjunction with the Final Plat application.*
  - 5) All wetland buffers and all wetland setbacks shall be included within Conservation Easement.*
  - 6) The applicant shall revise site intensity calculations to reflect the total wetland area of Wetland 1, or provide documentation of the amount listed in site intensity calculations.*
  - 7) The applicant shall make all necessary technical corrections to the Natural Resource Protection Plan, subject to the approval of the Department of City Development.*
  - 8) The applicant shall provide financial sureties for a 5 year mitigation plan, per §15-4.0103.D.*

*The duration of this grant of Special Exception is permanent.*

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

ATTEST:

\_\_\_\_\_  
Stephen R. Olson, Mayor

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

## City of Franklin Environmental Commission

TO: Common Council  
DATE: July 28, 2021  
RE: Special Exception application review and recommendation  
APPLICATION: Veridian Homes, LLC, Applicant, dated: May 28, 2021  
(7501 South 49th Street)

### **I. §15-9.0110 of the Unified Development Ordinance Special Exception to Natural Resource Feature Provisions Application information:**

1. Unified Development Ordinance Section(s) from which Special Exception is requested:
2. Nature of the Special Exception requested (description of resources, encroachment, distances and dimensions):
3. Applicant's reason for request:
4. Applicant's reason why request appropriate for Special Exception:

### **II. Environmental Commission review of the §15-9.0110C.4.f. Natural Resource Feature impacts to functional values:**

1. Diversity of flora including State and/or Federal designated threatened and/or endangered species:
2. Storm and flood water storage:
3. Hydrologic functions:
4. Water quality protection including filtration and storage of sediments, nutrients or toxic substances:
5. Shoreline protection against erosion:
6. Habitat for aquatic organisms:



- d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development (*this finding only applying to an application to improve or enhance a natural resource feature*):

**IV. Environmental Commission review of the §15-10.0208B.2.a., b. and c. factors and recommendations as to findings thereon:**

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks:
2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district:
3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant:
4. Aesthetics:
5. Degree of noncompliance with the requirement allowed by the Special Exception:
6. Proximity to and character of surrounding property:
7. Zoning of the area in which property is located and neighboring area:
8. Any negative affect upon adjoining property:
9. Natural features of the property:
10. Environmental impacts:

**V. Environmental Commission Recommendation:**

The Environmental Commission has reviewed the subject Application pursuant to §15-10.0208B. of the Unified Development Ordinance and makes the following recommendation:

1. The recommendations set forth in Sections III. and IV. Above are incorporated herein.
2. The Environmental Commission recommends approval of the Application upon the aforesaid recommendations for the reasons set forth therein.

3. The Environmental Commission recommends that should the Common Council approve the Application, that such approval be subject to the following conditions:
- a. Approval by Common Council of conservation easements for areas of preserved natural resources (§15- 4.0103.B.1.d, §15-7.0201.H) and mitigation areas (§15- 4.0103.B.1.d). RES 2021-7716 Condition 8 further requires that easements will be submitted for recording in conjunction with the Final Plat application.
  - b. All wetland buffers and all wetland setbacks shall be included within Conservation Easement.
  - c. The applicant shall revise site intensity calculations to reflect the total wetland area of Wetland 1, or provide documentation of the amount listed in site intensity calculations.
  - d. The applicant shall make all necessary technical corrections to the Natural Resource Protection Plan, subject to the approval of the Department of City Development.
  - e. The applicant shall provide financial sureties for a 5 year mitigation plan, per §15-4.0103.D.

The above review and recommendation was passed and adopted at a regular meeting of the Environmental Commission of the City of Franklin on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Linda Horn, Chairman

Attest:

\_\_\_\_\_  
Jamie Groark, Vice-Chairman



## RESOLUTION NO. 2021-7716

A RESOLUTION CONDITIONALLY APPROVING A  
PRELIMINARY PLAT FOR PLEASANT VIEW RESERVE SUBDIVISION  
(AT 7475 SOUTH 49TH STREET AND 7501 SOUTH 49TH STREET)  
(VERIDIAN HOMES, LLC, APPLICANT)

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WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a preliminary plat for Pleasant View Reserve Subdivision, such plat being a redivision of part of Parcel 3 of Certified Survey Map No. 6949 recorded in the Milwaukee County Register of Deeds office as Document No. 8064321 and part of the Southwest 1/4 of the Northeast 1/4, and part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 11, all being a part of the Southwest 1/4 of the Northeast 1/4 and part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 11, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, more specifically, of the properties located at 7475 South 49th Street and 7501 South 49th Street, bearing Tax Key Nos. 759-9981-010 and 788-9981-003, Veridian Homes, LLC, applicant; said preliminary plat having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof at its meeting on March 4, 2021, pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed preliminary plat is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Preliminary Plat of Pleasant View Reserve Subdivision, as submitted by Veridian Homes, LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
3. Veridian Homes, LLC, successors and assigns and any developer of the Pleasant View Reserve 53 lot and 2 outlot subdivision development shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Pleasant View

Reserve 53 lot and 2 outlot subdivision development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

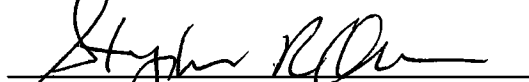
4. The approval granted hereunder is conditional upon Veridian Homes, LLC and the Pleasant View Reserve 53 lot and 2 outlot subdivision development project for the properties located at 7475 South 49th Street and 7501 South 49th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
5. The Pleasant View Reserve 53 lot and 2 outlot subdivision development project shall be developed in substantial compliance with the terms and provisions of this Resolution.
6. The applicant must obtain A Natural Resource Special Exception for impacts to protected natural resources prior to recording the Final Plat. Should such impacts be attributable to public streets, public sidewalks, or public trails, a practicable alternatives analysis pursuant to City of Franklin Ordinance No. 2016-2224 may be appropriate.
7. All utility easements shall be located along rear lot lines, and in mid-block locations where necessary, and shown on the face of the plat prior to submittal of the Final Plat.
8. Written conservation easements shall be submitted as part of the Final Plat Application for Common Council review and approval, and recording with the Milwaukee County Register of Deeds Office at the time of recording the Final Plat.
9. All wetland buffers and all wetland setbacks shall be included within a Conservation Easement. Those setbacks and buffers not within an Outlot shall have conservation signage to delineate the area(s) as protected and unbuildable. The setbacks of lots 26, 32, 33, 34, and 35 will be adjusted to reflect UDO standards for development of wetland setbacks (§15-4.0102.I). The plat “Conservation Easement Restrictions” shall be depicted on the face of the plat, for Department of City Development review and approval prior to submittal of the Final Plat.
10. All necessary approval(s) from the Wisconsin Department of Natural Resources and/or United States Army Corps of Engineers shall be submitted to the City as part of the Final Plat Application.
11. A draft of the declaration of deed restrictions, protective covenants, and the legal instruments and rules for any proposed Wisconsin non-profit membership corporation (homeowners association) whereby the subdivider intends to regulate land uses in the proposed subdivision and otherwise protect the proposed development shall be submitted to the City as part of the Final Plat for review and approval solely as to form and as such may pertain to existing city rules and regulations.

12. Any proposed subdivision monument sign(s) shall be subject to review and approval by the Plan Commission and issuance of a Sign Permit from the Inspection Department.
13. The Final Plat shall be in full compliance with all pertinent City of Franklin Design Standards and Construction Specifications.
14. The pedestrian trail shall be 10' wide, paved, and installed simultaneously with the construction of 49th Court. The connection to point to Pleasant View Park must align with the future park trail.
15. All necessary approvals and required documentation shall be obtained and provided to the City of Franklin to confirm dedication and construction of the remaining right-of-way associated with S. 50th Street, including a complete sidewalk extending to the north edge of the development, prior to submittal of the Final Plat.
16. The applicant shall provide as part of the final plat, a sidewalk along the street for S. 50th Court, as required by §15-8.0107, §15-5.0103, and Table 7.5 of the Comprehensive Master Plan. Sidewalks are not required in the bulb of the cul-de-sac.
17. All necessary approvals and required documentation shall be obtained and provided to the City of Franklin to confirm dedication and construction of the remaining right-of-way associated with Marquette Avenue, connecting to the existing school sidewalk, prior to submittal of the Final Plat.
18. The applicant shall revise Lot two (2) to reflect that access will be from Marquette Avenue.

Introduced at a regular meeting of the Common Council of the City of Franklin this 16th day of March, 2021.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 16th day of March, 2021.

APPROVED:

  
\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

  
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES 6      NOES 0      ABSENT 0

# City of Franklin Department of City Development

Date: July 16, 2021

To: Matt Cudney, Verdian Homes

From: Department of City Development

RE: Pleasant View Reserve Final Plat – Staff Comments

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Department comments are as follows for the Final Plat submitted by Matt Cudney, Verdian Homes and date stamped by the City of Franklin on June 17, 2021.

## **Prior Approvals**

This final plat has previously obtained preliminary plat approval from the City of Franklin, via Resolution No. 2021-7716. A copy of that resolution is attached, all conditions of approval must be resolved. In particular, please note that the following outstanding conditions of approval:

1. Condition No. 6: the applicant must obtain a Natural Resource Special Exception for impacts to protected natural resources. The NRSE request application is currently under review and scheduled concurrently with the final plat application.
2. Condition No. 8: Written conservation easements shall be submitted as part of the Final Plat Application for Common Council review and approval, and recording with the Milwaukee County Register of Deeds Office at the time of recording the Final Plat. Please submit the required easements for staff review.
3. Condition No. 9: All wetland buffers and all wetland setbacks shall be included within a Conservation Easement. Those setbacks and buffers not within an Outlot shall have conservation signage to delineate the area(s) as protected and unbuildable... The plat “Conservation Easement Restrictions” shall be depicted on the face of the plat, for Department of City Development review and approval prior to submittal of the Final Plat. Please revise the Final Plat to depict the easement as including the wetland setback, not just the buffer.
4. Condition No. 10: All necessary approval(s) from the Wisconsin Department of Natural Resources and/or United States Army Corps of Engineers shall be submitted to the City as part of the Final Plat Application. Staff is aware of the DNR permitting process currently underway; this must be resolved prior to recording of the Final Plat.
5. Condition No. 14: The pedestrian trail shall be 10’ wide, paved, and installed simultaneously with the construction of 49th Court. The connection to point to Pleasant View Park must align with the future park trail. Please verify that the connection point will align with the planned park trail.
6. Condition No. 18: Please revise Lot 2 to reflect that access will be from Marquette Avenue.

## **Unified Development Ordinance (UDO) Requirements**

### **Design Standards**

7. Zoning for the proposed plat is R-6 Suburban Single-Family Residence District. All proposed lots meet the lot size and building setback requirements of the zoning district (§15-3.0207).
8. Staff notes the dimensions of the lots 12, 22, 25, 27, and Outlot 1 have changed slightly from the Preliminary Plat. Lots 41, 40, 39 have also been reconfigured slightly as a group. All lots still meet the requirements of the R-6 district standards.
9. §15-5.0106.E requires a minimum lot depth of 110'. All lots except Lot 2 meet this requirement.
10. S.51<sup>st</sup> St. is classified by the Comprehensive Master Plan as a Minor Arterial Street. §15-5.0108.B requires a setback from minor arterial streets of 40 feet. Please revise the shown setbacks of lots on 51<sup>st</sup> St. to reflect the required setback.
11. Lot 2 does not allow access to S. 51st Street. The frontage on Marquette Avenue is therefore the front yard, and lot setbacks must be revised to depict the required 30' setback on Marquette Avenue, (§15-3.0207) and the required 40' setback on 51st Street (§15-5.0108.B). Lot depth must also conform to the 110' requirement of §15-5.0106.E.
12. Note that the Final Plat must conform to the standards of Section 15-8.0100, subject to the approval of the Engineering Department. See also comments regarding required improvements below.

### **General Plat Data**

13. Please show all utility easements, including WE Energies easements, per the standards of §15-7.0602.D. Condition No. 9 of the preliminary plat approval further requires that all utility easements “shall be... shown on the face of the plat.” Please revise the plat to show all easements.
14. Any lands dedicated to future public use must be shown on the plat per §15-7.0602.D. Please clarify if the trail will be dedicated to public use, and if so, depict it accordingly on the plat.
15. Please include water elevation of any water features including wetlands, the date of the survey and approximate high and low water elevations (§15-7.0602.H).
16. Note that Plan Commission can require that additional restrictions relating to access control etc. be shown on the Final Plat (§15-7.0602.F).
17. Note that additional information may also be required by the City Planner, Plan Commission, City Engineer, or Common Council (§15-7.0602.I and J).

### **Required Improvements for Land Divisions**

18. Section 15-8.0100 of the UDO sets forth the required improvements for all land divisions. Closely review and incorporate that information onto the Plat, or

associated plans, as appropriate. Additional information about these requirements, and any questions about them, can be directed to the Engineering Department.

19. Note that improvements including streets and utilities must be installed prior to recording of the Final Plat (§15-2.0303.A). Alternatively, the applicant may enter into a Subdivider's ("Developer's") agreement with the City of Franklin, and provide a letter of credit for improvements (§15-2.0303.B).

### **Declaration of Deed Restrictions, Protective Covenants, Conservation Easements, and Homeowner's Association**

20. Please submit a copy of the final draft of declaration of deed restrictions and protective covenants whereby the Subdivider intends to regulate land use in the proposed Subdivision and otherwise protect the proposed development (§15-7.0603.A), as reviewed by the City Attorney.
21. Please submit the final draft of the legal instruments and rules for any proposed Wisconsin non-profit membership corporation (homeowners' association), for the purpose of demonstrating its existence, when the Subdivider proposes the property within the Subdivision would be either owned or maintained by such an organization of property owners, as required by §15-7.0603.C. This document is also subject to review by the City Attorney (§15-7.0603.D).

### **Staff Recommendations**

#### **Plat**

22. Staff suggests noting the front yard on the face of the plat for lots that are corner lots, including Lots 2, 50, 42, 40, 29, 22, and 4.
23. Staff recommends depicting nearby floodplain limits on the plat, in accordance with §15-7.0502.E and §15-7.0603.G.

#### **Sign Plan**

24. If a subdivision monument sign is proposed in the future, it requires a separate application and review and approval by the Plan Commission.

### **Engineering Staff Comments**

1. Show the coordinates of the monuments (Northing & Easting).
2. Show the utility easement (electric, gas, communications, etc).
3. Must indicate who delineated the wetland (Wetland Delineator Certified by the State of Wisconsin) and when it was delineated.

*[Note that engineering plans must be provided directly to the Engineering Department as a separate submittal.]*

### **Police Department Staff Comments**

The Franklin Police Department has no issues or concerns with this project.

**Inspection Services Department Staff Comments**

Inspection Services has no comments on the subject proposal at this time.

**Milwaukee County**

See attached.

**Franklin Public School District**

This item has been routed to the Franklin Public School District. Public School comments are pending. Any comments from the School District must be resolved prior to recording of the final plat.

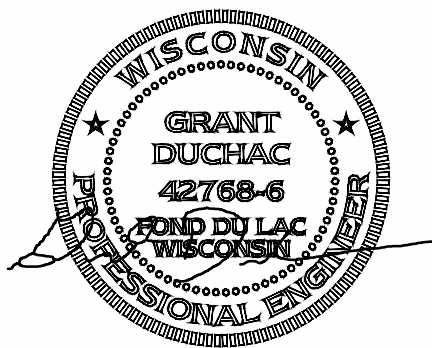
**Natural Resource  
Special Exception  
For:**

# **Pleasant View Reserve Subdivision**

**Franklin, WI**

Excel Job # 2132660

May 28, 2021  
Revised July 15, 2021





**For Property located within the Pleasant View Reserve Subdivision,  
Franklin, Wisconsin**

**The area of the natural resource special exception is within Outlot 2 of the Pleasant View Reserve Subdivision, developed by Veridian Homes, located south of Marquette Avenue between South 51<sup>st</sup> Street and South 49<sup>th</sup> Street being a part of Section 11, T 5N, R 21E in the City of Franklin, Milwaukee County, Wisconsin.**

**Table of Contents**

➤ Narrative.....Section 1  
➤ Natural Resource Special Exception..... Section 2  
➤ Mitigation.....Section 3

**Figures**

- FIGURE 1 - Wetland Impact Areas & Mitigation Area Map
- FIGURE 2 - Mitigation Plan for Wetland and Buffer Areas
- FIGURE 3 - Proposed Seed Mixes

**Appendix**

- Appendix A - City of Franklin Natural Resource Exception Question and Answer Form
- Appendix B - Wetland Report

## 1. Narrative:

The proposed natural resource special exception is located within lands owned by Veridian Homes in the City of Franklin, Milwaukee County, Wisconsin. The area has been preliminary platted and approved as the Pleasant View Reserve Subdivision. The special exception will be located within Outlot 2 of the subdivision.

The outlot area is bordered by multi-family residential to the west and south; a public park (Pleasant View Neighborhood Park) and a public school (Pleasant View Elementary School) are to the east of the property. The area contains active and fallow agricultural farmland and shrubby/wooded areas.

Agricultural farmland has been the historic use of the property.

Wetland delineations, existing conditions topographic surveys, and field investigation surveys were completed on the property.

A wetland delineation and field investigation survey dated September 25, 2020 was completed on the property by Ben LaCount, a Wisconsin Assured Wetland Delineator with Evergreen Consultants, LLC.

A wetland complex was identified within the boundary of the property. The wetland is identified as "Wetland 1" in the wetland delineation report dated September 25, 2020 and completed by Evergreen Consultants, LLC. Wetland 1 is a degraded forested-shrub/scrub-wet meadow wetland infested with reed canary grass and cattail; the wetland is located within a depression and waterway/drainage swale. The waterway/drainage swale was determined to be non-navigable by the Wisconsin DNR (WDNR) in October of 2016.

Wetland area 1 as identified above has been marked in the field with wetland boundary flags and is shown with the buffer and setbacks on Figure 1. The wetland buffers as defined by UDO are undisturbed land within 30' landward of the delineated boundary of any wetland and parallel to the delineated wetland boundary. The wetland buffer area within the site boundaries is 2.32 acres. The wetland setback according to the UDO is all landward areas defined by the minimum required horizontal setback distance of fifty feet from a delineated wetland boundary (or 20' from the buffer area).

An existing conditions topographic field survey using a robotic total station was completed by Excel Engineering, Inc. on September 17<sup>th</sup> of 2020.

Additional supporting information reviewed and utilized included data obtained from the Milwaukee County Geographic Information System (GIS) interactive website, Wisconsin Department of Natural Resources Surface Water Data Viewer Inventory, U.S. Department of Agriculture (USDA) Web Soil Survey, and aerial photography coverage.

No floodplains/floodways exist on the property.

## **2. The Natural Resource Special Exception:**

A 10' wide path is proposed that would connect the Pleasant View Reserve Subdivision and the City of Franklin's Pleasant View Neighborhood Park to the east. The path is necessary to create access to and from the park. The path location crosses the existing wetland area, Wetland 1 as delineated by Evergreen Consultants, that is between the subdivision and the city park area. The request is to fill and impact 1,431 sq.ft. of wetland area and 1,817 sq.ft. of wetland buffer area. See attached Figure 1 that shows the impacted areas. The wetland fill area also includes one culvert to allow drainage and ecological passage through the wetland crossing. The Natural Resource Special Exception details and reasoning is outlined in the City of Franklin NRSE Question and Answer Form (Appendix A).

## **3. Mitigation:**

Per the City of Franklin's UDO, mitigation is required for impacts to wetland and wetland buffer areas. The mitigation required is 1.5 times the wetland disturbed area and 1.5 times the wetland buffer disturbed area.

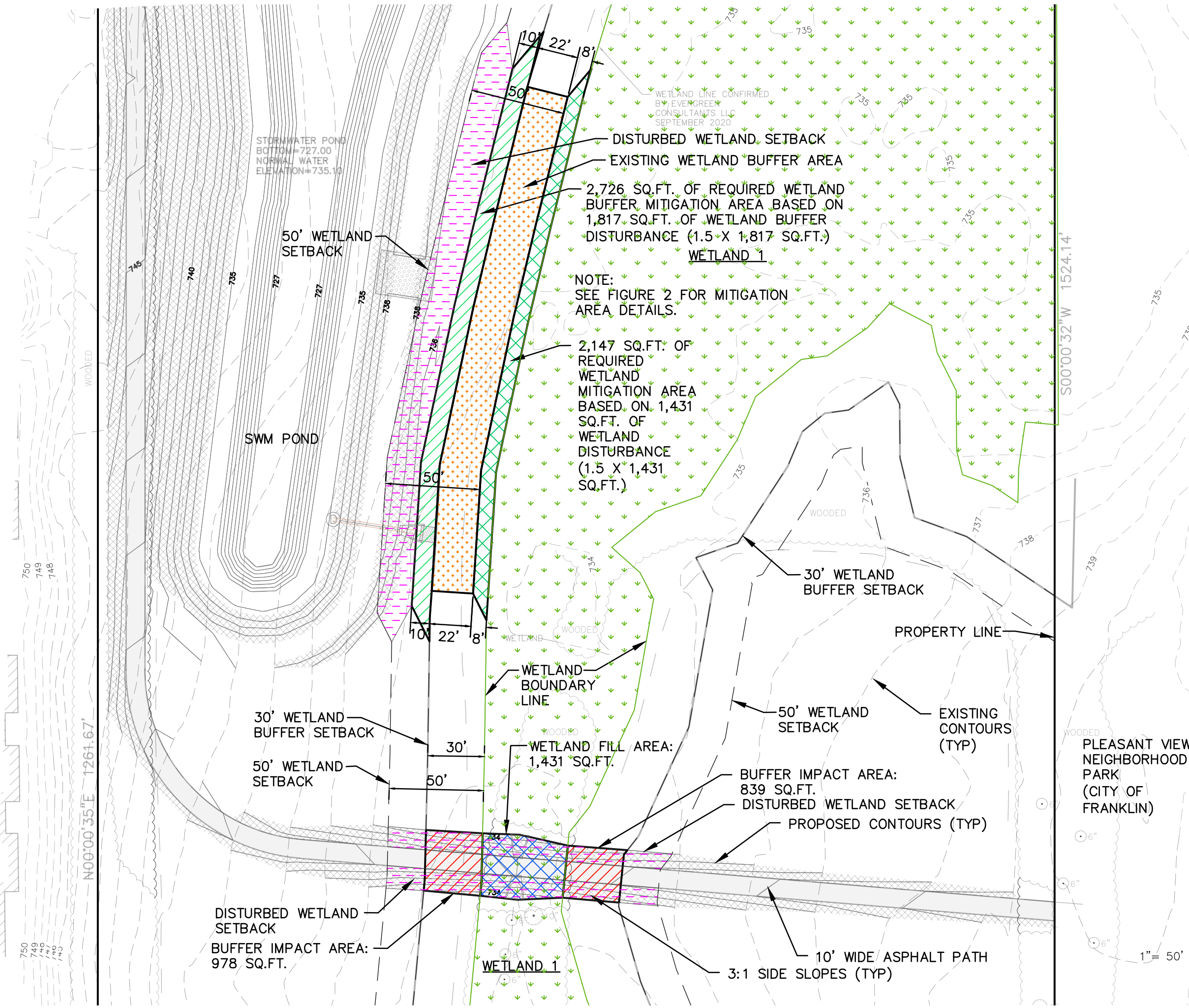
The proposed wetland disturbance is 1,431 sf, which will require 2,147 sf of mitigated wetland area. The wetland mitigation area will be created along a 8' wide strip along the existing wetland boundary. The area will be graded flat to develop and contain wetland hydrology. Existing soils will be utilized for the wetland mitigation. Discharge from the proposed stormwater management pond will also help to hydrate the new wetland area. The wetland mitigation area will resemble the existing wetland, with similar native vegetation species. A low profile moist meadow seed mix at 3.25 PLS lbs/acre and annual ryegrass at 15 lbs/acre is proposed. The proposed wetland buffer disturbance is 1,817 sf, which will require 2,726 sf of mitigated wetland buffer area. the buffer area will be seeded with tallgrass prairie for medium soils at 13.25 PLS lbs/acre and annual ryegrass at 15lbs/acre over existing soils. Restoration and created wetland setback areas will be seeded with shortgrass prairie for medium soils at 13.25 PLS lbs/acre and annual ryegrass at 15lbs/acre. Reference Figure 3 for the proposed seed mixes.

The mitigation areas will require five years of monitoring and a maintenance per City standards. Conservation easements are required around the mitigated areas. The easements will be provided by Veridian Homes in conjunction with the final plat.








See Figures 1 and 2 that show the impact areas and the proposed mitigated areas.

**FIGURE 1**  
**WETLAND IMPACT AREAS & MITIGATION AREA MAP**

# FIGURE 1

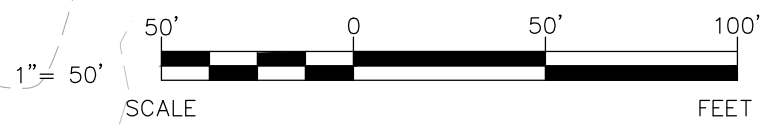


## LEGEND

-  WETLAND
-  WETLAND FILL AREA
-  BUFFER IMPACT AREA
-  WETLAND MITIGATION AREA
-  EXISTING WETLAND BUFFER AREA
-  WETLAND BUFFER MITIGATION AREA
-  PLANT DISTURBED WETLAND SETBACK



## WETLAND IMPACT AREA & MITIGATION AREA MAP



**FIGURE 2**  
**MITIGATION PLAN FOR WETLAND AND BUFFER AREAS**



**FIGURE 3**  
**Proposed Seed Mixes**



## Low Profile Moist Meadow

The shorter grasses and sedges in this mix showcase the colors and blooms of over 20 wildflowers. Plant in poorly drained soils or low-lying sites.

**#LPMD    Wet to Wet Mesic    Full Sun to Part Sun    3.25 PLS LBS/Acre    72.00 Seeds/ Sq. Ft**

Wildflowers		Oz/Acre
Acorus calamus	Sweet Flag	2.00
Alisma subcordatum	Mud Plantain	1.50
Anemone canadensis	Meadow Anemone	0.75
Asclepias incarnata	Marsh (Red) Milkweed	4.00
Aster novae-angliae	New England Aster	0.25
Aster puniceus	Swamp Aster	0.50
Eupatorium perfoliatum	Boneset	0.25
Helenium autumnale	Sneezeweed	0.50
Iris versicolor	Northern Blue Flag Iris	4.50
Liatris spicata	Marsh Blazing Star	0.50
Lobelia cardinalis	Cardinal Flower	0.75
Lobelia siphilitica	Great Blue Lobelia	0.50
Lycopus americanus	Water Horehound	0.25
Mimulus ringens	Monkey Flower	0.10
Penthorum sedoides	Ditch Stonecrop	0.05
Physostegia virginiana	Obedient Plant	0.50
Polygonum pensylvanicum	Pinkweed	1.00
Pycnanthemum virginianum	Mountain Mint	0.50
Solidago graminifolia	Grass-Leaved Goldenrod	0.10
Solidago ohioensis	Ohio Goldenrod	0.25
Solidago riddellii	Riddell's Goldenrod	0.50
Verbena hastata	Blue Vervain	0.75
Grasses, Sedges, & Rushes		Oz/Acre
Bromus ciliatus	Fringed Brome	16.00
Carex bebbii	Bebb's Oval Sedge	0.50
Carex bicknellii	Copper-Shouldered Oval Sedge	1.00
Carex comosa	Bristly Sedge	0.50
Carex crinita	Fringed Sedge	0.50
Carex hystericina	Porcupine Sedge	0.25
Carex lacustris	Common Lake Sedge	0.75
Carex sprengeii	Long-Beaked Sedge	0.75
Carex stipata	Common Fox Sedge	0.25

Carex stricta	Tussock Sedge	0.50
Carex vulpinoidea	Brown Fox Sedge	0.25
Glyceria canadensis	Rattlesnake Grass	1.00
Glyceria striata	Fowl Manna Grass	1.50
Juncus dudleyi	Dudley's Rush	0.05
Juncus tenuis	Path Rush	0.10
Juncus torreyi	Torrey's Rush	0.10
Leersia oryzoides	Rice Cut Grass	8.00

## Tallgrass Prairie for Medium Soils

An excellent mix for wildlife conservation. Tall stature grasses such as Big Bluestem and Indian grass provide important nesting habitat and cover for many animals. For full sun plantings with medium to well-drained soils.

#TPM    Wet Mesic to Dry Mesic    Full Sun    13.25 PLS LBS/Acre    89.00 Seeds/ Sq. Ft

Wildflowers		Oz/Acre
Allium cernuum	Nodding Onion	4.00
Amorpha canescens	Leadplant	2.00
Aster azureus	Sky Blue Aster	1.00
Aster novae-angliae	New England Aster	1.00
Baptisia leucantha (alba)	White Wild Indigo	2.00
Coreopsis palmata	Prairie Coreopsis	1.50
Coreopsis tripteris	Tall Coreopsis	1.00
Dalea candida	White Prairie Clover	3.00
Dalea purpurea	Purple Prairie Clover	2.50
Desmodium canadense	Canada Tick Trefoil	2.00
Echinacea pallida	Pale Purple Coneflower	4.00
Echinacea purpurea	Purple Coneflower	6.00
Eryngium yuccifolium	Rattlesnake Master	2.50
Helianthus grosseserratus	Sawtooth Sunflower	0.50
Heliopsis helianthoides	Early Sunflower	8.00
Liatris pycnostachya	Prairie Blazing Star	3.00
Monarda fistulosa	Wild Bergamot	2.00
Penstemon digitalis	Foxglove Beard Tongue	0.50
Potentilla arguta	Prairie Cinquefoil	0.20
Pycnanthemum virginianum	Mountain Mint	0.20
Ratibida pinnata	Yellow Coneflower	2.25
Rudbeckia hirta	Black-Eyed Susan	3.50
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	2.00
Silphium laciniatum	Compass Plant	2.00
Silphium perfoliatum	Cup Plant	2.50
Solidago graminifolia	Grass-Leaved Goldenrod	0.20
Solidago rigida	Stiff Goldenrod	1.25
Verbena hastata	Blue Vervain	1.50
Veronicastrum virginicum	Culver's Root	0.20
Grasses, Sedges, & Rushes		Oz/Acre
Andropogon gerardii	Big Bluestem	24.00
Bouteloua curtipendula	Side Oats Grama	16.00
Carex bicknellii	Copper-Shouldered Oval Sedge	1.50

Elymus canadensis	Canada Wild Rye	32.00
Elymus virginicus	Virginia Wild Rye	32.00
Juncus tenuis	Path Rush	0.20
Panicum virgatum	Switchgrass	8.00
Schizachyrium scoparium	Little Bluestem	12.00
Sorghastrum nutans	Indian Grass	24.00

## Shortgrass Prairie for Medium Soils

This favorite shortgrass mix contains many Asters and Coneflowers that provide showy summer and fall color! Enjoy the unobstructed view as the wildflowers bloom above the shorter grasses.

**#SPM**   **Wet Mesic to Dry Mesic**   **Full Sun**   **13.50 PLS LBS/Acre**   **83.00 Seeds/ Sq. Ft**

Wildflowers		Oz/Acre
Allium cernuum	Nodding Onion	6.00
Amorpha canescens	Leadplant	2.50
Asclepias tuberosa	Butterfly Weed	1.50
Aster azureus	Sky Blue Aster	1.50
Aster laevis	Smooth Blue Aster	2.00
Aster novae-angliae	New England Aster	0.50
Chamaecrista fasciculata	Partridge Pea	10.00
Coreopsis palmata	Prairie Coreopsis	6.00
Dalea candida	White Prairie Clover	4.00
Dalea purpurea	Purple Prairie Clover	3.00
Echinacea pallida	Pale Purple Coneflower	2.50
Echinacea purpurea	Purple Coneflower	6.00
Eryngium yuccifolium	Rattlesnake Master	3.00
Heliopsis helianthoides	Early Sunflower	10.00
Liatris pycnostachya	Prairie Blazing Star	2.50
Monarda fistulosa	Wild Bergamot	1.50
Penstemon digitalis	Foxglove Beard Tongue	0.50
Potentilla arguta	Prairie Cinquefoil	0.20
Pycnanthemum virginianum	Mountain Mint	0.20
Ratibida pinnata	Yellow Coneflower	4.00
Rudbeckia hirta	Black-Eyed Susan	2.50
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	2.00
Silphium laciniatum	Compass Plant	0.50
Solidago speciosa	Showy Goldenrod	1.00
Tradescantia ohiensis	Ohio Spiderwort	1.50
Veronicastrum virginicum	Culver's Root	0.10
Grasses, Sedges, & Rushes		Oz/Acre
Bouteloua curtipendula	Side Oats Grama	42.00
Carex bicknellii	Copper-Shouldered Oval Sedge	1.00
Elymus canadensis	Canada Wild Rye	32.00
Elymus virginicus	Virginia Wild Rye	32.00
Koeleria cristata (macrantha)	June Grass	2.00
Schizachyrium scoparium	Little Bluestem	32.00

**APPENDIX A**  
**CITY OF FRANKLIN NATURAL RESOURCE EXCEPTION**  
**QUESTION AND ANSWER FORM**

**Natural Resource Special Exception Question and Answer Form.**

**Questions to be answered by the Applicant**

Items on this application to be provided in writing by the Applicant shall include the following, as set forth by Section 15-9.0110C. of the UDO:

A. Indication of the section(s) of the UDO for which a Special Exception is requested.  
15-10.0208 15-4.0101

15-3.0322

15-11.0103

B. Statement regarding the Special Exception requested, giving distances and dimensions where appropriate.

The request is to impact 1,431 sq.ft. of wetland area and 2,147 sq.ft. of buffer area for a proposed asphalt path crossing. See attached exhibit showing the impacted areas. The wetland fill area also includes one culvert to allow drainage through the wetland.

\_\_\_\_\_

\_\_\_\_\_

C. Statement of the reason(s) for the request.

A 10' wide path to connect the Pleasant Prairie Reserve Subdivision and the City of Franklin's Pleasant View Neighborhood Park is proposed. The path is necessary to create access to and from the park. The path location is through an existing wetland area that is contiguous between the subdivision and the city park area.

\_\_\_\_\_

\_\_\_\_\_

D. Statement of the reasons why the particular request is an appropriate case for a Special Exception, together with any proposed conditions or safeguards, and the reasons why the proposed Special Exception is in harmony with the general purpose and intent of the Ordinance. In addition, the statement shall address any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district, including a practicable alternative analysis as follows:

**1) Background and Purpose of the Project.**

(a) Describe the project and its purpose in detail. Include any pertinent construction plans.

The City of Franklin has requested access to the city park from the subdivision. A 10' wide path is proposed to create access between the Pleasant View Reserve Subdivision and the City's Pleasant View Neighborhood Park. The path will be paved with asphalt. Per the City's request the path will also be used as a secondary access route to the park as the park is located on a dead end street. The wetland crossing area of the path will include concrete culverts to allow drainage from the north to pass through the wetland area to the south. The fill in

the wetland and buffer area will be limited to the asphalt path and the required side slope area needed to fill over the culverts.

- (b) State whether the project is an expansion of an existing work or new construction.

This will be new construction and will be completed as a part of the Pleasant View Reserve Phase 2 residential subdivision construction.

- (c) State why the project must be located in or adjacent to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback to achieve its purpose.

This is the only access area to the city park from the subdivision. The path crossing is at the narrowest part of the wetland. A path location and crossing within this vicinity was previously approved via preliminary plats.

**2) Possible Alternatives.**

- (a) State all of the possible ways the project may proceed without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback as proposed.

1. A boardwalk was considered to span the wetland and buffer area. However, the boardwalk would need to be rated for emergency vehicle traffic loads. A boardwalk created for vehicle loads is structurally limited for footings to avoid wetland impact and decking and is cost prohibitive.
2. A bridge would need a 45' long span to cross and not impact the wetland, or over 105' to span the wetland and buffer areas. A bridge with the required spans to cross the wetland areas would be cost prohibitive.
3. No access to the park from the subdivision.

- (b) State how the project may be redesigned for the site without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

There is no other way to gain access to the city park area from the subdivision without affecting wetland areas. The wetland area is continuous along the east side of the property between the subdivision and park lands.

- (c) State how the project may be made smaller while still meeting the project's needs.

The side slopes of the path to the wetland and buffer areas could be designed to be steeper to make a smaller impact to the wetland areas. However, steeper



slopes are more apt to erosion and are harder to maintain, and thus could have more of an impact to waters of the state.

---

- (d) State what geographic areas were searched for alternative sites.  
The original proposed wetland crossing area was further north, the wetland crossing at that location was wider and would impact more of the wetland area. The path was lengthened, and the crossing was relocated to the south to the narrowest portion of the wetland.
- 

- (e) State whether there are other, non-stream, or other non-navigable water, non-shore buffer, non-wetland, non-wetland buffer, and/or non-wetland setback sites available for development in the area.  
There are no other on-site areas available to access the city park area from the subdivision without impacting a wetland area.
-

(f) State what will occur if the project does not proceed.  
There will not be access to the city park from the subdivision.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**3) Comparison of Alternatives.**

(a) State the specific costs of each of the possible alternatives set forth under sub.2., above as compared to the original proposal and consider and document the cost of the resource loss to the community.  
Asphalt path/culverts cost: =\$18,500  
Boardwalk cost: \$80 sf=1050sf x80= \* \$84,000  
Bridge cost: \$200 sf = 1050sf x200=\$210,000  
\_\_\_\_\_  
\* pricing does not reflect current inflated material costs in the market.  
\_\_\_\_\_

(b) State any logistical reasons limiting any of the possible alternatives set forth under sub. 2., above.  
Construction access would be needed from both sides of the wetland for the boardwalk and bridge construction.  
\_\_\_\_\_  
\_\_\_\_\_

(c) State any technological reasons limiting any of the possible alternatives set forth under sub. 2., above.  
The maintenance associated with a boardwalk or bridge. Bridge inspections.  
\_\_\_\_\_  
\_\_\_\_\_

(d) State any other reasons limiting any of the possible alternatives set forth under sub. 2., above.  
Responsible party for the maintenance and inspections of the boardwalk or bridge.  
\_\_\_\_\_  
\_\_\_\_\_

**4) Choice of Project Plan.**

State why the project should proceed instead of any of the possible alternatives listed under sub.2., above, which would avoid stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback impacts.  
The proposed asphalt path is cost effective for the access to the park. The other alternatives are expensive and would require maintenance and inspections. The proposed path is safer with no guardrails needed. The path would be easier to maintain for snow removal with the contiguous asphalt pavement. Also, the area to be filled is not within a high quality wetland, the wetland is a degraded forested-shrub-wet meadow infested area with reed canary grass and cattail.  
\_\_\_\_\_  
\_\_\_\_\_

5) **Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Description.**

Describe in detail the stream or other navigable water shore buffer, wetland, wetland buffer, and/or wetland setback at the site which will be affected, including the topography, plants, wildlife, hydrology, soils and any other salient information pertaining to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

The wetland area is degraded forested-shrub-wet meadow infested area with reed canary grass and cattail. The area is within a shallow ditch which is a drainage way for runoff from the north. The tree species in the wetland is American Elm. Invasive species such as Buckthorn and canary reed grass are dominate. Agricultural cropped areas and fallow field occupy the wetland buffer and setback areas around the wetland.

6) **Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Impacts.**

- a) Diversity of flora including State and/or Federal designated threatened and/or endangered species.  Not Applicable  Applicable
- b) Storm and flood water storage.  Not Applicable  Applicable
- c) Hydrologic functions.  Not Applicable  Applicable
- d) Water quality protection including filtration and storage of sediments, nutrients or toxic substances.  Not Applicable  Applicable
- e) Shoreline protection against erosion.  Not Applicable  Applicable
- f) Habitat for aquatic organisms.  Not Applicable  Applicable
- g) Habitat for wildlife.  Not Applicable  Applicable
- h) Human use functional value.  Not Applicable  Applicable
- i) Groundwater recharge/discharge protection.  Not Applicable  Applicable
- j) Aesthetic appeal, recreation, education, and science value.  Not Applicable  Applicable
- k) Specify any State or Federal designated threatened or endangered species or species of special concern.  Not Applicable  Applicable
- l) Existence within a Shoreland.  Not Applicable  Applicable
- m) Existence within a Primary or Secondary Environmental Corridor or within an Isolated Natural Area, as those areas are defined and currently mapped by the Southeastern Wisconsin Regional Planning Commission from time to time.  Not Applicable  Applicable

Describe in detail any impacts to the above functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback:

The fill area of the wetland area will result in the loss of some area for wildlife habitat. The buffer and wetland areas are recently or currently cropped for agricultural land, so

there will be no loss of wildlife area in these areas. The mitigation area will replace cropped area with added wildlife area for a net increase.

7) **Water Quality Protection.**

Describe how the project protects the public interest in the waters of the State of Wisconsin.

The project will protect the waters of the state with erosion protection including silt fence at the disturbance perimeter, and erosion matting with the seeding of the disturbed area.

Pleasant View Reserve  
Franklin, WI

Natural Resource Special Exception  
Excel Project # 2132660

**APPENDIX B**  
**WETLAND REPORT**

## NATURAL RESOURCE PROTECTION PLAN

**For: Veridian Homes**

**Located on the future West Marquette Avenue extension between South 51<sup>st</sup> Street and South 49<sup>th</sup> Street in Franklin, Wisconsin**

The protection plan area contains 38.66 acres within lands to be developed by Veridian Homes located north and south of the future West Marquette Avenue extension between South 51<sup>st</sup> Street and South 49<sup>th</sup> Street being a part of Section 11, T 5N, R 21E in the City of Franklin, Milwaukee County, Wisconsin.

**Tax PIN #'s: 759-9981-010 (a.k.a 7475 South 49<sup>th</sup> Street)  
Part of 759-9980-000  
788-9981-003**

**December 18, 2020  
*Revised February 12, 2021, Revised NRPP Maps July 15, 2021***

Prepared For:  
**Veridian Homes, LLC  
Attn: Matt Cudney  
6801 S. Towne Drive  
Madison, WI 53713**

Prepared By:  
**Grant Duchac  
Excel Engineering, Inc.  
100 Camelot Drive  
Fond du Lac, WI 54935**

**EXCEL PROJECT # 2041760**

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➤ Introduction.....	Section 1
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➤ Natural Resource Disturbance & Protection.....	Section 4
➤ Conclusion.....	Section 5

## Figures

FIGURE 1 - Natural Resource Protection Plan

FIGURE 2 - Preliminary Plat

## Appendixes

Appendix A - Site Intensity & Capacity Calculations

Appendix B - Tree Surveys

Appendix C - Navigability Determination

Appendix D - Wetland Jurisdictional Determination & Non-Federal Exemption

## **1. Introduction:**

The proposed project is comprised of all or parts of three (3) parcels of land totaling 38.66 acres in the City of Franklin, Milwaukee County, Wisconsin. The property lies north and south of the proposed West Marquette Avenue extension between South 51<sup>st</sup> Street and South 49<sup>th</sup> Street. 11.254 acres lie north of the proposed West Marquette Avenue extension and 27.406 acres lie south of the proposed West Marquette Avenue extension.

That part of the property lying north of the proposed West Marquette Avenue extension is bordered by residential homes and South 51<sup>st</sup> Street to west, residential homes to the north, and residential homes and South 49<sup>th</sup> Street to the east. The property is vacant with fallow agricultural farmland covering the majority of the land. A preliminary plat of this property (Oak Ridge of Franklin) was previously submitted to and approved by the City of Franklin

That part of the property lying south of the proposed West Marquette Avenue extension is bordered by single and multi-family residential to the west and south; a public park (City of Franklin) and a public school (Pleasant View Elementary School) are to the east of the property. The area contains active and fallow agricultural farmland and shrubby/wooded areas. A preliminary plat of this property (Pleasant View Estates) was previously submitted to and approved by the City of Franklin.

Agricultural farmland has been the historic use of the entire property. The purpose of this plan and investigation is to identify natural resources including steep slopes, woodlands, lakes, ponds, streams, floodlands, wetlands and buffers within the property per the Natural Resource Protection ordinance for the City of Franklin.

## **2. Methodology:**

Wetland delineations, existing conditions topographic surveys, and field investigation surveys were completed on the property.

A wetland delineation and field investigation survey dated October 31, 2017 was completed on the north property by Thompson and Associates Wetland Services, LLC, a Wisconsin Assured Wetland Delineator. A wetland delineation and field investigation survey dated September 25, 2020 was completed on the south property by Ben LaCount, a Wisconsin Assured Wetland Delineator with Evergreen Consultants, LLC.

An existing conditions topographic field survey using a robotic total station was completed by Excel Engineering, Inc. on September 17<sup>th</sup> of 2020.

Additional supporting information reviewed and utilized included data obtained from the Milwaukee County Geographic Information System (GIS) interactive website, Wisconsin Department of Natural Resources Surface Water Data Viewer Inventory, U.S. Department of Agriculture (USDA) Web Soil Survey, and aerial photography coverage.

## **3. Results:**

### **Steep Slopes:**

There are three defined categories of steep slopes per the City of Franklin's Unified Development Ordinance (UDO). Each category is based on the percentage of slope



(10 to 19%, 20 to 30%, and greater than 30%); all require at least a ten-foot vertical drop and a minimum area of 5,000 square feet.

No areas within the property meet the steep slope criteria as defined by the UDO, consistent with the previously approved NRPP(s).

### Woodlands:

There are two defined categories of woodlands per the UDO; young woodland and mature woodland.

A young woodland is an area or stand of trees whose total combined canopy covers an area of one-half acre (0.50) acre or more and at least fifty percent (50%) of which is composed of canopies of trees having a diameter at breast height (DBH) of at least three inches (3”).

A mature woodland is an area or stand of trees whose total combined canopy covers an area of one (1) acre or more and at least fifty percent (50%) of which is composed of canopies of trees having a diameter at breast height (DBH) of at least ten inches (10”); or any grove consisting of eight (8) or more individual trees having a DBH of at least twelve inches (12”) whose combined canopies cover at least fifty percent (50%) of the area encompassed by the grove.

In conjunction with the previous preliminary plats of these properties, tree surveys were completed; those surveys are found in Appendix B of this plan. The subject surveys indicate there are no wooded areas within either property that meet the young woodland or mature woodland criteria.

### Lakes, Ponds, Streams and Shore Buffers:

No lakes, ponds or streams are located on the property and as a result there are no shore buffers. The waterway/drainage swale at the south end of the property that flows south under Evergreen Street was determined to be non-navigable by the Wisconsin DNR (WDNR) in October of 2016 and is included as Appendix C of this plan.

### Floodplain/Floodway:

No floodplains/floodways exist on the property.

### Wetlands, Wetland buffers and Wetland Setbacks:

Two (2) wetland complexes were identified within the boundary of that part of the property lying north of West Marquette Avenue; those wetlands are identified as “Wetland A” and “Wetland B” in the wetland delineation report dated October 31, 2017 and completed by Thompson and Associates Wetland Services, LLC. Wetland A is a 0.35-acre fresh wet meadow wetland that is linear in shape and extends east from South 51<sup>st</sup> Street; Wetland B is a 0.15-acre shallow depressional wetland dominated by cattails and located in the northern portion of the property. A request for “Jurisdictional Determination” for these two (2) wetlands was submitted to the US Army Corps of Engineers (Corps). The Corps determined the

review area contains no waters of the United States subject to Corps jurisdiction and the wetlands are therefore not regulated by the Corps; State wetland protection standards do not apply to nonfederal wetland exemptions and, pursuant to ACT 183 Wisconsin Statute 281, a local government's wetland protection ordinance does not apply to nonfederal wetlands (see Appendix D). Upon review by the Wisconsin Department of Natural Resources, "Wetland A" & "Wetland B" meet the criteria of the non-federal wetland exemption.

One (1) wetland complex was identified within the boundary of that part of the property lying south of West Marquette Avenue. The wetland is identified as "Wetland 1" in the wetland delineation report dated September 25, 2020 and completed by Evergreen Consultants, LLC. Wetland 1 is a degraded forested-shrub/scrub-wet meadow wetland infested with reed canary grass and cattail; the wetland is located within a depression and swale (the non-navigable waterway at the south end of the site).

Wetland area 1 as identified above has been marked in the field with wetland boundary flags and is shown with the buffer and setbacks on Natural Resource Protection Plan (Figure 1). The wetland buffers as defined by UDO are undisturbed land within 30' landward of the delineated boundary of any wetland and parallel to the delineated wetland boundary. The wetland buffer area within the site boundaries is 2.32 acres. The wetland setback according to the UDO is all landward areas defined by the minimum required horizontal setback distance of fifty feet from a delineated wetland boundary (or 20' from the buffer area). Due to the size of the wetland reports that are referenced in this plan, they are not included in the appendices but are included as separate bound documents.

#### **4. Natural Resource Disturbance and Protection:**

The proposed site development sketch plan is shown on Figure 2. The development will meet all natural resource protection standards. A permanent Natural Resource Conservation Easement will be created for Wetland Area 1. The proposed trail crossing the wetland complex is shown on the NRPP Map and appropriate approvals/exceptions for the trail crossing will be completed prior to Phase 2.

#### **5. Conclusion:**

The proposed development will comply with the Natural Resource Protection Standards of the UDO. The worksheets for the Site Intensity and Capacity Calculations are provided in Appendix A. Per the calculations a total of 95.88 dwelling units are the maximum permitted for this property. This calculation was based on all on-site natural resource features present. The proposed number of dwelling units (lots) for the subdivision is 53.

**FIGURE 1**  
**NATURAL RESOURCE PROTECTION PLAN**

**PROJECT INFORMATION**

NATURAL RESOURCES PROTECTION PLAN  
**PLEASANT VIEW RESERVE**  
S. 51ST STREET & W. MARQUETTE AVENUE • FRANKLIN, WI 53132

PROFESSIONAL SEAL

**PRELIMINARY DATES**

DEC. 18, 2020  
FEB. 12, 2021  
JULY 14, 2021

**NOT FOR CONSTRUCTION**

**JOB NUMBER**

2044840

**SHEET NUMBER**

**NRPP**

**OWNER:**  
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3408 S. 49TH STREET  
FRANKLIN, WI 53132

**CREATIVE HOMES, INC.**  
9244 S. 49TH STREET  
FRANKLIN, WI 53132

**SUBDIVIDER/DEVELOPER:**  
VERIDIAN HOMES, LLC  
6801 S. TOWNE DRIVE  
MADISON, WI 53713  
CONTACT: MATT CUDNEY  
P: (808) 226-3016  
MCUDNEY@VERIDIANHOMES.COM

**ENGINEER & SURVEYOR:**  
EXCEL ENGINEERING, INC.  
100 CAMELOT DR  
FOND DU LAC, WI 54935

**NRPP:**

**LEGAL DESCRIPTION:** Part of Parcel 3 of Certified Survey Map No. 6949 and part of the SW 1/4 of the NE 1/4, and part of the NW 1/4 and SW 1/4 of the SE 1/4 of Section 11, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

**PROPERTY AREA:** AREA = 1,684,039 S.F. (38.660 ACRES)

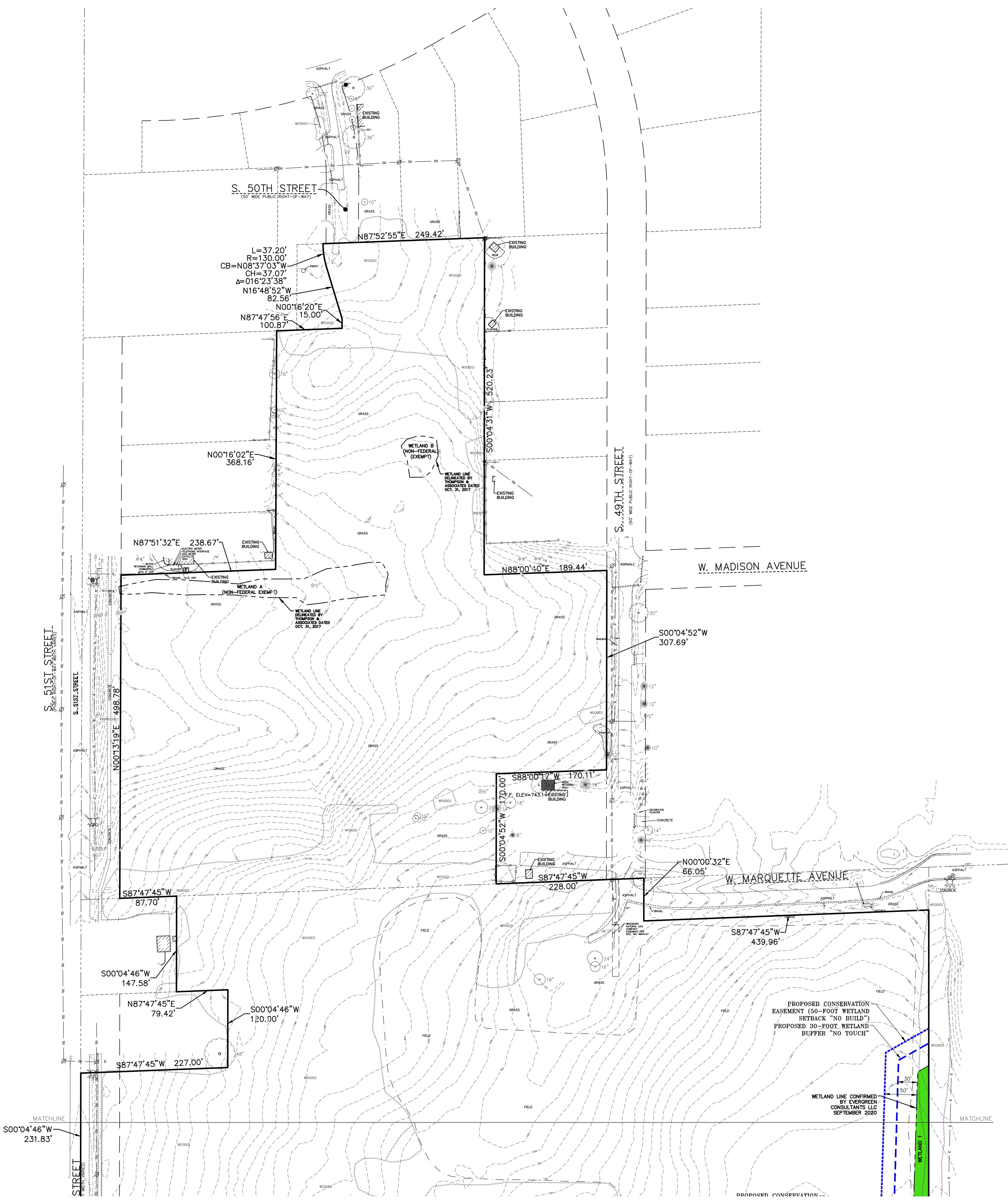
**EXISTING ZONING:** R-6

**WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

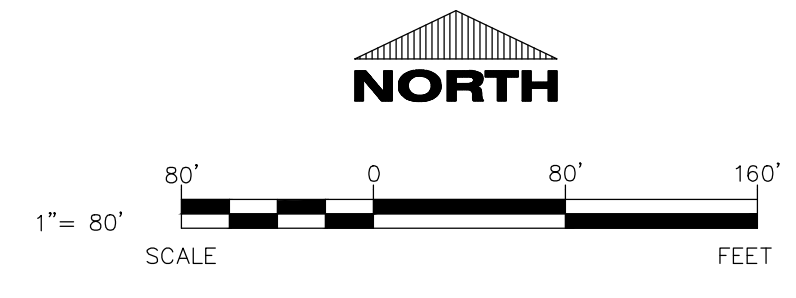
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Slopes:					
10-19%	0.00	0.60	0.40	X 0.00 = 0.00	0.00
20-30%	0.65	0.75	0.70	X 0.00 = 0.00	0.00
+ 30%	0.90	0.85	0.80	X 0.00 = 0.00	0.00
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X 0.00 = 0.00	0.00
Young	0.50	0.50	0.50	X 0.00 = 0.00	0.00
Lakes & Ponds	1	1	1	X 0.00 = 0.00	0.00
Streams	1	1	1	X 0.00 = 0.00	0.00
Shore Buffer	1	1	1	X 0.00 = 0.00	0.00
Floodplains	1	1	1	X 0.00 = 0.00	0.00
Wetland Buffers	1	1	1	X 2.32 = 2.32	2.32
Wetlands & Shoreland Wetlands	1	1	1	X 3.76 = 3.76	3.76
<b>TOTAL RESOURCE PROTECTION LAND</b> (Total of Acres of Land in Resource Feature to be Protected)					<b>6.08</b>

NO OVERLAPPING NATURAL RESOURCES PRESENT

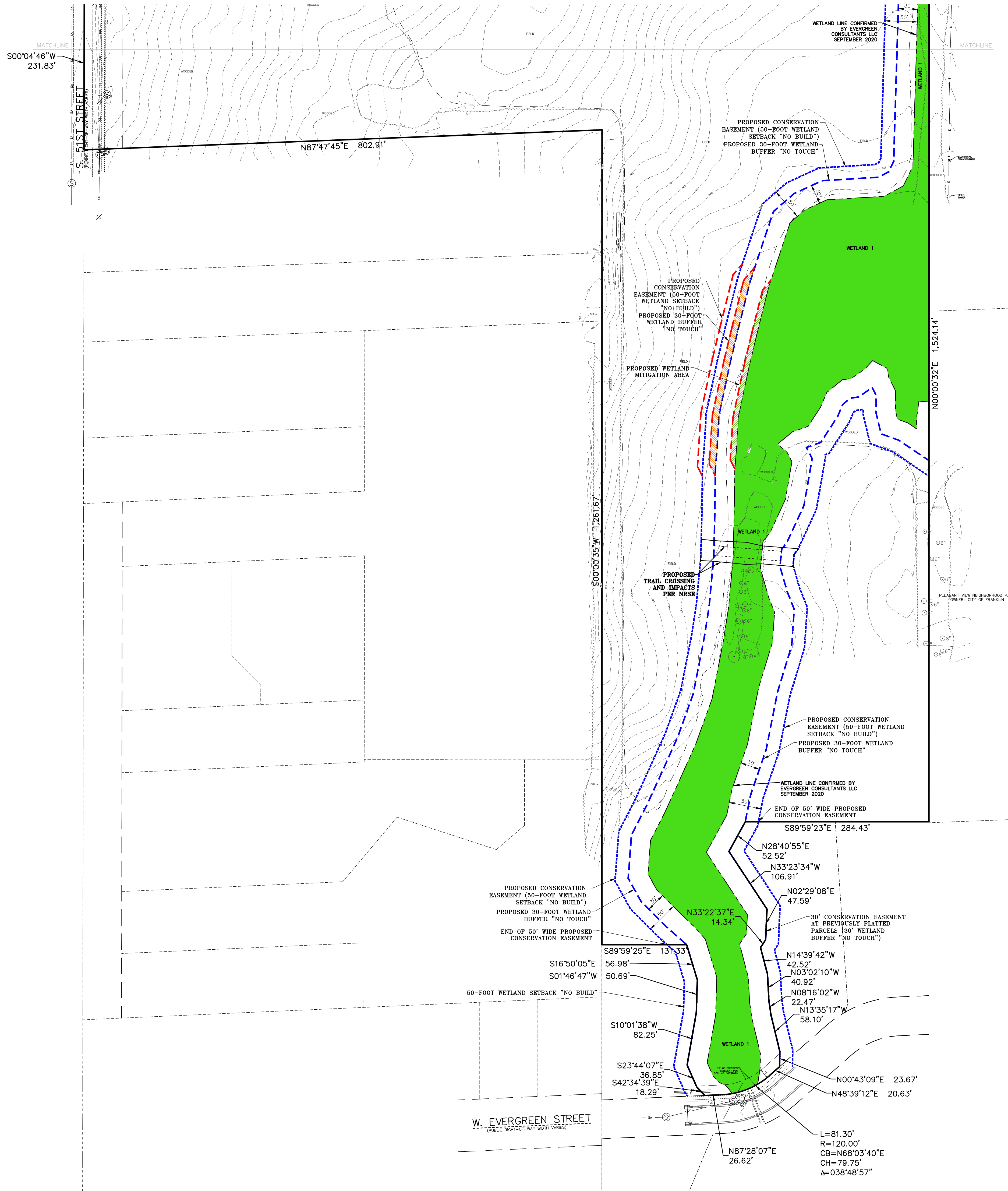
**WOODLAND NOTE:**  
IN CONJUNCTION WITH THE PREVIOUS PRELIMINARY PLATS OF THESE PROPERTIES, TREE SURVEYS WERE COMPLETED; THOSE SURVEYS ARE FOUND IN APPENDIX B OF THIS PLAN. THE SUBJECT SURVEYS INDICATE THERE ARE NO WOODED AREAS WITHIN EITHER PROPERTY THAT MEET THE YOUNG WOODLAND OR MATURE WOODLAND CRITERIA.



- LEGEND:**
- EXISTING ROUND CATCH BASIN
  - EXISTING CURB INLET
  - WATER VALVE IN BOX
  - WATER SERVICE VALVE
  - EXISTING SIGN
  - TELEPHONE PEDESTAL
  - ELECTRIC PEDESTAL
  - ELECTRIC TRANSFORMER
  - CABLE TV PEDESTAL
  - UTILITY POLE
  - UTILITY POLE WITH GUY WIRE
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - SHRUB
  - MONUMENT FOUND
  - 3/4" REBAR FOUND
  - 1" IRON PIPE FOUND
  - WOODED AREA
  - EXISTING CHAINLINK FENCE
  - EXISTING WOOD FENCE
  - EXISTING WOVEN WIRE FENCE
  - EXISTING STORM SEWER AND MANHOLE
  - EXISTING SANITARY SEWER AND MANHOLE
  - EXISTING WATER LINE AND HYDRANT
  - EXISTING OVERHEAD UTILITY LINE
  - EXISTING UNDERGROUND GAS LINE
  - EXISTING UNDERGROUND ELECTRIC CABLE
  - EXISTING CURB AND GUTTER
  - EXISTING GROUND CONTOUR



**FIGURE 1A**  
NRPP - NORTH



OWNER:  
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FRANKLIN, WI 53132

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+30%	0.90	0.85	0.80	X 0.00	0.00
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Streams	1	1	1	X 0.00	0.00
Shore Buffer	1	1	1	X 0.00	0.00
Floodplains	1	1	1	X 0.00	0.00
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Wetlands & Shoreland Wetlands	1	1	1	X 3.76	3.76
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					6.08

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  - UTILITY POLE
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  - SHRUB
  - MONUMENT FOUND
  - 3/4" REBAR FOUND
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  - EXISTING CURB AND GUTTER
  - EXISTING GROUND CONTOUR

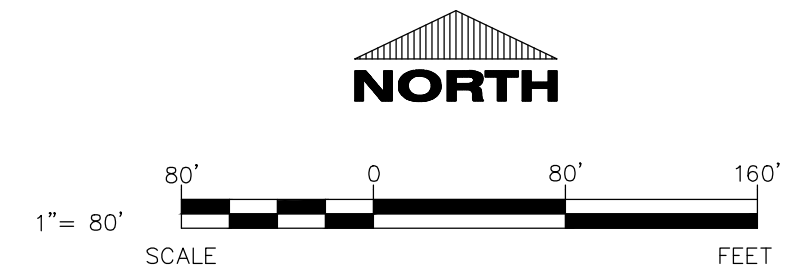


FIGURE 1B  
NRPP - SOUTH



PROJECT INFORMATION

NATURAL RESOURCES PROTECTION PLAN  
**PLEASANT VIEW RESERVE**  
S. 51ST STREET & W. MARQUETTE AVENUE • FRANKLIN, WI 53132

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 18, 2020  
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**FIGURE 2**  
**PROPOSED SITE DEVELOPMENT SKETCH PLAN**

**PROJECT INFORMATION**

NATURAL RESOURCES PROTECTION PLAN  
**PLEASANT VIEW RESERVE**  
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**S**

**SITE INFORMATION:**

LEGAL DESCRIPTION:	Part of Parcel 3 of Certified Survey Map No. 6949 and part of the SW 1/4 of the NE 1/4, and part of the NW 1/4 and SW 1/4 of the SE 1/4 of Section 11, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.
PROPERTY AREA:	AREA = 1,684,039 S.F. (38.66 ACRES)
EXISTING ZONING:	R-6
PROPOSED ZONING:	R-6
PROPOSED USE:	RESIDENTIAL SUBDIVISION - PERMITTED USE "CONVENTIONAL SUBDIVISION"
MINIMUM LOT AREA:	11,000 SF
MINIMUM LOT WIDTH:	90' AT FRONT SETBACK LINE
OPEN SPACE RATIO:	0.00
GROSS DENSITY:	2.972
NET DENSITY:	2.972
SETBACKS:	FRONT = 30' SIDE = 10' SIDE CORNER LOT = 19' REAR = 30'

**PROPOSED SITE DATA**

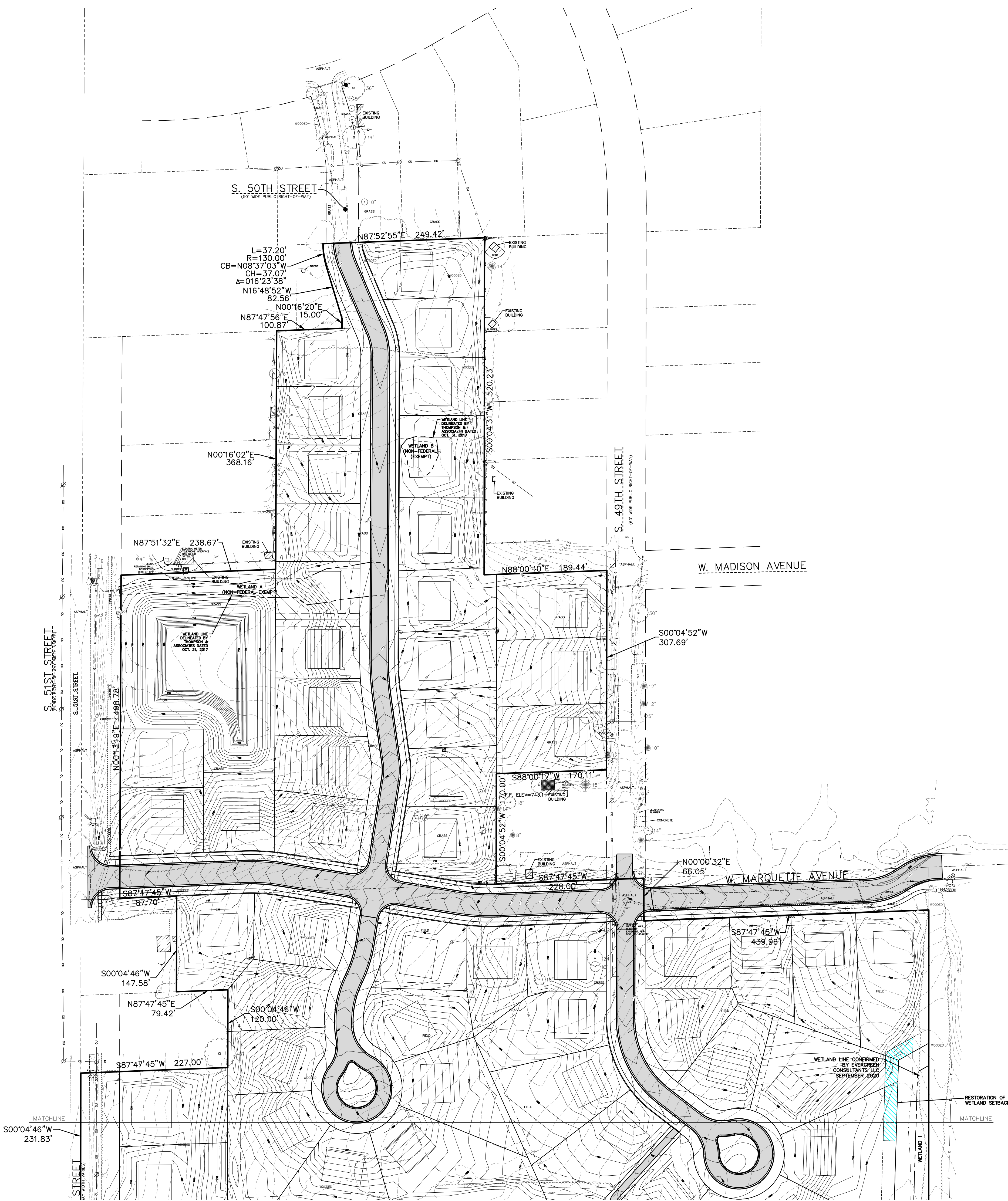
	AREA (AC)	RATIO
PROJECT SITE (BASE SITE AREA)	38.66	
OUTLOTS (OPEN SPACE)	14.86	38.44%

**OWNER:**  
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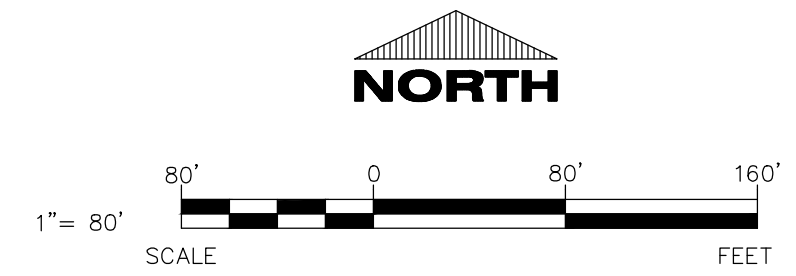
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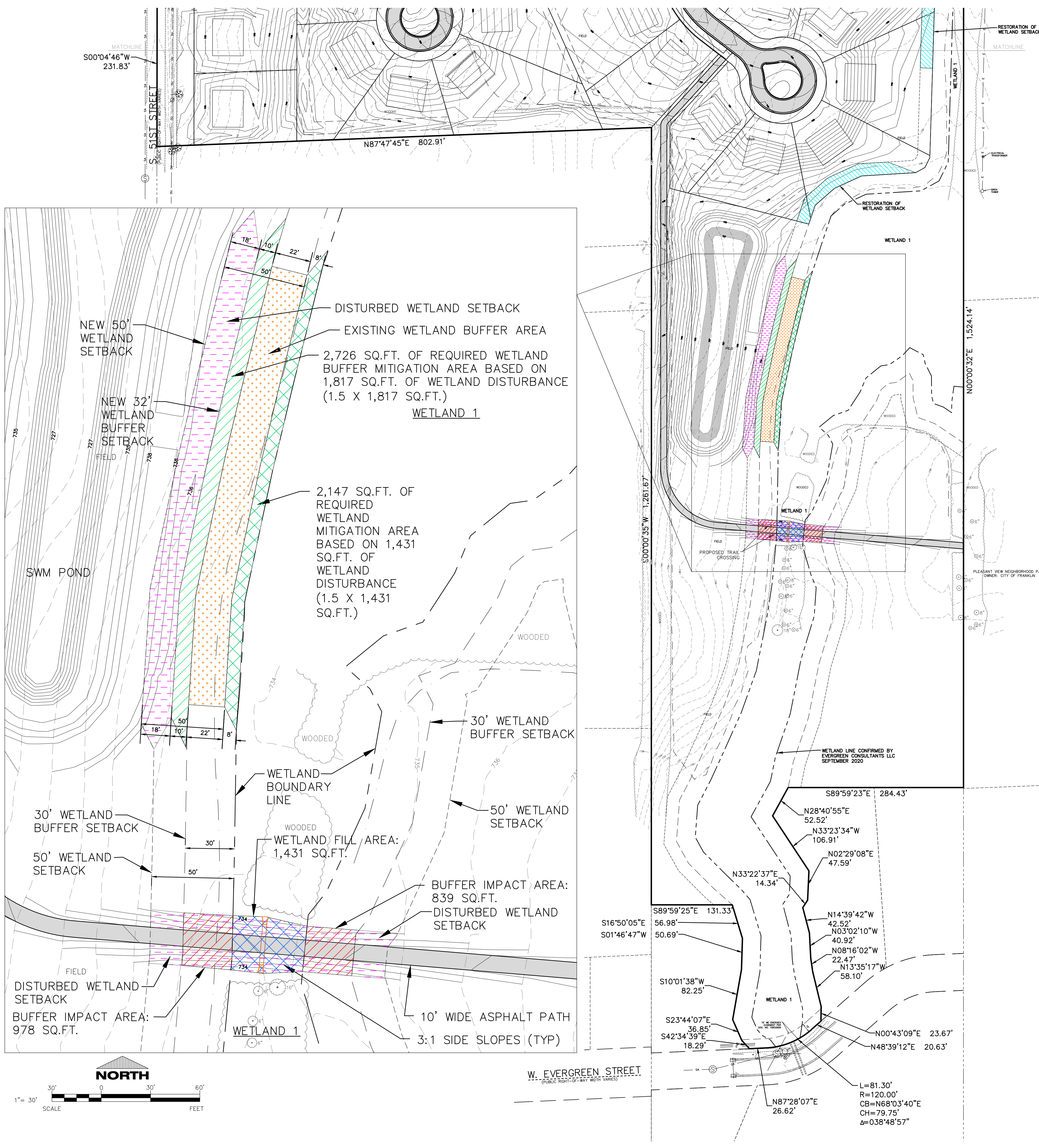


**LEGEND:**

	EXISTING ROUND CATCH BASIN		WOODED AREA
	EXISTING CURB INLET		EXISTING CHAINLINK FENCE
	WATER VALVE IN BOX		EXISTING WOOD FENCE
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	EXISTING SIGN		EXISTING STORM SEWER AND MANHOLE
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	CABLE TV PEDESTAL		EXISTING UNDERGROUND GAS LINE
	UTILITY POLE		EXISTING UNDERGROUND ELECTRIC CABLE
	UTILITY POLE WITH GUY WIRE		EXISTING CURB AND GUTTER
	DECIDUOUS TREE		EXISTING GROUND CONTOUR
	CONIFEROUS TREE		
	SHRUB		
	MONUMENT FOUND		
	3/4" REBAR FOUND		
	1" IRON PIPE FOUND		



**FIGURE 2A**  
SKETCH PLAN - NORTH



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GROSS DENSITY: 2.972

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SETBACKS: FRONT = 30'  
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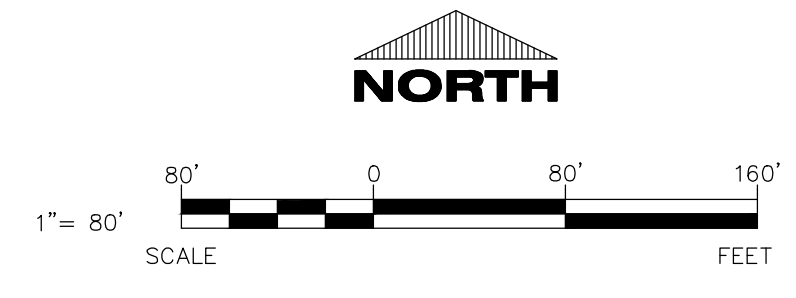
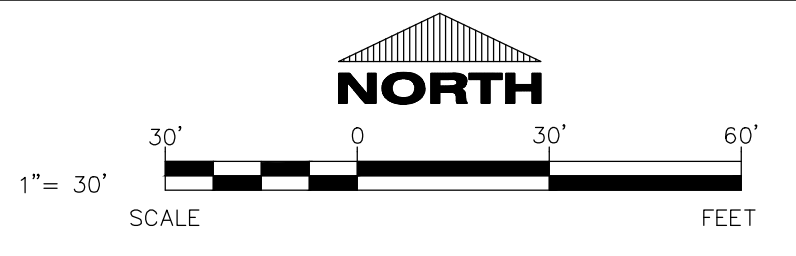
**PROPOSED SITE DATA**

PROJECT SITE (BASE SITE AREA)	AREA (AC)	RATIO
PROJECT SITE (BASE SITE AREA)	38.66	
OUTLOTS (OPEN SPACE)	14.86	38.44%

**NATURAL RESOURCE**

ITEM	TOTAL AREA (SF)
BUFFER IMPACT AREA	1817
WETLAND FILL AREA	1431
WETLAND BUFFER MITIGATION AREA	2726
WETLAND MITIGATION AREA	2147

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  - EXISTING SIGN
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**FIGURE 2B**  
SKETCH PLAN - SOUTH

ARCHITECTS • ENGINEERS • SURVEYORS  
**Always a Better Plan**  
100 Camelot Drive  
Fond Du Lac, WI 54935  
Phone: (920) 926-9800  
www.EXCELENGINEER.com

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**APPENDIX A**  
**SITE INTENSITY & CAPACITY CALCULATIONS**

## Division 15-3.0500. Site Intensity and Capacity Calculations

### § 15-3.0501. Natural Resource Protection and Site Intensity and Capacity Calculations for Residential and Nonresidential Uses Required.

- A. Recognition of Natural Resource Features. This Ordinance recognizes that landforms, parcel size and shape, and natural resource features vary from site to site and that development regulations must take into account these variations. The maximum density or intensity of use allowed in any zoning district is controlled by the various district standards set forth for each of the various zoning districts of this Ordinance.
- B. When Natural Resource Protection and Site Intensity and Capacity Calculations Are Required. Natural resource protection is required for all development and the site intensity and capacity calculations set forth in this Division shall be made for each parcel of land to be used or built upon in the City of Franklin including all new Certified Survey Maps, Preliminary Plats, condominiums, multiple-family residential developments, all nonresidential development, and as may be required elsewhere in this Ordinance except as excluded under the provisions of § 15-3.0501C. of the Unified Development Ordinance.
- C. Exclusions (When Natural Resource Protection and Site Intensity and Capacity Calculations Are Not Required). Natural resource protection shall not be required and the site intensity and capacity calculations set forth in this Division shall not be required for the construction of single-family and two-family residential development located on non-divisible existing lots of record within existing platted Subdivisions (with an approved Final Plat), Certified Survey Maps, and Condominiums existing on August 1, 1998, the effective date of this Ordinance or for which a natural resource protection plan and site intensity capacity calculations were filed at the time of division after August 1, 1998. A Natural Resource Protection Plan shall not be required with an application for certified survey map approval where a single property zoned I-1 Institutional District is divided as a result of a public work of improvement for street extension purposes, with related public sanitary sewer and water work for which special assessment was made, into two or more parcels through the property fee acquisition by the City for the extension of the public street. The foregoing exclusions from Natural Resource Protection Plan submission requirements for certified survey map applications shall only be available upon the conditions that in lieu of the Plan submission requirement, the certified survey map application shall be accompanied by the "best available information" as to the existence of any natural resource features, such as existing topographical maps, wetland inventories, and other such inventories as may be available; and that a Natural Resource Protection Plan must be submitted upon any further development of any portion of the mapped property. A Natural Resource Protection Plan shall also not be required with an application for certified survey map approval where lots are being created from a larger

surrounding parcel, with the larger in area in relation to the lots created remnant parcel being vacant, or already having being developed by the existence of a principal structure and not being the subject of current further development application, and with the only natural resources within the map area being upon the remnant parcel and being more than 500 feet away from the lots being created. The foregoing exclusion from Natural Resource Protection Plan submission requirement for certified survey map applications shall only be available upon the conditions that i) in lieu of the Natural Resource Protection Plan submission requirement, the Certified Survey Map application shall show upon its face the existence of any natural resource features, as identified in § 15-4.0102, located on the parcels of the Certified Survey Map based upon the "best available" information; (ii) that a Natural Resource Protection Plan must be submitted upon

any further development of the "remnant" parcel; and iii) the following note shall be placed upon the face of such Certified Survey Map: "The Natural Resource Features identified herein are not based upon field surveys. In the event of further land division or development of a parcel herein with any such Natural Resource Feature, a complete NRPP with field surveys is required for said parcel" For the purposes of this section, the Zoning Administrator shall not require that the "best available" information be a "first source" of information, as identified in § 15-4.0102A., B., C., D., and G. Notwithstanding any other provision of this Ordinance, natural resource protection and any such related Natural Resource Protection Plan, shall not be required and the site intensity and capacity calculations set forth in this Division shall not be required for any accessory use structure or accessory use development or for an addition or modification to an existing principal structure development which does not increase the existing developed structure and impervious surface area upon the parcel by more than 50% or 2,500 square feet, whichever is smaller, where natural resource feature(s) are not within 100 feet of the area to be disturbed by the new development, upon a parcel supporting an existing principal structure with an existing principal use; determination as to whether natural resource features are within 100 feet of the area to be disturbed, the boundaries of which shall be clearly identified within application materials, shall be made by the City Engineer or designee; however, if any resources identified by the Southeastern Wisconsin Regional Planning Commission in PR 176 or in PR 42, as may be amended from time to time, as Primary or Secondary Environmental Corridor and/or Isolated Natural Resources Area, are located on the site by the City Engineer or designee, but are outside of 100 feet of the area to be disturbed, a written plan shall be provided by the applicant detailing the protective measures that will be implemented to prevent such natural resource feature(s) adverse impacts, which shall be subject to approval by the Plan Commission and shall be installed as may be provided on site as detailed within the plan as a condition of application approval. A Natural Resource Protection Plan (and related requirements, such as the submission of conservation easements, etc.) shall not be required with an application for certified survey map approval for the purpose of providing additional land to an adjoining tax incremental district mixed-use development including industrial and commercial uses, where lots are being created from a parcel or parcels, upon which there exists an established residential dwelling building use, such established use parcel or parcels not being the subject of current further development application, for such remaining established residential dwelling building use parcel or parcels only, provided with regard to such remaining established residential dwelling building use parcel or parcels that: i) in lieu of the Natural Resource Protection Plan submission requirement, the Certified Survey Map application shall show upon its face the existence of any natural resource features, as identified in § 15-4.0102, located on the parcels of the Certified Survey Map based upon the "best available" information; (ii) that a Natural Resource Protection Plan must be submitted upon any further development of the "remaining established residential dwelling building use parcel or parcels"; and iii) the following note shall be placed upon the face of such Certified Survey Map: "The Natural Resource Features identified herein upon lot[s] [number[s]] are not based upon field surveys. In the event of further land division or development of lot[s] [number[s]] with any such Natural Resource Feature, a complete NRPP with field surveys is required for said parcel."

## § 15-3.0502. Calculation of Base Site Area.

The base site area shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in § 15-3.0501 of this Ordinance.

<b>Table 15-3.0502</b>			
<b>Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development</b>			
<b>STEP 1:</b>	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.		38.66 acres
<b>STEP 2:</b>	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	-	0.32 acres
<b>STEP 3:</b>	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	-	0.00 acres
<b>STEP 4:</b>	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	-	0.00 acres
<b>STEP 5:</b>	Equals "Base Site Area"	=	38.34 acres

## § 15-3.0503. Calculation of the Area of Natural Resources to Be Protected.

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the base site area (as defined in § 15-3.0502), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective natural resource protection standard (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site

equals the total resource protection land. The total resource protection land shall be calculated as indicated in Table 15-3.0503.

Table 15-3.0503					
Worksheet for the Calculation of Resource Protection Land					
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u>0.00</u>	<u>0.00</u>
20-30%	0.65	0.75	0.70	X <u>0.00</u>	<u>0.00</u>
+ 30%	0.90	0.85	0.80	X <u>0.00</u>	<u>0.00</u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>0.00</u>	<u>0.00</u>
Young	0.50	0.50	0.50	X <u>0.00</u>	<u>0.00</u>
Lakes & Ponds	1	1	1	X <u>0.00</u>	0.00
Streams	1	1	1	X <u>0.00</u>	0.00
Shore Buffer	1	1	1	X <u>0.00</u>	0.00
Floodplains	1	1	1	X <u>0.00</u>	0.00
Wetland Buffers	1	1	1	X <u>2.32</u>	2.32
Wetlands & Shoreland Wetlands	1	1	1	X <u>3.76</u>	3.76
<b>TOTAL RESOURCE PROTECTION LAND</b> (Total of Acres of Land in Resource Feature to be Protected)					6.08

*Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.*

## § 15-3.0504. Calculation of Site Intensity and Capacity for Residential Uses.

In order to determine the maximum number of dwelling units which may be permitted on a parcel of land zoned in a residential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0504 shall be performed.

