

CITY OF FRANKLIN  
PLAN COMMISSION MEETING\*  
FRANKLIN CITY HALL COUNCIL CHAMBERS  
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN  
AGENDA  
THURSDAY, SEPTEMBER 23, 2021, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of September 9, 2021.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **PAYNE & DOLAN, INC. QUARRY RECLAMATION PLAN.** Payne & Dolan, Inc., property owner. A Nonmetallic Mining Reclamation Plan and the issuance of a Nonmetallic Mining Reclamation Permit for the Franklin Aggregates Quarry site. The purpose of the Reclamation Plan is to describe the activities necessary to reclaim the Franklin Aggregates Quarry site to a condition whereby future development is feasible after completion of mineral extraction activities. The Franklin Aggregates Quarry is an active limestone quarry to be continued on the site until completion of the mineral extraction activities. Reclamation is an on-going process during mineral extraction, with a majority of the reclamation being completed during active mineral extraction. Final reclamation will consist of reclaiming the quarry perimeter upon completion of the mineral extraction activities. Approximately 75 acres will need to be reclaimed and the remaining 250 acres will become a lake. The proposed land use to which this site will be reclaimed is Green/Open Space. Reclamation of the site will include the 250 acre lake with restored slopes and rock faces surrounding the lake. The stockpiled topsoil and other overburden materials will be placed over the reclaimed areas surrounding the lake, graded to conform with the surrounding land and seeded. The necessary topsoil and overburden are to be re-distributed across the parcel and fine graded to present a uniform appearance. Reclaimed slopes will be seeded upon completion of the fine grading. This proposed land use (outside of the envisioned lake) is to be considered a temporary use. The final end use for the reclaimed site is not being proposed at this time. The ultimate land development and end use (beyond grading, vegetation and other requirements detailed in the Plan) will be subject to future land use requirements. No final end-use development proposals shall be implemented prior to submission of detailed end-use plans pursuant to then applicable City of Franklin ordinance requirements, and the granting of detailed zoning and land use approvals in accordance with such applicable

ordinance requirements. The site of the proposed Reclamation Plan is upon property zoned Planned Development District No. 23 (Limestone Quarry and Mixed Use) and Planned Development District No. 24 (Limestone Quarry and Mixed Use), 5335 West Rawson Avenue, Franklin, Wisconsin 53132, located within the approximate boundaries of West Rawson Avenue on the north, West Drexel Avenue on the south, South 51st Street on the east and South 68th Street on the west. The properties which are the subject of the application bear Tax Key Nos. (all or portions of parcels) 758 9985 000, 758 9987 002, 758 9994 000, 758 9995 002, 758 9997 000, 758 9998 001, 758 9999 000, 789 9990 001, 789 9992 000, 789 9993 000, 789 9994 000, 789 9995 001, 789 9991 003, 790 9993 000, 757 9999 000, 757 9973 001, 757 9974 000, 757 9974 000, 757 9972 001, 757 9971 001, 757 9970 001, 757 9969 001, 758 9993 000, 758 9992 000 and 758 9991 000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **BOSCH PROPERTY LAND DIVISION.** Certified Survey Map application in conjunction with a Land Division Variance application, by Dorothy Bosch Common Trust, applicant and property owner, to split an approximately 80 acre lot into two separate lots (to provide the current property owner the option to sell the existing farmhouse in the future and to also retain a large track of land for current and future use), Lot 1 being vacant of structures and having an area of 74.96 acres with a lot width of 1,006 feet along South 92nd Street, and Lot 2 containing the existing structures (house, barn, silo and other accessory structures) and having an area of 4 acres and a lot width of 319.5 feet along the same roadway (1.21 acres is dedicated for South 92nd Street right-of-way), and this Certified Survey Map requires a land division variance to allow for the creation of Lot 2 with an area of 4 acres, while the minimum lot area in the A-2 Prime Agricultural District is 35 acres, per Unified Development Ordinance Table 15-3.0315, property located at 10757 South 92nd Street, zoned A-2 Prime Agricultural District, FW Floodway District and C-1 Conservancy District; Tax Key No. 986-9997-000.
2. **PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) SLEEP INN & MAINSTAY SUITES HOTEL CONSTRUCTION.** Site Plan application by Michael E. Zimmerman, BPC County Land, LLC (BPC County Land, LLC property owner), to allow for the construction of a dual branded Sleep Inn & MainStay Suites Hotel with 98 rooms, 47 conventional hotel rooms branded as Sleep Inn and 51 MainStay Suites rooms for extended stay, the proposed site improvements including the following: 4-story wood frame hotel building with a 13,775 square foot building footprint, 53,100 square foot total floor area which will include an



indoor pool, guest laundry, fitness and community rooms; exterior patio between the hotel building and Ballpark Drive; surface parking lot with a total of 111 stalls, 106 regular parking stalls and 5 accessible stalls, including landscape islands, landscape buffers and light poles; new driveway connection to South Ballpark Drive; relocation of existing driveway connection to South Ballpark Drive which may impact on-street parking on both sides of Ballpark Drive and existing crosswalk; stormwater management facilities (to be reviewed separately by the Engineering Department) and signage (subject to separate approvals); [This 3.56 acre property is located in the Ballpark Commons Sports Village Commercial/Mixed Use Area of Planned Development District No. 37 where hotel is a permitted use. The minimum front setback in this area is 25 feet. The applicant is requesting to allow for a 15 foot front setback due to utility easements located near the rear lot line, which limit the property's buildable area. According to the Planned Development District Ordinance Section 15-30442.B., the Plan Commission has the authority to waive setback requirements in this area.] property located at 6868 South Ballpark Drive (Building C6 on the west side of South 76th Street), zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); Tax Key No. 744-1010-000.

3. **WOODLAND TRAILS CONDOMINIUMS FAÇADE/WINDOW CHANGES.**  
Unified Development Ordinance §15-3.0430 Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties) Minor Amendment application by Woodland Trails Condominium Association, Inc., to replace the existing cobblestone façades with HardiePlank siding panel and to replace the windows on seven buildings within the condominium complex, properties located at 9301, 9325, 9337, 9363, 9375, 9399, and 9411 Cobblestone Way, zoned Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties; Tax Key Nos. 882-0146-000, 882-0135-000, 882-0124-000, 882-0118-000, 882-0111-000, 882-0101-000 and 882-0152-000.
  
4. **STRAUSS BRANDS LLC MEAT PROCESSING FACILITY CONSTRUCTION.**  
A Resolution to Amend Resolution No. 2020-7681, A Resolution Imposing Conditions and Restrictions for the Approval of a Special Use for a Meat Processing Facility Use Upon Property Located at the Southwest Corner of the Intersection of West Loomis Road and the New Monarch Drive (Lot 83 of Ryan Meadows Subdivision) (Strauss Brands LLC, Applicant), to Extend the Time for Commencement of the Special Use Development; and A Resolution to Amend Resolution No. 2020-024, A Resolution Approving a Site Plan for Construction of a Meat Processing Facility with Associated Cattle Pen, a Harvest Floor, Carcass Coolers, Fabrication Areas, Packaging Areas, Warehouse Areas, Shipping Docks, Operations Offices, Employee Welfare Spaces, Associated Mechanical Support Facilities and Spaces, a Future Development Area, Stormwater Ponds, Parking Lot and Truck and Employee Vehicle Entrance Drives

(the Southwest Corner of the Intersection of West Loomis Road and the New Monarch Drive (Lot 83 of Ryan Meadows Subdivision) (Strauss Brands LLC, Applicant), to Extend the Time for Commencement of the Site Plan Use Development. As the subject Special Use development upon which the Site Plan Use approval is conditioned is a subject in the litigation matter *Franklin Community Advocates, et al. v. City of Franklin, and Strauss Brands, LLC*, Milwaukee County Circuit Court Case No. 20-CV-7031, which litigation matter is in process and pending at this time, the Plan Commission may enter closed session pursuant to Wis. Stat. § 19.85(1)(g), to confer with legal counsel for the Plan Commission who is rendering advice concerning strategy to be adopted by the body with respect to the subject litigation, and to reenter open session at the same place thereafter to act on such matters discussed therein as it deems appropriate.

#### E. Adjournment

\*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

#### REMINDERS:

Next Regular Plan Commission Meeting: October 7, 2021

**City of Franklin**  
**Plan Commission Meeting**  
**September 9, 2021**  
**Minutes**

Approved

**A. Call to Order and Roll Call**

Mayor Steve Olson called the September 9, 2021, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Olson, Commissioners Burckhardt and Leon, City Engineer Glen Morrow and Alderwoman Hanneman. Absent were Commissioners Kevin Haley and Patricia Hogan. Also present were Associate Planner Marion Ecks and Planning Manager Heath Eddy.

**B. Approval of Minutes**

1. Regular Meeting of August 5, 2021

Commissioner Burckhardt moved and City Engineer Morrow seconded approval of the August 5, 2021 regular meeting minutes. On voice vote, all voted 'aye'. Motion carried (4-0-2).

**C. Public Hearing Business Matters**

**1. BEAR DEVELOPMENT, LLC  
DUPLEX  
CONDOMINIUMS/SINGLE-  
FAMILY HOME DEVELOPMENT.**

Rezoning application by Stephen R. Mills, President of Bear Development, LLC (Boomtown, LLC, property owner), to rezone two properties on West Loomis Road, specifically, 12204 West Loomis Road and the adjacent property to the east, 12000 West Loomis Road, from R-8 Multiple-Family Residence District and C-1 Conservancy District to R-8 Multiple-Family Residence District, to comply with the conditions of approval of a Certified Survey Map for the Ryan Road duplexes project; Tax Key Nos. 891-9996-000 and 891-9997-000.

The Official Notice of Public hearing was read in to the record by Planning Manager Eddy and the Public Hearing was opened at 7:05 p.m. and closed at 7:05 p.m.

Planning Manager Eddy presented the request by Stephen R. Mills, President of Bear Development, LLC (Boomtown, LLC, property owner), to rezone two properties on West Loomis Road, specifically, 12204 West Loomis Road and the adjacent property to the east, 12000 West Loomis Road, from R-8 Multiple-Family Residence District and C-1 Conservancy District to R-8 Multiple-Family Residence District, to comply with the conditions of approval of a Certified Survey Map for the Ryan Road duplexes project; Tax Key Nos. 891-9996-000 and 891-9997-000

Alderwoman Hanneman moved and Commissioner Leon seconded a motion to recommend approval of an Ordinance to amend the Unified Development Ordinance (zoning map) to rezone lot 1 of Certified Survey Map No. 9338 from jR-8 Multiple-Family Residence District and C-1 Conservancy District to R-8 Multiple-Family Residence District (located at 12000 West Loomis Road and 12204 West Loomis Road) (approximately 15 acres). On voice vote, all voted 'aye'. Motion carried (4-0-2).

**D. Business Matters**

**1. DETACHED ACCESSORY BUILDING ADDITION TO AN ELECTRICAL CONTRACTING BUSINESS.** Site Plan Amendment application by John R. Prusinski, for the addition of an approximately 2,400 square foot detached accessory building to Jemco, LLC, d/b/a Jemco Electric, an electrical contracting business (proposed building would face South North Cape Road, be used for storage, and include electric service, exterior lighting and a drive to service the building), upon property zoned B-2 General Business District, located at 11610 West Rawson Avenue; Tax Key No. 749-9999-000.

Planning Manager Eddy presented the request by John R. Prusinski, for the addition of an approximately 2,400 square foot detached accessory building to Jemco, LLC, d/b/a Jemco Electric, an electrical contracting business (proposed building would face South North Cape Road, be used for storage, and include electric service, exterior lighting and a drive to service the building), upon property zoned B-2 General Business District, located at 11610 West Rawson Avenue; Tax Key No. 749-9999-000.

Alderman Hanneman moved and Commissioner Burckhardt seconded a motion to adopt a Resolution amending the Site Plan for property located at 11610 West Rawson Avenue to allow for a detached accessory building addition to Jemco, LLC, d/b/a Jemco Electric, an electrical contracting business (tax key no. 749-9999-000). On voice vote, all voted 'aye'. Motion carried (4-0-2).

**2. PARKLAND ACQUISITION STUDY REVIEW AND RECOMMENDATION**

Associate Planner Ecks presented the Parkland Acquisition Study for review and recommendation.

Alderman Hanneman moved and Commissioner Leon seconded a motion that the Plan Commission endorse the adoption of the Parkland Acquisition Study with special consideration given to options E, F, A, and B contained therein, in descending order with most preferred option being option E.

On voice vote, all voted 'aye'. Motion carried (4-0-2).

**Adjournment**

Commissioner Leon moved and Alderman Hanneman seconded to adjourn the Plan Commission meeting of September 9, 2021 at 8:08 p.m. On voice vote, all voted 'aye'; motion carried. (4-0-2).