<b>Table 15-3.0504</b>		
<b>Worksheet for the Calculation of Site Intensity and Capacity for Residential Development</b>		
<b>STEP 1:</b>	<p><b>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</b></p> <p>Take Base Site Area (from Step 5 in Table 15- 3.0502): <u>38.34</u></p> <p>Multiple by Minimum Open Space Ratio (OSR) (see specific residential zoning district OSR standard): X <u>0.00</u></p> <p>Equals <b>MINIMUM REQUIRED ON-SITE OPEN SPACE</b> =</p>	0.00 acres
<b>STEP 2:</b>	<p><b>CALCULATE NET BUILDABLE SITE AREA:</b></p> <p>Take Base Site Area (from Step 5 in Table 15- 3.0502): <u>38.34</u></p> <p>Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required On-Site Open Space (from Step 1 above), whichever is greater:- <u>6.08</u></p> <p>Equals <b>NET BUILDABLE SITE AREA</b> =</p>	32.26 acres
<b>STEP 3:</b>	<p><b>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</b></p> <p>Take Net Buildable Site Area (from Step 2 above): <u>32.26</u></p> <p>Multiply by Maximum Net Density (ND) (see specific residential zoning district ND standard): X <u>2.972</u></p> <p>Equals <b>MAXIMUM NET DENSITY YIELD OF SITE</b>=</p>	95.88 D.U.s
<b>STEP 4:</b>	<p><b>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</b></p> <p>Take Base Site Area (from Step 5 of Table 15- 3.0502): <u>38.34</u></p> <p>Multiply by Maximum Gross Density (GD) (see specific residential zoning district GD standard): X <u>2.972</u></p> <p>Equals <b>MAXIMUM GROSS DENSITY YIELD OF SITE</b> =</p>	113.95 D.U.s



<b>Table 15-3.0505</b>		
<b>Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development</b>		
<b>STEP 1:</b>	<p><b>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</b></p> <p>Take Base Site Area (from Step 5 in Table 15- 3.0502): _____</p> <p>Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X _____</p> <p>Equals <b>MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE</b> = _____</p>	acres
<b>STEP 2:</b>	<p><b>CALCULATE NET BUILDABLE SITE AREA:</b></p> <p>Take Base Site Area (from Step 5 in Table 15- 3.0502): _____</p> <p>Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: - _____</p> <p>Equals <b>NET BUILDABLE SITE AREA</b> = _____</p>	acres
<b>STEP 3:</b>	<p><b>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</b></p> <p>Take Net Buildable Site Area (from Step 2 above): _____</p> <p>Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X _____</p> <p>Equals <b>MAXIMUM NET FLOOR AREA YIELD OF SITE</b> = _____</p>	acres
<b>STEP 4:</b>	<p><b>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</b></p> <p>Take Base Site Area (from Step 5 of Table 15- 3.0502): _____</p> <p>Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X _____</p> <p>Equals <b>MAXIMUM GROSS FLOOR AREA YIELD OF SITE</b> = _____</p>	acres
<b>STEP 5:</b>	<p><b>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</b></p> <p>Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): _____</p> <p>(Multiple results by 43,560 for maximum floor area in square feet): _____</p>	acres (sf)



**APPENDIX B**  
**TREE SURVEYS**

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# A Notch Above the Rest, LLC

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## WOODLAND NATURAL RESOURCE PROTECTION

**Woodlands and Forests** (mature and young) are defined in Division 15- 11.0100 of the UDO and are to be measured and graphically indicated on the "Natural Resource Protection Plan" to indicate all woodland and forest areas on the property to be developed. The definitions to determine woodland resources required for protection are made as follows:

**Woodland, Mature:** An area or stand of trees whose total combined canopy covers an area of one (1) acre or more and at least fifty (50) percent of which is composed of canopies of trees having a diameter at breast height (DBH) of at least ten (10) inches; or any grove consisting of eight (8) or more individual trees having a DBH of at least twelve (12) inches whose combined canopies cover at least fifty (50) percent of the area encompassed by the grove. However, no trees planted and grown for commercial purposes should be considered mature woodland.

**Woodland, Young:** An area or stand of trees whose total combined canopy covers an area of one-half (0.50) acre or more and at least fifty (50) percent of which is composed of canopies of trees having a diameter at breast height (DBH) of at least three (3) inches.

However, no trees planted and grown for commercial purposes shall be considered young woodland.

## QUALIFIED PROFESSIONAL REVIEW

A field survey of trees for the parcel located South of West Minnesota Avenue to Marquette Avenue, South 49<sup>th</sup> Street to South 51<sup>st</sup> Street was completed on September 16, 2017 and December 18, 2018 by Jason Collins, a Certified Arborist.

Two areas were identified for woodland verification using aerial photos and on site field surveying as required by the city ordinance. Woodland areas meeting the UDO definition are required to be shown on the Natural Resource Protection Plan.

## WOODLAND ANALYSIS AND INSPECTION DETERMINATION

The following factors were used to determine any areas that would require woodland delineation and protection for depiction on the site plan and Natural Resource Protection Plan:

- Aerial photos and on-site review for the presence of trees or woodland areas
- Genus or tree type located on the parcel to be developed


- 
- Tree size or wooded area meeting the ordinance definition
  - The health condition of trees or any woodland if present
  - The general health condition of the understory vegetation

**Site Conditions:** The site was visited during both leaf on and leaf off conditions. Trees meeting the size requirements did not have sufficient canopy cover to qualify as a grove. No mature or young woodlands were present that meet the requirements for protection. Many of the larger trees were either in complete decline or declining due to Emerald Ash Borer, Dutch Elm Disease and condition of the area. The majority of the brush area had sparse declining trees and consisting mostly of common non-native and invasive buckthorn, honey suckle and a few declining apple trees and a few smaller conifer trees that would not be native plant species to the area.

The many down trees had been decaying for some time. Two larger willow trees and a few box elder trees could possibly be protected if outside of the lot grading area but add little to no value as a natural resource. Around the edge at the site there is a significant amount of edge brush piles from past dumping as well as some windblown debris. A second area on the south edge of the property had some possible young woodland qualities but also did not meet the size requirements under city ordinance. Even at stretching the determination, the 50% impact allowed for young woodlands would leave an area that would not provide a significant natural resource under the intent for resource protection.

**Conclusion:** Due to the low quality, inconsistent canopy cover, insufficient size and species identified on-site, it is my professional opinion that no groves, young or mature woodlands exist on the property, which meet the woodland definitions within the city's ordinance. Therefore, the brush outlines indicated on the plans are for informational purposes only and indicate the non-farmed areas containing some level of vegetated growth with sparse trees and non-native trees and brush.

Sincerely,



Jason Collins, Certified Arborist, WI-0726-A  
A Notch Above the Rest, LLC

Note: The developer states they are agreeable to the protection of any existing vegetation or quality trees that would benefit the parcel and if the city's forester determines such need. Prior to site grading protective fencing could be installed as requested by city staff

March 14, 2019

Mr. Rick Przybyla:

This letter serves as a follow up to my 2017 assessment of the woody plant communities on a property at 7501 S. 49<sup>th</sup> Street, Franklin, WI (Tax Key: 7889981001).

Referencing the photo of the property below, neither the green encircled area, nor the tree line outlined in red constitute a young woodland as defined by the City of Franklin. The green encircled 1.2-acre "woody area" was cleared of invasive Tatarian honeysuckle and Common buckthorn shrubs (most less than 3" diameter) to reveal many dead Green ash trees, dead and dying American elm trees, and a few apple trees that collectively have a canopy coverage of approximately 10% - well below 50% to constitute a young woodland. In looking at historical aerial photographs this area appeared to be previously cultivated as an apple orchard and was not historically a woodland area. Per City of Franklin guidelines, remnant commercially grown apple trees would not be counted in determining young woodland.

Similarly, the canopy of the (red encircled) woody area along the property line has a preponderance of invasive Common buckthorn and Tatarian honeysuckle less than 3" diameter. The scattered mature trees on this property line /crop field edge are primarily dead or dying Green Ash and American elm. Existing live trees that exceed 3" diameter comprise much less than 50% canopy. Therefore, this area is also not young woodland as defined in Franklin's guidelines.

I concur with Franklin's efforts to preserve the community's remaining natural woodlands but in my opinion the above-mentioned areas are of low ecological value, and furthermore fail to meet the definition of young woodland.,

Please let me know if you need any further clarification on this matter.

Respectfully,

A handwritten signature in black ink that reads "Tom Zagar". The signature is stylized, with a long horizontal line extending to the right from the end of the name.

Tom Zagar  
ISA Certified Arborist  
WI-0541A



## Pleasant View Development

Tom Riha <TRiha@franklinwi.gov>

Mon 3/4/2019 11:24 AM

To: Joel Dietl <JDietl@franklinwi.gov>

Cc: 'Rick Przybyla' <rickprzybyla@hotmail.com>

Hi Joel,

I had a chance to measure the spruce trees off 49<sup>th</sup> St. on 3/4/19. I found that the trees don't meet the size or quantity necessary to qualify as a grove. Only 3 of the spruce trees measured over 12in. The UDO states 8 or more over 12 are necessary. In regards to the other trees on the property I will stick with my original findings that no mature or young woodlands exist on the property. The fragmentation and small area doesn't meet the criteria for canopy coverage.

Please let me know if you need any further information from me.

Tom Riha

City Forester

ISA- Certified Arborist/Municipal Specialist

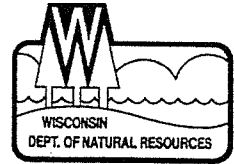


Franklin Logo Final email w text

**APPENDIX C**  
**NAVIGABILITY DETERMINATION**

State of Wisconsin  
DEPARTMENT OF NATURAL  
RESOURCES  
Waukesha Service Center  
141 NW Barstow, Room 180  
Waukesha, WI 53188

Scott Walker, Governor  
Cathy Stepp, Secretary  
Telephone 608-266-2621  
Toll Free 1-888-936-7463  
TTY Access via relay - 711



October 3, 2016

Rick Przybyla  
9244 W. Grandview Ct  
Franklin WI 53132

INF-SE-41-03710

Subject: Navigability Determination

Dear Mr. Przybyla:

This letter follows your request to the Department of Natural Resources (Department) to conduct a navigability determination for a waterway which flows through your property with a tax key number 7889981001, City of Franklin, Milwaukee County. Department staff visited the property on September 7<sup>th</sup>, 2016 and determined the waterway to be **non-navigable**.

In Wisconsin, the Supreme Court has defined a navigable waterway as one which has a defined bed and banks and carries enough water to float a canoe or other watercraft during high periods of water. Based on this definition, the waterway is non-navigable. While the waterway did have defined bed and bank much of it was either too narrow or not deep enough to float a watercraft. My assessment of the waterway included reviewing historic Department documentation and database records, USGS topographic maps and aerial photographs. The field investigation was conducted on September 7<sup>th</sup>, 2016, using standard Department protocol regarding the assessment of physical and biological characteristics.

The waterway in question originates in a wetland complex, flows south through a tree line and under Evergreen Ct. See the attached air photo for the location of the non-navigable waterway.

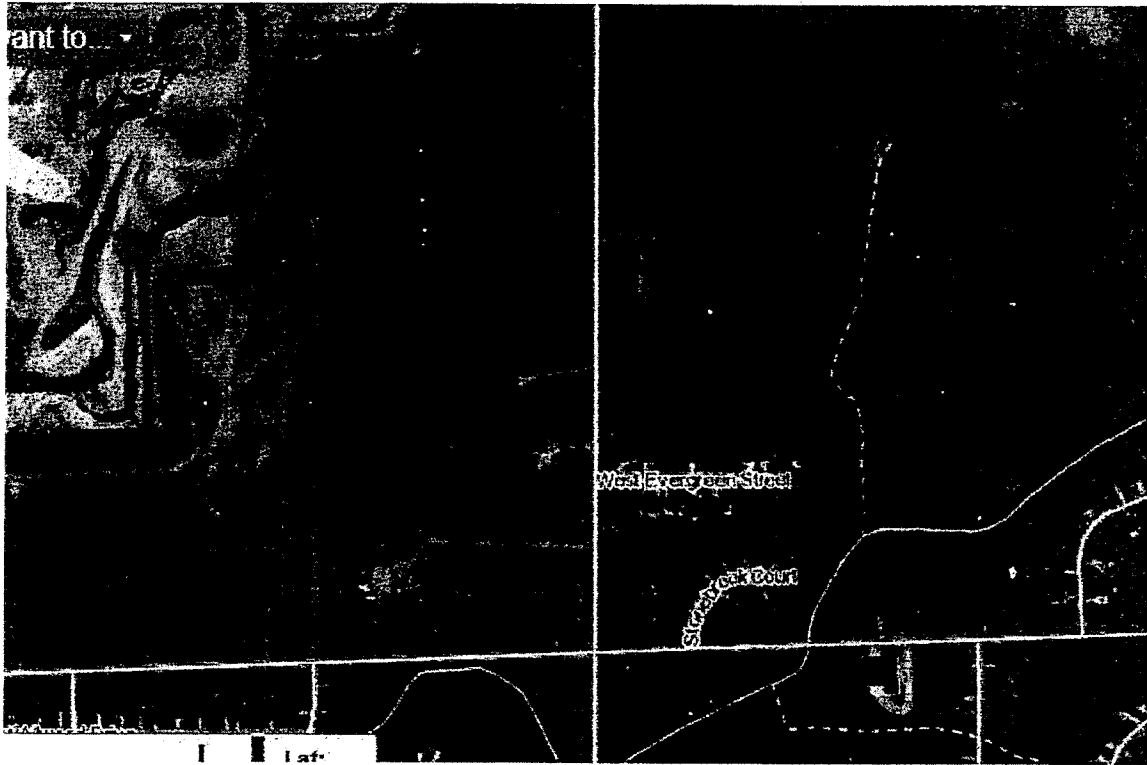
Please contact me if you have any questions.

Sincerely,

Geri Radermacher  
Water Management Specialist

Cc: City of Franklin  
ACOE  
Mike Doble, Lynch & Associates





Non-Navigable tributary to Root River. Site visit 09/07/2016

**APPENDIX D**  
**WETLAND JURISDICTIONAL DETERMINATION & NON-FEDERAL EXEMPTION**

# State of Wisconsin



2017 Assembly Bill 547

Date of enactment: **March 28, 2018**

Date of publication\*: **March 29, 2018**

## 2017 WISCONSIN ACT 183

**AN ACT** *to repeal* 281.36 (3r) (a) 4. and 281.36 (3s); *to renumber and amend* 23.321 (1) and 23.321 (5); *to amend* 20.370 (9) (bm), 23.0917 (4) (c) 3., 23.321 (4) (a) 3., 281.36 (3b) (b), 281.36 (3m) (a), 281.36 (3n) (d) 1., 281.36 (3r) (a) (intro.), 281.36 (4) (title), 281.36 (6) (a) (intro.), 281.36 (9) (a) (intro.) and 281.36 (13m); and *to create* 15.347 (22), 23.099, 23.321 (1) (am), 23.321 (2) (d), 23.321 (4) (a) 4., 23.321 (5) (b), 281.12 (2), 281.36 (3r) (am), 281.36 (4n), 281.36 (12m) and 281.37 of the statutes; **relating to:** the regulation and study of wetlands; grants for wetland projects; and making an appropriation.

*The people of the state of Wisconsin, represented in senate and assembly, do enact as follows:*

**SECTION 1.** 15.347 (22) of the statutes is created to read:

15.347 (22) **WETLAND STUDY COUNCIL.** (a) There is created in the department of natural resources a wetland study council consisting of the following members, appointed for staggered 6-year terms:

1. One member who is a representative of a statewide organization representing the business community.
2. One member who is a representative of a statewide organization representing waterfowl interests.
3. One member who is a representative of a statewide organization representing real estate and development interests.
4. One member who is a representative of a statewide organization representing municipal interests.
5. One member who is a representative of a statewide organization representing rural and agricultural interests.
6. One member who is a representative of a statewide land conservation group with a specific interest in wetlands.

7. One member who is a statewide wetland delineator.
8. One member who is a statewide wetland consultant.
9. One member who is a department of natural resources biologist or hydrologist and who is a wetland expert, appointed by the secretary of natural resources.
  - (b) The wetland study council shall research and develop recommendations on all of the following:
    1. The implementation and effectiveness of statewide wetland mitigation programs.
    2. Program elements that would be necessary for the department of natural resources to implement if the department assumes from the federal government the authority to administer the state's own individual and general permit program for the discharge of dredged or fill material into the navigable waters of the state under s. 281.12 (2).
    3. Issues related to the analysis of practicable alternatives that avoid and minimize the adverse impacts of a discharge into a wetland on wetland functional values

\* Section 991.11, WISCONSIN STATUTES: Effective date of acts. "Every act and every portion of an act enacted by the legislature over the governor's partial veto which does not expressly prescribe the time when it takes effect shall take effect on the day after its date of publication."

and that will not result in any other significant adverse environmental consequences.

4. Storm water management ponds and their potential to serve a role in wetland mitigation.

5. Statewide incentive programs for creating, restoring, and enhancing wetlands.

6. Statewide wetland trainings for department of natural resources staff, wetland consultants, and wetland delineators.

7. The simplification of regulations associated with creating wetlands on farm drainage ditches for the purpose of phosphorus pollution retention.

8. Ways to improve the in lieu fee subprogram of the wetland mitigation program, under s. 281.36 (3r) (e), including subcontracting the management of a program to a nonprofit organization.

9. The possibility of a professional, whose wetland delineation work is assured under the department of natural resources' wetland delineation professional assurance initiative, performing a wetland delineation confirmation under s. 23.321 on behalf of the department.

10. Methods of financing wetland mitigation requirements for local units of government.

11. Any other item related to wetlands at the discretion of the council.

**SECTION 2.** 20.370 (9) (bm) of the statutes, as affected by 2017 Wisconsin Act 59, is amended to read:

20.370 (9) (bm) *Wetland restoration — fees; payments.* From the general fund, all moneys received as surcharge fees under s. 281.36 (11), all moneys received as transfers to the in lieu fee subprogram as provided in s. 281.36 (3s) (h), 2015 stats., and all moneys received under the in lieu fee subprogram under s. 281.36 (3r) (e) for the restoration or creation of wetlands, for the wetland mitigation grant program under s. 281.37. and for any other activities authorized under the in lieu fee subprogram.

**SECTION 3.** 23.0917 (4) (c) 3. of the statutes is amended to read:

23.0917 (4) (c) 3. Grants under ~~s. ss.~~ 23.098 and 23.099.

**SECTION 4.** 23.099 of the statutes is created to read:  
**23.099 Grants for property development relating to wetland mitigation.** (1) In this section:

(a) "Department land" has the meaning given under s. 281.37 (1) (a).

(b) "Nonprofit organization" means an organization that is described in section 501 (c) (3) of the Internal Revenue Code and that is exempt from federal income tax under section 501 (a) of the Internal Revenue Code.

(2) The department shall establish a program to make grants from the appropriation under s. 20.866 (2) (ta) to nonprofit organizations for property development activities relating to wetlands created, restored, or enhanced under a wetland mitigation grant under s. 281.37 on department land. Property development activities for

which a grant under this section may be awarded include those that increase public access to, awareness about, or recreational use of the new, restored, or enhanced wetland, or that improve habitat in, on, or near, the new, restored, or enhanced wetland.

(3) A nonprofit organization that applies for a grant under this section shall submit the application at the same time that it submits an application for a grant under s. 281.37. The department shall make its determination with respect to both grants at the same time, and may only award a grant under this section if it also awards a grant under s. 281.37.

(4) A grant awarded under this section may not exceed 10 percent of the amount of the related grant awarded under s. 281.37. The department may not issue the grant funding under this section to the grantee until the grantee has certified that the project funded by the grant under s. 281.37 is complete.

**SECTION 5.** 23.321 (1) of the statutes is renumbered 23.321 (1) (intro.) and amended to read:

23.321 (1) DEFINITION. (intro.) In this section, "~~wetland~~";

(b) "Wetland" has the meaning given in s. 23.32 (1).

**SECTION 6.** 23.321 (1) (am) of the statutes is created to read:

23.321 (1) (am) "Nonfederal wetland" has the meaning given in s. 281.36 (1) (br).

**SECTION 7.** 23.321 (2) (d) of the statutes is created to read:

23.321 (2) (d) 1. In this paragraph, "qualified 3rd person" means an individual who has completed basic and advanced wetland training and has a minimum of one year of field experience in wetland delineation.

2. A wetland confirmation that consists of a written statement, based upon the department's review of the boundaries of a wetland as delineated by a qualified 3rd person and not based upon an on-site inspection of the land by the department, of whether the department concurs with the delineation. The delineation prepared by the qualified 3rd person shall include the exact location and boundaries of the wetland. The department shall concur with the boundaries of a wetland delineated by a qualified 3rd person unless the department determines that the location and boundaries of the wetland identified in the delineation are not accurate based on maps, aerial photographs, surveys, wetland delineations, or hydrophitic soil conditions. If the department concurs with the boundaries of a wetland delineated by a qualified 3rd person, the department's statement under this paragraph shall also include the exact location and boundaries of the wetland. A wetland confirmation under this paragraph is available only with respect to a nonfederal wetland.

**SECTION 8.** 23.321 (4) (a) 3. of the statutes is amended to read:

23.321 (4) (a) 3. Provide a wetland confirmation not later than 60 days after a person files a request, in the manner and form required by the department, for a wetland confirmation under sub. (2) (c).

**SECTION 9.** 23.321 (4) (a) 4. of the statutes is created to read:

23.321 (4) (a) 4. Provide a wetland confirmation not later than 15 days after a person files a request, in the manner and form required by the department, for a wetland confirmation under sub. (2) (d).

**SECTION 10.** 23.321 (5) of the statutes is renumbered 23.321 (5) (a) and amended to read:

23.321 (5) (a) ~~A~~ Except as provided in par. (b), a wetland identification provided by the department under sub. (2) (b) and a wetland confirmation provided by the department under sub. (2) (c) remain effective for 5 years from the date provided by the department.

**SECTION 11.** 23.321 (5) (b) of the statutes is created to read:

23.321 (5) (b) 1. A wetland identification provided by the department under sub. (2) (b) and a wetland confirmation provided by the department under sub. (2) (c) or (d) remain effective for 15 years from the date provided by the department if all of the following conditions are met:

a. The wetland is a nonfederal wetland.

b. The parcel of land is subject to a storm water management zoning ordinance enacted under s. 59.693, 60.627, 61.354, or 62.234 or a storm water discharge permit issued under s. 283.33.

2. The department may not invalidate or amend an existing wetland delineation, or require a new wetland delineation, for a parcel to which subd. 1. applies until the wetland identification or confirmation expires.

**SECTION 12.** 281.12 (2) of the statutes is created to read:

281.12 (2) The department, on behalf of and at the direction of the governor, may submit an application to the federal environmental protection agency under [33 USC 1344](#) (g) seeking the delegation of authority to this state to administer its own individual and general permit program for the discharge of dredged or fill material into the navigable waters of this state. If the federal environmental protection agency delegates this authority to this state, the department may assume that authority.

**SECTION 13.** 281.36 (3b) (b) of the statutes, as affected by [2017 Wisconsin Acts 58](#) and [115](#), is amended to read:

281.36 (3b) (b) No person may discharge dredged material or fill material into a wetland unless the discharge is authorized by a wetland general permit or individual permit issued by the department under this section or the discharge is exempt under sub. (4), (4m) (a), ~~(4n)~~, or (4r). No person may violate any condition contained in a wetland general or individual permit issued by the department under this section. The department may not

issue a wetland general or individual permit under this section unless it determines that the discharge authorized pursuant to the wetland general or individual permit will comply with all applicable water quality standards.

**SECTION 14.** 281.36 (3m) (a) of the statutes, as affected by [2017 Wisconsin Acts 58](#) and [115](#), is amended to read:

281.36 (3m) (a) *When permit required.* Any person wishing to proceed with a discharge into any wetland shall submit an application for a wetland individual permit under this subsection unless the discharge has been authorized under a wetland general permit as provided in sub. (3g) or is exempt under sub. (4), (4m) (a), ~~(4n)~~, or (4r). Before submitting the application, the department shall hold a meeting with the applicant to discuss the details of the proposed discharge and the requirements for submitting the application and for delineating the wetland. An applicant may include in the application a request for a public informational hearing. The application shall be accompanied by the applicable fee specified in sub. (11) or (12) (a).

**SECTION 15.** 281.36 (3n) (d) 1. of the statutes, as affected by [2017 Wisconsin Act 118](#), is amended to read:

281.36 (3n) (d) 1. Except as provided in subd. 2., the department shall require mitigation under the program established under sub. (3r) for wetland individual permits it issues under this subsection and for a discharge that is exempt from permitting requirements under sub. (4n) (b) that affects more than 10,000 square feet of wetland or under sub. (4n) (c) that affects more than 1.5 acres of wetland. This subsection does not entitle an applicant to a wetland individual permit or any other approval in exchange for conducting mitigation.

**SECTION 16.** 281.36 (3r) (a) (intro.) of the statutes is amended to read:

281.36 (3r) (a) (intro.) The department shall establish a mitigation program that applies only to the issuance of wetland individual permits ~~and that allows and, with respect to a discharge that is exempt from permitting requirements under sub. (4n) (b) that affects more than 10,000 square feet of wetland or under sub. (4n) (c) that affects more than 1.5 acres of wetland, the portion of the affected wetland that exceeds 10,000 square feet or 1.5 acres, respectively.~~ Under the mitigation program, subject to par. (am), the department shall allow mitigation to be accomplished by any of the following methods:

**SECTION 17.** 281.36 (3r) (a) 4. of the statutes is repealed.

**SECTION 18.** 281.36 (3r) (am) of the statutes is created to read:

281.36 (3r) (am) For a discharge that is exempt from permitting requirements under sub. (4n) (b) or (c), any off-site mitigation, including any mitigation conducted by a mitigation bank or under the in lieu fee subprogram, shall be completed within the same compensation search

area, as defined by the department by rule, as the discharge.

**SECTION 19.** 281.36 (3s) of the statutes is repealed.

**SECTION 20.** 281.36 (4) (title) of the statutes is amended to read:

281.36 (4) (title) EXEMPTIONS; CERTAIN ACTIVITIES.

**SECTION 21.** 281.36 (4n) of the statutes is created to read:

281.36 (4n) EXEMPTIONS; CERTAIN NONFEDERAL WETLANDS AND ARTIFICIAL WETLANDS. (a) In this subsection:

1. "Artificial wetland" means a landscape feature where hydrophitic vegetation may be present as a result of human modification to the landscape or hydrology and for which the department has no definitive evidence showing a prior wetland or stream history that existed before August 1, 1991, but does not include any of the following:

a. A wetland that serves as a fish spawning area or a passage to a fish spawning area.

b. A wetland created as a result of a mitigation requirement under sub. (3r).

2. "Definitive evidence" means documentary evidence such as any of the following:

a. Maps.

b. Aerial photographs.

c. Surveys that use a scale of not more than 100 feet per inch.

d. Wetland delineations.

3. "Rare and high quality wetland" means a wetland that is directly adjacent or contiguous to a class I or class II trout stream or that consists of 75 percent or more of any of the following wetland types:

a. Alder thicket.

b. Calcareous fen.

c. Coniferous swamp.

d. Coniferous bog.

e. Floodplain forest.

f. Hardwood swamp.

g. Interdunal wetland.

h. Open bog.

i. Ridge and swail complex.

j. Deep marsh.

k. Sedge meadow.

4. "Sewerage system" has the meaning given in s. 281.01 (14).

5. "Urban area" means any of the following:

a. An incorporated area.

b. An area within one-half mile of an incorporated area.

c. An area in a town that is served by a sewerage system.

(b) Subject to par. (e), the permitting requirement under sub. (3b) does not apply to any discharge into a nonfederal wetland that occurs in an urban area and to which all of the following apply:

1. The discharge does not affect more than one acre of wetland per parcel.

2. The discharge does not affect a rare and high quality wetland.

3. The development related to the discharge is carried out in compliance with any applicable storm water management zoning ordinance enacted under s. 59.693, 60.627, 61.354, or 62.234 or storm water discharge permit issued under s. 283.33.

(c) Subject to par. (e), the permitting requirement under sub. (3b) does not apply to any discharge into a nonfederal wetland that occurs outside an urban area and to which all of the following apply:

1. The discharge does not affect more than 3 acres of wetland per parcel.

2. The discharge does not affect a rare and high quality wetland.

3. The development related to the discharge is a structure, such as a building, driveway, or road, with an agricultural purpose.

(d) Subject to par. (e), the permitting requirement under sub. (3b) does not apply to any discharge into an artificial wetland.

(e) 1. A person who proposes a project that may affect a wetland or landscape feature under par. (b), (c), or (d) shall notify the department no fewer than 15 working days before initiating the project. The notice shall include one of the following to show that the wetland or landscape feature is eligible for the relevant exemption:

a. A statement issued by a professional who has investigated the wetland and who is qualified to give such an opinion.

b. A wetland delineation prepared by a qualified professional showing the exact location and boundaries of the wetland.

2. Except as provided in subd. 3., if the department receives the notice and information required under subd. 1., the department shall presume that the wetland or landscape feature is eligible for the exemption unless the department, within 15 working days after receiving notification of the proposed project under subd. 1., notifies the person that one of the following conditions applies:

a. The eligibility requirements are not met.

b. The location and boundaries of the wetland identified in a wetland delineation included with the notification under subd. 1. are not accurate.

c. With respect to an exemption under par. (d) only, the department determines that the landscape feature is providing significant functions that either protect adjacent or downstream property or infrastructure from flooding or significantly improve the water quality of an adjacent or downstream water body.

3. If the department receives the notice and information required under subd. 1. but is unable to determine based on that information whether the eligibility require-

ments are met, the department may, within 15 working days after the notification under subd. 1., notify the person one time to request additional information about the parcel of land. The person shall cooperate with the department's efforts to obtain information about the relevant parcel of land and may proceed with the project only upon notification that the department has determined the landscape feature to be eligible for the exemption based on the definitive evidence.

4. If, within 15 working days after the notification is delivered to the department, the department notifies the person that subd. 2. a., b., or c. applies, the person may not proceed with the project unless authorized by, or otherwise exempted from, a wetland general or individual permit under this section.

**SECTION 22.** 281.36 (6) (a) (intro.) of the statutes, as affected by [2017 Wisconsin Act 115](#), is amended to read:

281.36 (6) (a) (intro.) The department shall promulgate rules to interpret and implement the provisions under subs. (4), [\(4n\)](#), (4r), and (5). In promulgating these rules, the department shall do all of the following:

**SECTION 23.** 281.36 (9) (a) (intro.) of the statutes, as affected by [2017 Wisconsin Act 115](#), is amended to read:

281.36 (9) (a) (intro.) For purposes of determining whether to issue a wetland individual permit, whether authorization to proceed as authorized under a wetland general permit is appropriate, or whether an exemption under sub. (4), [\(4n\)](#), or (4r) is appropriate, and for purposes of enforcing this section, any employee or other representative of the department, upon presenting his or her credentials, may do any of the following:

**SECTION 24.** 281.36 (12m) of the statutes is created to read:

281.36 (12m) LOCAL REGULATION OF NONFEDERAL OR ARTIFICIAL WETLANDS. A local government may not enact an ordinance or adopt a resolution regulating a matter regulated under sub. (3n) (d) 1. or (3r) (a) (intro.) or (am), with respect to a discharge exempt from permitting requirements under sub. (4n) (b) or (c), or a matter regulated under sub. (4n). If a local government has in effect on the effective date of this subsection .... [LRB inserts date], an ordinance or resolution regulating nonfederal wetlands or artificial wetlands, the ordinance or resolution does not apply and may not be enforced.

**SECTION 25.** 281.36 (13m) of the statutes is amended to read:

281.36 (13m) REPORT TO LEGISLATURE. No later than January 31, 2003, and no later than January 31 of each subsequent odd-numbered year, the department shall submit to the legislature under s. 13.172 (2) a report that provides an analysis of the impact of the implementation of mitigation on wetland resources and on the issuance of permits or other approvals under ss. 59.692, 61.351, 61.353, 62.231, 62.233, 87.30, 281.11 to 281.47 or 281.49 to 281.85 or ch. 30, 31, 283, 289, 291, 292, 293, 295, or 299. The department shall include in its report a

discussion of proposals and projects under the property development grant program under s. 23.099.

**SECTION 26.** 281.37 of the statutes is created to read:  
**281.37 Wetland mitigation grant program.** (1) In this subsection:

(a) "Department land" means land owned by or under easement to the state that is under the jurisdiction of the department and used for one of the purposes specified in s. 23.09 (2) (d).

(b) "Mitigation program" means the wetland mitigation grant program established under sub. (2).

(c) "Nonprofit organization" means an organization that is described in section 501 (c) (3) of the Internal Revenue Code and that is exempt from federal income tax under section 501 (a) of the Internal Revenue Code.

(2) The department shall establish a wetland mitigation grant program under which it awards grants to nonprofit organizations to conduct projects to create, restore, or enhance wetlands under the in lieu fee subprogram in s. 281.36 (3r) (e) on department land as provided in this subsection.

(3) No later than 6 months after the effective date of this subsection .... [LRB inserts date], the department shall identify department land that is appropriate to include in the mitigation program. The department shall identify no less than 25 percent of department land for this purpose. The land identified shall include land in every watershed in the state.

(4) (a) No later than 3 months after completion of the land identification stage under sub. (3) or at the beginning of the following fiscal year, whichever is earlier, and no later than July 1 of each subsequent year, the department shall issue a request for proposals from nonprofit organizations for grants to conduct wetland mitigation projects on department land identified under sub. (3). The issuance of each new request for proposal begins a new grant cycle.

(b) The department shall require applications for grants under this section to include all of the following:

1. The scope of the proposed project.

2. A project timeline.

3. If possible, a specification of the functional values or uses listed in s. NR 103.03 (1), Wis. Adm. Code, that the project area does not provide or only sparsely provides.

4. A specification of the functional values or uses listed in s. NR 103.03 (1), Wis. Adm. Code, that the proposed project would create, restore, or enhance.

5. All information required to be submitted for approval to the U.S. army corps of engineers under [33 CFR part 332](#) and the Wisconsin Wetland Conservation Trust program instrument.

(c) After issuing the request for proposals under par. (a), the department shall accept grant applications on a rolling basis over the course of a fiscal year. The department shall select and announce grant recipients under this

subsection at the end of each quarter as funds are available.

(5) (a) If an application under sub. (4) is approved, the grantee and the department, in consultation, shall identify all department permits required for the grantee to conduct the project. The department shall waive all permit fees for the grantee in relation to department permits required to conduct the project.

(b) Notwithstanding timelines otherwise established for individual permits, within 60 days of receiving the grantee's application for an individual permit that is required to conduct the project, the department shall render a decision issuing, denying, or modifying the permit, and the department shall adjust all other deadlines relating to the review of the application accordingly.

(7) (a) The department shall pay out a grant under the mitigation program quarterly unless the department determines that more frequent payments are necessary to fulfill the objectives of the grant program. The department shall withhold the final payment until the grantee certifies that the project is complete.

(b) If the grantee fails to certify that the project is complete by the date indicated for completion in its application, the department shall use the remaining unpaid grant amount to either complete the project or contract with or issue a grant to another nonprofit organization to complete the project. An organization that fails to certify completion of a project by the date indicated in its application for completion is not eligible for a new grant under the mitigation program for 2 grant cycles.

(c) The department may agree to a modified deadline for the project if unusual or unforeseen circumstances cause a delay. If the department agrees to a modified deadline, the consequences under par. (b) apply only if the grantee fails to certify that a project is complete by the date indicated in that agreement.

(8) Before 6 months have elapsed after the 5th anniversary of the department's first issuance of a request for proposals under sub. (4), the department shall submit to the legislature under s. 13.172 (2) a report analyzing the effectiveness of the first 5 years of the mitigation program and making recommendations for changes to the program.

#### **SECTION 27. Nonstatutory provisions.**

(1) FEDERAL REVIEW OF MITIGATION PROJECTS. The department of natural resources may submit a request to the U.S. army corps of engineers that the U.S. army corps of engineers move up all deadlines relating to its review and approval of wetland mitigation project proposals under the in lieu fee subprogram under section 281.36 (3r) of the statutes so that the time it takes for the U.S.

army corps of engineers to approve such a proposal is shortened. The department of natural resources may submit a request to the U.S. army corps of engineers to approve a modification to the Wisconsin Wetland Conservation Trust program instrument in order to implement the mitigation grant program established under section 281.37 of the statutes.

(2) APPOINTMENT OF MEMBERS OF WETLAND STUDY COUNCIL. The governor shall appoint the members of the wetland study council under section 15.347 (22) (a) 1. to 8. of the statutes and the secretary of natural resources shall appoint the member of the wetland study council under section 15.347 (22) (a) 9. of the statutes no later than 6 months after the effective date of this subsection.

(3) INITIAL TERMS FOR WETLAND STUDY COUNCIL MEMBERS. Notwithstanding section 15.347 (22) of the statutes, of the members of the wetland study council who are appointed as initial members, 3 members shall serve for a 2-year term and 3 members shall serve for a 4-year term.

#### **SECTION 28. Initial applicability.**

(1) NONFEDERAL WETLAND DELINEATIONS.

(a) Except as provided in paragraph (b), the renumbering and amendment of section 23.321 (1) and (5) of the statutes and the creation of section 23.321 (1) (am) and (5) (b) of the statutes first apply to a wetland identification provided by the department of natural resources under section 23.321 (2) (b) of the statutes and a wetland confirmation provided by the department of natural resources under section 23.321 (2) (c) of the statutes for a nonfederal wetland on January 1, 2003.

(b) The renumbering and amendment of section 23.321 (1) and (5) of the statutes and the creation of section 23.321 (1) (am) and (5) (b) of the statutes first apply to a wetland identification and wetland confirmation under paragraph (a) even if the wetland identification or wetland confirmation expired prior to the effective date of this paragraph unless a more recent wetland identification or wetland confirmation was provided by the department of natural resources showing a wetland on the parcel and a discharge was carried out in the wetland in compliance with a permit under section 281.36 of the statutes prior to the effective date of this paragraph.

**SECTION 29. Effective dates.** This act takes effect on the day after publication, except as follows:

(1) PERMIT EXEMPTIONS FOR CERTAIN NONFEDERAL WETLANDS AND ARTIFICIAL WETLANDS. The treatment of section 281.36 (3b) (b), (3m) (a), (3n) (d) 1., (3r) (a) (intro.) and (am), (4) (title), (4n), (6) (a) (intro.), and (9) (a) (intro.) of the statutes takes effect on July 1, 2018.





DEPARTMENT OF THE ARMY  
U.S. ARMY CORPS OF ENGINEERS, ST. PAUL DISTRICT  
180 FIFTH STREET EAST, SUITE 700  
ST. PAUL, MN 55101-1678

October 27, 2020

Regulatory File No. 2020-01931-MHK

Shyann Banker  
Evergreen Consultants LLC  
2918 Van Hoof Road  
Green Bay, Wisconsin 54313

Dear Ms. Banker:

This letter regards an approved jurisdictional determination for the property located at 7475 S. 49<sup>th</sup> Street in the City of Franklin. The site is in Section 11, Township 5 North, Range 21 East, Milwaukee County, Wisconsin. The review area for our jurisdictional determination for Wetland 1 and 2 is identified on the enclosed figures labeled, 2020-01931-MHK Figure 1 and 2.

The review area contains no waters of the United States subject to Corps of Engineers (Corps) jurisdiction. Therefore, you are not required to obtain Department of the Army authorization to discharge dredged or fill material within this area. The rationale for this determination is provided in the enclosed Approved Jurisdictional Determination form. This determination is only valid for the review area described. You are also cautioned that the area of waters described on the enclosed Jurisdictional Determination form is approximate and is not based on a precise delineation of aquatic resources.

If you object to this approved jurisdictional determination, you may request an administrative appeal under Corps regulations at 33 CFR 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination, you must submit a completed RFA form to the Mississippi Valley Division Office at the address shown on the form.

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR 331.5, and that it has been received by the Division Office within 60 days of the date of the enclosed NAP. It is not necessary to submit an RFA form to the division office if you do not object to the determination in this letter.

This approved jurisdictional determination may be relied upon for five years from the date of this letter. However, the Corps reserves the right to review and revise the determination in response to changing site conditions, information that was not considered during our initial review, or off-site activities that could indirectly alter the extent of wetlands and other resources on-site. This determination may be renewed at the end of the five year period provided you submit a written request and our staff are able to verify that the limits established during the original determination are still accurate.

If you have any questions, please contact me in our Brookfield office at (651) 290-5733 or Marie.H.Kopka@usace.army.mil. In any correspondence or inquiries, please refer to the Regulatory file number shown above.

Sincerely,

A handwritten signature in cursive script, appearing to read "Marie H. Kopka".

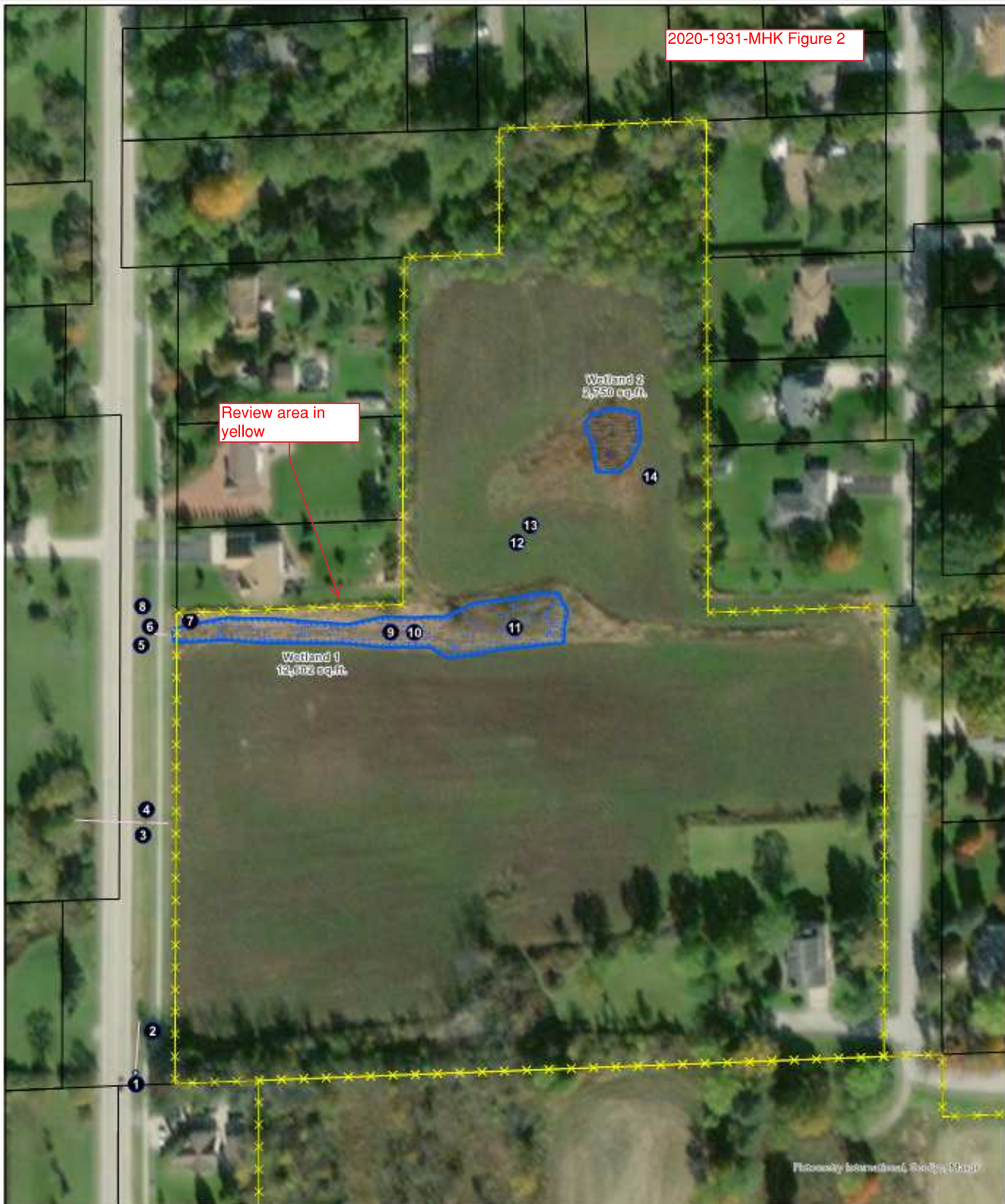
Marie H. Kopka  
Lead Project Manager

Regulatory Branch (File No. 2020-01931-MHK)

Enclosures

Cc: Ryan Pappas, Wisconsin DNR  
Ben LaCount, Evergreen





Review area in yellow

Wetland 2  
2,750 sq.ft.

Wetland 1  
12,402 sq.ft.

Legend

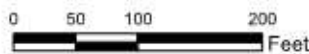
- Site Boundary
- Picture Location
- Wetland Line
- Wetland
- Catch Basin
- Culvert
- Parcels

Note: Wetlands Delineated by Alice Thompson, October 31, 2017 and mapped by Metropolitan Survey Service, Inc.

Marquette Ave North  
Wetland Map  
7475 S 49th Street  
City of Franklin  
Milwaukee County, WI



Project: MIL20-016-06



2018 Van Hooft Road • Green Bay, WI 54313  
Phone: 920.615.0019 • Website: [www.evergreenwis.com](http://www.evergreenwis.com)



**U.S. ARMY CORPS OF ENGINEERS  
REGULATORY PROGRAM  
APPROVED JURISDICTIONAL DETERMINATION FORM (INTERIM)  
NAVIGABLE WATERS PROTECTION RULE**

**I. ADMINISTRATIVE INFORMATION**

Completion Date of Approved Jurisdictional Determination (AJD): 10/27/2020  
 ORM Number: MVP-2020-01931-MHK (Wetland 1, 2)  
 Associated JDs: N/A  
 Review Area Location<sup>1</sup>: State/Territory: WI City: Franklin County/Parish/Borough: Milwaukee  
 Center Coordinates of Review Area: Latitude 42.909788 Longitude -87.978141

**II. FINDINGS**

**A. Summary:** Check all that apply. At least one box from the following list MUST be selected. Complete the corresponding sections/tables and summarize data sources.

- The review area is comprised entirely of dry land (i.e., there are no waters or water features, including wetlands, of any kind in the entire review area). Rationale: N/A or describe rationale.
- There are “navigable waters of the United States” within Rivers and Harbors Act jurisdiction within the review area (complete table in Section II.B).
- There are “waters of the United States” within Clean Water Act jurisdiction within the review area (complete appropriate tables in Section II.C).
- There are waters or water features excluded from Clean Water Act jurisdiction within the review area (complete table in Section II.D).

**B. Rivers and Harbors Act of 1899 Section 10 (§ 10)<sup>2</sup>**

§ 10 Name	§ 10 Size		§ 10 Criteria	Rationale for § 10 Determination
N/A.	N/A.	N/A.	N/A.	N/A.

**C. Clean Water Act Section 404**

Territorial Seas and Traditional Navigable Waters ((a)(1) waters): <sup>3</sup>				
(a)(1) Name	(a)(1) Size		(a)(1) Criteria	Rationale for (a)(1) Determination
N/A.	N/A.	N/A.	N/A.	N/A.

Tributaries ((a)(2) waters):				
(a)(2) Name	(a)(2) Size		(a)(2) Criteria	Rationale for (a)(2) Determination
N/A.	N/A.	N/A.	N/A.	N/A.

Lakes and ponds, and impoundments of jurisdictional waters ((a)(3) waters):				
(a)(3) Name	(a)(3) Size		(a)(3) Criteria	Rationale for (a)(3) Determination
N/A.	N/A.	N/A.	N/A.	N/A.

Adjacent wetlands ((a)(4) waters):				
(a)(4) Name	(a)(4) Size		(a)(4) Criteria	Rationale for (a)(4) Determination
N/A.	N/A.	N/A.	N/A.	N/A.

<sup>1</sup> Map(s)/figure(s) are attached to the AJD provided to the requestor.

<sup>2</sup> If the navigable water is not subject to the ebb and flow of the tide or included on the District's list of Rivers and Harbors Act Section 10 navigable waters list, do NOT use this document to make the determination. The District must continue to follow the procedure outlined in 33 CFR part 329.14 to make a Rivers and Harbors Act Section 10 navigability determination.

<sup>3</sup> A stand-alone TNW determination is completed independently of a request for an AJD. A stand-alone TNW determination is conducted for a specific segment of river or stream or other type of waterbody, such as a lake, where upstream or downstream limits or lake borders are established. A stand-alone TNW determination should be completed following applicable guidance and should NOT be documented on the AJD Form.



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**D. Excluded Waters or Features**

Excluded waters ((b)(1) – (b)(12)): <sup>4</sup>				
Exclusion Name	Exclusion Size		Exclusion <sup>5</sup>	Rationale for Exclusion Determination
Wetland 1 Wetland 2	0.29 0.06	acre(s)	(b)(1) Non-adjacent wetland.	Wetland 1 and 2 do not abut one point or side of an (a)(1)-(3) water. Wetland 2 is within a depressional basin surrounded by upland with no inlets/outlets. Wetland 1 does outlet into a roadside ditch to the west; however, the ditch is not an (a)(1)-(3) water. Based on the U.S. Geological Survey, aerial photos, site photos, and FEMA map, these wetlands would not be flooded by an (a)(1)-(3) water in a typical year. There is no natural or artificial berm, bank, dune or similar feature that is physically separating these wetlands from an (a)(1)-(3) water. The closest (a)(1)-(3) water is the East Branch Root River approximately 2860 linear feet to the south.

**III. SUPPORTING INFORMATION**

**A. Select/enter all resources** that were used to aid in this determination and attach data/maps to this document and/or references/citations in the administrative record, as appropriate.

Information submitted by, or on behalf of, the applicant/consultant: [Thompson & Associates Wetland Delineation Report dated 10-31-2017](#)

This information is sufficient for purposes of this AJD.

Rationale: [N/A](#)

Data sheets prepared by the Corps: [Title\(s\) and/or date\(s\)](#).

Photographs: [Aerial and Other: 2019 \(Google Earth Street View\); 2017, 2015, 2013, 2010, 2008, 2006, 2005, 2002, 2001, 2000, 1999, 1998, 1997, 1996, 1995 \(NAIP and FSA in delineation report\); 2017 \(site photos from delineation report and JD request\)](#).

Corps site visit(s) conducted on: [Date\(s\)](#).

Previous Jurisdictional Determinations (AJDs or PJDs): [ORM Number\(s\) and date\(s\)](#).

Antecedent Precipitation Tool: [provide detailed discussion in Section III.B.](#)

USDA NRCS Soil Survey: [Milwaukee County](#)

USFWS NWI maps: [provided within JD request](#)

USGS topographic maps: [1:24K WI-Greendale](#)

**Other data sources used to aid in this determination:**

Data Source (select)	Name and/or date and other relevant information
<a href="#">USGS Sources</a>	<a href="#">N/A.</a>
<a href="#">USDA Sources</a>	<a href="#">N/A.</a>
<a href="#">NOAA Sources</a>	<a href="#">N/A.</a>

<sup>4</sup> Some excluded waters, such as (b)(2) and (b)(4), may not be specifically identified on the AJD form unless a requestor specifically asks a Corps district to do so. Corps districts may, in case-by-case instances, choose to identify some or all of these waters within the review area.

<sup>5</sup> Because of the broad nature of the (b)(1) exclusion and in an effort to collect data on specific types of waters that would be covered by the (b)(1) exclusion, four sub-categories of (b)(1) exclusions were administratively created for the purposes of the AJD Form. These four sub-categories are not new exclusions, but are simply administrative distinctions and remain (b)(1) exclusions as defined by the NWPR.



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Data Source (select)	Name and/or date and other relevant information
<a href="#">USACE Sources</a>	N/A.
<a href="#">State/Local/Tribal Sources</a>	<a href="#">Wisconsin DNR Surface Water Data Viewer</a> ; <a href="#">Wisconsin Wetland Inventory</a>
<a href="#">Other Sources</a>	<a href="#">FEMA map</a> ; <a href="#">Milwaukee County 1-foot contour map provided with request</a>

**B. Typical year assessment(s):** [N/A](#)

**C. Additional comments to support AJD:** [N/A](#)

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND  
REQUEST FOR APPEAL**

<b>Applicant:</b> Evergreen Consultants LLC (Shyann Banker)		<b>File No.:</b> 2020-01931-MHK	<b>Date:</b> October 27, 2020
Attached is:			See Section below
	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)		A
	PROFFERED PERMIT (Standard Permit or Letter of permission)		B
	PERMIT DENIAL		C
X	APPROVED JURISDICTIONAL DETERMINATION		D
	PRELIMINARY JURISDICTIONAL DETERMINATION		E

**SECTION I -** The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://usace.army.mil/inet/functions/cw/cecwo/reg> or Corps regulations at 33 CFR Part 331.

**A: INITIAL PROFFERED PERMIT:** You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

**B: PROFFERED PERMIT:** You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

**C: PERMIT DENIAL:** You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

**D: APPROVED JURISDICTIONAL DETERMINATION:** You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

**E: PRELIMINARY JURISDICTIONAL DETERMINATION:** You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.



**SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT**

**REASONS FOR APPEAL OR OBJECTIONS:** (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

**ADDITIONAL INFORMATION:** The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

**POINT OF CONTACT FOR QUESTIONS OR INFORMATION:**

If you have questions regarding this decision and/or the appeal process you may contact:

Marie Kopka  
U.S. Army Corps of Engineers  
250 Sunnyslope Road, Suite 296  
Brookfield, Wisconsin 53005

651-290-5733

If you only have questions regarding the appeal process you may also contact the Division Engineer through:

Administrative Appeals Review Officer  
Mississippi Valley Division  
P.O. Box 80 (1400 Walnut Street)  
Vicksburg, MS 39181-0080  
601-634-5820 FAX: 601-634-5816

**RIGHT OF ENTRY:** Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

\_\_\_\_\_  
Signature of appellant or agent.

Date:

Telephone number:

## Lisa Van Handel

---

**From:** Ben LaCount <ben@evergreenwis.com>  
**Sent:** Monday, November 23, 2020 4:07 PM  
**To:** Grant Duchac  
**Subject:** Fwd: Marquette Ave North, Non-Federal Wetland Exemption Request-HOLD, City of Franklin, Milwaukee County  
**Attachments:** \_4286.pdf

{EXTERNAL EMAIL}

Here is the letter we discussed. Let me know if you have any questions.  
Thanks,

Benjamin J. LaCount  
PLS, Planner  
WI Professionally Assured Wetland Delineator  
920-265-4105  
[ben@evergreenwis.com](mailto:ben@evergreenwis.com)



2918 Van Hoof Road  
Green Bay, WI 54313

----- Forwarded message -----

**From:** Pappas, Ryan J - DNR <[Ryan.Pappas@wisconsin.gov](mailto:Ryan.Pappas@wisconsin.gov)>  
**Date:** Mon, Nov 23, 2020 at 4:01 PM  
**Subject:** Marquette Ave North, Non-Federal Wetland Exemption Request-HOLD, City of Franklin, Milwaukee County  
**To:** [mcudney@veridianhomes.com](mailto:mcudney@veridianhomes.com) <[mcudney@veridianhomes.com](mailto:mcudney@veridianhomes.com)>, [shyann@evergreenwis.com](mailto:shyann@evergreenwis.com) <[shyann@evergreenwis.com](mailto:shyann@evergreenwis.com)>, [ben@evergreenwis.com](mailto:ben@evergreenwis.com) <[ben@evergreenwis.com](mailto:ben@evergreenwis.com)>, Pearce, Thomas K - DNR <[Thomas.Pearce@wisconsin.gov](mailto:Thomas.Pearce@wisconsin.gov)>, Nedland, Thomas S - DNR <[Thomas.Nedland@wisconsin.gov](mailto:Thomas.Nedland@wisconsin.gov)>, Brown, Joshua A - DNR <[JoshuaA.Brown@wisconsin.gov](mailto:JoshuaA.Brown@wisconsin.gov)>

Good Afternoon Shyann, Ben and Matt,

Thank you for submitting a non-federal wetland exemption request for a wetland area in the City of Franklin. I hope you are doing well. I have reviewed your non-federal wetland exemption request - urban track (**EXE-SE-2020-41-03780**) in the City of Franklin, Milwaukee County which will be impacting 0.352 acres of rudimentary fresh wet meadow wetland on a parcel. Non-federal wetland impacts between 10,000 square feet and 1 acre per parcel are eligible for the exemption, but require the purchase of wetland mitigation credits to compensate for the wetland losses. The review of your application will be placed on HOLD, until the mitigation requirement as described below has been satisfied. These credits may only be held available for you for a specific period of time, and cannot be guaranteed if this requirement isn't satisfied in a timely manner. More details will follow. These impacts will require the following wetland mitigation requirements:

Total non-federal wetland impact = 15,352 square feet – 10,000 square feet (non-federal reduction) = 5,352 square feet (0.12 acres)

**0.12 square feet X 1.45: 1 ratio = 0.17 mitigation credits required**

Wisconsin DNR has determined that mitigation for the above mentioned wetland impact located in the City of Franklin, Milwaukee County, NW ¼ of the SE ¼ section 11 Township 5N Range 21E, will be accomplished through the purchase of Wisconsin Wetland Conservation Trust (WWCT)(In-Lieu Fee program) mitigation credits. This was determined as there are no private wetland mitigation banks credits available in the SW Lake Michigan service area, and there is ILF credits available within this service area.

Wetland Conservation Trust Credits:

Please contact the Wisconsin DNR Wetland Conservation Trust Program (Tom Pearce, 608-264-8554, [Thomas.Pearce@wisconsin.gov](mailto:Thomas.Pearce@wisconsin.gov) ) and purchase the following credits to satisfy this mitigation requirement:

**0.12 acres X 1.45: 1 ratio = 0.17 mitigation credits**

To help facilitate these purchases, Tom Pearce (DNR Wetland Conservation Trust Program) has been copied on this email.

Once you receive an affidavit of purchase from the ILF Program, please forward that information to Tom Nedland and I. Please note that DNR cannot issue our non-federal exemption approval until we receive the affidavit of credit purchases. Therefore our review of your application will be placed on HOLD, until these requirements have been satisfied. Please let me know if you have any questions or concerns regarding this email. Thank you and have a great day,

Ryan

**We are committed to service excellence.**

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

Ryan Pappas

Water Management Specialist-Waterways and Wetlands  
Wisconsin Department of Natural Resources  
1155 Pilgrim Road

Plymouth, WI 53073  
Phone: (715) 492-0200  
[Ryan.Pappas@wisconsin.gov](mailto:Ryan.Pappas@wisconsin.gov)

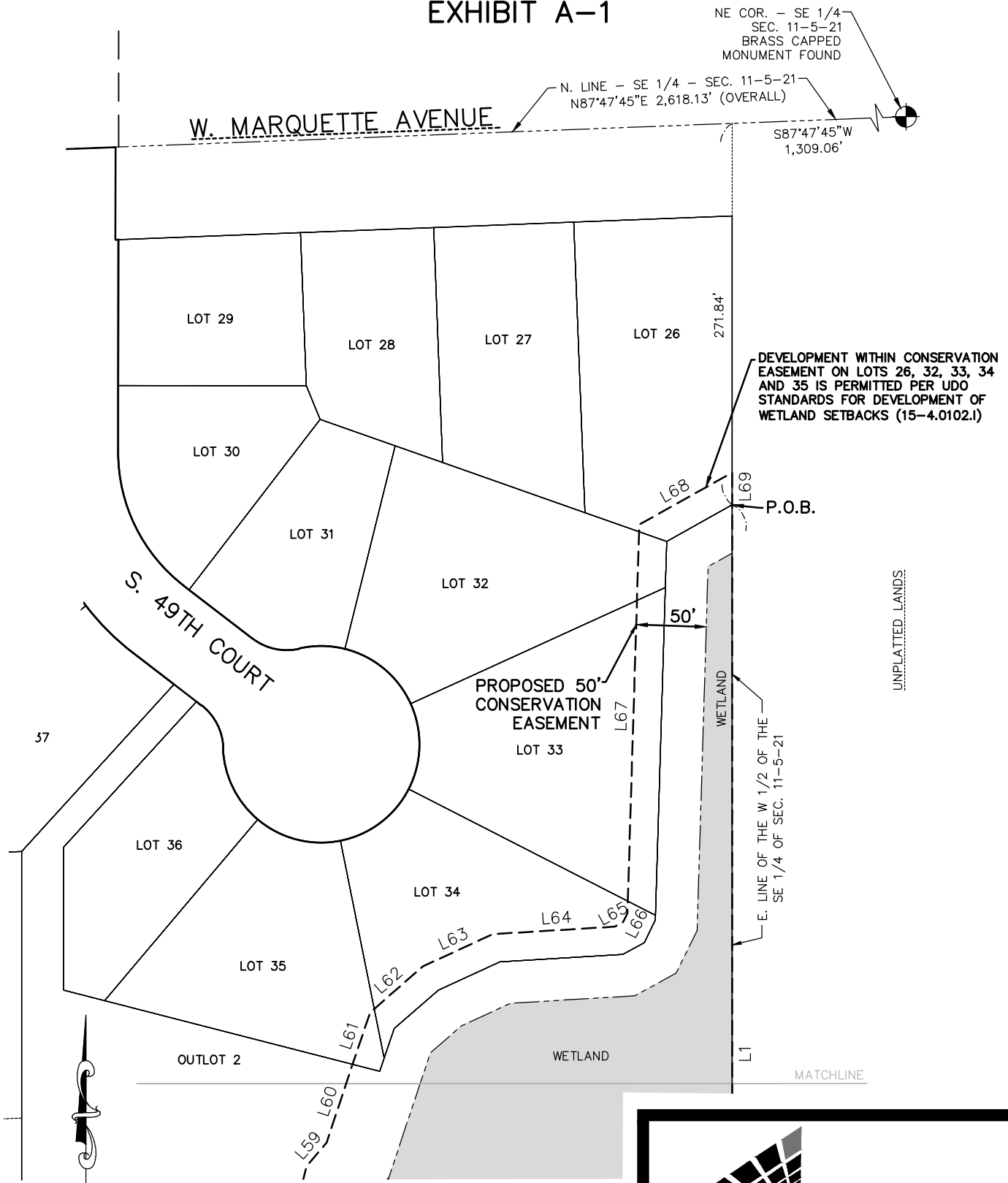


**Notice:** Pursuant to § 281.36, Wis. Stats., this Mitigation Summary Worksheet (MSS) must be completed in its entirety and submitted to the Department of Natural Resources (DNR) prior to the required pre-application meeting set up by the DNR. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin Open Records law [§§ 19.31 – 19.39, Wis. Stats.]

This MSS is required for Wisconsin Department of Natural Resources Wetland Individual Permit (IP) applications as wetland compensatory mitigation is required for all issued IP projects. The applicant, or authorized representative, shall complete all fields below and submit this MSS along with their required pre-application materials in advance of the mandatory pre-application meeting. A final version of the MSS shall then be re-submitted along with the final IP application following completion of the pre-application meeting reflecting any resulting alterations to the proposed project representing the final wetland compensatory mitigation details.

<input checked="" type="checkbox"/> Preliminary mitigation summary sheet		<input type="checkbox"/> Final mitigation summary sheet		
CONTACT INFORMATION		APPLICANT		AUTHORIZED REPRESENTATIVE
Name (Last, First, Middle Initial)		Matt Cudney		Benjamin J. LaCount
Title		Vice President of Operations		Consultant
Organization / Entity		Veridian Homes		Evergreen Consultants
Mailing Address		N60W21555 Legacy Trail		2918 Van Hoof Road
City, State, Zip Code		Menomonee Falls, WI 53051		Green Bay, WI 54313
Email Address		mcudney.@veridianhomes.com		ben@evergreenwis.com
Phone Number (incl. Area Code)		608-226-3016		920-265-4105
PROJECT INFORMATION				
Project Name		Residential Subdivision Franklin South		
Mitigation Service Area		Lake Michigan - Southeast		
Latitude---Longitude Coordinates		42.91011      -87.97856		
Municipality Location (City, Village, Town)		City of Franklin		
Township --- Range --- Section		Section 11, T05N-R21E		
County Location		Milwaukee		
Project Description (including description of wetland impact)		Construct new subdivision		
PROPOSED UNAVOIDABLE WETLAND IMPACTS BY COVER TYPE AND DELINEATED ACREAGE				
Acreage (to nearest 0.01)		Wetland Cover Type		
		Shallow, Open Water		
		Deep and Shallow Marshes		
		Sedge Meadows		
0.35 Acres - 0.23 Acres = 0.12 Acres		Fresh (Wet) Meadow		
		Wet to Wet-Mesic Prairie		
		Calcareous Fens		
		Bogs (Open or Coniferous)		
		Shrub – Carr or Alder Thicket		
		Hardwood or Coniferous Swamps		
		Floodplain Forests		
		Seasonally Flooded Basins		
CHECK SELECTION	PROPOSED COMPENSATORY MITIGATION	EXPLAIN WHY TYPE WAS CHOSEN / LIST CONTACTED PARTY	EXPLAIN WHETHER CREDITS ARE AVAILABLE	
<input type="checkbox"/>	Credit Purchase: Mitigation Bank		Credits are not available	
<input checked="" type="checkbox"/>	Credit Purchase: WI Wetland Conservation Trust (In-Lieu Fee)	No Credits available in the SW Lake Michigan Service Area		
<input type="checkbox"/>	Permittee Responsible Mitigation			

# CONSERVATION EASEMENT ON OUTLOT 2, AND LOTS 26, 32, 33, 34, AND 35 OF PLEASANT VIEW RESERVE EXHIBIT A-1



1" = 100'



SCALE

FEET

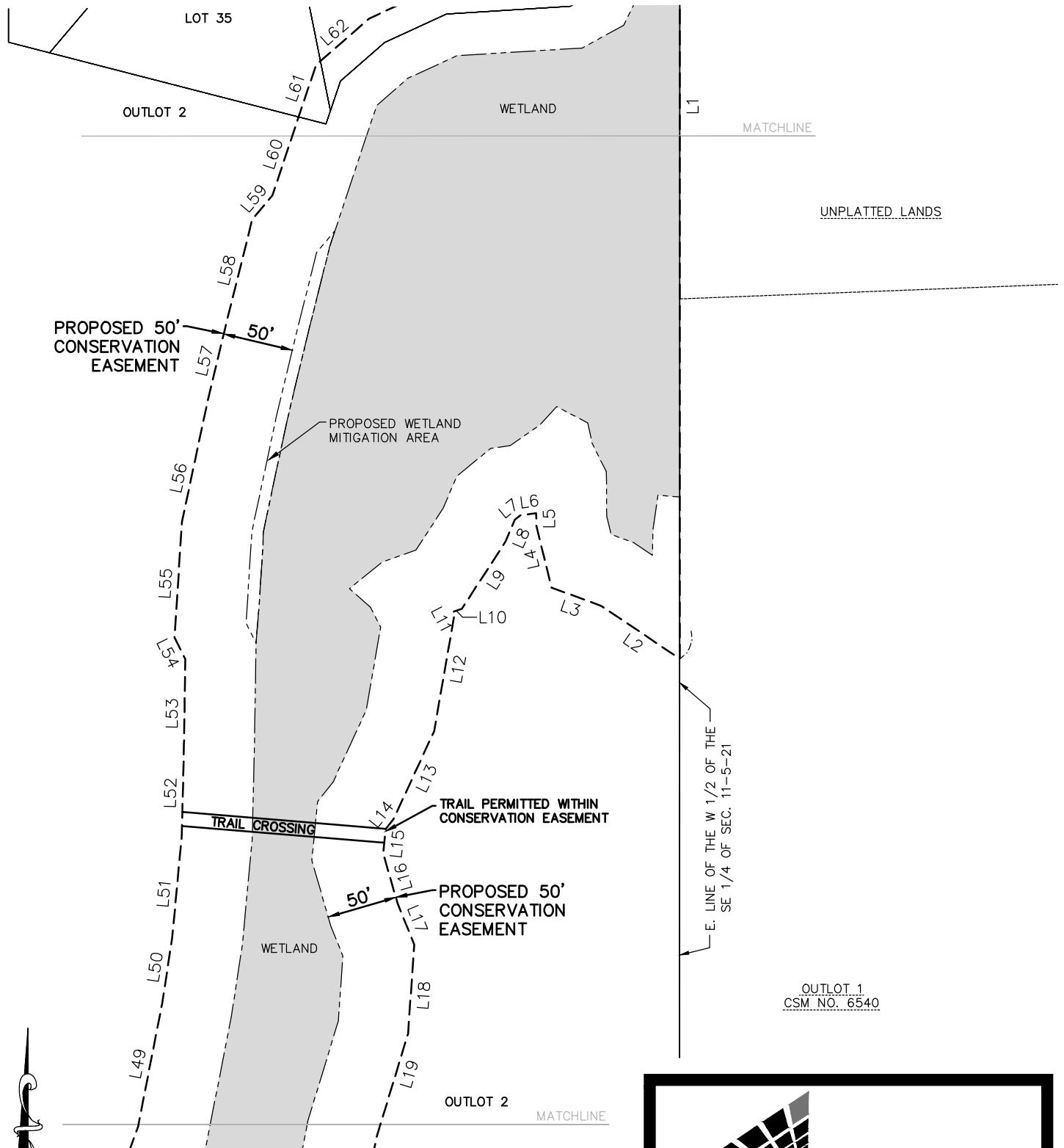


100 Camelot Drive  
Fond Du Lac, WI 54935  
Phone: (920) 926-9800  
www.EXCELENGINEER.com

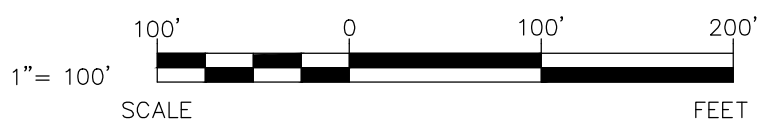
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# CONSERVATION EASEMENT ON OUTLOT 2, AND LOTS 26, 32, 33, 34, AND 35 OF PLEASANT VIEW RESERVE EXHIBIT A-2



OUTLOT 1  
CSM NO. 6540



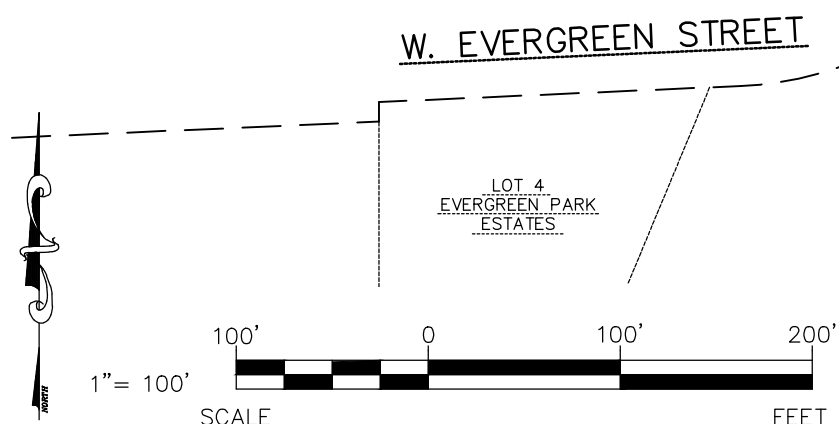
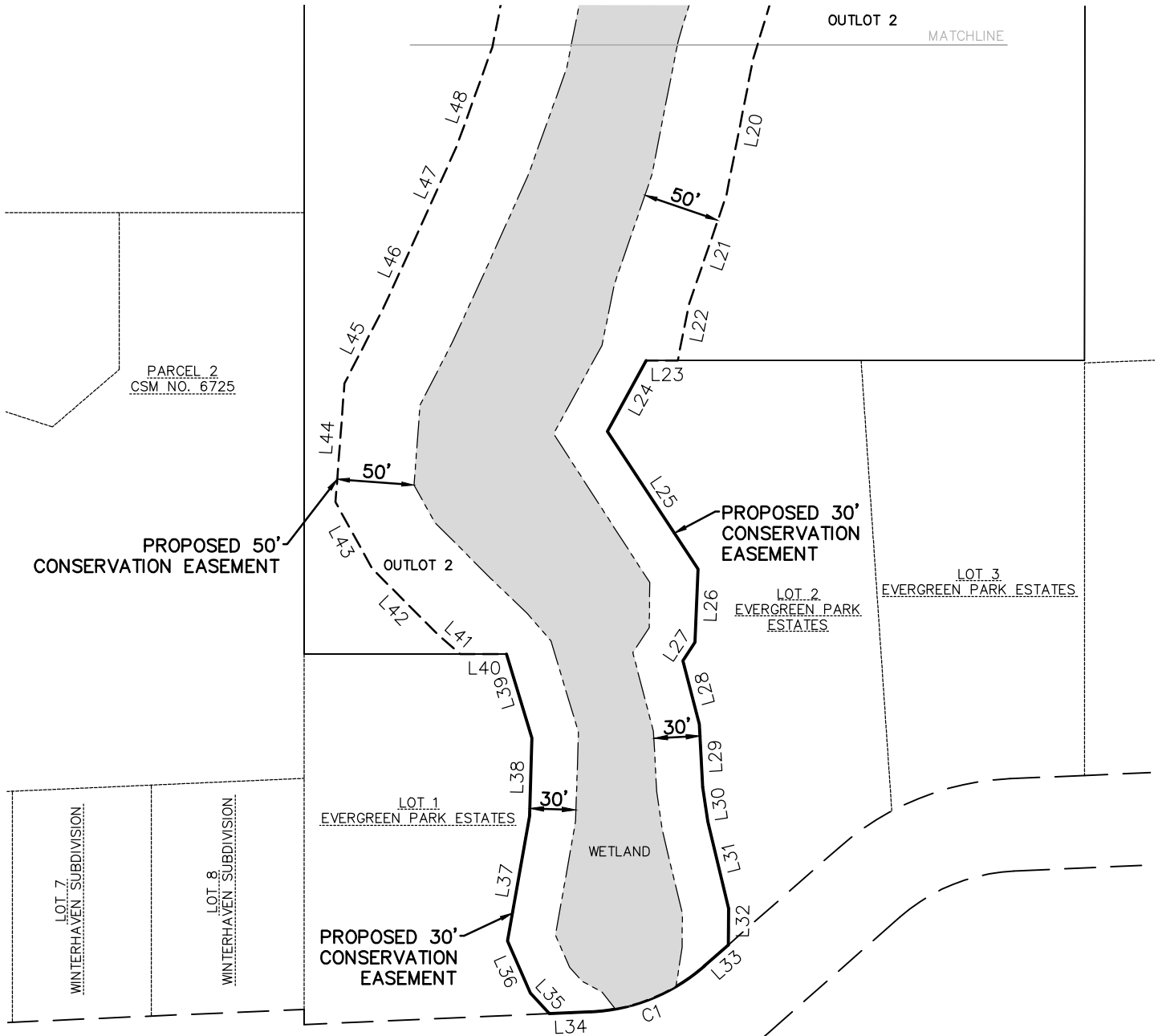


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# CONSERVATION EASEMENT ON OUTLOT 2, AND LOTS 26, 32, 33, 34, AND 35 OF PLEASANT VIEW RESERVE EXHIBIT A-3





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# CONSERVATION EASEMENT ON OUTLOT 2, AND LOTS 26, 32, 33, 34, AND 35 OF PLEASANT VIEW RESERVE EXHIBIT A-4

CONSERVATION EASEMENT CURVE TABLE

Curve Table							
Curve	Arc Length	Radius	Chord Bearing	Chord Length	Delta	Tangent In	Tangent Out
C1	81.30'	120.00'	S68°03'40"W	79.75'	038°48'57"	S87°28'08"W	S48°39'11"W

CONSERVATION EASEMENT LINE TABLE

Line Table		
Line #	Direction	Length
L1	S00°00'32"W	783.13'
L2	N56°02'42"W	67.18'
L3	N69°54'54"W	37.65'
L4	N13°35'01"W	45.58'
L5	N00°24'58"W	8.51'
L6	S82°04'11"W	11.58'
L7	S50°51'04"W	4.76'
L8	S22°54'02"W	16.72'
L9	S33°02'08"W	57.00'
L10	S70°42'34"W	7.26'
L11	S27°19'28"E	2.98'
L12	S09°51'56"W	82.98'
L13	S24°45'57"W	68.66'
L14	S38°19'59"W	9.03'
L15	S05°43'03"W	17.73'
L16	S16°11'55"E	36.60'
L17	S21°57'30"E	31.54'
L18	S03°57'54"W	63.41'
L19	S16°56'20"W	77.09'
L20	S11°07'04"W	90.11'
L21	S18°57'02"W	74.44'
L22	S11°18'46"W	37.28'
L23	N89°59'23"W	20.40'
L24	S28°40'55"W	52.52'
L25	S33°23'34"E	106.91'
L26	S02°29'08"W	47.59'
L27	S33°22'37"W	14.34'
L28	S14°39'42"E	42.52'
L29	S03°02'10"E	40.92'
L30	S08°16'02"E	22.47'
L31	S13°35'17"E	58.10'
L32	S00°43'09"W	23.67'
L33	S48°39'12"W	20.63'
L34	S87°28'07"W	26.62'
L35	N42°34'39"W	18.29'

Line Table		
Line #	Direction	Length
L36	N23°44'07"W	36.85'
L37	N10°01'38"E	82.25'
L38	N01°46'47"E	50.69'
L39	N16°50'05"W	56.98'
L40	N89°59'25"W	30.23'
L41	N48°34'18"W	19.56'
L42	N44°55'13"W	59.76'
L43	N28°53'09"W	49.45'
L44	N04°17'29"E	77.20'
L45	N27°18'57"E	55.02'
L46	N24°36'13"E	54.44'
L47	N24°10'57"E	60.74'
L48	N19°48'42"E	68.39'
L49	N11°05'24"E	88.42'
L50	N08°45'04"E	47.79'
L51	N05°20'01"E	73.52'
L52	N01°21'20"E	64.57'
L53	N00°53'10"E	59.88'
L54	N26°34'54"W	17.17'
L55	N03°42'17"E	82.50'
L56	N12°01'31"E	86.88'
L57	N13°26'54"E	52.31'
L58	N14°01'27"E	80.73'
L59	N40°06'11"E	22.32'
L60	N18°21'19"E	60.05'
L61	N18°45'02"E	37.74'
L62	N48°52'22"E	49.97'
L63	N65°18'04"E	54.85'
L64	N86°29'16"E	87.17'
L65	N61°22'22"E	6.59'
L66	N26°09'13"E	7.17'
L67	N01°44'14"E	277.00'
L68	N60°46'32"E	75.93'
L69	S00°00'32"W	22.92'



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# CONSERVATION EASEMENT ON OUTLOT 2, AND LOTS 26, 32, 33, 34, AND 35 OF PLEASANT VIEW RESERVE EXHIBIT A-5

## LEGAL DESCRIPTION OF CONSERVATION EASEMENT:

That part of Outlot 2, and part of Lots 26, 32, 33, 34, and 35 of Pleasant View Reserve Subdivision, being part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 11, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin being more particularly described as follows:

Beginning at the Northeast corner of Outlot 2 of said Pleasant View Reserve Subdivision; thence South 00°-00'-32" West along the East line of said Outlot 2, a distance of 783.13 feet; thence North 56°-02'-42" West, a distance of 67.18 feet; thence North 69°-54'-54" West, a distance of 37.65 feet; thence North 13°-35'-01" West, a distance of 45.58 feet; thence North 00°-24'-58" West, a distance of 8.51 feet; thence South 82°-04'-11" West, a distance of 11.58 feet; thence South 50°-51'-04" West, a distance of 4.76 feet; thence South 22°-54'-02" West, a distance of 16.72 feet; thence South 33°-02'-08" West, a distance of 57.00 feet; thence South 70°-42'-34" West, a distance of 7.26 feet; thence South 27°-19'-28" East, a distance of 2.98 feet; thence South 09°-51'-56" West, a distance of 82.98 feet; thence South 24°-45'-57" West, a distance of 68.66 feet; thence South 38°-19'-59" West, a distance of 9.03 feet; thence South 05°-43'-03" West, a distance of 17.73 feet; thence South 16°-11'-55" East, a distance of 36.60 feet; thence South 21°-57'-30" East, a distance of 31.54 feet; thence South 03°-57'-54" West, a distance of 63.41 feet; thence South 16°-56'-20" West, a distance of 77.09 feet; thence South 11°-07'-04" West, a distance of 90.11 feet; thence South 18°-57'-02" West, a distance of 74.44 feet; thence South 11°-18'-46" West, a distance of 37.28 feet to a Southerly line of said Outlot 2; thence North 89°-59'-23" West along a South line of said Outlot 2, a distance of 20.40 feet to an Easterly line of said Outlot 2; thence South 28°-40'-55" West along an East line of said Outlot 2, a distance of 52.52 feet; thence South 33°-23'-34" East along an East line of said Outlot 2, a distance of 106.91 feet; thence South 02°-29'-08" West along an East line of said Outlot 2, a distance of 47.59 feet; thence South 33°-22'-37" West along an East line of said Outlot 2, a distance of 14.34 feet; thence South 14°-39'-42" East along an East line of said Outlot 2, a distance of 42.52 feet; thence South 03°-02'-10" East along an East line of said Outlot 2, a distance of 40.92 feet; thence South 08°-16'-02" East along an East line of said Outlot 2, a distance of 22.47 feet; thence South 13°-35'-17" East along an East line of said Outlot 2, a distance of 58.10 feet; thence South 00°-43'-09" West along an East line of said Outlot 2, a distance of 23.67 feet to the Southeast corner of said Outlot 2, said point being on the Northerly right-of-way line of W. Evergreen Street; thence South 48°-39'-12" West along said Northerly line, a distance of 20.63 feet; thence Southwesterly 81.30 feet along said Northerly line on a curve to the right having a radius of 120.00 feet, the chord of said curve bears South 68°-03'-40" West, a chord distance of 79.75 feet; thence South 87°-28'-07" West along said Northerly line, a distance of 26.62 feet to the Southwest corner of said Outlot 2; thence North 42°-34'-39" West along a West line of said Outlot 2, a distance of 18.29 feet; thence North 23°-44'-07" West along a West line of said Outlot 2, a distance of 36.85 feet; thence North 10°-01'-38" East along a West line of said Outlot 2, a distance of 82.25 feet; thence North 01°-46'-47" East along a West line of said Outlot 2, a distance of 50.69 feet; thence North 16°-50'-05" West along a West line of said Outlot 2, a distance of 56.98 feet to a Southerly line of said Outlot 2; thence North 89°-59'-25" West along a South line of said Outlot 2, a distance of 30.23 feet; thence North 48°-34'-18" West, a distance of 19.56 feet; thence North 44°-55'-13" West, a distance of 59.76 feet; thence North 28°-53'-09" West, a distance of 49.45 feet; thence North 04°-17'-29" East, a distance of 77.20 feet; thence North 27°-18'-57" East, a distance of 55.02 feet; thence North 24°-36'-13" East, a distance of 54.44 feet; thence North 24°-10'-57" East, a distance of 60.74 feet; thence North 19°-48'-42" East, a distance of 68.39 feet; thence North 11°-05'-24" East, a distance of 88.42 feet; thence North 08°-45'-04" East, a distance of 47.79 feet; thence North 05°-20'-01" East, a distance of 73.52 feet; thence North 01°-21'-20" East, a distance of 64.57 feet; thence North 00°-53'-10" East, a distance of 59.88 feet; thence North 26°-34'-54" West, a distance of 17.17 feet; thence North 03°-42'-17" East, a distance of 82.50 feet; thence North 12°-01'-31" East, a distance of 86.88 feet; thence North 13°-26'-54" East, a distance of 52.31 feet; thence North 14°-01'-27" East, a distance of 80.73 feet; thence North 40°-06'-11" East, a distance of 22.32 feet; thence North 18°-21'-19" East, a distance of 60.05 feet; thence North 18°-45'-02" East, a distance of 37.74 feet; thence North 48°-52'-22" East, a distance of 49.97 feet; thence North 65°-18'-04" East, a distance of 54.85 feet; thence North 86°-29'-16" East, a distance of 87.17 feet; thence North 61°-22'-22" East, a distance of 6.59 feet; thence North 26°-09'-13" East, a distance of 7.17 feet; thence North 01°-44'-14" East, a distance of 277.00 feet; thence North 60°-46'-32" East, a distance of 75.93 feet; thence South 00°-00'-32" West, a distance of 22.92 feet to the point of beginning.



# PLEASANT VIEW RESERVE

LOT 2 OF CERTIFIED SURVEY MAP NO. 9283 AND PART OF THE SW 1/4 OF THE NE 1/4, AND PART OF THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, ALL BEING A PART OF THE SW 1/4 OF THE NE 1/4 AND THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

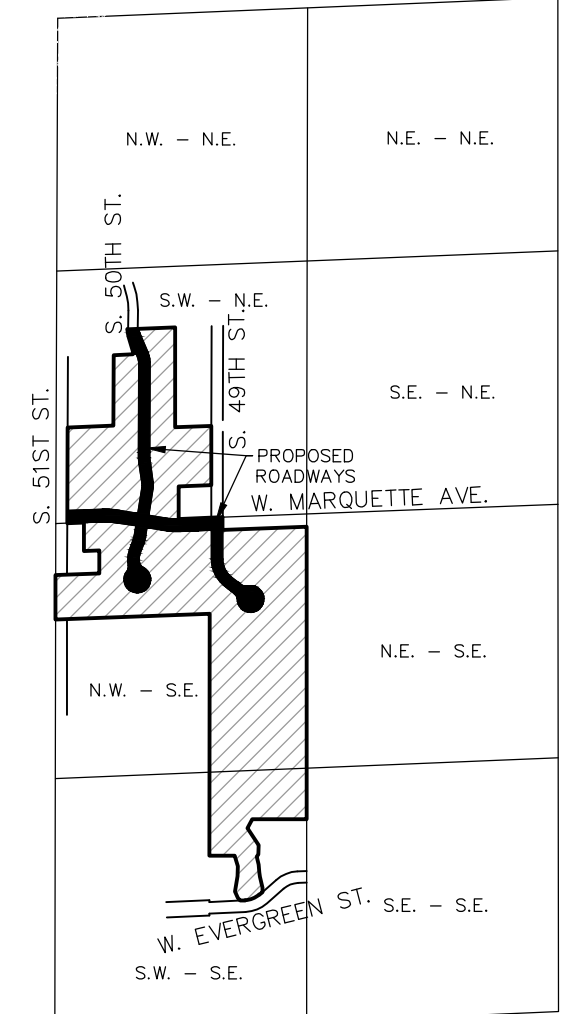
Certified \_\_\_\_\_, 20\_\_

Department of Administration



ISSUED DATE: JUNE 14, 2021  
REVISED DATE: JULY 23, 2021

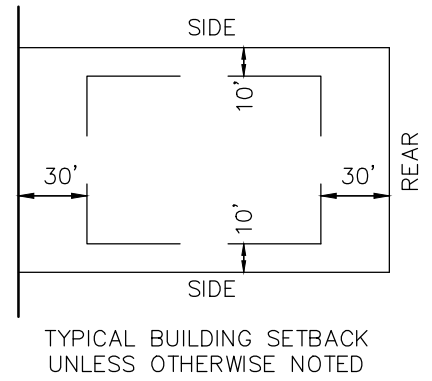
## LOCATION MAP



E 1/2 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN  
SCALE: 1" = 1000'  
= PLEASANT VIEW RESERVE SUBDIVISION

TOTAL AREA  
38.660 ACRES  
1,684,031 SQ. FT.

Zoning: R-6  
Building Setbacks:  
Front: 30 feet  
Side: 10 feet  
Street Side: 19 feet  
Rear: 30 feet



TYPICAL BUILDING SETBACK UNLESS OTHERWISE NOTED

Line #	Direction	Length
L1	N22°55'56"W	16.17'
L2	S87°47'56"W	17.22'
L3	S00°13'19"W	2.24'
L4	N00°04'31"E	10.64'
L5	S88°00'40"W	19.33'
L6	N60°46'32"E	53.41'
L7	N22°13'16"W	25.90'
L8	S52°27'44"E	61.58'
L9	S52°27'44"E	4.67'
L10	S52°27'44"E	56.91'
L11	N26°09'13"E	17.85'
L12	N61°22'22"E	17.39'
L13	N65°18'04"E	48.22'
L14	N48°52'22"E	41.70'
L15	N18°45'02"E	22.30'
L16	N18°45'02"E	9.89'
L17	N52°27'44"W	61.58'
L18	N52°27'44"W	4.28'
L19	N52°27'44"W	20.07'
L20	N52°27'44"W	37.23'
L21	N74°14'37"E	32.08'
L22	S08°54'38"W	49.89'
L23	S08°54'38"W	50.12'

## WETLAND AREA LINE TABLES

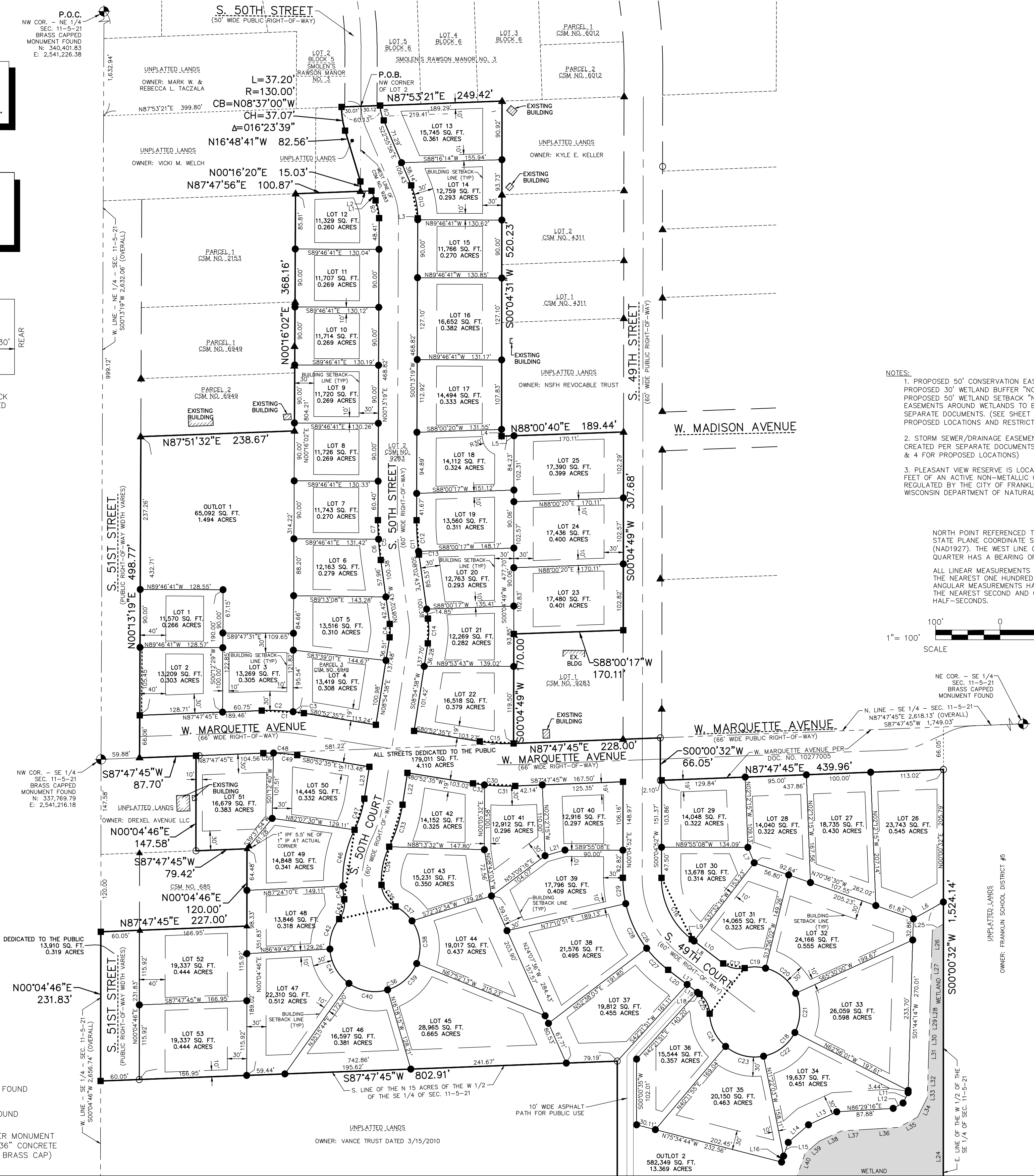
Line #	Direction	Length
L24	N00°00'32"E	634.05'
L25	S60°46'32"W	19.64'
L26	S01°44'14"W	42.01'
L27	S01°44'14"W	65.81'
L28	S01°44'14"W	27.21'
L29	S01°44'14"W	25.17'
L30	S01°44'14"W	14.98'
L31	S13°12'57"E	23.63'
L32	S01°44'14"W	40.78'
L33	S01°44'14"W	36.23'
L34	S01°44'14"W	7.34'
L35	S26°09'13"W	33.86'
L36	S61°22'22"W	33.60'
L37	S86°29'16"W	50.83'
L38	S86°29'16"W	38.12'
L39	S86°29'16"W	38.28'
L40	S48°52'22"W	29.30'
L41	S18°45'02"E	24.11'
L42	S18°45'02"E	82.01'
L43	S18°45'02"E	21.11'
L44	S18°45'02"E	82.01'
L45	S18°45'02"E	82.01'
L46	S18°45'02"E	82.01'
L47	S18°45'02"E	82.01'
L48	S18°45'02"E	82.01'
L49	S18°45'02"E	82.01'
L50	S18°45'02"E	82.01'
L51	S18°45'02"E	82.01'
L52	S18°45'02"E	82.01'
L53	S18°45'02"E	82.01'
L54	S18°45'02"E	82.01'
L55	S18°45'02"E	82.01'
L56	S18°45'02"E	82.01'
L57	S18°45'02"E	82.01'
L58	S18°45'02"E	82.01'
L59	S18°45'02"E	82.01'
L60	S18°45'02"E	82.01'
L61	S18°45'02"E	82.01'
L62	S18°45'02"E	82.01'
L63	S18°45'02"E	82.01'
L64	S18°45'02"E	82.01'
L65	S18°45'02"E	82.01'
L66	S18°45'02"E	82.01'

Curve	Arc Length	Radius	Chord Bearing	Chord Length	Delta	Tangent In	Tangent Out
C1	65.84'	333.00'	S86°32'25"E	65.73'	01°19'40"	N87°47'45"E	S80°52'35"E
C2	48.90'	333.00'	S87°59'52"E	48.85'	00°24'48"	N87°47'45"E	S83°47'28"E
C3	16.94'	333.00'	S82°20'02"E	16.94'	00°24'52"	S83°47'28"E	S80°52'35"E
C4	20.72'	700.00'	N00°25'57"E	20.64'	01°6'57"	N08°54'38"E	N08°02'43"W
C5	62.05'	430.00'	N03°54'42"W	61.99'	00°81'02"	N08°02'43"W	N00°13'19"E
C6	32.42'	430.00'	N05°53'06"W	32.42'	00°41'91"	N08°02'43"W	N03°43'29"W
C7	29.62'	430.00'	N01°45'05"W	29.61'	00°35'49"	N03°43'29"W	N00°13'19"E
C8	28.29'	700.00'	N11°21'18"W	28.10'	02°30'91"	N00°13'19"E	N22°55'56"W
C9	23.74'	700.00'	S13°12'57"E	23.63'	01°92'59"	S03°29'59"W	S22°55'56"W
C10	52.54'	1300.00'	S11°21'18"E	52.18'	02°30'91"	S22°55'56"W	S00°13'19"W
C11	53.39'	3700.00'	S03°54'42"E	53.34'	00°81'02"	S00°13'19"W	S08°02'43"E
C12	48.41'	3700.00'	S03°31'35"E	48.38'	00°72'49"	S00°13'19"W	S07°16'30"E
C13	4.97'	3700.00'	S07°39'36"E	4.97'	00°04'61"	S07°16'30"E	S08°02'43"E
C14	36.47'	1300.00'	S00°25'57"W	36.33'	01°6'57"	S08°02'43"E	S08°54'38"W
C15	52.79'	267.00'	S86°32'25"E	52.70'	01°19'40"	S80°52'35"E	N87°47'45"E
C16	110.05'	1200.00'	S26°11'26"E	106.23'	05°23'35"	S00°04'42"W	S52°27'44"E
C17	35.24'	400.00'	S77°42'06"E	34.11'	00°50'28"	S52°27'44"E	N77°03'32"E
C18	343.26'	700.00'	S37°32'16"W	89.09'	28°05'27"	N77°03'32"E	N01°59'00"W
C19	32.83'	700.00'	S89°30'13"E	32.53'	02°56'29"	N77°03'32"E	S76°03'59"E
C20	63.00'	700.00'	S50°16'59"E	60.90'	05°13'35"	S76°03'59"E	S24°30'00"E
C21	63.00'	700.00'	S01°16'59"W	60.90'	05°13'35"	S24°30'00"E	S27°03'59"W
C22	63.00'	700.00'	S52°50'58"W	60.90'	05°13'35"	S27°03'59"W	S78°37'58"W
C23	63.00'	700.00'	N75°35'03"W	60.90'	05°13'35"	S78°37'58"W	N49°48'04"W
C24	58.42'	700.00'	N25°53'32"W	56.74'	04°74'49"	N49°48'04"W	N01°59'00"W
C25	35.24'	400.00'	N27°13'22"W	34.11'	05°02'45"	N01°59'00"W	N52°27'44"W
C26	165.07'	1800.00'	N26°11'26"W	159.35'	05°23'35"	N52°27'44"W	N00°04'52"E
C27	47.39'	1800.00'	N44°55'09"W	47.26'	01°05'01"	N52°27'44"W	N37°22'34"W
C28	77.15'	1800.00'	N25°05'51"W	76.56'	02°43'25"	N37°22'34"W	N12°49'09"W
C29	40.53'	1800.00'	N06°22'09"W	40.44'	01°25'40"	N12°49'09"W	N00°04'52"E
C30	65.84'	333.00'	N86°32'25"W	65.73'	01°19'40"	S87°47'45"W	N80°52'35"W
C31	47.84'	333.00'	N68°05'18"W	47.80'	00°81'55"	S87°47'45"W	N83°58'21"W
C32	17.99'	333.00'	N82°25'28"W	17.99'	00°30'56"	N83°58'21"W	N80°52'35"W
C33	68.84'	2300.00'	S17°29'07"W	68.59'	01°70'85"	S08°54'38"W	S26°03'36"W
C34	60.99'	1200.00'	S11°29'58"W	60.34'	02°90'17"	S26°03'36"W	S03°03'41"E
C35	41.79'	400.00'	S32°59'39"E	39.92'	05°59'51"	S03°03'41"E	S62°55'37"E
C36	342.66'	700.00'	S77°18'30"W	89.58'	28°05'27"	S62°55'37"E	N37°32'37"E
C37	34.48'	700.00'	S48°48'58"E	34.13'	02°81'38"	S62°55'37"E	S34°42'19"E
C38	69.44'	700.00'	S06°17'16"E	66.63'	05°60'06"	S34°42'19"E	S22°07'47"W
C39	63.00'	700.00'	S47°54'46"W	60.90'	05°13'35"	S22°07'47"W	S73°41'45"W
C40	63.00'	700.00'	N80°31'15"W	60.90'	05°13'35"	S73°41'45"W	N54°44'16"W
C41	63.00'	700.00'	N28°57'17"W	60.90'	05°13'35"	N54°44'16"W	N03°10'18"W
C42	49.74'	700.00'	N17°11'10"E	48.70'	04°04'25"	N03°10'18"W	N37°32'37"E
C43	32.64'	400.00'	N14°10'11"E	31.74'	04°64'42"	N37°32'37"E	N09°12'15"W
C44	110.79'	1800.00'	N08°25'41"E	109.05'	03°51'51"	N09°12'15"W	N26°03'36"E
C45	20.76'	1800.00'	N05°54'02"W	20.74'	00°36'25"	N09°12'15"W	N02°35'50"W
C46	90.03'	1800.00'	N11°43'53"E	89.09'	02°39'26"	N02°35'50"W	N26°03'36"E
C47	50.88'	1700.00'	S17°29'07"W	50.69'	01°70'85"	S08°54'38"W	S26°03'36"W
C48	52.79'	267.00'	N86°32'25"W	52.70'	01°19'40"	N80°52'35"W	S87°47'45"W
C49	36.87'	267.00'	S84°49'58"E	36.84'	00°75'45"	S88°47'20"E	S80°52'35"E
C50	15.92'	267.00'	N89°30'12"E	15.91'	00°32'45"	N87°47'45"E	S88°47'20"E

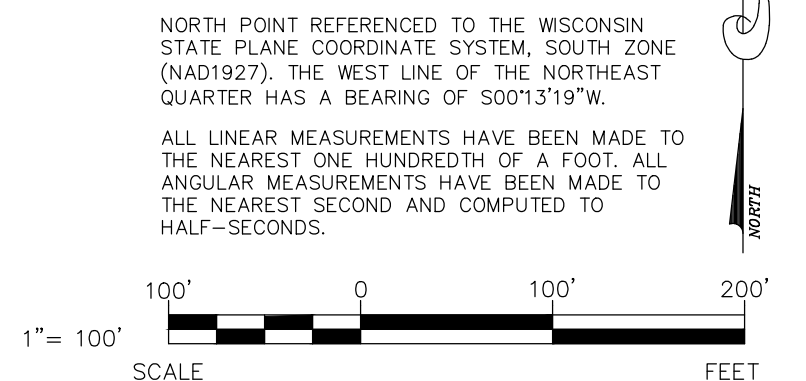
## WETLAND AREA CURVE TABLE

Curve	Arc Length	Radius	Chord Bearing	Chord Length	Delta	Tangent In	Tangent Out
C51	42.25'	1200.00'	N69°37'03"E	42.03'	02°01'27"	N79°42'16"E	N59°31'49"E

- LEGEND:**
- 1-1/4" X 18" REBAR SET WEIGHING 4.30 LB./FT.
  - 3/4" X 18" REBAR SET WEIGHING 1.50 LB./FT.
  - ▲ 1" IRON PIPE FOUND
  - NO ACCESS LINE
  - 1-1/4" REBAR FOUND
  - 3/4" REBAR FOUND
  - SECTION CORNER MONUMENT FOUND (6"X6"X36" CONCRETE MONUMENT W/ BRASS CAP)



- NOTES:**
- PROPOSED 50' CONSERVATION EASEMENT, PROPOSED 30' WETLAND BUFFER "NO TOUCH", AND PROPOSED 50' WETLAND SETBACK "NO BUILD" EASEMENTS AROUND WETLANDS TO BE CREATED PER SEPARATE DOCUMENTS. (SEE SHEET 3 & 4 FOR PROPOSED LOCATIONS AND RESTRICTIONS)
  - STORM SEWER/DRAINAGE EASEMENTS TO BE CREATED PER SEPARATE DOCUMENTS. (SEE SHEET 3 & 4 FOR PROPOSED LOCATIONS)
  - PLEASANT VIEW RESERVE IS LOCATED WITHIN 100 FEET OF AN ACTIVE NON-METALLIC QUARRY REGULATED BY THE CITY OF FRANKLIN AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.



NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD1983). THE WEST LINE OF THE NORTHEAST QUARTER HAS A BEARING OF S00°13'19"W.

ALL LINEAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE HUNDREDTH OF A FOOT. ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST SECOND AND COMPUTED TO HALF-SECONDS.

1" = 100'  
SCALE  
FEET

NE COR. - SE 1/4 - SEC. 11-5-21 BRASS CAPPED MONUMENT FOUND  
N LINE - SE 1/4 - SEC. 11-5-21  
N87°47'45"E 2,618.13' (OVERALL)  
S87°47'45"W 1,749.03'

UNPLATTED LANDS  
OWNER: FRANKLIN SCHOOL DISTRICT #5

UNPLATTED LANDS  
OWNER: VANCE TRUST DATED 3/15/2010

UNPLATTED LANDS  
OWNER: KYLE E. KELLER

UNPLATTED LANDS  
OWNER: NSPH REVOCABLE TRUST

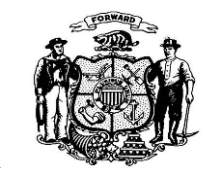
# PLEASANT VIEW RESERVE

LOT 2 OF CERTIFIED SURVEY MAP NO. 9283 AND PART OF THE SW 1/4 OF THE NE 1/4, AND PART OF THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, ALL BEING A PART OF THE SW 1/4 OF THE NE 1/4 AND THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

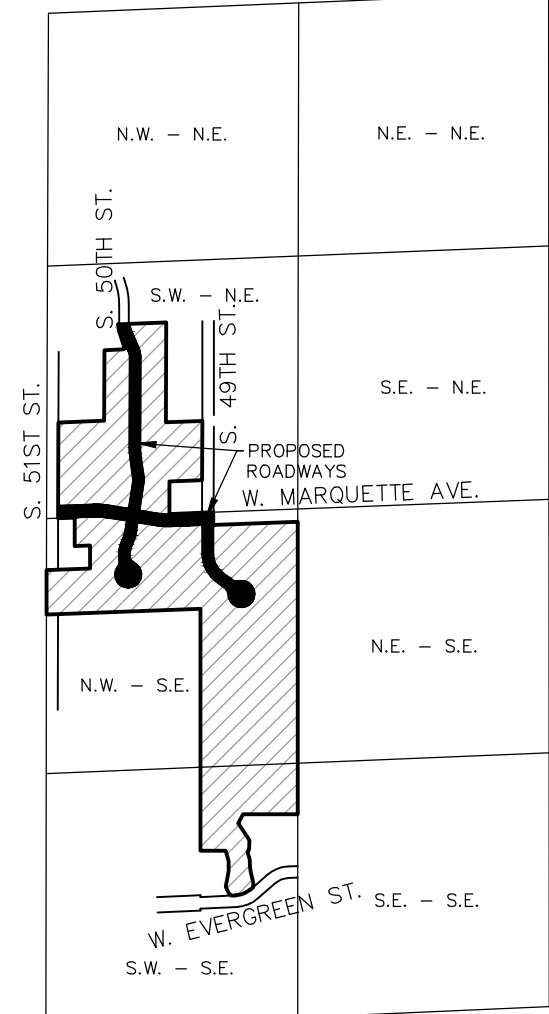
Certified \_\_\_\_\_, 20\_\_

Department of Administration



ISSUED DATE: JUNE 14, 2021  
REVISED DATE: JULY 23, 2021

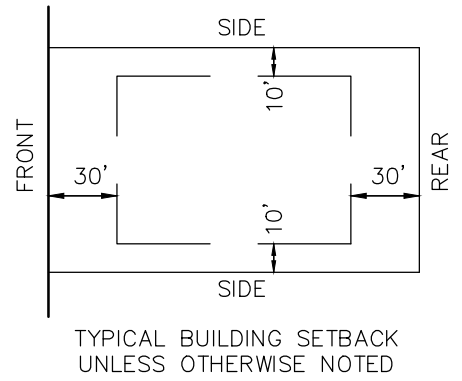
## LOCATION MAP



E 1/2 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN  
SCALE: 1" = 1000'  
= PLEASANT VIEW RESERVE SUBDIVISION

**TOTAL AREA**  
38.660 ACRES  
1,684,031 SQ. FT.

**Zoning: R-6**  
**Building Setbacks:**  
Front: 30 feet  
Side: 10 feet  
Street Side: 19 feet  
Rear: 30 feet



Line #	Direction	Length
L1	N22°55'56"W	16.17'
L2	S87°47'56"W	17.22'
L3	S00°13'19"W	2.24'
L4	N00°04'31"E	10.64'
L5	S88°00'40"W	19.33'
L6	N60°46'32"E	53.41'
L7	N22°13'16"W	25.90'
L8	S52°27'44"E	61.58'
L9	S52°27'44"E	4.67'
L10	S52°27'44"E	56.91'
L11	N26°09'13"E	17.85'
L12	N61°22'22"E	17.39'
L13	N65°18'04"E	48.22'
L14	N48°52'22"E	41.70'
L15	N18°45'02"E	22.30'
L16	N18°45'02"E	9.89'
L17	N52°27'44"W	61.58'
L18	N52°27'44"W	4.28'
L19	N52°27'44"W	20.07'
L20	N52°27'44"W	37.23'
L21	N74°14'37"E	32.08'
L22	S08°54'38"W	49.89'
L23	S08°54'38"W	50.12'

## WETLAND AREA LINE TABLES

Line #	Direction	Length
L24	N00°00'32"E	634.05'
L25	S60°46'32"W	19.64'
L26	S01°44'14"W	42.01'
L27	S01°44'14"W	65.81'
L28	S01°44'14"W	27.21'
L29	S01°44'14"W	25.17'
L30	S01°44'14"W	14.96'
L31	S01°44'14"W	40.78'
L32	S01°44'14"W	36.23'
L33	S01°44'14"W	7.34'
L34	S26°09'13"W	33.86'
L35	S61°22'22"W	33.60'
L36	S86°29'16"W	50.83'
L37	S86°29'16"W	38.12'
L38	S65°18'04"W	38.28'
L39	S48°52'22"W	29.30'
L40	S18°45'02"W	24.11'
L41	S18°21'19"W	82.01'
L42	S14°01'27"W	74.65'
L43	S13°25'21"W	53.18'
L44	S12°00'32"W	80.06'
L45	S01°07'03"W	9.51'
L46	S03°37'02"W	42.13'
L47	S04°45'35"W	26.82'
L48	S00°53'10"W	72.30'
L49	S01°21'20"W	66.51'
L50	S05°20'01"W	76.75'
L51	S08°45'04"W	50.30'
L52	S11°05'24"W	93.26'
L53	S19°48'42"W	74.11'
L54	S24°10'57"W	62.84'
L55	S24°36'13"W	55.81'
L56	S27°18'57"W	46.02'
L57	S04°17'29"W	52.12'
L58	S28°35'09"E	27.51'
L59	S44°55'13"E	51.77'
L60	S46°06'59"E	32.93'
L61	S41°00'54"E	23.07'
L62	S16°50'05"E	61.90'
L63	S01°46'47"W	57.77'
L64	S10°01'38"W	75.31'
L65	S23°44'07"E	22.77'
L66	S42°34'39"E	12.88'

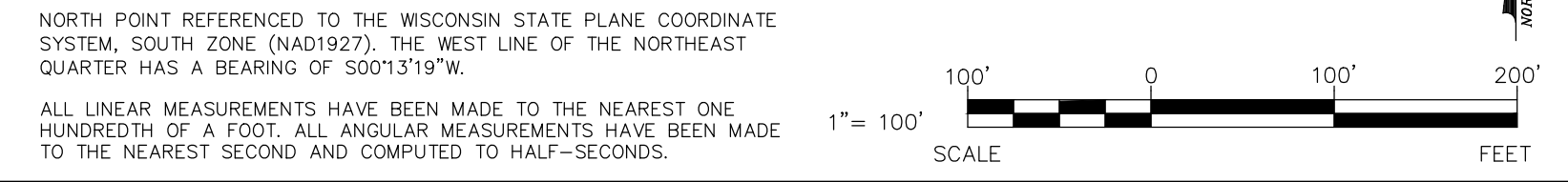
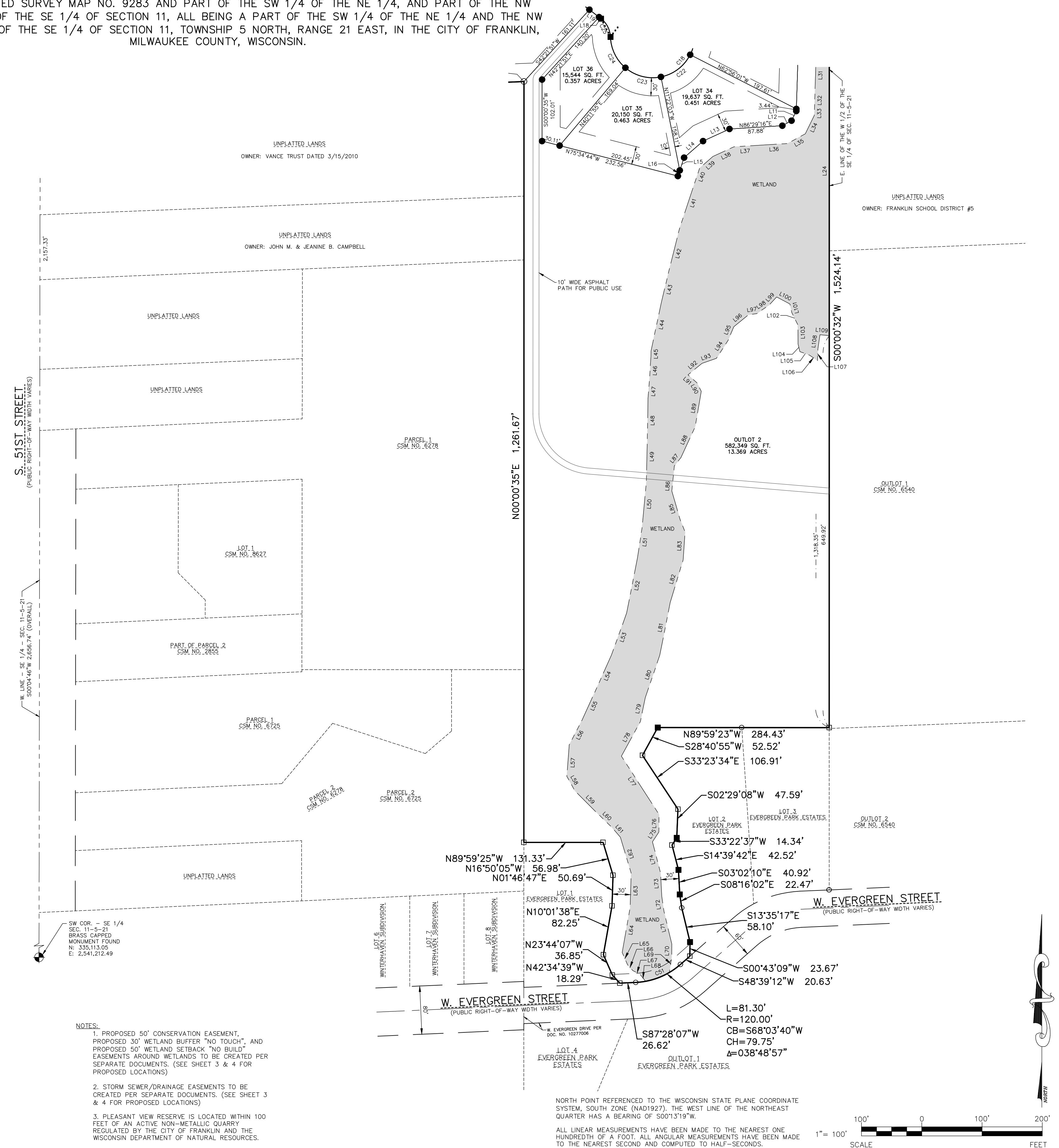
Line #	Direction	Length
L67	S61°43'12"E	14.26'
L68	S37°45'12"E	14.03'
L69	N08°42'47"E	25.67'
L70	N00°43'09"E	21.87'
L71	N13°35'17"W	55.73'
L72	N08°16'02"W	25.23'
L73	N03°02'10"W	39.24'
L74	N14°39'42"W	52.83'
L75	N33°22'37"E	19.42'
L76	N00°26'49"E	29.27'
L77	N32°52'30"W	114.91'
L78	N28°40'55"E	65.42'
L79	N11°33'50"E	40.64'
L80	N18°57'02"E	74.29'
L81	N11°07'04"E	89.23'
L82	N16°56'20"E	73.94'
L83	N03°57'54"E	46.21'
L84	N21°57'30"W	5.10'
L85	N16°11'55"W	48.79'
L86	N05°43'03"E	42.03'
L87	N38°19'59"E	17.71'
L88	N24°45'57"E	56.17'
L89	N05°51'56"E	59.62'
L90	N27°19'28"W	15.81'
L91	N48°13'56"W	19.96'
L92	N50°49'05"E	29.90'
L93	N70°42'34"E	25.40'
L94	N33°02'08"E	35.51'
L95	N22°54'02"E	24.73'
L96	N50°51'04"E	31.18'
L97	N82°04'11"E	13.90'
L98	N55°02'26"E	25.75'
L99	N42°38'39"E	17.54'
L100	S62°21'59"E	24.94'
L101	S11°49'43"E	14.77'
L102	S26°44'16"E	22.48'
L103	S00°24'58"E	31.84'
L104	S13°35'01"E	13.03'
L105	S69°54'54"E	16.96'
L106	S56°02'42"E	16.19'
L107	N01°19'39"W	18.45'
L108	N08°06'28"E	24.58'
L109	S84°44'53"E	15.61'

Curve	Arc Length	Radius	Chord Bearing	Chord Length	Delta	Tangent In	Tangent Out
C1	65.84'	333.00'	S86°32'25"E	65.73'	011°19'40"	N87°47'45"E	S80°52'35"E
C2	48.90'	333.00'	S87°59'52"E	48.85'	008°24'48"	N87°47'45"E	S83°47'28"E
C3	16.94'	333.00'	S82°20'02"E	16.94'	002°54'52"	S83°47'28"E	S80°52'35"E
C4	20.72'	70.00'	N00°25'57"E	20.64'	016°57'21"	N08°54'38"E	N08°02'43"W
C5	62.05'	430.00'	N03°54'42"W	61.99'	008°16'02"	N08°02'43"W	N00°13'19"E
C6	32.42'	430.00'	N05°53'06"W	32.42'	004°19'14"	N08°02'43"W	N03°43'29"W
C7	29.62'	430.00'	N01°45'05"W	29.61'	003°56'49"	N03°43'29"W	N00°13'19"E
C8	28.29'	70.00'	N11°21'18"W	28.10'	023°09'15"	N00°13'19"E	N22°55'56"W
C9	23.74'	70.00'	S13°12'57"E	23.63'	019°25'59"	S03°29'57"E	S22°55'56"E
C10	52.54'	130.00'	S11°21'18"E	52.18'	023°09'15"	S22°55'56"E	S00°13'19"W
C11	53.39'	370.00'	S03°54'42"E	53.34'	008°16'02"	S00°13'19"W	S08°02'43"E
C12	48.41'	370.00'	S03°31'35"E	48.38'	007°29'49"	S00°13'19"W	S07°16'30"E
C13	4.97'	370.00'	S07°39'36"E	4.97'	000°46'13"	S07°16'30"E	S08°02'43"E
C14	38.47'	130.00'	S00°25'57"W	38.33'	016°57'21"	S08°02'43"E	S08°54'38"W
C15	52.79'	267.00'	S86°32'25"E	52.70'	011°19'40"	S80°52'35"E	N87°47'45"E
C16	110.05'	120.00'	S26°11'26"E	106.23'	052°32'35"	S00°44'52"W	S52°27'44"E
C17	35.24'	40.00'	S77°42'06"E	34.11'	050°28'44"	S52°27'44"E	N77°03'32"E
C18	343.26'	70.00'	S37°32'16"W	89.09'	280°57'28"	N77°03'32"E	N01°59'00"W
C19	32.83'	70.00'	S89°30'13"E	32.53'	026°52'29"	N77°03'32"E	S76°03'59"E
C20	63.00'	70.00'	S50°16'59"E	60.90'	051°33'58"	S76°03'59"E	S24°30'00"E
C21	63.00'	70.00'	S01°16'59"W	60.90'	051°33'59"	S24°30'00"E	S27°03'59"W
C22	63.00'	70.00'	S52°50'58"W	60.90'	051°33'59"	S27°03'59"W	S78°37'58"W
C23	63.00'	70.00'	N75°35'03"W	60.90'	051°33'59"	S78°37'58"W	N49°48'04"W
C24	58.42'	70.00'	N25°53'32"W	56.74'	047°49'04"	N49°48'04"W	N01°59'00"W
C25	35.24'	40.00'	N27°13'22"W	34.11'	050°28'45"	N01°59'00"W	N52°27'44"W
C26	165.07'	180.00'	N26°11'26"W	159.35'	052°32'35"	N52°27'44"W	N00°44'52"E
C27	47.39'	180.00'	N44°55'09"W	47.26'	015°05'10"	N52°27'44"W	N37°22'34"W
C28	77.15'	180.00'	N25°05'51"W	76.56'	024°33'25"	N37°22'34"W	N12°49'09"W
C29	40.53'	180.00'	N06°22'09"W	40.44'	012°54'01"	N12°49'09"W	N00°44'52"E
C30	65.84'	333.00'	N86°32'25"W	65.73'	011°19'40"	S87°47'45"E	N80°52'35"W
C31	47.84'	333.00'	N88°05'18"W	47.80'	008°13'55"	S87°47'45"E	N83°58'21"W
C32	17.99'	333.00'	N82°25'28"W	17.99'	003°05'46"	N83°58'21"W	N80°52'35"W
C33	68.84'	230.00'	S17°20'07"W	68.59'	017°08'58"	S08°54'38"W	S26°03'36"W
C34	60.99'	120.00'	S11°29'58"W	60.34'	029°07'17"	S26°03'36"W	S03°03'41"E
C35	41.79'	40.00'	S32°59'39"E	39.92'	059°51'56"	S03°03'41"E	S62°55'37"E
C36	342.66'	70.00'	S77°18'30"W	89.55'	280°28'14"	S62°55'37"E	N37°32'37"E
C37	34.48'	70.00'	S48°48'58"E	34.13'	028°13'18"	S62°55'37"E	S34°42'19"E
C38	69.44'	70.00'	S06°17'16"E	66.63'	056°50'06"	S34°42'19"E	S22°07'47"W
C39	63.00'	70.00'	S47°54'46"W	60.90'	051°33'58"	S22°07'47"W	S73°41'45"W
C40	63.00'	70.00'	N80°31'15"W	60.90'	051°33'58"	S73°41'45"W	N54°44'16"W
C41	63.00'	70.00'	N28°57'17"W	60.90'	051°33'58"	N54°44'16"W	N03°10'18"W
C42	49.74'	70.00'	N17°11'10"E	48.70'	040°42'55"	N03°10'18"W	N37°32'37"E
C43	32.64'	40.00'	N14°01'11"E	31.74'	046°44'52"	N37°32'37"E	N09°12'15"W
C44	110.79'	180.00'	N08°25'41"E	109.05'	035°15'51"	N09°12'15"W	N26°03'36"E
C45	20.76'	180.00'	N05°54'02"W	20.74'	006°36'25"	N09°12'15"W	N02°35'50"W
C46	90.03'	180.00'	N11°43'53"E	89.09'	028°39'26"	N02°35'50"W	N26°03'36"E
C47	50.88'	170.00'	S17°29'07"W	50.69'	017°08'58"	S08°54'38"W	S26°03'36"W

- LEGEND:**
- 1-1/4" X 18" REBAR SET WEIGHING 4.30 LB/FT.
  - 1-1/4" REBAR FOUND
  - 3/4" X 18" REBAR SET WEIGHING 1.50 LB/FT.
  - 3/4" REBAR FOUND
  - ▲ 1" IRON PIPE FOUND
  - ⊙ SECTION CORNER MONUMENT FOUND (6"X6"X36" CONCRETE MONUMENT W/ BRASS CAP)
  - NO ACCESS LINE

**NOTES:**

- PROPOSED 50' CONSERVATION EASEMENT, PROPOSED 30' WETLAND BUFFER "NO TOUCH", AND PROPOSED 50' WETLAND SETBACK "NO BUILD" EASEMENTS AROUND WETLANDS TO BE CREATED PER SEPARATE DOCUMENTS. (SEE SHEET 3 & 4 FOR PROPOSED LOCATIONS)
- STORM SEWER/DRAINAGE EASEMENTS TO BE CREATED PER SEPARATE DOCUMENTS. (SEE SHEET 3 & 4 FOR PROPOSED LOCATIONS)
- PLEASANT VIEW RESERVE IS LOCATED WITHIN 100 FEET OF AN ACTIVE NON-METALLIC QUARRY REGULATED BY THE CITY OF FRANKLIN AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.




# PLEASANT VIEW RESERVE

LOT 2 OF CERTIFIED SURVEY MAP NO. 9283 AND PART OF THE SW 1/4 OF THE NE 1/4, AND PART OF THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, ALL BEING A PART OF THE SW 1/4 OF THE NE 1/4 AND THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration



ISSUED DATE: JUNE 14, 2021  
REVISED DATE: JULY 23, 2021

**NOTES:**

**OUTLOTS**

-Outlots 1 & 2 of the plat of Pleasant View Reserve are owned and shall be maintained by the Pleasant View Reserve Homeowners Association and each individual lot owner shall have an undividable fractional ownership of the outlots and that Milwaukee County and the City of Franklin shall not be liable for any fees or special assessments in the event Milwaukee County or the City of Franklin should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said outlots in an unobstructed condition so as to maintain its intended purpose. Construction of any building, grading, or filling in said outlots is prohibited unless approved by the City of Franklin. The Homeowners Association grants to the City the right (but not the responsibility) to enter upon these outlots in order to inspect, repair or restore said outlots to its intended purpose. Expenses incurred by the City for said inspection, repair or restoration of said outlots may be placed against the tax roll for said association and collected as a special charge by the city.

**ACCESS**

-Lot 2 of the plat of Pleasant View Reserve fronts both S. 51st Street and W. Marquette Avenue. No Access allowed to S. 51st Street from Lot 2. Drive access to Lot 2 will be from W. Marquette Avenue.

**WETLANDS**

-Wetland lines shown on this plat were delineated by Evergreen Consultants, LLC on September 2, 2020.

-At the time of survey surface water existed in the wetland area with an approximate high water elevation of 734.2'.

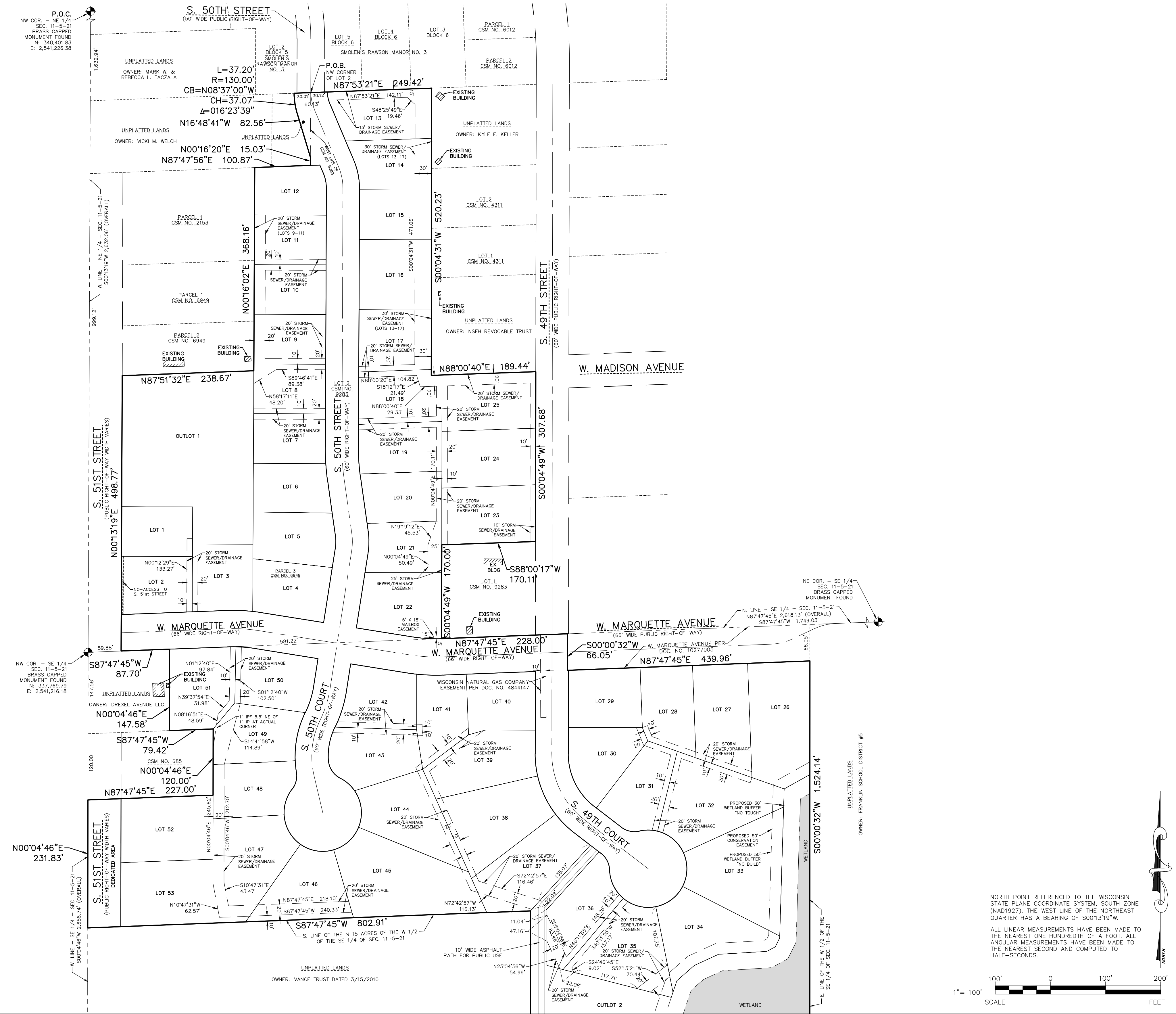
**VISION TRIANGLES**

-No Obstructions permitted. No visual obstructions, such as structures, parking, or vegetation, shall be permitted in any district between the heights of two and one-half (2.5) feet and ten (10) feet above the plane through the mean curb-grades within the triangular space formed by any two (2) existing or proposed intersecting street or alley right-of-way lines and a line joining points on such lines, located a minimum of thirty (30) feet from their intersection.

**CONSERVATION EASEMENT RESTRICTIONS**

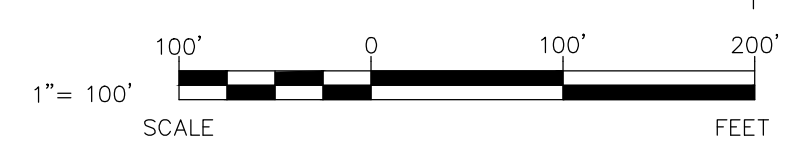
Within the Conservation Easement Area depicted on this plat the owners of such land shall not:

1. Construct or place any buildings or any structure,
2. Construct or make any improvements, unless, notwithstanding Covenant 1. above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect, such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like,
3. Excavate, dredge, grade, mine, drill or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees,
4. Conduct any filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste or other landscape materials, ashes, garbage, or debris,
5. Plant any vegetation not native to the protected property or not typical wetland vegetation,
6. Operate snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of motorized vehicles.



NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD1927). THE WEST LINE OF THE NORTHEAST QUARTER HAS A BEARING OF S0013'19"W.

ALL LINEAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE HUNDREDTH OF A FOOT. ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST SECOND AND COMPUTED TO HALF-SECONDS.



# PLEASANT VIEW RESERVE

LOT 2 OF CERTIFIED SURVEY MAP NO. 9283 AND PART OF THE SW 1/4 OF THE NE 1/4, AND PART OF THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, ALL BEING A PART OF THE SW 1/4 OF THE NE 1/4 AND THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_



Department of Administration

ISSUED DATE: JUNE 14, 2021  
REVISED DATE: JULY 23, 2021

**NOTES:**

**OUTLOTS**

-Outlots 1 & 2 of the plat of Pleasant View Reserve are owned and shall be maintained by the Pleasant View Reserve Homeowners Association and each individual lot owner shall have an undividable fractional ownership of the outlots and that Milwaukee County and the City of Franklin shall not be liable for any fees or special assessments in the event Milwaukee County or the City of Franklin should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said outlots in an unobstructed condition so as to maintain its intended purpose. Construction of any building, grading, or filling in said outlots is prohibited unless approved by the City of Franklin. The Homeowners Association grants to the City the right (but not the responsibility) to enter upon these outlots in order to inspect, repair or restore said outlots to its intended purpose. Expenses incurred by the City for said inspection, repair or restoration of said outlots may be placed against the tax roll for said association and collected as a special charge by the city.

**ACCESS**

-Lot 2 of the plat of Pleasant View Reserve fronts both S. 51st Street and W. Marquette Avenue. No Access allowed to S. 51st Street from Lot 2. Drive access to Lot 2 will be from W. Marquette Avenue.

**WETLANDS**

-Wetland lines shown on this plat were delineated by Evergreen Consultants, LLC on September 2, 2020.  
-At the time of survey surface water existed in the wetland area with an approximate high water elevation of 734.2'.

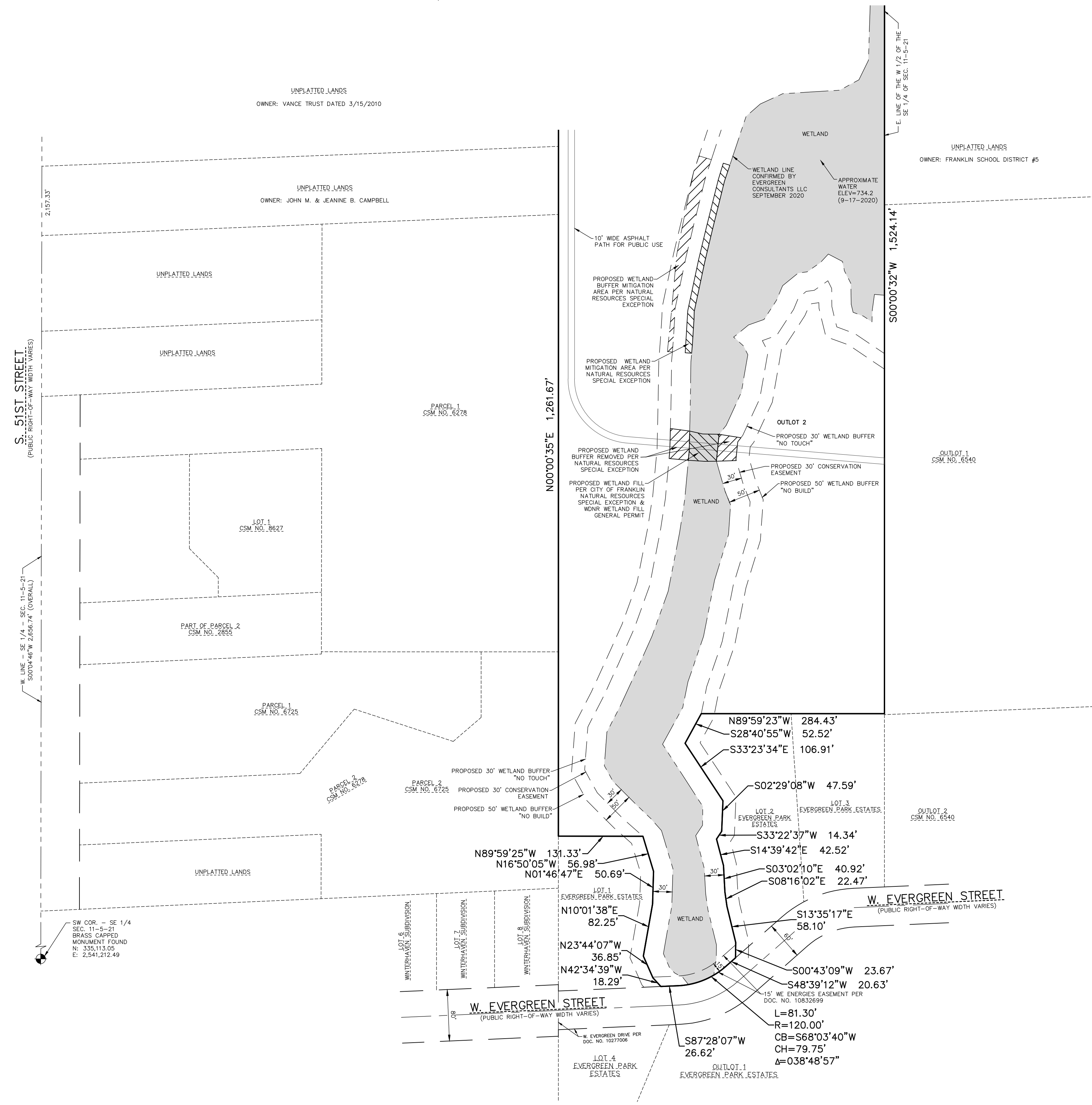
**VISION TRIANGLES**

-No Obstructions permitted. No visual obstructions, such as structures, parking, or vegetation, shall be permitted in any district between the heights of two and one-half (2.5) feet and ten (10) feet above the plane through the mean curb-grades within the triangular space formed by any two (2) existing or proposed intersecting street or alley right-of-way lines and a line joining points on such lines, located a minimum of thirty (30) feet from their intersection.

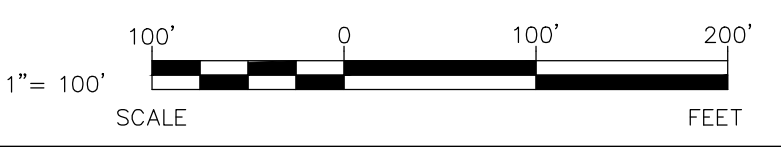
**CONSERVATION EASEMENT RESTRICTIONS**

Within the Conservation Easement Area depicted on this plat the owners of such land shall not:

1. Construct or place any buildings or any structure,
2. Construct or make any improvements, unless, notwithstanding Covenant 1. above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect, such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like,
3. Excavate, dredge, grade, mine, drill or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees,
4. Conduct any filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste or other landscape materials, ashes, garbage, or debris,
5. Plant any vegetation not native to the protected property or not typical wetland vegetation,
6. Operate snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of motorized vehicles.



NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD1927). THE WEST LINE OF THE NORTHEAST QUARTER HAS A BEARING OF S00°13'19"W.  
ALL LINEAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE HUNDRETH OF A FOOT. ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST SECOND AND COMPUTED TO HALF-SECONDS.



# PLEASANT VIEW RESERVE

LOT 2 OF CERTIFIED SURVEY MAP NO. 9283 AND PART OF THE SW 1/4 OF THE NE 1/4, AND PART OF THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, ALL BEING A PART OF THE SW 1/4 OF THE NE 1/4 AND THE NW 1/4 AND SW 1/4 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify that under the direction of the owners listed below, I have surveyed, divided and mapped a parcel of land described hereon, Lot 2 of Certified Survey Map No. 9283, recorded in the Register of Deeds office for Milwaukee County on December 21, 2020, as Document No. 11059192 and part of the Southwest 1/4 of the Northeast 1/4, and part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 all being part of the Southwest 1/4 of the Northeast 1/4 and the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 11, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin being more particularly described as follows:

Commencing at the Northwest corner of said Northeast 1/4; thence South 00°-13'-19" West along the West line of said Northeast 1/4, a distance of 1,632.94 feet to the Westerly extension of the North line of said Lot 2; thence North 87°-53'-21" East along said Westerly extension, a distance of 399.80 feet to the Northwest corner of said Lot 2, said point being the point of beginning; thence continuing North 87°-53'-21" East along the North line of said Lot 2, a distance of 219.41 feet to the Northeast corner of said Lot 2; thence South 00°-04'-31" West along an East line of said Lot 2, a distance of 520.23 feet to an East corner of said Lot 2; thence North 88°-00'-40" East along an East line of said Lot 2, a distance of 189.44 feet to an East corner of said Lot 2; thence South 00°-04'-49" West along an East line of said Lot 2, a distance of 307.68 feet to an East corner of said Lot 2; thence South 88°-00'-17" West along an East line of said Lot 2, a distance of 170.11 feet to an East corner of said Lot 2; thence South 00°-04'-49" West along an East line of said Lot 2, a distance of 170.00 feet to the Southeast corner of said Lot 2; thence North 87°-47'-45" East along the South line of Lot 1 of said Certified Survey Map No. 9283 and its Easterly extension, a distance of 228.00 feet to the Northwest corner of W. Marquette Avenue per Document No. 10277005; thence South 00°-00'-32" West along the West line of said W. Marquette Avenue, a distance of 66.05 feet to the Southwest corner of said W. Marquette Avenue; thence North 87°-47'-45" East along the South line of said W. Marquette Avenue, a distance of 439.96 feet to the East line of the West 1/2 of said Southeast 1/4; thence South 00°-00'-32" West along said East line, a distance of 1,524.14 feet to the Northeast corner of Lot 3 of Evergreen Park Estates Subdivision recorded in the Milwaukee County Register of Deeds Office as Document No. 10794434; thence North 89°-59'-23" West, along the North line of said Lot 3 and Lot 2 of said Evergreen Park Estates Subdivision, a distance of 284.43 feet to the Northwest corner of said Lot 2; thence South 28°-40'-55" West along a West line of said Lot 2, a distance of 52.52 feet; thence South 33°-23'-34" East along a West line of said Lot 2, a distance of 106.91 feet; thence South 02°-29'-08" West along a West line of said Lot 2, a distance of 47.59 feet; thence South 33°-22'-37" West along a West line of said Lot 2, a distance of 14.34 feet; thence South 14°-39'-42" East along a West line of said Lot 2, a distance of 42.52 feet; thence South 03°-02'-10" East along a West line of said Lot 2, a distance of 40.92 feet; thence South 08°-16'-02" East along a West line of said Lot 2, a distance of 22.47 feet; thence South 13°-35'-17" East along a West line of said Lot 2, a distance of 58.10 feet; thence South 00°-43'-09" West along a West line of said Lot 2, a distance of 23.67 feet to the Southwest corner of said Lot 2, said point being on the Northerly right-of-way line of W. Evergreen Street per Document No. 10277006; thence South 48°-39'-12" West along said Northerly line, a distance of 20.63 feet; thence Southwesterly 81.30 feet along said Northerly line on a curve to the right having a radius of 120.00 feet, the chord of said curve bears South 68°-03'-40" West, a chord distance of 79.75 feet; thence South 87°-28'-07" West along said Northerly line, a distance of 26.62 feet to the Southeast corner of Lot 1 of said Evergreen Park Estates Subdivision; thence North 42°-34'-39" West along an East line of said Lot 1, a distance of 18.29 feet; thence North 23°-44'-07" West along an East line of said Lot 1, a distance of 36.85 feet; thence North 10°-01'-38" East along an East line of said Lot 1, a distance of 82.25 feet; thence North 01°-46'-47" East along an East line of said Lot 1, a distance of 50.69 feet; thence North 16°-50'-05" West along an East line of said Lot 1, a distance of 56.98 feet to the Northeast corner of said Lot 1; thence North 89°-59'-25" West along the North line of said Lot 1, a distance of 131.33 feet to the Northwest corner of said Lot 1; thence North 00°-00'-35" East along the East line of Certified Survey Map No. 6725, recorded in the Milwaukee County Register of Deeds Office as Document No. 07815329, and its Northerly extension, a distance of 1,261.67 feet to the South line of the North 15 acres of the West 1/2 of said Southeast 1/4; thence South 87°-47'-45" West along said South line, a distance of 802.91 feet to the West line of said Southeast 1/4; thence North 00°-04'-46" East along said West line, a distance of 231.83 feet to the Westerly extension of the South line of CSM No. 685, recorded in the Milwaukee County Register of Deeds Office as Document No. 4320511; thence North 87°-47'-45" East along said South line and its Westerly extension, a distance of 227.00 feet to the Southeast corner of said CSM No. 685; thence North 00°-04'-46" East along the East line of said CSM No. 685, a distance of 120.00 feet to the Northeast corner of said CSM No. 685; thence South 87°-47'-45" West along the North line of said CSM No. 685, a distance of 79.42 feet to the Southeast corner of lands described per Document No. 10309610; thence North 00°-04'-46" East along the East line of said lands, a distance of 147.58 feet to the South line of Lot 2 of said CSM No. 9283; thence South 87°-47'-45" West along said South line, a distance of 87.70 feet to the Southwest corner of said Lot 2; thence North 00°-13'-19" East along said West line, a distance of 498.77 feet to a West corner of said Lot 2; thence North 87°-51'-32" East along a West line of said Lot 2, a distance of 238.67 feet to a West corner of said Lot 2; thence North 00°-16'-02" East along a West line of said Lot 2, a distance of 368.16 feet to a West corner of said Lot 2; thence North 87°-47'-56" East along a West line of said Lot 2, a distance of 100.87 feet to a West corner of said Lot 2; thence North 00°-16'-20" East along a West line of said Lot 2, a distance of 15.03 feet; thence North 16°-48'-41" West, a distance of 82.56 feet; thence Northwesterly 37.20 feet along a curve to the right having a radius of 130.00 feet, the chord of said curve bears North 08°-37'-00" West, a chord distance of 37.07 feet to the Westerly extension of the North line of said Lot 2; thence North 87°-53'-21" East along said Westerly extension, a distance of 30.01 feet to the point of beginning and containing 38,660 acres (1,684,031 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236, Wis. Stats. and the Subdivision Ordinance of Milwaukee County and the City of Franklin in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647  
 ryan.w@excelengineer.com  
 Excel Engineering, Inc.  
 Fond du Lac, Wisconsin 54935

ISSUED DATE: JUNE 14, 2021  
 REVISED DATE: JULY 23, 2021

UTILITY EASEMENT PROVISIONS (PUBLIC)

An easement for electric, natural gas, and communications service is hereby granted by VH PVR, LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee,

SPECTRUM MID-AMERICA, LLC, Grantee, and

WISCONSIN BELL, INC. doing business as AT&T Wisconsin, a Wisconsin corporation, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

OWNER'S CERTIFICATE OF DEDICATION

VH PVR, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

VH PVR, LLC does further certify that this plat is required by S236.10 or S236.12 Wisconsin Statutes to be submitted to the following agencies for approval or objection:

1. Department of Administration
2. Milwaukee County Department of Public Works
3. City of Franklin

In witness whereof, VH PVR, LLC has caused these presents to be signed by its official officer of said limited liability company at Madison, Wisconsin this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

VH PVR, LLC

By: \_\_\_\_\_

STATE OF WISCONSIN )  
 COUNTY OF \_\_\_\_\_ ) S.S

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named officer(s) of the above named VH PVR, LLC to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
 Notary Public, \_\_\_\_\_ County, WI  
 My Commission Expires: \_\_\_\_\_

CITY TREASURER'S CERTIFICATE

I, Paul Rotzenberg, being the duly appointed, qualified, and acting City Treasurer of the City of Franklin, Milwaukee County, Wisconsin, do hereby certify that, in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ on any of the lands included in the plat of PLEASANT VIEW RESERVE SUBDIVISION.

\_\_\_\_\_  
 Paul Rotzenberg, Treasurer, City of Franklin

COUNTY TREASURER'S CERTIFICATE

I, David Cullen, being the duly elected, qualified, and acting Treasurer of the County of Milwaukee, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ affecting the lands included in the plat of PLEASANT VIEW RESERVE SUBDIVISION.

\_\_\_\_\_  
 David Cullen, Treasurer, Milwaukee County, Wisconsin

CITY OF FRANKLIN APPROVAL COMMON COUNCIL RESOLUTION NO.

Resolved, that the plat of PLEASANT VIEW RESERVE SUBDIVISION in the City of Franklin, Wisconsin is hereby approved conditionally by the Common Council on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
 Stephen R. Olson, Mayor

I hereby certify that the foregoing is a copy of the resolution adopted by the Common Council of the City of Franklin and that all the conditions for approval have been met as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, therefore this plat is approved.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
 Sandra L. Wesolowski, City Clerk

CONSENT OF CORPORATE MORTGAGEE

Associated Bank N.A., a Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described on this plat, and does hereby consent to the above Owner's Certificate.

In witness whereof, the said Associated Bank N.A. has caused these presents to be signed by Stephen L. Sosnowski, its Senior Vice President, at \_\_\_\_\_, Wisconsin this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Associated Bank N.A.

\_\_\_\_\_  
 Stephen L. Sosnowski, Senior Vice President

STATE OF WISCONSIN)


COUNTY OF \_\_\_\_\_ ) S.S

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, Stephen L. Sosnowski of the above named banking association to me known to be the person who executed the foregoing instrument, and to me know to be such Senior Vice President of said banking association, and acknowledged that they executed the foregoing instrument as such officer as the deed of said banking association, by its authority.

\_\_\_\_\_  
 Notary Public, \_\_\_\_\_ County, WI  
 My Commission Expires: \_\_\_\_\_

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.


Certified \_\_\_\_\_, 20\_\_



Department of Administration

OWNER / DEVELOPER:  
 VH PVR, LLC  
 6801 S. TOWNE DR.  
 MADISON, WI 53713

SURVEYOR:  
 RYAN WILGREEN  
 EXCEL ENGINEERING, INC.  
 100 CAMELOT DR.  
 FOND DU LAC, WI 54935  
 920.926.9800



Always a Better Plan  
 100 CAMELOT DRIVE  
 FOND DU LAC, WI 54935  
 PHONE: (920) 926-9800  
 FAX: (920) 926-9801  
 PROJECT NO. 2044840

**PROJECT INFORMATION**

NATURAL RESOURCES PROTECTION PLAN  
**PLEASANT VIEW RESERVE**  
S. 51ST STREET & W. MARQUETTE AVENUE • FRANKLIN, WI 53132

PROFESSIONAL SEAL

**PRELIMINARY DATES**

DEC. 18, 2020  
FEB. 12, 2021  
JULY 14, 2021

**NOT FOR CONSTRUCTION**

**JOB NUMBER**

2044840

**SHEET NUMBER**

**NRPP**

OWNER:  
WALTER R. HABLEWITZ  
3408 S. 49TH STREET  
FRANKLIN, WI 53132

CREATIVE HOMES, INC.  
9244 S. 49TH STREET  
FRANKLIN, WI 53132

SUBDIVIDER/DEVELOPER:  
VERIDIAN HOMES, LLC  
6801 S. TOWNE DRIVE  
MADISON, WI 53713  
CONTACT: MATT CUDNEY  
P: (808) 226-3016  
MCUDNEY@VERIDIANHOMES.COM

ENGINEER & SURVEYOR:  
EXCEL ENGINEERING, INC.  
100 CAMELOT DR  
FOND DU LAC, WI 54935

NRPP:

LEGAL DESCRIPTION: Part of Parcel 3 of Certified Survey Map No. 6949 and part of the SW 1/4 of the NE 1/4, and part of the NW 1/4 and SW 1/4 of the SE 1/4 of Section 11, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

PROPERTY AREA: AREA = 1,684,039 S.F. (38.660 ACRES)

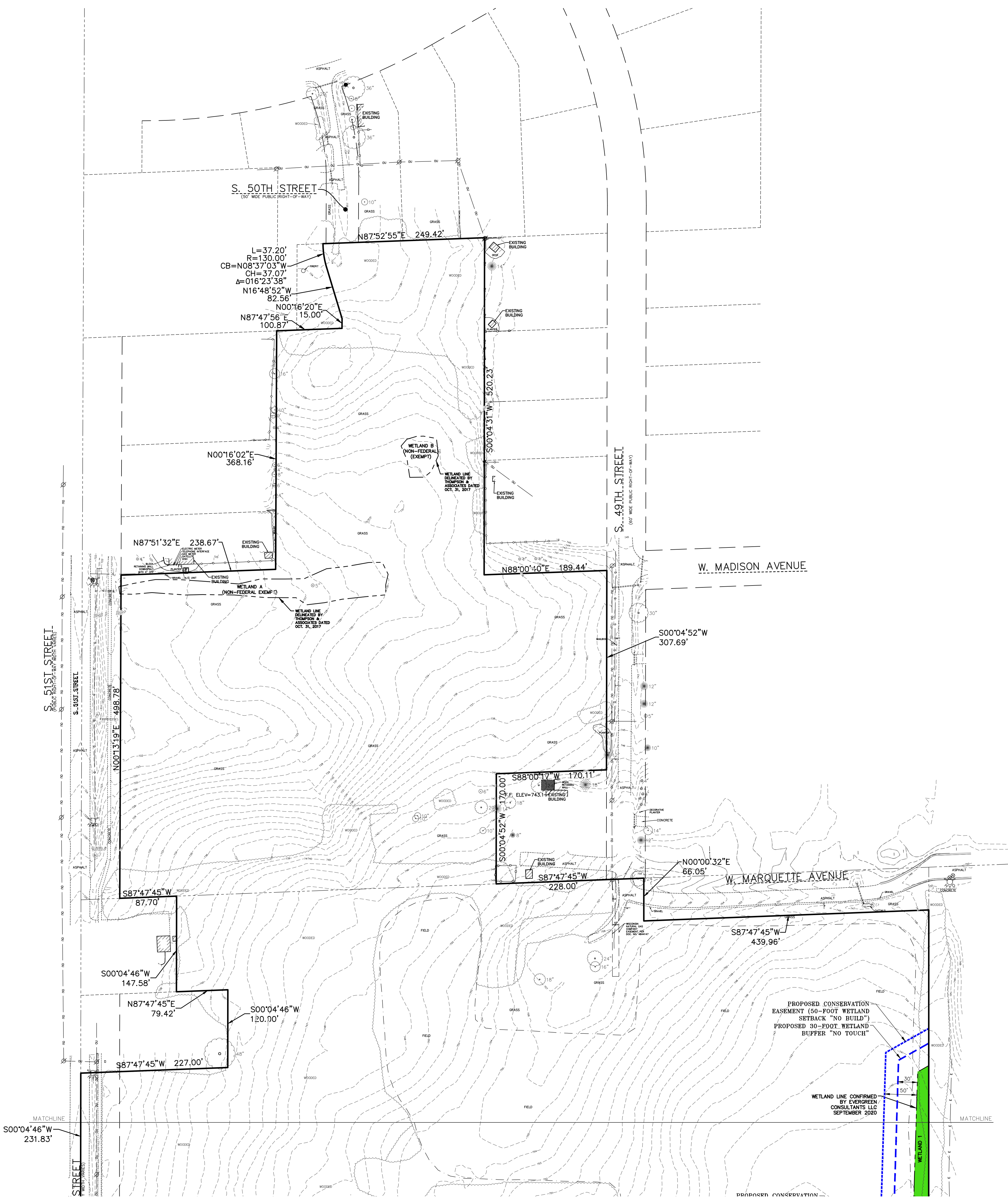
EXISTING ZONING: R-6

**WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

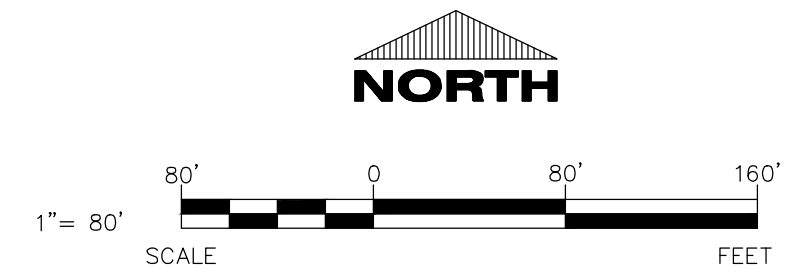
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Slopes:					
10-19%	0.00	0.60	0.40	X 0.00 = 0.00	0.00
20-30%	0.65	0.75	0.70	X 0.00 = 0.00	0.00
+30%	0.90	0.85	0.80	X 0.00 = 0.00	0.00
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X 0.00 = 0.00	0.00
Young	0.50	0.50	0.50	X 0.00 = 0.00	0.00
Lakes & Ponds	1	1	1	X 0.00 = 0.00	0.00
Streams	1	1	1	X 0.00 = 0.00	0.00
Shore Buffer	1	1	1	X 0.00 = 0.00	0.00
Floodplains	1	1	1	X 0.00 = 0.00	0.00
Wetland Buffers	1	1	1	X 2.32 = 2.32	2.32
Wetlands & Shoreland Wetlands	1	1	1	X 3.76 = 3.76	3.76
<b>TOTAL RESOURCE PROTECTION LAND</b> (Total of Acres of Land in Resource Feature to be Protected)					<b>6.08</b>

NO OVERLAPPING NATURAL RESOURCES PRESENT

**WOODLAND NOTE:**  
IN CONJUNCTION WITH THE PREVIOUS PRELIMINARY PLATS OF THESE PROPERTIES, TREE SURVEYS WERE COMPLETED; THOSE SURVEYS ARE FOUND IN APPENDIX B OF THIS PLAN. THE SUBJECT SURVEYS INDICATE THERE ARE NO WOODED AREAS WITHIN EITHER PROPERTY THAT MEET THE YOUNG WOODLAND OR MATURE WOODLAND CRITERIA.

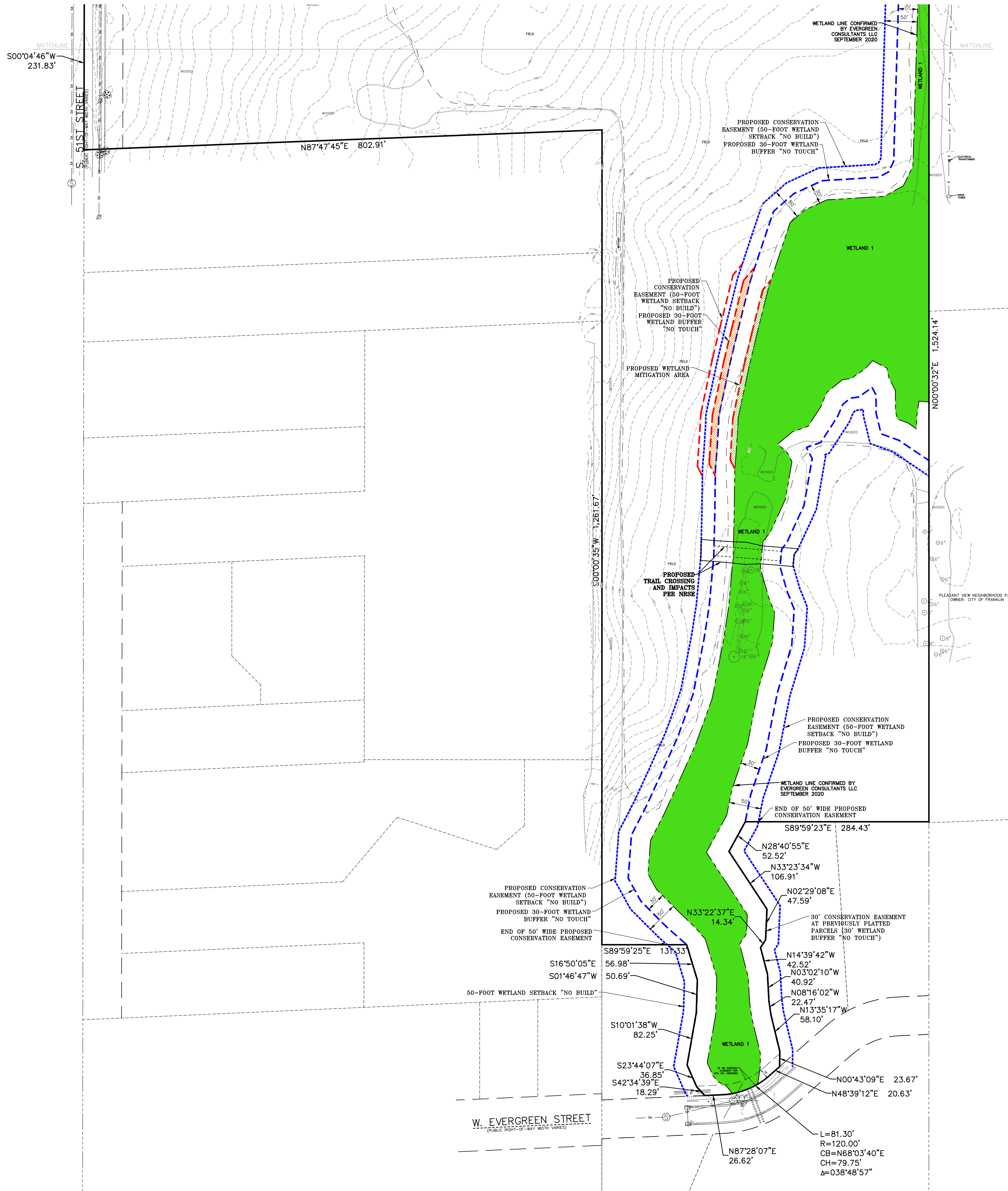


- LEGEND:**
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  - WATER SERVICE VALVE
  - EXISTING SIGN
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  - EXISTING SANITARY SEWER AND MANHOLE
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  - EXISTING UNDERGROUND ELECTRIC CABLE
  - EXISTING CURB AND GUTTER
  - EXISTING GROUND CONTOUR



**FIGURE 1A**  
NRPP - NORTH





OWNER:  
WALTER R. HABLEWITZ  
3408 S. 49TH STREET  
FRANKLIN, WI 53132

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ENGINEER & SURVEYOR:  
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FOND DU LAC, WI 54935

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Young	0.50	0.50	0.50	X 0.00	0.00
Lakes & Ponds	1	1	1	X 0.00	0.00
Streams	1	1	1	X 0.00	0.00
Shore Buffer	1	1	1	X 0.00	0.00
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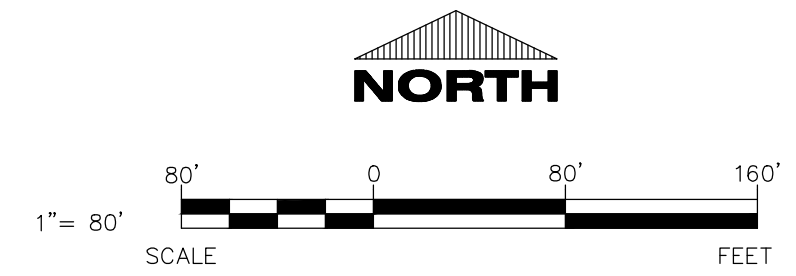


FIGURE 1B  
NRPP - SOUTH



PROJECT INFORMATION

NATURAL RESOURCES PROTECTION PLAN  
**PLEASANT VIEW RESERVE**  
S. 51ST STREET & W. MARQUETTE AVENUE • FRANKLIN, WI 53132

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 18, 2020  
FEB. 12, 2021  
JULY 14, 2021

NOT FOR CONSTRUCTION

JOB NUMBER  
2044840

SHEET NUMBER  
**NRPP**

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**SHEET NUMBER**

**S**

**SITE INFORMATION:**

**LEGAL DESCRIPTION:** Part of Parcel 3 of Certified Survey Map No. 6949 and part of the SW 1/4 of the NE 1/4, and part of the NW 1/4 and SW 1/4 of the SE 1/4 of Section 11, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

**PROPERTY AREA:** AREA = 1,684,039 S.F. (38.66 ACRES)

**EXISTING ZONING:** R-6

**PROPOSED ZONING:** R-6

**PROPOSED USE:** RESIDENTIAL SUBDIVISION - PERMITTED USE "CONVENTIONAL SUBDIVISION"

**MINIMUM LOT AREA:** 11,000 SF

**MINIMUM LOT WIDTH:** 90' AT FRONT SETBACK LINE

**OPEN SPACE RATIO:** 0.00

**GROSS DENSITY:** 2.972

**NET DENSITY:** 2.972

**SETBACKS:** FRONT = 30'  
SIDE = 10'  
SIDE CORNER LOT = 19'  
REAR = 30'

**PROPOSED SITE DATA**

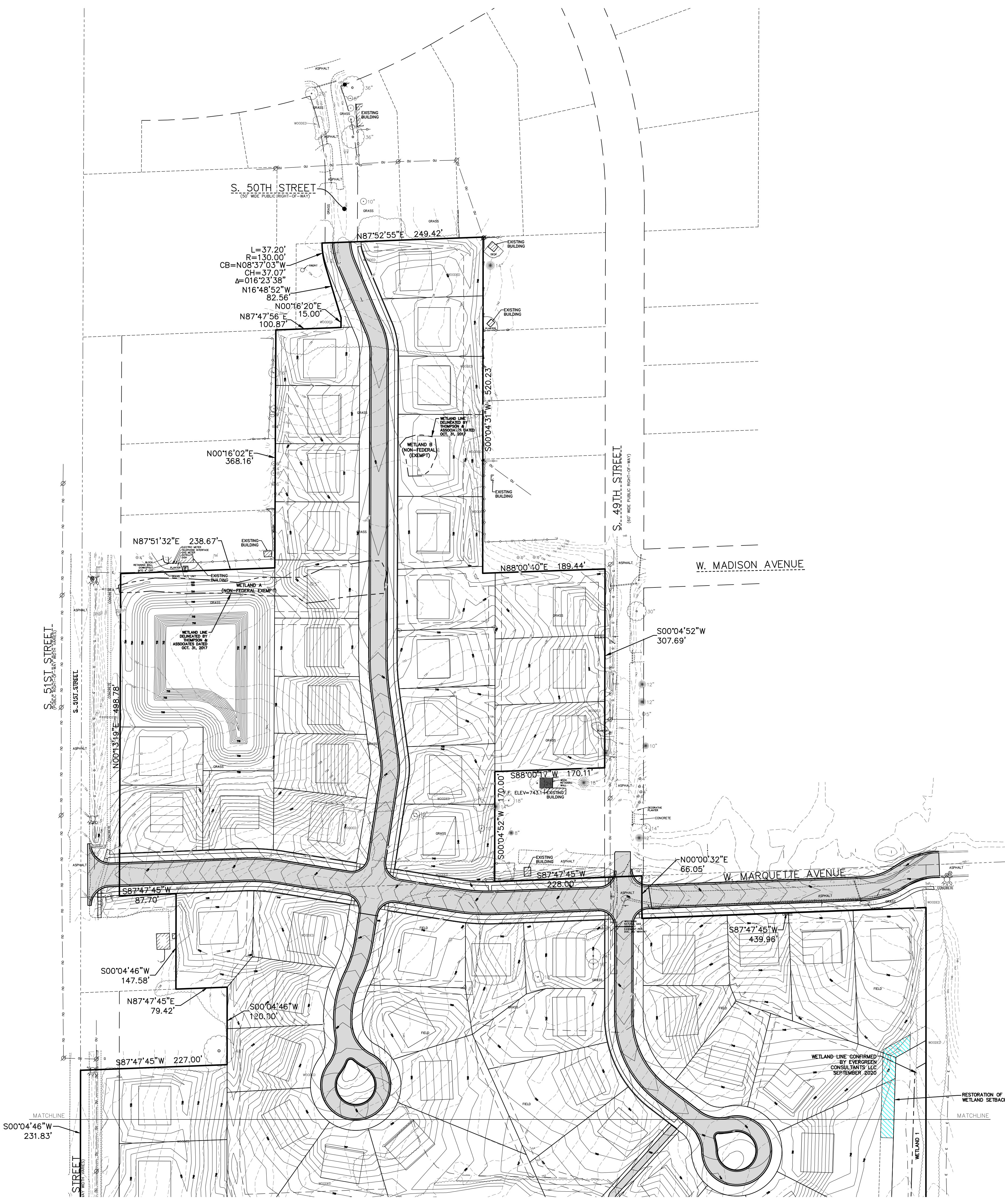
	AREA (AC)	RATIO
PROJECT SITE (BASE SITE AREA)	38.66	
OUTLOTS (OPEN SPACE)	14.86	38.44%

**OWNER:**  
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FRANKLIN, WI 53132

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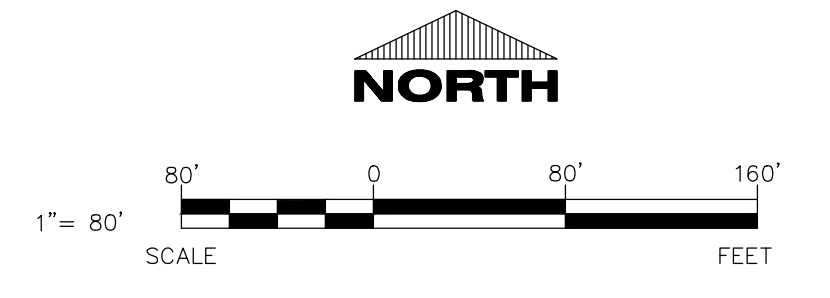
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CONTACT: MATT CUDNEY  
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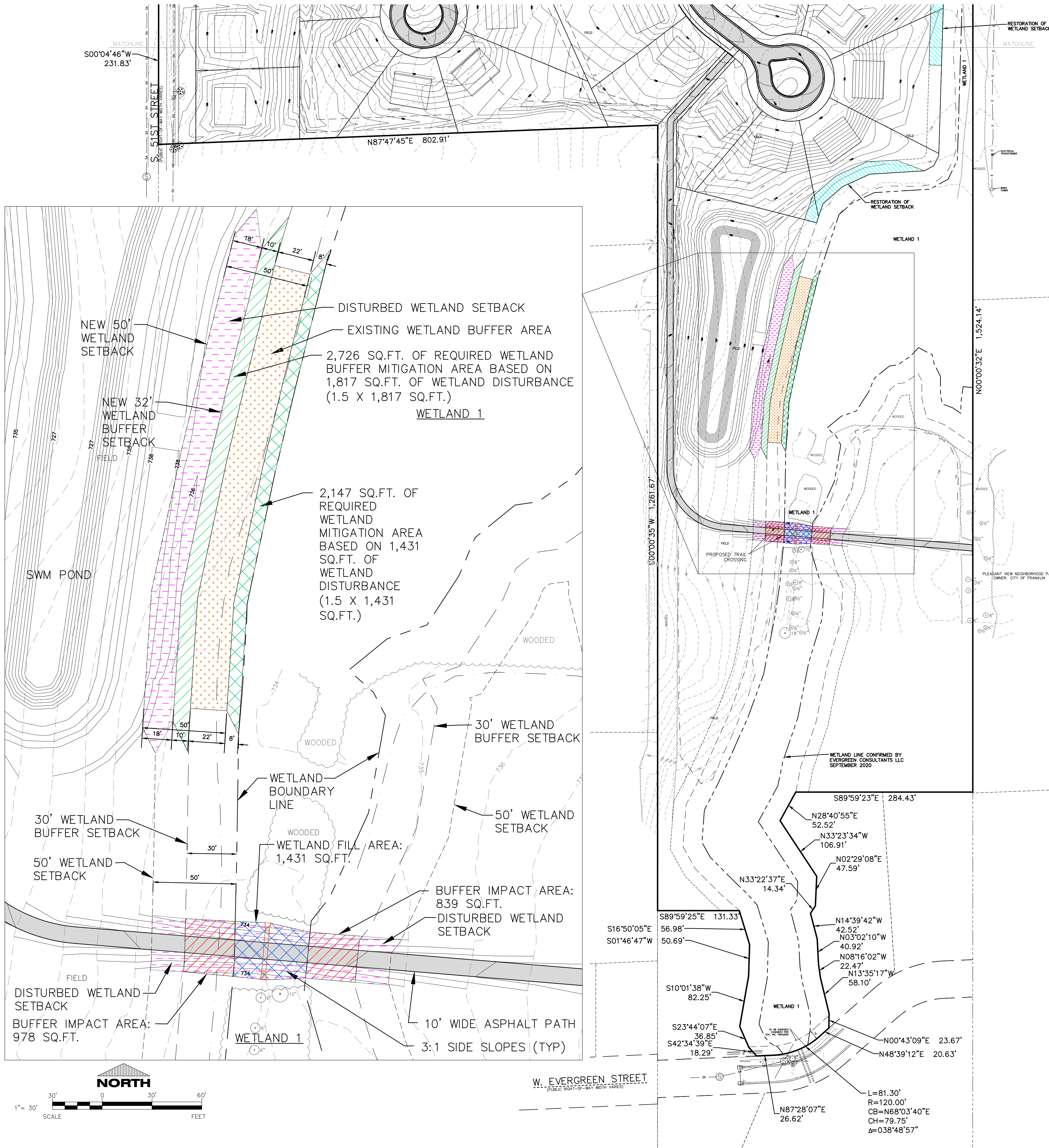


**LEGEND:**

	EXISTING ROUND CATCH BASIN		WOODED AREA
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	UTILITY POLE		EXISTING UNDERGROUND ELECTRIC CABLE
	UTILITY POLE WITH GUY WIRE		EXISTING CURB AND GUTTER
	DECIDUOUS TREE		EXISTING GROUND CONTOUR
	CONIFEROUS TREE		
	SHRUB		
	MONUMENT FOUND		
	3/4" REBAR FOUND		
	1" IRON PIPE FOUND		



**FIGURE 2A**  
SKETCH PLAN - NORTH



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FRANKLIN, WI 53132

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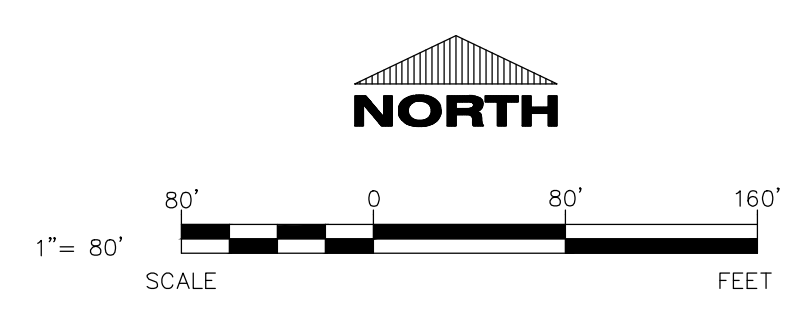
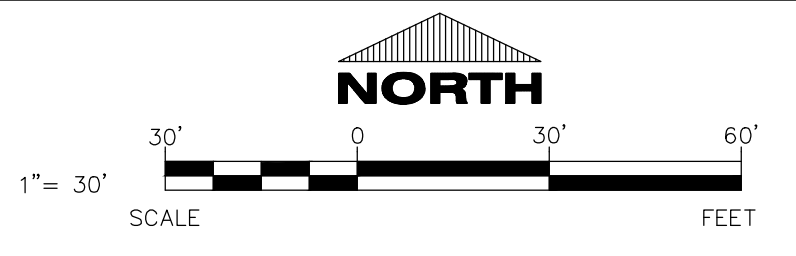
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PROJECT SITE (BASE SITE AREA)	38.66	
OUTLOTS (OPEN SPACE)	14.86	38.44%

**NATURAL RESOURCE**

ITEM	TOTAL AREA (SF)
BUFFER IMPACT AREA	1817
WETLAND FILL AREA	1431
WETLAND BUFFER MITIGATION AREA	2726
WETLAND MITIGATION AREA	2147

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**FIGURE 2B**  
SKETCH PLAN - SOUTH



**PROJECT INFORMATION**

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**PLEASANT VIEW RESERVE**  
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PROFESSIONAL SEAL

**PRELIMINARY DATES**

DEC. 18, 2020  
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JULY 14, 2021

**NOT FOR CONSTRUCTION**

**JOB NUMBER**  
2044840

**SHEET NUMBER**  
S



## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of August 5, 2021

## Temporary Use

---

**RECOMMENDATION:** City Development Staff recommends approval of a Temporary Use for the Holiday Craft & Gift Exposition, to be held November 26<sup>th</sup> – 28<sup>th</sup> with setup on November 24<sup>th</sup>, 2021 at the Milwaukee County Sports Complex, located at 6000 West Ryan Road.