## MEMORANDUM

Item C.1.

Date: September 15, 2021  
To: Plan Commission  
From: Department of City Development. Régulo Martínez-Montilva, Principal Planner  
RE: Informational Hearing for Franklin Aggregates Reclamation Plan

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This hearing is for informational purposes only, no Plan Commission recommendation is requested at this time. The public hearing for Plan Commission recommendation is scheduled for October 21, 2021.

Before you is the Franklin Aggregates Reclamation Plan for the limestone quarry located in Planned Development Districts (PDD) #23 and #24. According to the PDD ordinances (Ord. 97-1456-57), “the detailed reclamation plan shall explain and show how the Operator will provide a quarry lake with appropriate public access for recreational purposes and adjacent areas suitably situated and graded for private development”, ... “the detailed reclamation plan need not address the Property’s ultimate end-use development but only the activities required to put the land in a condition whereby such development is feasible”.

Pursuant to Municipal Code Section 176-15 “Public notice and right of hearing”, “The City of Franklin shall provide for an opportunity for a public informational hearing on an application or request to issue a nonmetallic mining reclamation permit”. Furthermore, “the subject matter and testimony at this informational hearing shall be limited to reclamation of the nonmetallic mine site”.

This reclamation plan has been previously reviewed by the Quarry Monitoring Committee, which referred the plan as ready for review by the Plan Commission on March 25, 2021. The reclamation plan is subject to approval by the Common Council, following public hearing and recommendation by the Plan Commission.

April 29, 2021

Mr. Regulo Martinez-Montilva  
Department of City Development  
9229 W. Loomis Road  
Franklin, WI 53132

**Subject: Reclamation Plan – Franklin Aggregates**

Dear Mr. Martiez-Montilva:

Enclosed is the final reclamation plan as reviewed and approved by the Quarry monitoring committee for the Franklin Aggregates quarry. We appreciate the amount of time and effort that the Quarry Monitoring Committee has spent in reviewing the plan and feel that the committee's input has led to the development of a quality reclamation plan.

The purpose of this reclamation plan is to describe the activities necessary to reclaim the Franklin Aggregates Quarry site to a condition whereby future development is feasible after completion of mineral extraction activities. The plan was designed to achieve final site reclamation that is in compliance with uniform reclamation standards while fulfilling all the applicable requirements as outlined in PDDs #23 & #24, the City of Franklin Non-Metallic Mining Reclamation Ordinance and the state wide reclamation law referred to as NR-135.

The proposed land use to which this site will be reclaimed is Green/Open Space. This proposed land use (outside of the envisioned lake) is to be considered a temporary use. The final end use for the reclaimed site is not being proposed at this time. The ultimate land development and end use (beyond grading, vegetation and other requirements detailed in this plan) will be subject to future land use requirements.

No final end-use development proposals shall be implemented prior to submission of detailed end-use plans pursuant to then applicable City of Franklin ordinance requirements, and the granting of detailed zoning and land use approvals in accordance with such applicable ordinance requirements.

This approach of reclaiming the site to a temporary Green/Open Space land use, will allow for the site to be reclaimed to a proposed land use as required by NR-135 while maintaining flexibility in the land use and development of the site to meet the communities future needs.

We would appreciate it if the reclamation plan could be sent to the Plan Commission in the near future for their final review and approval.

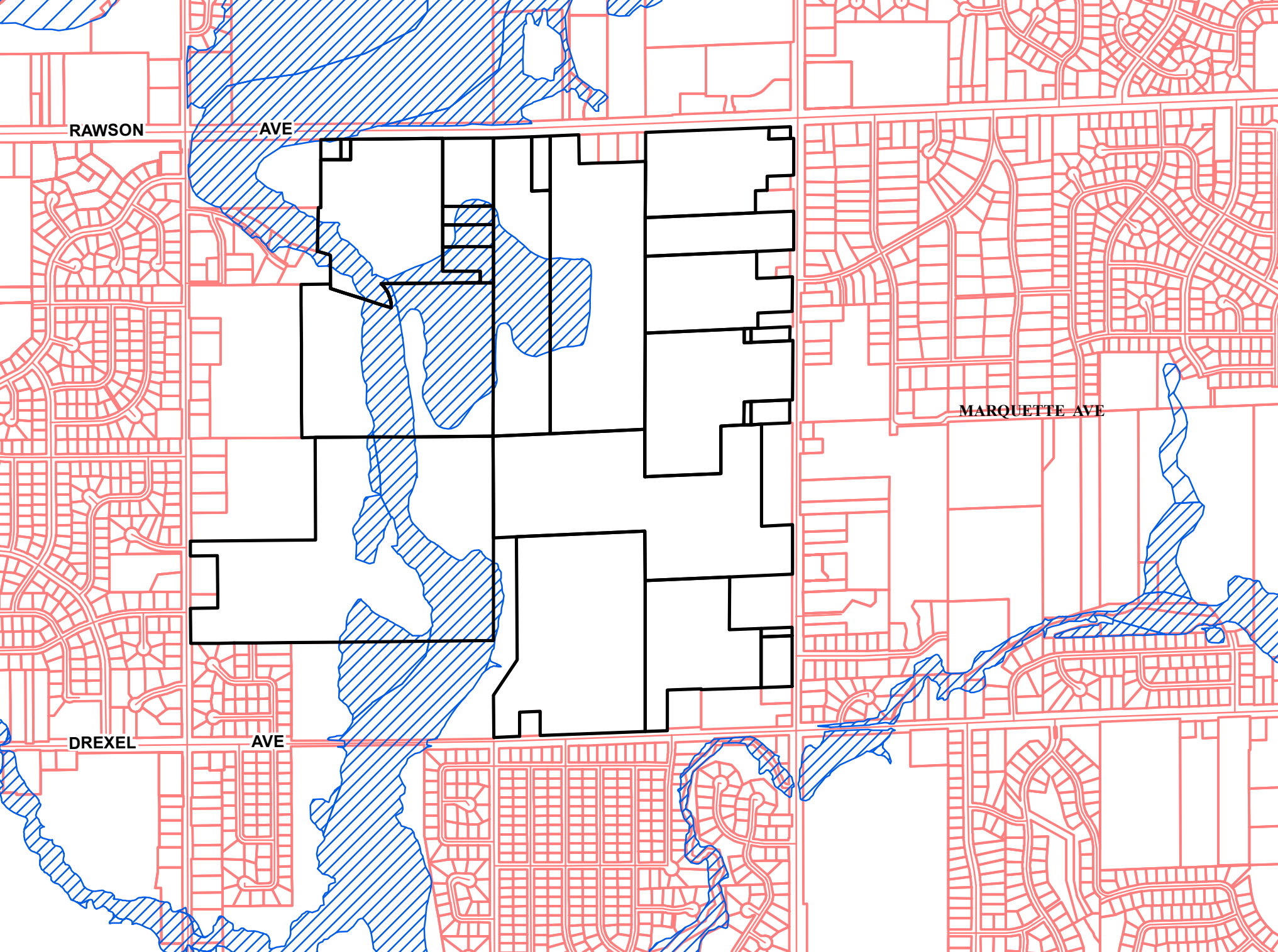
Please do not hesitate to contact me in the office at (262) 524-1258, if you have any additional questions and/or would like some additional information.

Sincerely,

**Payne & Dolan, Inc.**

A handwritten signature in blue ink, appearing to read "Clint S. Weninger". The signature is fluid and cursive, with the first name "Clint" being the most prominent.

Clint Weninger, P.G.  
Land Resources Manager



RAWSON

AVE

DREXEL

AVE

MARQUETTE AVE





# ***FRANKLIN AGGREGATES***

***City of Franklin, Milwaukee County, WI***

***FINAL REVISION – September 1, 2020***

***SUBMITTED – April 29, 2021***

## I. Purpose and Scope

The purpose of this reclamation plan is to describe the activities necessary to reclaim the Franklin Aggregates Quarry site to a condition whereby future development is feasible after completion of mineral extraction activities. The plan was designed to achieve final site reclamation that is in compliance with uniform reclamation standards while fulfilling all the applicable requirements as outlined in PDDs #23 & #24, the City of Franklin Non-Metallic Mining Reclamation Ordinance and the state wide reclamation law referred to as NR-135. Implementation of this reclamation plan shall be completed within three (3) years after the cessation of extraction operations.

Reclamation of the site will result in environmental protection, a stable non-eroding site, productive end land uses, the potential to enhance wildlife habitat and increase land values and tax revenues.

The proposed land use to which this site will be reclaimed is Green/Open Space. This proposed land use (outside of the envisioned lake) is to be considered a temporary use. The final end use for the reclaimed site is not being proposed at this time. The ultimate land development and end use (beyond grading, vegetation and other requirements detailed in this plan) will be subject to future land use requirements.

No final end-use development proposals shall be implemented prior to submission of detailed end-use plans pursuant to then applicable City of Franklin ordinance requirements, and the granting of detailed zoning and land use approvals in accordance with such applicable ordinance requirements.

This approach of reclaiming the site to a temporary Green/Open Space land use, will allow for the site to be reclaimed to a proposed land use as required by NR-135 while maintaining flexibility in the land use and development of the site to meet the communities future needs.

Payne & Dolan has a history of completing successful reclamation at this site. After the crushing, stockpiling and loadout operations that were located adjacent to the Root River for many years where moved unto the floor of the quarry in 2003, Payne & Dolan successfully reclaimed the former operations area. See attached Fact Sheet for additional information.

## II. Proposed Earthwork and Reclamation

Prior to beginning mineral extraction, the topsoil and other overburden materials covering the nonmetallic mineral deposit are removed and stockpiled separately for future reclamation. Available topsoil and other overburden materials have been stored in berms adjacent to the north, south, and east portions of the active mineral extraction operations. Some overburden materials have also been placed in the bottom of the quarry in areas that have previously been mined.

Reclamation of the site will commence after all non-metallic minerals have been removed from the site. Reclamation of the site will include a 250 acre lake with restored slopes and rock faces surrounding the lake (see Sheet 3 – Final Conditions and Sheet 4 – Cross Sections). The stockpiled topsoil and other overburden materials will be placed over the reclaimed areas surrounding the lake, graded to conform with the surrounding land and seeded. The necessary topsoil and overburden are re-distributed across the parcel and fine graded to present a uniform appearance. Reclaimed slopes will be seeded upon completion of the fine grading.

The berms surrounding the extraction area will be removed and regraded (i.e. leveled) as shown on the reclamation plan view (Sheet 3 – Final Conditions). Excess overburden materials; including but not limited to silt, clay, sand, dirt, rock, gravel and other earth materials lying on top of the limestone; not used in the reclamation of the slopes surrounding the quarry will be placed in the bottom of the extraction area.

The reclamation plans has been designed to maintain pre-mine drainage patterns to the greatest extent possible and to improve upon existing conditions where feasible. Existing grading and stormwater features such as road side ditches, storm water drainage pipe, and the stormwater retention pond shall remain. However, the stormwater currently pumped from the quarry to the Root River will cease after the surrounding slopes are reclaimed and the quarry is allowed to fill with water and stormwater from within the site to create the lake.



**Photo Showing Approximate Location of Stormwater Drainage Pipe and Retention Pond**

Note: Constructed per Stormwater Management Plan dated August 8, 1997

Payne & Dolan will perform the necessary grading to achieve the final topography and drainage patterns as outlined in the attached reclamation plan view (Sheet 3 – Final Conditions). Grading activities along the west extent of the property shall be limited so as to minimize the grading that would occur towards the Root River.

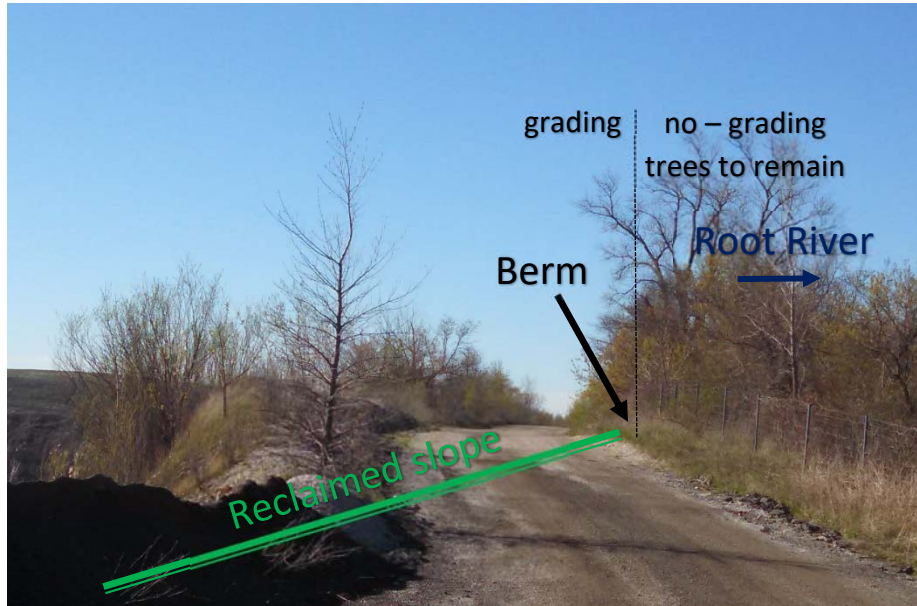


Photo Showing High Road Along West Edge of Quarry (looking South)

Note: A majority of the grading for the reclaimed slope along western edge of quarry will occur from the outside edge of the “high road” that extends around the quarry in this area.

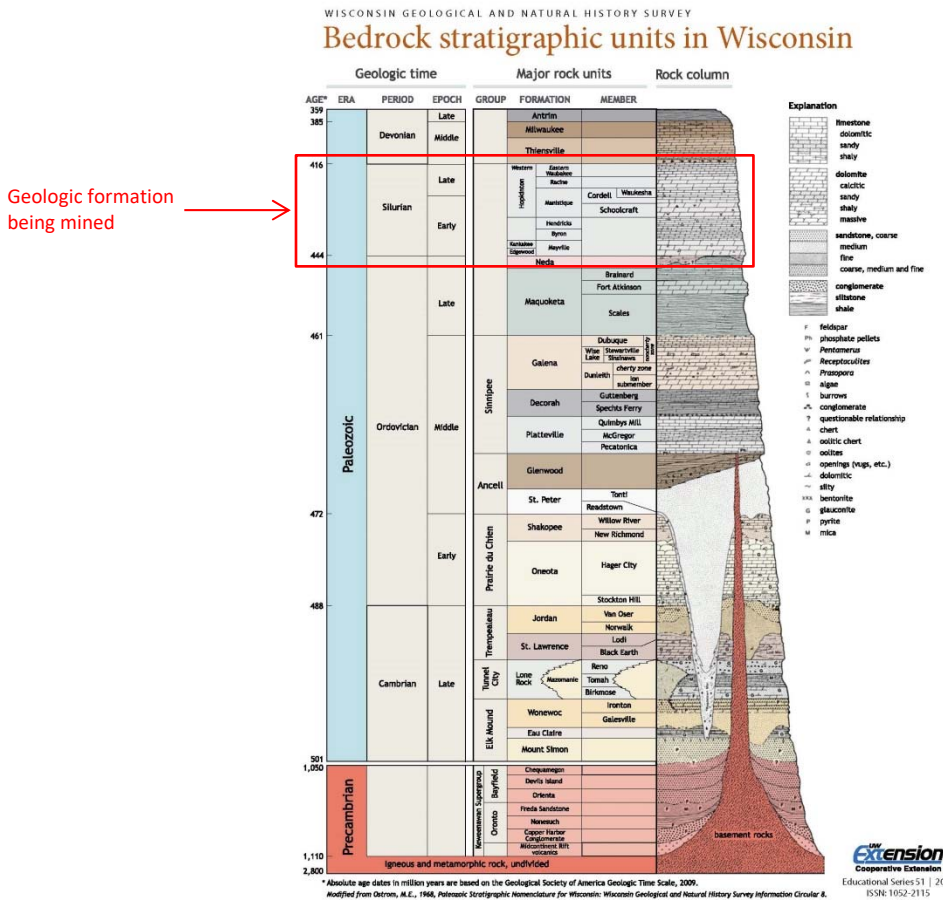
### III. Geologic Composition of the Site and Depth of the Nonmetallic Mineral Deposit

The mineral deposit currently extracted consists of Silurian age limestone & dolomite, approximately 210 - 250 feet thick, of which over 90% of which will be extracted from under the water table. The amount of overburden overlying the limestone varies across the site but averages approximately 40 feet. The overburden consists of primarily clay and silt.

Groundwater elevation and subsequent lake water elevation was originally obtained from a technical report published by the Southeastern Wisconsin Regional Planning Commission (Source: Groundwater Resources of Southeastern Wisconsin, Technical Report Number 37, 2002, SEWRPC and WSGNS, p 81). This information provided in this report for this location has been confirmed by two consultants; GAS (now Graef) and most recently by GZA GeoEnvironmental.

Also, groundwater elevations in a well monitored by the United States Geological Survey located on S92<sup>nd</sup> Street just south of Grange Ave. has shown little movement of the groundwater table from 1/7/2000 – 33.01 ft below the ground surface (bgs) to 1/28/2016 – 31.19 ft. bgs.





**IV. Revegetation Plan**

After the overburden materials have been placed over the reclaimed slopes, a minimum of 6” of topsoil (PDD’s #23 and #24 specify a 4” minimum) will be spread over the reclaimed slopes, fine graded, seeded and mulched. Seeding activities will be carried out in accordance with accepted seeding specifications provided in the reclamation plan. Marginally steep slopes (greater than 3:1) will have either a minimum of 8” of topsoil or additional erosion control measures, such as coir (coconut fiber) erosion mat, to stabilize the slope during revegetation.

If any slopes toward the Root River must be re-graded, a seed mixture containing native grasses as provided by the City of Franklin or a WI DOT No. 70 series seed mix, shall be used. A mycorrhizal inoculant or acceptable alternative will be used when seeding any slopes toward the Root River.

TABLE 630-2 NATIVE SEED MIXTURES

SPECIES	SPECIES BOTANICAL NAME	PURITY & GERMINATION minimum %	MIXTURE PROPORTIONS in percent				
			NO. 70	NO. 70A	NO. 75	NO. 80	
FORBES	Canada Anemone	<i>Anemone canadensis</i>	PLS	2			
	Butterflyweed	<i>Asclepias tuberosa</i>	PLS		2		
	New England Aster	<i>Aster novae-angliae</i>	PLS	2	2		
	Partridge-pea	<i>Chamaecrista (Cassia) fasciculata</i>	PLS		2		
	Purple Prairie Clover	<i>Dalea (Petalostemum) purpurea</i>	PLS	2	2	4	
	Canada Tick-trefoil	<i>Desmodium canadense</i>	PLS	2			
	Flowering Spurge	<i>Euphorbia corollata</i>	PLS		2		
	Wild Geranium	<i>Geranium maculatum</i>	PLS	2			
	Western Sunflower	<i>Helianthus occidentalis</i>	PLS	3	2		
	Rough Blazingstar	<i>Liatris aspera</i>	PLS		2		
	Prairie Blazingstar	<i>Liatris pycnostachya</i>	PLS	2			
	Lupine	<i>Lupinus perennis</i>	PLS		3		
	Wild Bergamot	<i>Monarda fistulosa</i>	PLS	2			
	Horse Mint	<i>Monarda punctata</i>	PLS		2		
	Yellow Coneflower	<i>Ratibida pinnata</i>	PLS	2	2		
	Blackeyed Susan	<i>Rudbeckia hirta</i>	PLS			1	
	Showy Goldenrod	<i>Solidago speciosa</i>	PLS	2	2		
	Spiderwort	<i>Tradescantia ohioensis</i>	PLS	2	2		
Golden Alexanders	<i>Zizia aurea</i>	PLS	2				
GRASSES	Big Bluestem	<i>Andropogon gerardi</i>	PLS	15	15	10	
	Sideoats Grama	<i>Bouteloua curtipendula</i>	PLS	15	20	20	25
	Canada Wildrye	<i>Elymus Canadensis</i>	PLS	15	15	35	23
	Slender Wheatgrass	<i>Elymus trachycaulus</i>	PLS				20
	Junegrass	<i>Koeleria macrantha</i>	PLS		5		
	Annual Ryegrass	<i>Lolium multiflorum</i>	<sup>[1]</sup>			10	10
	Switchgrass	<i>Panicum virgatum</i>	PLS				10
	Salt Grass	<i>Puccinella distans</i>	<sup>[1]</sup>				2
	Little Bluestem	<i>Schizachyrium (Andropogon) scoparium</i>	PLS	15	20	10	10
	Indiangrass	<i>Sorghastrum nutans</i>	PLS	15	15	10	
ALTERNATE FORBES	Sky Blue Aster	<i>Aster azureus</i>	PLS	<sup>[2]</sup>	<sup>[2]</sup>		
	White Wild Indigo	<i>Baptisia leucantha</i>	PLS	<sup>[2]</sup>	<sup>[2]</sup>		
	Pale Purple Coneflower	<i>Echinacea pallida</i>	PLS	<sup>[2]</sup>	<sup>[2]</sup>		
	White Prairie Clover	<i>Petalostemum candidum</i>	PLS	<sup>[2]</sup>	<sup>[2]</sup>		
	Stiff Goldenrod	<i>Solidago rigida</i>	PLS	<sup>[2]</sup>	<sup>[2]</sup>		
	Hoary Vervain	<i>Verbena stricta</i>	PLS	<sup>[2]</sup>	<sup>[2]</sup>		

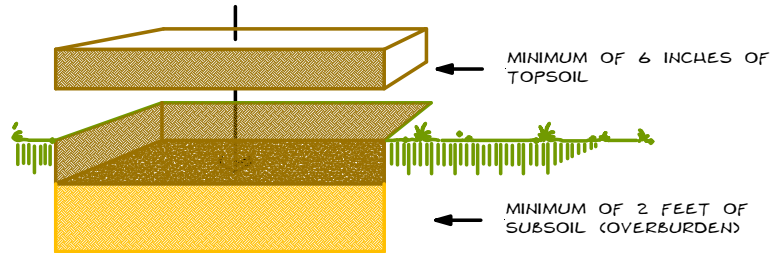
<sup>[1]</sup> Provide the minimum purity and germination specified in 630.2.1.5.1.1.1(3) in the table of highway seed mixtures.

Prepared soil will be seeded at any time during the growing season when soil conditions are suitable but not longer than 7 days after the final grading of reclaimed slopes. Seeding activities should not be carried out immediately following rain, when the ground is too dry, or during windy periods.

Trees that are located within the grading limits as shown on Sheet 3 – Final Conditions shall be removed during the reclamation grading. Trees located outside of the grading limits shall remain.

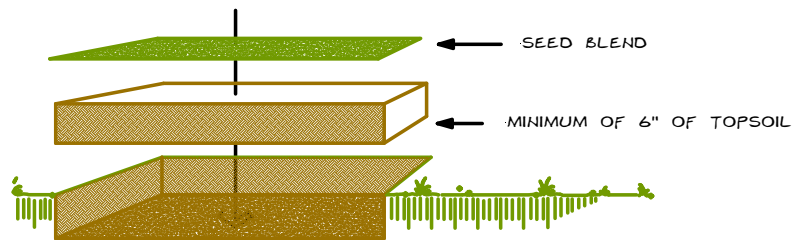
All seeding and mulching will be done in accordance with the State of Wisconsin Department of Transportation Standard Specifications for Seeding and Mulching, Sections 630 and 627, or as updated and amended.

*[QMC recommends use of a wildflower drill such as Tye, Brillion, or modified Truax instead of hydroseeding]*



RETAIN EXISTING TOPSOIL & SUBSOIL FOR DISTRIBUTION DURING RECLAMATION  
 STORE TOPSOIL AND SUBSOIL IN TEMPORARY BERMS DURING MINERAL EXTRACTION  
 NECESSARY TOPSOIL AND OVERBURDEN SHALL BE SPREAD BY GRADING  
 CONTRACTOR TO NON-QUARRIED AREAS ONLY  
 PROJECT MANAGER SHALL APPROVE FINISHED GRADE & UNIFORM  
 SLOPES PRIOR TO THE SOWING OF SEED

**TOPSOIL PRESERVATION**



EXISTING TOPOSIL WILL BE STOCKPILED ON SITE FOR RECLAMATION  
 PROJECT MANAGER SHALL APPROVE FINISHED GRADE & UNIFORM SLOPES  
 PRIOR TO THE SOWING OF SEED  
 ALL SEEDING WILL BE DONE IN ACCORDANCE WITH THE STATE OF  
 WISCONSIN DOT STANDARD SPECIFICATIONS FOR SEEDING AND  
 MULCHING, SECTIONS 630 AND 627  
 SEEDING TO BE COMPLETED WITHIN 7 DAYS OF FINAL TOPSOIL GRADING

**RECLAMATION SEED OEPRTATIONS**

## V. Erosion Control and Post Operational Maintenance

Upon completion of the mineral extraction operations, operator shall obtain a land disturbance permit, or any other permits required by the City of Franklin, prior to the commencement of the proposed earthwork for reclamation as described above.

Erosion control measures will be implemented as necessary to minimize off-site erosion until such time as permanent placement and shaping of overburden and topsoil and seeding is possible. Best Management Practices (BMP's) such as check dams, straw bales, silt fence, surface water diversions, energy dissipaters, mulch or artificial cover, cover crop of vegetation, buffer areas or other appropriate measures will be taken as necessary to limit off-site erosion. All erosion and sediment control practices will be periodically checked for stability and operation on a regular basis by Payne & Dolan and made available to the City.