---

<b>Project Name:</b>	Holiday Craft & Gift Exposition
<b>Project Address:</b>	6000 West Ryan Road
<b>Property Owner:</b>	Milwaukee County
<b>Applicant:</b>	Torbenson Shows, LLC
<b>Agent:</b>	Jim Torbenson
<b>Zoning:</b>	P-1 Park District; FW Floodway District, FC Floodplain Conservancy District;
<b>Use of Surrounding Properties:</b>	Agriculture and recreational uses to the north and east, residential uses to the south and east, and floodplain and open space uses to the west.
<b>Comprehensive Plan:</b>	Park District
<b>Planner:</b>	Marion Ecks
<b>Applicant Action Requested:</b>	Approval of a Temporary Use

---

**INTRODUCTION:**

On May 20, 2021 Mr. Jim Torbenson filed a Temporary Use Application with the Department of City Development, requesting approval to use the Milwaukee County Sports Complex located at 6000 West Ryan Road for a Holiday Craft & Gift Exposition. The applicant is proposing to hold the event on Friday, November 26<sup>th</sup> from 9 a.m. to 5 p.m.; Saturday, November 27<sup>th</sup> from 9 a.m. to 4 p.m.; and Sunday, November 28<sup>th</sup> from 10 a.m. to 2 p.m. Setup is scheduled to occur on Wednesday, November 24<sup>th</sup> from 12:00 P.M. to 8:00 P.M. Take down is scheduled to be completed by Sunday, November 28<sup>th</sup> after the event.

**ANALYSIS:**

Non-sports related or “miscellaneous” events at the Milwaukee County Sports Complex are required to obtain either an Extraordinary Entertainment and Special Event License, if required by the City Clerk’s office, and/or a Temporary Use Permit. In previous years, the applicant has expected approximately 250 exhibitors and several thousand patrons over the course of the three-day event.

This type of event is not a listed Temporary Uses within Section 15-3.0804 of the UDO, which defines Temporary Use categories and criteria. Some Temporary Uses may be approved by staff. However, the existing Special Use approval for the Milwaukee County Sports Complex only permits an indoor

multi-purpose recreational and soccer facility, offices for the Wisconsin Soccer Association, outdoor fields, accessory parking, and park and concession facilities. A Memorandum of Understanding with Milwaukee County allows for additional use types, but does not specify this event. Therefore, staff has determined that the request requires Plan Commission review and approval, as in previous years.

The Sports Complex has approximately 551 standard-size striped parking spaces and fourteen (14) ADA accessible striped spaces. According to previous applications, Milwaukee County can provide space for an additional 150 parking spaces on site and along the road, for a total of 700 spaces. In 2013 a portion of South 60<sup>th</sup> Street was transferred from Milwaukee County to the City after it was reconstructed. Staff recommends the Franklin Police Department post the east side of South 60<sup>th</sup> Street from Ryan Road to approximately 300 feet north of Forest View Court with “Temporary No Parking” signs for the duration of the 2021 Holiday Craft & Gift Exposition.

Staff further suggests the applicant contact the Milwaukee County Sheriff’s Department if parking demand exceeds parking capacity, or if vehicle stacking on the access driveway becomes congested and blocks emergency access to the facility.

The Franklin Health Department will require any food vendors to be properly licensed prior to the event.

**STAFF RECOMMENDATION:**

City Development Staff recommends approval of a Temporary Use for the Holiday Craft & Gift Exposition for 2021

RESOLUTION NO. 2021-\_\_\_\_\_

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE  
APPROVAL OF A TEMPORARY USE FOR A HOLIDAY CRAFT AND GIFT  
EXPO FOR PROPERTY LOCATED AT 6000 WEST RYAN ROAD  
(MILWAUKEE COUNTY SPORTS COMPLEX)  
(JAMES C. TORBENSON/TORBENSON SHOWS LLC, APPLICANT)

---

WHEREAS, James C. Torbenson/Torbenson Shows LLC having petitioned the City of Franklin for the approval of a Temporary Use to allow for a holiday craft and gift expo, upon property located at 6000 West Ryan Road (Milwaukee County Sports Complex), for the dates of November 26, 2021, from 9:00 a.m. to 5:00 p.m., November 27, 2021, from 9:00 a.m. to 4:00 p.m. and November 28, 2021, from 10:00 a.m. to 2:00 p.m. (set up will take place on November 24, 2021 and the Sports Complex will be vacated by 9:00 p.m. on November 28, 2021); and

WHEREAS, the Plan Commission having found that the proposed Temporary Use, subject to conditions, meets the standards set forth under §15-3.0804 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the petition of James C. Torbenson/Torbenson Shows LLC for the approval of a Temporary Use to allow for a holiday craft and gift expo, for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. The approval granted hereunder shall allow for such use on November 26, 2021, from 9:00 a.m. to 5:00 p.m., November 27, 2021, from 9:00 a.m. to 4:00 p.m. and November 28, 2021, from 10:00 a.m. to 2:00 p.m. (set up will take place on November 24, 2021 and the Sports Complex will be vacated by 9:00 p.m. on November 28, 2021), and all approvals granted hereunder expiring at 2:00 p.m. on November 28, 2021.
2. The Franklin Police Department shall post the east side of South 60th Street from Ryan Road to approximately 300 feet north of Forest View Court with temporary “No Parking” signs for the duration of the November 26th – November 28th, 2021, Holiday Craft & Gift Exposition.
3. The applicant shall contact the Milwaukee County Sherriff’s Department if parking demand exceeds parking capacity, or if vehicle stacking on the access driveway becomes congested and blocks emergency access to the facility.

JAMES C. TORBENSON/TORBENSON SHOWS LLC – TEMPORARY USE  
RESOLUTION NO. 2021-\_\_\_\_\_

Page 2

4. The applicant shall contact the Franklin Health Department to obtain any necessary permits and to provide any necessary information.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

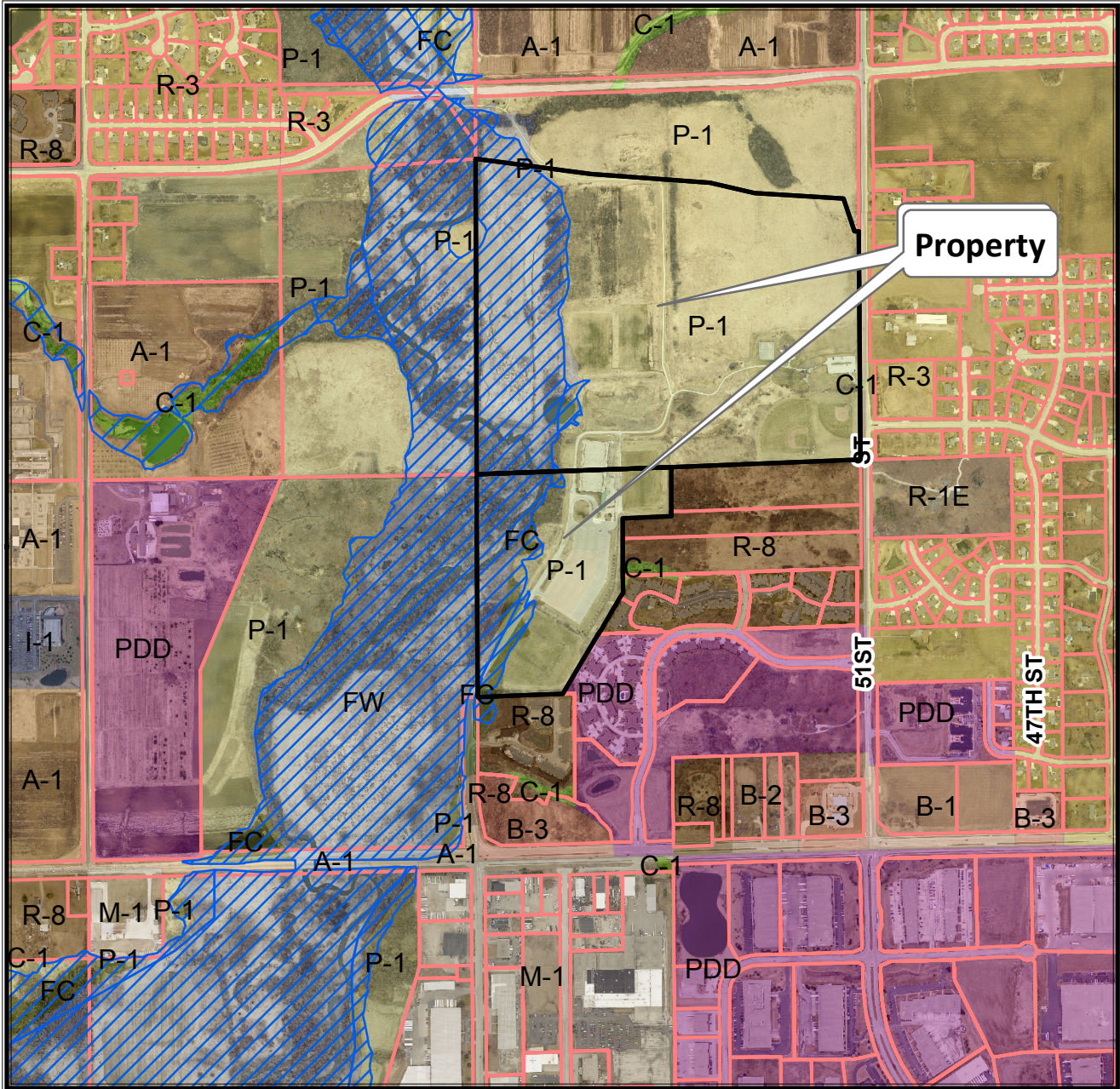
\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

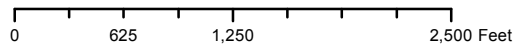
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

6000 W. Ryan Road  
TKN: 852 9999 001 & 882 9987 001



**Planning Department**  
**(414) 425-4024**

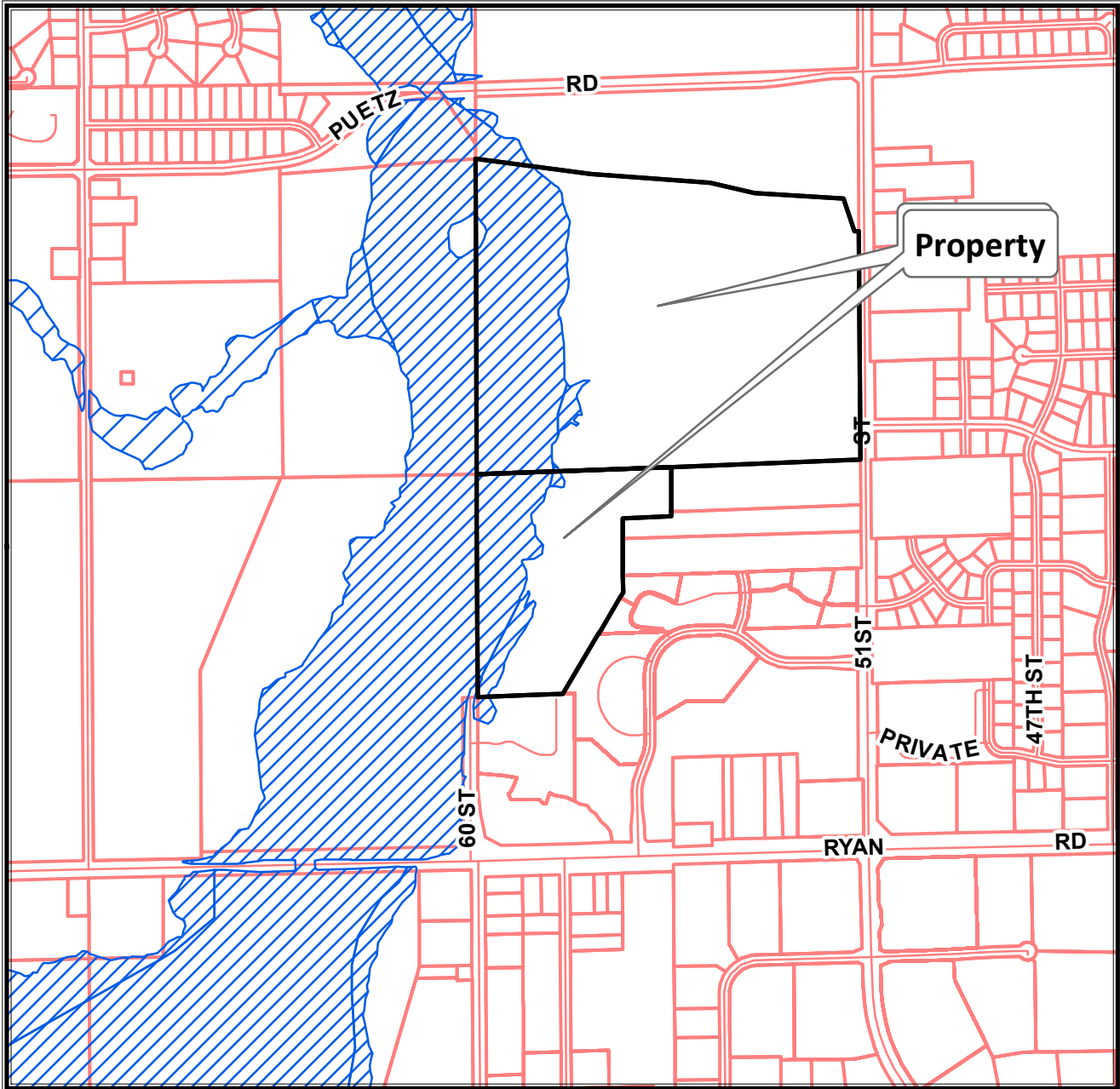


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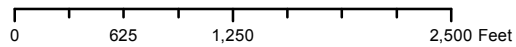




6000 W. Ryan Road  
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City of Franklin  
Planning Department  
9229 West Loomis Road  
Franklin, Wisconsin 53132

To Whom This May Concern,

Please find enclosed, my Temporary Use Application, regarding the use of the Franklin Sports Complex at 6000 West Ryan Road over the Thanksgiving weekend 2021. The dates of the Holiday Craft and Gift Expo would be November 26<sup>th</sup>, 27<sup>th</sup>, and 28<sup>th</sup>. Move-in to the building would be Wednesday November 24<sup>rd</sup>. The exposition folk will be setting up the booth floor plan from six AM on. Vendors will move into the complex from Noon to eight PM. The Complex is closed and locked down Thanksgiving Day. Our hours for the upcoming show have been somewhat adjusted: Friday November 26<sup>th</sup> 9:00 AM to 5:00 PM (shortened from seven PM). Saturday November 27<sup>th</sup> 9:00 AM to 4:00PM, and Sunday November 27<sup>th</sup> 10:00 AM to 2:00 PM. We intend to vacate the Sports Complex completely by nine PM Sunday evening November 28<sup>th</sup>.

Our first effort in 2012 was well advertised, and well attended. We appreciate the support we received from the City of Franklin services, Police and traffic control. Parking space at the Sports Complex was more than adequate to accommodate the show crowds. We also appreciate the presence of the Milwaukee County Sherriff's Department during the show weekend. We will continue to communicate with the Sherriff's office and local police should we be graced with crowd sizes that might create traffic or parking congestion. We have not faced parking or traffic issues over the last four years, unfortunately.

We do make sure all fire extinguishers are visible and accessible.

We will have no motorized vehicles allowed inside the Franklin Sports Complex, for move-in, or display.

We continue to aggressively advertise the Holiday Craft and Gift Expo on TV, radio, and newspapers. The show is a great venue for family and hopefully for the Franklin community. We hope to continue the Holiday Craft and Gift Expo at the Sports Complex, and create a tradition that residents of Franklin, and all surrounding areas might look forward to attending. The Expo presents a number of Artists, Crafters, and Gifters from several states. Shoppers are typically those seeking unique gifts, foods, and decorations for the upcoming Christmas Holiday.

Please schedule our application for an upcoming Planning Commission meeting. I have included seven copies of the show floor plan, and six copies of this letter, our project narrative.

My check for \$50.00 is enclosed with my application.

Best Regards,

Jim Torbenson  
Torbenson Shows LLC



**Holiday Craft & Gift Expo 2019**

Milwaukee Sports Complex

**DRAWN BY:**  
Wisconsin Expo Inc

**Show Date:**  
November 29- December 1, 2019

**REVISED:**  
11-6-2019 RV1

**REVISED BY:** DMA

**Scale :** 1/32"=1'  
0 32 64

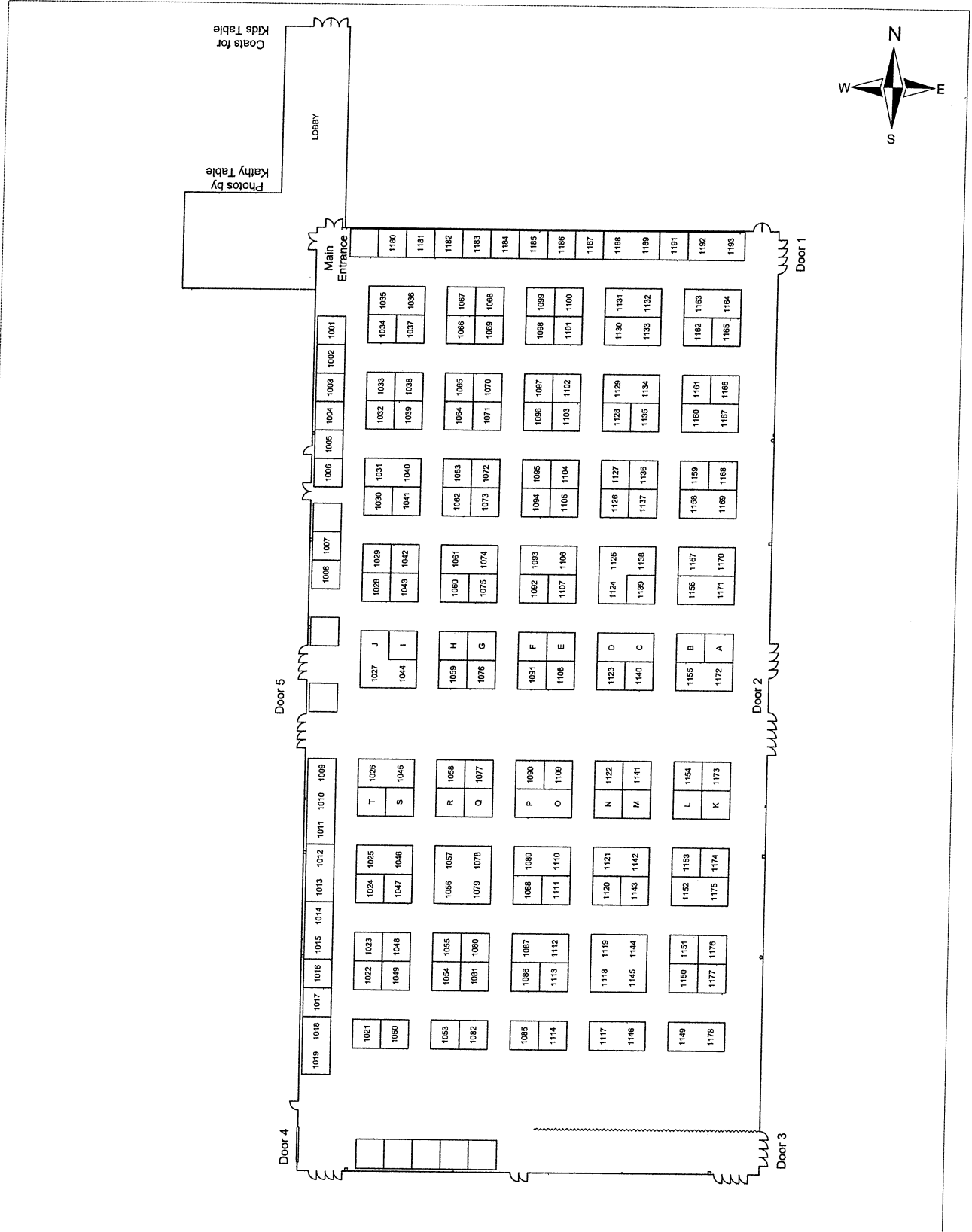
**Legend**

8' Drape

3' Drape

**Items:**  
(138) 10'x10' Booths  
(28) 10'x20' Booths  
(3) 10'x30' Booths  
(2) 20'x20' Booths  
(17) 1 2'x8'x42" Tables

**Without Dimensions**





REPORT TO THE PLAN COMMISSION

Meeting of August 5, 2021

Site Plan Amendment

RECOMMENDATION: City Development staff recommends approval of this Site Plan amendment for property located at 10591 W Cortez Circle to allow for an addition to the Whitnall Pointe Apartments clubhouse and swimming pool replacement.

Table with 2 columns: Field Name and Value. Fields include Project Name, Project Address, Property Owner, Applicant, Agent, Zoning, Use of Surrounding Properties, Comprehensive Plan, and Applicant's Requested Action.

INTRODUCTION

Site plan amendment to allow for a single-story addition of approximately 1,200 sf to the clubhouse building to expand the fitness center and partial renovation of the management offices. Additionally this project entails replacing the exterior swimming pool, enlarging the pool deck, a new pool equipment building with two toilet rooms and a barbecue area.

PROJECT ANALYSIS

City Development staff reviewed this proposal for compliance with the R-8 zoning district development standards. The proposed clubhouse addition would not be closer to the street (W. Cortez Circle) than the existing clubhouse, so this proposal meets building setbacks. The resulting impervious surface would be less than the existing impervious surface, therefore, the minimum required Open Space Ratio (OSR) is not affected.

Neither additional landscaping nor parking are required for this project per the Unified Development Ordinance (UDO), required landscaping and parking for multi-family projects is based on quantity of dwelling units and new units are not being proposed. Per submitted photometric plan, proposed lighting has no effect on illumination measured at the property line. As this site is already developed, no impact to natural resources is expected.

If approved by the Plan Commission, this project would require separate Engineering approvals, permits from the Inspection Services Department and a license from the Health Department for swimming pool.

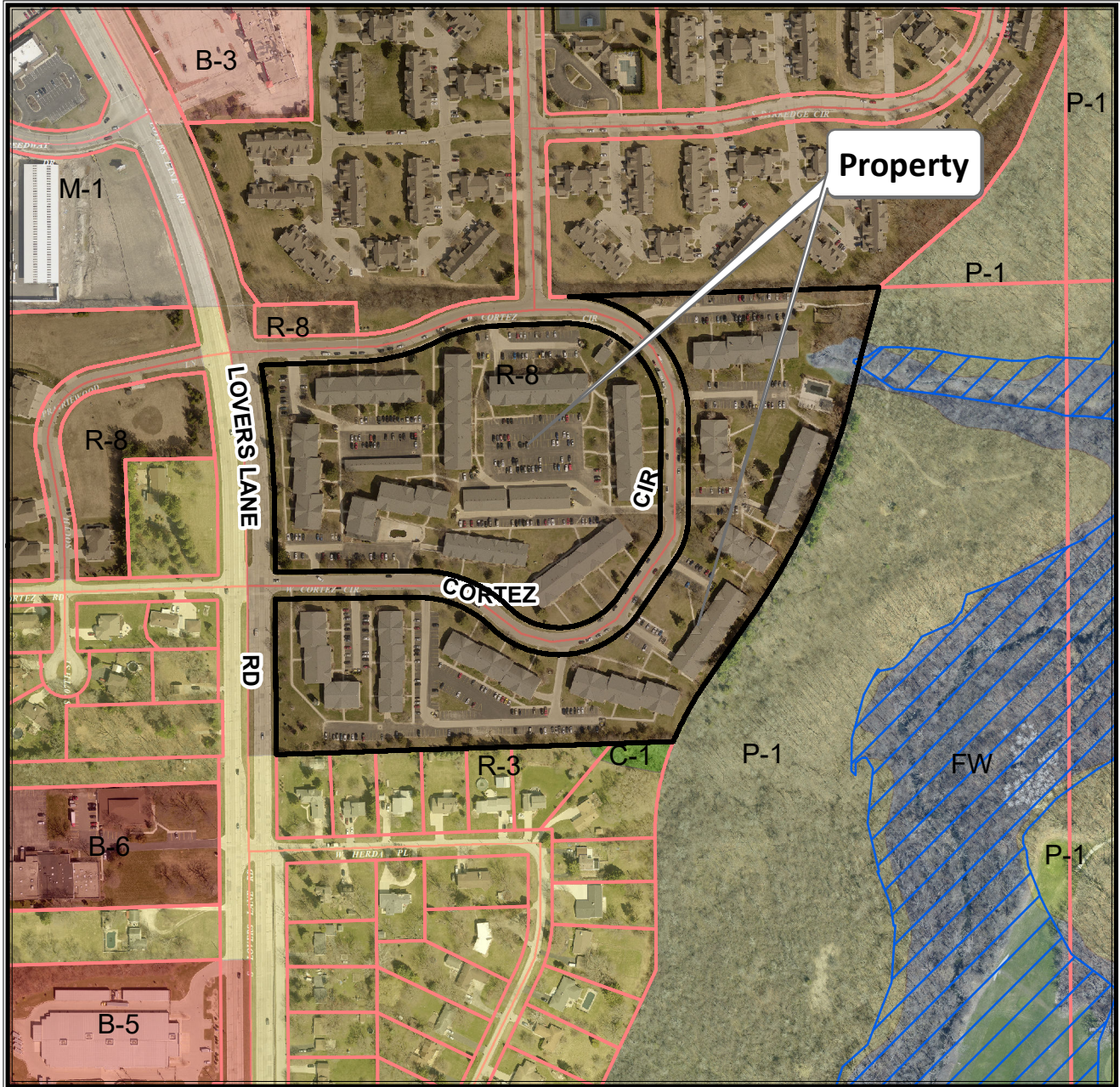
STAFF RECOMMENDATION

City Development staff recommends approval of this Site Plan amendment for property located at 10591 W Cortez Circle to allow for an addition to the Whitnall Pointe Apartments clubhouse and swimming pool replacement.

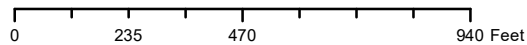
**Conditions of approval**

- The applicant shall obtain a license from the City of Franklin Health Department prior to the operation of the new swimming pool.
- The technical corrections noted by the Engineering Department in memorandum dated July 23, 2021, must be addressed prior to the issuance of building permits.

10591 W. Cortez Circle  
TKN: 747 0035 001



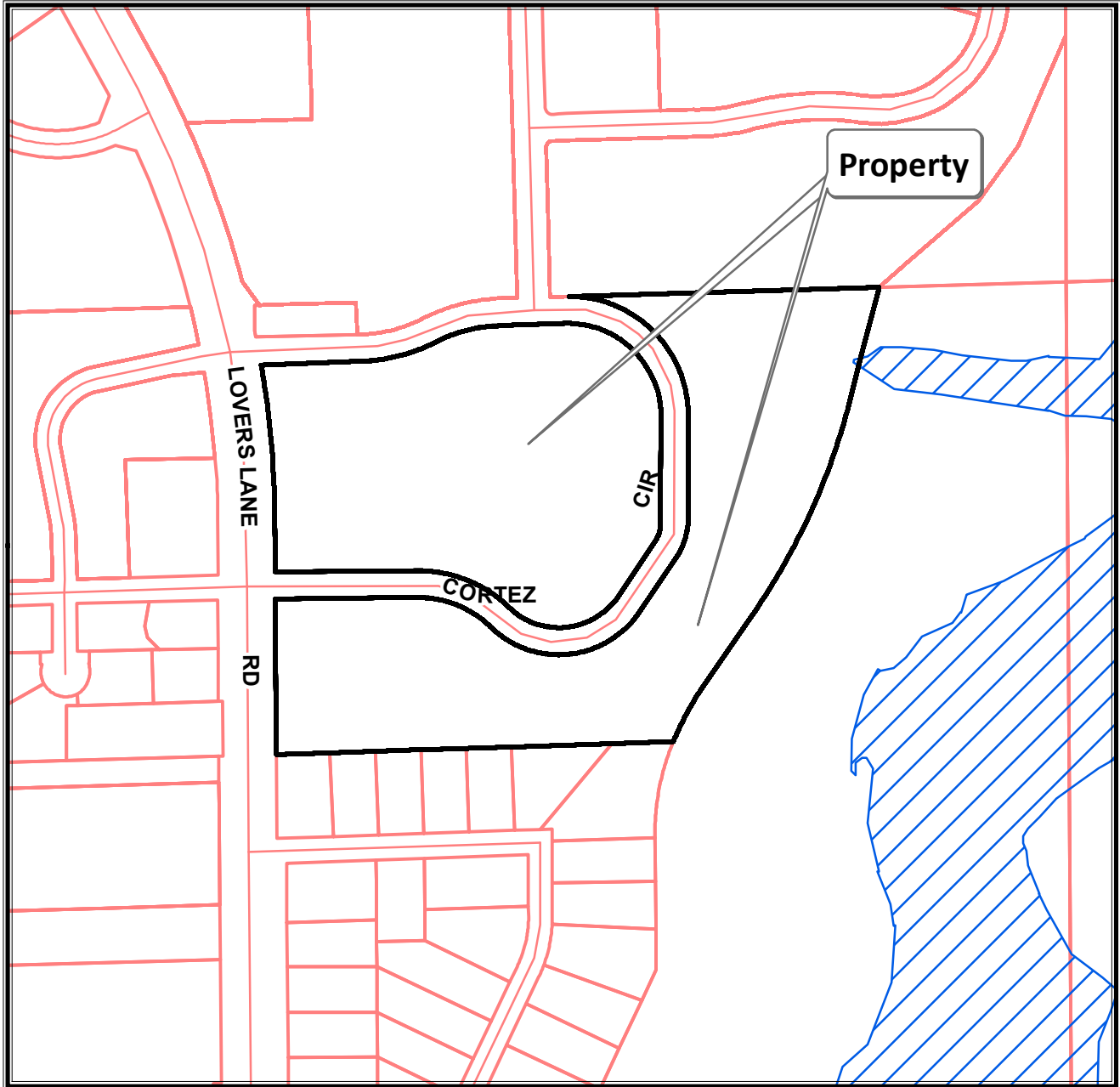
**Planning Department**  
**(414) 425-4024**



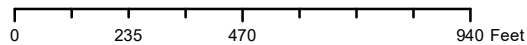
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10591 W. Cortez Circle  
TKN: 747 0035 001



**Planning Department**  
**(414) 425-4024**



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## RESOLUTION NO. 2021-\_\_\_\_

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY LOCATED  
AT 10591 WEST CORTEZ CIRCLE TO ALLOW FOR RENOVATIONS TO THE  
CLUBHOUSE AND POOL AREA OF WHITNALL POINTE APARTMENT HOMES  
(TAX KEY NO. 747-0035-001)  
(WHITNALL POINTE LIMITED PARTNERSHIP, APPLICANT)

---

WHEREAS, Whitnall Pointe Limited Partnership having applied for an amendment to the site plan for the property located at 10591 West Cortez Circle, such Site Plan having been previously approved as part of a Special Use approval for the construction, location and operation of Whitnall Pointe Apartment Homes, by Resolution No. 72-631, and amended thereafter by Resolution No. 84-2228, and Resolution No. 2009-6604 on November 3, 2009; and

WHEREAS, such proposed amendment proposes a single-story addition of approximately 1,200 square feet to the clubhouse building to expand and renovate the fitness center (hot tub upgrades, reconfiguration of the locker rooms (including replacing the saunas), creation of a recreation room with a kitchenette and a larger fitness center), partial renovation of the management offices located north of the existing fitness center, replacement of the exterior swimming pool, enlargement of the pool deck, addition of a new pool equipment building with a pergola and two toilet rooms and a grass barbecue area with charcoal grills and picnic tables, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for Whitnall Pointe Limited Partnership, dated July 2, 2021, as submitted by Whitnall Pointe Limited Partnership, as described above, be and the same is hereby approved, subject to the following conditions:

1. Whitnall Pointe Limited Partnership, successors and assigns and any developer of the Whitnall Pointe Limited Partnership Whitnall Pointe Apartment Homes clubhouse and pool area renovations project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Whitnall Pointe Limited Partnership Whitnall Pointe Apartment Homes clubhouse and pool area renovations project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.



WHITNALL POINTE LIMITED PARTNERSHIP - SITE PLAN AMENDMENT  
RESOLUTION NO. 2021-\_\_\_\_\_

Page 2

2. The approval granted hereunder is conditional upon the Whitnall Pointe Limited Partnership Whitnall Pointe Apartment Homes clubhouse and pool area renovations project for the property located at 10591 West Cortez Circle: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The Whitnall Pointe Limited Partnership Whitnall Pointe Apartment Homes clubhouse and pool area renovations project shall be developed in substantial compliance with the plans City file-stamped July 2, 2021.
4. The applicant shall obtain a license from the City of Franklin Health Department prior to the operation of the new swimming pool.
5. The technical corrections noted by the Engineering Department in memorandum dated July 23, 2021, must be addressed prior to the issuance of building permits.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Whitnall Pointe Limited Partnership Whitnall Pointe Apartment Homes clubhouse and pool area renovations as depicted upon the plans City file-stamped July 2, 2021, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 10591 West Cortez Circle, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



Renovation of the Whitnall Pointe Clubhouse  
Site Plan/Site Plan Amendment Application/  
Plan Commission Submittal  
City of Franklin, Wisconsin

Project Summary  
June 25, 2021

Whitnall Pointe is an apartment complex located at 10594 West Cortez Circle in Franklin, Wisconsin, that was built in the late 1980's. The project entails a single-story addition of approximately 1,200 SF to the clubhouse building to expand the existing fitness center and a partial renovation of the existing management offices that are north of the existing fitness center. The project also involves replacing the adjacent exterior swimming pool, enlarging the pool deck, a new pool equipment building with two toilet rooms and a grass barbecue area with charcoal grilles and picnic tables.

Interior renovations of the management offices include cosmetic upgrades and new interior windows at the offices. The fitness center addition and renovation scope includes upgrades to the hot tub, a reconfiguration of the locker rooms (including replacing the saunas), creation of a rec room with a kitchenette and a larger fitness center.

The exterior of the addition and a portion of the existing building are clad in siding and trim to give the fitness center and the management office an updated architectural identity. The new pool and pool deck are larger and now includes a freestanding pool equipment building (with siding and trim to match the fitness center) with accessible toilets and a large pergola. Adjacent to the pool deck is a grass barbecue area for residents. The reconfigured pool deck includes new fencing, exterior lighting and landscaping.

MEP/FP (mechanical, electrical plumbing and fire protection) and civil engineering scope of work modernizes the infrastructure and the building systems as required for the addition and reconfiguration.

A preliminary construction cost estimate (prepared by Jim Minnie of Minnie Erecting and dated 4/24/21) is attached as part of this project summary.

**PROJECT: Whitnall Pointe Apartment Homes Concept Estimate**

**LOCATION: 10598 W Cortez Circle Franklin, WI 53132**

**Date: 4-24-21 J.Minnie 262-681-2960 Cell 262-498-5550**

**jminnie@minnieerecting.com**

S#	CSI NO	DESCRIPTION	QTY.	Measure	UNIT COST A (Labor/ Equipment)	UNIT COST B (Material)	UNIT COST (A+B)	Line totals	Sub Totals
		<b>Existing office, new fitness center area and new hall North entrance</b>							
	<b>010000</b>	<b>DIVISION 01 - GENERAL REQUIREMENTS</b>							
1		MOBILIZATION	1	LS	\$ 600.00		600	\$ 600.00	
2		SUPERVISION	21	WKS	\$ 900.00	0	900	\$ 18,900.00	
3		SUBMITTALS, SHOP DRAWINGS & SAMPLES	1	Lot	\$ 4,000.00	500	4500	\$ 4,500.00	
		Architect	1	Lot	\$ 20,000.00			\$ 20,000.00	
		Civil	1	Lot	\$ 18,000.00			\$ 18,000.00	
		MEP Design	1	Lot	\$ 6,500.00			\$ 6,500.00	
4		TEMPORARY FACILITIES & CONTROLS	26	LS	\$ 25.00		25	\$ 650.00	
5		CLOSEOUT PROCEDURES	1	LS	\$ 1,500.00		1500	\$ 1,500.00	
6		PERMITS AND CLEARANCES	1	LS			0	\$ 3,000.00	
		Final cleaning by Whitnall							
		Construction Dumpster	12	Ea	\$ 500.00			\$ 6,000.00	
7		<b>Subtotal</b>					0	\$ 6,000.00	
8							0		\$ 79,650.00
#REF!	<b>020000</b>	<b>DIVISION 02 - Site and EXISTING CONDITIONS</b>	QTY		Unit Labor	Unit Mat'l	UNIT COST(A+B)	Line total	
	020700	<b>SELECTIVE REMOVALS AND DEMOLITION</b>					0		
		Remove store front entry	0	SF	\$ 2.00		2	\$ -	
		Demo selected electrical	1	Lot	\$ 2,000.00		2000	\$ 2,000.00	
		Remove Concrete Sidewalk at Entrance	94	SF		\$ 282.00	564	\$ 564.00	
		Remove Concrete Planter at entrance		Lot		600	600	\$ 600.00	
		Remove doors	3	EA	\$ 100.00		100	\$ 300.00	
		Remove External walls( Entry area)	0	SF	\$ 6.79		6.79	\$ -	
		Remove store front	0	SF	\$ 2.00		2	\$ -	
		Remove Conf RM	0	SF	\$ 1.71		1.71	\$ -	
		Remove part wall for Assist. Managers window	1	Lot	\$ 120.00		120	\$ 120.00	
		Remove part wall for Managers window	1	Lot	\$ 120.00		120	\$ 120.00	
		Remove Masonary Wall #1 for window	20	SF	\$ 6.79		6.79	\$ 135.80	
		Remove all flooring	3237	SF	\$ 1.00		1	\$ 3,237.00	
		Demo plumbing	1	Lot	\$ 1,600.00		1600	\$ 1,600.00	
		Remove Ceilings					0	\$ -	
		Built in cabinets	0	SF	\$ 3.00		3	\$ -	
		Remove furnace	1	Ea.	\$ 150.00		150	\$ 150.00	
		Remove furnace wall	0	SF	\$ 1.71		1.71	\$ -	
		Remove break room wall #6A	128	SF	\$ 2.71		2.71	\$ 346.88	
		Remove Walls bathroom area #8	496	SF	\$ 3.21		3.21	\$ 1,592.16	
		Remove only surface of plumbing wall #13	400	SF	\$ 1.71		1.71	\$ 684.00	
		Remove fitness window masonry wall	0	SF	\$ 6.79		6.79	\$ -	
		Remove equipment in Pool Mechanical room/Dispose	1	Lot	\$ 600.00		600	\$ 600.00	
		Remove wall tile in bathrooms and hot tub Allowance	1	Lot	\$ 1,500.00		1500	\$ 1,500.00	
		Remove concrete for fitness center	1482	SF	\$ -		0	\$ -	in pool bid
		Remove sidewalks	950	SF	3	0	3	\$ 2,850.00	
		Remove and dispose Doors	14	Ea	25	25	50	\$ 700.00	
		<b>Subtotal</b>							\$ 17,099.84
	<b>030000</b>	<b>DIVISION 03 - CONCRETE</b>	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
	030050	<b>CONCRETE WORK</b>							
		Sidewalks	1283	SF	\$ 3.00	3	6	\$ 7,698.00	
		North entrance 4" Concrete slab w/ #3@12" O.C #20 .		SF	\$ 7.50	1	6.5	\$ -	
		Concrete Wall Foundation -Fitness	156	LF	\$ 32.00	15	47	\$ 7,332.00	
		Concrert slab fitness	1173	SF	\$ 3.50	3	6.5	\$ 7,624.50	
		Concrete wall foundation Mech building	72	LF	\$ 32.00	15	47	\$ 3,384.00	
		Concrete Columns	12	EA	\$ 120.00	160	280	\$ 3,360.00	
		Form and Concrete new hot tub area	0	SF	\$ 6.00	6.5	12.5	\$ 0	In the pool Quote
		Foundtion short wall South east corner	10	Lf	\$ 32.00	15	47	\$ 470	
		Slab for fitness room and hall	1173	SF	\$ 3.50	3.5	7	\$ 8,211.00	
		NEW south sidewalks	0	SF	\$ 3.00	3.5	6.5	\$ 0	
		NEW side walks	0	SF	\$ 3.00	3.5	6.5	\$ 0	
		Footigs for columns	12		\$ 200.00	100	300	\$ 3600	
		<b>Subtotal</b>							\$ 41,679.50
	<b>040000</b>	<b>DIVISION 04 - MASONRY</b>	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
		<b>Brick wall</b>							
		Masonry brick under fitness window wall	0	SF	\$ 16.00	1	17	\$ 0	
	044140	<b>LIMESTONE</b>							
		Limestone interior Wall Cladding	0	SF	\$ 33.00	44	77	\$ -	
	044350	<b>CAST STONE</b>							
		Quartz stacked Stone Wall cladding	0	SF	\$ 35.00	45	80	\$ -	

#REF!	020000	DIVISION 02 - Site and EXISTING CONDITIONS	QTY		Unit Labor	Unit Mat'l	UNIT COST(A+B)	Line total	
		Quartz Countertop wall cap	0	Lft	\$ 120.00	150	270	\$ -	
		<b>Subtotal</b>					0		\$ -
	050000	DIVISION 05 - Metals	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
		Metal COLUMNS	0	EA	\$ 250.00	327	577	0	
		Metal Joists	30	EA	\$ 3.00	276	279	\$ 8,370.00	
		Stringers	0	LF	\$ 2.00	12	14	0	
		Roof Deck	1482	SF	\$ 0.77	2.38	3.15	\$ 4,668.30	
		11 ea. 6 x 6 x 20 x 1/4 th sq tube columns	12	LF	\$ 600.00	380.4	980.4	\$ 11,764.80	
		W10 Stringers	110	LF	\$ 27.37	50	77.37	\$ 8,472.02	
		Mansard Framing	388	SF	\$ 6.00	8	14	\$ 5,432.00	
		Standin g seam metal roofing on Mansard	0	SF	\$ 1.00	12	13	\$ -	
		237 feet x 2 feet	474	SF	\$ 5.00	7	12.00	\$ 5,688.00	
		Hanger for pump	1	EA	\$ 250.00	350	600.00	\$ 600.00	
		Steel for 7 1/2 ton HVAC	1	EA	\$ 450.00	650	1,100.00	\$ 1,100.00	
		<b>Subtotal</b>							\$ 46,095.12
	060000	DIVISION 06 - Wood, Plastics, and Composites	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
		New walls	496	LF	\$ 16.00	24	40	\$ 19,840.00	
		Short wall above fitness glass walls	182	SF	\$ 9.00	9	18	\$ 3,276.00	
		4" - Wood Baseboard	496	Lft	\$ 2.00	2	4	\$ 1,984.00	
		Wood Frame for Mirrors	0	SF	\$ 12.00	14	26	\$ -	
		1"x4 Redwood panels - SAUNA walls Canadian cedar for 2-6x8	492	SF	\$ 2.00	\$ 2.00	\$ 4.00	\$ 1,968.00	
		Parapet/Mansard							
		Siding 474 SF +(6+4+23+52+29+6)*10	474	SF	\$ 1.77	\$ 3.50	\$ 5.27	\$ 2,497.98	
		Wall assy at \$52 a Lf less siding above	120	LF	\$ 23.00	\$ 26.00	\$ 49.00	\$ 5,880.00	
					Allowance			\$ 3,000.00	
		<b>Subtotal</b>							\$ 38,445.98
	070000	THERMAL & MOISTURE PROTECTION	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
			1	Lot		2000		\$ 2,000.00	
		Building Insulation (Roof)	1325	SF	\$ 0.50	2	2.5	\$ 3,312.50	
		Building Insulation (Ceilings)	1325	SF	\$ 0.25	1	1.25	\$ 1,656.25	
		Fireproofing	1325						
		EPDM Roofing	1325	SF	\$ 0.53	3.52	4.05	\$ 5,366.25	
		Flashing	158	LF	\$ 0.50	2	2.5	\$ 395.00	
		Soffits-trim	474	SF	\$ 0.50	2.5	3	\$ 1,422.00	
		Gutters & Downspouts	206	LF	\$ 2.50	2.5	5	\$ 1,030.00	
		Skylights	6	Ea	\$ 200.00	528	728	\$ 4,368.00	
		Roof Hatches	1	Ea	\$ 200.00	300	500	\$ 500.00	
		Ladder for roof hatch	1	Ea	\$ 200.00	400	600	\$ 600.00	
		Misc. Caulking interior	1	Lot		500	500	\$ 500.00	
		Sealant & Caulking	1	Lot		1000	1000	\$ 1,000.00	
		E.I.F.S. Caulking							
		<b>Subtotal</b>		lf					\$ 22,150.00
	080000	Doors and Windows	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
	081100								
		3' x 8' aluminum and glass entry door with Alumn Frame, Anodized Aluminum Finish and category II Tempered Safety Glass	6	EA	\$ 250.00	900	1150	\$ 6,900.00	
		3' x 7' Aluminum and glass entry door with Alumn Frame, Anodized Aluminum Finish and category II	0	EA	\$ 800.00	840	1640	\$ -	
		Solid wood doors and hardware	11	EA	\$ 100.00	550	650	\$ 7,150.00	
		3' x 7' Aluminum and glass entry door with Alumn Frame, Anodized Aluminum Finish and category II Tempered Safety Glass and side lite	9	EA	\$ 250.00	650	900	\$ 8,100.00	
		Add 2 side light at #6 and	2		\$ 250.00	400	650	\$ 1,300.00	
		3' x 8' Aluminum and glass entry door with Alumn Frame, Anodized Aluminum Finish and category II Tempered Safety Glass	0	EA	\$ 550.00	400	950	0	
		(2) 3' x 8' Double Flush Metal Doors with Metal Frame and painted metal Finish	0	EA	\$ 500.00	700	1200	\$ -	
		91 Lf of Aluminum and glass storefront with Alumn Frame, Anodized Aluminum Finish and hurricane impact glass	70.5	SF	\$ 6.00	33	39	\$ 2,749.50	
		4' x 9' Aluminum and glass storefront door with Alumn Frame, Anodized Aluminum Finish and hurricane							
		24' x 9' Sliding glass door with Alumn Frame, Anodized Aluminum Finish and hurricane impact glass	0	EA	\$ 2,000.00	7000	9000	\$ -	
		12'8" x 9' Sliding glass door with Alumn Frame, Anodized Aluminum Finish and hurricane impact glass	0	EA	\$ 1,000.00	4000	5000	\$ -	
		16' x 8' Curved sliding glass door with Alumn Frame, Anodized Aluminum Finish and category II Tempered Safety Glass	0	EA	\$ 1,800.00	6000	7800	\$ -	
	085000	WINDOWS	QTY		Unit Labor	Unit Mat'l	Total Unit	Line total	
		8'2" x 5' Fire rated fixed glass window with anodized aluminum finish and one hour fire-rated Cat II Tempered safety glass	0	EA	\$ 800.00	2700	3500	\$ -	
		10'8" x 5' Fire rated fixed glass window with anodized aluminum finish and one hour fire-rated Cat II Tempered safety glass	0	EA	\$ 1,200.00	3000	4200	\$ -	
		Approx.4' x 5' Fire rated fixed glass window with anodized aluminum finish and one hour fire-rated Cat II Tempered safety glass	4	EA	\$ 150.00	450	600	\$ 2,400.00	
		Window in masonry wall hot tub	1	EA	\$ 300.00	550	850	\$ 850.00	

#REF!	020000	DIVISION 02 - Site and EXISTING CONDITIONS	QTY	Unit Labor	Unit Mat'l	UNIT COST(A+B)	Line total	
		9'4" x 9' Hurricane Impact Storefront fixed with anodized aluminum finish and 3 panel fixed glass storefront system with impact glass	0	EA	\$ 900.00	3000	3900	\$ -
		6'8" x 9' Hurricane Impact Storefront fixed with anodized aluminum finish and 2 panel fixed glass storefront system with impact glass	0	EA	\$ 750.00	2400	3150	\$ -
		Sky Lights	3	EA	\$ 300.00	800	1100	\$ 3,300.00
		Privacy window at fitness bathroom hall	0	EA	\$ 75.00	350	425	\$ -
	088000	<b>GLAZING</b>	QTY	Unit Labor	Unit Mat'l	Total Unit	Line total	
		Fixed Glass Privacy Panels w/ Frosted Tempered Safety glass	0	SF	\$ 18.00	34	52	\$ -
		Mirror Glass Wall Panels	0	SF	\$ 16.00	30	46	\$ -
		Glass Glued to wall	0	SF	\$ 14.00	18	32	\$ -
		<b>Subtotal</b>						\$ 32,749.50
	090000	<b>DIVISION 09 - FINISHES</b>	QTY	Unit Labor	Unit Mat'l	Total Unit	Line total	
	092000	<b>PLASTER AND GYPSUM BOARD</b>						
		6" Thk 1 Hour Fire Rated Partition Wall as: - 5/8" Type X Gypsum Wall Board - 5/8" Metal studs @ 16" O.C - Sound Attenuation Fire Blanket	0	SF	\$ 3.50	1.32	4.82	\$ -
		Addition of Extra Layer of Sound Insulation in one hour fire rated Partition	0	SF	\$ 2.00	2	4	\$ -
		5/8" Gyp Wallboard on light gauge metal for light cove	0	EA	\$ 120.00	160	280	\$ -
	095000	<b>CEILING</b>						
		Suspended Wood Ceiling	0	SF	\$ 18.00	32	50	\$ -
		Lower Suspended Drywall Ceiling	0	SF	\$ 12.00	20	32	\$ -
		4000 SF allowance				Allowance	\$ 16,000.00	
		Higher suspended Drywall Ceiling	0	SF	\$ 14.00	22	36	\$ -
	096000	<b>FLOORING</b>						
		Vinyl planks flooring	2044	SF	\$ 2.00	3.31	5.31	\$ 10,853.64
		Rubber Floor Rolls flooring	0	SF	\$ 14.00	28	42	\$ -
		Carpet Tile flooring 2 offices and conf RM	619	SF	\$ 1.00	3	4	\$ 2,476.00
		Porcelain Tile Flooring Bath area and hot tub	1194	SF	\$ 2.00	9	11	\$ 13,134.00
	096000	<b>WALL FINISHES</b>						
		Porcelain Wall tile	970	SF	\$ 2.00	9	11	\$ 10,670.00
		Glass Wall tiles	0	SF	\$ 18.00	28	46	\$ -
	098600	<b>GRAFFITI RESISTANT COATINGS</b>						
		Stucco Finish on Exterior Side	0	SF	\$ 8.00	12	20	\$ -
	099000	<b>PAINTING &amp; COATING</b>						
		Allowance our Painter 4 weeks 200 hours	1	Lot	\$ 6,000.00	1200	7200	\$ 7,200.00
		<b>Subtotal</b>						\$ 60,333.64
	100000	<b>DIVISION 10 - SPECIALTIES</b>	QTY	Unit Labor	Unit Mat'l	Total Unit	Line total	
	105220	<b>FIRE EXTINGUISHERS</b>						
		Wall mounted Fire Extinguisher 2-A Rated ABC	4	EA	\$ 3.00	40	43	\$ 172.00
	108000	<b>BATH ACCESSORIES</b>						
		36" Grab Bar	6	EA	\$ 12.00	20	32	\$ 192.00
		42" Grab Bar	0	EA	\$ 50.00	65	115	\$ -
		Wall Mounted Toilet (ADA)	2	EA	\$ 10.00	20	30	\$ 60.00
		Toilet Cover Seat	3	EA	\$ 7.00	36	43	\$ 129.00
		Toilet Paper Holder	4	EA	\$ 7.00	12	19	\$ 76.00
		Robe Hook	4	EA	\$ 2.00	3	5	\$ 20.00
		Wall Mounted Urinals	1	EA	\$ 120.00	140	260	\$ 260.00
		Vero/Wall Mounted Accessible Lavatory	1	EA	\$ 130.00	150	280	\$ 280.00
		Drinking Fountain (ADA Combo) w/ Bottle Filling Station	1	EA	\$ 180.00	220	400	\$ 400.00
		Vanity Basin	2	EA	\$ 140.00	170	310	\$ 620.00
		Wall Mounted Spout/Single Lever	2	EA	\$ 60.00	110	170	\$ 340.00
		Soap Dispenser	4	EA	\$ 65.00	95	160	\$ 640.00
		Shower Control	2	EA	\$ 75.00	110	185	\$ 370.00
		LAV Mixer / Single Lever	2	EA	\$ 55.00	95	150	\$ 300.00
		TARA Logic Hand Shower Set	2	EA	\$ 45.00	85	130	\$ 260.00
		Shower Head	2	EA	\$ 50.00	65	115	\$ 230.00
		Shower Linear Drain	2	EA	\$ 45.00	75	120	\$ 240.00
		Shower Rod & Brackets	4	EA	\$ 75.00	115	190	\$ 760.00
		Shower Bench	2	EA	\$ 45.00	85	130	\$ 260.00
		Locker Bench	2	EA	\$ 65.00	105	170	\$ 340.00
		Stall and Urinals Partitions	4	EA	\$ 110.00	150	260	\$ 1,040.00
		MOP Sink	0	EA	\$ 120.00	140	260	\$ -
		<b>Fitness furnishings</b>						0
		Counter	1	EA			2500	\$ 2,500.00
		<b>Subtotal</b>						\$ 9,489.00
	110000	<b>DIVISION 11 - EQUIPMENT</b>	QTY	Unit Labor	Unit Mat'l	Total Unit	Line total	
		<b>Life fitness Quote</b>		Lot				
<b>ACCESS</b>								
Quantity	Product Code	Line Item Description	List Price	Sales Price	Total Price			
1.00	TAG RCK-VERSA3	TAG FITNESS VERSA Rack w/Medicine Balls, Stability Balls, Bosu Ball, Kettlebells, Mats, Resistance Bands and Foam Rollers	\$ 1,799.00	\$ 1,295.00	\$ 1,295.00			
1.00	TAG HEX 5-50 SET	TAG FITNESS 5-50lb Rubber HEX Dumbbell Set	\$ 1,320.00	\$ 850.00	\$ 850.00			
1.00	ATHLETIX 9450 CAN	ATHLETIX WIPES Stainless Steel Dispenser/Trash Can	\$ 449.00	\$ 300.00	\$ 300.00			
1.00	ATHLETIX ATHD0101	ATHLETIX Disinfectant Wipes (900) 9 x 6 Wipes Per	\$ 50.00	\$ 40.00	\$ 40.00			

#REF!	020000	DIVISION 02 - Site and EXISTING CONDITIONS				QTY	Unit Labor	Unit Mat'l	UNIT COST(A+B)	Line total
<b>CARDIO</b>										
Quantity	Product Code	Line Item Description	List Price	Sales Price	Total Price					
2.00	PRE TRM 631 (BP)	PRECOR 631 Experience Series Treadmill	\$ 5,495.00	\$ 3,295.00	\$ 6,590.00					
2.00	PRE EFX 635 (BP)	PRECOR 635 Experience Series Elliptical	\$ 5,995.00	\$ 3,595.00	\$ 7,190.00					
1.00	PRE RBK 635 (BP)	PRECOR 635 Experience Series Recumbent Bike	\$ 2,845.00	\$ 1,795.00	\$ 1,795.00					
1.00	PRE UBK 635 (BP)	PRECOR 635 Experience Series Upright Bike	\$ 2,545.00	\$ 1,695.00	\$ 1,695.00					
1.00	CON 2 2712-US	CONCEPT2 Model D Rower	\$ 900.00	\$ 900.00	\$ 900.00					
1.00	STAIR 9BM-K9401-26CSS	STAIRMASTER Boxmaster Tower	\$ 4,499.00	\$ 2,795.00	\$ 2,795.00					
Quantity	Product Code	Line Item Description	List Price	Sales Price	Total Price					
1.00	TAG FUNC-TR-B	TAG FITNESS Functional Trainer	\$ 4,198.00	\$ 2,795.00	\$ 2,795.00					
1.00	TAG RCK-HDR-B	TAG FITNESS 3-Tier Dumbbell Rack	\$ 758.00	\$ 595.00	\$ 595.00					
1.00	TAG BNCH-FID-B	TAG FITNESS Multi-Adjustable Bench	\$ 578.00	\$ 395.00	\$ 395.00					
1.00	TAG BNCH-DB-B	TAG FITNESS Adjustable Decline Bench	\$ 758.00	\$ 495.00	\$ 495.00					
<b>TRADE IN</b>										
Quantity	Product Code	Line Item Description	List Price	Sales Price	Total Price					
1.00	TRADE CARDIO	TRADE-IN Cardio & Functional Trainer	\$ 0.00	(\$ 1,500.00)	(\$ 1,500.00)					
<b>FREIGHT</b>										
Quantity	Product Code	Line Item Description	List Price	Sales Price	Total Price					
1.00	FREIGHT	FREIGHT	\$ 0.00	\$ 1,995.00	\$ 1,995.00					
<b>INSTALL</b>										
Quantity	Product Code	Line Item Description	List Price	Sales Price	Total Price					
1.00	INSTALLATION	INSTALLATION	\$ 0.00	\$ 1,995.00	\$ 1,995.00					
					SubTotal	\$ 30,220.00				
					Estimated Tax	\$ 1,662.15				
					Grand	\$ 31,882.15				
<b>Subtotal</b>									<b>\$ 31,882.15</b>	
<b>120000</b>	<b>FURNISHINGS</b>				<b>QTY</b>	<b>Unit Labor</b>	<b>Unit Mat'l</b>	<b>Total Unit</b>	<b>Line total</b>	
	<b>Wayfair Furnishings</b>				1 Lot		\$ 33,235.27		\$ 33,235.27	
	Manufactured Cabinets base only									
	Manufactured Cabinets base, wall & counter top						\$ 3,500.00	\$ 3,500.00		
	Mirrors						\$ 900.00	\$ 900.00		
	Granite top						\$ 1,200.00	\$ 1,200.00		
<b>Subtotal</b>									<b>\$ 38,835.27</b>	
<b>130000</b>	<b>Special construction</b>				<b>QTY</b>	<b>Unit Labor</b>	<b>Unit Mat'l</b>	<b>Total Unit</b>	<b>Line total</b>	
<b>140000</b>	<b>Conveying systems</b>				<b>QTY</b>	<b>Unit Labor</b>	<b>Unit Mat'l</b>	<b>Total Unit</b>	<b>Line total</b>	
<b>150000</b>	<b>DIVISION 15 - MECHANICAL</b>				<b>QTY</b>	<b>Unit Labor</b>	<b>Unit Mat'l</b>	<b>Total Unit</b>	<b>Line total</b>	
<b>PLUMBING AND DRAINAGE</b>										
	Demolition of Plumbing				1	LS		1000	\$ 1,000.00	
	50 Gals. Electric Water Heater, 4.5 KW, 208 V, mounted in ceiling of janitors' closet				0	EA	\$ 1,500.00	2500	\$ 4,000.00	
	Hot and Cold water Shut Off valves				0	LS		2000	\$ -	
	1-1/2" Cold water Pipe				20	Lift	\$ 8.00	12	\$ 400.00	
	New Connection of pipe				1	LS		600	\$ 600.00	
	Sewer				0	LS		600	\$ 600.00	
	Changes to hot tub plumbing				0	Lot		2000	\$ -	
	Toilets				4	EA	\$ 200.00	250	\$ 450.00	
	Sinks				2	EA	\$ 200.00	250	\$ 450.00	
	Partitions				1	Lot	\$ 1,000.00	6000	\$ 7,000.00	
	Shut offs				14	EA	\$ 100.00	24	\$ 1,736.00	
	Break room sink				1	EA	250	\$ 350.00	600	\$ 600.00
<b>Heating/ Cooling</b>										
	Roof top unit				160.590	EA	\$ 30.00	9575.2	9605.2	\$ 9,575.20
	Reinforce joist				1	EA	\$ 110.00	483	\$ 483.00	
	Vibration pad				1	EA	\$ 29.00	43	\$ 43.00	
	A/C drain				1	EA	\$ 6.00	3.17	\$ 3.17	
	Duct work to manifold				1	EA	\$ 180.00	159	\$ 159.00	
	Conduit drain				1	EA	\$ 160.00	10	\$ 10.00	
	Duct work				148	LF	\$ 4.00	19.5	\$ 19.50	
	Controls				1		\$ 32.00	133	\$ 133.00	
	Wiring				1		\$ 132.00	50	\$ 50.00	
	Test				1		\$ 88.00		\$ -	
	Added ductwork				1	Lot		5000	\$ 5,000.00	
<b>Subtotal</b>									<b>\$ 34,111.87</b>	
<b>160000</b>	<b>DIVISION 16 - ELECTRICAL</b>				<b>QTY</b>	<b>Unit Labor</b>	<b>Unit Mat'l</b>	<b>Total Unit</b>	<b>Line total</b>	
	Rough in wiring				1	Lot	\$ 3,150.00		\$ 3,150.00	
	Exterior wall lighting				9	Ea	\$ 150.00	100	\$ 2,250.00	
	Linear Recessed LED				1	EA	\$ 100.00	950	\$ 1,050.00	
	Recessed Square LED Downlight				1	EA	\$ 100.00	750	\$ 850.00	
	Recessed Twin Rectangle LED downlight				2	EA	\$ 100.00	980	\$ 2,160.00	
	Linear LED Cove Light by				1	EA	\$ 100.00	950	\$ 1,050.00	
	Linear LED Cove Wall Wash Luminaire by				1	EA	\$ 100.00	950	\$ 1,050.00	

#REF!	020000	DIVISION 02 - Site and EXISTING CONDITIONS	QTY	Unit Labor	Unit Mat'l	UNIT COST(A+B)	Line total	
		Decorative LED Pendant by	2	EA	\$ 100.00	980	1080	\$ 2,160.00
		Linear LED Accent Light	1	EA	\$ 100.00	950	1050	\$ 1,050.00
		Linear LED sauna Cove Light	0	EA	\$ 100.00	950	1050	\$ -
		Emergency	2	EA	\$ 100.00	350	450	\$ 900.00
		Exit Sign with Direction	3	EA	\$ 100.00	130	230	\$ 690.00
		Fire Alarm Speaker with Flashing Strobe Light 80" to Bottom	1	EA	\$ 100.00	350	450	\$ 450.00
		Fire Alarm Pull Station (48" A.F.F)	2	EA	\$ 100.00	160	260	\$ 520.00
		Fire Alarm Flashing Strobe Light 80" to Bottom	3	EA	\$ 100.00	220	320	\$ 960.00
		Emergency lighting 50 watt	3	EA	\$ 114.00	214	328	\$ 984.00
		225 amp serviceto fitness	1	EA		7425	7425	\$ 7,425.00
		225 amp control Panel (42 circuits) fitness	1	EA	\$ 1,450.00	832	2282	\$ 2,282.00
		Bathroom exhaust 300 CFM	2	EA	\$ 44.00	139.16	183.16	\$ 366.32
		Bathroom exhaust duct work	2	EA	\$ 120.00	120	240	\$ 480.00
		Bathroom exhaust fan wiring	0	EA	\$ 150.00		150	\$ -
		6 Exterior lights	6		\$ 250.00	100	350	\$ 2,100.00
		Recepticles, switches, outlets and wiring	1	Lot		5500	5500	\$ 5,500.00
		<b>Subtotal</b>						<b>\$ 37,427.32</b>
	210000	DIVISION 16 - FIRE SUPPRESSION	QTY	Unit Labor	Unit Mat'l	Total Unit	Line total	
		Tie in of existing fire suppression	1	LS		1500	\$ 1,500.00	
		Fire suppression Sprinkler	2483	SF	\$ 4.00	2.5	6.5	\$ 16,139.50
		<b>Subtotal</b>						<b>\$ 17,639.50</b>
		<b>Subtotal</b>						<b>\$ 507,588.69</b>
		Insurance (.3%)					\$ 1,522.77	
		OVERHEAD AND PROFIT (10 %)					\$ 50,758.87	
		Sub total						<b>\$ 52,281.63</b>
		<b>Grand total Office and fitness center with furnishings and equipment</b>						<b>\$ 559,870.32</b>
		<b>Pool</b>						
		<b>Pool House buildig</b>						
			QTY	Unit Labor	Unit Mat'l	Total Unit	Line total	
		Permit	1	LOT	\$ 600.00	300	600.00	\$ 600.00
		Demo fence	1	Lot	\$ 3,500.00	300	3,800.00	\$ 3,800.00
		Signs	4	EA	\$ 5.00	35	40	\$ 160.00
		Footing Pump house	60	LF	\$ 55.00	20	75	\$ 4,500.00
		Pump house	200	SF	\$ 65.00	20	85	\$ 17,000.00
		Supply elect to pump house	1	lot		4500	4500	\$ 4,500.00
		Electric panel	1	EA		\$ 100.00	100	\$ 100.00
		Wire pump house lights and recepticles	1	Lot	0	\$ 2,500.00	2500	\$ 2,500.00
		<b>Pool Mech room and bathrooms</b>						\$ -
		Footing Above in office concrete						\$ -
		Lf of Wall						\$ -
		2 bath rooms fixtures and plumbing	2	Each		4500	9,000	\$ 9,000.00
		Outside Shower	1	Lot	\$ -	550	550	\$ 550.00
		<b>Subtotal</b>						<b>\$ 42,710.00</b>
		<b>Pool</b>						
		Pool body	887.00	SF				\$ 178,900.00
		Auto pool cleaner						\$ 3,500.00
		Mesh Cover	887.00	SF				\$ 8,800.00
		Concrete Deck Pool	2,705.00	SF				\$ 32,460.00
		Coping stone (LF)	155.50	SF				\$ 15,220.00
		Pool and deck demolition						\$ 32,460.00
		<b>Subtotal</b>						<b>\$ 271,340.00</b>
		<b>Wirl pool Jacuzzt</b>						\$ 98,750.00
		Concrete	202.00	SF				2424
		Concrete for jacuzzi mechanical re	95.00	SF				1140
		Tile for floor only	202.00	SF				\$ 4,900.00
		Demolition jacuzzi and deck						\$ 25,000.00
		<b>Subtotal</b>						<b>\$ 132,214.00</b>
		<b>Pool Funiture</b>						
		Wayfair items for pool 2						\$ 18,047.00
		Added items pool 1						\$ 10,042.00
		Wayfair						
		5498.24+104.99+2515.98+4162.24+930+1211.56+4080						\$ 18,503.01
		<b>Subtotal</b>						<b>\$ 46,592.01</b>
		Profit included-No contingency						
		<b>Grand total Pool</b>						<b>\$ 492,856.01</b>
		<b>Total Pool and office</b>						<b>\$ 1,052,726.33</b>



Renovation of the Whitnall Pointe Clubhouse  
Site Plan/Site Plan Amendment Application/  
Plan Commission Submittal  
City of Franklin, Wisconsin

Legal Description (from the attached Plat of Survey (ALTA/ACSM Title Survey by R.A. Smith National, Inc., dated 6/19/12).

June 25, 2021

Known as 10594 West Cortez Circle in the City of Franklin, Milwaukee County, Wisconsin

**PARCEL A**

Lots Eight (8) and Nine (9) in Block One (1) and Lot One (1) in Block Two (2) in WHITNALL SLOPES, being a Subdivision of part of the Northeast One-quarter (1/4) and Northwest One-quarter (1/4) of the Southwest One-quarter (1/4) of Section Five (5), Township Five (5) North, Range Twenty-One (21) East, in the City of Franklin, County of Milwaukee, State of Wisconsin, recorded on August 6, 1975 in the Office of the Register of Deeds for Milwaukee County, Wisconsin in Reel 0869. Image 1866-1867, as Document No. 4936256.

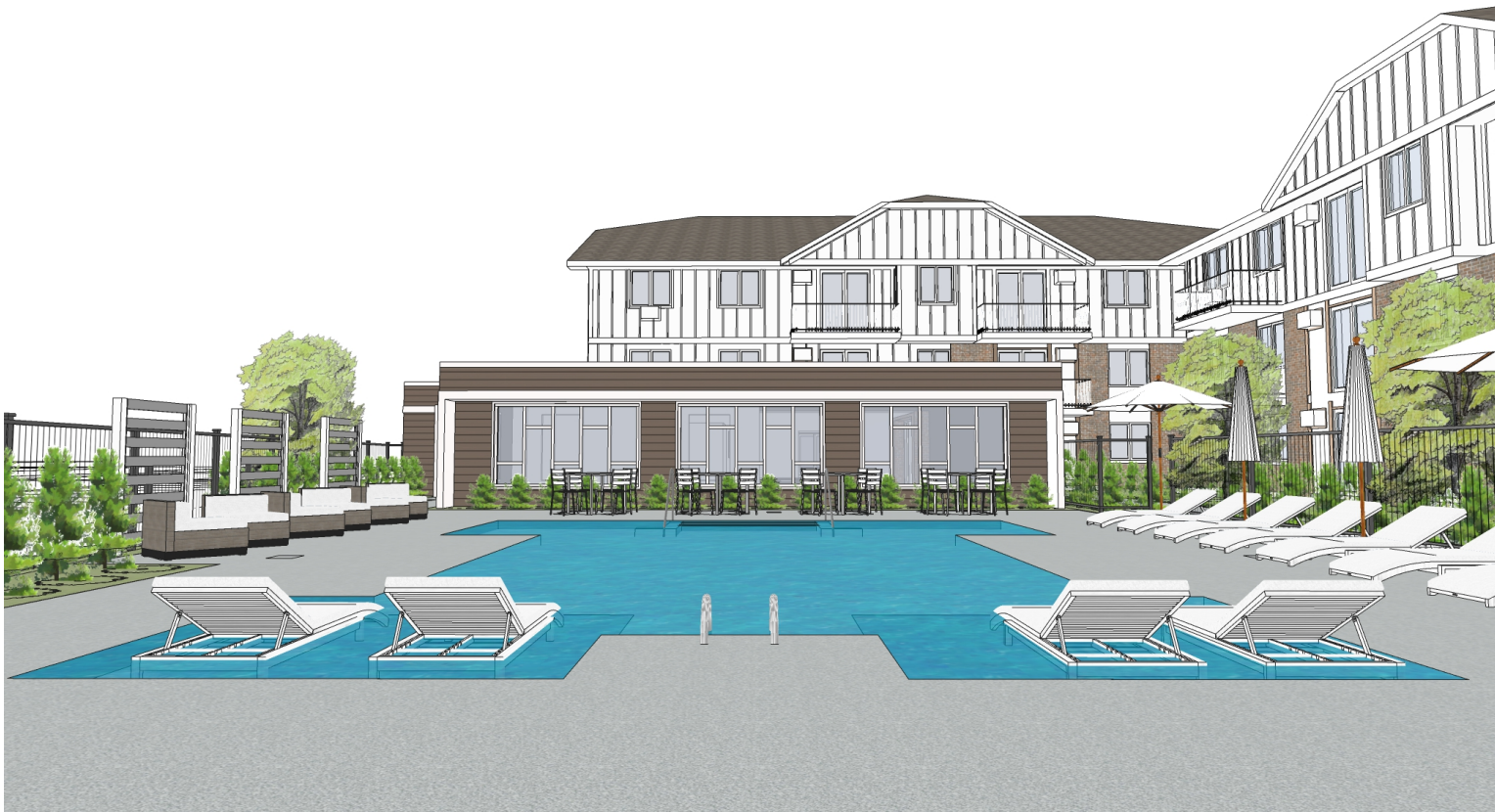
**PARCEL B**

All of CERTIFIED SURVEY MAP No. 465, being a part of the Southwest One-quarter (1/4) of Section Five (5), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, County of Milwaukee, State of Wisconsin, recorded on October 14, 1965 in the Office of the Register of Deeds for Milwaukee County, Wisconsin in Reel 274, Image 1547 and 1548, as Document No. 4213396. EXCEPTING THEREFROM that portion thereof contained in Award of Damages recorded as Document No. 4489151.





South Elevation N.T.S



East Elevation N.T.S



Site Perspective N.T.S



**FOSTER DALE**  
ARCHITECTS

3717 North Ravenswood Suite 111  
Chicago, Illinois 60613  
773.327.10000

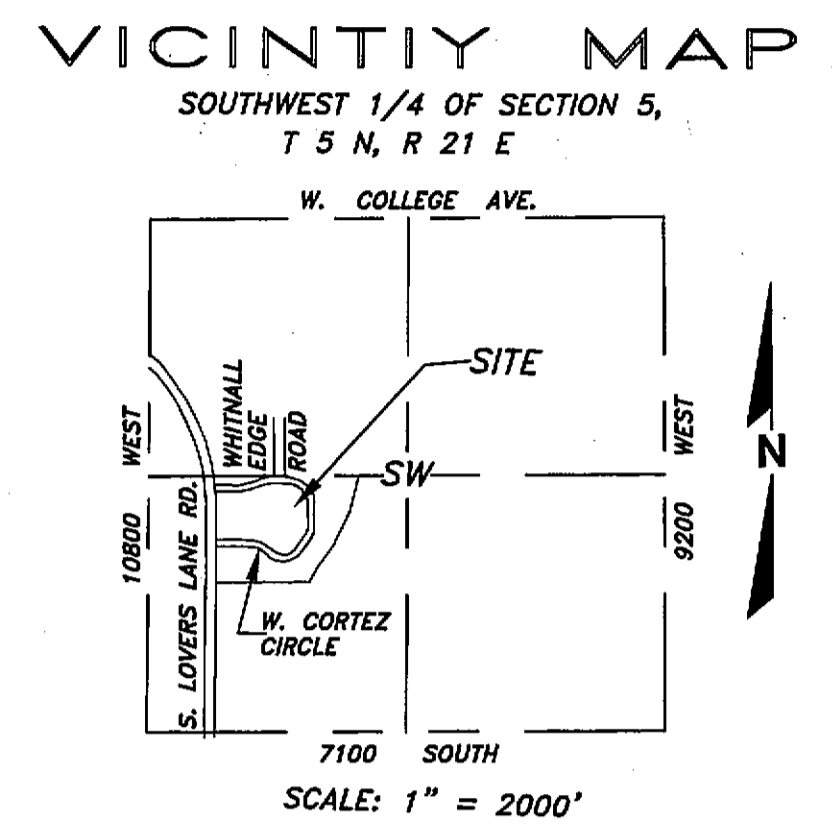
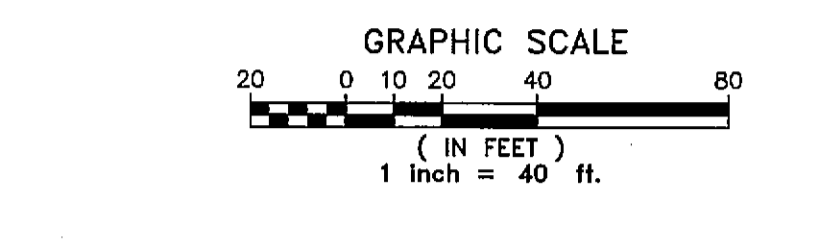
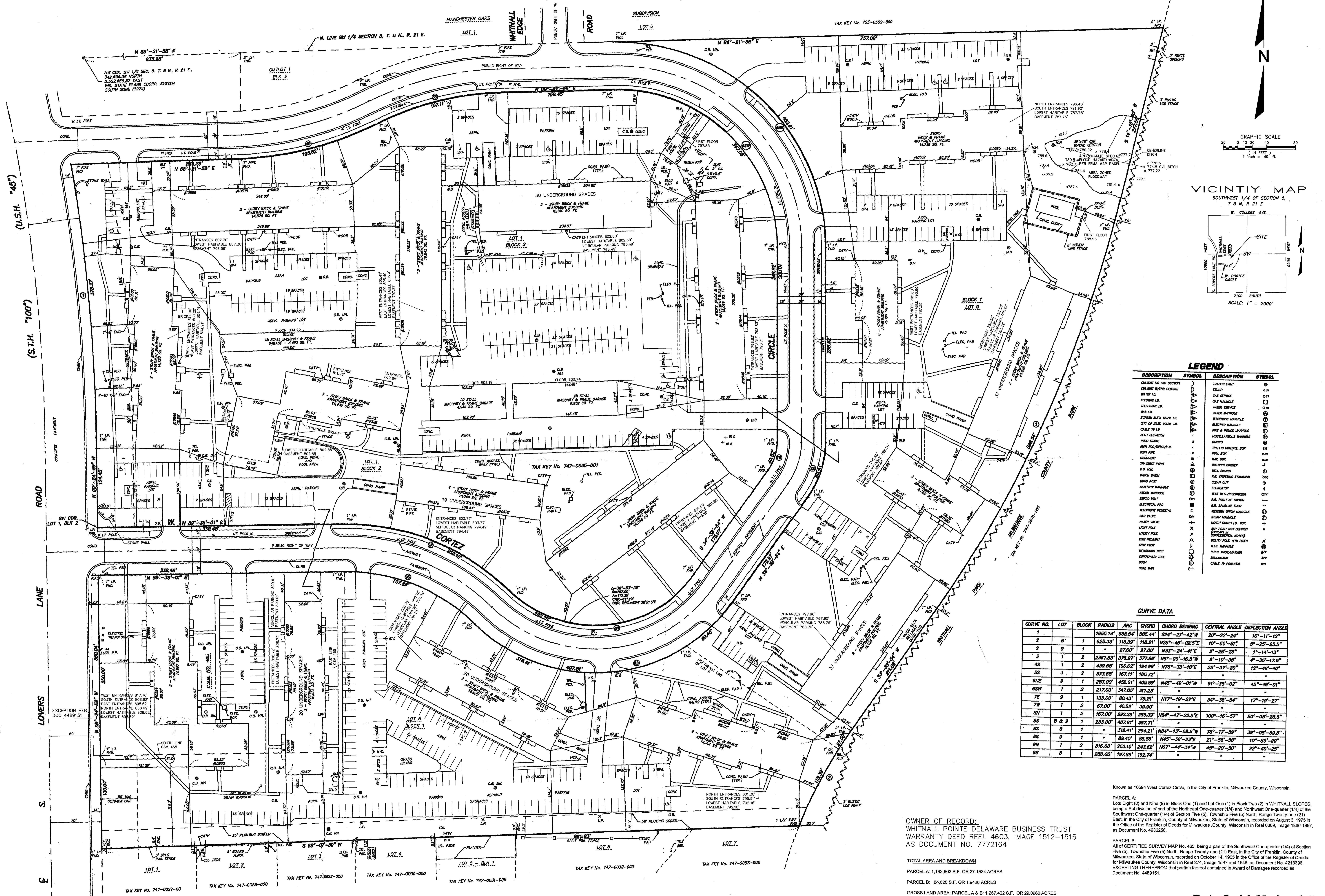
**Site & Façade**  
**06/21/2021**  
**Preliminary – Not for Construction**

**Renovation of the Whitnall Pointe**  
**Clubhouse**  
**10590 W. Cortez Circle**  
**Franklin, WI 53132**

# ALTA/ACSM LAND TITLE SURVEY

Known as 10591 West Cortez Circle in the City of Franklin, Milwaukee County, Wisconsin.