Erosion control measures shall be inspected within 24 hours of the end of each rainfall event that exceeds 0.25", or daily during periods of prolonged rainfall, or weekly during periods without rainfall. Immediately repair and/or replace any and all damaged, failed, or inadequate erosion control measures. Operator shall maintain records of all inspections and any remedial actions taken on-site.

Remove any sediment reaching a public or private roadway, parking lot, sidewalk, or other pavement. Completely remove any accumulations not requiring immediate attention at least once daily at the end of the workday.

Frequently dispose of all waste and unused construction materials in licensed solid waste or wastewater facilities. Do not bury, dump, or discharge, any garbage, debris, cleaning wastes, toxic materials, or hazardous materials on the site, on the land surface or in detention basins, or otherwise allow materials to be carried off the site by runoff onto adjacent lands or into receiving waters or storm sewer systems.

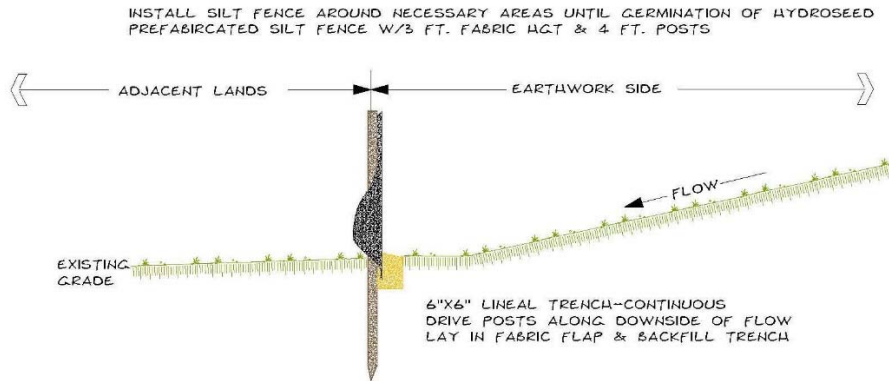
Environmental pollution mitigation will not be needed if all measures outlined in the reclamation plan are followed and adhered to.

Follow up inspections of all reclaimed and otherwise stabilized surfaces along with all erosion control and sediment control practices will be conducted on a monthly basis to ensure their stability until such time as the vegetation required to support the post-mining land use (Green/Open Space) has been successfully established and the financial assurance has been released.

Seeded areas will be reseeded and fertilized as necessary to establish and maintain a dense self-sustaining cover over reclaimed slopes. Re-apply soil stabilizers, tackifiers, polymers and anionic polyacrylamides as needed to prevent erosion of exposed soil. Erosion and sediment control measures will be repaired and /or replaced as necessary. Other preventative measures not mentioned in this reclamation plan will be taken as necessary to minimize off-site erosion.

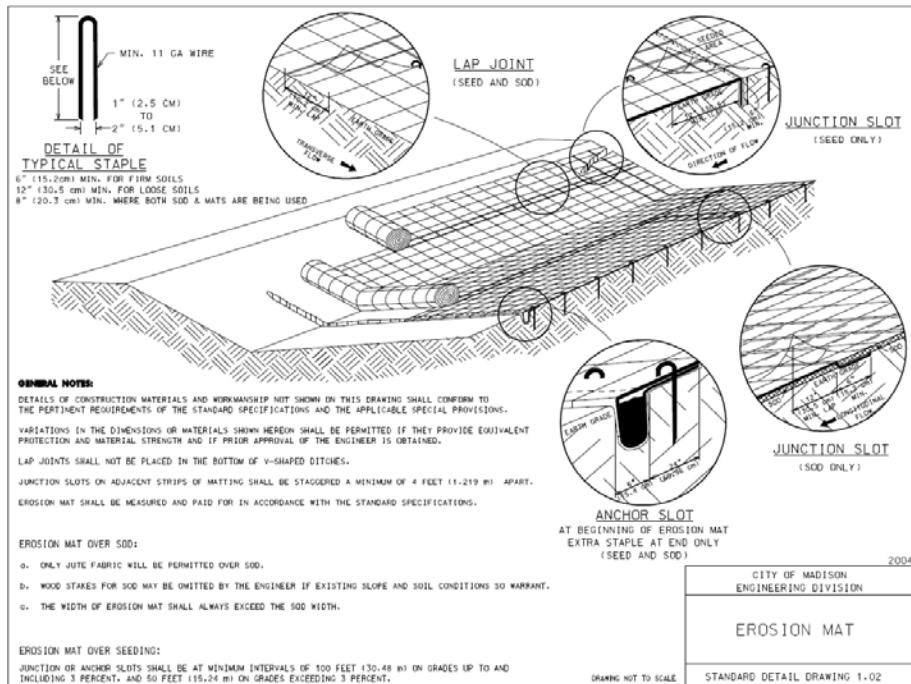
Such Best Management Practices shall be removed at time of final stabilization, as defined within Section 15-8.0303 of the City of Franklin's UDO as may be amended.





**Typical – Silt Fence**

Note: Silt fence or comparable to be installed around perimeter of site along grading limits as shown on Figure 3 – Final Conditions



**Typical - Coir (coconut fiber) Erosion Mat**

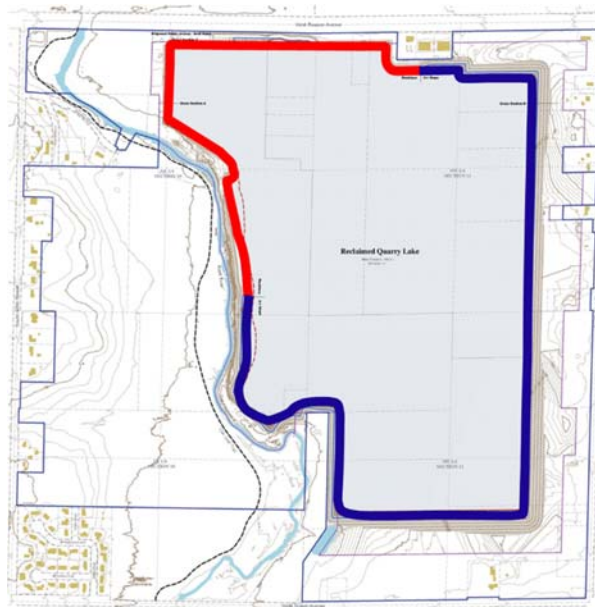
**VI. Costs of Reclamation**

Reclamation is an on-going process during mineral extraction, with a majority of the reclamation being completed during active mineral extraction. Final reclamation will consist of reclaiming the quarry perimeter upon completion of the mineral extraction activities. Approximately 75 acres will need to be reclaimed and the remaining 250 acres will become a lake.

The estimated costs of reclamation shall approximate the actual costs of reclamation including, but not limited to grading and shaping overburden around the lake perimeter as shown on the reclamation plan, distributing and placing of topsoil, developing public access, installing necessary erosion control measures, seeding, mulching, inspection and maintenance.

Activites	Unit	Cost/Unit	Unit	Total
Grade Topsoil & Subsoil - Rock Face	5,600	\$7.35	FT	\$41,160.00
Grade Topsoil & Subsoil - Slope into Water	8,800	\$23.50	FT	\$206,800.00
Grade Excess Overburden	1,000	\$175	Hour	\$175,000.00
Removal of buildings	2	\$20,000	LS	\$40,000.00
Misc. Cleanup	1	\$20,000	LS	\$20,000.00
Public Access Development	1	\$25,000	LS	\$25,000.00
Erosion Control	1	\$25,000	LS	\$25,000.00
Inspection & Maintenance	1	\$10,000	LS	\$10,000.00
Seed, Fertilize & Mulch (per DOT standards)	75	\$1,700	Acre	\$127,500.00
<b>Total</b>				<b>\$670,460.00</b>

**Estimated Costs of Reclamation**



**Map Showing Rock Face (red) and Reclaimed Slope Location (blue)**

Note: All overburden within the quarry extraction area have will have been moved to the floor of the quarry during active extraction operations and thus will not need to be moved during reclamation.

**VII. Assessing Successful Reclamation**

Payne & Dolan will assess successful reclamation with the approved reclamation plan using the following methods:

1. All buildings, structures and equipment associated with the mineral extraction activities, but not the ramps into the quarry, have been removed as part of the reclamation process
2. The available overburden and topsoil have been graded to the contours shown on the grading plan, and have been fine graded, seeded and mulched
3. Public access has been provided at the location specified on the reclamation plan
4. Adequate vegetation has been established to stabilize reclaimed surfaces. Adequate vegetation will be determined by utilizing the guideline outlined in the Wisconsin Technical Note-Agronomy-WI-1, Guidelines for Herbaceous Stand Evaluation, dated May 15, 1991 or by percent cover, which will be determined as total cover (minimum 70%) within one year of planting as measured by the canopy (vertical projection of plant parts) and will be recorded by species. Revegetation will be measured over the entire revegetated site at no less than 1 randomly placed 10 ft. x 10 ft. quadrant for each 1 acre area.
5. The Certification of Reclamation by the City of Franklin as outlined in Chapter 176 Nonmetallic Mining Reclamation.

§ 176-29 **Completed reclamation: reporting, certification and effect.**

- A. Reporting. The operator of a nonmetallic mining site may certify completion of reclamation for a portion or all of the nonmetallic mining site pursuant to a reclamation plan prepared and approved pursuant to this chapter and Chapter NR 135, Wisconsin Administrative Code.
- B. Reporting of interim reclamation. The operator of a nonmetallic mining site may report completion of interim reclamation as specified in the reclamation plan for the site prepared and approved pursuant to this chapter and Chapter NR 135, Wisconsin Administrative Code. Reporting of interim reclamation shall be done according to the procedures in Subsection A.
- C. Certification of completed reclamation. The City of Franklin shall inspect a nonmetallic mining site for which reporting of reclamation or interim reclamation has been submitted pursuant to this subsection within 60 days of receipt, and make a determination in writing in accordance with § 176-14A(7)(c). If it is determined that interim or final reclamation is complete, including revegetation, as specified in a reclamation plan that conforms with § 176-13, the City of Franklin shall issue the mine operator a written certificate of completion.
- D. Effect of completed reclamation. If reclamation is certified by the City of Franklin as complete under Subsection C for part or all of a nonmetallic mining site, then:
  - (1) No fee shall be assessed under § 176-27 for the area so certified.
  - (2) The financial assurance required by § 176-14 shall be released or appropriately reduced in the case of completion of reclamation for a portion of the mining site.
- E. Effect of inaction following/report of completed reclamation. If no written response, as required by Subsection C, for an area of the mine site reported as reclaimed or interim reclaimed is given within 60 days of receiving such request, any annual fee paid to the City of Franklin for it under § 176-27 shall be refunded.

## **VIII. Public Access**

Upon completion of reclamation, public access to the reclaimed quarry lake will be located on the north side of the site along Rawson Avenue, as shown on the reclamation plan, (Sheet 3 – Final Conditions). The public access will include greenspace and a ramp for lake access. The lake shall be a public resource, owned in common by all Wisconsin citizens under the State’s Public Trust Doctrine.

The public access will be transferred to the City of Franklin and P&D will provide a temporary easement from the public access to the quarry ramp to allow for public access to the lake while the quarry is filling with water.

Such temporary easement shall be made available for public access use on such terms and conditions as are mutually agreed upon by and between Payne & Dolan and the City of Franklin, which shall include an agreement by the City of Franklin to maintain, operate and manage the public access and to defend and hold harmless Payne & Dolan, from and against any claims, actions, or liability arising out of, or relative to public use of the temporary easement, excepting such claims, actions, or liability for which Payne & Dolan would be responsible due to its acts and/or omissions prior to the date of delivery of such temporary easement, but for such agreement. The temporary easement shall expire when water in the quarry reaches the 675 ft. msl elevation. A final contour map of the lake bed shall be provided at that time.

## **IX. Safety**

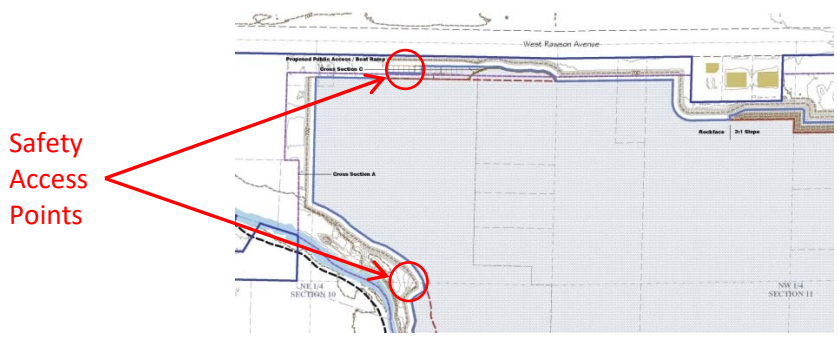
The reclamation of the site will help insure the long term safety to the general public. The site is currently enclosed by a safety fence to limit access. The safety fence shall remain after reclamation until the quarry has filled with water to the projected final lake level.

Approximately 65% of the reclaimed slope around the perimeter of the lake will have 3:1 safety slopes that extend to a minimum depth of 6 ft. as required by NR-135. The remaining 35% of the perimeter of the lake will consist of a rock face. However, there will still be two access points to the lake in this area: (1) the public access ramp and (2) the existing quarry ramp.

The exposed highwalls will have the unconsolidated material scaled back at least 25 feet from the quarry edge (drop-off) to form safety ledges as shown on Sheet 4 – Cross Sections. As an added measure of safety, exposed rock highwalls will be scaled (scraped) to remove loose rock and to minimize the potential for rock-falls.

During the time it takes the quarry lake to fill with water, the existing fence shall remain around the perimeter of the property until the quarry lake fills to the elevation outlined in the reclamation plan. At that time the fence may be removed by Payne & Dolan, however a fence shall remain along the reclaimed rock face high wall areas (as previously shown) until such time as those areas are developed.

Give the close proximity of the northwestern edge of the quarry to West Rawson Avenue, a berm or strategic placement of large boulders or beam guard in addition to the fence shall be added.



**X. Certification of Reclamation**

I hereby certify, as a duly authorized representative or agent, that the reclamation at this nonmetallic mining site will be carried out in accordance with the approved reclamation plan submitted by Payne & Dolan, Inc. I also certify that the information contained herein is true and accurate and complies with the local and statewide nonmetallic mining reclamation standards established in NR-135, Wisconsin Administrative Code.

Signature of representative or agent:

Date signed:

\_\_\_\_ April 29, 2021 \_\_\_\_

\_\_\_\_\_  
Clint G. Weninger, P.G.  
Land Resources Manager  
Payne & Dolan, Inc.



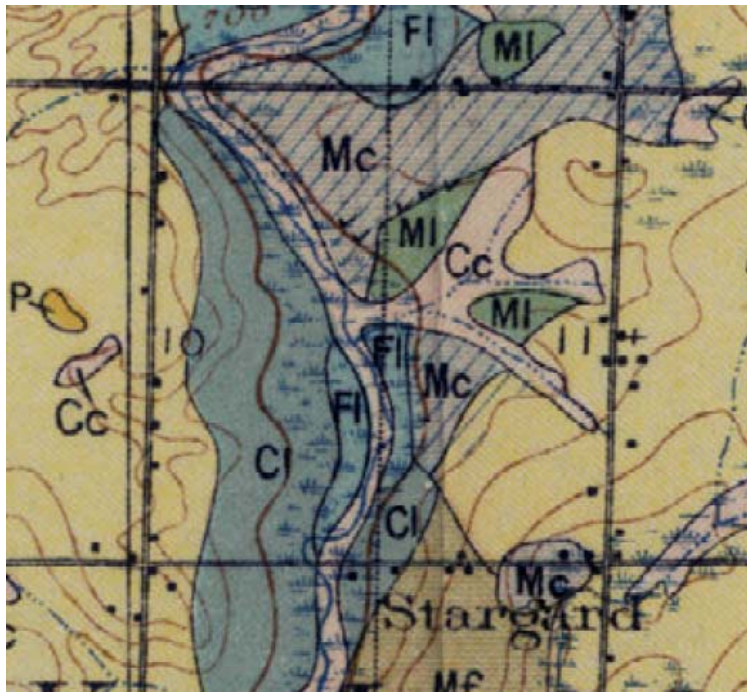
**XI. Soils**



**Current Soils Map**

Source: USDA-NCSS soils information utilizing Google Earth website, 2015

Note: All soils within the quarry extraction area have previously been disturbed.



Historical Soils Map (1918)

Source: USDA Soil Survey of Milwaukee County, WI (1918)

**HISTORICAL SOIL TYPES**

**MI – Miami Loam**

**MIAMI LOAM.**

The surface soil consists of 6 to 10 inches of yellowish or brownish-gray loam to fine sandy loam, and the subsoil differs very little from the soil. At 24 to 30 inches the material is a more compact, sticky yellowish-brown sandy clay loam or loam. Gravelly sandy loam is often encountered at 30 to 36 inches. The soil is slightly variable, being a sticky sandy clay loam in some places and a more open sandy loam in others. Gravel sometimes occurs on sharp knolls, and boulders originally were quite numerous, though most of these have been removed. This soil is intimately associated with the Miami clay loam and silty clay loam, and in places the boundary is largely arbitrary.

**Mc – Miami Clay Loam**

MIAMI CLAY LOAM.

The Miami clay loam consists of 4 to 8 inches of grayish-brown, compact clay loam or silty clay loam, overlying yellowish-brown to reddish-yellow heavy clay loam or clay. Yellowish-brown sandy clay loam or loam occurs at depths of 22 to 30 inches. From 30 to 36 inches the material contains some gravel and often considerable sand.

**Ms – Miami Silty Clay Loam**

MIAMI SILTY CLAY LOAM.

The Miami silty clay loam consists of dark grayish brown compact silt loam, 6 to 10 inches deep, and sometimes containing a relatively large proportion of very fine sand, resting on a subsoil of yellowish-brown clay loam. The material is reddish brown and contains limestone fragments below a depth of 24 to 36 inches.

**Cc – Clyde Clay Loam**

CLYDE LOAM.

The surface soil of the Clyde loam consists of dark-brown to black fine sandy loam, about 8 to 12 inches deep. The upper subsoil is a grayish-yellow or mottled sandy loam containing considerable gravel. The material below 24 to 30 inches is variable, but is generally a sticky clay or yellowish sandy clay loam.

**XII. Groundwater Elevation**

Groundwater elevation and subsequent lake water elevation was originally obtained from a technical report published by the Southeastern Wisconsin Regional Planning Commission. This information provided in this report for this location has been confirmed by two consultants; GAS (now Graef) and most recently by GZA GeoEnvironmental.

Also, groundwater elevations in a well monitored by the United States Geological Survey located on S92<sup>nd</sup> Street just south of Grange Ave. has shown little movement of the groundwater table from 1/7/2000 – 33.01 ft below the ground surface (bgs) to 1/28/2016 – 31.19 ft. bgs.



## Clint Weninger

---

**From:** Bernard Fenelon <bernard.fenelon@gza.com>  
**Sent:** Friday, February 26, 2016 5:16 PM  
**To:** Clint Weninger  
**Subject:** Franklin Quarry Water Levels  
**Attachments:** Recent Construction Reports for Nearby Wells.pdf; Approximate Site Location on SEWRPC Water Table Map.pdf; Map with Well Locations and Water Levels.pdf

You had asked for recent water levels around your Franklin quarry. Sue Karls in our office had this information for me more than a week ago and neglected to send it to you. I have attached a map of the locations of and water elevations in three wells drilled between 1997 and 2014 and after the SEWRPC groundwater flow map. In its map (see attached), SEWRPC had the groundwater elevation around the quarry in the range of 690 feet. Based on the surface elevations of the three homes with recent wells and water depths reported in the wells, the recent groundwater depths have been approximately 685 feet (1997 well) and 693 to 694 feet (2014 wells). Therefore, current groundwater elevations around the Franklin quarry are similar to those reported by SEWRPC. Let me know if you have any additional questions.

### **Bernard G. Fenelon**

#### **Sr. Project Manager**

GZA | 20900 Swenson Drive, Suite 150 | Waukesha, WI 53186

o: 262-754-2567 | c: 262-424-2045 | [bernard.fenelon@gza.com](mailto:bernard.fenelon@gza.com) | [www.gza.com](http://www.gza.com)

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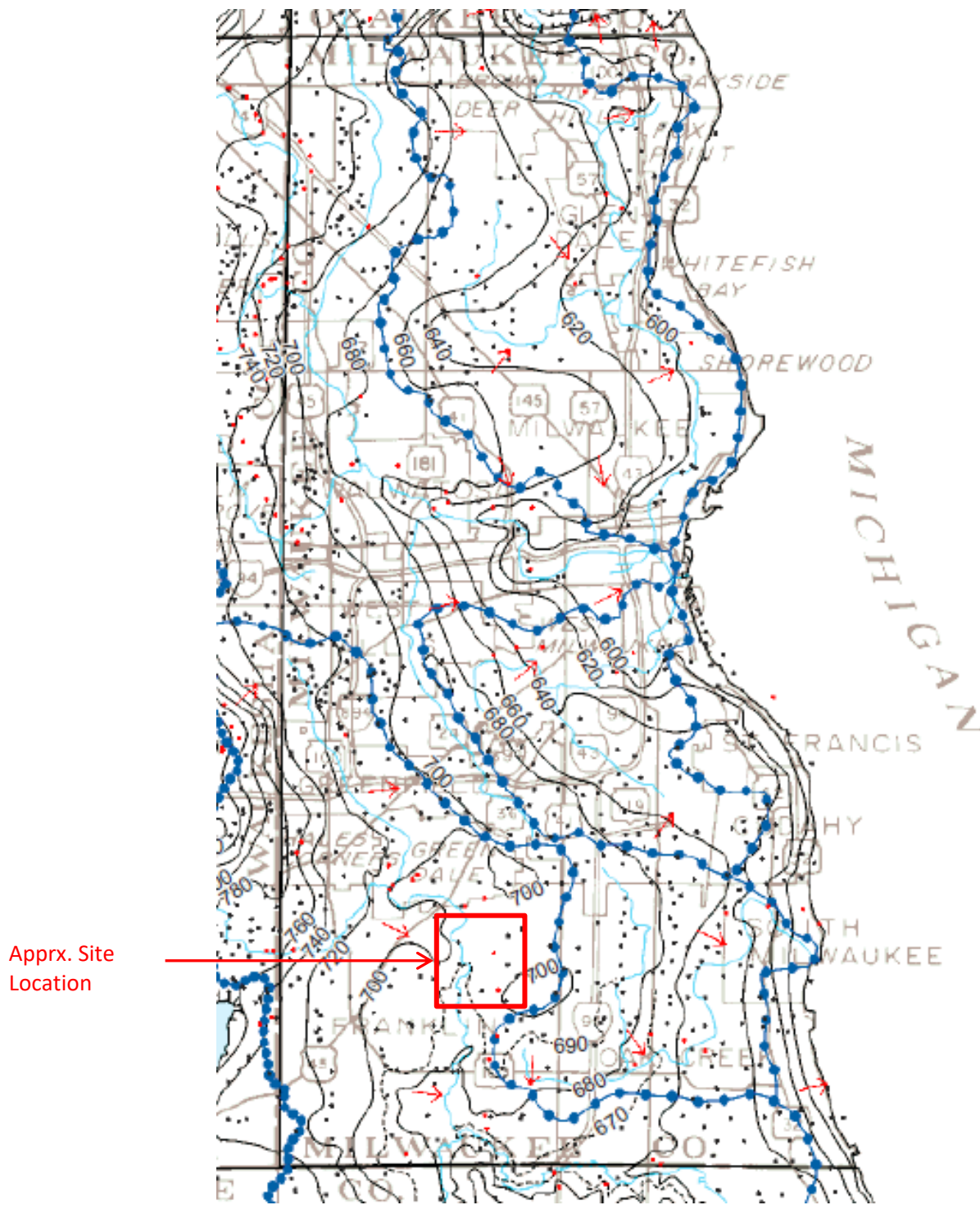
*Proactive by Design. Since 1964.*

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*For information about GZA GeoEnvironmental, Inc. and its services, please visit our website at [www.gza.com](http://www.gza.com).*



**Groundwater Elevation Map**

Source: Groundwater Resources of Southeastern Wisconsin, Technical Report Number 37, 2002, SEWRPC and WSGNS, p 81.

Map of the regional water table elevations developed by the Southeastern Wisconsin Regional Planning Commission and the Wisconsin State Geological and Natural History Survey. Note that the site is located at the 690 feet msl auxiliary contour.

PROJECT FACT SHEET

Franklin Aggregates Reclamation Project - Franklin, Wisconsin

Payne & Dolan currently operates Franklin Aggregates, a limestone quarry located in Franklin, Wisconsin. Payne & Dolan recently received approval from the City of Franklin to expand the site. The approval required the processing and operations activities that occurred on grade west of the Root River to be relocated and the area to be reclaimed prior to January 1, 2004. The project included (1) relocating the offices, scale and maintenance facilities to a location north of the Root River; (2) relocating the crushing, processing and stockpiling operations to the floor of the quarry; (3) removing the vehicle and equipment river crossings across the Root River; and (4) reclaiming the 25 acre former operations area.