Prepared for: Whitnall Pointe Delaware Business Trust Survey No. 180353-RMK



### LEGEND

DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
CONCRETE PAVEMENT	(Symbol)	TRAFFIC LIGHT	(Symbol)
ASPHALT PAVEMENT	(Symbol)	STOP	(Symbol)
GRAVEL DRIVE	(Symbol)	GAS SERVICE	(Symbol)
ELECTRIC L.D.	(Symbol)	COIL MANHOLE	(Symbol)
TELEPHONE L.D.	(Symbol)	WATER SERVICE	(Symbol)
WATER L.D.	(Symbol)	WATER MANHOLE	(Symbol)
SEWER L.D.	(Symbol)	ELECTRIC MANHOLE	(Symbol)
STORM L.D.	(Symbol)	FIRE & POLICE MANHOLE	(Symbol)
SPOT ELEVATION	(Symbol)	CELLULAR MANHOLE	(Symbol)
WOOD SHED	(Symbol)	WATER CONTROL BOX	(Symbol)
IRON ROOF/RAMP/P.K.	(Symbol)	PULL BOX	(Symbol)
ROOF PFE	(Symbol)	MAL BOX	(Symbol)
MONUMENT	(Symbol)	BUILDING CORNER	(Symbol)
TRAVELER POINT	(Symbol)	WELL CAPPING	(Symbol)
C.R. MK	(Symbol)	R.L. CROSSING STANDARD	(Symbol)
CATCH BASIN	(Symbol)	WOOD POST	(Symbol)
WOOD POST	(Symbol)	SAFETY MANHOLE	(Symbol)
SAFETY MANHOLE	(Symbol)	TEST METER/MEASUREMENT	(Symbol)
STORM MANHOLE	(Symbol)	R.R. POINT OF SWITCH	(Symbol)
SEWER VENT	(Symbol)	R.R. SPURLINE FROG	(Symbol)
ELECTRICAL PAD	(Symbol)	WESTERN UNION MANHOLE	(Symbol)
TELEPHONE POST/STAKE	(Symbol)	STEAM MANHOLE	(Symbol)
GAS VALVE	(Symbol)	NORTH SOUTH L.D. TIE	(Symbol)
WATER VALVE	(Symbol)	ANY POINT NOT DEFINED	(Symbol)
LIGHT POLE	(Symbol)	UTILITY POLE WITH RISER	(Symbol)
UTILITY POLE	(Symbol)	ALL MANHOLE	(Symbol)
FIRE HYDRANT	(Symbol)	R.O.M. POST/MARKER	(Symbol)
SOIL POST	(Symbol)	CONCRETE TIE	(Symbol)
CONCRETE TIE	(Symbol)	BUSH	(Symbol)
ROAD MARK	(Symbol)	ROAD MARK	(Symbol)

### CURVE DATA

CURVE NO.	LOT	BLOCK	RADIUS	ARC	CHORD	CHORD BEARING	CENTRAL ANGLE	DEFLECTION ANGLE
1			1855.14'	588.54'	588.44'	S34°-27'-42"W	20°-22'-24"	10°-11'-12"
2	8	1	825.33'	118.39'	118.21'	N26°-45'-02.5"E	10°-50'-51"	5°-25'-25.5"
2	9	1	27.00'	27.00'	27.00'	N33°-24'-41.7"E	2°-28'-28"	1°-14'-13"
3	1	2	2361.83'	378.27'	377.88'	N5°-00'-16.5"W	8°-10'-35"	4°-35'-17.5"
4S	1	2	438.68'	166.62'	164.99'	N75°-33'-18"E	25°-37'-20"	12°-48'-40"
5S	1	2	373.68'	167.11'	165.72'			
6NE	9	1	283.00'	452.81'	405.69'	N45°-49'-01"W	91°-38'-02"	45°-49'-01"
6SW	1	2	217.00'	347.05'	311.23'			
7E	1	1	133.00'	82.43'	79.21'	N17°-19'-27"E	34°-38'-54"	17°-19'-27"
7W	1	2	87.00'	40.52'	39.90'			
8N	1	2	187.00'	292.29'	256.39'	N84°-47'-22.6"E	100°-16'-57"	50°-08'-28.5"
8S	8 & 9	1	233.00'	407.81'	357.71'			
8S	8	1	378.41'	294.21'	284.21'	N84°-13'-08.5"W	78°-17'-59"	38°-08'-59.5"
8S	9	1	89.40'	88.85'	88.85'	N45°-38'-23"E	21°-58'-58"	10°-58'-28"
8N	1	2	376.00'	250.10'	243.82'	N67°-44'-34"W	45°-20'-50"	22°-40'-25"
9S	8	1	250.00'	197.86'	192.74'			

OWNER OF RECORD:  
WHITNALL POINTE DELAWARE BUSINESS TRUST  
WARRANTY DEED REEL 4603, IMAGE 1512-1515  
AS DOCUMENT NO. 7772164

TOTAL AREA AND BREAKDOWN  
PARCEL A: 1,182,802 S.F. OR 27.1934 ACRES  
PARCEL B: 84,820 S.F. OR 1.9428 ACRES  
GROSS LAND AREA: PARCEL A & B: 1,267,622 S.F. OR 29.0960 ACRES

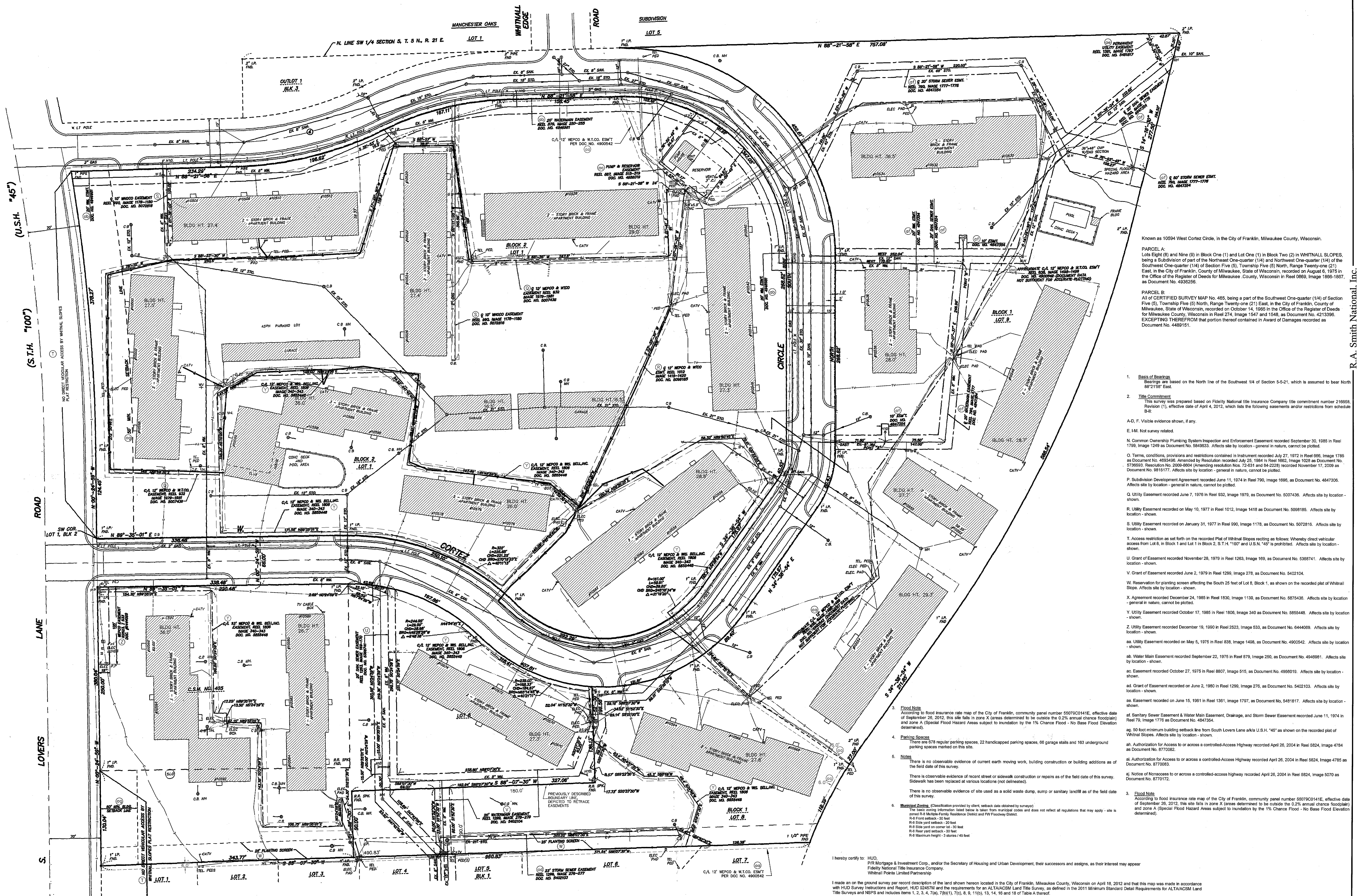
Known as 10591 West Cortez Circle, in the City of Franklin, Milwaukee County, Wisconsin.  
PARCEL A: Lots Eight (8) and Nine (9) in Block One (1) and Lot One (1) in Block Two (2) in WHITNALL SLOPES, being a Subdivision of part of the Northeast One-quarter (1/4) and Northwest One-quarter (1/4) of the Southwest One-quarter (1/4) of Section Five (5), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, County of Milwaukee, State of Wisconsin, recorded on August 5, 1975 in the Office of the Register of Deeds for Milwaukee, County, Wisconsin in Reel 0869, Image 1866-1867, as Document No. 4932656.  
PARCEL B: All of CERTIFIED SURVEY MAP No. 465, being a part of the Southwest One-quarter (1/4) of Section Five (5), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, County of Milwaukee, State of Wisconsin, recorded on October 14, 1965 in the Office of the Register of Deeds for Milwaukee, County, Wisconsin in Reel 274, Image 1547 and 1548, as Document No. 4213396. EXCEPTING THEREFROM that portion thereof contained in Award of Damages recorded as Document No. 4489151.

**R.A. Smith National, Inc.**  
Beyond Surveying and Engineering

DISREGARD HOTLINE TICKET NO. 2012-16-04992 & OTHERS  
THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THE INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.  
(1) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

1842 W. Wisconsin Road, Franklin, WI 53120  
262.781.0000 Fax 262.781.0001 www.ra-smith.com  
Atlanta, GA Chicago, IL Dallas, TX Denver, CO  
Houston, TX Kansas City, MO Los Angeles, CA Miami, FL  
New York, NY Phoenix, AZ San Francisco, CA Seattle, WA  
915.033.0330 WWW.RASMITH.COM

# ALTA/ACSM LAND TITLE SURVEY



Known as 10594 West Cortez Circle, in the City of Franklin, Milwaukee County, Wisconsin.

PARCEL A:  
Lots Eight (8) and Nine (9) in Block One (1) and Lot One (1) in Block Two (2) in WHITNALL SLOPES, being a Subdivision of part of the Northeast One-quarter (1/4) and Northwest One-quarter (1/4) of the Southwest One-quarter (1/4) of Section Five (5), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, Milwaukee County, Wisconsin, recorded on October 14, 1985 in the Office of the Register of Deeds for Milwaukee County, Wisconsin in Reel 0869, Image 1586-1607, as Document No. 4936266.

PARCEL B:  
All of CERTIFIED SURVEY MAP No. 485, being a part of the Southwest One-quarter (1/4) of Section Five (5), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, Milwaukee County, Wisconsin, recorded on August 6, 1975 in the Office of the Register of Deeds for Milwaukee County, Wisconsin in Reel 0869, Image 1586-1607, as Document No. 4213396. EXCEPTING THEREFROM that portion thereof contained in Award of Damages recorded as Document No. 4489151.

1. Basis of Bearings  
Bearings are based on the North line of the Southwest 1/4 of Section 5-5-21, which is assumed to bear North 68°13'58" East.
2. Title Commitment  
This survey was prepared based on Fidelity National title Insurance Company title commitment number 216658, Revision (1), effective date of April 4, 2012, which lists the following easements and/or restrictions from schedule B4:

- A-D, F. Visible evidence shown, if any.
  - E-I.M. Not survey related.
  - N. Common Ownership Plumbing System Inspection and Enforcement recorded September 30, 1985 in Reel 1799, Image 1249 as Document No. 5849633. Affects site by location - general in nature, cannot be plotted.
  - O. Terms, conditions, provisions and restrictions contained in instrument recorded July 27, 1972 in Reel 686, Image 1785 as Document No. 4993496. Amended by Resolution recorded July 25, 1984 in Reel 1662, Image 1026 as Document No. 5789593. Resolution No. 2008-8904 (Amending resolution Nos. 72-431 and 84-2223) recorded November 17, 2008 as Document No. 9815177. Affects site by location - general in nature, cannot be plotted.
  - P. Subdivision Development Agreement recorded June 11, 1974 in Reel 790, Image 1696, as Document No. 4847306. Affects site by location - general in nature, cannot be plotted.
  - Q. Utility Easement recorded June 7, 1975 in Reel 532, Image 1979, as Document No. 5007346. Affects site by location - shown.
  - R. Utility Easement recorded on May 10, 1977 in Reel 1012, Image 1418 as Document No. 5008185. Affects site by location - shown.
  - S. Utility Easement recorded on January 31, 1977 in Reel 990, Image 1178, as Document No. 5072816. Affects site by location - shown.
  - T. Access restriction as set forth on the recorded Plat of Whittall Slopes reciting as follows: Whereby direct vehicular access from Lot 8, in Block 1 and Lot 1 in Block 5, S. 1/4, T. 5N, R. 21E is prohibited. Affects site by location - shown.
  - U. Grant of Easement recorded November 28, 1979 in Reel 1283, Image 169, as Document No. 538741. Affects site by location - shown.
  - V. Grant of Easement recorded June 2, 1979 in Reel 1299, Image 278, as Document No. 542104.
  - W. Reservation for planting screen affecting the South 25 feet of Lot 8, Block 1, as shown on the recorded plat of Whittall Slopes. Affects site by location - shown.
  - X. Agreement recorded December 24, 1985 in Reel 1930, Image 1139, as Document No. 6873436. Affects site by location - general in nature, cannot be plotted.
  - Y. Utility Easement recorded October 17, 1985 in Reel 1806, Image 340 as Document No. 5855448. Affects site by location - shown.
  - Z. Utility Easement recorded December 19, 1990 in Reel 2523, Image 533, as Document No. 6444069. Affects site by location - shown.
  - aa. Utility Easement recorded on May 5, 1976 in Reel 838, Image 1496, as Document No. 4900542. Affects site by location - shown.
  - ab. Water Main Easement recorded September 22, 1975 in Reel 879, Image 250, as Document No. 4949681. Affects site by location - shown.
  - ac. Easement recorded October 27, 1975 in Reel 8607, Image 515, as Document No. 4956019. Affects site by location - shown.
  - ad. Grant of Easement recorded on June 2, 1980 in Reel 1299, Image 278, as Document No. 542103. Affects site by location - shown.
  - ae. Easement recorded on June 15, 1991 in Reel 1361, Image 1797, as Document No. 5481617. Affects site by location - shown.
  - af. Sanitary Sewer Easement & Water Main Easement, Drainage, and Storm Sewer Easement recorded June 11, 1974 in Reel 79, Image 1776 as Document No. 4847354.
  - ag. 50 foot minimum building setback line from South Lovers Lane aka U.S.H. "45" as shown on the recorded plat of Whittall Slopes. Affects site by location - shown.
  - ah. Authorization for Access to or across a controlled-Access Highway recorded April 28, 2004 in Reel 5824, Image 4784 as Document No. 8770083.
  - ai. Authorization for Access to or across a controlled-Access Highway recorded April 26, 2004 in Reel 5824, Image 4785 as Document No. 8770082.
  - aj. Notice of Nonaccess to or across a controlled-access highway recorded April 26, 2004 in Reel 5824, Image 5070 as Document No. 8770172.
3. Flood Note  
According to flood insurance rate map of the City of Franklin, community panel number 55079C0141E, effective date of September 28, 2012, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain) and zone A (Special Flood Hazard Areas subject to inundation by the 1% Chance Flood - No Base Flood Elevation determined).
  4. Parking Spaces  
There are 578 regular parking spaces, 22 handicapped parking spaces, 66 garage stalls and 163 underground parking spaces marked on this site.
  5. Notes  
There is no observable evidence of current earth moving work, building construction or building additions as of the field date of this survey.  
There is observable evidence of recent street or sidewalk construction or repairs as of the field date of this survey. Sidewalk has been replaced at various locations (not delineated).  
There is no observable evidence of site used as a solid waste dump, stump or sanitary landfill as of the field date of this survey.  
The basic zoning information listed below is taken from municipal codes and does not reflect all regulations that may apply - site is zoned R-8 Multiple Family Residence District and PW Floodway District.  
R-8 Front setback - 30 feet  
R-8 Side yard setback - 20 feet  
R-8 Side yard on corner lot - 30 feet  
R-8 Rear yard setback - 30 feet  
R-8 Maximum height - 3 stories / 45 feet
  6. Whittall Zoning  
Classification provided by client, setback data obtained by surveyor!  
The basic zoning information listed below is taken from municipal codes and does not reflect all regulations that may apply - site is zoned R-8 Multiple Family Residence District and PW Floodway District.  
R-8 Front setback - 30 feet  
R-8 Side yard setback - 20 feet  
R-8 Side yard on corner lot - 30 feet  
R-8 Rear yard setback - 30 feet  
R-8 Maximum height - 3 stories / 45 feet

I hereby certify to: HUD, P/R Mortgage & Investment Corp., and/or the Secretary of Housing and Urban Development, their successors and assigns, as their interest may appear with HUD Survey Instructions and Report, HUD 82457M and the requirements for an ALTA/ACSM Land Title Survey, as defined in the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys and NSPS and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13, 14, 16 and 18 of Table A thereof.

To the best of my knowledge, belief and information, except as shown hereon: There are no encroachments either way across property lines; title lines and lines of actual possession are the same; and the premises are subject to a 100/500 year return frequency flood hazard, and such flood condition is shown on the Federal Flood Insurance Rate Map, Community Panel No. 55079C0141E.

Date of Plat or Map: May 7, 2012  
revised May 18, 2012  
revised June 19, 2012

John P. Casucci  
Registered Land Surveyor  
Registration Number S-2055

SCONSON  
JOHN P. CASUCCI  
S-2055  
CONCORDIA  
LAND SURVEYOR

**R.A. Smith National, Inc.**  
Beyond Surveying  
and Engineering

1610 W. Beaver Dam Road, Beaver Dam, WI 53005-5200  
262.761.0000 Fax 262.761.7070 www.ra-smith.com  
Atlanta, GA Chicago, IL Dallas, TX Denver, CO  
Houston, TX Kansas City, MO Minneapolis, MN  
New York, NY Phoenix, AZ St. Louis, MO  
Tampa, FL Washington, DC  
515160355/DWG/AS2012-00.DWG | AS12129-0

# Renovation of the Whitnall Pointe Clubhouse

10590 W. Cortez Circle  
Franklin, WI 53132

Issued for Bid/Permit: xx/xx/xx  
Issued for Construction: xx/xx/xx  
Issued for Schematic Design: 04/30/21



3717 North Ravenswood  
Suite 111  
Chicago, IL 60613

773.327.1000  
fosterdalearchitects.com

6/25/21  
PLAN COMMISSION-  
PRELIMINARY- NOT  
FOR CONSTRUCTION



**OWNER:**  
DANIEL MANAGEMENT GROUP, INC  
5424 W DEVON #46271  
CHICAGO, ILLINOIS 60643  
CONTACT: JIM MINNIE  
(262) 489-5550

**ARCHITECT:**  
FOSTER DALE ARCHITECTS, INC.  
3717 NORTH RAVENSWOOD AVENUE  
SUITE 111  
CHICAGO, ILLINOIS 60613  
(773) 327-1000

**CIVIL ENGINEERS:**  
SPACECO, INC.  
9575 W. HIGGINS ROAD, SUITE 700  
ROSEMONT, IL 60018  
(847) 696-4060

**MEP/FP ENGINEERS:**  
QUEST DESIGN GROUP  
1100 JORIE BOULEVARD, SUITE 224  
OAK BROOK, IL 60523  
(630) 581-5100

**STRUCTURAL ENGINEERS:**  
HUTTER TRANKINA ENGINEERING  
32 W 273 ARMY TRAIL ROAD SUITE 100  
WAYNE, IL 60184  
(630) 513-6711

**POOL DESIGN/BUILD FIRM:**  
NEUMAN POOLS  
W9684 BEAVERLAND PARKWAY  
PO BOX 413  
BEAVER DAM, WI 53916  
(920) 885-3366

**DRAWING LIST:**

- COVER SHEET/PROJECT LOCATION/GENERAL NOTES
- A0.1 SITE PLAN
- A0.2 CODE ANALYSIS
- A1.1 SPECIFICATION SHEET
- A1.2 ACCESSIBILITY DIAGRAMS & NOTES

- D2.1 DEMOLITION PLAN & NOTES
- A2.1 FLOOR PLAN
- A2.2 ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 BUILDING SECTIONS

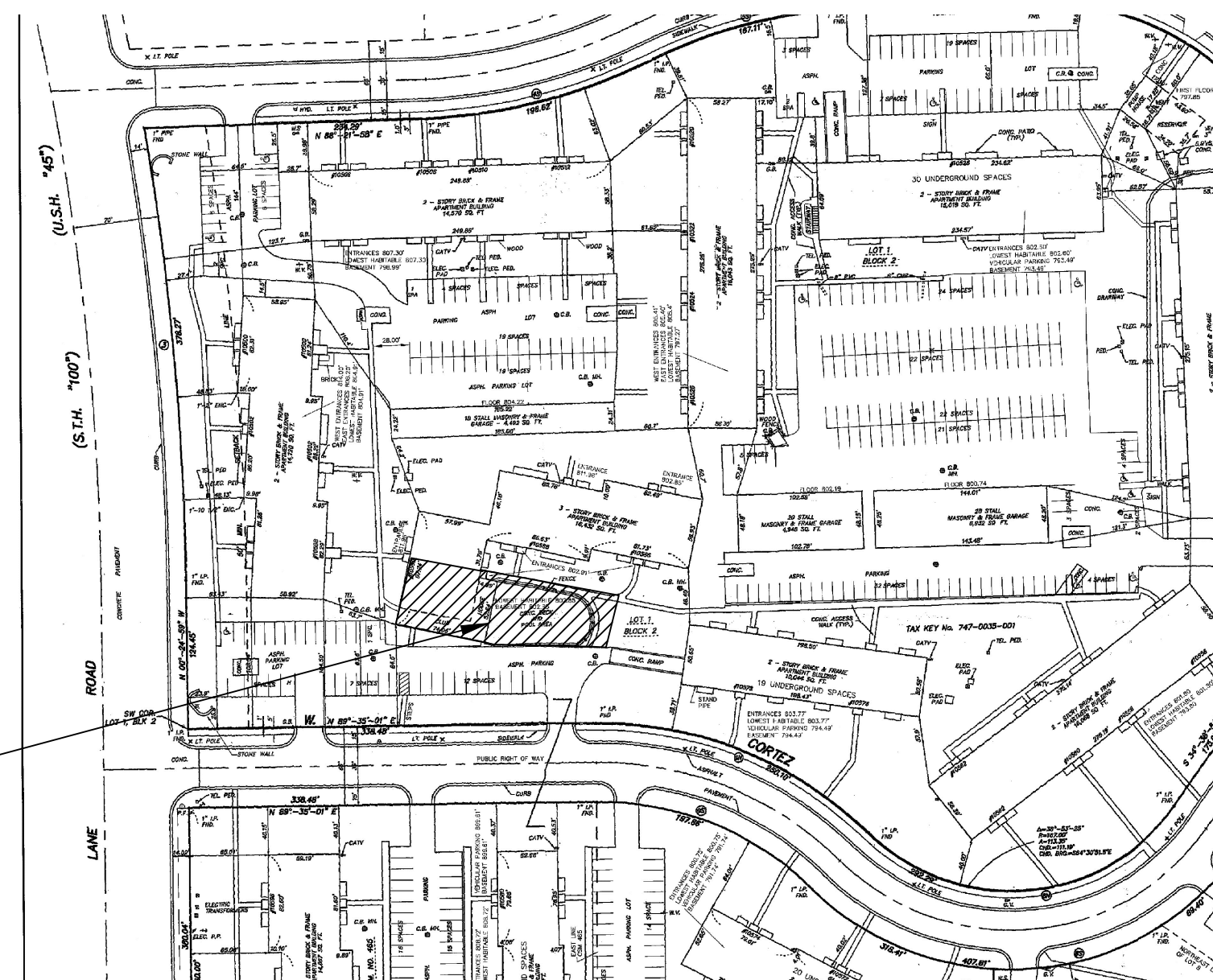
- A3.3 POOL EQUIPMENT BUILDING/PERGOLA PLANS & ELEVATIONS
- A5.1 ENLARGED PLANS & INTERIOR ELEVATIONS
- A7.1 REFLECTED CEILING PLAN
- A8.1 SCHEDULES & NOTES

• NOT ISSUED IN THIS SET

**ARCHITECT'S CERTIFICATION**

THIS IS TO CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF WISCONSIN, AND THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO CHICAGO BUILDING CODE AND ORDINANCES.

FOSTER DAVID DALE, AIA  
FOSTER DALE ARCHITECTS, INC.  
IL LIC. # 001-012980  
PROFESSIONAL DESIGN FIRM ARCHITECT CORPORATION  
# 184-002568  
(THIS CERTIFICATION VALID ONLY WITH DATED SIGNATURE AND SEAL)



HATCH INDICATES AREA OF WORK

1 PROJECT LOCATION  
SCALE: N.T.S

**GENERAL NOTES:**

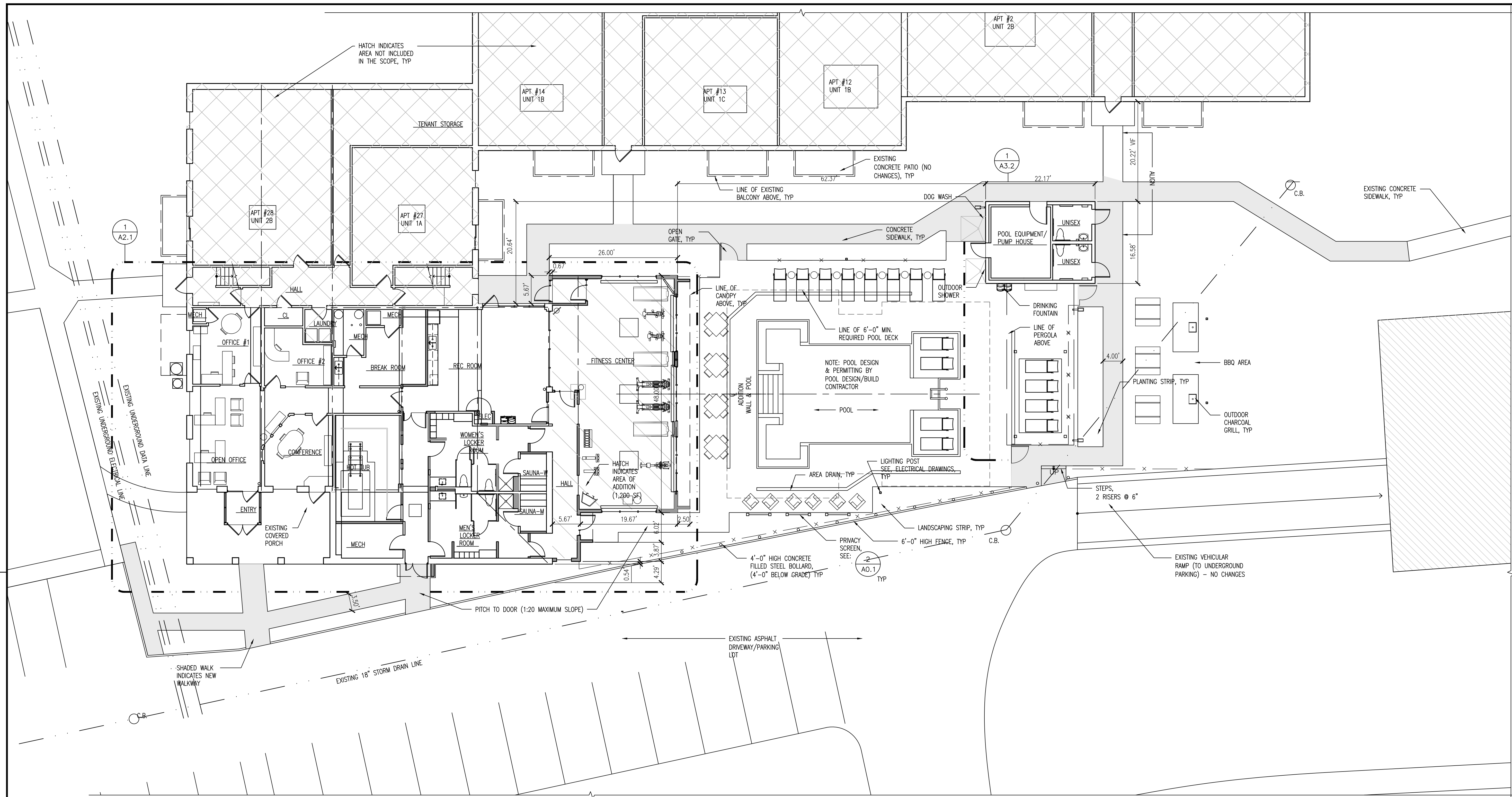
1. ALL NEW PARTITIONS ARE TO BE 2x4 STUDS @ 16" o.c. (UNLESS OTHERWISE NOTED) WITH A LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD (GWB) AT EACH SIDE.
2. SITE PLAN IS BASED ON SURVEY PROVIDED BY THE OWNER.
3. CONFIGURE PLUMBING AS REQUIRED BY PLAN LAYOUT AND CODE. ALL PLUMBING FIXTURES ARE SELECTED AND SUPPLIED BY THE OWNER.
4. SEE ELECTRICAL PLANS FOR ELECTRICAL LAYOUT. CONTRACTOR IS TO COORDINATE THE LAYOUT INFORMATION WITH ALL OTHER ARCHITECTURAL DRAWINGS. ALL DESIGN WORK INCLUDING ELECTRICAL SERVICE SIZE IS THE RESPONSIBILITY OF ELECTRICAL CONTRACTOR. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT ALL WORK CONFORMS TO APPLICABLE CODES.
5. ALL WORK IS TO CONFORM TO THE LATEST EDITION OF THE CITY OF CHICAGO BUILDING AND ZONING CODES.
6. ALL DIMENSIONS ARE TO THE FACE OF THE PLASTER OR DRYWALL UNLESS NOTED OTHERWISE.
7. SEE INTERIOR/ROOM FINISH NOTES FOR MORE INFORMATION ON INTERIOR FINISHES.
8. THE FOLLOWING ITEMS ARE TO BE SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR: TILE, PLUMBING FIXTURES, DOOR HARDWARE, TOILET ACCESSORIES, CABINETRY, CABINETRY PULLS, AND LIGHT FIXTURES (SEE LIGHT FIXTURE SCHEDULE).
9. THE FOLLOWING ITEMS ARE TO BE SUPPLIED AND INSTALLED BY THE OWNER: COUNTERTOPS, CARPET, WINDOW TREATMENTS AND CLOSET SPECIALTIES.
10. COORDINATE ALL WORK WITH ALL DRAWINGS. REPORT ANY CONFLICTS OR AMBIGUITY TO THE ARCHITECT AND THE OWNER IMMEDIATELY SO THAT A SPEEDY RESOLUTION CAN BE DETERMINED AND COMMUNICATED TO THE CONTRACTOR.
11. DEMOLISH AND REMOVE ALL MATERIAL NECESSARY FOR THE EXECUTION OF THE PROJECT, CAP ANY APPLIANCES OR UTILITIES AS REQUIRED. DISPOSE OF ALL DEBRIS IN SAFE AND LAWFUL MANNER. CONTRACTOR TO COMPLY WITH REQUIREMENTS OF EPA LEAD RENOVATION, REPAIR & PAINTING RULE (RRP).
12. ALL INTERIOR FINISHES TO HAVE CLASS 1 FLAME SPREAD RATING.
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES UNDER HIS CONTROL AND IS TO GIVE THE OWNER PROPER

NOTIFICATION WHEN CHOICES ON ALLOWANCES ARE TO BE MADE AND WHEN OWNER SUPPLIED ITEMS ARE TO BE INSTALLED OR DELIVERED SO THAT THE OWNER WILL NOT ADVERSELY AFFECT THE CONSTRUCTION SCHEDULE.

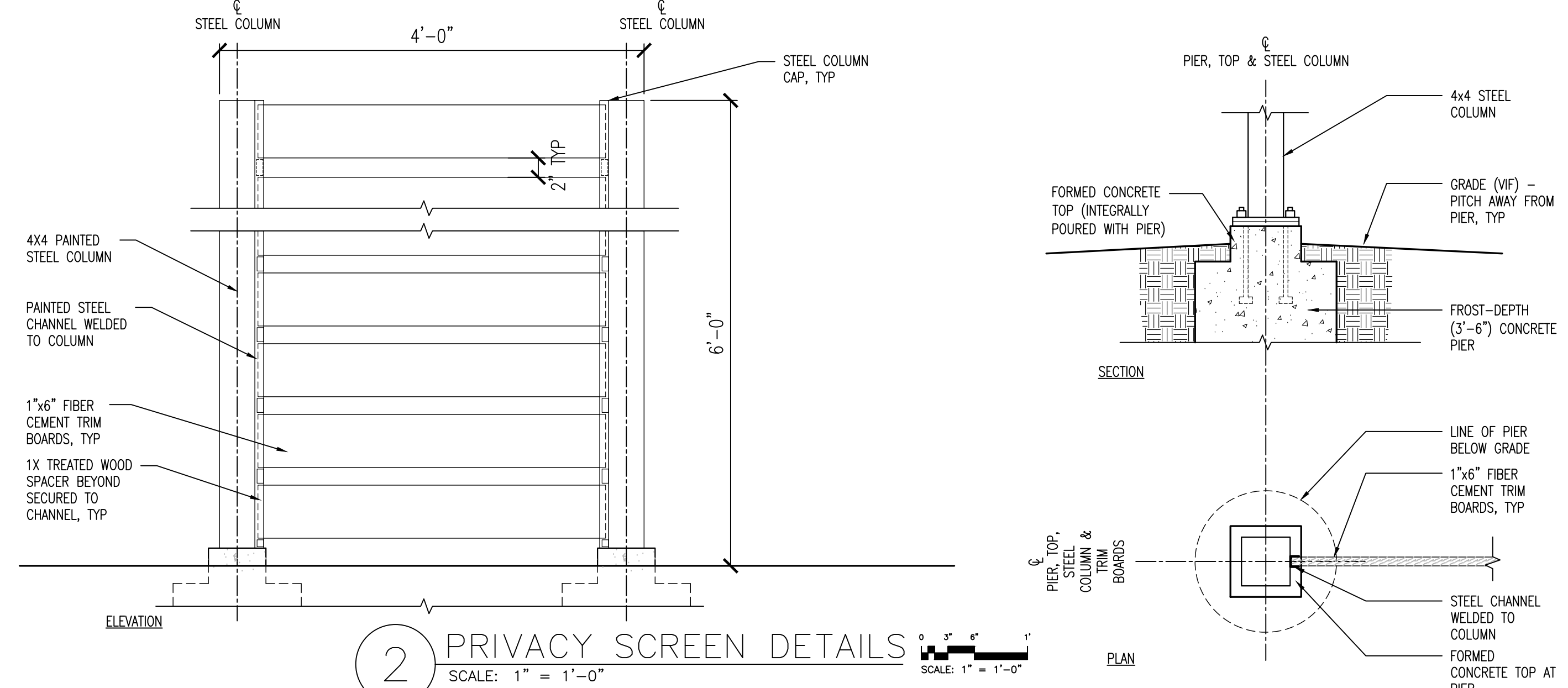
14. CONTRACTOR IS TO REPLACE ANY WORK OR EXISTING CONDITIONS (AT NO ADDITIONAL COST TO THE OWNER) THAT ARE DAMAGED WHILE IN CONTROL OF THE PROJECT SITE.
15. ALL WARRANTIES AND PRODUCT DATA ARE TO BE CONVEYED TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION.
16. THE GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR PROTECTING AND SECURING THE SITE AT ALL TIMES. WORK IN PLACE IS TO BE PROTECTED TO PREVENT DAMAGE FROM THE ELEMENTS. PARTIALLY INSTALLED WORK IS TO BE PROPERLY BRACED AND PROTECTED TO PREVENT DAMAGE. THE GENERAL CONTRACTOR IS TO PROVIDE FIRE EXTINGUISHERS, SITE ENCLOSURE FENCING, BARRICADES, WARNING LIGHTS AND SIGNS, PEST CONTROL AND SNOW AND ICE REMOVAL.
17. THE GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR CONSTRUCTION FACILITIES INCLUDING TRASH REMOVAL, AND DEWATERING OR PUMPING, ALL TEMPORARY ENCLOSURES, TEMPORARY HEATING AND LIGHTING AND TEMPORARY ACCESS TO THE SITE.
18. PROVIDE SMOKE & CARBON MONOXIDE DETECTORS WHERE WORK IS UNDERTAKEN IN OCCUPIED BUILDINGS - PROTECT AS REQUIRED DURING INSTALLATION OF SPRAY-APPLIED MATERIALS OR WHILE UNDERTAKING PARTICULATE PRODUCING WORK.

APPLICABLE CODES:	
<b>BUILDING CODE:</b>	2015 INTERNATIONAL BUILDING CODE SPS 362 - BUILDINGS AND STRUCTURES, WISCONSIN LEGISLATURE
<b>EXISTING BUILDING CODE:</b>	2015 INTERNATIONAL EXISTING BUILDING CODE SPS 366 - EXISTING BUILDINGS, WISCONSIN LEGISLATURE
<b>ENERGY CONSERVATION CODE:</b>	2015 INTERNATIONAL ENERGY CONSERVATION CODE SPS 363 - ENERGY CONSERVATION, WISCONSIN LEGISLATURE
<b>MECHANICAL CODE:</b>	2015 INTERNATIONAL MECHANICAL CODE SPS 364 - HEATING VENTILATION & AIR CONDITIONING, WISCONSIN LEGISLATURE
<b>FUEL GAS CODE:</b>	2015 INTERNATIONAL FUEL GAS CODE SPS 365 - FUEL GAS APPLIANCES, WISCONSIN LEGISLATION
<b>POOL CODE:</b>	SPS 390 WISCONSIN LEGISLATION
<b>OCCUPANCY CLASSIFICATION:</b>	RESIDENTIAL R-2

FOSTER DAVID DALE, AIA  
FOSTER DALE ARCHITECTS, INC.  
IL LIC. # 001-012980  
PROFESSIONAL DESIGN FIRM ARCHITECT CORPORATION  
# 184-002568  
(THIS CERTIFICATION VALID ONLY WITH DATED SIGNATURE AND SEAL)



**1 SITE PLAN**  
 SCALE: 1"=10'-0"  
 NORTH  
 SCALE: 1"=10'-0"



**2 PRIVACY SCREEN DETAILS**  
 SCALE: 1"=1'-0"



**FOSTER DALE ARCHITECTS**  
 3717 North Ravenswood  
 Suite 111  
 Chicago, IL 60613  
 773.327.1000  
 fosterdalearchitects.com

**NOTES**  
 6/25/21  
 PLAN COMMISSION-  
 PRELIMINARY- NOT  
 FOR CONSTRUCTION

**Renovation of the Whitnall Pointe Clubhouse**  
 10590 W. Cortez Circle  
 Franklin, WI 53132

NO.	DATE	DESCRIPTION
xx/xx/xx		Issued for Construction
xx/xx/xx		Issued for Permit
06/25/2021		Plan Commission
04/30/21		Schematic Design

**SITE PLAN**

Scale: AS NOTED  
 Drawn By: FDA  
 Project Number: 0000  
 Sheet Number: A0.1

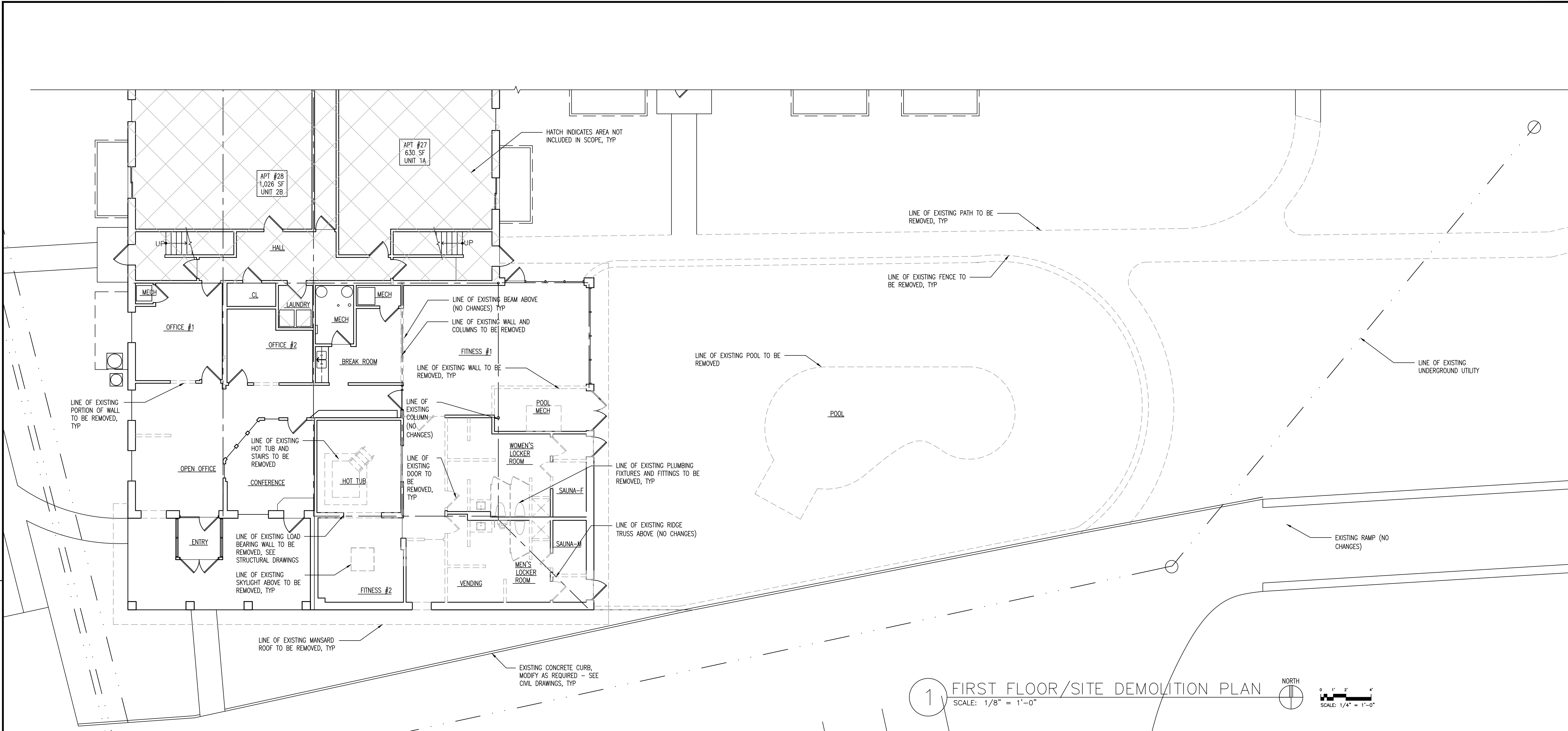
NOTES  
6/25/21  
PLAN COMMISSION-  
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Renovation of the Whitnall Pointe Clubhouse  
10590 W. Cortez Circle  
Franklin, WI 53132

NO.	DATE	DESCRIPTION
xx/xx/xx		Issued for Construction
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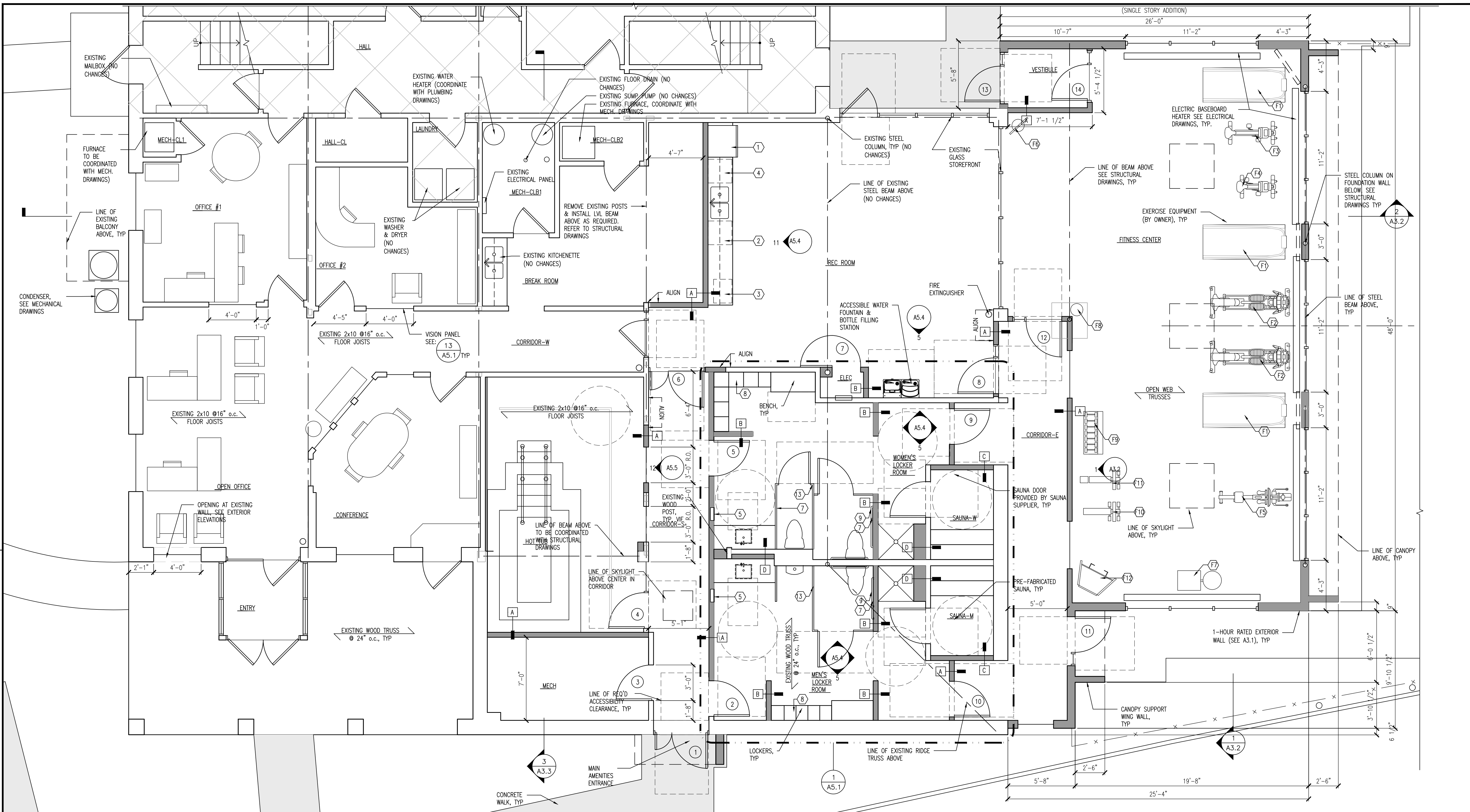
FIRST FLOOR  
DEMOLITION PLAN  
& NOTES

Scale: AS NOTED	Sheet Number:
Drawn By: FDA	D2.1
Project Number: 0000	



1 FIRST FLOOR/SITE DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

- DEMOLITION NOTES:
- SCOPE OF DEMOLITION INCLUDES (SEE PLANS FOR ADDITIONAL INFORMATION):  
A. SELECT REMOVAL OF EXTERIOR WALLS AND WINDOWS FOR NEW OPENINGS (SEE PLANS).  
B. SELECT REMOVAL OF EXISTING INTERIOR PARTITIONS AND MILLWORK (SEE PLANS).  
C. SELECT REMOVAL OF EXISTING DOORS (PRESERVE FOR REUSE AS INDICATED).  
D. REMOVAL OF EXISTING EXTERIOR PAVERS.  
E. DISCONNECTION, CAPPING, AND REMOVAL OF UTILITIES AS REQUIRED.
  - PROVIDE POLLUTION CONTROL DURING BUILDING DEMOLITION.
  - REMOVE AND LEGALLY DISPOSE OF MATERIALS.
  - UNINSTALL, PRESERVE AND PROTECT EXISTING TRIM, DOORS, LIGHT FIXTURES, AND EQUIPMENT TO BE REINSTALLED, AS INDICATED BY THE PLANS AND OWNERS.
  - ALL DEMOLITION ACTIVITIES MUST BE IN COMPLIANCE WITH GOVERNING CODES, LAWS AND REGULATIONS (INCLUDING EPA'S LEAD-SAFE RENOVATION, REPAIR & PAINTING RULES).
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF DEMOLITION. CONSEQUENTLY, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PROTECTION OF PORTIONS OF BUILDING TO REMAIN, SITE IMPROVEMENTS AND ADJACENT BUILDINGS.
  - CONTRACTOR IS RESPONSIBLE FOR SECURING AND SEALING THE SITE FOR THE PROTECTION OF THE PUBLIC.
  - SHORING AND BRACING OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ASBESTOS ABATEMENT (IF ANY) BY OWNER. CONTRACTOR TO NOTIFY OWNER IF ASBESTOS ABATEMENT IS REQUIRED.



NOTES  
6/25/21  
PLAN COMMISSION-  
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Renovation of the Whitnall Pointe Clubhouse  
10590 W. Cortez Circle  
Franklin, WI 53132

**WALL & PARTITION TYPES**

**A** UNRATED INTERIOR PARTITION WITH ACOUSTIC INSULATION: 3-5/8" 20 GA. STEEL STUDS @ 16" o.c. W/ (1) LAYER 5/8" GWB EACH FACE

**B** UNRATED INTERIOR PARTITION: 3-5/8" 25 GA. STEEL STUDS @ 16" o.c. W/ (1) LAYER 5/8" GWB EACH FACE

**C** UNRATED INTERIOR PARTITION: SAUNA

**D** UNRATED FURRING: --- SEE PLAN FOR DEPTH AND ALIGNMENT

MARK	ROOM/LOCATION	TYPE	MODEL	REMARKS
1	REC ROOM	REFRIGERATOR	32" WIDE (BY OWNER)	SEE INTERIOR ELEVATIONS
2	REC ROOM	DISHWASHER	ADA HEIGHT COMPLIANT	SEE INTERIOR ELEVATIONS
3	REC ROOM	MICROWAVE	UNDERCOUNTER	SEE INTERIOR ELEVATIONS
4	REC ROOM	ICE MAKER	UNDERCOUNTER	SEE INTERIOR ELEVATIONS
5	MEN'S/WOMEN'S LOCKER ROOMS	HAND DRYER	ASI-0135-1 RECESS MOUNTED SENSOR HAND DRYER	INSTALL PER MANUFACTURER'S RECOMMENDATION
6	MEN'S/WOMEN'S LOCKER ROOMS	SOAP DISPENSERS	ASI-0332 LAVATORY MOUNTED	INSTALL PER MANUFACTURER'S RECOMMENDATION
7	BATHROOMS, TYP	TOILET PAPER DISPENSERS	ASI-0042 SURFACE MOUNTED JUMBO-ROLL DISPENSER	INSTALL PER MANUFACTURER'S RECOMMENDATION
8	MEN'S/WOMEN'S LOCKER ROOMS	LOCKERS	ASI SPECIALTY COLLECTION	SEE INTERIOR ELEVATIONS
9	BATHROOMS, TYP	GRAB BARS	ASI- MODEL 3000 STAINLESS STEEL	SEE INTERIOR ELEVATIONS
10	UNISEX-1/2	BABY CHANGING STATIONS	ASI-9013 STAINLESS STEEL	INSTALL PER MANUFACTURER'S RECOMMENDATION
11	UNISEX-1/2	SOAP DISPENSERS	ASI-0346 SURFACE MOUNTED	SEE INTERIOR ELEVATIONS
12	UNISEX-1/2	HAND DRYER	ASI-TURBO-DRI 0198-1-93	INSTALL PER MANUFACTURER'S RECOMMENDATION
13	MEN'S/WOMEN'S LOCKER ROOMS	TOILET PARTITIONS	ASI-FLOOR ANCHORED OVERHEAD BRACED STAINLESS STEEL	INSTALL PER MANUFACTURER'S RECOMMENDATION

MARK	ROOM/LOCATION	TYPE	MODEL	REMARKS
F1	FITNESS ROOM	TREADMILL	SPIRIT -CT800	PROVIDE DEDICATED POWER. COORDINATE WITH VENDOR/ELECTRIC
F2	FITNESS ROOM	ELLIPTICAL	SPIRIT- 20" STRIDE- GENERATOR POWERED	SELF-POWERED
F3	FITNESS ROOM	RECLUMBENT BIKE	SPIRIT 800140 SERIES	SELF-POWERED
F4	FITNESS ROOM	UPRIGHT BIKE	SPIRIT 800340	SELF-POWERED
F5	FITNESS ROOM	ROWER	CONCEPT 2 MODEL D	SELF-POWERED
F6	FITNESS ROOM	BOXING TOWER	STAIRMASTER BOXMASTER TOWER	FLOOR MOUNTED BY VENDOR
F7	FITNESS ROOM	MEDICINE BALL RACK/ACCESSORIES	TAG FITNESS VERSA RACK	
F8	FITNESS ROOM	STAINLESS STEEL TRASH CAN/WIPE DISPENSER	ATHLETIX STAINLESS STEEL	
F9	FITNESS ROOM	DUMBBELL RACK	TAG FITNESS 3-TIER RACK	
F10	FITNESS ROOM	DECLINE BENCH	TAG FITNESS	
F11	FITNESS ROOM	MULTI ADJUSTABLE BENCH	TAG FITNESS	
F12	FITNESS ROOM	FUNCTIONAL TRAINER	TAG FITNESS	

**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FF&E NOTES:**

- ALL EQUIPMENT AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S STANDARDS AND COMPLY WITH LOCAL ACCESSIBILITY REGULATIONS
- ALL EQUIPMENT TO BE SUPPLIED BY OWNER AND INSTALLATION TO BE COORDINATED WITH CONTRACTOR OR VENDORS

**LEGEND**

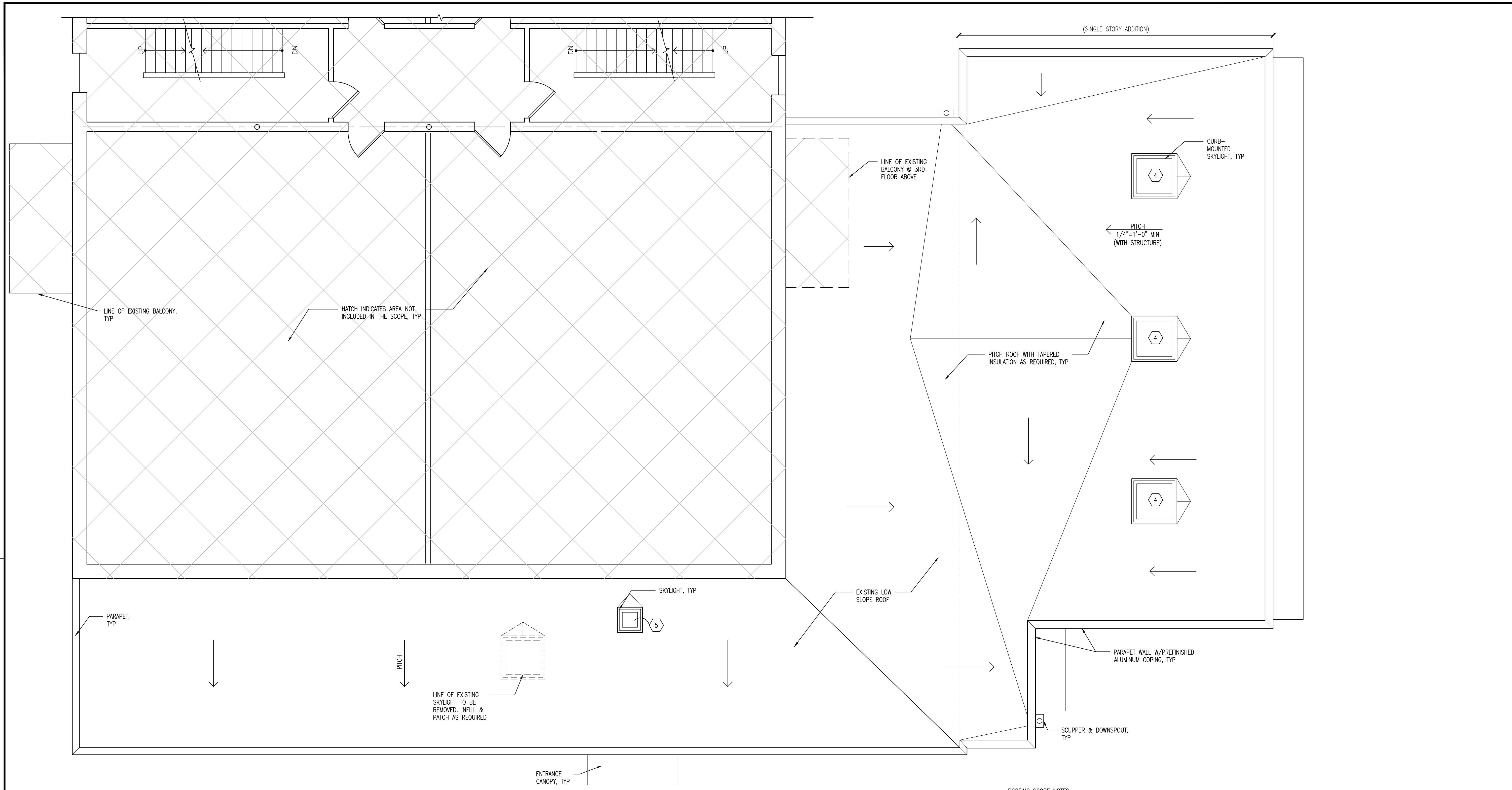
- EXIST CONST TO BE REMOVED
- EXIST CONST TO REMAIN
- █ NEW CONSTRUCTION
- - - - - EXIST DOOR TO BE REMOVED
- - - - - EXIST DOOR TO REMAIN
- ⊕ NEW DOOR (W/FRAME & TRIM) DOOR # IN CIRCLE TAG, TYP
- ⊕ RELOCATE EXIST DOOR AS DOOR # "X"

NO.	DATE	DESCRIPTION
xx/xx/xx		Issued for Construction
xx/xx/xx		Issued for Permit
06/25/2021		Plan Commission
04/30/21		Schematic Design

**FLOOR PLAN**

Scale: AS NOTED  
Drawn By: FDA  
Project Number: 0000

Sheet Number: **A2.1**



ROOFING SCOPE NOTES  
 TEAR OFF & REPLACE ROOFING WITH MODIFIED BITUMINOUS ROOFING (INITIAL REFLECTANCE OF 0.72 OR A 3 YEAR INSTALLED REFLECTANCE LESS THAN 0.5) AND CONTINUOUS ROOF INSULATION (ABOVE ROOF DECK) OF R-30

1 ROOF PLAN  
 SCALE: 1/4" = 1'-0"  
 NORTH  
 SCALE: 1/4" = 1'-0"



**FOSTER DALE ARCHITECTS**

3717 North Ravenswood  
 Suite 111  
 Chicago, IL 60613

773.327.1000  
 fosterdalearchitects.com

NOTES  
 6/25/21  
 PLAN COMMISSION-  
 PRELIMINARY- NOT  
 FOR CONSTRUCTION

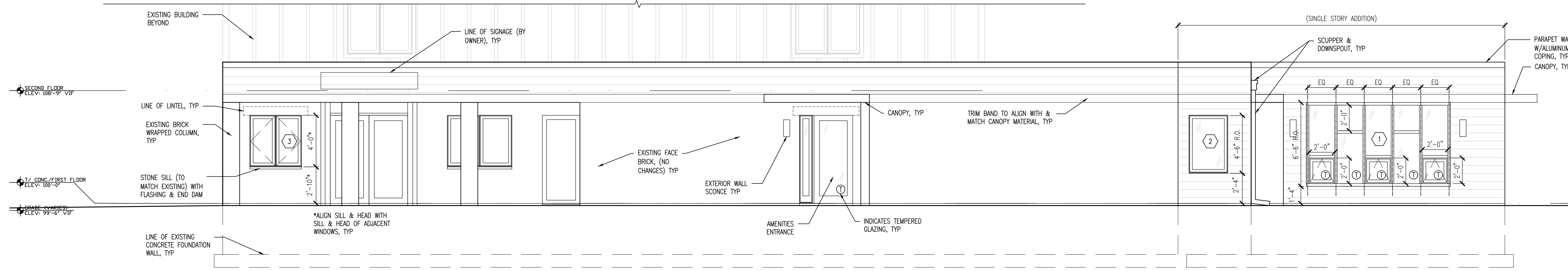
Renovation of the Whittall Pointe Clubhouse  
 10590 W. Cortez Circle  
 Franklin, WI 53132

NO.	DATE	DESCRIPTION
xx/xx/xx		Issued for Construction
xx/xx/xx		Issued for Permit
06/25/2021		Plan Commission
04/30/21		Schematic Design

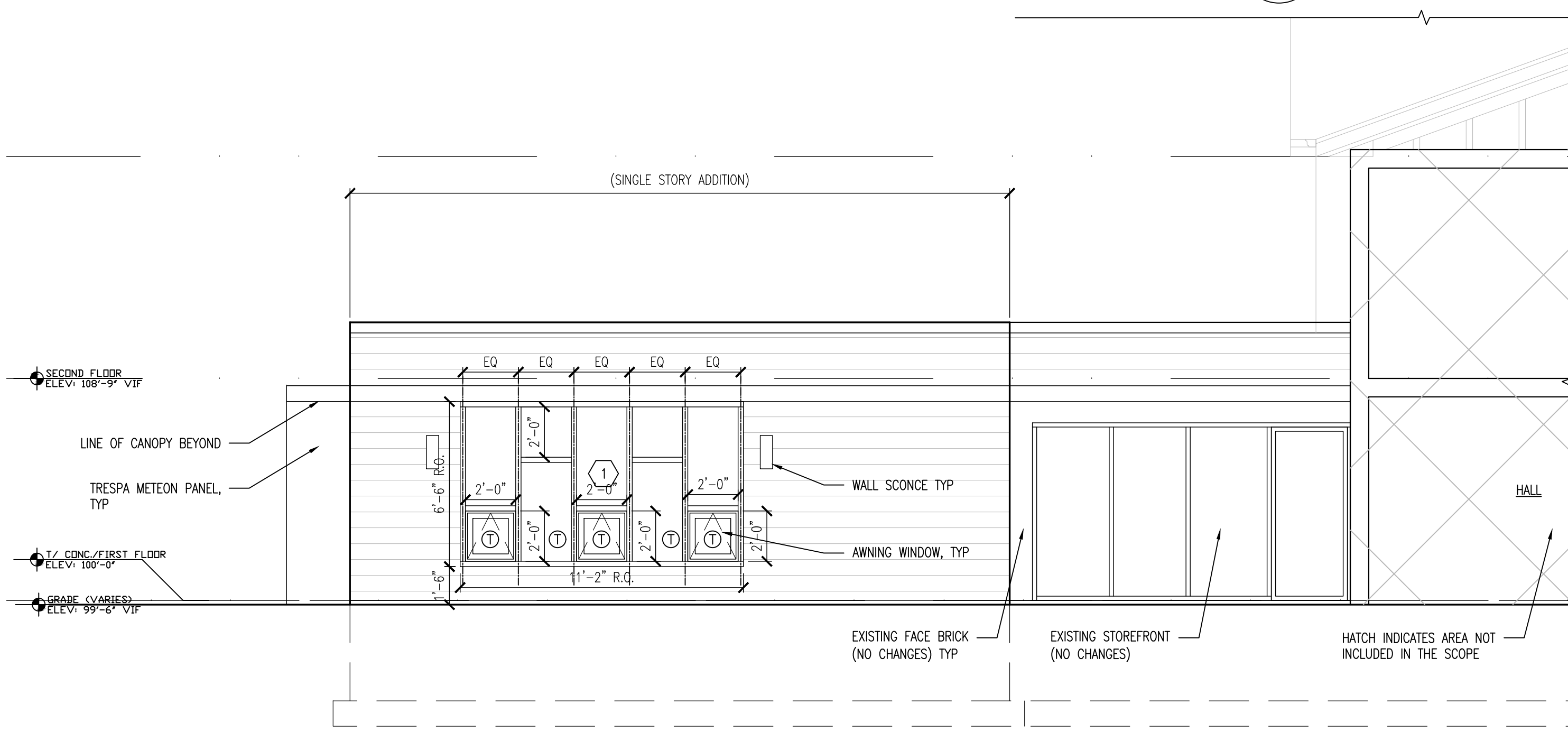
ROOF PLAN

Scale: AS NOTED	Sheet Number: A2.2
Drawn By: FDA	
Project Number: 0000	

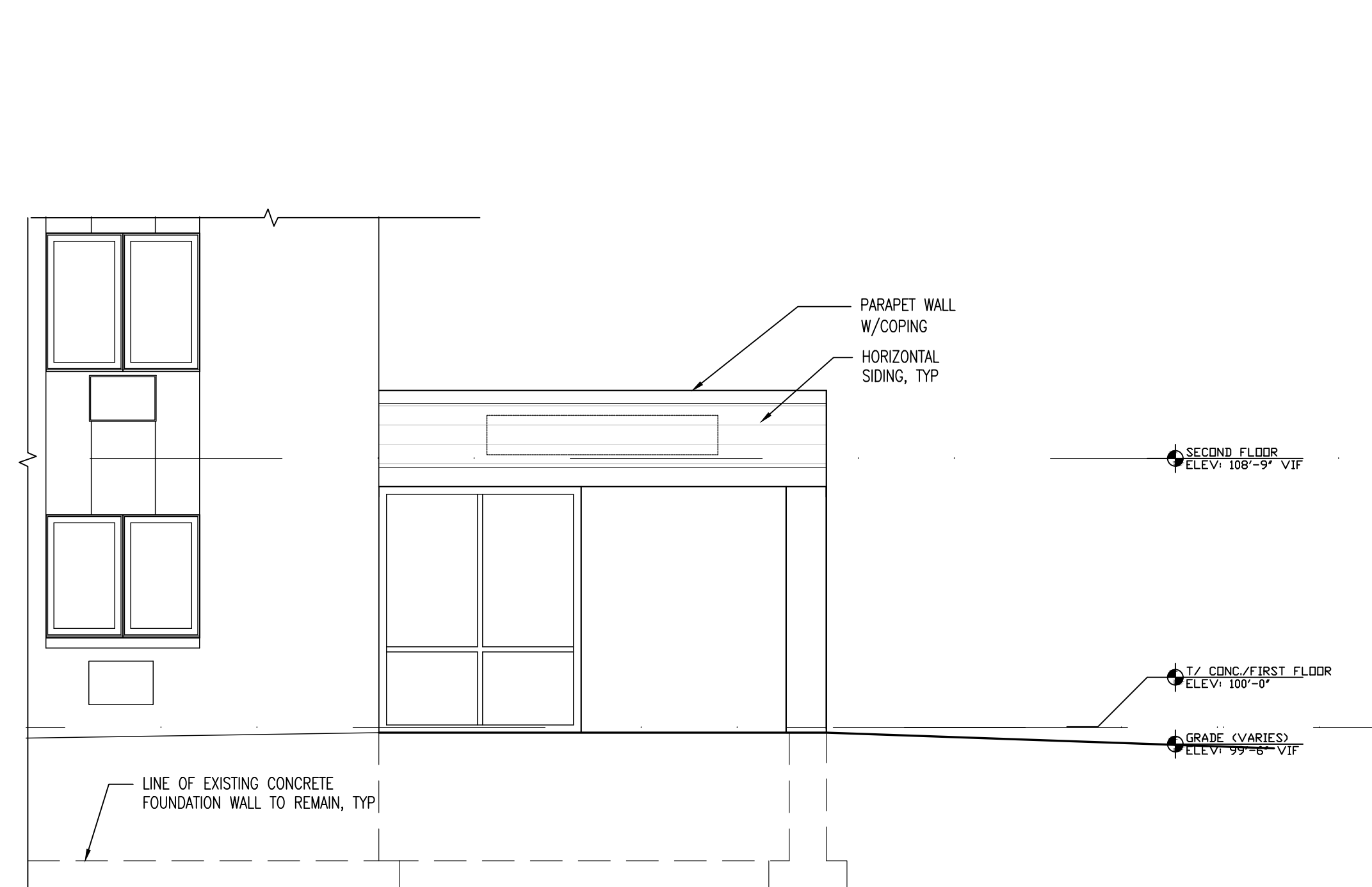




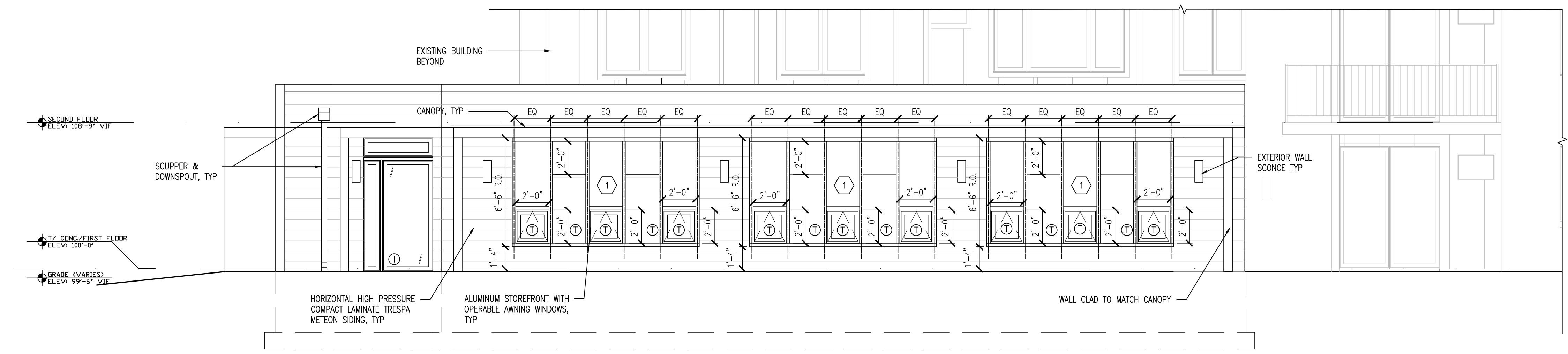
1 SOUTH ELEVATION – CLUBHOUSE BUILDING  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION – CLUBHOUSE BUILDING  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION – CLUBHOUSE BUILDING  
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION – CLUBHOUSE BUILDING  
SCALE: 1/4" = 1'-0"



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3717 North Ravenswood Suite 111 Chicago, IL 60613  
773.327.1000 fosterdalearchitects.com

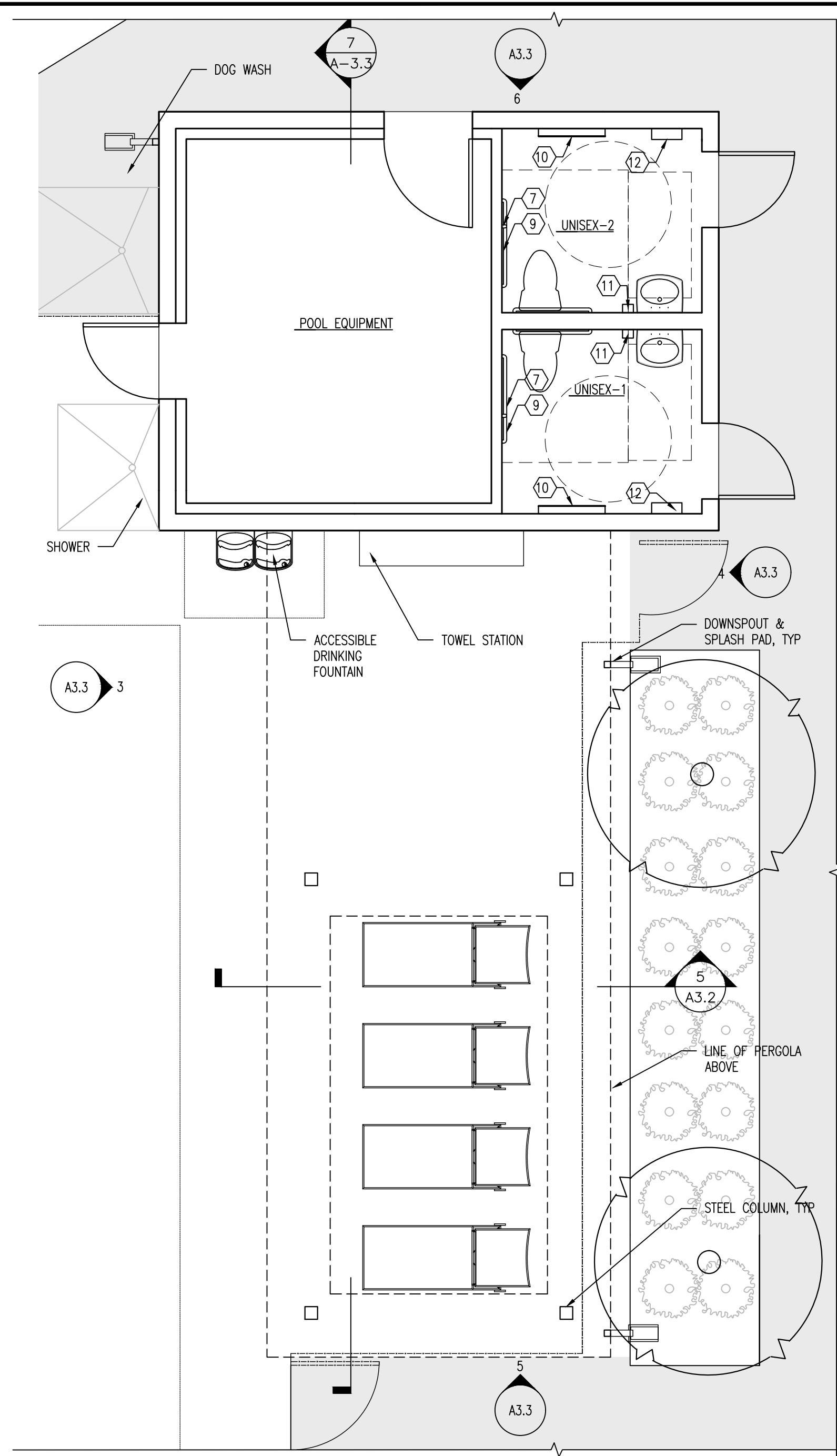
NOTES  
6/25/21  
PLAN COMMISSION- PRELIMINARY- NOT FOR CONSTRUCTION

Renovation of the Whitnall Pointe Clubhouse  
10590 W. Cortez Circle  
Franklin, WI 53132

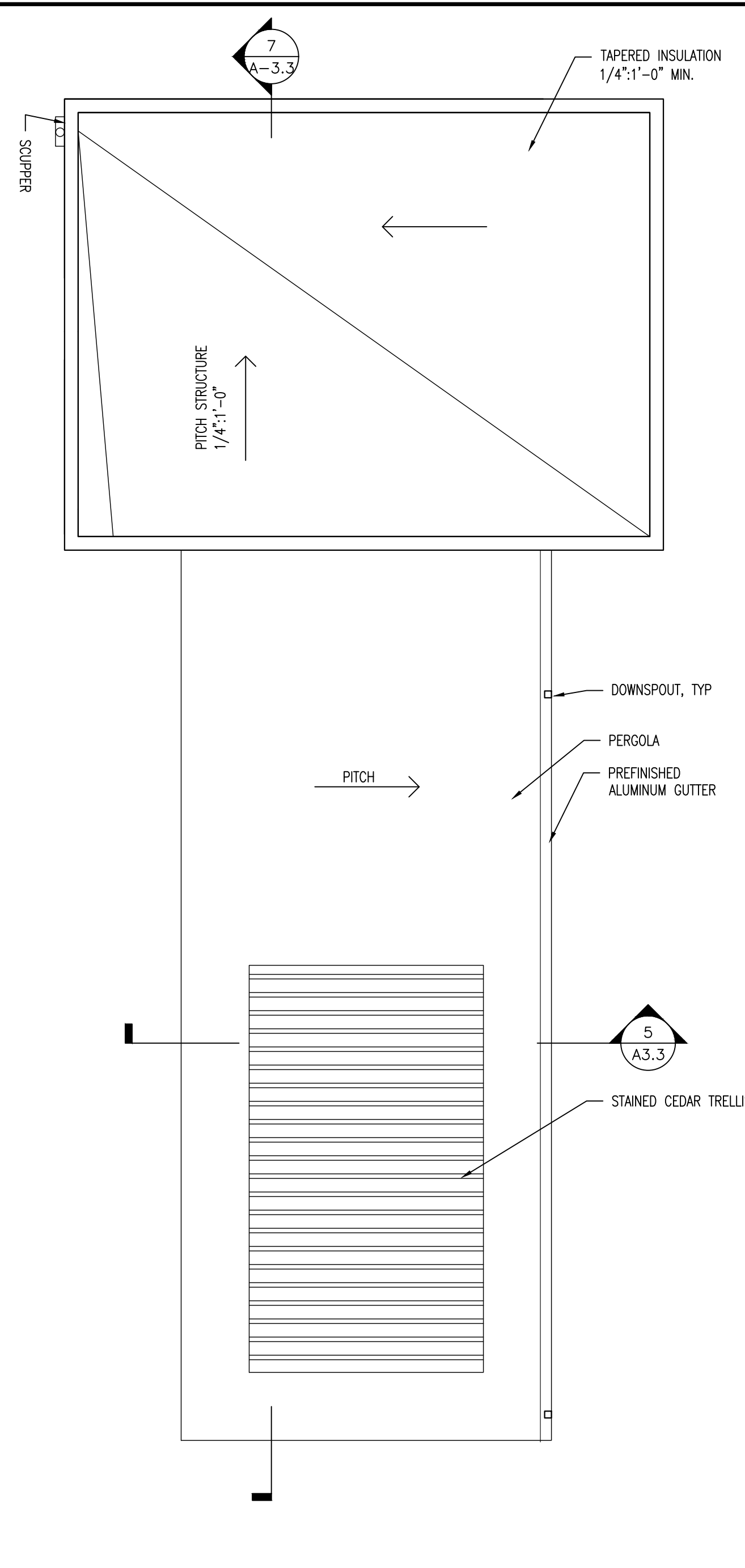
NO.	DATE	DESCRIPTION
xx/xx/xx		Issued for Construction
xx/xx/xx		Issued for Permit
06/25/2021		Plan Commission
04/30/21		Schematic Design

EXTERIOR ELEVATIONS

Scale: AS NOTED	Sheet Number: A3.1
Drawn By: FDA	
Project Number: 0000	



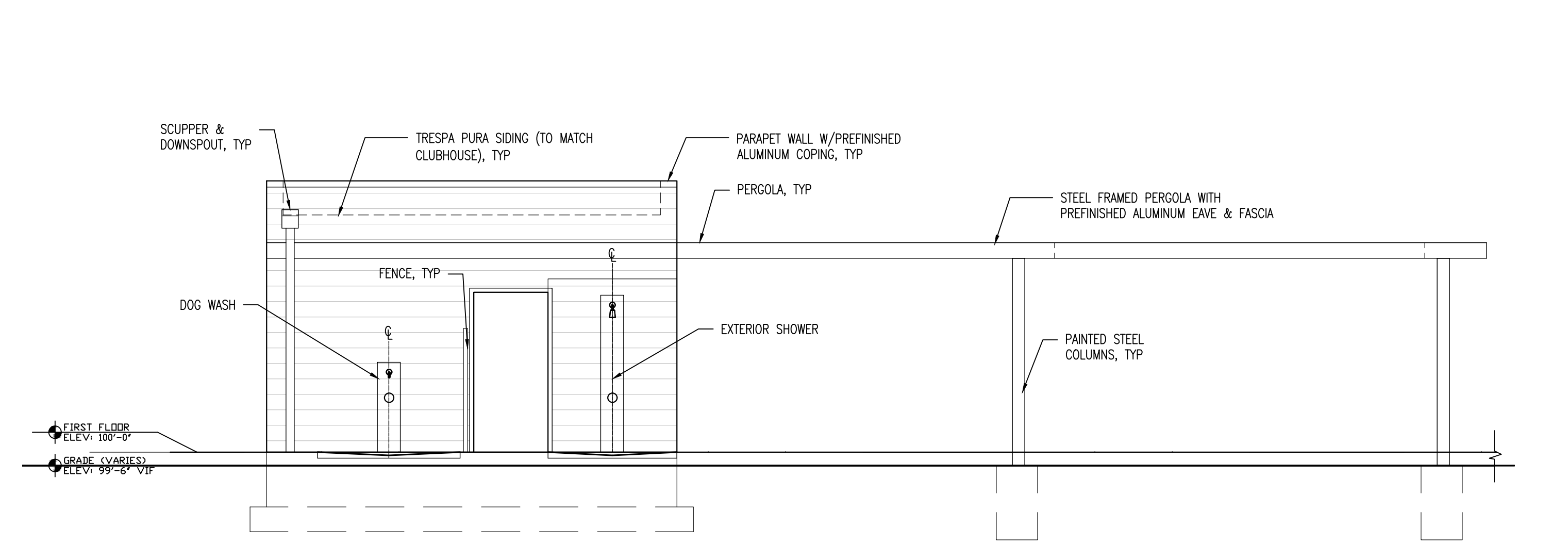
1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