After the office, scale and maintenance facilities were relocated and the crushing equipment and aggregate stockpiles were removed, clay soils and topsoil were re-distributed across the parcel and fine graded to present a uniform appearance. Upon completion of the fine grading, reclaimed slopes were seeded, fertilized and mulched to establish and maintain a dense self-sustaining vegetative cover. Seeding utilized a blend of grasses consisting of Kentucky Bluegrass, Red Fescue, Hard Fescue, Tall Fescue and perennial Ryegrass. Erosion control measures such as rip-rap, erosion mat, and silt fence were installed to minimize off-site erosion until a dense vegetative cover has been established.



PAYNE & DOLAN  
INCORPORATED







OPERATIONS AREA



RIVER CROSSINGS

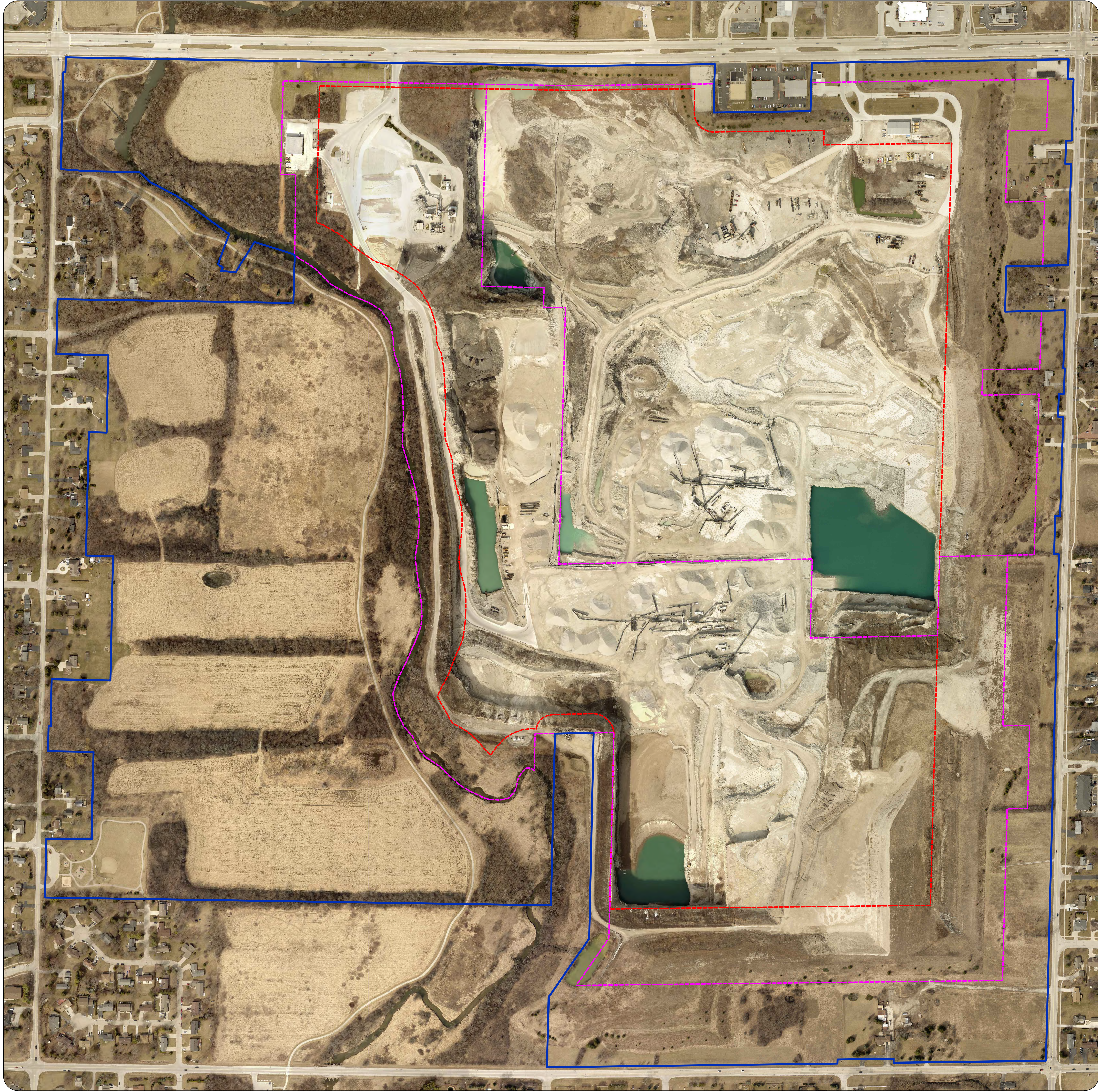




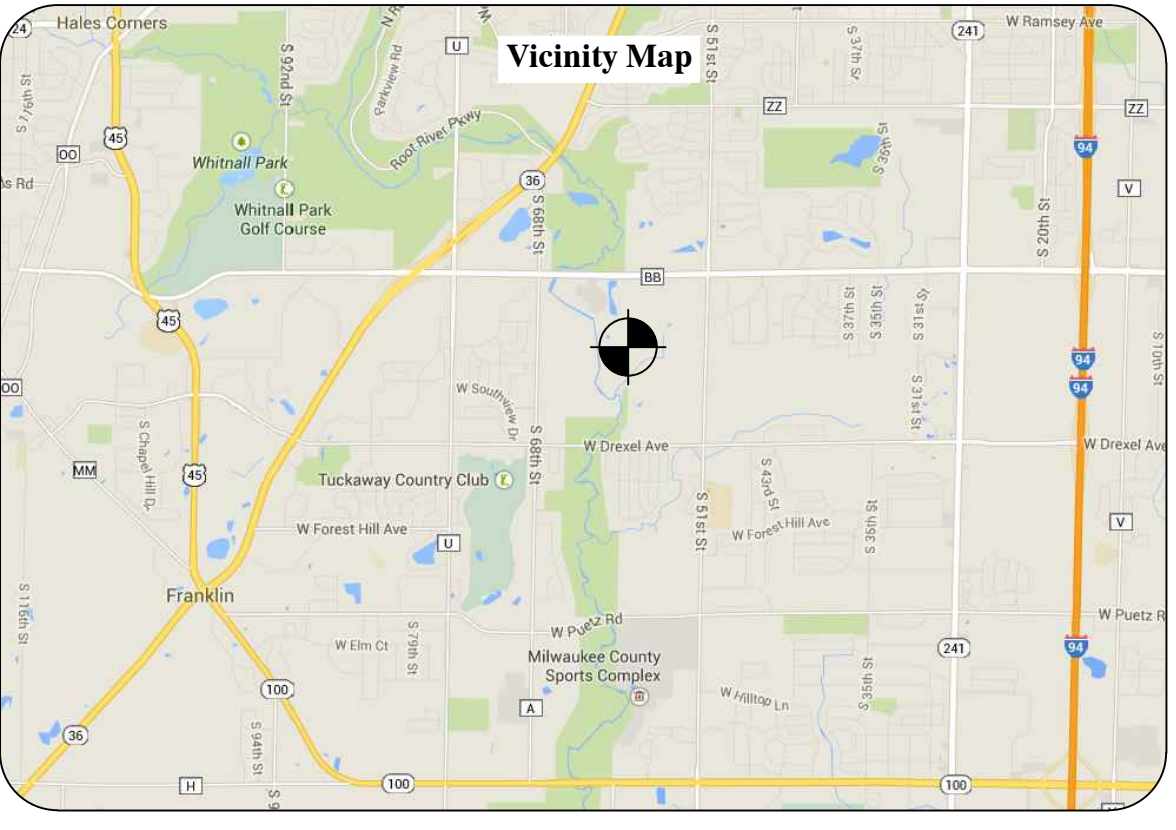
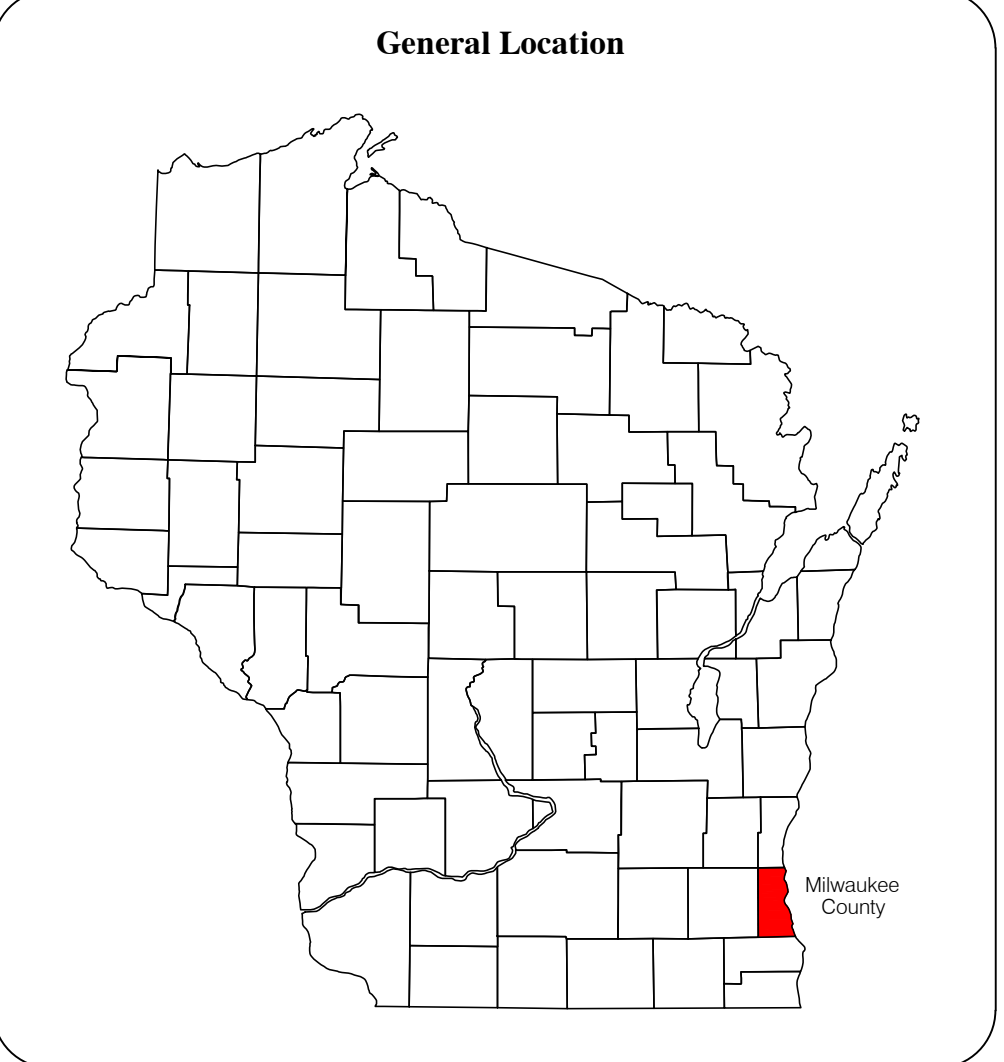
PDD REQUIREMENTS



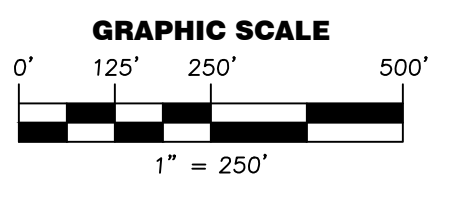




2018 Aerial obtained from Milwaukee County GIS



PLAN INDEX	
SHEET NUMBER	DESCRIPTION
1	AERIAL
2	EXISTING CONDITIONS
3	FINAL CONDITIONS
4	CROSS SECTIONS
5	FINAL CONDITIONS - CONCEPTUAL



**1**

**RECLAMATION PLAN - 2018 AERIAL**

Franklin Aggregate Site  
 Section 10, West 1/2 Section 11  
 Milwaukee County, Wisconsin

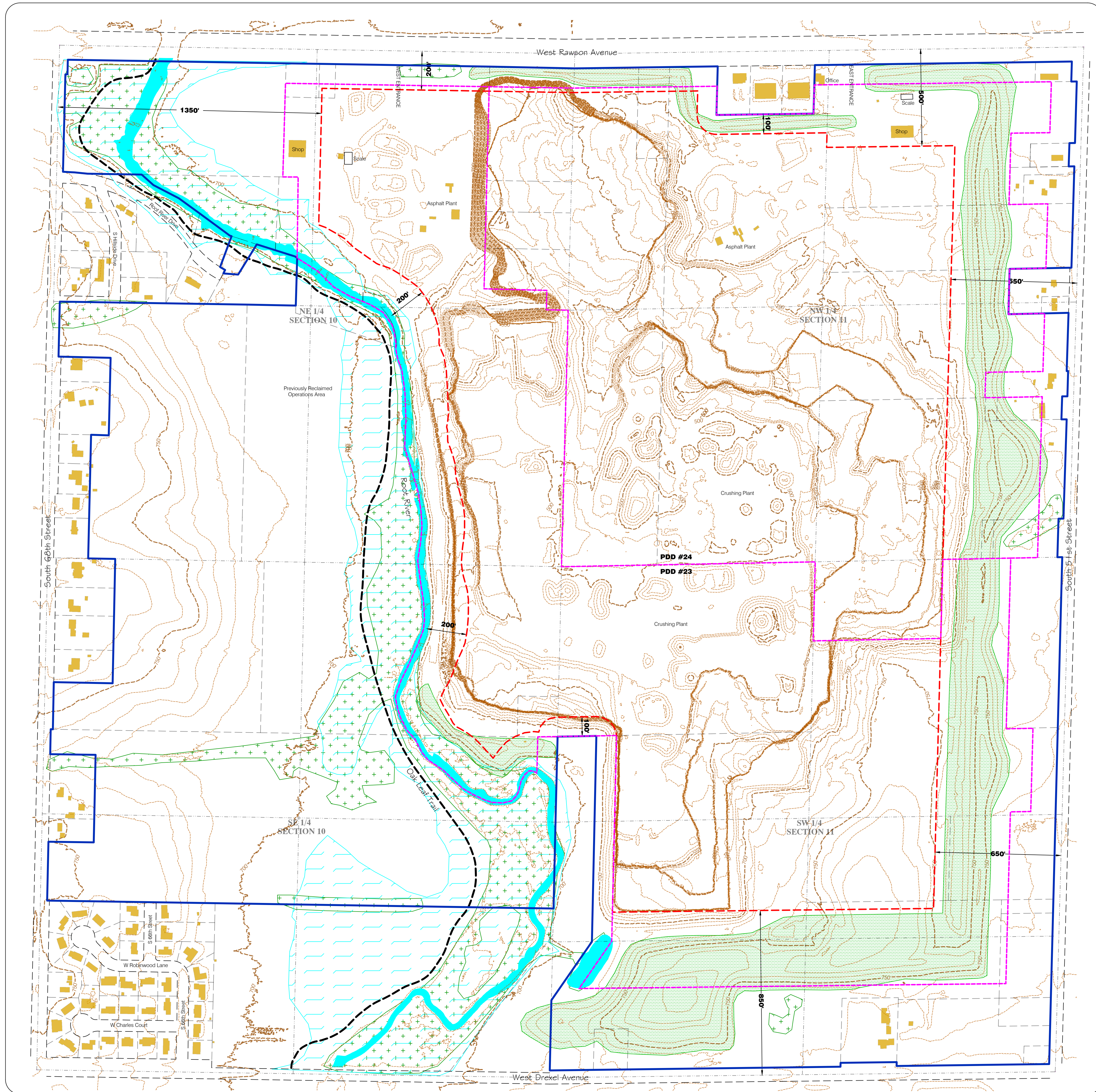
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Date: April 2021 Site #: 80370 Drawn By: JS SHEET 1 OF 5

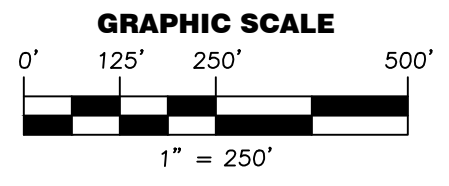


DISCLAIMER: Some of the information shown on these maps has been obtained and compiled from various state, county, municipal and private sources that are maintained by their sources for a wide variety of purposes and are of varying age, reliability and resolution. Therefore, the contents are supplied for reference purposes only and Payne & Dolan cannot guarantee the quality, content, accuracy, completeness or currency of the information obtained from these sources and provided herein.



**Legend**

- Property Boundary
- - - Planned Development District
- - - Mining Limit
- - - Existing Barr
- - - Contour Major - 50' interval
- - - Contour Minor - 10' interval
- - - Section Lines
- - - Tax Parcel Lines
- - - Road Right-of-way
- - - Water Feature
- - - Wetlands
- - - Floodplain



Topographic and Parcel information obtained from Milwaukee County Land Information Office

**2**

**EXISTING CONDITIONS**

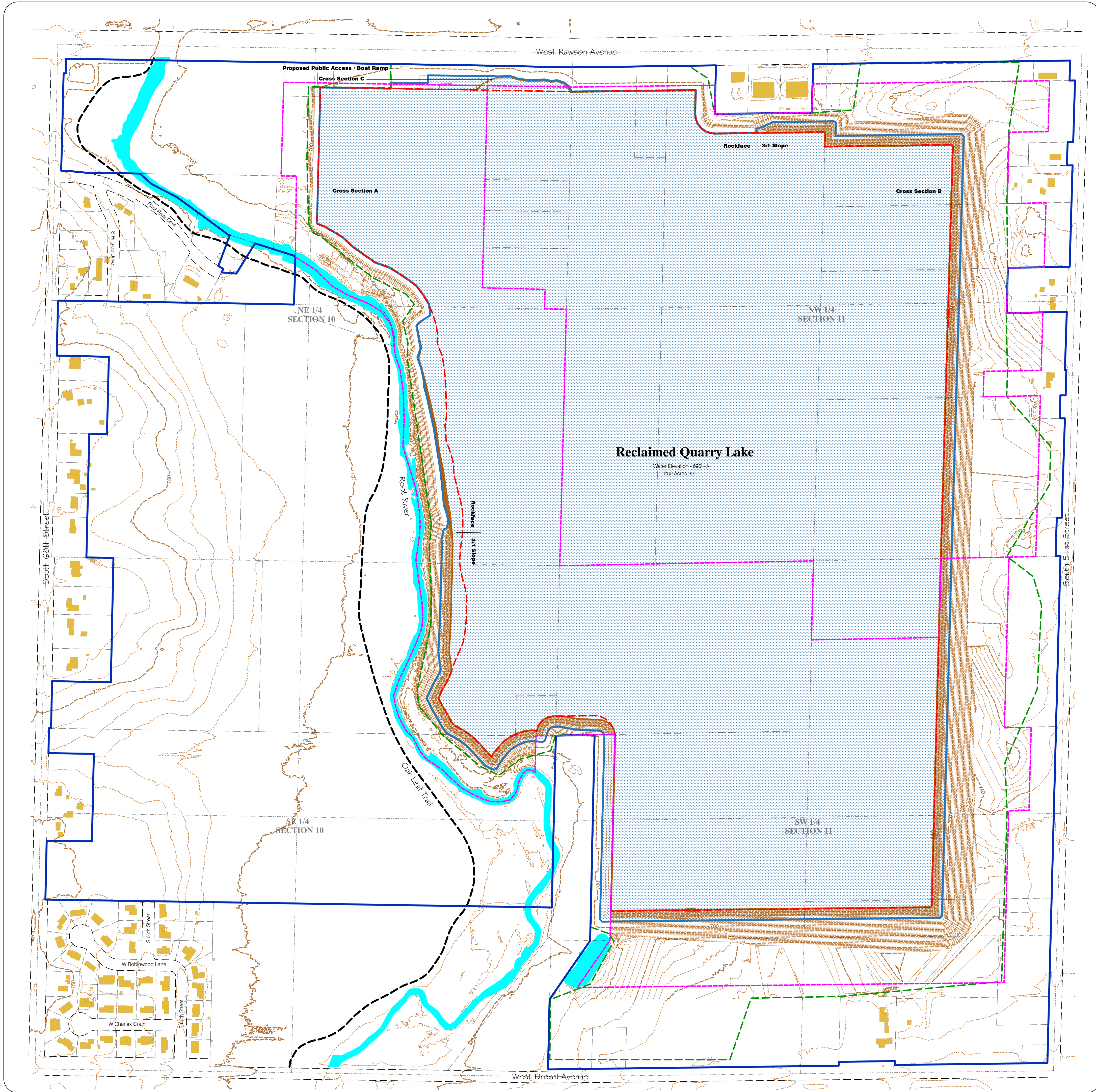
Franklin Aggregate Site  
 East 1/2 Section 10, West 1/2 Section 11  
 Milwaukee County, Wisconsin

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**Payne + Dolan**  
 A VALDES COMPANY

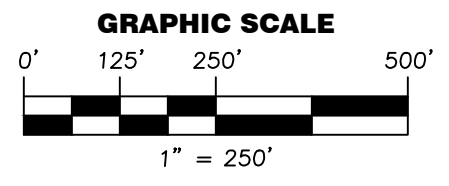
Date: April 2021 Site #: 80370 Drawn By: JS SHEET 2 OF 5





**Legend**

- Property Boundary
- - - Planned Development District
- - - Mining Limit
- - - Grading Extent
- Proposed Lake
- - - Contour Major - 50' Interval
- - - Inside PDD - 10' Interval
- - - Contour Minor - 10' Interval
- - - Inside PDD - 2' Interval
- - - Section Lines
- - - Tax Parcel Lines
- - - Road Right-of-way
- Water Feature



**FINAL CONDITIONS**

Franklin Aggregate Site  
 East 1/2 Section 10, West 1/2 Section 11  
 Milwaukee County, Wisconsin

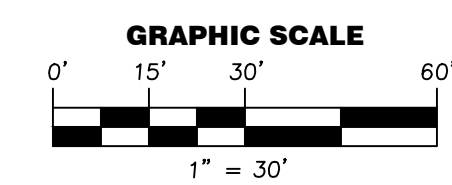
**3**

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Date: April 2021 Site #: 80370 Drawn By: JS SHEET 3 OF 5