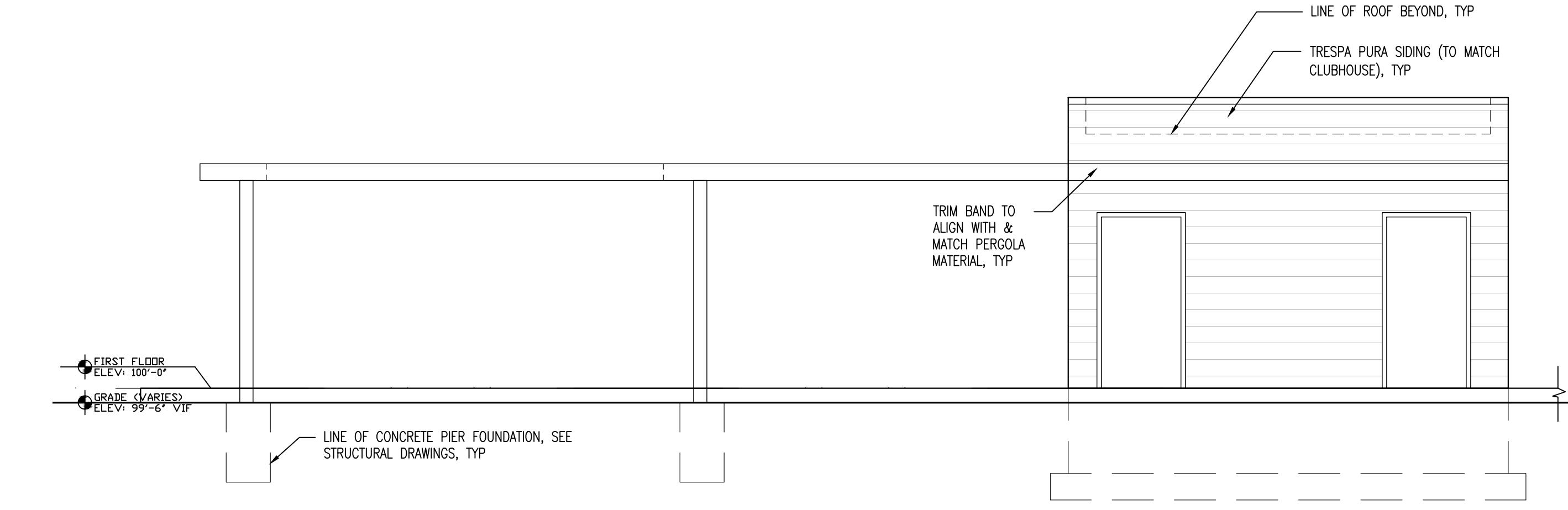
2 ROOF PLAN  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE								
ABBREVIATIONS								
	DBLHNG	DOUBLE HUNG						
	FF	FACTORY FINISH						
	M.O.	MASONRY OPENING						
	R.O.	ROUGH OPENING						
	WD	WOOD						
#	OPENING		TYPE	MANUFACTURER	MODEL	LIGHT AREA (SF)	VENT AREA (SF)	REMARKS
	WIDTH	HEIGHT						
1	11'-2" R.O. VIF	6'-6" R.O. VIF	FIXED/AWNING	CRL	CRL-7400 W/PROJECT OUT OPERABLE WINDOW			1
2	3'-0" R.O. VIF	4'-6" R.O. VIF	FIXED	CRL	CRL-7400			1
3	4'-0" M.O. VIF	4'-0" M.O. VIF	FIXED	CRL	CRL-7400			1
4	3'-10" R.O. VIF	3'-10" R.O. VIF	FIXED CURB MOUNTED SKYLIGHT	VELUX	FCM4646			1
5	2'-6" R.O. VIF	2'-6" R.O. VIF	FIXED CURB MOUNTED SKYLIGHT	VELUX	FCM3030			1

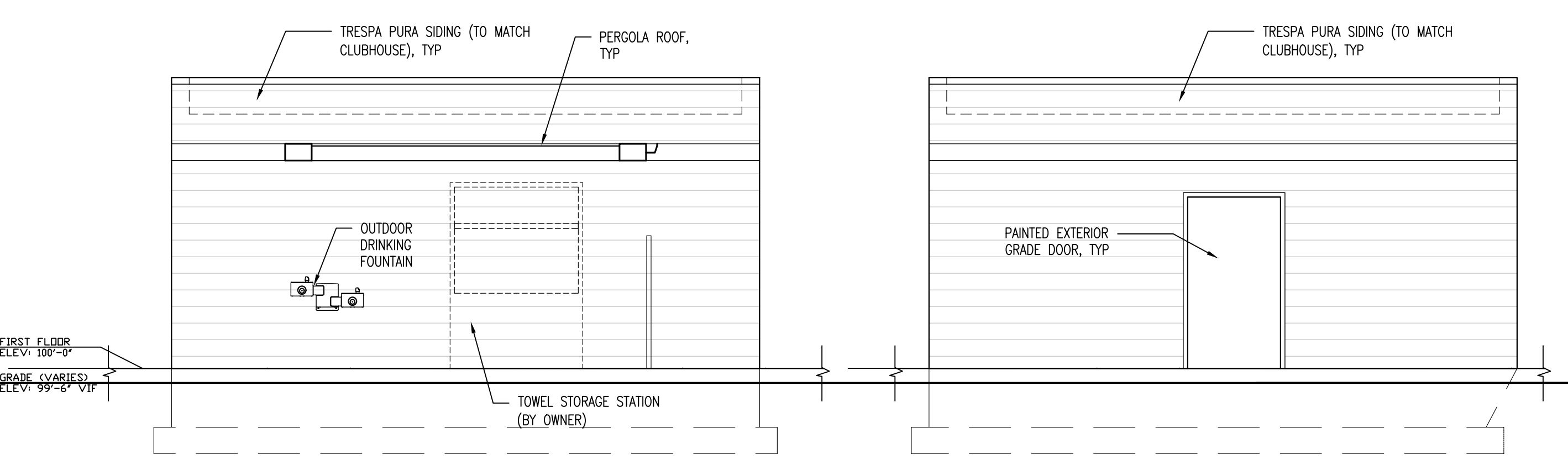
- WINDOW NOTES:**
- CONTRACTOR IS TO VERIFY ALL WINDOW DIMENSIONS IN THE FIELD.
  - WINDOW FINISH: FACTORY FINISH ALUMINUM CLADDING (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARDS BY OWNER AND ARCHITECT.)
  - ALL GLAZING IS TO BE MANUFACTURER STANDARD INSULATED GLAZING WITH LOW "E" GLASS AND ARGON GAS.
  - ALL WINDOWS TO HAVE WINDOW SCREENS. ALL WINDOW SCREENS TO BE MANUFACTURER STANDARD CHARCOAL FIBERGLASS IN ALUMINUM FRAMES.
  - CONTRACTOR IS TO PROVIDE JAMB EXTENSIONS AS NECESSARY.
  - COLOR OF HARDWARE AND SCREENS TO BE SELECTED FROM MANUFACTURER'S STANDARDS BY OWNER.
  - SHOP DRAWINGS TO BE SUBMITTED TO THE OWNER AND THE ARCHITECT FOR ALL WINDOWS AND EXTERIOR DOORS.
- WINDOW REMARKS:**
- REFER TO EXTERIOR ELEVATIONS



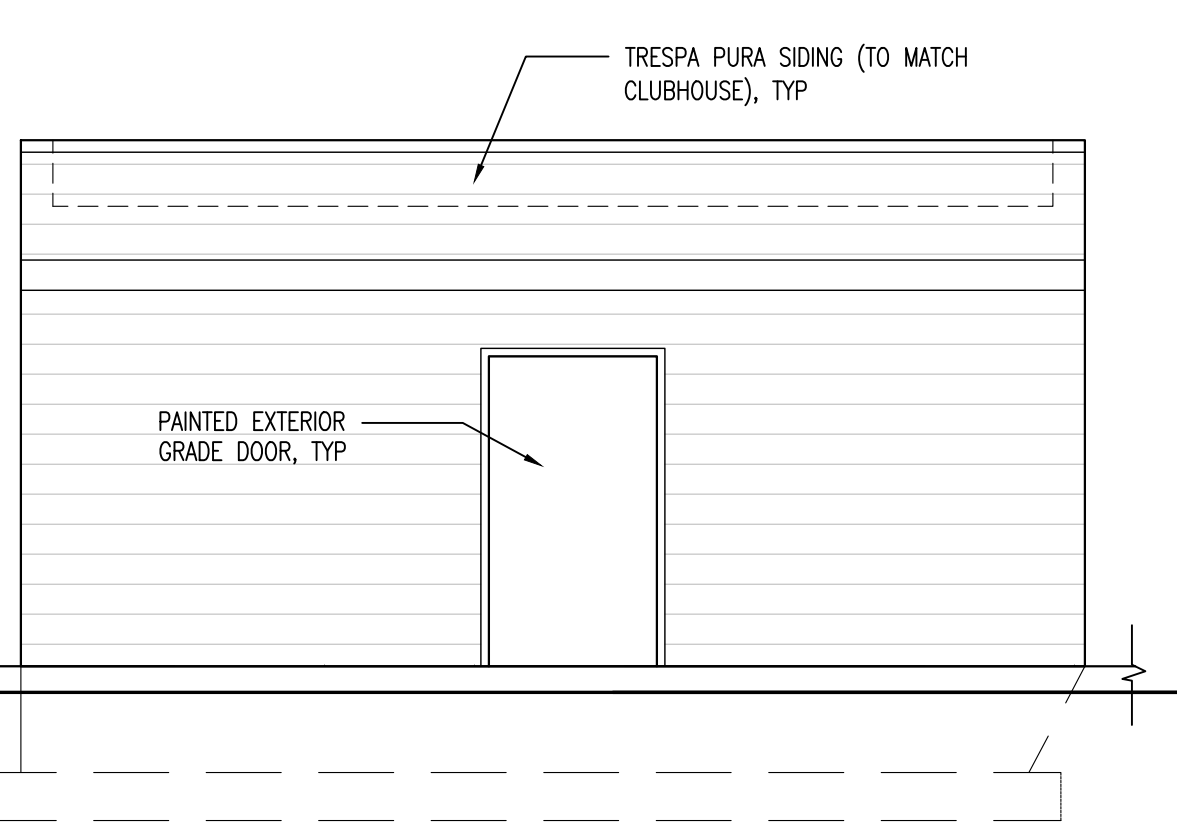
3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



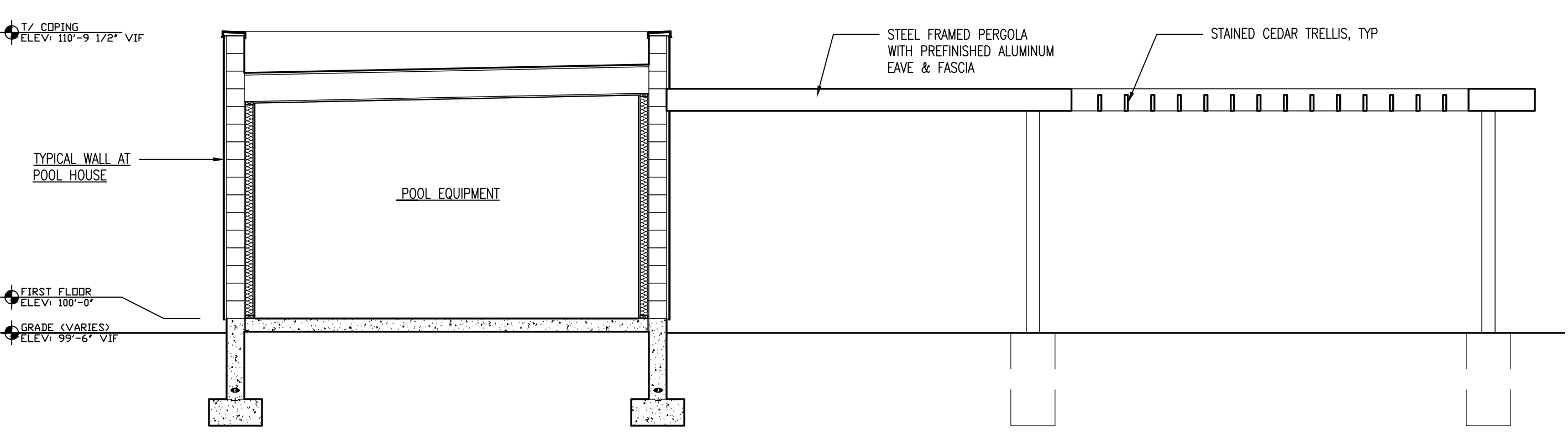
4 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



6 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



7 SECTION  
SCALE: 1/4" = 1'-0"



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NOTES  
6/25/21  
PLAN COMMISSION-  
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Renovation of the Whitnall Pointe Clubhouse  
10590 W. Cortez Circle  
Franklin, WI 53132

NO.	DATE	DESCRIPTION
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04/30/21		Schematic Design

POOL EQUIPMENT  
BUILDING/  
PERGOLA PLANS  
& ELEVATIONS

Scale:  
AS NOTED  
Sheet Number:  
A3.3  
Project Number:  
0000



Chapter UDO. Unified Development Ordinance Part 5. Design Standards  
Division 15-5.0400. Lighting Standards  
**15-5.0402. Exterior Lighting Plan Required.**

June 25,  
2021

Project: **Renovation of the Whitnall Pointe Clubhouse**

Location: 10590 W. Cortez Circle Franklin, WI 53132

Report and Calculations Prepared by:

Maureen Mahr IALD, MIES, LC, LEED AP, MAUREEN MAHR LIGHTING DESIGN

e: [maureen@maureenmahr.lighting](mailto:maureen@maureenmahr.lighting)

c: 773.459.1977

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Lighting Plan Elements. A Lighting Plan submitted pursuant to this Ordinance shall have, at a minimum, the following elements:

1. A catalog page, cut sheet, or photograph of the luminaire including the mounting method.
2. A photometric data test report of the proposed luminaire graphically showing the lighting distribution at all angles vertically and horizontally around the luminaire.
3. A plot plan, drawn to a recognized engineering or architectural scale, indicating the location of the luminaire(s) proposed, mounting and/or installation height in feet, the overall illumination levels (in footcandles) and uniformities on the site, and the illumination levels (in footcandles) at the property boundary lines. This may be accomplished by means of an isolux curve or computer printout projecting the illumination levels.
4. A graphic depiction of the luminaire lamp (or bulb) concealment and light cut-off angles.

Item 1

A catalog page, cut sheet, or photograph of the luminaire including the mounting method.



CATALOG #	TYPE	
JOB NAME	WATTAGE	VOLTAGE

## Choice Series

### Super Shallow 4" Downlight • COB LED

**2¾" Housing Depth** • 50,000+ Hours • Type IC • 1.0% Dimming  
2 or 3 Step Binning • Wet Listed • LM-80 and LM-79 Certified

## Specifications

### Delivered System Performance

• Lumen Series: **Must Specify**

Type IC	Non-IC
-3000L	-4000L
-2500L	
-2000L	
-1500L	
-1000L	

- Select trim & beam distribution: see chart
- Select color (CCT): see chart; 80+ CRI standard; Option -HC for 90+ (15% lumen loss)
- 60,000 hour life, 50,000 in insulation

### Thermal Management System

- Aluminum heat sink and components for cool operation, long life, and low maintenance

### LED Driver - INTERNAL

- Indoor/Outdoor: -30°C to 60°C (-22°F to 140°F)
- 0-10V CCR 1.0% dimming standard
- Voltage Options: **Must Specify**
- **-UNV:** -120-277/50-60Hz; load insensitive
- **-120:** -120V input (50-60Hz); for -29 only

### Trim Assembly

- White self-flanged regressed trim with microprismatic lens (-RND/-SQR)

- Brushed nickel flat trim with frosted microprismatic lens (-FTR)
- Brushed nickel "Porthole" trim (-PTR)
- Optional colors and finishes available

### Acrylic Enameled Aluminum Housing

- Rustproof: exceeds 1000 hour ASTM 5% salt spray test; all components fully sustainable
- Shallow depth for restricted plenums
- Cool operation extends component life
- Modular design; visible and fully serviceable through aperture

### Outlet Box (Galvanized)

- UL Listed, 14GA, insulated, removable cover
- ½" and ¾" knockouts
- Up to 4 #12 AWG through-branch conductors

### Installation & Hardware

- Indoor/outdoor in ceilings up to 1½" thick
- Compatible with fire rated enclosures (by others)
- 27" hanger bars & adjusting brackets (2) supplied

### UL, C-UL (Canada) & FCC Compliance

- UL Listed: wet, damp or dry locations, covered ceilings

## LRC-04SDN

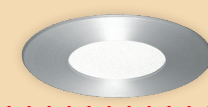
### Trim Options



-RND



-SQR



-FTR



-PTR

- Type IC up to -3000L; Non-IC for -4000L
- FCC Part 15 certified for EMI/RFI emissions

### FIVE YEAR Limited Warranty

- Complete standard fixture



Made in the USA



Natatorium  
See Option -NAT



BioGard™  
See Option -BG



FCC Part 15  
Certified



UL Listed  
Wet, Damp, Dry

## Options and Ordering Configuration

(Example: LRC-04SDN-3000L-UNV-RND-NFL-30K-46)

Must Specify					Optional				
Model	Lumens	Volts	Trim	Beam	CCT† & CRI	Driver Options	Emergency Options	Trim Options	Other Options
LRC-04SDN	Non-IC	-UNV	-RND	-RND & -SQR	80+ CRI*	(Blank): Standard 0-10V CCR 1.0% dim	(Blank): None	(Blank): Standard trim; see photos	(Blank): None
	-4000L	-120	-SQR	-NFL	-27K: 2700°K	<b>Consult Factory:</b>	-E1: Remote emergency inverter for 100% rated lumens up to -3000L; 90+ minutes; N/A for options -29 or -FS	<b>Trim Finishes</b>	<b>Mounting</b>
	Type IC		-FTR	-MFL	-30K: 3000°K				
	-3000L		-PTR	-WFL	-35K: 3500°K	-D2: 0-10V 0.1% dim	-E2: Remote emergency inverter for 100% rated lumens up to -4000L; 90+ minutes; N/A for options -29 or -FS (CEC Compliant)	-30T: White enamel trim (standard for -RND and -SQR trims)	-79: Extension collar; ceilings up to 2" thick
	-2500L		-FTR & -PTR	-WFL	-40K: 4000°K	-D3: DALI 1.0% dim			
	-2000L			-MFL	-50K: 5000°K	-D4: DALI 100-0.1% dim	-E3: Remote emergency inverter for 100% rated lumens up to -4000L; 90+ minutes; N/A for options -29 or -FS (CEC Compliant)	-37T: Dark bronze enamel trim	<b>Other Options</b>
	-1500L			-WFL	*Note: Lumen Factor = 0.93 for -27K	-D5: DMX512A 0.1% dim		-38T: Black enamel trim	
	-1000L				**Note: Lumen Factor = 0.79 for -27K-HC; All Others = 0.85	-D6: Triac/ELV dim - 120 volt only	-E4: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-94: Custom color; consult factory	-FS: Fused primary; One per fixture; N/A for Options -E1, -E14
						† For 2 SDCM, consult factory	-E5: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-94: Custom color; consult factory	
							-E6: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	<b>Other Trim Features</b>	
						-E7: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-13: .125" clear poly. lens overlay		
						-E8: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-23: Frosted microprismatic lens (standard for -FTR & -PTR trims)		
						-E9: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-32: White trim extender, specify OD		
						-E10: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-33: Decorative Glow Ring; see last page for details (-PTR trim only)		
						-E11: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-45: Gasket between trim & ceiling		
						-E12: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-46: Gasket between lens & trim		
						-E13: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-DA: Diffuse acrylic lens		
						-E14: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-DF: Electrically isolated trim		
						-E15: Remote emergency battery pack; Delivers 1000 lumens; 90+ minutes (CEC Compliant)	-WA: White acrylic lens		

LRC-04SDN  
PERFORMANCE

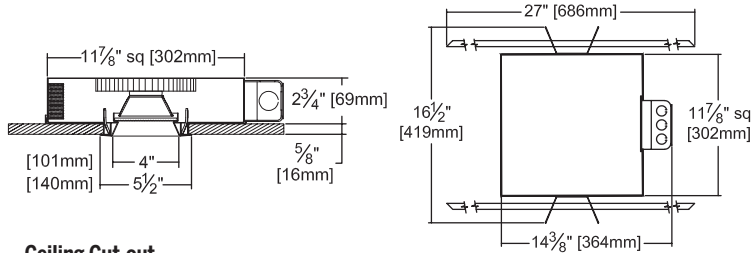


Performance Factors

NOMINAL LUMENS	LUMEN FACTOR	NOMINAL WATTS	LPW FACTOR
-4000L	1.33	39.2	0.93
<b>-3000L</b>	<b>1.00</b>	<b>27.5</b>	<b>1.00</b>
-2500L	0.89	24.7	0.99
-2000L	0.76	20.3	1.04
-1500L	0.56	14.4	1.07
-1000L	0.41	10.7	1.05

\* See notes on page 1 for additional info on Lumen Factors

Dimensions



**Ceiling Cut-out**  
5" Dia. (-RND, -PTR)  
5 1/4" Sq. (-SQR)

LIMITED WARRANTY: CATALOGUED KIRLIN FIXTURES ARE WARRANTED FREE OF DEFECTS IN WORKMANSHIP OR MATERIAL FOR FIVE YEARS FROM DATE OF PURCHASE. INSTALLER TO N.E.C., IN NORMAL USE. Manufacturer at his option will replace or repair such fixture or return to the manufacturer at no charge. This warranty is void if the fixture is not installed in accordance with the manufacturer's instructions. This warranty does not cover damage caused by misuse, abuse, or improper installation, or repair or modification of the fixture without prior written authorization from the manufacturer will render the warranty void.

Photometry - Installed Complete Fixture

Photometry from I.T.L., Boulder, CO

LM-79 IESNA Certified Photometry from Independent Lab

**-3000L-RND-NFL**

Lumens: 2873  
LPW: 104  
Beam: ~26°  
SC: 0.43  
ITL Test: 92803

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3809	97.2
<b>3000L</b>	<b>2873</b>	<b>104.1</b>
2500L	2551	103.3
2000L	2193	108.0
1500L	1597	110.9
1000L	1169	109.2

**-3000L-RND-MFL**

Lumens: 2901  
LPW: 105  
Beam: ~43°  
SC: 0.66  
ITL Test: 92804

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3847	98.1
<b>3000L</b>	<b>2901</b>	<b>105.1</b>
2500L	2575	104.3
2000L	2215	109.1
1500L	1612	112.0
1000L	1180	110.3

**-3000L-RND-WFL**

Lumens: 2786  
LPW: 101  
Beam: ~67°  
SC: 0.86  
ITL Test: 92805

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3694	94.2
<b>3000L</b>	<b>2786</b>	<b>100.9</b>
2500L	2473	100.1
2000L	2127	104.8
1500L	1548	107.5
1000L	1134	105.9

**-3000L-SQR-NFL**

Lumens: 2829  
LPW: 103  
Beam: ~34°  
SC: 0.54  
ITL Test: 92818

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3751	95.7
<b>3000L</b>	<b>2829</b>	<b>102.5</b>
2500L	2512	101.7
2000L	2160	106.4
1500L	1572	109.2
1000L	1151	107.6

**-3000L-SQR-MFL**

Lumens: 2841  
LPW: 103  
Beam: ~57°  
SC: 0.82  
ITL Test: 92819

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3767	96.1
<b>3000L</b>	<b>2841</b>	<b>102.9</b>
2500L	2522	102.1
2000L	2169	106.8
1500L	1579	109.6
1000L	1156	108.0

**-3000L-SQR-WFL**

Lumens: 2792  
LPW: 101  
Beam: ~76°  
SC: 1.09  
ITL Test: 92820

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3702	94.4
<b>3000L</b>	<b>2792</b>	<b>101.2</b>
2500L	2479	100.4
2000L	2131	105.0
1500L	1552	107.7
1000L	1136	106.2

LED manufacturers maintain a tolerance of +/-7% on flux (lumens) and power (electrical) measurements.

▲ Cone of Light Key  
Dist. Distance (Ft.) from fixture  
Dia. (in ft.) shown is where FC value is half the FC at nadir.  
FC Footcandles at nadir (0°)  
Dia. Circle of light at 50% of FC

LRC-04SDN  
PERFORMANCE

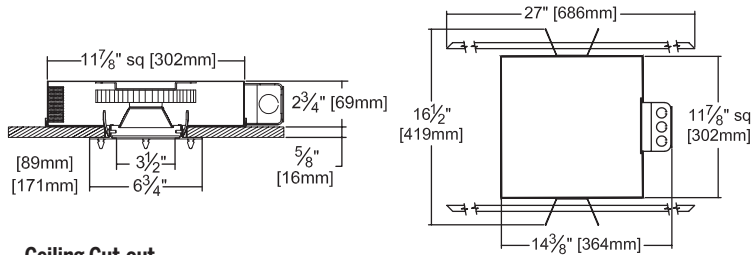


Performance Factors

NOMINAL LUMENS	LUMEN FACTOR	NOMINAL WATTS	LPW FACTOR
-4000L	1.74	39.2	0.90
-3000L	1.31	27.5	0.98
-2500L	1.16	24.7	0.96
<b>-2000L</b>	<b>1.00</b>	<b>20.3</b>	<b>1.00</b>
-1500L	0.73	14.4	1.03
-1000L	0.53	10.7	1.02

\* See notes on page 1 for additional info on Lumen Factors

Dimensions



**Ceiling Cut-out**  
5" Dia. (-RND, -PTR)  
5/8" Sq. (-SQR)

LIMITED WARRANTY: CATALOGUED KIRLIN FIXTURES ARE WARRANTED FREE OF DEFECTS IN WORKMANSHIP OR MATERIAL FOR FIVE YEARS FROM DATE OF PURCHASE. INSTALLER TO N.E.C. IN NORMAL USE. Manufacturer at his option will replace or repair such fixture or return to the manufacturer at his option. This warranty does not cover damage caused by misuse, abuse, or neglect. The manufacturer's liability is limited to the replacement of the fixture. This warranty is void if the fixture is not installed in accordance with the manufacturer's instructions. The manufacturer's liability is limited to the replacement of the fixture. This warranty is void if the fixture is not installed in accordance with the manufacturer's instructions. The manufacturer's liability is limited to the replacement of the fixture. This warranty is void if the fixture is not installed in accordance with the manufacturer's instructions.

Photometry - Installed Complete Fixture

Photometry from I.T.L., Boulder, CO

LM-79 IESNA Certified Photometry from Independent Lab

**-2000L-FTR/-PTR-MFL**

**Cone of Light ▲**

Dist.	FC	Dia.
6	34.4	5.3
8	19.3	7.0
10	12.4	8.8
12	8.6	10.5
14	6.3	12.3
16	4.8	14.0

Lumens: 1779  
LPW: 88  
Beam: ~62°  
SC: 0.87  
ITL Test: 92687

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3090	78.8
3000L	2330	84.7
2500L	2069	83.8
<b>2000L</b>	<b>1779</b>	<b>87.6</b>
1500L	1295	89.9
1000L	948	88.6

---

**-2000L-FTR/-PTR-WFL**

**Cone of Light ▲**

Dist.	FC	Dia.
6	23.0	6.8
8	12.9	9.1
10	8.3	11.3
12	5.8	13.6
14	4.2	15.9
16	3.2	18.1

Lumens: 1813  
LPW: 89  
Beam: ~90°  
SC: 1.13  
ITL Test: 92688

Nominal Lumens	Actual Lumens	Actual LPW
4000L	3149	80.3
3000L	2375	86.4
2500L	2109	85.4
<b>2000L</b>	<b>1813</b>	<b>89.3</b>
1500L	1320	91.7
1000L	966	90.3

LED manufacturers maintain a tolerance of +/-7% on flux (lumens) and power (electrical) measurements.

▲ Cone of Light Key  
Dia. (in ft.) shown is where FC value is half the FC at nadir.  
FC Footcandles at nadir (0°)  
Dia. Circle of light at 50% of FC

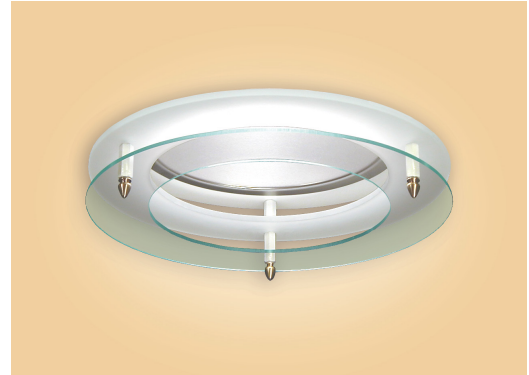


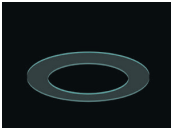



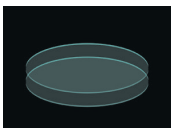
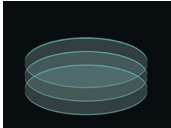

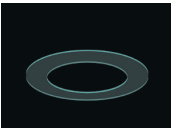



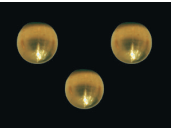

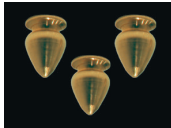


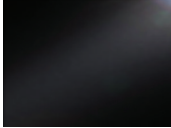


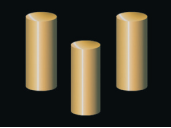
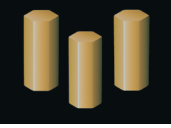



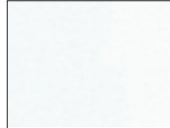



## Classic Glow Rings: Option -33 for Choice Series

To order a Kirlin Glow Ring, begin by adding -33 to the product number. Then, configure your Glow Ring by selecting each of the 7 design elements listed below:

(**Example:** LRC-04SDN-3000L-UNV-PTR-MFL-30K-33-GLM-1L-FRR-ROF-SIF-ROS-SIS)



1. Ring Material (choose one)	 Glass (-GLM)	 Acrylic (-ACM)	 Custom (-CUM)		
2. # of Rings (choose one)	 1 Ring (1L)	 2 Rings (-2L)	 3 Rings (-3L)		
3. Ring Design (choose one)	 Frosted Ring (-FRR)	 Clear Ring (-CRR)	 Solid Disk (-SDR)	 Frosted Center (-FCR)	 Frosted Disk (-FDR)
4. Finial Design (choose one)	 Round (-ROF)	 Knurled (-KNF)	 Cone (-COF)		
5. Finial Color (choose one)	 Brass (-BRF)	 Silver (-SIF)	 Black (-BLF)	 White (-WHF)	 Custom (-CUF)
6. Standoff Design (choose one)	 Round (-ROS)	 Hexagonal (-HOS)			
7. Standoff Color (choose one)	 Brass (-BRS)	 Silver (-SIS)	 Black (-BLS)	 White (-WHS)	 Custom (-CFS)

LED manufacturers maintain a tolerance of +/-7% on flux (lumens) and power (electrical) measurements.



# D-Series Size 1 LED Wall Luminaire



Buy American

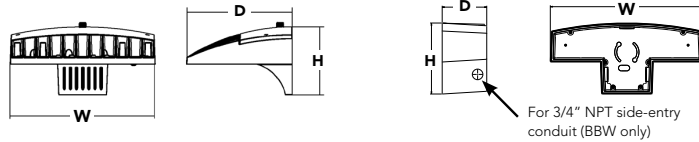
d#series

## Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

## Back Box (BBW, E20WC)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>E20WC Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements

## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA 530 530 mA	30K 3000 K 40K 4000 K	T2S Type II Short T2M Type II Medium	MVOLT <sup>2</sup> 120 <sup>3</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	Shipped installed PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant <sup>8,9</sup>
	20C 20 LEDs (two engines) <sup>1</sup>	700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	50K 5000 K AMBPC Amber phosphor converted	T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>		

### Other Options

#### Shipped installed

SF	Single fuse (120, 277 or 347V) <sup>3,10</sup>
DF	Double fuse (208, 240 or 480V) <sup>3,10</sup>
HS	House-side shield <sup>11</sup>
SPD	Separate surge protection <sup>12</sup>

#### Shipped separately<sup>11</sup>

BSW	Bird-deterrent spikes
VG	Vandal guard
DDL	Diffused drop lens

### Finish (required)

DDBXD	Dark bronze	DSSXD	Sandstone	DWHGXD	Textured white
DBLXD	Black	DDBTXD	Textured dark bronze	DSSTXD	Textured sandstone
DNAXD	Natural aluminum	DBLBXD	Textured black		
DWHXD	White	DNATXD	Textured natural aluminum		

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWIVG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



COMMERCIAL OUTDOOR

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DSXW1-LED  
Rev. 6/02/21

WHITNALL POINTE EXTERIOR LIGHTING PLAN

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
			TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

### Motion Sensor Default Settings

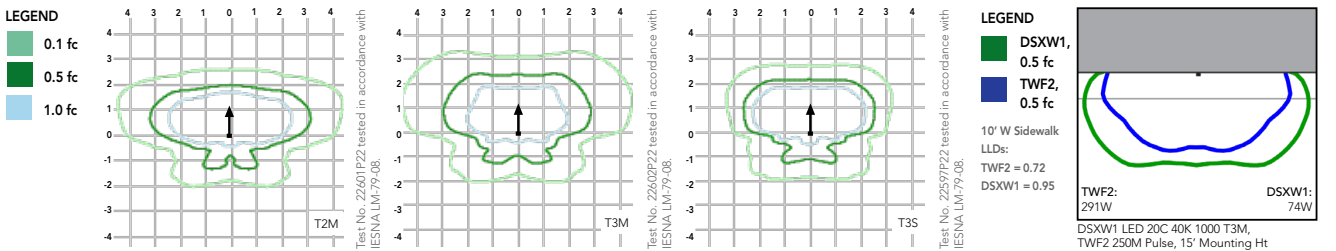
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*For use when motion sensor is used as dusk to dawn control

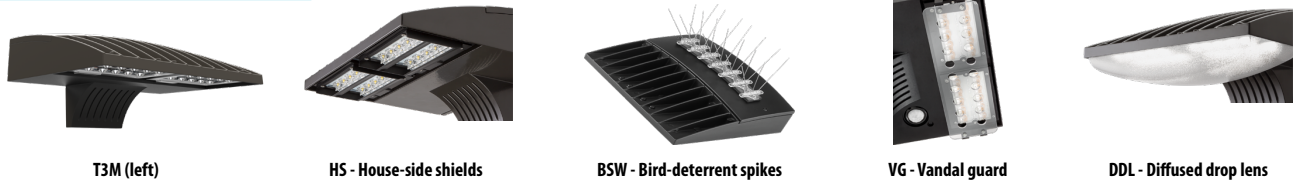
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



## Options and Accessories



## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

### BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

### WARRANTY

Five-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# D-Series Size 1 LED Wall Luminaire



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Catalog Number
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Type

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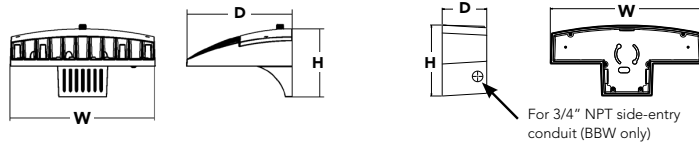
d#series

## Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

## Back Box (BBW, E20WC)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>E20WC Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		



## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) <sup>1</sup>	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	Shipped installed PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant <sup>8,9</sup>

### Other Options

### Finish (required)

<b>Shipped installed</b>	<b>Shipped separately</b> <sup>11</sup>	DDBXD Dark bronze	DSSXD Sandstone	DWHGXD Textured white
SF Single fuse (120, 277 or 347V) <sup>3,10</sup>	BSW Bird-deterrent spikes	DBLXD Black	DDBTXD Textured dark bronze	DSSTXD Textured sandstone
DF Double fuse (208, 240 or 480V) <sup>3,10</sup>	VG Vandal guard	DNAXD Natural aluminum	DBLBXD Textured black	
HS House-side shield <sup>11</sup>	DDL Diffused drop lens	DWHXD White	DNATXD Textured natural aluminum	
SPD Separate surge protection <sup>12</sup>				

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWIVG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



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DSXW1-LED  
Rev. 6/02/21

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TF1M	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TF1M	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TF1M	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
			TF1M	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TF1M	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TF1M	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TF1M	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TF1M	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

### Motion Sensor Default Settings

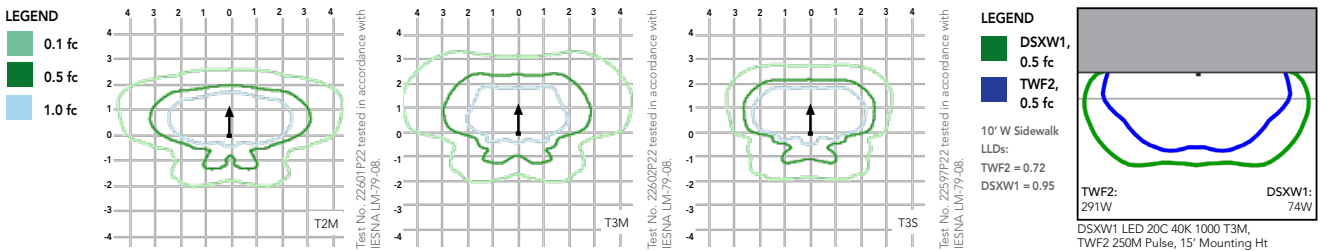
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*For use when motion sensor is used as dusk to dawn control

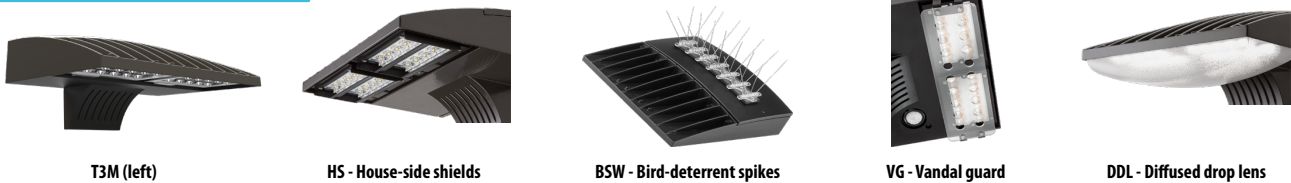
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



## Options and Accessories



## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

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### BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

### WARRANTY

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**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# D-Series Size 1 LED Wall Luminaire



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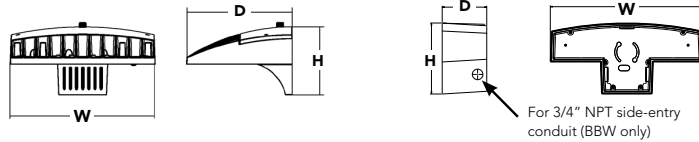
d#series

## Specifications Luminaire

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<b>Depth:</b>	10" (25.4 cm)		
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## Back Box (BBW, E20WC)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>E20WC Weight:</b>	10 lbs (4.5 kg)
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## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA 530 530 mA	30K 3000 K 40K 4000 K	T2S Type II Short T2M Type II Medium	MVOLT <sup>2</sup> 120 <sup>3</sup>	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type <sup>6</sup>
	20C 20 LEDs (two engines) <sup>1</sup>	700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	50K 5000 K AMBPC Amber phosphor converted	T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant <sup>8,9</sup>

### Other Options

#### Shipped installed

SF	Single fuse (120, 277 or 347V) <sup>3,10</sup>
DF	Double fuse (208, 240 or 480V) <sup>3,10</sup>
HS	House-side shield <sup>11</sup>
SPD	Separate surge protection <sup>12</sup>

#### Shipped separately<sup>11</sup>

BSW	Bird-deterrent spikes
VG	Vandal guard
DDL	Diffused drop lens

### Finish (required)

DDBXD	Dark bronze	DSSXD	Sandstone	DWHGXD	Textured white
DBLXD	Black	DDBTXD	Textured dark bronze	DSSTXD	Textured sandstone
DNAXD	Natural aluminum	DBLBXD	Textured black		
DWHXD	White	DNATXD	Textured natural aluminum		

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWVIG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



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DSXW1-LED  
Rev. 6/02/21



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
			TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*For use when motion sensor is used as dusk to dawn control

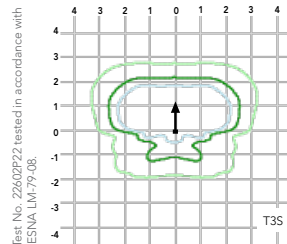
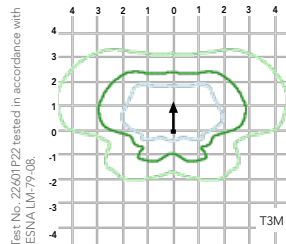
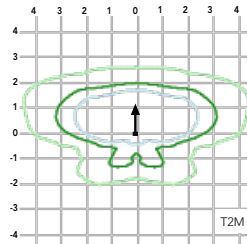
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').

#### LEGEND

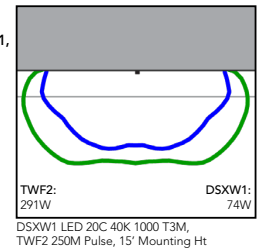
- 0.1 fc
- 0.5 fc
- 1.0 fc



Distribution overlay comparison to 250W metal halide.

#### LEGEND

- DSXW1, 0.5 fc
  - TWF2, 0.5 fc
- 10' W Sidewalk  
LLDs:  
TWF2 = 0.72  
DSXW1 = 0.95



## Options and Accessories



T3M (left)



HS - House-side shields



BSW - Bird-deterrent spikes



VG - Vandal guard



DDL - Diffused drop lens

## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficiency LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

### BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

### WARRANTY

Five-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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DSXW1-LED  
Rev. 6/02/21



# D-Series Pole Mount LED Area Luminaire

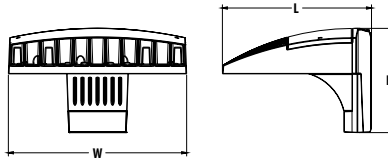


Catalog Number
Notes
Type

d<sup>h</sup>series

## Specifications Luminaire

**EPA:** 0.8 ft<sup>2</sup> (.07 m<sup>2</sup>)  
**Width:** 13-3/4" (34.9 cm)  
**Length:** 11.5" (29.2 cm)  
**Height:** 8" (20.3 cm)  
**Weight:** 16.03 lbs (7.3 kg)



## Introduction

The D-Series Pole Mount luminaire is a stylish, fully integrated LED solution for area and site applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Pole Mount is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE: DSXWPM LED 20C 1000 40K T5M MVOLT SPUMBA DDBXD**

DSXWPM LED												
Series	LEDs	Drive current		Color temperature		Distribution				Voltage	Mounting <sup>3</sup>	
DSXWPM LED	10C	10 LEDs (one engine)	350	350 mA	30K	3000K	T2S	Type II short	T5M	Type V medium	MVOLT <sup>1</sup>	<b>Shipped included</b> SPUMBA Square pole universal mounting adapter RPUMBA Round pole universal mounting adapter PUMBA Square and round universal mounting adapters
	20C	20 LEDs (two engines)	530	530 mA	40K	4000K	T2M	Type II medium	T5S	Type V short	120 <sup>1</sup>	
			700	700 mA	50K	5000K	T3S	Type III short	T5A	Type V area	208 <sup>1</sup>	
			1000	1000 mA (1 A)	AMBPC	Amber phosphor converted	T3M	Type III medium	T5W	Type V wide	240 <sup>1</sup>	
							T4M	Type IV medium	SYMDF	Symmetric diffuse	277 <sup>1</sup>	
							TFTM	Forward throw medium			347 <sup>2</sup>	
											480 <sup>2</sup>	

Control Options		Other Options		Finish (required)	
<b>Shipped installed</b>		<b>Shipped installed</b>		<b>Shipped separately<sup>9</sup></b>	
PE	Photoelectric cell, button type <sup>4</sup>	SF	Single fuse (120, 277, 347V) <sup>8</sup>	BSW	Bird-deterrent spikes
DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	DF	Double fuse (208, 240, 480V) <sup>8</sup>	WG	Wire guard
PIR	Motion/ambient light sensor, <15' mtg ht. <sup>5,6</sup>	HS	House-side shield <sup>8</sup>	VG	Vandal guard
PIRH	Motion/ambient light sensor, 15-30' mtg ht. <sup>5,6</sup>			DDL	Diffused drop lens
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>7</sup>				
PIRH1FC3V	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>7</sup>				
				DDBXD	Dark bronze
				DBLXD	Black
				DNAXD	Natural aluminum
				DWHXD	White
				DSSXD	Sandstone
				DDBTXD	Textured dark bronze
				DBLBXD	Textured black
				DNATXD	Textured natural aluminum
				DWHGXD	Textured white
				DSSTXD	Textured sandstone

### NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Only available with 20C, 700mA or 1000mA. Not available with PIR, PIRH.
- Not available with 90 degree mounting. Not recommended for 3" poles.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Includes ambient light sensor. Not available with "PE" option (button type photocell).
- Not available with 20 LED/1000 mA configuration (DSXWPM LED 20C 1000).
- PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208, 240, or 480 voltage option.
- Also available as a separate accessory; see Accessories information.

### Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory
DSXWDDL U	Diffused drop lens



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DSXWPM-LED  
 Rev. 04/19/21  
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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				20C (20 LEDs)	350mA	24W	T2S	2,820	1	0	1	118	3,028	1	0	1	126	3,047	1	0	1	127	1,777
T2M	2,688	1	0				1	112	2,886	1	0	1	120	2,904	1	0	1	121	1,693	1	0	1	71
T3S	2,789	1	0				1	116	2,995	1	0	1	125	3,013	1	0	1	126	1,757	0	0	1	73
T3M	2,761	1	0				1	115	2,964	1	0	1	124	2,983	1	0	1	124	1,739	1	0	1	72
T4M	2,705	1	0				1	113	2,904	1	0	1	121	2,922	1	0	1	122	1,704	1	0	1	71
TFTM	2,811	1	0				1	117	3,019	1	0	1	126	3,038	1	0	1	127	1,771	0	0	1	74
T5M	2,960	2	0				1	123	3,178	2	0	1	132	3,198	2	0	1	133	1,865	1	0	0	78
T5S	3,020	1	0				0	126	3,242	1	0	0	135	3,263	1	0	0	136	1,903	1	0	0	79
T5A	2,840	2	0				1	118	3,049	2	0	1	127	3,068	2	0	1	128	1,789	2	0	1	75
T5W	2,835	2	0				1	118	3,044	2	0	1	127	3,063	2	0	1	128	1,786	2	0	1	74
ASYDF	2,513	1	0				1	105	2,699	1	0	1	112	2,716	1	0	1	113	1,584	1	0	1	66
SYMDF	2,587	1	0				1	108	2,778	1	0	1	116	2,796	1	0	1	116	1,630	1	0	1	68
530mA	36W	T2S	4,079		1	0	1	113	4,380	1	0	1	122	4,408	1	0	1	122	2,504	1	0	1	70
		T2M	3,887		1	0	1	108	4,174	1	0	1	116	4,200	1	0	1	117	2,387	1	0	1	66
		T3S	4,034		1	0	1	112	4,332	1	0	1	120	4,359	1	0	1	121	2,477	1	0	1	69
		T3M	3,993		1	0	1	111	4,288	1	0	1	119	4,315	1	0	1	120	2,451	1	0	2	68
		T4M	3,912		1	0	2	109	4,201	1	0	2	117	4,227	1	0	1	117	2,402	1	0	1	67
		TFTM	4,066		1	0	1	113	4,367	1	0	1	121	4,394	1	0	1	122	2,496	1	0	1	69
		T5M	4,281		3	0	1	119	4,597	3	0	1	128	4,626	3	0	1	129	2,629	3	0	1	73
		T5S	4,368		2	0	1	121	4,690	2	0	1	130	4,719	2	0	1	131	2,682	2	0	1	75
		T5A	4,108		3	0	2	114	4,411	3	0	2	123	4,438	3	0	2	123	2,522	3	0	2	70
		T5W	4,101		3	0	2	114	4,403	3	0	2	122	4,431	3	0	2	123	2,518	3	0	2	70
		ASYDF	3,635		1	0	2	101	3,904	1	0	2	108	3,928	1	0	2	109	2,232	1	0	1	62
		SYMDF	3,742		2	0	2	104	4,018	2	0	2	112	4,044	2	0	2	112	2,297	2	0	2	64
700mA	47W	T2S	5,188		1	0	1	110	5,571	1	0	1	119	5,606	1	0	1	119	3,065	1	0	1	65
		T2M	4,945		1	0	1	105	5,310	1	0	1	113	5,343	1	0	1	114	2,921	1	0	1	62
		T3S	5,131		1	0	1	109	5,510	1	0	2	117	5,544	1	0	2	118	3,031	1	0	1	64
		T3M	5,079		1	0	2	108	5,454	1	0	2	116	5,488	1	0	2	117	3,000	1	0	1	64
		T4M	4,976		1	0	2	106	5,343	1	0	2	114	5,377	1	0	2	114	2,939	1	0	1	63
		TFTM	5,172		1	0	2	110	5,554	1	0	2	118	5,589	1	0	2	119	3,055	1	0	1	65
		T5M	5,446		3	0	1	116	5,848	3	0	1	124	5,884	3	0	1	125	3,217	3	0	1	68
		T5S	5,555		2	0	1	118	5,966	2	0	1	127	6,003	2	0	1	128	3,282	2	0	1	70
		T5A	5,225		3	0	2	111	5,610	3	0	2	119	5,645	3	0	2	120	3,086	3	0	2	66
		T5W	5,216		3	0	2	111	5,601	3	0	2	119	5,636	3	0	2	120	3,081	3	0	2	66
		ASYDF	4,624		1	0	2	98	4,966	1	0	2	106	4,997	1	0	2	106	2,732	1	0	1	58
		SYMDF	4,760		2	0	2	101	5,111	2	0	2	109	5,143	2	0	2	109	2,812	2	0	2	60
1000mA	74W	T2S	7,205	1	0	1	97	7,736	1	0	1	105	7,785	1	0	1	105	4,429	1	0	1	61	
		T2M	6,866	1	0	2	93	7,373	1	0	2	100	7,419	1	0	2	100	4,221	1	0	2	58	
		T3S	7,124	1	0	2	96	7,650	1	0	2	103	7,698	1	0	2	104	4,380	1	0	2	60	
		T3M	7,052	1	0	2	95	7,573	1	0	2	102	7,620	1	0	2	103	4,335	1	0	2	59	
		T4M	6,909	1	0	2	93	7,420	1	0	2	100	7,466	1	0	2	101	4,248	1	0	2	58	
		TFTM	7,182	1	0	2	97	7,712	1	0	2	104	7,760	1	0	2	105	4,415	1	0	2	60	
		T5M	7,562	3	0	1	102	8,120	3	0	1	110	8,171	3	0	1	110	4,648	3	0	1	63	
		T5S	7,714	2	0	1	104	8,284	2	0	1	112	8,335	2	0	1	113	4,742	2	0	1	64	
		T5A	7,255	3	0	2	98	7,790	3	0	2	105	7,839	3	0	2	106	4,460	3	0	2	62	
		T5W	7,243	3	0	2	98	7,777	3	0	2	105	7,826	3	0	2	106	4,452	3	0	2	61	
		ASYDF	6,421	1	0	2	87	6,895	2	0	2	93	6,938	1	0	2	94	3,947	1	0	2	54	
		SYMDF	6,609	2	0	2	89	7,097	2	0	2	96	7,142	2	0	2	97	4,063	2	0	2	55	

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXWPM LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
10C	350	14W	0.13	0.07	0.06	0.06	-	-
	530	20W	0.19	0.11	0.09	0.08	-	-
	700	27W	0.25	0.14	0.13	0.11	-	-
	1000	40W	0.37	0.21	0.19	0.16	-	-
20C	350	24W	0.23	0.13	0.12	0.10	-	-
	530	36W	0.33	0.19	0.17	0.14	-	-
	700	47W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74W	0.69	0.40	0.35	0.30	0.23	0.17

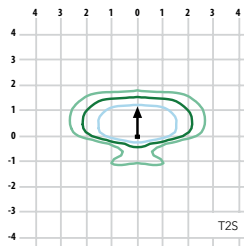
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Pole Mount](#) homepage.

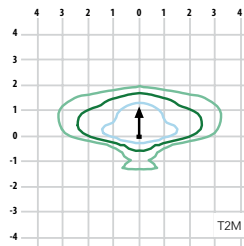
Isfootcandle plots for the DSXWPM LED 20C 1000 40K. Distances are in units of mounting height (20').

LEGEND

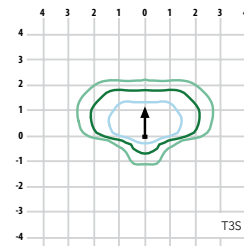
- 0.1 fc
- 0.5 fc
- 1.0 fc



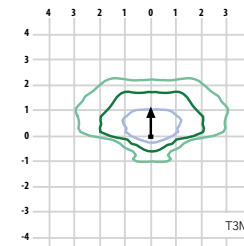
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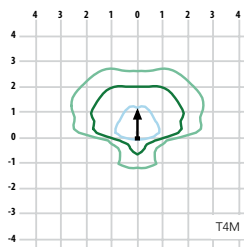
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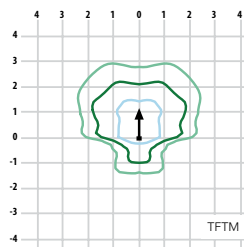
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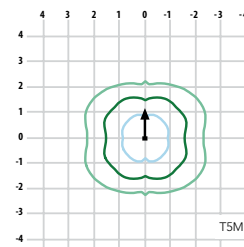
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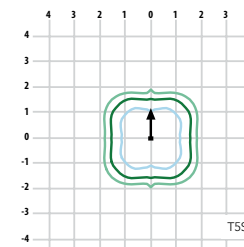
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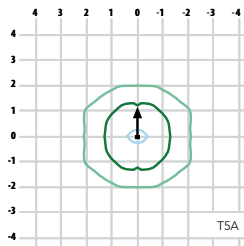
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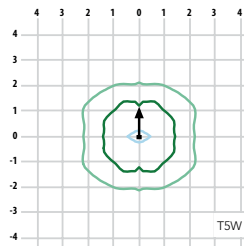
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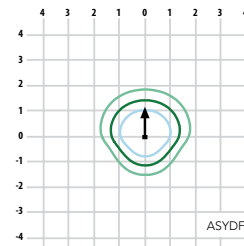
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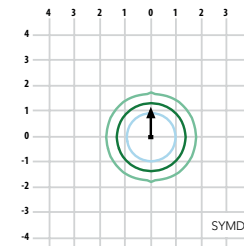
Test No. LTL25759P1 tested in accordance with IESNA LM-79-08.



Test No. LTL25711P1 tested in accordance with IESNA LM-79-08.



Test No. LTL25750P1 tested in accordance with IESNA LM-79-08.



Test No. LTL25782P1 tested in accordance with IESNA LM-79-08.



Options and Accessories



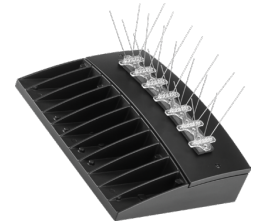
Mounting detail



ASYDF - Asymmetric diffuse (left engine is T3M, right engine is diffused)



HS - House-side shields



BSW - Bird-deterrent spikes



WG - Wire guard



VG - Vandal guard



DDL - Diffused drop lens

FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Pole Mount make it the smart choice for area and site illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to area lighting applications. Light engines are available in 3000K, 4000K or 5000K with 70 min. CRI configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 6KV surge rating. The luminaire meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Includes universal mounting plate, which utilizes existing drill patterns and allows for quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

WARRANTY

Five-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.





# D-Series Pole Mount LED Area Luminaire

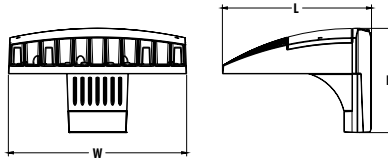


Catalog Number
Notes
Type

d<sup>h</sup>series

## Specifications Luminaire

- EPA:** 0.8 ft<sup>2</sup> (.07 m<sup>2</sup>)
- Width:** 13-3/4" (34.9 cm)
- Length:** 11.5" (29.2 cm)
- Height:** 8" (20.3 cm)
- Weight:** 16.03 lbs (7.3 kg)



## Introduction

The D-Series Pole Mount luminaire is a stylish, fully integrated LED solution for area and site applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Pole Mount is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE: DSXWPM LED 20C 1000 40K T5M MVOLT SPUMBA DDBXD**

DSXWPM LED		Drive current		Color temperature		Distribution		Voltage		Mounting <sup>3</sup>	
<b>Series</b>	<b>LEDs</b>										
DSXWPM LED	10C 10 LEDs (one engine)	350	350 mA	30K	3000K	T2S	Type II short	T5M	Type V medium	MVOLT <sup>1</sup>	<b>Shipped included</b>
	20C 20 LEDs (two engines)	530	530 mA	40K	4000K	T2M	Type II medium	T5S	Type V short	120 <sup>1</sup>	SPUMBA Square pole universal mounting adapter
		700	700 mA	50K	5000K	T3S	Type III short	T5A	Type V area	208 <sup>1</sup>	RPUMBA Round pole universal mounting adapter
		1000	1000 mA (1 A)	AMBPC	Amber phosphor converted	T3M	Type III medium	T5W	Type V wide	240 <sup>1</sup>	PUMBA Square and round universal mounting adapters
						T4M	Type IV medium	SYMDF	Symmetric diffuse	277 <sup>1</sup>	
						TFTM	Forward throw medium			347 <sup>2</sup>	
										480 <sup>2</sup>	

Control Options		Other Options		Finish (required)	
<b>Shipped installed</b>		<b>Shipped installed</b>		<b>Shipped separately<sup>9</sup></b>	
PE	Photoelectric cell, button type <sup>4</sup>	SF	Single fuse (120, 277, 347V) <sup>8</sup>	BSW	Bird-deterrent spikes
DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	DF	Double fuse (208, 240, 480V) <sup>8</sup>	WG	Wire guard
PIR	Motion/ambient light sensor, <15' mtg ht. <sup>5,6</sup>	HS	House-side shield <sup>8</sup>	VG	Vandal guard
PIRH	Motion/ambient light sensor, 15-30' mtg ht. <sup>5,6</sup>			DDL	Diffused drop lens
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>7</sup>				
PIRH1FC3V	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>7</sup>				
				DDBXD	Dark bronze
				DBLXD	Black
				DNAXD	Natural aluminum
				DWHXD	White
				DSSXD	Sandstone
				DDBTXD	Textured dark bronze
				DBLBXD	Textured black
				DNATXD	Textured natural aluminum
				DWHGXD	Textured white
				DSSTXD	Textured sandstone

### NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Only available with 20C, 700mA or 1000mA. Not available with PIR, PIRH.
- Not available with 90 degree mounting. Not recommended for 3" poles.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Includes ambient light sensor. Not available with "PE" option (button type photocell).
- Not available with 20 LED/1000 mA configuration (DSXWPM LED 20C 1000).
- PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208, 240, or 480 voltage option.
- Also available as a separate accessory; see Accessories information.

### Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory
DSXWDDL U	Diffused drop lens



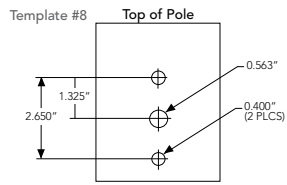
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DSXWPM-LED  
 Rev. 04/19/21  
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# WHITNALL POINTE EXTERIOR LIGHTING PLAN

## Drilling



Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

If ordering new poles, specify the AERIS™ drilling pattern, per the table below.

**DM19AS** Single unit    **DM2BAS** 2 at 180°

**Example:** SSA 20 4C DM19AS DB8XD

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	14W	T2S	1,415	0	0	1	101	1,520	0	0	1	109	1,529	0	0	1	109	894	0	0	1	64
			T2M	1,349	0	0	1	96	1,449	0	0	1	103	1,458	0	0	1	104	852	0	0	1	61
			T3S	1,400	0	0	1	100	1,503	0	0	1	107	1,512	0	0	1	108	884	0	0	1	63
			T3M	1,386	0	0	1	99	1,488	0	0	1	106	1,497	0	0	1	107	876	0	0	1	63
			T4M	1,358	0	0	1	97	1,458	0	0	1	104	1,467	0	0	1	105	858	0	0	1	61
			TFTM	1,411	0	0	1	101	1,515	0	0	1	108	1,525	0	0	1	109	892	0	0	1	64
			T5M	1,486	1	0	0	106	1,595	1	0	0	114	1,605	1	0	0	115	939	1	0	0	67
			T5S	1,516	1	0	0	108	1,627	1	0	0	116	1,638	1	0	0	117	958	1	0	0	68
			T5A	1,425	1	0	1	102	1,531	1	0	1	109	1,540	1	0	1	110	901	1	0	1	64
			T5W	1,423	1	0	1	102	1,528	1	0	1	109	1,538	1	0	1	110	899	1	0	1	64
			ASYDF	1,262	0	0	1	90	1,355	1	0	1	97	1,363	1	0	1	97	797	0	0	1	57
			SYMDF	1,299	1	0	1	93	1,394	1	0	1	100	1,403	1	0	1	100	821	1	0	1	59
			T2S	2,054	1	0	1	103	2,205	1	0	1	110	2,219	0	0	1	111	1,264	0	0	1	63
			T2M	1,957	1	0	1	98	2,102	1	0	1	105	2,115	0	0	1	106	1,205	0	0	1	60
			T3S	2,031	0	0	1	102	2,181	0	0	1	109	2,195	0	0	1	110	1,250	0	0	1	63
			T3M	2,010	1	0	1	101	2,159	1	0	1	108	2,172	0	0	1	109	1,237	0	0	1	62
			T4M	1,970	1	0	1	98	2,115	1	0	1	106	2,128	0	0	1	106	1,212	0	0	1	61
			TFTM	2,047	0	0	1	102	2,198	0	0	1	110	2,212	0	0	1	111	1,260	0	0	1	63
	T5M	2,156	1	0	0	108	2,315	2	0	0	116	2,329	1	0	0	116	1,326	1	0	0	66		
	T5S	2,199	1	0	0	110	2,361	1	0	0	118	2,376	1	0	0	119	1,353	1	0	0	68		
	T5A	2,068	2	0	1	103	2,221	2	0	1	111	2,235	1	0	1	112	1,272	1	0	1	64		
	T5W	2,065	2	0	1	103	2,217	2	0	1	111	2,231	1	0	1	112	1,271	1	0	1	64		
	ASYDF	1,830	1	0	1	92	1,966	1	0	1	98	1,978	0	0	1	99	1,127	0	0	1	56		
	SYMDF	1,884	1	0	1	94	2,023	1	0	1	101	2,036	1	0	1	102	1,160	1	0	1	58		
	T2S	2,623	1	0	1	97	2,816	1	0	1	104	2,834	0	0	1	105	1,544	0	0	1	57		
	T2M	2,499	1	0	1	93	2,684	1	0	1	99	2,701	0	0	1	100	1,472	0	0	1	55		
	T3S	2,593	1	0	1	96	2,785	1	0	1	103	2,802	0	0	1	104	1,527	0	0	1	57		
	T3M	2,567	1	0	1	95	2,757	1	0	1	102	2,774	0	0	1	103	1,512	0	0	1	56		
	T4M	2,515	1	0	1	93	2,701	1	0	1	100	2,718	0	0	1	101	1,481	0	0	1	55		
	TFTM	2,614	1	0	1	97	2,807	1	0	1	104	2,825	0	0	1	105	1,539	0	0	1	57		
	T5M	2,753	2	0	0	102	2,956	2	0	0	109	2,974	1	0	0	110	1,621	1	0	0	60		
	T5S	2,808	1	0	0	104	3,015	1	0	0	112	3,034	1	0	0	112	1,654	1	0	0	61		
	T5A	2,641	2	0	1	98	2,836	2	0	1	105	2,854	1	0	1	106	1,555	1	0	1	58		
	T5W	2,637	2	0	1	98	2,831	2	0	1	105	2,849	1	0	1	106	1,553	1	0	1	58		
	ASYDF	2,337	1	0	1	87	2,510	1	0	1	93	2,526	1	0	1	94	1,376	1	0	1	51		
	SYMDF	2,406	1	0	1	89	2,584	1	0	1	96	2,600	1	0	1	96	1,417	1	0	1	52		
	T2S	3,685	1	0	1	92	3,957	1	0	1	99	3,982	1	0	1	100	2,235	1	0	1	58		
	T2M	3,512	1	0	1	88	3,771	1	0	1	94	3,795	1	0	1	95	2,130	1	0	2	55		
	T3S	3,644	1	0	1	91	3,913	1	0	1	98	3,938	1	0	1	98	2,210	1	0	2	57		
	T3M	3,607	1	0	1	90	3,874	1	0	1	97	3,898	1	0	1	97	2,187	1	0	2	56		
	T4M	3,534	1	0	1	88	3,795	1	0	1	95	3,819	1	0	1	95	2,143	1	0	2	55		
	TFTM	3,674	1	0	1	92	3,945	1	0	1	99	3,969	1	0	1	99	2,228	1	0	2	57		
	T5M	3,868	2	0	1	97	4,153	2	0	1	104	4,179	3	0	1	104	2,345	3	0	1	60		
	T5S	3,946	1	0	0	99	4,237	2	0	0	106	4,264	2	0	0	107	2,393	2	0	1	62		
	T5A	3,711	2	0	1	93	3,985	2	0	1	100	4,010	3	0	1	100	2,250	3	0	2	58		
	T5W	3,705	2	0	1	93	3,978	2	0	1	99	4,003	3	0	1	100	2,247	3	0	2	58		
	ASYDF	3,284	1	0	1	82	3,527	1	0	1	88	3,549	1	0	1	89	1,991	1	0	2	51		
	SYMDF	3,381	1	0	1	85	3,630	1	0	1	91	3,653	2	0	1	91	2,050	2	0	2	53		

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				(20 LEDs)																			
20C	350mA	24W	T2S	2,820	1	0	1	118	3,028	1	0	1	126	3,047	1	0	1	127	1,777	1	0	1	74
			T2M	2,688	1	0	1	112	2,886	1	0	1	120	2,904	1	0	1	121	1,693	1	0	1	71
			T3S	2,789	1	0	1	116	2,995	1	0	1	125	3,013	1	0	1	126	1,757	0	0	1	73
			T3M	2,761	1	0	1	115	2,964	1	0	1	124	2,983	1	0	1	124	1,739	1	0	1	72
			T4M	2,705	1	0	1	113	2,904	1	0	1	121	2,922	1	0	1	122	1,704	1	0	1	71
			TFTM	2,811	1	0	1	117	3,019	1	0	1	126	3,038	1	0	1	127	1,771	0	0	1	74
			T5M	2,960	2	0	1	123	3,178	2	0	1	132	3,198	2	0	1	133	1,865	1	0	0	78
			T5S	3,020	1	0	0	126	3,242	1	0	0	135	3,263	1	0	0	136	1,903	1	0	0	79
			T5A	2,840	2	0	1	118	3,049	2	0	1	127	3,068	2	0	1	128	1,789	2	0	1	75
			T5W	2,835	2	0	1	118	3,044	2	0	1	127	3,063	2	0	1	128	1,786	2	0	1	74
			ASYDF	2,513	1	0	1	105	2,699	1	0	1	112	2,716	1	0	1	113	1,584	1	0	1	66
			SYMDF	2,587	1	0	1	108	2,778	1	0	1	116	2,796	1	0	1	116	1,630	1	0	1	68
	530mA	36W	T2S	4,079	1	0	1	113	4,380	1	0	1	122	4,408	1	0	1	122	2,504	1	0	1	70
			T2M	3,887	1	0	1	108	4,174	1	0	1	116	4,200	1	0	1	117	2,387	1	0	1	66
			T3S	4,034	1	0	1	112	4,332	1	0	1	120	4,359	1	0	1	121	2,477	1	0	1	69
			T3M	3,993	1	0	1	111	4,288	1	0	1	119	4,315	1	0	1	120	2,451	1	0	2	68
			T4M	3,912	1	0	2	109	4,201	1	0	2	117	4,227	1	0	1	117	2,402	1	0	1	67
			TFTM	4,066	1	0	1	113	4,367	1	0	1	121	4,394	1	0	1	122	2,496	1	0	1	69
			T5M	4,281	3	0	1	119	4,597	3	0	1	128	4,626	3	0	1	129	2,629	3	0	1	73
			T5S	4,368	2	0	1	121	4,690	2	0	1	130	4,719	2	0	1	131	2,682	2	0	1	75
			T5A	4,108	3	0	2	114	4,411	3	0	2	123	4,438	3	0	2	123	2,522	3	0	2	70
			T5W	4,101	3	0	2	114	4,403	3	0	2	122	4,431	3	0	2	123	2,518	3	0	2	70
			ASYDF	3,635	1	0	2	101	3,904	1	0	2	108	3,928	1	0	2	109	2,232	1	0	1	62
			SYMDF	3,742	2	0	2	104	4,018	2	0	2	112	4,044	2	0	2	112	2,297	2	0	2	64
	700mA	47W	T2S	5,188	1	0	1	110	5,571	1	0	1	119	5,606	1	0	1	119	3,065	1	0	1	65
			T2M	4,945	1	0	1	105	5,310	1	0	1	113	5,343	1	0	1	114	2,921	1	0	1	62
			T3S	5,131	1	0	1	109	5,510	1	0	2	117	5,544	1	0	2	118	3,031	1	0	1	64
			T3M	5,079	1	0	2	108	5,454	1	0	2	116	5,488	1	0	2	117	3,000	1	0	1	64
			T4M	4,976	1	0	2	106	5,343	1	0	2	114	5,377	1	0	2	114	2,939	1	0	1	63
			TFTM	5,172	1	0	2	110	5,554	1	0	2	118	5,589	1	0	2	119	3,055	1	0	1	65
			T5M	5,446	3	0	1	116	5,848	3	0	1	124	5,884	3	0	1	125	3,217	3	0	1	68
			T5S	5,555	2	0	1	118	5,966	2	0	1	127	6,003	2	0	1	128	3,282	2	0	1	70
			T5A	5,225	3	0	2	111	5,610	3	0	2	119	5,645	3	0	2	120	3,086	3	0	2	66
			T5W	5,216	3	0	2	111	5,601	3	0	2	119	5,636	3	0	2	120	3,081	3	0	2	66
			ASYDF	4,624	1	0	2	98	4,966	1	0	2	106	4,997	1	0	2	106	2,732	1	0	1	58
			SYMDF	4,760	2	0	2	101	5,111	2	0	2	109	5,143	2	0	2	109	2,812	2	0	2	60
1000mA	74W	T2S	7,205	1	0	1	97	7,736	1	0	1	105	7,785	1	0	1	105	4,429	1	0	1	61	
		T2M	6,866	1	0	2	93	7,373	1	0	2	100	7,419	1	0	2	100	4,221	1	0	2	58	
		T3S	7,124	1	0	2	96	7,650	1	0	2	103	7,698	1	0	2	104	4,380	1	0	2	60	
		T3M	7,052	1	0	2	95	7,573	1	0	2	102	7,620	1	0	2	103	4,335	1	0	2	59	
		T4M	6,909	1	0	2	93	7,420	1	0	2	100	7,466	1	0	2	101	4,248	1	0	2	58	
		TFTM	7,182	1	0	2	97	7,712	1	0	2	104	7,760	1	0	2	105	4,415	1	0	2	60	
		T5M	7,562	3	0	1	102	8,120	3	0	1	110	8,171	3	0	1	110	4,648	3	0	1	63	
		T5S	7,714	2	0	1	104	8,284	2	0	1	112	8,335	2	0	1	113	4,742	2	0	1	64	
		T5A	7,255	3	0	2	98	7,790	3	0	2	105	7,839	3	0	2	106	4,460	3	0	2	62	
		T5W	7,243	3	0	2	98	7,777	3	0	2	105	7,826	3	0	2	106	4,452	3	0	2	61	
		ASYDF	6,421	1	0	2	87	6,895	2	0	2	93	6,938	1	0	2	94	3,947	1	0	2	54	
		SYMDF	6,609	2	0	2	89	7,097	2	0	2	96	7,142	2	0	2	97	4,063	2	0	2	55	

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXWPM LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
10C	350	14W	0.13	0.07	0.06	0.06	-	-
	530	20W	0.19	0.11	0.09	0.08	-	-
	700	27W	0.25	0.14	0.13	0.11	-	-
	1000	40W	0.37	0.21	0.19	0.16	-	-
20C	350	24W	0.23	0.13	0.12	0.10	-	-
	530	36W	0.33	0.19	0.17	0.14	-	-
	700	47W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74W	0.69	0.40	0.35	0.30	0.23	0.17

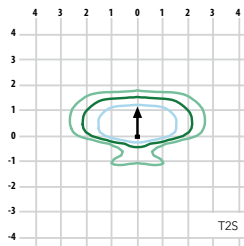
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Pole Mount](#) homepage.

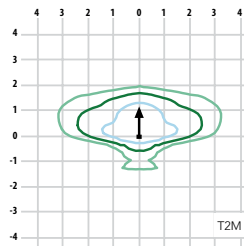
Isfootcandle plots for the DSXWPM LED 20C 1000 40K. Distances are in units of mounting height (20').

LEGEND

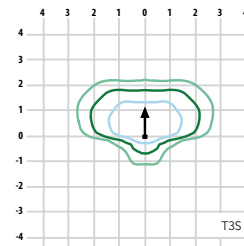
- 0.1 fc
- 0.5 fc
- 1.0 fc



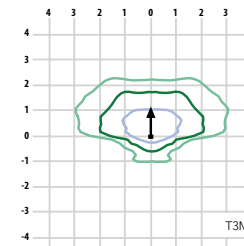
Test No. LTL25739P1 tested in accordance with IESNA LM-79-08.



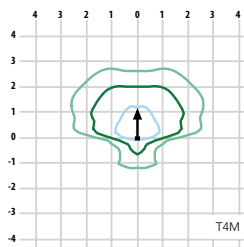
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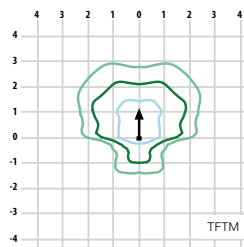
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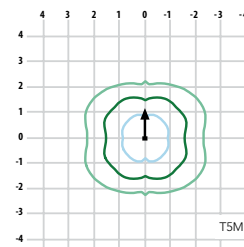
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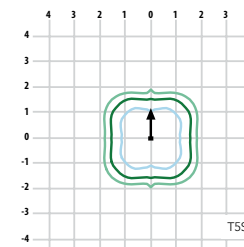
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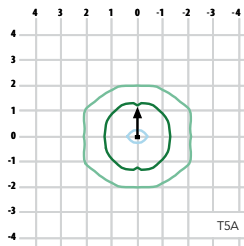
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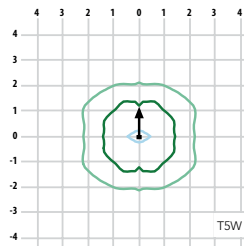
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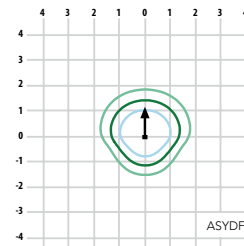
Test No. LTL2574P1 tested in accordance with IESNA LM-79-08.



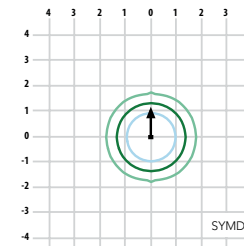
Test No. LTL25759P1 tested in accordance with IESNA LM-79-08.



Test No. LTL2571P1 tested in accordance with IESNA LM-79-08.



Test No. LTL25750P1 tested in accordance with IESNA LM-79-08.



Test No. LTL25782P1 tested in accordance with IESNA LM-79-08.



Options and Accessories



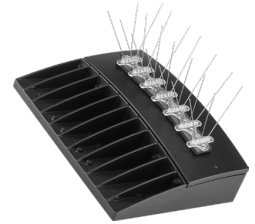
Mounting detail



ASYDF - Asymmetric diffuse (left engine is T3M, right engine is diffused)



HS - House-side shields



BSW - Bird-deterrent spikes



WG - Wire guard



VG - Vandal guard



DDL - Diffused drop lens

FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Pole Mount make it the smart choice for area and site illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to area lighting applications. Light engines are available in 3000K, 4000K or 5000K with 70 min. CRI configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 6KV surge rating. The luminaire meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Includes universal mounting plate, which utilizes existing drill patterns and allows for quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

WARRANTY

Five-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.





**FEATURES & SPECIFICATIONS**

**INTENDED USE** — These specifications are for USA standards only. Square Straight Aluminum is a general purpose light pole for up to 35-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

**CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform wall thickness and is made of extruded 6000 series aluminum alloy tubing that is heat treated to a T6 temper to provide maximum strength. The shaft is uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5", 6" and 6.75".

**Pole Top:** Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra hand-hole) and open top. A cast aluminum top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with open top (PT) option. The top cap resists intrusion of moisture and environmental contaminants.

**Handhole:** A handhole opening with grounding provision is provided near the base. Standard positioning varies with shaft width as follows: 4" shaft, handhole at 12"; 5" shaft, handhole at 14"; 6" and 6.75" shaft, handhole at 18" on side A. Positioning the handhole lower than standard may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole for a pole specified with a 4" or 5" shaft width has a nominal dimension of 2" x 4"; the handhole for a pole specified with a 6" or 6.75" width has a nominal dimension of 2.63" x 5".

**Anchor Base/ Cover/ Bolts:** Anchor base is cast from 356 alloy aluminum and is supplied with 4 nut cover disks. A full 2-piece cast aluminum anchor base cover is available as an option.

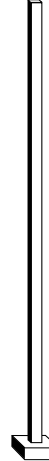
Anchor bolts are manufactured to ASTM F1554 Standards Grade 5S, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Upper portion of anchor bolt is galvanized per ASTM A-153; bolts have an "L" bend on bottom end and are galvanized a minimum of 12" on the threaded end.

**FINISH** — Extra durable painted finish is coated with TGIC (Triglycidyl Isocyanurate) Polyester powder that meets 5A and 5B classifications of ASTM D3359. Standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Other finishes include Brushed Aluminum, and Anodized Dark Bronze, Anodized Natural Aluminum and Anodized Black. Architectural Colors and Special Finishes are available by quote and include, but are not limited to RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**NOTE:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number
Notes
Type



Anchor Base Poles

**SSA**

SQUARE STRAIGHT ALUMINUM

See footnotes next page.

# SSA Square Straight Aluminum Poles

**ORDERING INFORMATION**

Lead times will vary depending on options selected. Consult with your sales representative.

**Example:** SSA 20 4C DM19 BA

SSA Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting <sup>2</sup>	Options	Finish <sup>10</sup>
SSA	8'-35' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.)  (See technical information table for complete ordering information.)	(See technical information table for complete ordering information.)	<b>Tenon mounting</b>	<b>Shipped installed</b>	<b>Standard colors</b> DDBXD Dark bronze DWH White DBLXD Black DMB Medium bronze DNA Natural aluminum <b>Brushed Finish</b> BA Brushed aluminum <b>Classic colors</b> DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue <b>Class 1 architectural anodized</b> ABL Black ADB Dark bronze ANA Natural <b>Architectural colors (powder finish)<sup>11</sup></b>
			PT Open top	L/AB Less anchor bolts (Include when anchor bolts are not needed)	
			T20 2-3/8" O.D. (2" NPS)	VD Vibration damper	
			T25 2-7/8" O.D. (2-1/2" NPS)	TP Tamper proof	
			T30 3-1/2" O.D. (3" NPS) <sup>3</sup>	HAXy Horizontal arm bracket (1 fixture) <sup>6,7</sup>	
			T35 4" O.D. (3-1/2" NPS) <sup>3</sup>	FDLxy Festoon outlet less electrical <sup>6</sup>	
			<b>KAC/KAD/KSE/KSF/KVR/KVF Drill mounting<sup>4</sup></b>	CPL12/xy 1/2" coupling <sup>6</sup>	
			DM19 1 at 90°	CPL34/xy 3/4" coupling <sup>6</sup>	
			DM28 2 at 180°	CPL1/xy 1" coupling <sup>6</sup>	
			DM28PL 2 at 180° with one side plugged	NPL12/xy 1/2" threaded nipple <sup>6</sup>	
			DM29 2 at 90°	NPL34/xy 3/4" threaded nipple <sup>6</sup>	
			DM32 3 at 120°	NPL1/xy 1" threaded nipple <sup>6</sup>	
			DM39 3 at 90°	EHHxy Extra handhole <sup>6,8</sup>	
			DM49 4 at 90°	MAEX Match existing <sup>9</sup>	
			<b>CSX/DSX/RX/AERIS™/OMERO™/HLA/KAX Drill mounting<sup>4</sup></b>	USPOM United States point of manufacture <sup>10</sup>	
			DM19AS 1 at 90°	UL UL listed with label (Includes NEC compliant cover)	
			DM28AS 2 at 180°	NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled)	
			DM29AS 2 at 90°	<b>Shipped separately (replacement kit available)</b>	
			DM32AS 3 at 120°	(blank) BLTC Bolt caps	
			DM39AS 3 at 90°	FBC Full base cover (spun aluminum)	
			DM49AS 4 at 90°	(blank) TC Top cap (with drill-mount poles)	
			<b>RAD drill mounting<sup>4</sup></b>	(blank) HHC Handhole cover	
			DM19RAD 1 at 90°		
			DM28RAD 2 at 180°		
			DM29RAD 2 at 90°		
			DM32RAD 3 at 120°		
			DM39RAD 3 at 90°		
			DM49RAD 4 at 90°		
			<b>ESX Drill mounting<sup>3</sup></b>		
			DM19ESX 1 at 90°		
			DM28ESX 2 at 180°		
			DM29ESX 2 at 90°		
			DM39ESX 3 at 90°		
			DM49ESX 4 at 90°		
			<b>AERIS™ Suspend drill mounting<sup>4,5</sup></b>		
			DM19AST_ 1 at 90°		
			DM28AST_ 2 at 180°		
			DM29AST_ 2 at 90°		
			DM39AST_ 3 at 90°		
			DM49AST_ 4 at 90°		
			<b>OMERO™ Suspend drill mounting<sup>4,5</sup></b>		
			DM19MRT_ 1 at 90°		
			DM28MRT_ 2 at 180°		
			DM29MRT_ 2 at 90°		
			DM39MRT_ 3 at 90°		
DM49MRT_ 4 at 90°					

**Notes**

- Wall thickness will be signified by the letter "C", "G" or "J". C represents a 0.125" thickness, "G" represents a 0.188 thickness and "J" represents a 0.250" thickness.
- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- 3-1/2" and 4" O.D. tenons available on 5" and 6" shafts only.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility. Refer to the Anchor Bolt Matrix with

- Generic Template Link at <http://www.acuitybrands.com/-/media/Files/Acuity/Resources/Tools-and-Documents/Pole%20Resources/Pole%20Anchorage/Matrix%20Document/AnchorBoltMatrix.pdf?la=en>
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
  - Specify location and orientation when ordering option. For "x": Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft, 3in = 20-3 For "y": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram on this page. Example: 1/2" coupling at 5'8", orientation C: SSA 20 4C DM19 CPL12/5-8C DDB

- Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the same height, specify with HAXxy. Example: HA20BD
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) or Architectural Colors brochure (Form No. 794.3).

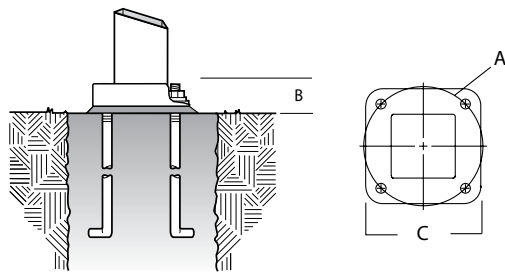


POLE-SSA

# SSA Square Straight Aluminum Poles

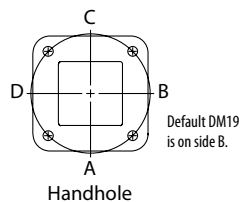
TECHNICAL INFORMATION — EPA (ft <sup>2</sup> ) with 1.3 gust									
Catalog number	Nominal mount ht. (ft) *	Pole shaft size (in x ft)	Wall thick (in)	80 mph	90 mph	100 mph	Max. weight (lbs)	Bolt size (in. x in. x in.)	Approximate ship (lbs.)
SSA 8 4C	8	4.0 x 8.0	0.125	16.5	12.6	9.9	300	3/4 x 18 x 3	32
SSA 10 4C	10	4.0 x 10.0	0.125	11.5	8.6	6.5	230	3/4 x 18 x 3	37
SSA 12 4C	12	4.0 x 12.0	0.125	12.4	9.2	6.9	160	3/4 x 18 x 3	40
SSA 14 4C	14	4.0 x 14.0	0.125	9.3	6.7	4.8	120	3/4 x 18 x 3	50
SSA 15 4C	15	4.0 x 15.0	0.125	8	5.6	3.9	100	3/4 x 18 x 3	52
SSA 16 4C	16	4.0 x 16.0	0.125	6.9	4.7	3.1	90	3/4 x 18 x 3	54
SSA 16 4G	16	4.0 x 16.0	0.188	11.8	8.5	6.2	130	3/4 x 30 x 3	74
SSA 16 5G	16	5.0 x 16.0	0.188	15	11.1	7.5	280	3/4 x 30 x 3	83
SSA 18 4C	18	4.0 x 18.0	0.125	4.9	3	1.7	70	3/4 x 18 x 3	57
SSA 18 4G	18	4.0 x 18.0	0.188	9.2	6.4	4.4	100	3/4 x 30 x 3	80
SSA 18 5G	18	5.0 x 18.0	0.188	16.8	12.2	8.9	230	3/4 x 30 x 3	91
SSA 20 4C	20	4.0 x 20.0	0.125	3.3	1.7	0.5	40	3/4 x 18 x 3	62
SSA 20 4G	20	4.0 x 20.0	0.188	7	4.6	2.9	80	3/4 x 30 x 3	85
SSA 20 5G	20	5.0 x 20.0	0.188	13.6	9.5	6.6	180	3/4 x 30 x 3	107
SSA 20 6G	20	6.0 x 20.0	0.188	22	15.9	11.6	230	1 x 36 x 4	155
SSA 20 6J	20	6.0 x 20.0	0.25	30.4	22.6	17	300	1 x 36 x 4	202
SSA 25 5G	25	5.0 x 25.0	0.188	7.2	4.2	2	110	3/4 x 30 x 3	130
SSA 25 6G	25	6.0 x 25.0	0.188	13.2	8.6	5.4	180	1 x 36 x 4	180
SSA 25 6J	25	6.0 x 25.0	0.25	19.7	13.8	9.5	250	1 x 36 x 4	224
SSA 30 6G	30	6.0 x 30.0	0.188	7	3.4	0.8	130	1 x 36 x 4	210
SSA 30 6J	30	6.0 x 30.0	0.25	12.2	7.5	4.1	170	1 x 36 x 4	258
SSA 32 6J	32	6.0 x 32.0	0.25	9.7	5.4	2.3	160	1 x 36 x 4	272
SSA 35 6J	35	6.0 x 35.0	0.25	6.4	2.6	--	200	1 x 36 x 4	294
SSA 35 7J	35	6.75 x 35.0	0.25	7.6	3.1	--	150	1 x 36 x 4	290

\* EPA values are based ASCE 7-93 wind map. For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.



POLE DATA						
Shaft base size	Bolt circle (in) A	Bolt projection (in) B	Base square (in) C	Bolt Size	Template description	Anchor bolt description
4C	8.5 - 9.625	3.125	9.938	3/4 x 18 x 3	ABTEMPLATE PJ50045	AB18-0
4G	8.5 - 9.625	3.125	9.938	3/4 x 30 x 3	ABTEMPLATE PJ50045	AB30-0
5	10.5 - 11.5	3.25	11.563	3/4 x 30 x 3	ABTEMPLATE PJ50046	AB30-0
6	12-13	4	12.25	1 x 36 x 4	ABTEMPLATE PJ50044	AB36-0
7	14.625	4.125	15	1 x 36 x 4	ABTEMPLATE PJ50130	AB36-0

### HANDHOLE ORIENTATION



### IMPORTANT INSTALLATION NOTES:

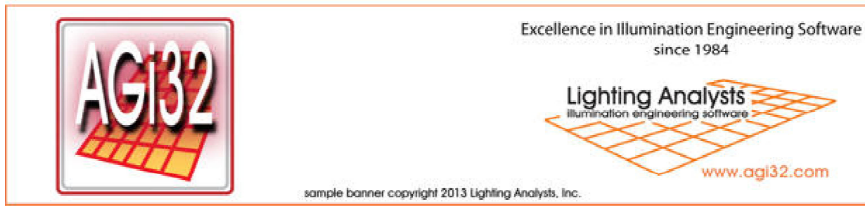
- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

Item 2

A photometric data test report of the proposed luminaire graphically showing the lighting distribution at all angles vertically and horizontally around the luminaire.



TYPE S1



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## Photometric Report (Type C)

Filename: LRC-04SDN-2000L-FTR-WFL.IES  
[TEST] ITL92688-GONIOPHOTOMETRY  
[TESTLAB] INDEPENDENT TESTING LABORATORIES, INC.  
[ISSUEDATE] 01/29/20  
[MANUFAC] THE KIRLIN COMPANY  
[LUMCAT] LRC-04SDN-2000L-FTR-WFL  
[LUMINAIRE] FABRICATED METAL HOUSING, FABRICATED HEAT SINK MOUNTING BRACKET, EXTRUDED BLACK FINISHED FINNED METAL HEAT SINK, 1 CIRCUIT BOARD WITH ONE LED, MOLDED WHITE PLASTIC LED SURROUND, FABRICATED SEM [LAMP] ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED) , VERTICAL BASE-UP POSITION.

Maximum Candela = 828 at 0 H 0 V

---

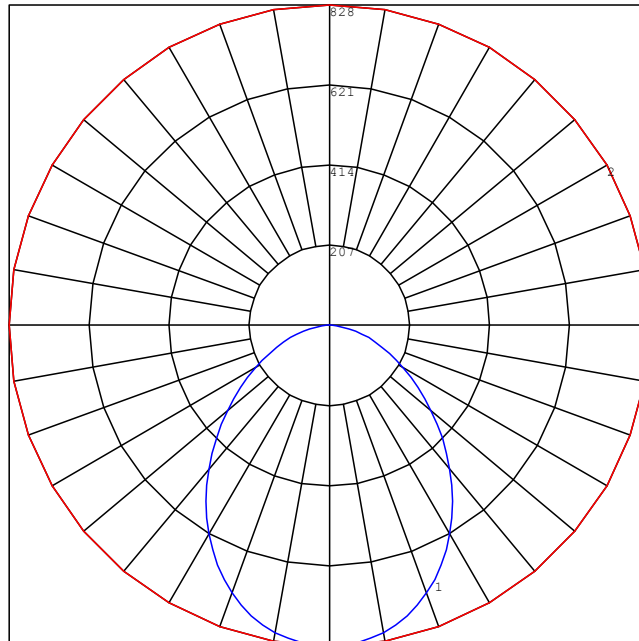
### Classification:

Road Classification: Type V, Very Short, Full Cutoff (deprecated)  
Upward Wast Light Ratio: 0.00  
Luminaire Efficacy Rating (LER): 89  
Maximum UGR: 31.6  
Indoor Classification: Direct  
BUG Rating : B1-U0-G1

### Polar Candela Curves:

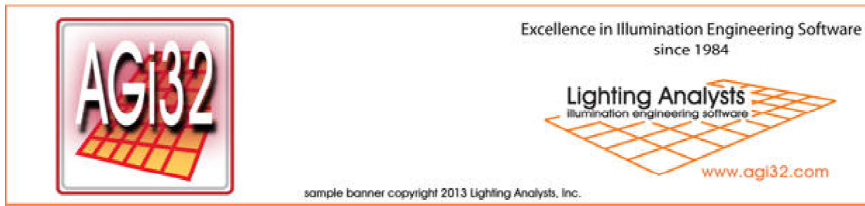
Vertical Plane Through:  
1) 0 - 180 Horizontal

Horizontal Cone Through:  
2) 0 Vertical



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Calculations based on published IES Methods and recommendations, values rounded for display purposes.  
Results derived from content of manufacturers photometric file.



## Photometric Report (Type C)

Filename: LRC-04SDN-2000L-FTR-WFL.IES  
 [TEST] ITL92688-GONIOPHOTOMETRY  
 [TESTLAB] INDEPENDENT TESTING LABORATORIES, INC.  
 [ISSUE DATE] 01/29/20  
 [MANUFAC] THE KIRLIN COMPANY  
 [LUMCAT] LRC-04SDN-2000L-FTR-WFL  
 [LUMINAIRE] FABRICATED METAL HOUSING, FABRICATED HEAT SINK MOUNTING BRACKET, EXTRUDED BLACK FINISHED FINNED METAL HEAT SINK, 1 CIRCUIT BOARD WITH ONE LED, MOLDED WHITE PLASTIC LED SURROUND, FABRICATED SEM  
 [LAMP] ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED)  
 , VERTICAL BASE-UP POSITION.

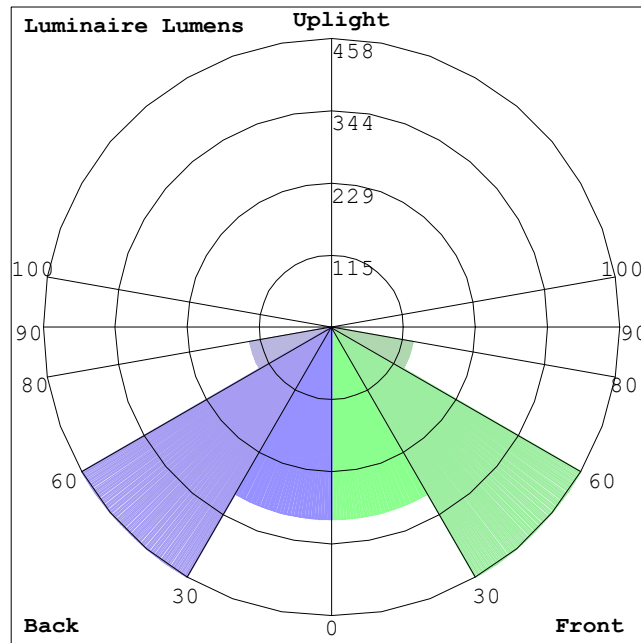
Maximum Candela = 828 at 0 H 0 V

### Classification:

Road Classification: Type V, Very Short, Full Cutoff (deprecated)  
 Upward Waste Light Ratio: 0.00  
 Luminaire Efficacy Rating (LER): 89  
 Maximum UGR: 31.6  
 Indoor Classification: Direct  
 BUG Rating : B1-U0-G1

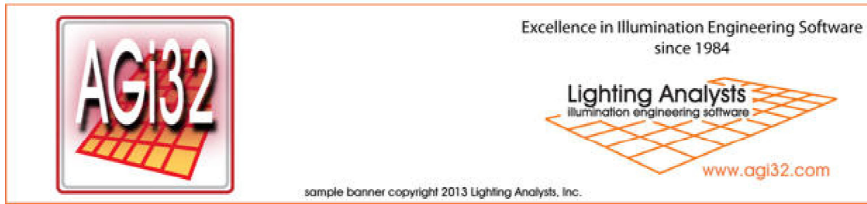
### LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	305.4	16.8	16.8
FM (30-60)	458.4	25.3	25.3
FH (60-80)	131.4	7.2	7.2
FVH (80-90)	11.5	0.6	0.6
BL (0-30)	305.4	16.8	16.8
BM (30-60)	458.4	25.3	25.3
BH (60-80)	131.4	7.2	7.2
BVH (80-90)	11.5	0.6	0.6
UL (90-100)	0.0	0.0	0.0
UH (100-180)	0.0	0.0	0.0
Total	1813.4	99.8	100.0
BUG Rating	B1-U0-G1		



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 Results derived from content of manufacturers photometric file.

TYPE S3-FT



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## Photometric Report (Type C)

Filename: DSXWPM\_LED\_10C\_350\_30K\_TFTM\_MVOLT.ies  
[TEST] LTL25753P145  
[TESTLAB] SCALED PHOTOMETRY  
[ISSUEDATE] 1/8/2018  
[MANUFAC] Lithonia Lighting  
[LUMCAT] DSXWPM LED 10C 350 30K TFTM MVOLT  
[LUMINAIRE] DSXWPM LED WITH (1) 10 LED LIGHT ENGINES,  
TYPE TFTM OPTIC, 3000K, @ 350mA.  
[LAMPCAT] NICHIA 219B 3000K  
[LAMP] LED  
[BALLAST] LEDINTA1050C140DO

Maximum Candela = 1087.58693665266 at 25 H 72.5 V

---

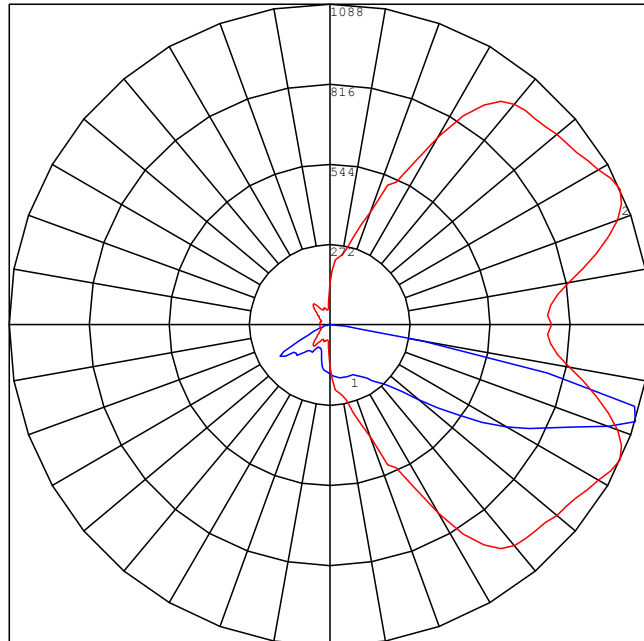
### Classification:

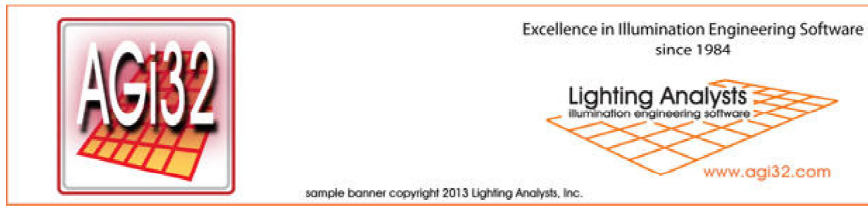
Road Classification: Type IV, Short, N.A. (deprecated)  
Upward Wast Light Ratio: 0.00  
Luminaire Efficacy Rating (LER): 106  
Maximum UGR: 41.1  
Indoor Classification: Direct  
BUG Rating : B0-U0-G1

### Polar Candela Curves:

Vertical Plane Through:  
1) 25 - 205 Horizontal

Horizontal Cone Through:  
2) 72.5 Vertical





## Photometric Report (Type C)

Filename: DSXWPM\_LED\_10C\_350\_30K\_TFTM\_MVOLT.ies  
 [TEST] LTL25753P145  
 [TESTLAB] SCALED PHOTOMETRY  
 [ISSUE DATE] 1/8/2018  
 [MANUFAC] Lithonia Lighting  
 [LUMCAT] DSXWPM LED 10C 350 30K TFTM MVOLT  
 [LUMINAIRE] DSXWPM LED WITH (1) 10 LED LIGHT ENGINES,  
 TYPE TFTM OPTIC, 3000K, @ 350mA.  
 [LAMP CAT] NICHIA 219B 3000K  
 [LAMP] LED  
 [BALLAST] LEDINTA1050C140DO

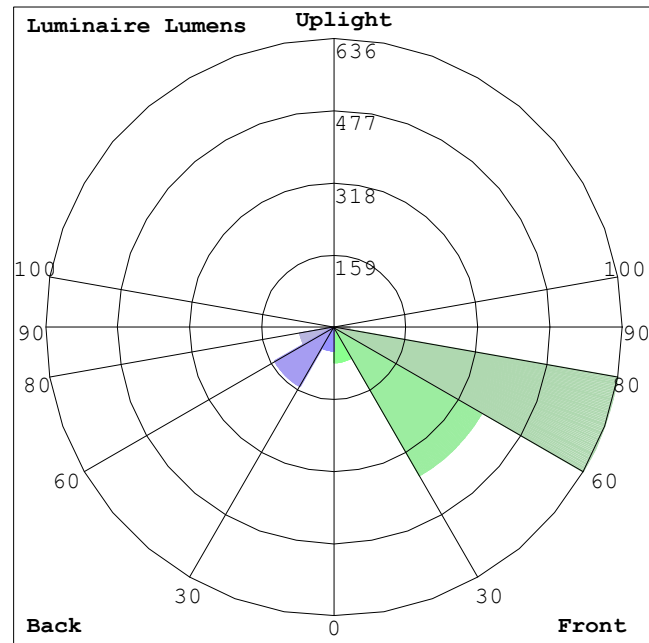
Maximum Candela = 1087.58693665266 at 25 H 72.5 V

### Classification:

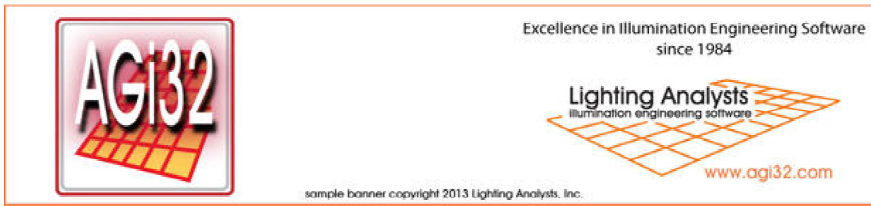
Road Classification: Type IV, Short, N.A. (deprecated)  
 Upward Waste Light Ratio: 0.00  
 Luminaire Efficacy Rating (LER): 106  
 Maximum UGR: 41.1  
 Indoor Classification: Direct  
 BUG Rating : B0-U0-G1

### LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	77.3	N.A.	5.5
FM (30-60)	377.5	N.A.	26.8
FH (60-80)	636.3	N.A.	45.1
FVH (80-90)	34.9	N.A.	2.5
BL (0-30)	51.6	N.A.	3.7
BM (30-60)	149.9	N.A.	10.6
BH (60-80)	75.3	N.A.	5.3
BVH (80-90)	7.9	N.A.	0.6
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	1410.7	N.A.	100.0
BUG Rating	B0-U0-G1		



TYPE S3-T2



---

## Photometric Report (Type C)

Filename: DSXW1\_LED\_10C\_350\_30K\_T2M\_MVOLT.ies  
[TEST] LTL25747P115  
[TESTLAB] SCALED PHOTOMETRY  
[ISSUE DATE] 1/11/2016  
[MANUFAC] Lithonia Lighting  
[LUMCAT] DSXW1\_LED\_10C\_350\_30K\_T2M\_MVOLT  
[LUMINAIRE] DSXW1\_LED WITH (1) 10 LED LIGHT ENGINES,  
TYPE T2M OPTIC, 3000K, @ 350mA.  
[LAMP] LED  
[BALLAST] LED DRIVER

Maximum Candela = 1302.89222669601 at 72.5 H 72.5 V

---

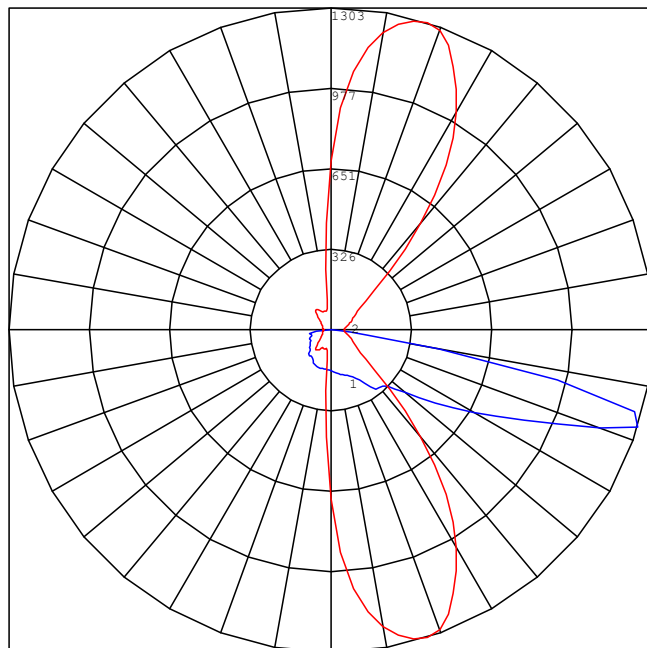
### Classification:

Road Classification: Type III, Medium, N.A. (deprecated)  
Upward Wast Light Ratio: 0.00  
Luminaire Efficacy Rating (LER): 101  
Maximum UGR: 39.9  
Indoor Classification: Direct  
BUG Rating : B0-U0-G1

### Polar Candela Curves:

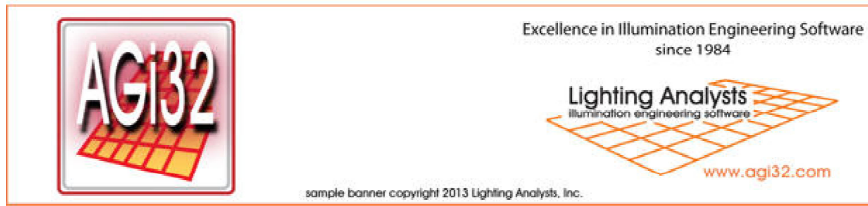
Vertical Plane Through:  
1) 72.5 - 252.5 Horizontal

Horizontal Cone Through:  
2) 72.5 Vertical



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Calculations based on published IES Methods and recommendations, values rounded for display purposes.  
Results derived from content of manufacturers photometric file.



## Photometric Report (Type C)

Filename: DSXW1\_LED\_10C\_350\_30K\_T2M\_MVOLT.ies  
 [TEST] LTL25747P115  
 [TESTLAB] SCALED PHOTOMETRY  
 [ISSUEDATE] 1/11/2016  
 [MANUFAC] Lithonia Lighting  
 [LUMCAT] DSXW1 LED 10C 350 30K T2M MVOLT  
 [LUMINAIRE] DSXW1 LED WITH (1) 10 LED LIGHT ENGINES,  
 TYPE T2M OPTIC, 3000K, @ 350mA.  
 [LAMP] LED  
 [BALLAST] LED DRIVER

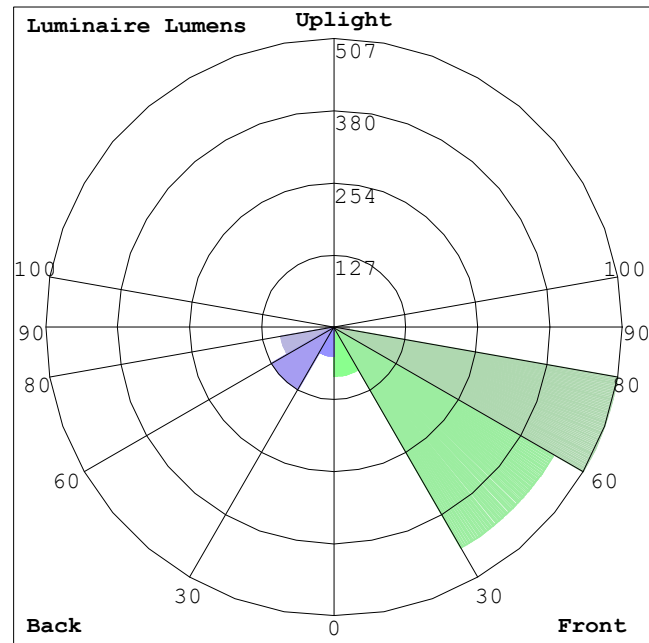
Maximum Candela = 1302.89222669601 at 72.5 H 72.5 V

### Classification:

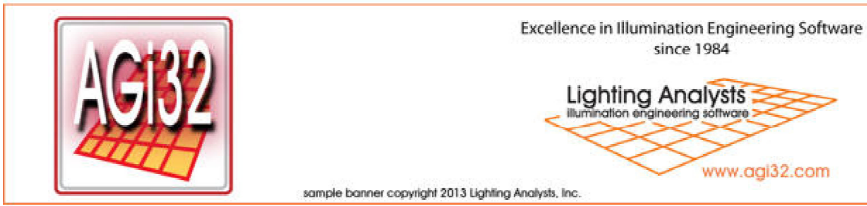
Road Classification: Type III, Medium, N.A. (deprecated)  
 Upward Waste Light Ratio: 0.00  
 Luminaire Efficacy Rating (LER): 101  
 Maximum UGR: 39.9  
 Indoor Classification: Direct  
 BUG Rating : B0-U0-G1

### LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	85.7	N.A.	6.4
FM (30-60)	447.7	N.A.	33.2
FH (60-80)	507.0	N.A.	37.6
FVH (80-90)	25.7	N.A.	1.9
BL (0-30)	50.3	N.A.	3.7
BM (30-60)	125.6	N.A.	9.3
BH (60-80)	94.2	N.A.	7.0
BVH (80-90)	12.7	N.A.	0.9
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	1348.9	N.A.	100.0
BUG Rating	B0-U0-G1		



TYPE S3-T4



---

## Photometric Report (Type C)

Filename: DSXW1\_LED\_10C\_1000\_30K\_T4M\_MVOLT.ies  
[TEST] LTL25756P105  
[TESTLAB] SCALED PHOTOMETRY  
[ISSUEDATE] 1/11/2016  
[MANUFAC] Lithonia Lighting  
[LUMCAT] DSXW1 LED 10C 1000 30K T4M MVOLT  
[LUMINAIRE] DSXW1 LED WITH (1) 10 LED LIGHT ENGINES,  
TYPE T4M OPTIC, 3000K, @ 1000mA.  
[LAMP] LED  
[BALLAST] LED DRIVER

Maximum Candela = 2354.56308424473 at 57.5 H 75 V

---

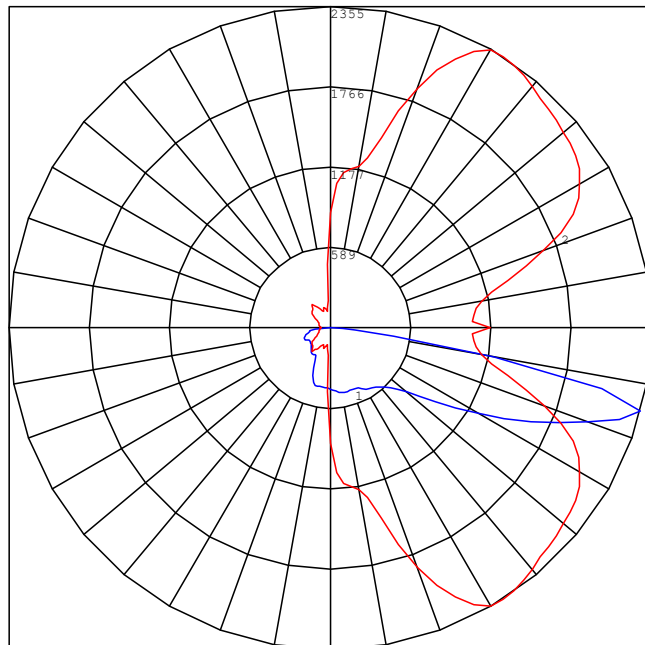
### Classification:

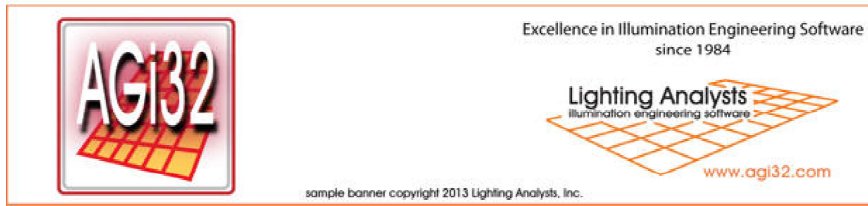
Road Classification: Type IV, Medium, N.A. (deprecated)  
Upward Wast Light Ratio: 0.00  
Luminaire Efficacy Rating (LER): 91  
Maximum UGR: 43  
Indoor Classification: Direct  
BUG Rating : B1-U0-G2

### Polar Candela Curves:

Vertical Plane Through:  
1) 57.5 - 237.5 Horizontal

Horizontal Cone Through:  
2) 75 Vertical





## Photometric Report (Type C)

Filename: DSXW1\_LED\_10C\_1000\_30K\_T4M\_MVOLT.ies  
 [TEST] LTL25756P105  
 [TESTLAB] SCALED PHOTOMETRY  
 [ISSUEDATE] 1/11/2016  
 [MANUFAC] Lithonia Lighting  
 [LUMCAT] DSXW1 LED 10C 1000 30K T4M MVOLT  
 [LUMINAIRE] DSXW1 LED WITH (1) 10 LED LIGHT ENGINES,  
 TYPE T4M OPTIC, 3000K, @ 1000mA.  
 [LAMP] LED  
 [BALLAST] LED DRIVER

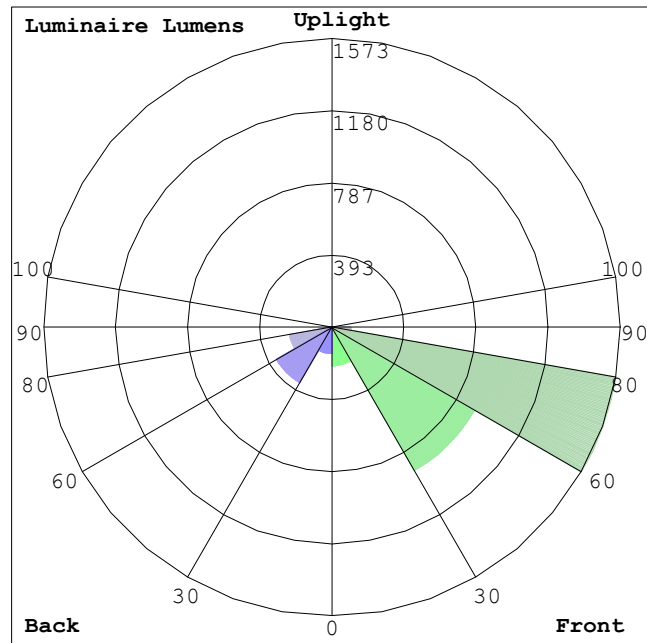
Maximum Candela = 2354.56308424473 at 57.5 H 75 V

### Classification:

Road Classification: Type IV, Medium, N.A. (deprecated)  
 Upward Waste Light Ratio: 0.00  
 Luminaire Efficacy Rating (LER): 91  
 Maximum UGR: 43  
 Indoor Classification: Direct  
 BUG Rating : B1-U0-G2

### LCS Summary:

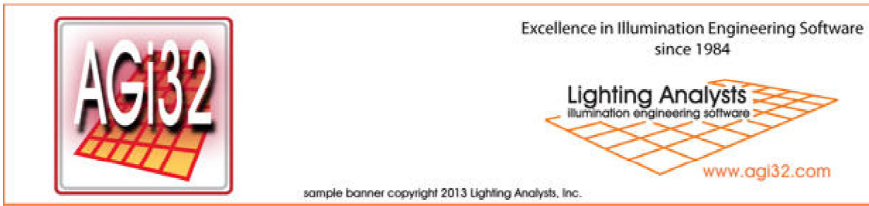
LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	207.1	N.A.	5.9
FM (30-60)	900.2	N.A.	25.5
FH (60-80)	1573.4	N.A.	44.5
FVH (80-90)	103.7	N.A.	2.9
BL (0-30)	141.3	N.A.	4.0
BM (30-60)	346.0	N.A.	9.8
BH (60-80)	231.2	N.A.	6.5
BVH (80-90)	30.8	N.A.	0.9
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	3533.7	N.A.	100.0
BUG Rating	B1-U0-G2		



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 Calculations based on published IES Methods and recommendations, values rounded for display purposes.  
 Results derived from content of manufacturers photometric file.



TYPE S6-FT



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## Photometric Report (Type C)

Filename: DSXWPM\_LED\_20C\_350\_30K\_TFTM\_MVOLT.ies  
[TEST] LTL25753P132  
[TESTLAB] SCALED PHOTOMETRY  
[ISSUE DATE] 1/8/2018  
[MANUFAC] Lithonia Lighting  
[LUMCAT] DSXWPM LED 20C 350 30K TFTM MVOLT  
[LUMINAIRE] DSXWPM LED WITH (2) 10 LED LIGHT ENGINES,  
TYPE TFTM OPTIC, 3000K, @ 350mA.  
[LAMPCAT] NICHIA 219B 3000K  
[LAMP] LED  
[BALLAST] LEDINTA1050C140DO

Maximum Candela = 2166.95795083046 at 25 H 72.5 V

---

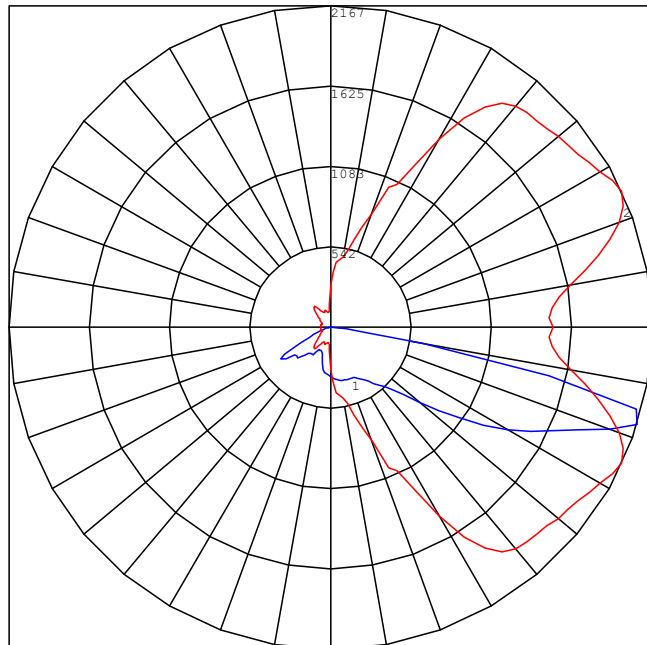
### Classification:

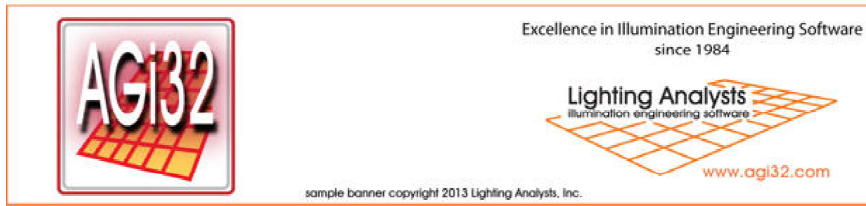
Road Classification: Type IV, Short, N.A. (deprecated)  
Upward Wast Light Ratio: 0.00  
Luminaire Efficacy Rating (LER): 121  
Maximum UGR: 43.5  
Indoor Classification: Direct  
BUG Rating : B1-U0-G1

### Polar Candela Curves:

Vertical Plane Through:  
1) 25 - 205 Horizontal

Horizontal Cone Through:  
2) 72.5 Vertical





## Photometric Report (Type C)

Filename: DSXWPM\_LED\_20C\_350\_30K\_TFTM\_MVOLT.ies  
 [TEST] LTL25753P132  
 [TESTLAB] SCALED PHOTOMETRY  
 [ISSUEDATE] 1/8/2018  
 [MANUFAC] Lithonia Lighting  
 [LUMCAT] DSXWPM LED 20C 350 30K TFTM MVOLT  
 [LUMINAIRE] DSXWPM LED WITH (2) 10 LED LIGHT ENGINES,  
 TYPE TFTM OPTIC, 3000K, @ 350mA.  
 [LAMPCAT] NICHIA 219B 3000K  
 [LAMP] LED  
 [BALLAST] LEDINTA1050C140DO

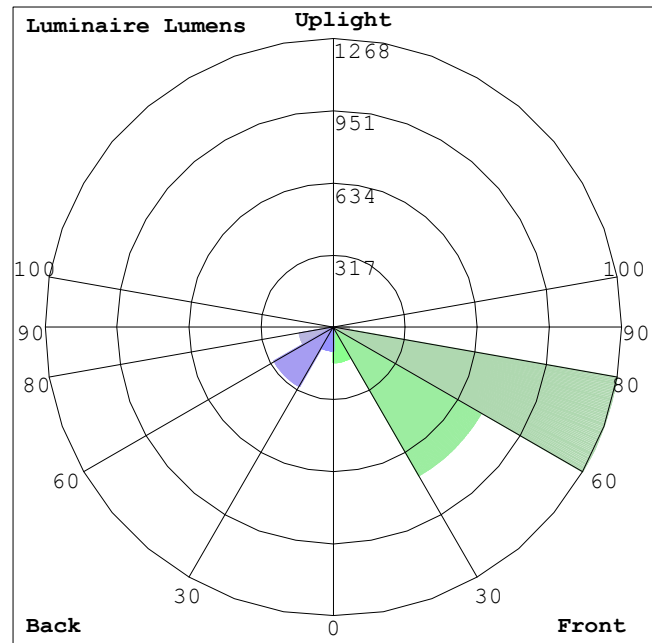
Maximum Candela = 2166.95795083046 at 25 H 72.5 V

### Classification:

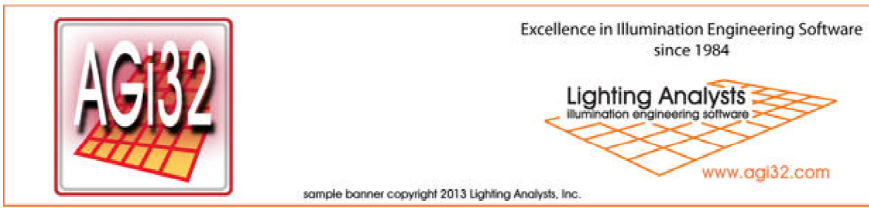
Road Classification: Type IV, Short, N.A. (deprecated)  
 Upward Waste Light Ratio: 0.00  
 Luminaire Efficacy Rating (LER): 121  
 Maximum UGR: 43.5  
 Indoor Classification: Direct  
 BUG Rating : B1-U0-G1

### LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	154.0	N.A.	5.5
FM (30-60)	752.1	N.A.	26.8
FH (60-80)	1267.8	N.A.	45.1
FVH (80-90)	69.6	N.A.	2.5
BL (0-30)	102.7	N.A.	3.7
BM (30-60)	298.6	N.A.	10.6
BH (60-80)	150.1	N.A.	5.3
BVH (80-90)	15.8	N.A.	0.6
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	2810.7	N.A.	100.0
BUG Rating	B1-U0-G1		



TYPE S6-T2



---

## Photometric Report (Type C)

Filename: DSXWPM\_LED\_20C\_350\_30K\_T2M\_MVOLT.ies  
[TEST] LTL25747P132  
[TESTLAB] SCALED PHOTOMETRY  
[ISSUEDATE] 1/8/2018  
[MANUFAC] Lithonia Lighting  
[LUMCAT] DSXWPM LED 20C 350 30K T2M MVOLT  
[LUMINAIRE] DSXWPM LED WITH (2) 10 LED LIGHT ENGINES,  
TYPE T2M OPTIC, 3000K, @ 350mA.  
[LAMPCAT] NICHIA 219B 3000K  
[LAMP] LED  
[BALLAST] LEDINTA1050C140DO

Maximum Candela = 2595.72515773773 at 72.5 H 72.5 V

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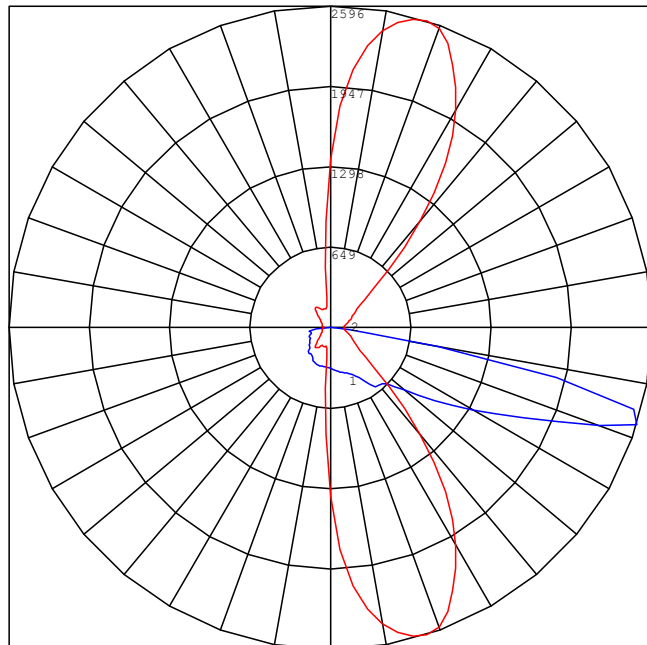
### Classification:

Road Classification: Type III, Medium, N.A. (deprecated)  
Upward Wast Light Ratio: 0.00  
Luminaire Efficacy Rating (LER): 115  
Maximum UGR: 42.3  
Indoor Classification: Direct  
BUG Rating : B1-U0-G1

### Polar Candela Curves:

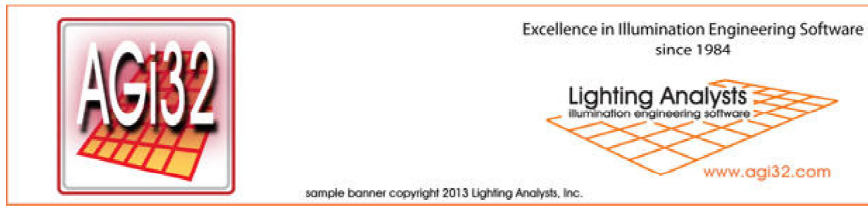
Vertical Plane Through:  
1) 72.5 - 252.5 Horizontal

Horizontal Cone Through:  
2) 72.5 Vertical



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Results derived from content of manufacturers photometric file.



## Photometric Report (Type C)

Filename: DSXWPM\_LED\_20C\_350\_30K\_T2M\_MVOLT.ies  
 [TEST] LTL25747P132  
 [TESTLAB] SCALED PHOTOMETRY  
 [ISSUE DATE] 1/8/2018  
 [MANUFAC] Lithonia Lighting  
 [LUMCAT] DSXWPM LED 20C 350 30K T2M MVOLT  
 [LUMINAIRE] DSXWPM LED WITH (2) 10 LED LIGHT ENGINES,  
 TYPE T2M OPTIC, 3000K, @ 350mA.  
 [LAMP CAT] NICHIA 219B 3000K  
 [LAMP] LED  
 [BALLAST] LEDINTA1050C140DO

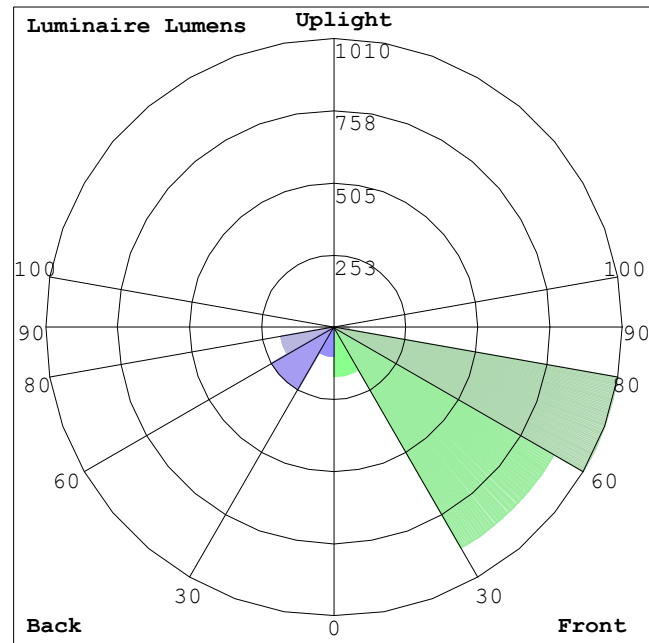
Maximum Candela = 2595.72515773773 at 72.5 H 72.5 V

### Classification:

Road Classification: Type III, Medium, N.A. (deprecated)  
 Upward Waste Light Ratio: 0.00  
 Luminaire Efficacy Rating (LER): 115  
 Maximum UGR: 42.3  
 Indoor Classification: Direct  
 BUG Rating : B1-U0-G1

### LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	170.7	N.A.	6.4
FM (30-60)	891.9	N.A.	33.2
FH (60-80)	1010.2	N.A.	37.6
FVH (80-90)	51.3	N.A.	1.9
BL (0-30)	100.3	N.A.	3.7
BM (30-60)	250.3	N.A.	9.3
BH (60-80)	187.6	N.A.	7.0
BVH (80-90)	25.2	N.A.	0.9
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	2687.5	N.A.	100.0
BUG Rating	B1-U0-G1		



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 Results derived from content of manufacturers photometric file.

Item 3

A plot plan, drawn to a recognized engineering or architectural scale, indicating the location of the luminaire(s) proposed, mounting and/or installation height in feet, the overall illumination levels (in footcandles) and uniformities on the site, and the illumination levels (in footcandles) at the property boundary lines. This may be accomplished by means of an isolux curve or computer printout projecting the illumination levels.

Lighting Plot Plan - attached.

General notes:

- Illumination levels are shown on a point by point basis.
- The property line is the street to the south of the site. Calculation points are extended out to the street and show that the new lighting does not contribute any lighting to the property line.
- All fixture locations and Types are indicated on the Lighting Plot Plan.

Across all points Illuminance (Fc): @ 0'0"

Average=0.50 Maximum=7.2 Minimum=0.0

A Light Loss Factor (LLF) that accounts for lumen depreciation over time has been applied to the fixtures = 0.7 LLF. On day one, the light levels will measure about 30% brighter than is shown.

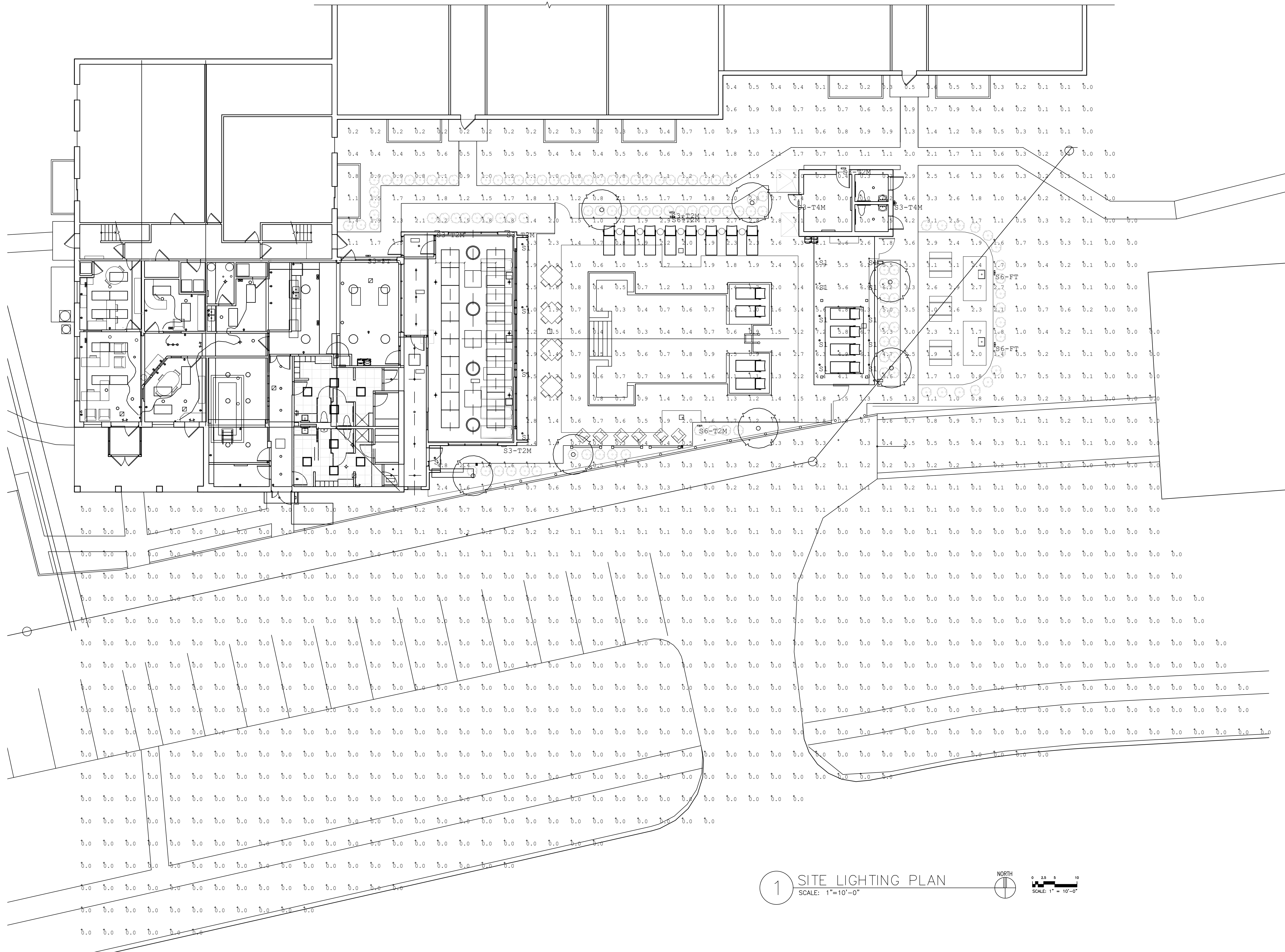
Modeled mounting heights for lighting fixtures are as follows:

- S1: Recessed into ceiling
- S3: Building mounted. Modeled at 8'0" above grade
- S6: Pole mounted. Modeled at 10'0" above grade.

Item 4

A graphic depiction of the luminaire lamp (or bulb) concealment and light cut-off angles.

- LED modules are integral to the lighting fixtures. Please refer to Item 1 lighting fixture cutsheets.
- Reports submitted for Item 2 show light cut-off angles.



1 SITE LIGHTING PLAN  
 SCALE: 1"=10'-0"

Maureen Mahr  
 Lighting Design

Maureen Mahr  
 maureen@maureenmahr.lighting  
 773.459.1977

NOTES

6/25/21  
 PLAN COMMISSION-  
 PRELIMINARY- NOT  
 FOR CONSTRUCTION

Renovation of the Whitnall Pointe Clubhouse  
 10590 W. Cortez Circle  
 Franklin, WI 53132

NO.	DATE	DESCRIPTION
xx/xx/xx		Issued for Construction
xx/xx/xx		Issued for Permit
06/25/2021		Plan Commission
04/30/21		Schematic Design

EXTERIOR  
 LIGHTING DESIGN

Scale: AS NOTED	Sheet Number:
Drawn By: -	LD1.0
Project Number: 0000	

## Foster Dale

---

**From:** Gary Wiss <gwiss@spacecoinc.com>  
**Sent:** Monday, June 28, 2021 8:05 AM  
**To:** Foster Dale  
**Subject:** Whitnall Pointe - Plan Commission Submittal (11228)  
**Attachments:** 11228ENG.pdf; 11228SITE\_IMPERVIOUS\_EXH\_clubhouse.pdf

Foster:

This is written in support of your application to the Plan Commission for a site plan amendment and will address certain provisions of Part 7 of the Unified Development Ordinance relating to Site Plan.

- F. Existing and Proposed Topography: See Sheet GR of the attached Issue for Coordination drawing set dated 06-18-21.
- O. Proposed Sanitary Sewers, Storm Sewers, and Water Mains: See Sheet UT of the attached drawing set.
- P. Proposed Stormwater Management Facilities: See the attached Clubhouse Impervious Exhibit, which indicates that the proposed development will decrease the total impervious area, and see below that our previous calculations, which included a slightly higher impervious coverage for the clubhouse area, were previously approved.

Please contact me with any questions.

Sincerely,



**Gary Wiss, P.E.**

Vice President

**SPACECO, Inc.**

**Phone:** [847-696-4060](tel:847-696-4060) | **Ext:** 1056 | **Cell:** [847-507-8087](tel:847-507-8087)

**Email:** [gwiss@spacecoinc.com](mailto:gwiss@spacecoinc.com)

**Address:** [9575 W. Higgins Road, Suite 700, Rosemont, IL. 60018](#)

[www.spacecoinc.com](http://www.spacecoinc.com) | *"Building Relationships Through Engineering Excellence"*



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**From:** Sara Arnold <SArnold@franklinwi.gov>  
**Sent:** Tuesday, December 15, 2020 8:58 AM  
**To:** Sean McGovern <smcgovern@spacecoinc.com>  
**Cc:** Foster Dale <foster@fosterdalearchitects.com>; Jim Minnie (jminnie@minnieerecting.com) <jminnie@minnieerecting.com>; Gary Wiss <gwiss@spacecoinc.com>; Ronnie Asuncion <RAsuncion@franklinwi.gov>; Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov>  
**Subject:** RE: Whitnall Pointe - Impervious Coverage Exhibits



Thank you for the revision, Sean. This does show the proposed work is below the MMSD threshold for storm water management. Only the work shown on the exhibit will be permitted when all approvals have been granted. The impervious areas added since 200 and as proposed now will continue to accrue until either of the thresholds are met. This email only covers the necessity for storm water management – when construction plans are ready Engineering will review for conformance with City Standards.  
Thank you.

**Sara Arnold, P.E.**

414-425-7510

**From:** Sean McGovern <[smcgovern@spacecoinc.com](mailto:smcgovern@spacecoinc.com)>

**Sent:** Thursday, December 10, 2020 11:27 AM

**To:** Sara Arnold <[SArnold@franklinwi.gov](mailto:SArnold@franklinwi.gov)>

**Cc:** Foster Dale <[foster@fosterdalearchitects.com](mailto:foster@fosterdalearchitects.com)>; Jim Minnie ([jminnie@minnieerecting.com](mailto:jminnie@minnieerecting.com))

<[jminnie@minnieerecting.com](mailto:jminnie@minnieerecting.com)>; Gary Wiss <[gwiss@spacecoinc.com](mailto:gwiss@spacecoinc.com)>; Ronnie Asuncion <[RASuncion@franklinwi.gov](mailto:RASuncion@franklinwi.gov)>;

Regulo Martinez-Montilva <[RMartinez-Montilva@franklinwi.gov](mailto:RMartinez-Montilva@franklinwi.gov)>

**Subject:** RE: Whitnall Pointe - Impervious Coverage Exhibits

Good afternoon Sara,

As James Minnie noted under a separate email, the Basketball Court is no longer part of the project scope. We have revised the exhibits to reflect this change in scope and updated the area tables accordingly. We also updated the “Net-New Impervious Area Summary” to include the 840 S.F. added between 2018 and today per your request. With the removal of the Basketball Court, the site comes in 2,270 S.F. below the G.I. threshold. Please review and let us know if you have any questions.

Thank you,

Sean



**Sean McGovern, P.E.**

Design Engineer

**SPACECO, Inc.**

**Phone:** 847-696-4060 | **Ext:** 1039

**Email:** [smcgovern@spacecoinc.com](mailto:smcgovern@spacecoinc.com)

**Address:** 9575 W. Higgins Road, Suite 700, Rosemont, IL. 60018

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**EXISTING IMPERVIOUS AREAS**

SIDEWALK/ POOL DECK = 6,844 S.F.

POOL = 695 S.F.

TOTAL EXISTING IMPERVIOUS AREA = 7,539 S.F.

**PROPOSED IMPERVIOUS AREAS**

POOL EQUIPMENT ROOM/ BATHROOM = 373 S.F.

POOL = 990 S.F.

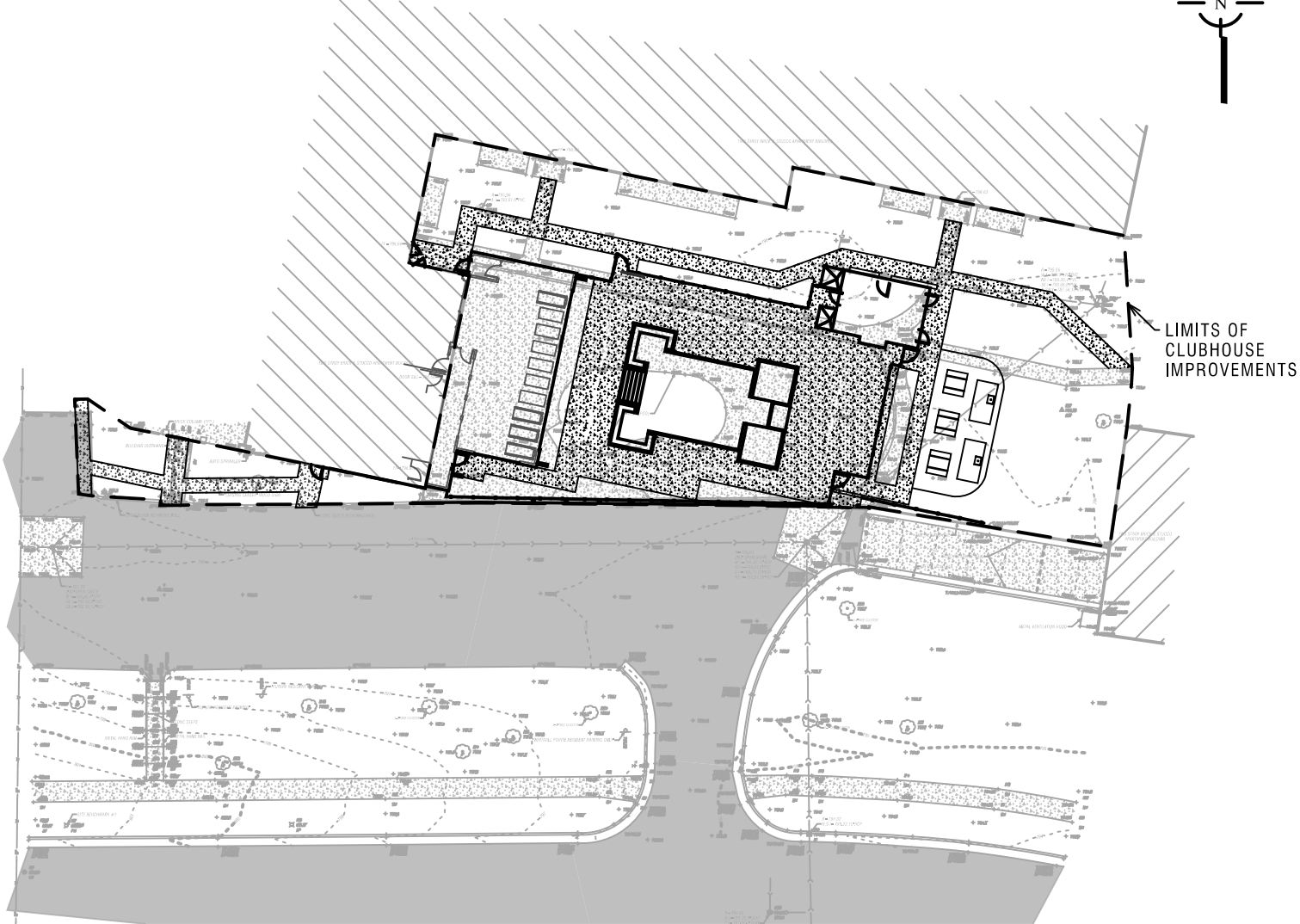
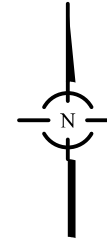
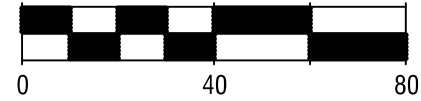
SIDEWALK/ POOL DECK = 4,316 S.F.

EXISTING SIDEWALK TO REMAIN = 517 S.F.

BUILDING ADDITION = 1,286 S.F.

PROPOSED IMPERVIOUS AREA = 7,482 S.F.

SCALE 1" = 40'



**CLUBHOUSE IMPERVIOUS EXHIBIT  
PROPOSED CONDITIONS**

**WHITNALL POINTE  
FRANKLIN, WISCONSIN**

**CONSULTING ENGINEERS**

**SITE DEVELOPMENT ENGINEERS**

**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018

Phone: (847) 696-4060 Fax: (847) 696-4065

FILENAME: imperviousexhibitclubhouse.dgn

JOB NO: 11228



**SPACECO INC.**

DATE: 06/18/21



**GENERAL NOTES**

1. REFERENCED CODES

A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (SSSC), AND SUPPLEMENTAL SPECIFICATIONS AND REQUIRING SPECIAL PROVISIONS; ADOPTED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO; AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.

B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSW), PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, WISCONSIN HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.

D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.

2. UTILITY LOCATIONS

A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL DIGGER AT 800-292-8251 AND THE MUNICIPALITY FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.

C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDS TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

3. UTILITY COORDINATION

A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE OWNER FROM TIME TO TIME TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.

C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT&T SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.

4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISCREPANCY BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.

6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.

7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.

8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

9. COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNERS, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.

10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.

11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.

12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.

14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.

16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSWBC) ARTICLE 201.05.

19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.

21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

**22. GENERAL EXCAVATION/UNDERGROUND NOTES**

A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.

B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND MAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

23. FINAL ACCEPTANCE

A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.

B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. SURFACE TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

24. UNDERGROUND NOTES

A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.

B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.

C. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEWATERING. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.

D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING DOT CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSWBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.

E. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8' (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4" ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAN - BLUE, STORM - GREEN.

F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.

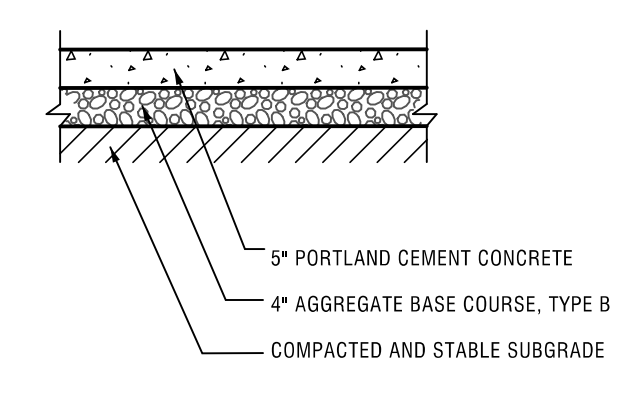
G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.

H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEViate THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. (FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)

I. SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 8" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.

25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OF OR REPRESENTATIVES OF THE OWNER, NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.



TYPICAL SIDEWALK/PEDESTRIAN PATH SECTION  
N.T.S.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

ABBREVIATIONS		
M = STORM MANHOLE	I = INVERT OR INLET	T/P = TOP OF PIPE
S = SANITARY MANHOLE	TF = TOP OF FOUNDATION	B/P = BOTTOM OF PIPE
CB = CATCH BASIN	GF = GARAGE FLOOR	WM = WATERMAIN
LP = LIGHT POLE	TC = TOP OF CURB	SAN = SANITARY SEWER
VV = VALVE VAULT	TD = TOP OF DEPRESSED CURB	STM = STORM SEWER
E = END SECTION	TW = TOP OF RETAINING WALL	LO = LOOK OUT
FH = FIRE HYDRANT	BW = BOTTOM OF RETAINING WALL	PLO = PARTIAL LOOK OUT
GR = GRADE RING (HYDRANT)	OP = OUTLET OF PIPE	

PERMITS			
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

**BENCHMARK**

NO.	DATE	REMARKS

NO.	DATE	REMARKS

**TYPICAL SECTIONS AND GENERAL NOTES**

**WHITNALL POINTE CLUBHOUSE**  
10590 W. CORTEZ CIRCLE  
FRANKLIN, WISCONSIN

**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
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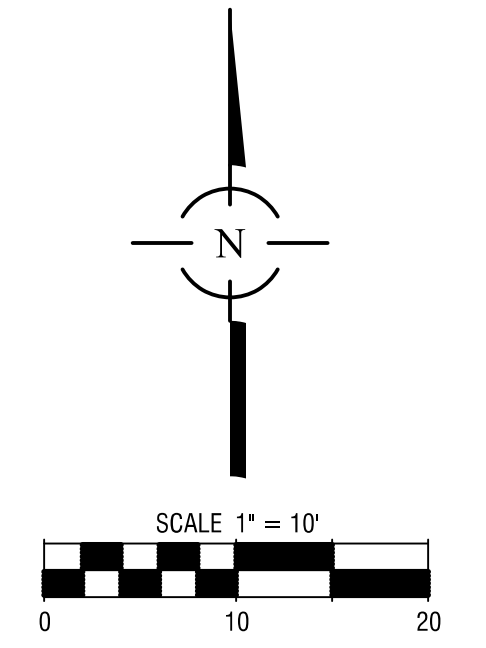
**SPACECO INC.**

FILENAME:  
11228GN

DATE:  
06/11/21

JOB NO.  
11228

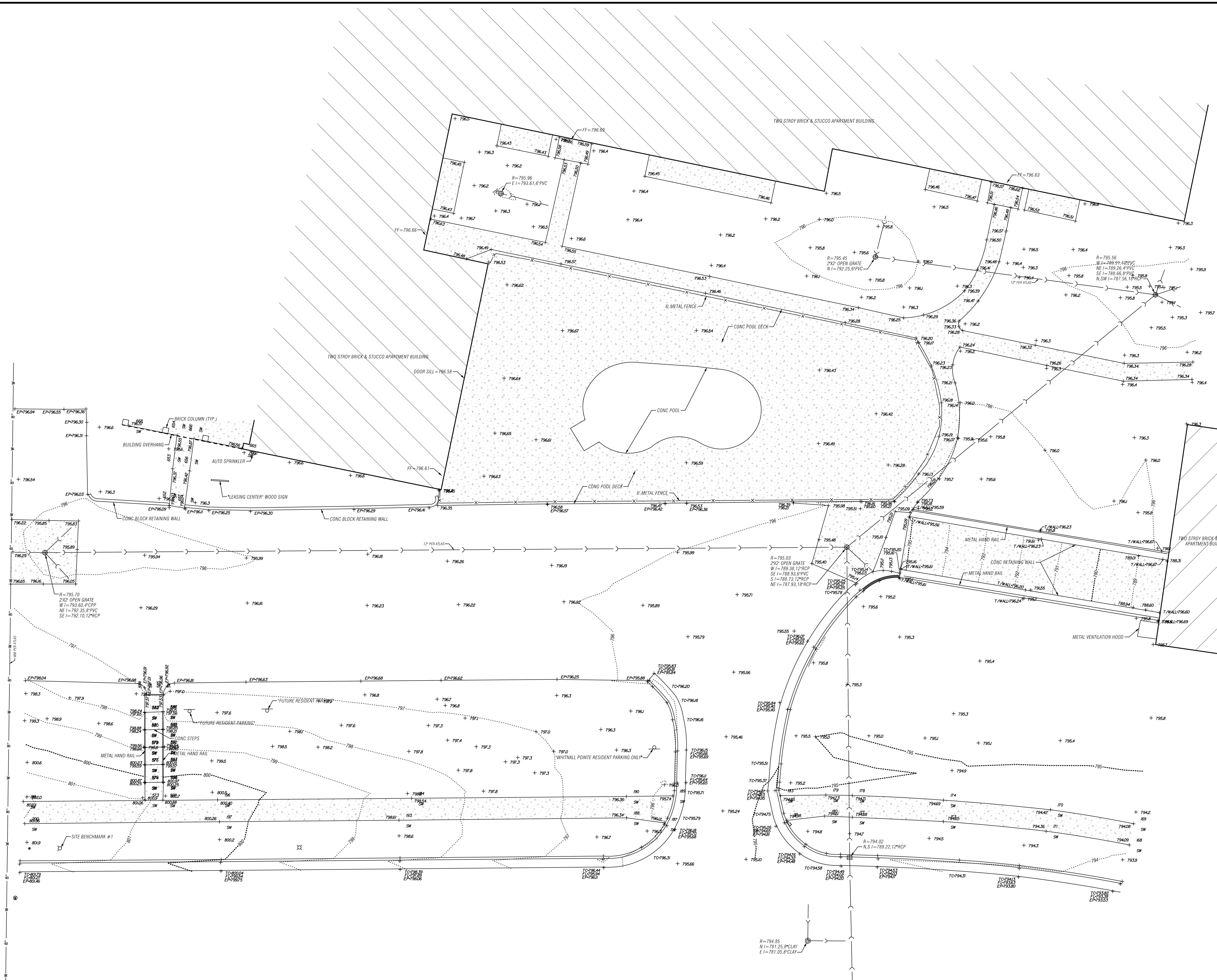
SHEET  
**GN**  
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**LEGEND**

- STORM SEWER
- SANITARY SEWER
- COMBINED SEWER
- WATER MAIN
- GAS MAIN
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND CITY LINE
- OVERHEAD WIRES ON UTILITY POLES
- RAILROAD LINE
- FENCE
- GUARDRAIL
- EDGE OF WATER
- WETLAND LIMITS
- STORM MANHOLE
- CATCH BASIN
- MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC UPRIGHT
- CABLE TV UPRIGHT
- FIRE HYDRANT
- VALVE AND VAULT
- WATER VALVE
- B BOX
- METER VALVE
- WELL
- GAS VALVE
- HAND HOLE
- STREET LIGHT
- UTILITY POLE
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL BOX
- SPRINKLER HEAD
- SOLI-D
- MAILBOX
- SIGN
- UNDERSIZED MANHOLE
- CORRIDOR
- SPOT ELEVATION
- RIGHT-OF-WAY MONUMENT
- DISC
- IRON/STEEL ROD
- IRON PIPE
- CUT CROSS
- P.K. MARK NAIL
- RAILROAD SPIKE
- SOIL BORING
- TREE WITH SIZE
- AIR TREE WITH SIZE
- BUSH
- ASPHALT
- CONCRETE
- GRAVEL

NOTE:  
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE.  
 FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.  
 PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.  
 LAST DATE OF FIELD WORK:



NO.	DATE	REMARKS

NO.	DATE	REMARKS

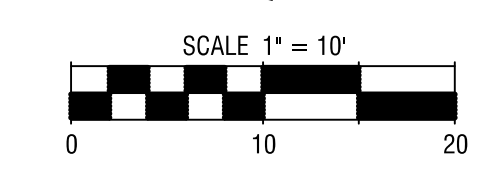
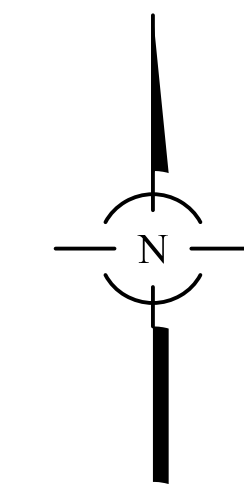
**EXISTING CONDITIONS PLAN**  
**WHITNALL POINTE CLUBHOUSE**  
 10590 W. CORTEZ CIRCLE  
 FRANKLIN, WISCONSIN

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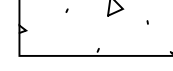
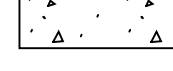
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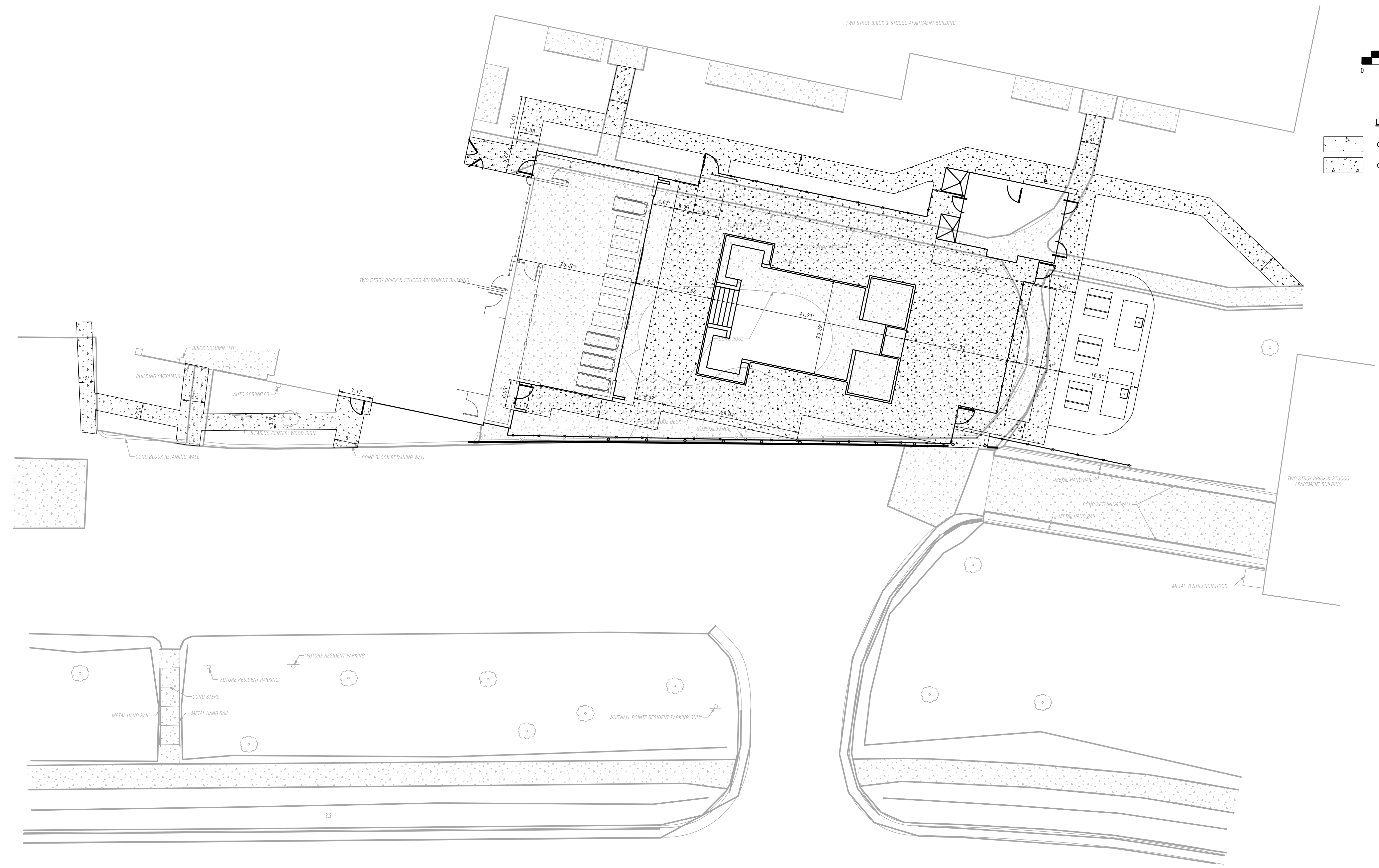


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JOB NO. 11228
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**LEGEND**

-  CONCRETE PAVEMENT OR APRON
-  CONCRETE SIDEWALK



NO.	DATE	REMARKS

NO.	DATE	REMARKS

**GEOMETRIC PLAN**

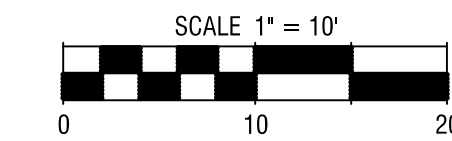
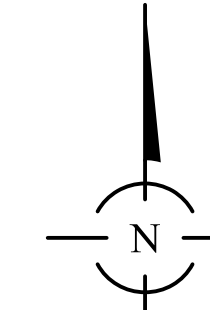
**WHITMALL POINTE CLUBHOUSE**  
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 FRANKLIN, WISCONSIN

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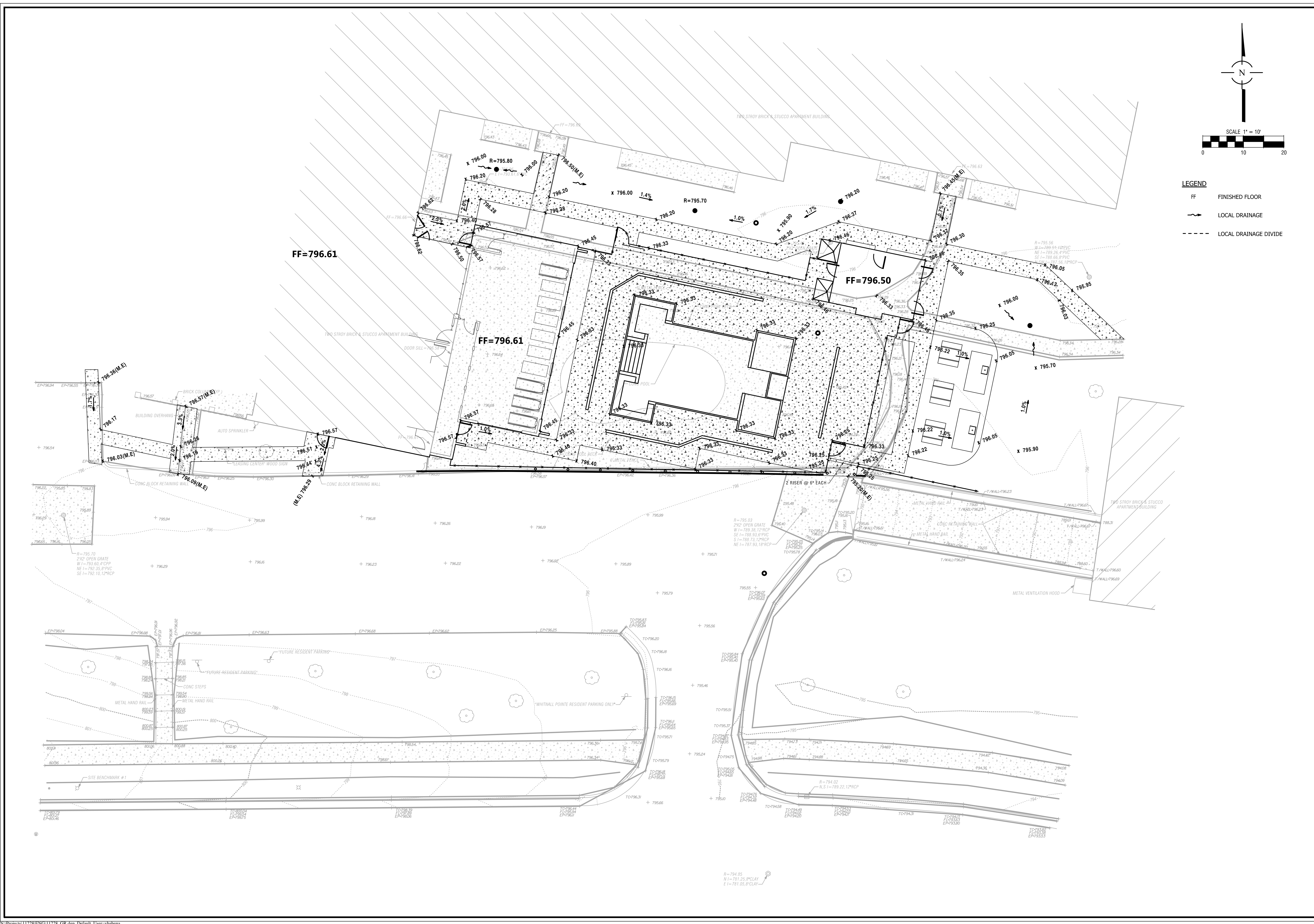


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JOB NO. 11228
SHEET <b>GM</b>
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**LEGEND**

- FF FINISHED FLOOR
- LOCAL DRAINAGE
- LOCAL DRAINAGE DIVIDE



NO.	DATE	REMARKS

NO.	DATE	REMARKS

**GRADING PLAN**  
**WHITNALL POINTE CLUBHOUSE**  
 10590 W. CORTEZ CIRCLE  
 FRANKLIN, WISCONSIN

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**SITE DEVELOPMENT ENGINEERS**  
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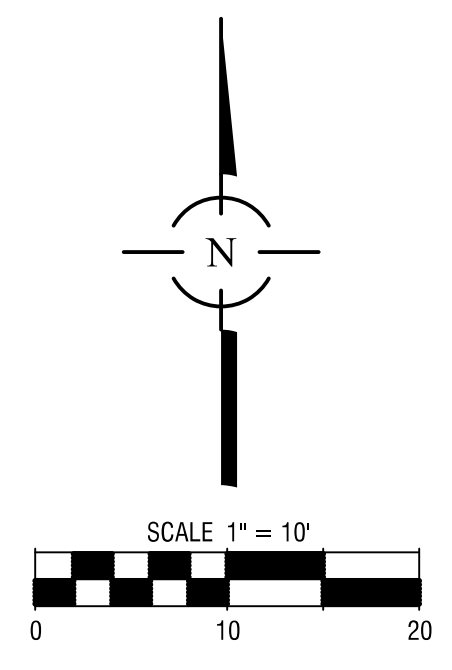
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06/11/21

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**GR**  
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**NOTES:**

1. ALL STORM SEWERS SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.
2. ALL SANITARY SEWERS SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.
3. ALL WATER MAINS SHALL BE D.I.P.-CLASS 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
4. [Symbol] INDICATES TRENCH BACKFILL REQUIRED.
5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES  
 1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID  
 1P - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "G" GRATE

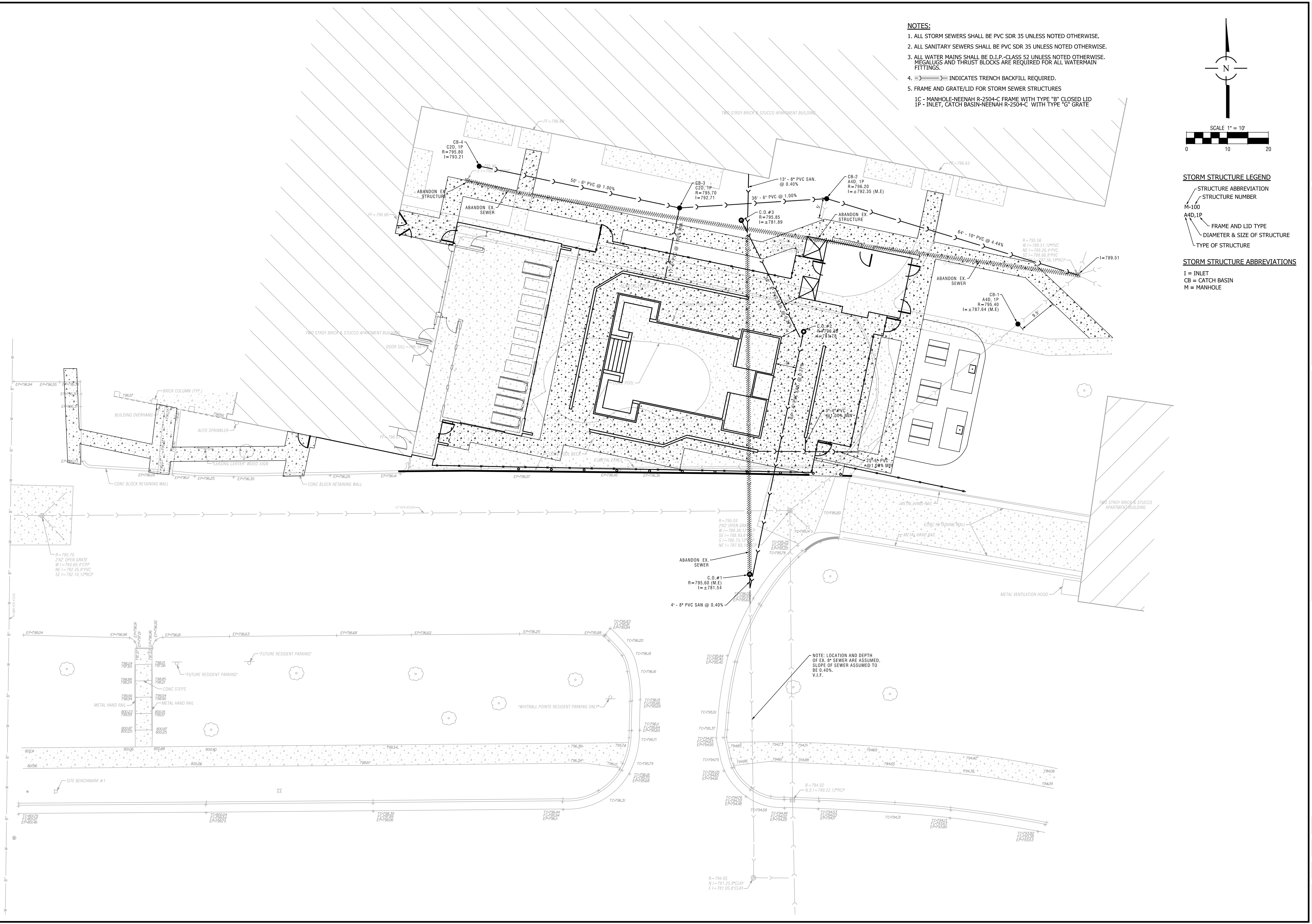


**STORM STRUCTURE LEGEND**

- STRUCTURE ABBREVIATION
- STRUCTURE NUMBER
- M-100
- A4D, 1P
- FRAME AND LID TYPE
- DIAMETER & SIZE OF STRUCTURE
- TYPE OF STRUCTURE

**STORM STRUCTURE ABBREVIATIONS**

- I = INLET
- CB = CATCH BASIN
- M = MANHOLE



NO.	DATE	REMARKS

NO.	DATE	REMARKS

**UTILITY PLAN**  
**WHITNALL POINTE CLUBHOUSE**  
 10590 W. CORTEZ CIRCLE  
 FRANKLIN, WISCONSIN

**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

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FILENAME: 11228UT
DATE: 06/11/21
JOB NO. 11228
SHEET <b>UT</b>
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This Soil Erosion & Sediment Control (SESC) Plan has been prepared to fulfill one of the requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit No. \_\_\_\_\_ The SESC Plan should be maintained on site as an integral component of the Storm Water Pollution Prevention Plan (SWPPP). The SWPPP, including the SESC Plan, should be amended whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on the potential for the discharge of pollutants to the Waters of the State and which has not otherwise been addressed in the SWPPP. The SWPPP shall also be amended if it proves to be ineffective in eliminating or significantly minimizing pollutants, or in otherwise achieving the general objectives of controlling pollutants in storm water discharges associated with construction site activity. In addition, the SWPPP shall be amended to identify any new contractor and/or subcontractor that will implement a measure of the SWPPP.

**1. SITE DESCRIPTION**

**A. The following is a description of the nature of the construction activity: Grading, paving, underground utility installation, building construction, landscaping.**

**B. The following is a description of the intended sequence of construction activities which will disturb soils for major portions of the construction site:**

1) Install perimeter sediment control measures  
a) Selective vegetation removal for silt fence installation  
b) Silt fence installation  
c) Construction fencing around areas not to be disturbed  
2) Stabilized construction entrance  
3) Clear and grub (as necessary)  
3) Construct sediment trapping devices (sediment traps, sediment basins, etc.)  
4) Construct detention facilities and outlet control structure with restrictor & temporary perforated riser  
5) Strip topsoil, stockpile topsoil and grade site  
6) Temporarily stabilize topsoil stockpiles (seed and silt fence around top of slope)  
7) Install storm sewer, sanitary sewer, watermain and associated inlet & outlet protection  
8) Permanently stabilize detention basins with seed and erosion control blanket  
9) Temporarily stabilize all areas including lots that have reached mass grade  
10) Install roadways  
11) Permanently stabilize all outlet areas  
12) Local buildings and grade individual lots  
13) Permanently stabilize lots  
14) Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation

**C. The site has a total acreage of approximately \_\_\_\_\_ acres. Construction activity will disturb approximately \_\_\_\_\_ acres of the site.**

**D. 1) An estimated runoff coefficient of the site after construction activities are completed is \_\_\_\_\_.**  
**2) Existing data describing the soil or quality of air discharge from the site is located in \_\_\_\_\_.**

**E. Refer to Sheets \_\_\_\_\_ for a site plan indicating:**  
1) drainage patterns  
2) approximate slopes anticipated before and after major grading activities;  
3) locations where vehicles enter or exit the site and controls to minimize off-site sediment tracking;  
4) areas of soil disturbance;  
5) the location of major structural and nonstructural controls;  
6) the location of areas where stabilization practices are expected to occur;  
7) surface waters (including wetlands); and,  
8) locations where storm water is discharged to a surface water.

**F. 1) The name of the receiving water(s) is/are: \_\_\_\_\_**  
**2) The name of the ultimate receiving water is: \_\_\_\_\_**  
**3) The extent of wetland acreage at the site is: \_\_\_\_\_**  
**4) The extent of wetland fill acreage at the site is: \_\_\_\_\_**

**G. Potential sources of pollution associated with this construction activity may include:**

- sediment from disturbed soils
- portable sanitary stations
- fuel tanks
- staging areas
- waste containers
- chemical storage areas
- oil or other petroleum products
- ties
- tar
- solvents
- detergents
- fertilizers
- raw materials (e.g., bagged portland cement)
- construction debris
- landscape waste
- concrete and concrete trucks
- litter

**2. CONTROLS**

This section of the SESC Plan addresses the various controls that should be implemented for each of the major construction activities described in the "Site Description" section. For each measure identified in the SWPPP, the contractor(s) or subcontractor(s) that will implement the measure should be identified. All contractors and subcontractors that are identified should be required to sign a copy of the certification statement from Part IV.F. of the ILRII Permit (in accordance with Part VI.G., - Signatory Requirements, of the ILRII Permit). All signed certification statements should be maintained in the SWPPP.

**A. Approved State or Local Plans**

The management practices, controls and other provisions contained in the SWPPP should be at least as protective as the requirements contained in the Illinois Environmental Protection Agency's (IEPA) and the United States Department of Agriculture's Natural Resource Conservation Service Illinois Urban Manual, 2012. Requirements specified in sediment and erosion control site plans or site permits or storm water management site plans or site permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of a Notice of Intent (NOI) to be authorized to discharge under the ILRII permit, incorporated by reference and are enforceable under the ILRII permit even if they are not specifically included in a SWPPP required under the ILRII permit. This provision does not apply to provisions of master plans, comprehensive plans, non-enforceable guidelines or technical guidance documents that are not identified in a specific plan or permit that is issued for the construction site.

The soil erosion and sediment control measures for this site should meet the requirements of the following agencies:

- City of Franklin
- Wisconsin DNR

**B. Control Implementation Schedule**

Best Management Practices will be implemented on an as-needed basis to protect water quality. Perimeter controls of the site should be installed prior to soil disturbance (excluding soil disturbance necessary to install the controls) including demolition activities. Perimeter controls, including the silt fence, should be actively maintained until final stabilization of those portions of the site upward of the perimeter control. Stabilized construction entrances and sediment traps should be installed as described in the intended sequence of construction activities. The contractor is responsible for the adequate protection (including sediment control) of existing sewers and sewer structures during construction operations. As necessary, the appropriate sediment control measure should be installed prior to land disturbing activities.

Stabilization measures should be initiated where construction activities have temporarily or permanently ceased, in accordance with Local and State requirements, as described below. Once construction activity in an area has permanently ceased, that area should be permanently stabilized. Temporary perimeter controls should be removed after final stabilization of those portions of the site upward of the perimeter control.

**C. Erosion and Sediment Controls**

The appropriate soil erosion and sediment controls should be implemented on site and should be modified to reflect the current phase of construction. All temporary sediment and erosion control measures should be repaired or replaced as soon as practicable to maintain NPDES compliance. Permittee or an authorized agent is responsible for inspecting all sediment and erosion control measures at a minimum of every 7 calendar days and within 24 hours, or one working day, of the end of a 0.5-inch (or greater) rain event.

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices should be installed to the Standard Practice. The contractor is responsible for the installation of any additional erosion and sediment control measures necessary to minimize erosion and sedimentation as determined by the Engineer or Primary Contact.

1) Stabilization Practices - Areas that will not be paved or covered with non-erosive material should be stabilized using procedures in substantial conformance with the Illinois Urban Manual. This SESC Plan includes site-specific soil erosion and sediment control measures. Additional erosion controls should be implemented as necessary, as determined by the Engineer or Primary Contact.

The following temporary and permanent stabilization practices, at a minimum, are proposed:

- permanent seeding
- temporary seeding
- erosion control blanket

Site-specific scheduling of the implementation of these practices is included in the Soil Protection Chart. A record of the dates when major grading activities occur, when construction activities cease on a portion of the site, and when stabilization measures are initiated should be maintained in the SWPPP.

Stabilization of disturbed areas must be initiated within 1 working day of permanent or temporary cessation of earth activities and shall be as complete but not later than 14 days from the initialization of stabilization work in an area. Exceptions to these time frames are specified below.

a. Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable.

b. On areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method can be used. Temporary stabilization techniques and materials shall conform to the SWPPP.

2) Structural Practices - Provided below is a description of structural practices that should be implemented, to the degree attainable to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Structural practices should be placed on upland soils to the degree practicable. The installation of the following devices may be subject to Section 404 of the Clean Water Act:

- stabilized construction entrance
- silt fence
- turf reinforcement mat
- inlet baskets

**D. Storm Water Management**

Provided below is a description of measures that will be installed during the construction process to control the pollutants in storm water discharges that will occur after the construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.

1) The practices selected for implementation were determined on the basis of technical guidance contained in Wisconsin Construction Site BMP Handbook, Federal, State, and/or Local Requirements. The storm water management measures include:

- retention basins
- bioswales

2) Velocity dissipation devices, such as rip-rap aprons at flared end sections or level spreaders, shall be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a watercourse so that the natural, physical, and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydroperiod and hydrodynamics present prior to the initiation of construction activities).

**E. Waste Management**

Solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed of off site by the contractor. The contractor is responsible to acquire the permit required for such disposal. Burning on site will not be permitted. No solid materials, including building materials, shall be discharged to Waters of the State, except as authorized by a Section 404 permit. All waste materials should be collected and stored in approved receptacles. No wastes should be placed in any location other than in the approved containers appropriate for the materials being discarded. There should be no liquid wastes deposited into dumpsters or other containers which may leak. Receptacles with deficiencies should be replaced as soon as possible and the appropriate clean-up procedure should take place, if necessary. Construction waste material is not to be buried on site. Waste disposal should comply with all Local, State, and Federal regulations.

On-site hazardous material storage should be minimized and stored in labeled, separate receptacles from non-hazardous waste. All hazardous waste should be disposed of as mandated specified by Local or State regulation or by the manufacturer.

**F. Concrete Waste Management**

Concrete waste or washout should not be allowed in the street or allowed to reach a storm water drainage system or watercourse. When practicable, a sign should be posted at each location to identify the washout. To the extent practicable, concrete washout areas should be located a reasonable distance from a storm water drainage inlet or watercourse, and should be located at least 10 feet behind the curb. If the washout area is adjacent to a paved road, a stabilized entrance that meets Wisconsin Construction Site BMP Handbook standards should be installed at each washout area.

The containment facilities should be of sufficient volume to completely contain all liquid and concrete waste materials including enough capacity for anticipated levels of rainwater. The dried concrete waste material should be picked up and disposed of properly when it is no longer needed. Hardened concrete can be properly recycled and used again on site (as approved by the Engineer) or hauled off site to an appropriate landfill.

**G. Concrete Cutting**

Concrete waste management should be implemented to contain and dispose of saw-cutting slurries. Concrete cutting should not take place during or immediately after a rainfall event. Waste generated from concrete cutting should be cleaned-up and disposed into the concrete washout facility as described above.

**H. Vehicle Storage and Maintenance**

When not in use, construction vehicles should be stored in a designated area(s) outside of the regulatory floodplain, away from any natural or created watercourse, pond, drainage-way or storm drain. Controls should be installed to minimize the potential of runoff from the storage area(s) from reaching storm drains or water courses. Vehicle maintenance (including both routine maintenance as well as on-site repairs) should be made within a designated area(s) to prevent the migration of mechanical fluids (oil, antifreeze, etc.) into watercourses, wetlands or storm drains. Drip pans or absorbent pads should be used for all vehicle and equipment maintenance activities that involve grease, oil, solvents, or other vehicle fluids. Construction vehicles should be inspected frequently to identify any leaks; leaks should be repaired immediately or the vehicle should be removed from site. Dispose of all used oil, antifreeze, solvents and other vehicle-related chemicals in accordance with United States Environmental Protection Agency (USEPA) and WIDNR regulations and per Material Safety Data Sheet (MSDS) and/or manufacturer instructions. Contractors should immediately report spills to the Primary Contact.

**I. Material Storage and Good Housekeeping**

Materials and/or contaminants should be stored in a manner that minimizes the potential to discharge into storm drains or watercourses. An on-site area should be designated for material delivery and storage. All materials kept on site should be stored in their original containers with legible labels, and if possible, under a roof or other enclosure. Labels should be replaced if damaged or difficult to read. Bermed-off storage areas are an acceptable control measure to prevent contamination of storm water. MSDS should be available for referencing clean-up procedures. Any release of chemicals/contaminants should be immediately cleaned up and disposed of properly. Contractors should immediately report all spills to the Primary Contact, who should notify the appropriate agencies, if needed.

To reduce the risks associated with hazardous materials on site, hazardous products should be kept in original containers unless they are not re-sealable. The original labels and MSDS should be retained and all other material on site should be stored in accordance with manufacturer or MSDS specifications. When disposing of hazardous materials, follow manufacturer or Local and State recommended methods.

The following good housekeeping practices should be followed on site during the construction project:

- An effort should be made to store only enough product required to do the job.
- All materials stored on site should be stored in a neat, orderly manner in their appropriate containers and adequately protected from the environment.
- Products should be kept in their original containers with the original manufacturer's label.
- Substances should not be mixed with one another unless recommended by the manufacturer.
- Operations should be observed as necessary to ensure proper use and disposal of materials on site.
- Whenever possible, all of a product should be used up before disposing of the container.
- Manufacturer's recommendations for proper use and disposal should be followed.

**J. Management of Portable Sanitary Stations**

To the extent practicable, portable sanitary stations should be located in an area that does not drain to any protected natural areas, Waters of the State, or storm water structures and should be anchored to the ground to prevent from tipping over. Portable sanitary stations located on impervious surfaces should be placed on top of a secondary containment device, or be surrounded by a control device (e.g., gravel-bag berm). The contractor should not create or allow unsanitary conditions. Sanitary waste should be disposed of in accordance with applicable State and/or Local regulations.

**K. Spill Prevention and Clean-Up Procedures**

Manufacturer's recommended methods for spill clean-up should be available and site personnel should be made aware of the procedures and the location of the information and clean-up supplies. Materials and equipment necessary for spill clean-up should be kept in the material storage area on site. Equipment and materials should include, but are not limited to, brooms, dust pans, mops, rags, gloves, goggles, kitty litter, sand, sawdust and plastic and/or metal trash containers specifically for this purpose. Discharges of a hazardous substance or oil caused by a spill (e.g., a spill of oil into a separate storm sewer or Waters of the State) are not authorized by the NPDES permit. If a spill occurs, notify the Primary Contact immediately. The construction site should have the capacity to contain, and remove spills, if they occur. Spills should be cleaned up immediately (after discovery) in accordance with MSDS and should not be buried on site or washed into storm sewer drainage inlets, drainage-ways, or Waters of the State.

Spills in excess of Federal Reportable Quantities (as established under 40 CFR Parts 110, 117, or 302), should be reported to the National Response Center by calling (800) 424-8802. MSDS often include information on Federal Reportable Quantities for materials. Spills of toxic or hazardous materials should be reported to the appropriate State or Local government agency, as required. When cleaning up a spill, the area should be kept well ventilated and appropriate personal protective equipment should be used to minimize injury from contact with a hazardous substance.

In addition to the good housekeeping and other management practices discussed in the previous sections of these Notes, the following minimum practices should be followed to reduce the risk of spills:

- On-site vehicles should be monitored for leaks and should receive regular preventative maintenance to reduce the chance of leakage.
- Petroleum products should be stored in tightly sealed and clearly labeled containers.
- Contractors should follow the manufacturer's recommendations for proper use, storage, and disposal of materials. Excess materials should be disposed of according to the manufacturer's instructions or State and Local regulations, and should not be discharged to the storm sewer or waterway.

**L. De-Watering Operations**

During de-watering/pumping operations, only uncontaminated water should be allowed to discharge to protected natural areas. Waters of the State or to a storm sewer system (in accordance with Local permits). Inlet hoses should be placed in a stabilized sump pit or floated at the surface of the water in order to limit the amount of sediment intake. Pumping operations may be discharged to a stabilized area that consists of an energy dissipating device (e.g., stone), sediment filter bag, or both. Adequate erosion controls should be used during de-watering operations as necessary. Stabilized conveyance channels should be installed to direct water to the desired location as applicable. Additional control measures may be installed at the outlet area at the discretion of the Primary Contact or Engineer.

**M. Off-Site Vehicle Tracking**

The site should have one or more stabilized construction entrances in conformance with the Plan details. Stabilized construction entrance(s) should be installed to help reduce vehicle tracking of sediments. Streets should be swept as needed to reduce excess sediment, dirt, or stone tracked from the site. Maintenance may include top dressing the stabilized entrance with additional stone and removing top layers of stone and sediment, as needed. Vehicles hauling erodible material to and from the construction site should be covered with a tarp.

**N. Topsoil Stockpile Management**

If topsoil is to be stockpiled at the site, select a location so that it will not erode, block drainage, or interfere with work on site. Topsoil stockpiles should not be located in the 100-year floodplain or designated buffer protecting Waters of the State. During construction of the project, soil stockpiles should be stabilized or protected with sediment trapping measures. Perimeter controls, such as silt fence, should be placed around the stockpile immediately. Stabilization of the stockpile should be completed if the stockpile is to remain undisturbed for longer than fourteen days.

**O. Dust Control**

Dust control should be implemented on site as necessary. Repetitive treatment should be applied as needed to accomplish control when temporary dust controls are used. A water truck should be present on site (or available) for sprinkling/irrigation to limit the amount of dust leaving the site. Watering should be applied daily (or more frequently) to be effective. Caution should be used not to overwater, as that may cause erosion.

If field observations indicate that additional protection from wind erosion (in addition to, or in place of watering) is necessary, alternative dust suppressant controls should be implemented at the discretion and approval of the Engineer and/or Primary Contact.

Street cleaning should also be used as necessary to control dust. Paved areas that have soil on them from the construction site should be cleaned as needed, utilizing a street sweeper or bucket-type endloader or scraper at the direction of the Engineer and/or Primary Contact.

**3. MAINTENANCE**

Maintenance of the controls incorporated into this project should be performed as needed to assure their continued effectiveness. This includes prompt and effective repair and/or replacement of deficient control measures. The following is a description of procedures that should be used to maintain, in good and effective operating condition, erosion and sediment control measures and other protective measures identified in the SESC Plan and Standard Specifications.

Dust control: When temporary dust control measures are used, repetitive treatment should be applied as needed to accomplish control.

Sediment filter bags: Sediment filter bags should be installed on pump outlet hoses that discharge off site or to sensitive on-site areas, and should be placed in an area that allows for the bag to be removed without producing a sediment discharge. The bags should be inspected frequently and repaired or replaced as needed.

Silt fence: Silt fences should be inspected regularly for undercutting where the fence meets the ground, overlapping, and tears along the length of the fence. Deficiencies should be repaired immediately. Remove accumulated sediments from the fence base when the sediment reaches one-half the fence height. During final stabilization, properly dispose of any sediment that has accumulated on the silt fence. Alternative sediment control measures should be considered for areas where silt fence continually fails.

Stabilized construction entrance: The stabilized construction entrances should be maintained to prevent tracking of sediment onto public streets. Maintenance includes top dressing with additional stone and removing top layers of stone and sediment. The sediment tracked onto the public right-of-way should be removed immediately.

Temporary sediment traps: Temporary sediment traps should be inspected after each period of significant rainfall. Remove sediment and restore the trap to its original dimensions when the sediment has accumulated to one-half design depth of the permanent pool. Place the sediment that is removed in a designated disposal area. Check the structure for damage from erosion or piping. After all sediment-producing areas have been permanently stabilized, remove the structure and all unstable sediment. Grade the area to blend with the adjoining areas and stabilize properly.

**4. INSPECTIONS**

The Permittee (or their authorized representative) will be responsible for conducting site inspections in compliance with the NPDES Permit. After each inspection, a report should be prepared by the qualified personnel who performed the inspection. The inspection report should be maintained on site as part of the SWPPP.

Inspections should be conducted at least once every seven calendar days and within 24 hours or by the end of the following work day, of the end of a storm event that is 0.5 inches or greater, or equivalent snowfall.

Inspections may be reduced to once per month when construction activities have ceased due to frozen conditions. Weekly inspections will resume when construction activities are conducted, or if there is 0.5" or greater rain event, or a discharge due to snowmelt occurs.

Each inspection should include the following components:

A. Disturbed areas and areas used for the storage of materials that are exposed to pre-precipitation should be inspected for evidence of, or the potential for, pollutants entering the drainage system. The erosion and sediment control measures identified in the SWPPP should be observed to ensure that they have been installed and are being maintained correctly. Where discharge points are accessible, they should be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to the receiving waters. Locations where vehicles enter or exit the site should be inspected for off-site sediment tracking. All pumping operations and other potential non-storm water discharge sources should also be inspected.

B. Based on the results of the inspection, the description of potential pollutant sources identified, and the pollution prevention measures described in the SWPPP should be revised, as appropriate, as soon as practicable after the inspection. The modifications, if any, shall provide for timely implementation of any changes to the SWPPP within 7 calendar days following the inspection.

C. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the SWPPP, and actions taken in accordance with paragraph B. above should be made and retained as part of the SWPPP for at least three years from the date that permit coverage expires or is terminated. The report shall be signed in accordance with Part VI.G. (Signatory Requirements) of the ILRII NPDES Permit.

D. The Permittee shall notify the appropriate agency field operations section office by e-mail, telephone or fax within 24 hours of any incidence of non-compliance for any violation of the storm water pollution prevention plan observed during any inspection conducted or for violation of any condition of this permit. The Permittee should complete and submit within 5 days an "Incidence of Non-Compliance" (INM) report for any violation of the SWPPP observed during an inspection conducted, including those not required by the SWPPP. Submission should be on forms provided by WIDNR and include specific information on the cause of non-compliance, actions which were taken to prevent any further causes of non-compliance, and a statement detailing any environmental impact, which may have resulted from the non-compliance.

E. All reports of non-compliance shall be signed by a responsible authority as defined in the NPDES Permit.

F. After the initial contact has been made within the appropriate agency field operations section office, all reports of non-compliance shall be mailed to WIDNR.

**5. NON-STORM WATER DISCHARGES**

Except for flows from fire fighting activities, possible sources of non-storm water that may be combined with storm water discharges associated with the proposed activity, are described below.

- Fire fighting activities
- Fire hydrant flushings
- Water used to wash vehicles where detergents are not used
- Water used to control dust
- Landscape irrigation drainages
- Routine external building washdown which does not use detergents
- Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless spilled materials have been removed) and where detergents have not been used
- Uncontaminated air conditioning condensate
- Springs
- Irrigation ditches
- Uncontaminated ground water
- Foundation or footing drains where flows are not contaminated with process materials such as solvents

Pollution prevention measures should be implemented for non-storm water components of the discharge.

**6. PROHIBITED NON-STORMWATER DISCHARGES**

- Concrete and wastewater from washout of concrete (unless managed by an appropriate control)
- Drywall compound
- Wastewater from washout and cleanout of stucco, paint
- Form release oils
- Curing compounds and other construction materials
- Fuels, oils, or other pollutants used in vehicle or equipment operation and maintenance
- Soaps, solvents, or detergents
- Toxic or hazardous substances from a spill or other release
- Any other pollutant that could cause or tend to cause water pollution

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A									
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C			D						
SODDING			E**									
MULCHING	F											

A KENTUCKY BLUEGRASS 80 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.  
B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + STRAW MULCH 2 TONS/ACRE.  
C SPRING OATS 100 LBS/ACRE  
D WHEAT OR CEREAL RYE 150 LBS/ACRE.  
E SOD  
F STRAW MULCH 2 TONS/ACRE.

\* IRRIGATION NEEDED DURING JUNE AND JULY.  
\*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

**SOIL PROTECTION CHART**

NO.	DATE	REMARKS

NO.	DATE	REMARKS

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**WHITNALL POINTE CLUBHOUSE**  
10590 W. CORTEZ CIRCLE  
FRANKLIN, WISCONSIN

**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
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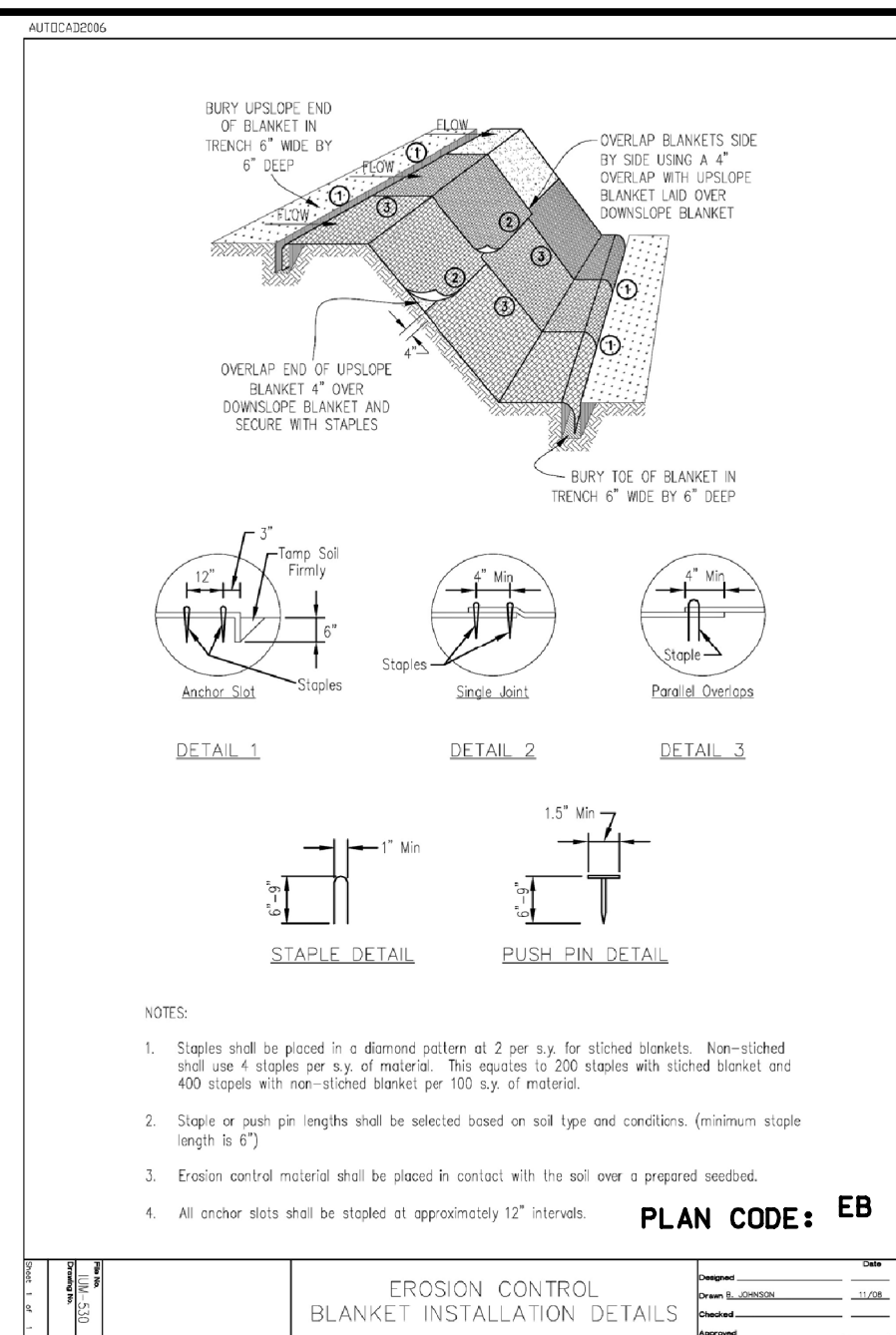
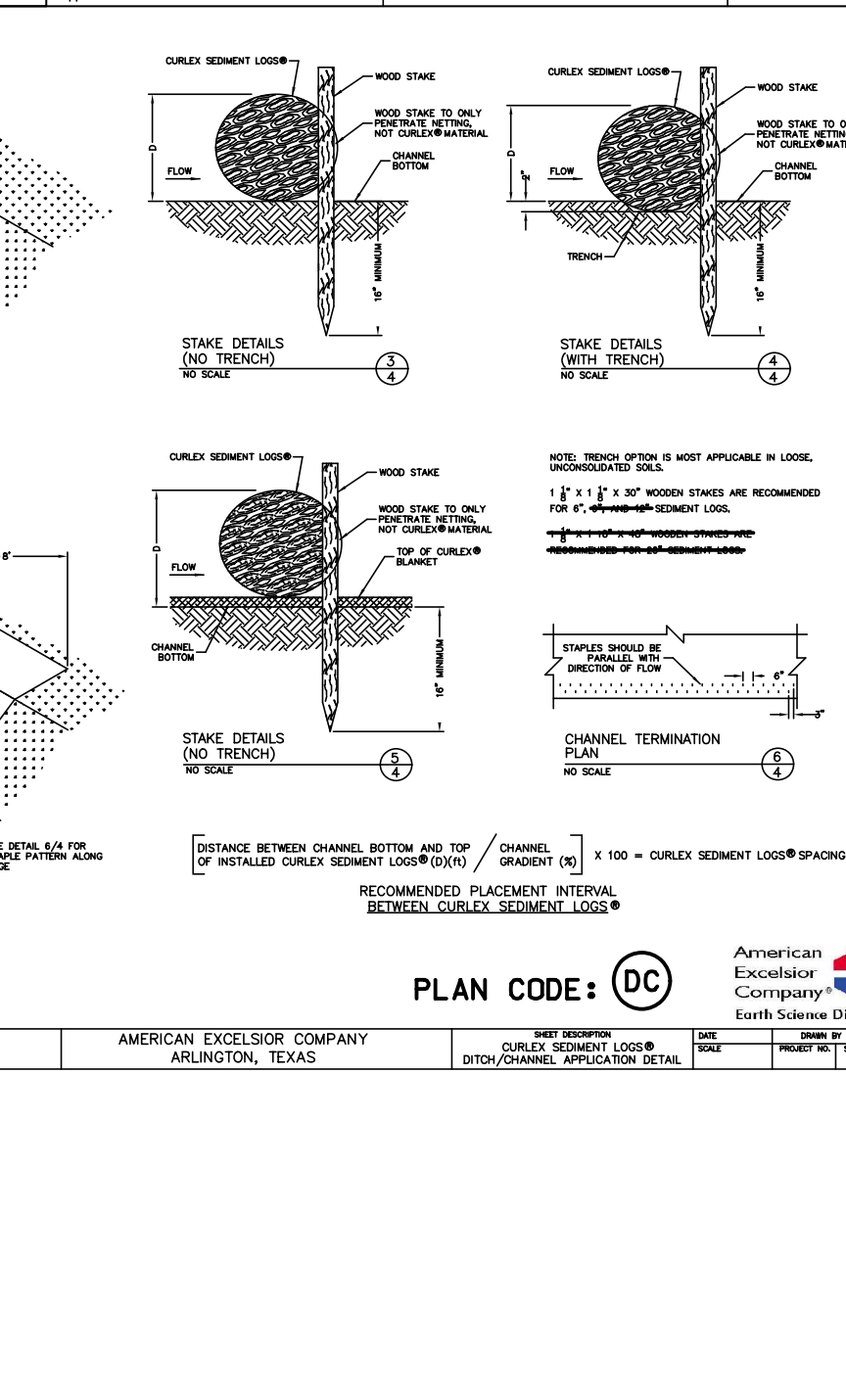
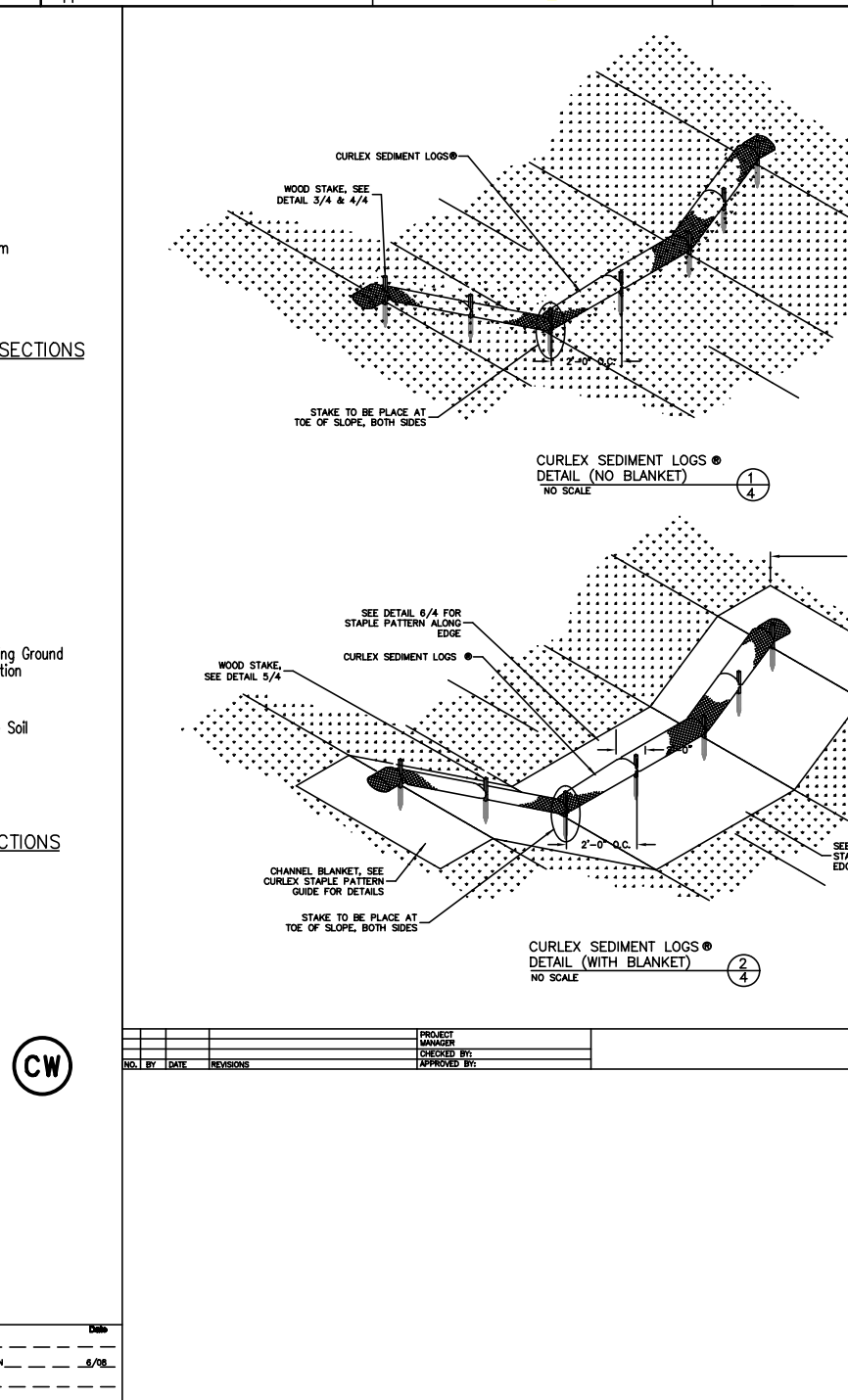
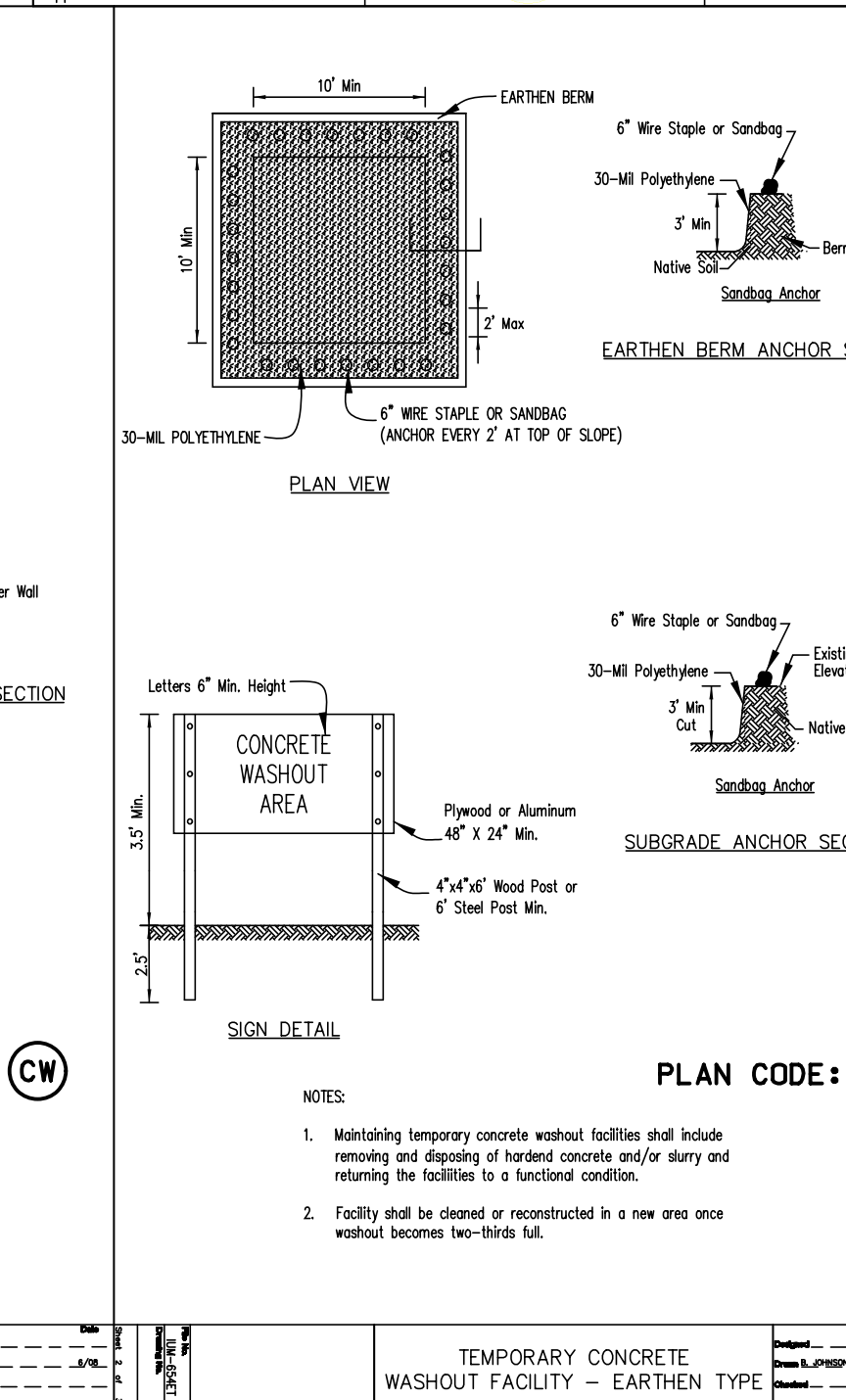
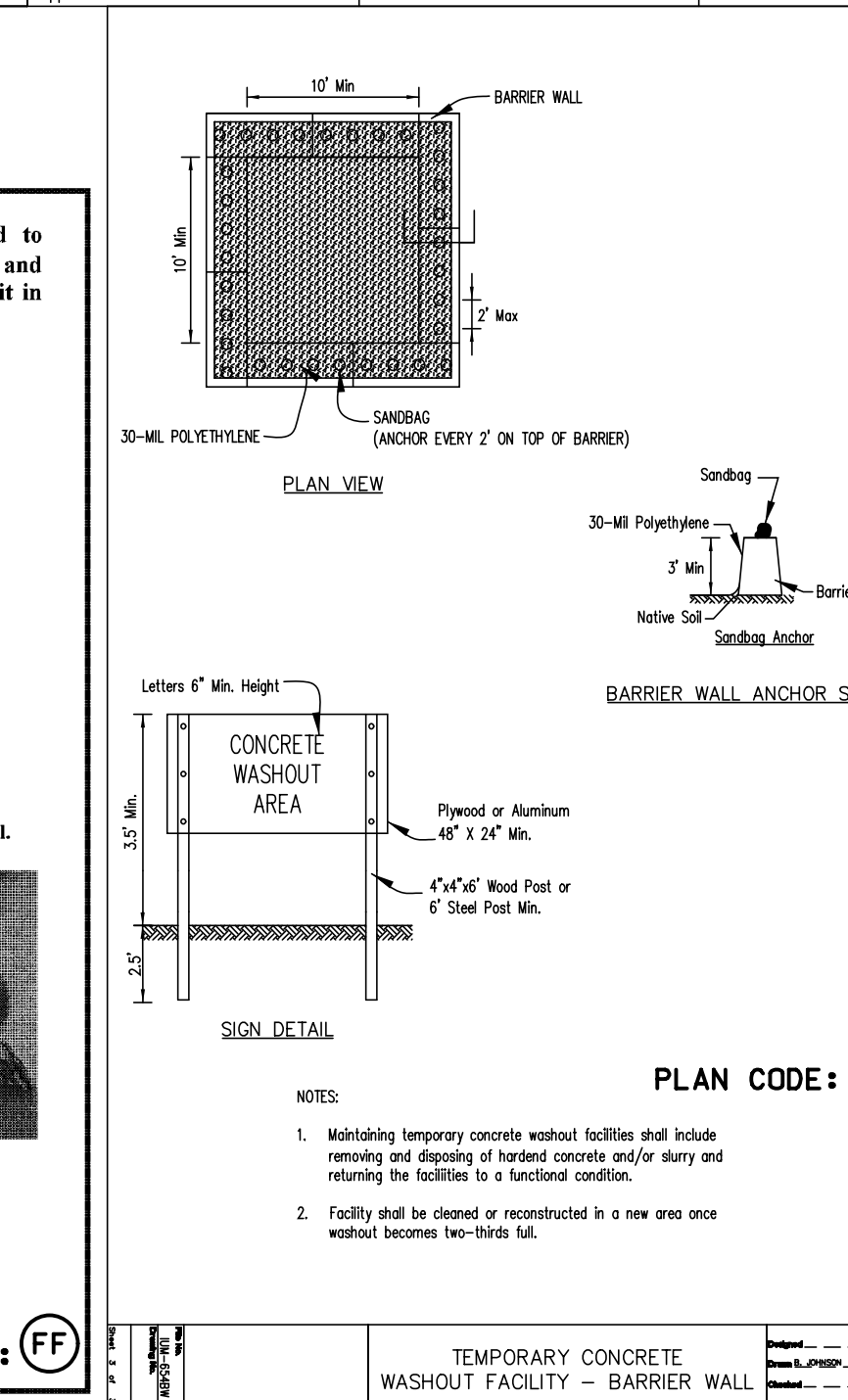
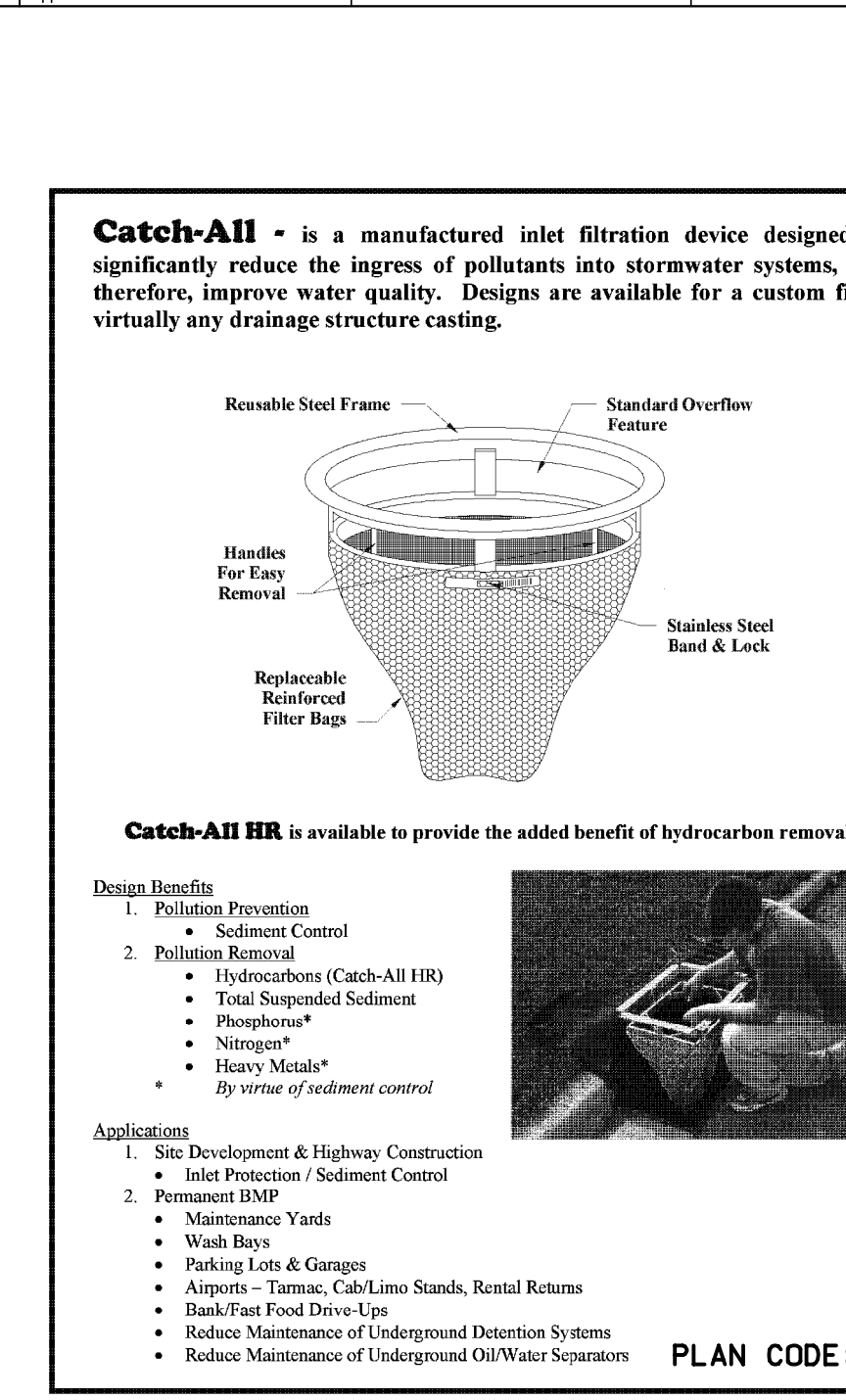
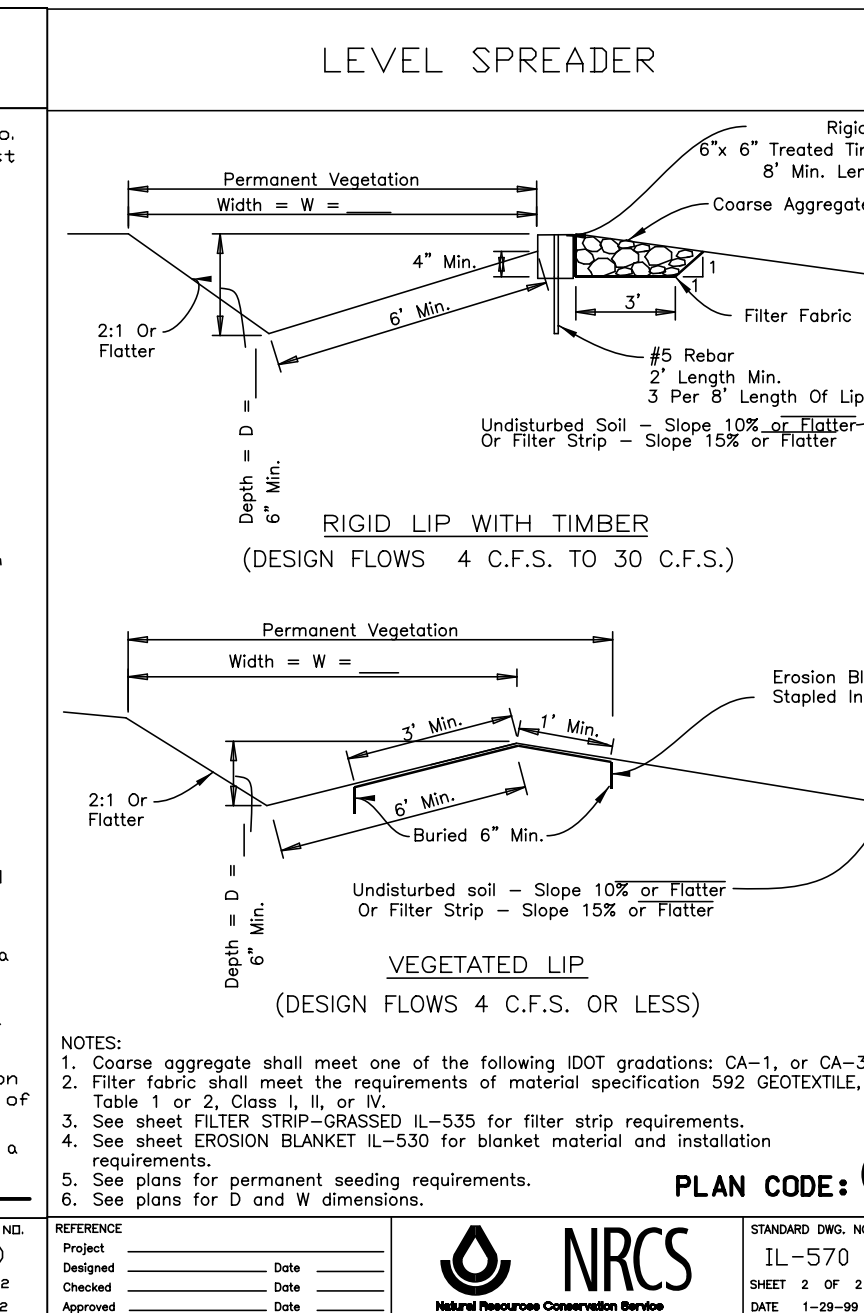
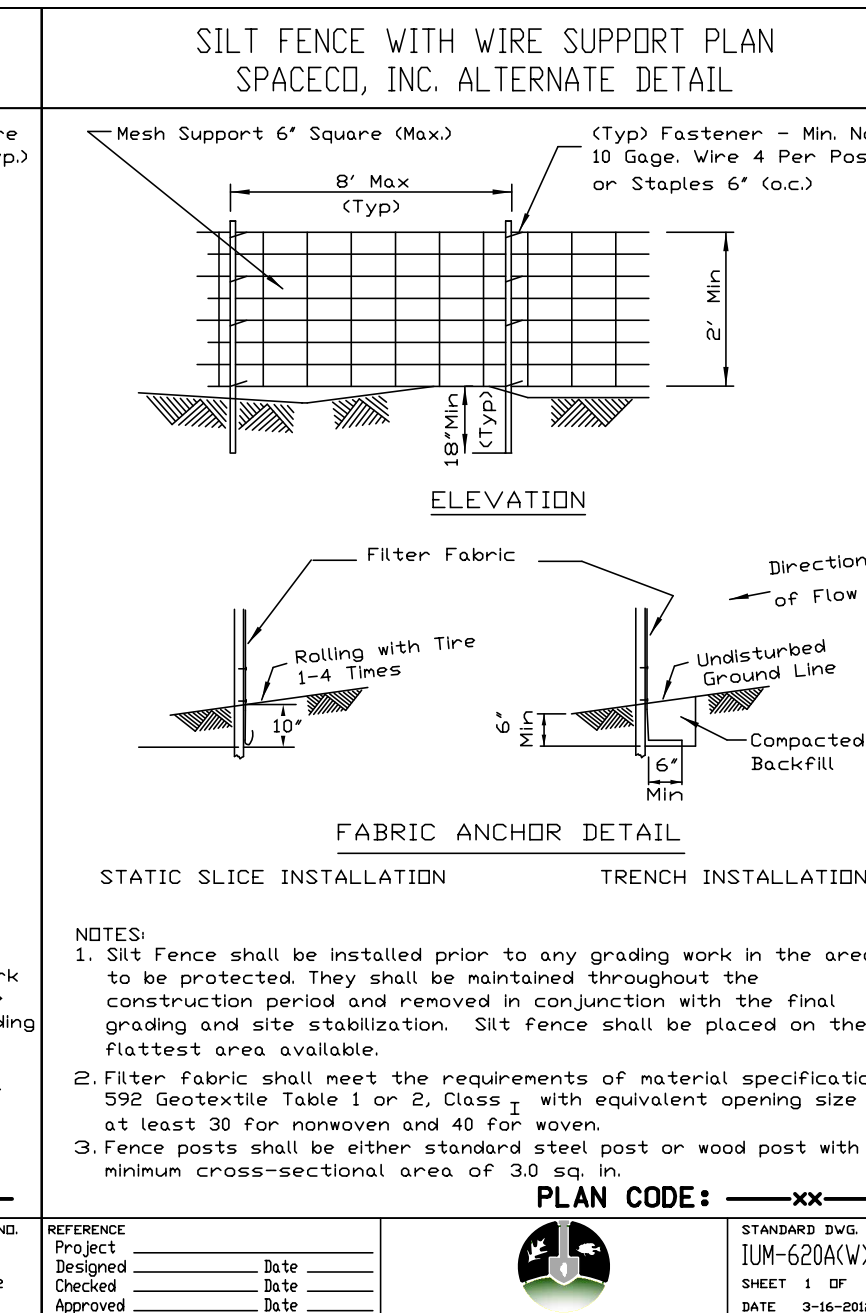
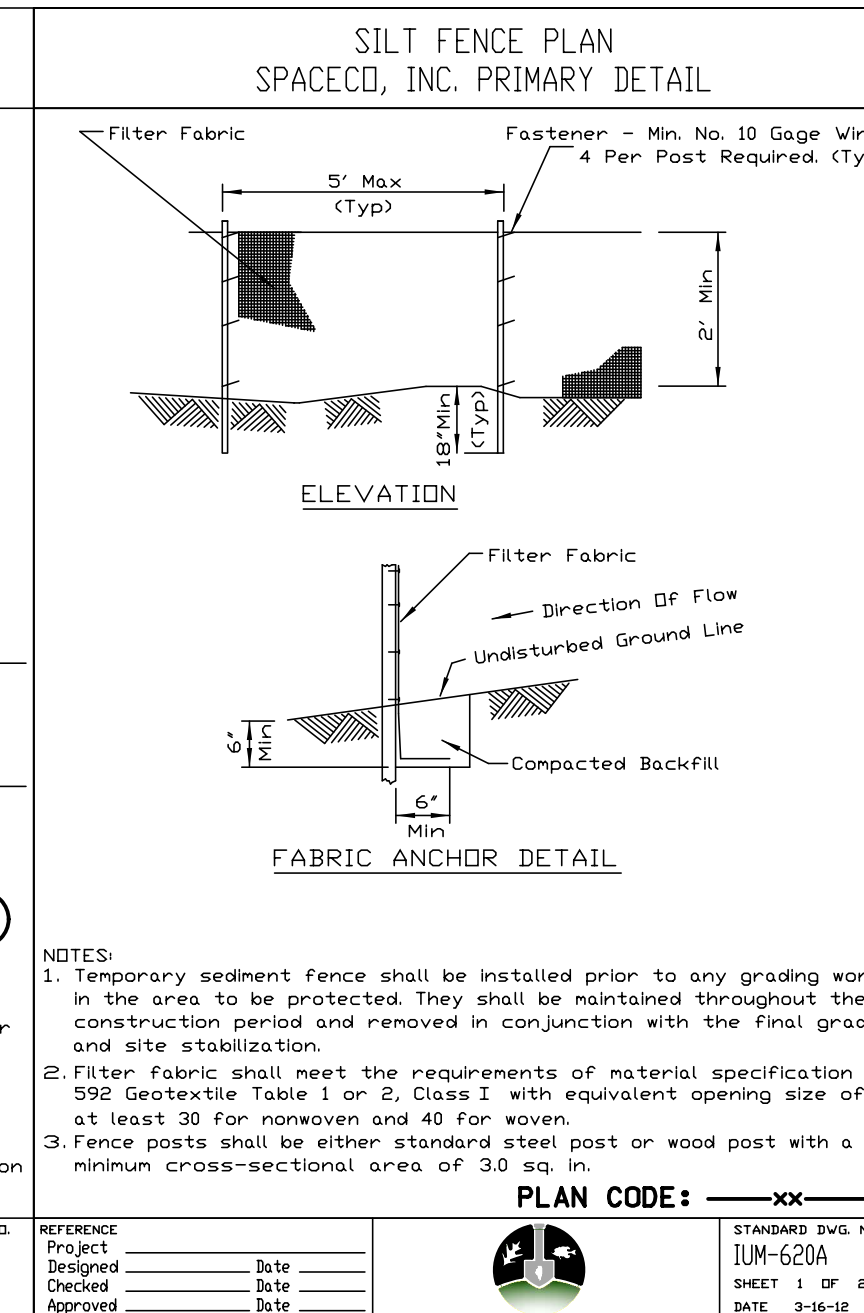
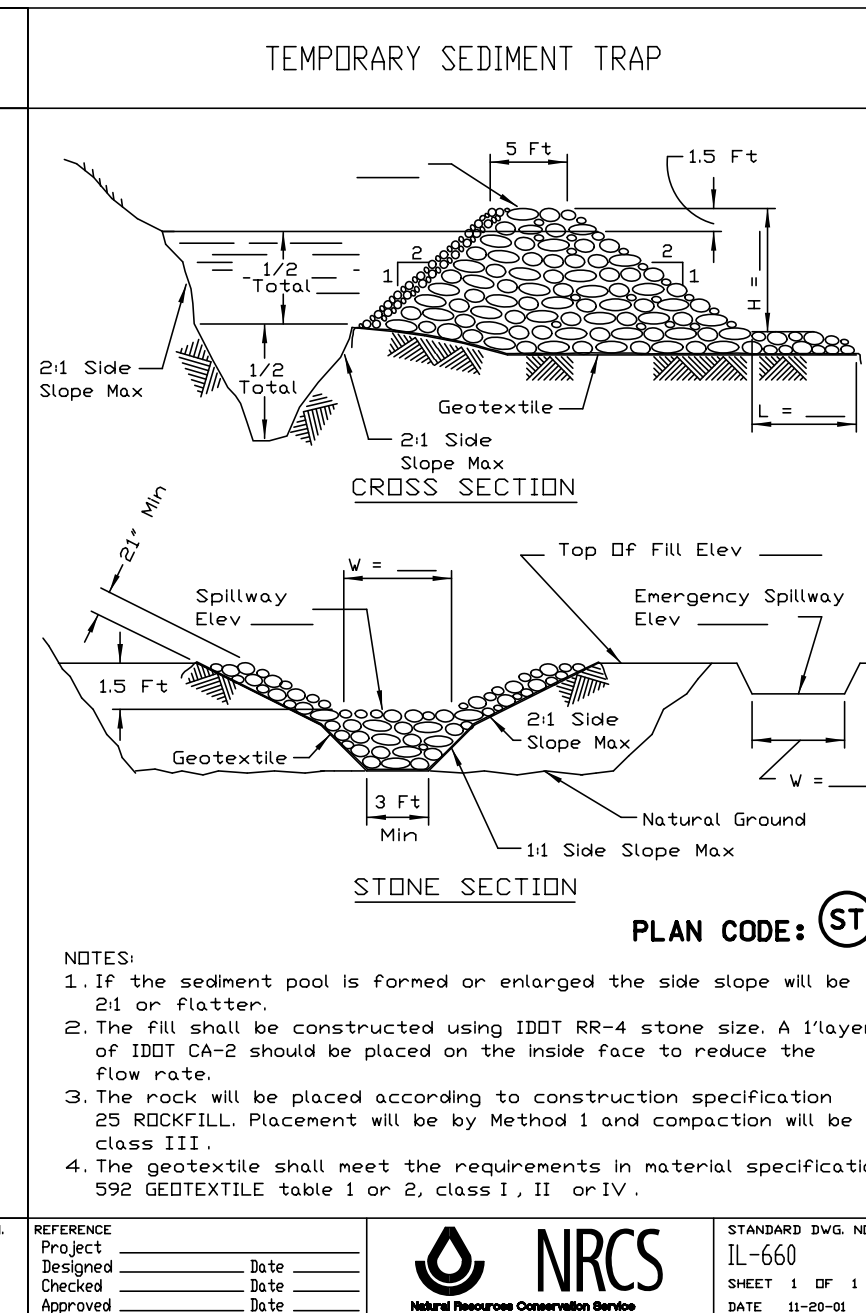
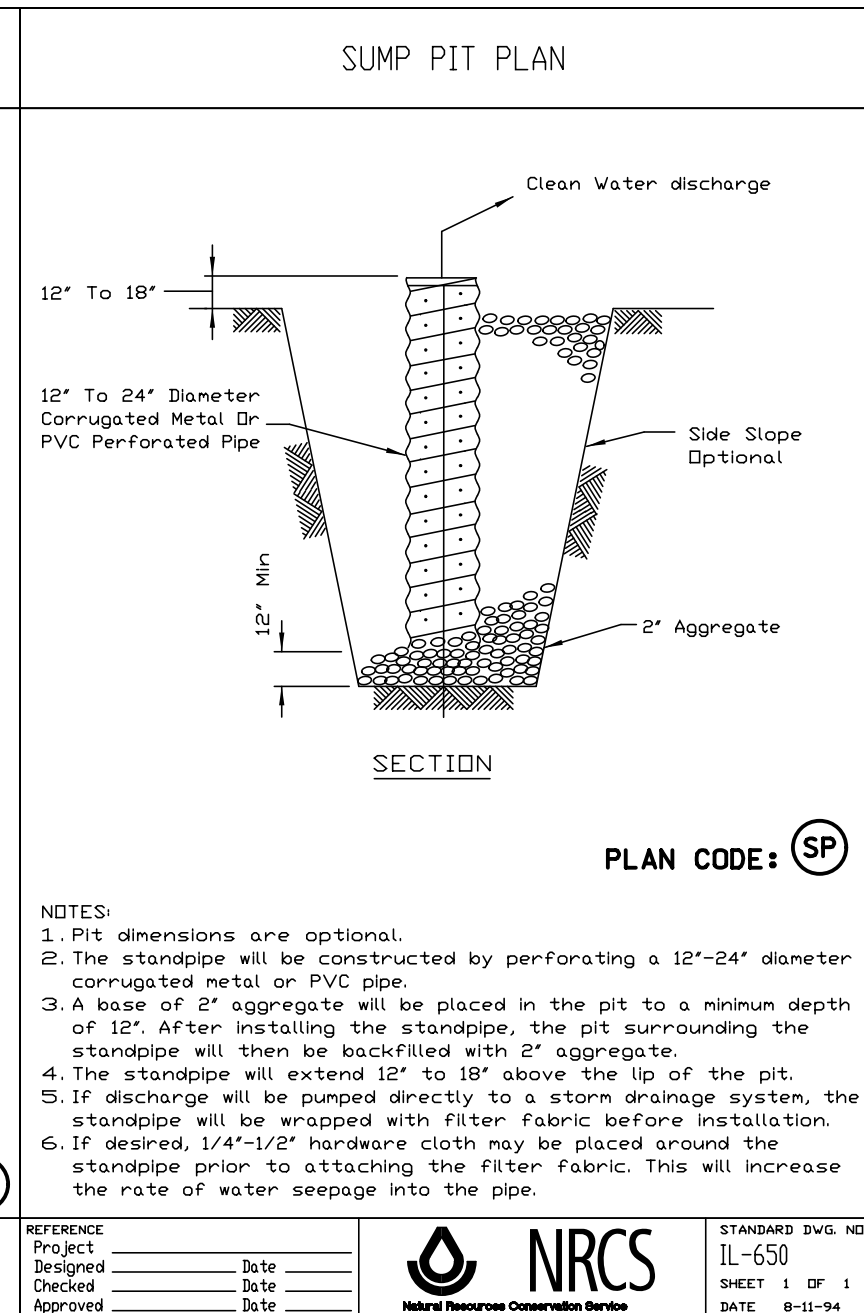
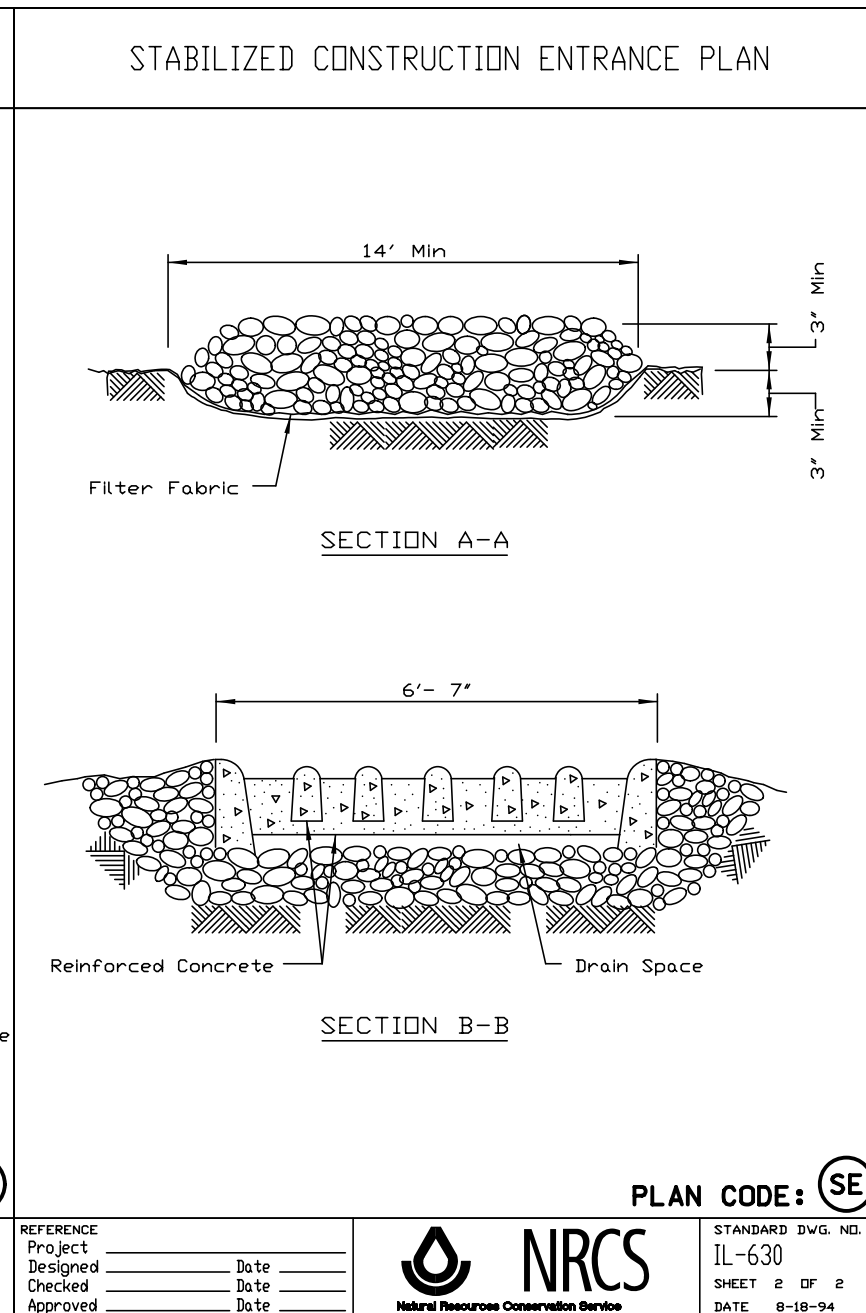
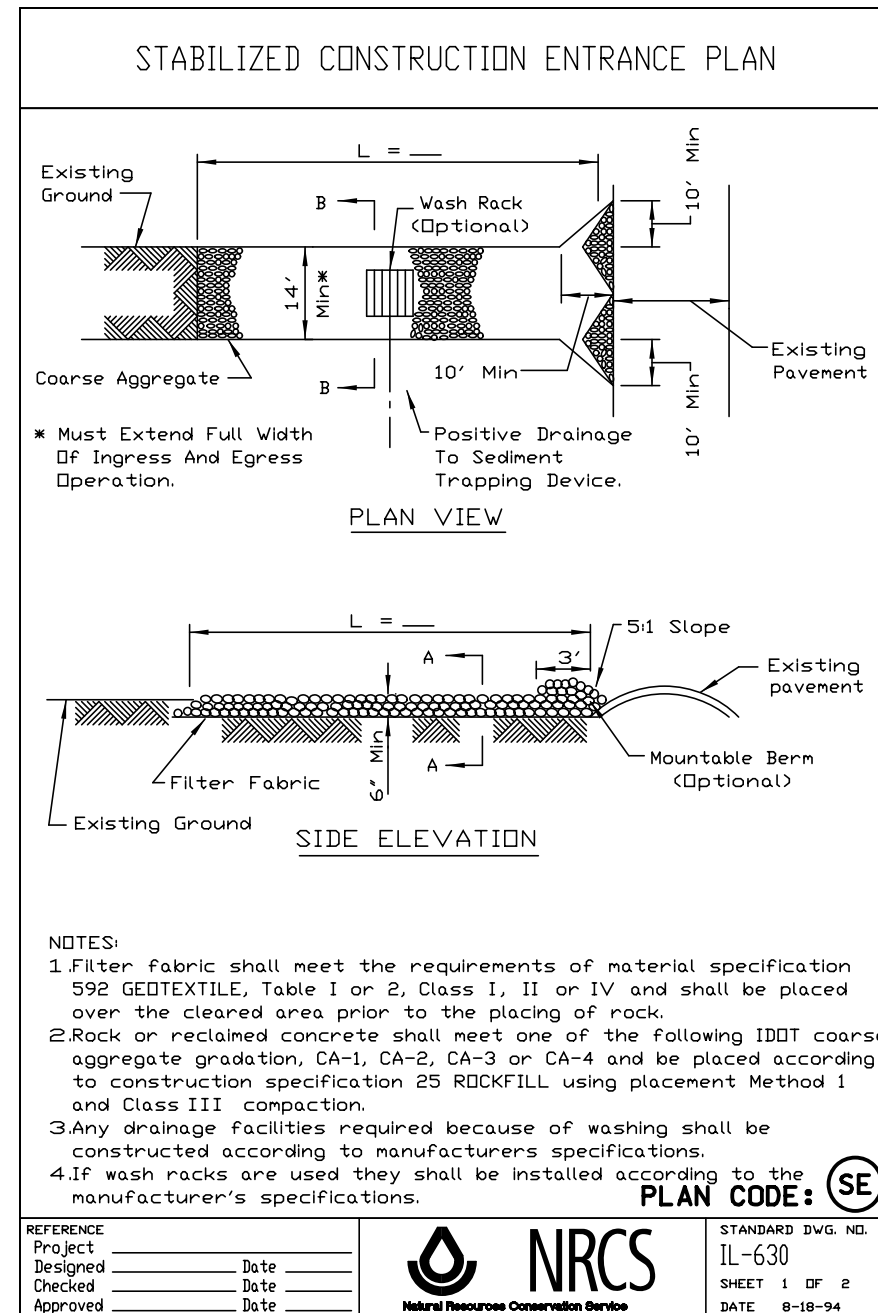
**SPACECO INC.**

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11228SE01

DATE:  
06/11/21

JOB NO.  
11228

SHEET  
**SE1**  
7 OF 10



**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**WHITNALL POINTE CLUBHOUSE**  
10590 W. CORTEZ CIRCLE  
FRANKLIN, WISCONSIN

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**SPACECO INC.**

FILENAME: 11228SE02  
DATE: 06/11/21  
JOB NO. 11228  
SHEET SE2  
8 OF 10



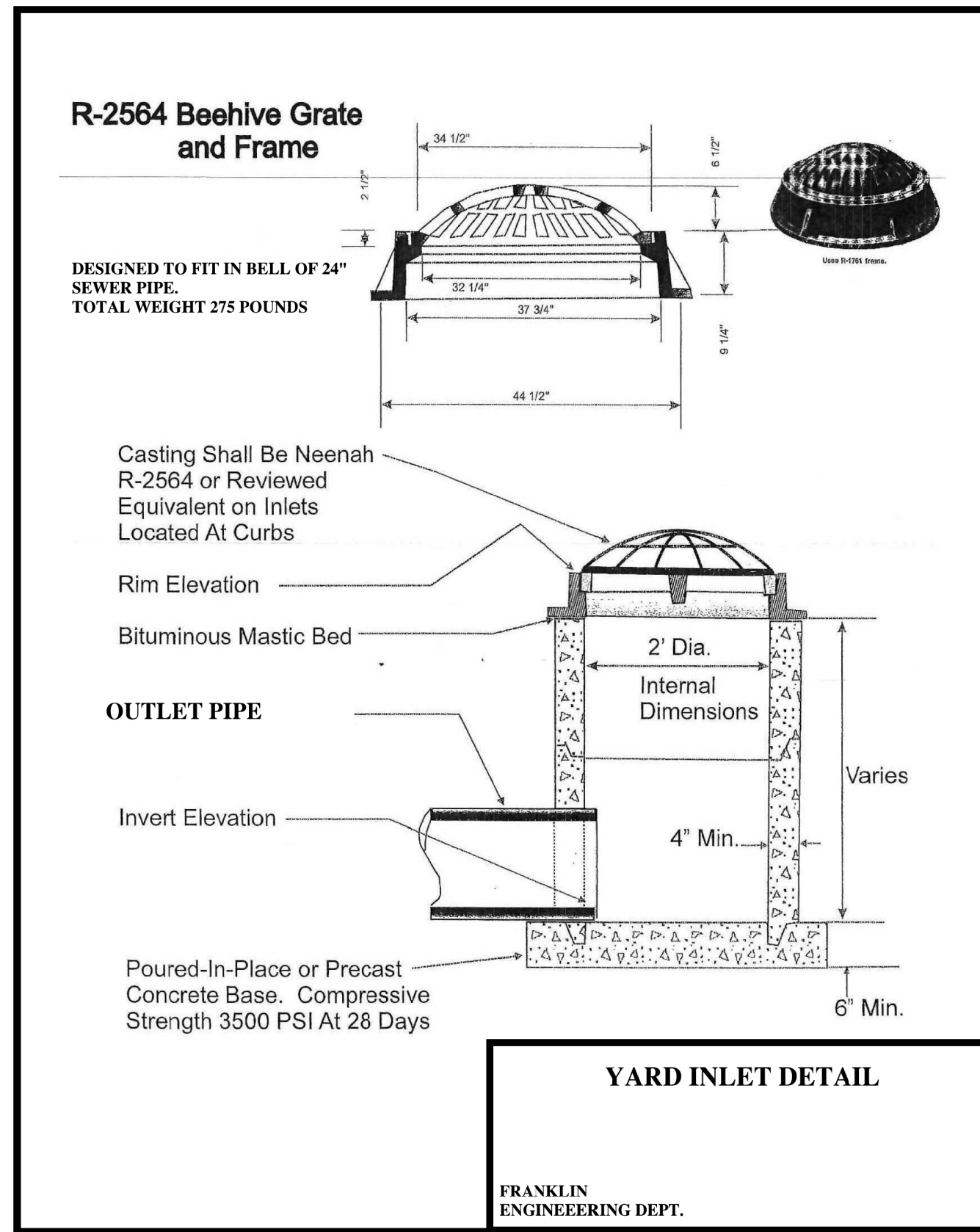


FIGURE 33

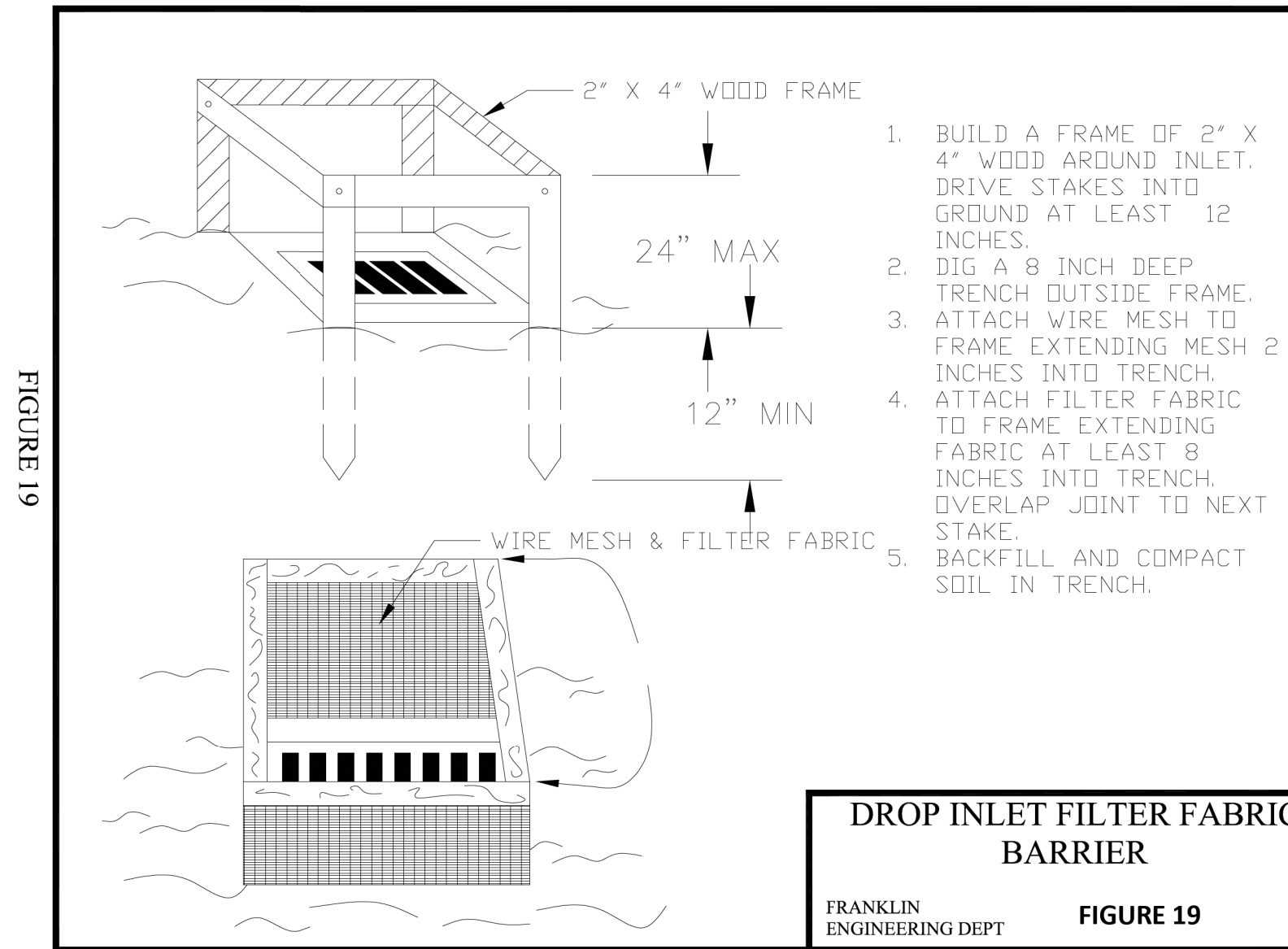


FIGURE 19

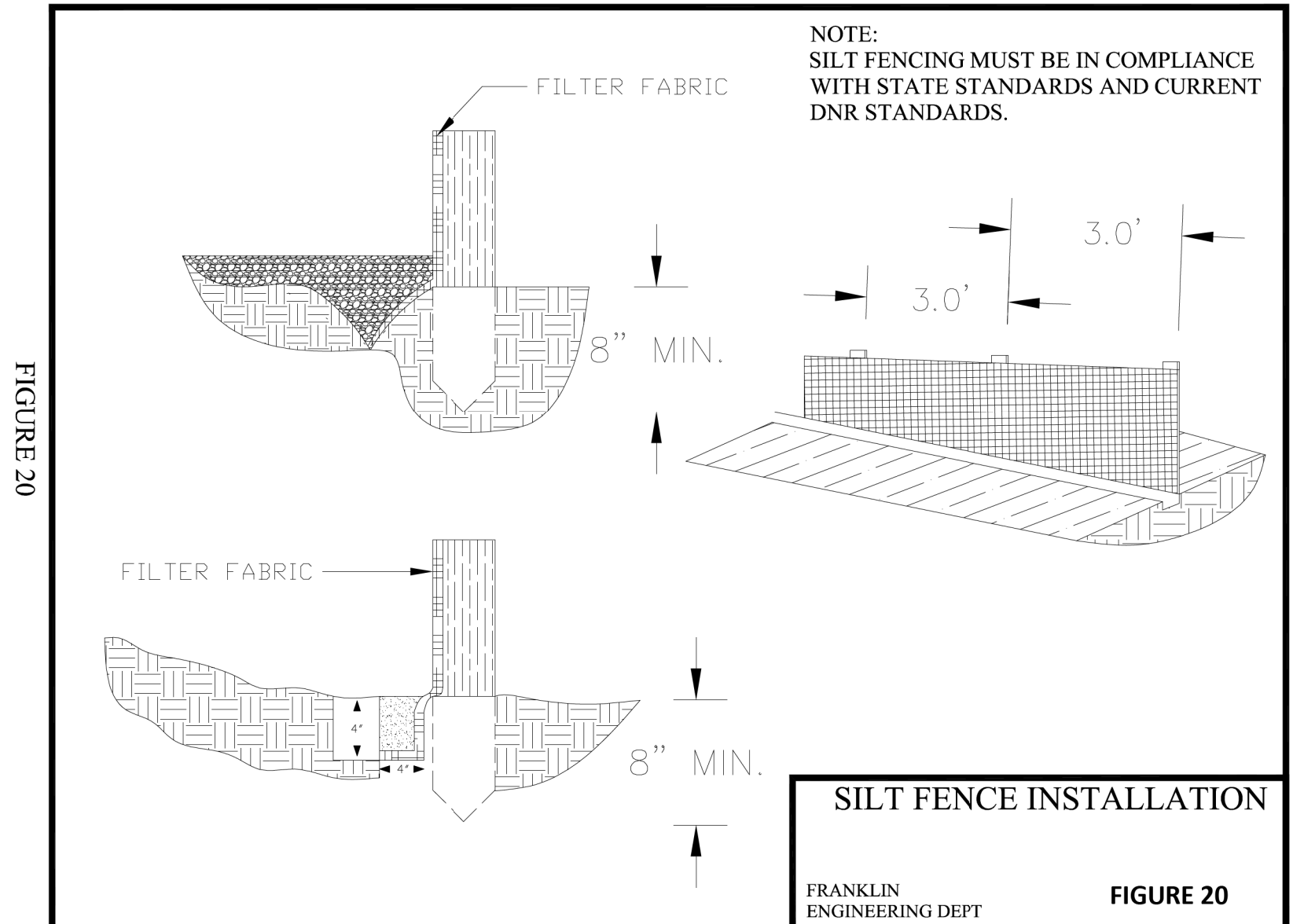


FIGURE 20

DETAILS

**WHITNALL POINTE CLUBHOUSE**  
10590 W. CORTEZ CIRCLE  
FRANKLIN, WISCONSIN

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FILENAME:  
11228DET01

DATE:  
06/11/21

JOB NO.  
11228

SHEET  
**D1**