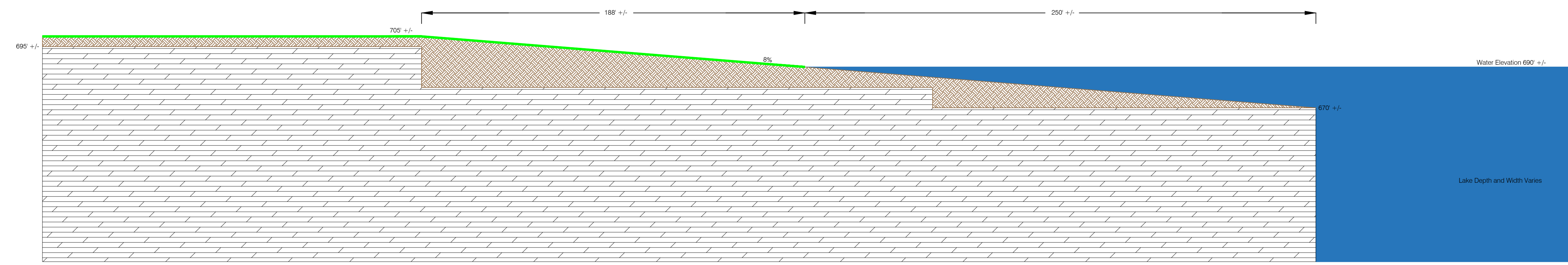


**Cross Section A - RockFace**

**Cross Section B - 3:1 Slope**



**Cross Section C - Boat Ramp**



**4**

SHEET 4 OF 5

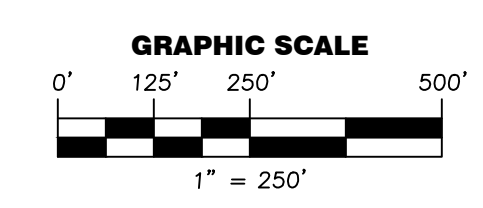
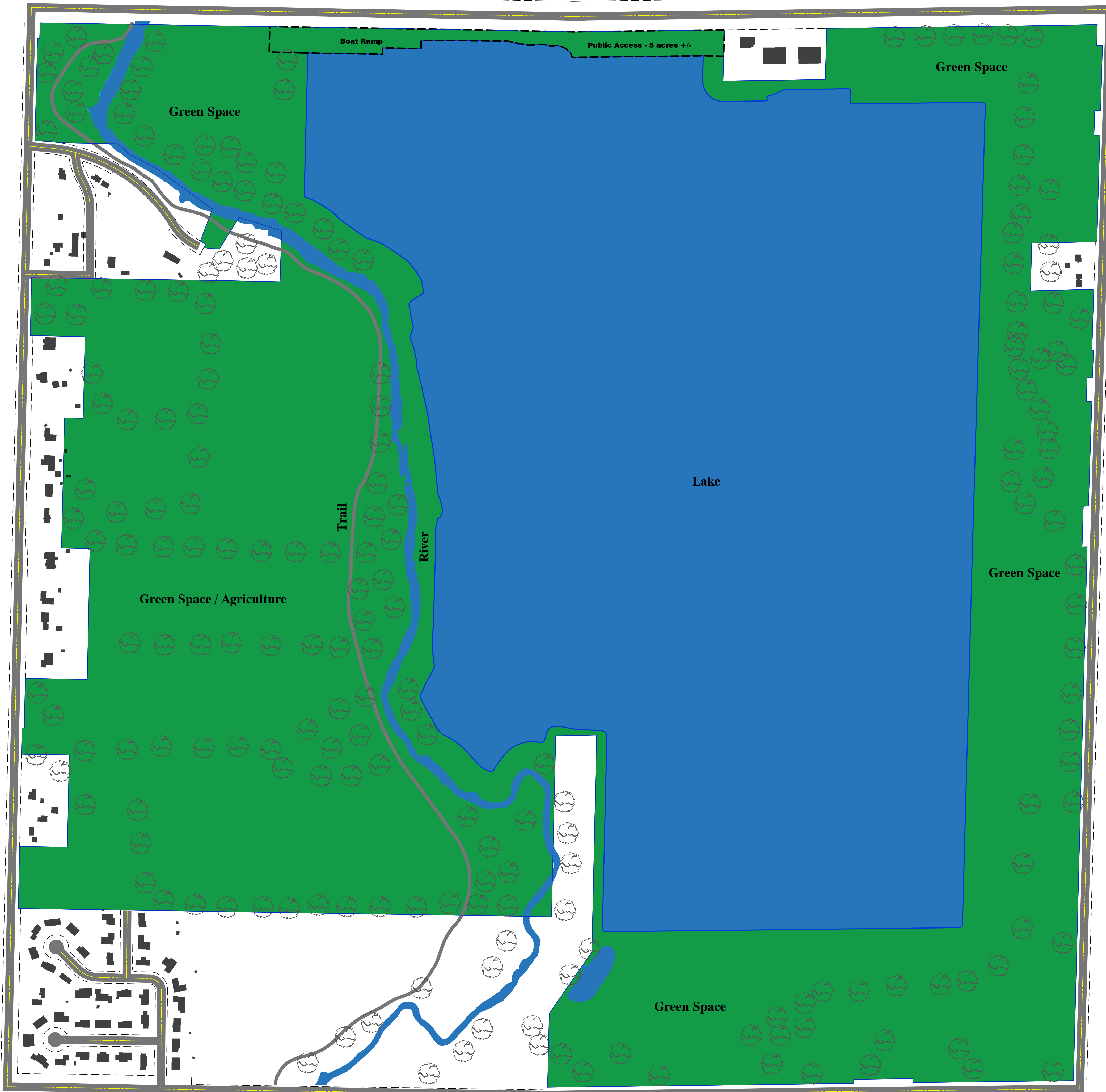
**CROSS SECTIONS**

Franklin Aggregate Site  
East 1/2 Section 10, West 1/2 Section 11  
Franklin Township  
Milwaukee County, Wisconsin

Date: April 2021 Site #: 80370 Drawn By: JS

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SHEET 5 OF 5

**FINAL CONDITIONS - CONCEPTUAL**

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Franklin Aggregate Site  
 Section 10, West 1/2 Section 11  
 Milwaukee County, Wisconsin  
 Date: April 2021 Site #: 80370 Drawn By: JS

**5**

SHEET 5 OF 5





REPORT TO THE PLAN COMMISSION

Meeting of September 23, 2021

Certified Survey Map and Land Division Variance

RECOMMENDATION: City Development Staff recommends approval of the Certified Survey Map (CSM) and Land Division Variance applications submitted by Bonita K. Bosch Living Trust, Daniel J. Zagrodnik and/or Barbara A. Zagrodnik Living Trust and Barbara A. Zagrodnik Separate Trust, subject to the conditions in the attached draft resolutions.

Table with 2 columns: Field Name and Value. Fields include Project Name, Project Location, Property Owner, Applicant, Current Zoning, 2025 Comprehensive Plan, and Applicant's Action Requested.

Introduction

Applications for Certified Survey Map and Land Division Variance to split property located at 10757 S 92nd Street:

Certified Survey Map (CSM):

The proposed Certified Survey Map splits the approximately 80-acre property in 2 separate lots. Lot 1 would be vacant of structures and have an area of 74.96 acres with a lot width of 1,006 feet along South 92nd Street. Lot 2 would contain the existing structures, such as the house, barn, silo and other accessory structures, this lot would have an area of 4 acres and a lot width of 319.5 feet along the same roadway. 1.21 acre is dedicated for South 92nd street right-of-way. This land division essentially allows the owner to separate 4 acres of the 80-acre property.

The applicant submitted this Certified Survey Map application on August 5, 2021. Pursuant to Wisconsin Statutes §236.34(1m)(f), the approving authority (Common Council) shall take action within 90 days of application submittal unless a time extension is granted by the applicant, the review time frame for this application expires on November 3, 2021.



### Land Division Variance:

According to the Unified Development Ordinance (UDO) Table 15-3.0315, the minimum lot area in the A-2 Prime Agricultural District is 35 acres. The applicant is seeking this land division variance to allow for Lot 2 with an area of 4 acres. No site plan or rezoning is being proposed at this time, zoning remains as Prime Agricultural (A-2).

### Project Description and Analysis

With regards to the Land Division Variance request, Section 15-9.0310B.1 of the City of Franklin Unified Development Ordinance states, “No variance to the provisions of Divisions 15-5.0100, 15-8.0100, and 15-8.0200 of this Ordinance shall be granted unless the Plan Commission finds by the greater weight of the evidence that all the following facts and conditions exist:

*1. There is exceptional, extraordinary, or unusual circumstances or conditions where a literal enforcement of the requirements of this Ordinance would result in severe hardship.*

Staff comment: The subject property has a rectangular shape with approximately 80 acres, it is essentially an eighth of a survey section (640 acres), so this property could be divided into 2 lots without the need of a land division variance. On the other hand, it is worth noting that the minimum lot area of 35 acres is unique to the A-2 Prime Agricultural zoning district, for example the minimum lot area in the A-1 Agricultural District is 3 acres.

*2. Such hardships should not apply generally to other properties or be such a recurrent nature as to suggest that the land division portions of the Unified Development Ordinance should be changed.*

Staff comment: The adjacent properties that are zoned A-2 are similar in size to the subject property, for example 9801 W Oakwood Rd with 79.32 acres and 10941 S 92<sup>nd</sup> Street with 73.98 acres. However, the future land use designation of the City of Franklin Comprehensive Master Plan for the subject property is residential and areas of natural resources. The proposed Lot 2 with 4 acres would not impede future residential development or further land subdivision for residential use.

*3. Such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity.*

Staff comment: Other properties zoned A-2 in the surrounding area have lot areas under 35 acres. For example, 10642 S 92<sup>nd</sup> Street with 4.99 acres, TKN 985 9996 000 with 19.47 acres, 10923 S 92<sup>nd</sup> Street with 1.39 acres and 11001 S 92<sup>nd</sup> Street with 2.01 acres.

*4. That the variance will not create substantial detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this Ordinance or the public interest.*

Staff comment: Even though Lot 2 does not meet the minimum lot area, this 319 feet by 545 feet property meets the minimum lot width of 300 feet and it is close to the preferred ratio of depth to width of 2 to 1.

With regards to natural resources, the Natural Resource Protection Plan (NRPP) identifies areas with steep slopes and a wetland on Lot 2. This wetland and associated buffers and setbacks are required to be protected by a conservation easement (see condition of approval # 6).

**Recommendation**

Staff recommends approval of the Certified Survey Map and Land Division Variance subject to the conditions set forth in the attached draft resolutions.

## RESOLUTION NO. 2021-\_\_\_\_\_

A RESOLUTION CONDITIONALLY APPROVING A 2 LOT  
CERTIFIED SURVEY MAP, BEING THE NORTH 1/2 OF THE SOUTHEAST  
1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF  
FRANKLIN, MILWAUKEE COUNTY, WISCONSIN  
(DOROTHY BOSCH COMMON TRUST, APPLICANT)  
(AT 10757 SOUTH 92ND STREET)

---

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a certified survey map, such map being the North 1/2 of the Southeast 1/4 of Section 32, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, more specifically, of the property located at 10757 South 92nd Street, bearing Tax Key No. 986-9997-000, Dorothy Bosch Common Trust, applicant; said certified survey map having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed certified survey map is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Certified Survey Map submitted by Dorothy Bosch Common Trust, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant, prior to recording.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9 of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
3. Each and any easement shown on the Certified Survey Map shall be the subject of separate written grant of easement instrument, in such form as provided within the *City of Franklin Design Standards and Construction Specifications* and such form and content as may otherwise be reasonably required by the City Engineer or



DOROTHY BOSCH COMMON TRUST – CERTIFIED SURVEY MAP  
RESOLUTION NO. 2021-\_\_\_\_\_

Page 2

designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Certified Survey Map.

4. Dorothy Bosch Common Trust, successors and assigns, and any developer of the Dorothy Bosch Common Trust 2 lot certified survey map project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
5. The approval granted hereunder is conditional upon Dorothy Bosch Common Trust and the 2 lot certified survey map project for the property located at 10757 South 92nd Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
6. The applicant shall submit a written conservation easement document for Lot 2, subject to review by City staff, and approval by the Common Council, for recording with the Milwaukee County Register of Deeds Office concurrently with recording of the Certified Survey Map.
7. The technical corrections noted by the Engineering Department in memorandum dated August 18, 2021, and Milwaukee County Register of Deeds in letter dated August 16, 2021, must be addressed prior to recording of this Certified Survey Map.

BE IT FURTHER RESOLVED, that the Certified Survey Map, certified by owner, Dorothy Bosch Common Trust, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a certified survey map, the City Clerk is hereby directed to obtain the recording of the Certified Survey Map, certified by owner, Dorothy Bosch Common Trust, with the Office of the Register of Deeds for Milwaukee County.

DOROTHY BOSCH COMMON TRUST – CERTIFIED SURVEY MAP  
RESOLUTION NO. 2021- \_\_\_\_\_

Page 3

Introduced at a regular meeting of the Common Council of the City of Franklin this  
\_\_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Common Council of the City of  
Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

RESOLUTION NO. 2021-\_\_\_\_\_

A RESOLUTION CONDITIONALLY APPROVING A LAND DIVISION  
VARIANCE FOR A 2 LOT CERTIFIED SURVEY MAP, BEING THE  
NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP  
5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN,  
MILWAUKEE COUNTY, WISCONSIN  
(DOROTHY BOSCH COMMON TRUST, APPLICANT)  
(AT 10757 SOUTH 92ND STREET)

---

WHEREAS, the City of Franklin, Wisconsin, having received an application from Dorothy Bosch Common Trust, for a land division variance to allow for the creation of a lot with an area of 4 acres, such variance being necessary as a concurrent application for approval of a certified survey map, such map being the North 1/2 of the Southeast 1/4 of Section 32, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, more specifically, of the property located at 10757 South 92nd Street, bearing Tax Key No. 986-9997-000, Dorothy Bosch Common Trust, applicant; and

WHEREAS, §15-9.0310 of the Unified Development Ordinance allows for Land Division Variances in part through the applicability thereof upon §15-5.106 and its application relation to and from the provisions of Table 15-3.0315 providing that the minimum lot area in the A-2 Prime Agricultural District is 35 acres; and

WHEREAS, §15-9.0310 of the Unified Development Ordinance sets forth findings which must be made by the Plan Commission and approved by a majority vote of the entire membership of the Plan Commission (4 votes) for approval of a Land Division Variance application.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Commission makes the following findings upon the greater weight of the evidence that all the following facts and conditions exist:

1. There are exceptional, extraordinary, or unusual circumstances or conditions where a literal enforcement of the requirements of this Ordinance would result in severe hardship, to wit: Given the property size of approximately 80 acres and the minimum lot area requirement of 35 acres, the 2-lot certified survey map would not exceed the overall density for the A-2 Prime Agricultural district.
2. Such hardships should not apply generally to other properties or be of such a recurrent nature as to suggest that the land division portions of the Unified Development Ordinance should be changed, to wit: The proposed land division would

A RESOLUTION CONDITIONALLY APPROVING A LAND DIVISION VARIANCE  
FOR DOROTHY BOSCH COMMON TRUST

RESOLUTION NO. 2021-\_\_\_\_\_

Page 2

not negatively impact the neighboring properties since the master plan indicates the land in the area to be zoned residential.

3. Such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity, to wit: Other properties zoned A-2 Prime Agricultural in the surrounding area have lot sizes under 35 acres.

4. That the variance will not create substantial detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this Ordinance or the public interest, to wit: The intent of the A-2 Prime Agricultural district is to prevent the premature conversion of agricultural land to scattered urban and suburban uses such as residential, commercial and industrial uses. The 2 lots created by the certified survey map retain the existing A-2 zoning where urban and suburban uses are prohibited.

BE IT FURTHER RESOLVED, that the application by Dorothy Bosch Common Trust, for a Land Division Variance, upon the above findings, be and the same is hereby approved, subject to the approval of the aforesaid certified survey map application by Dorothy Bosch Common Trust.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

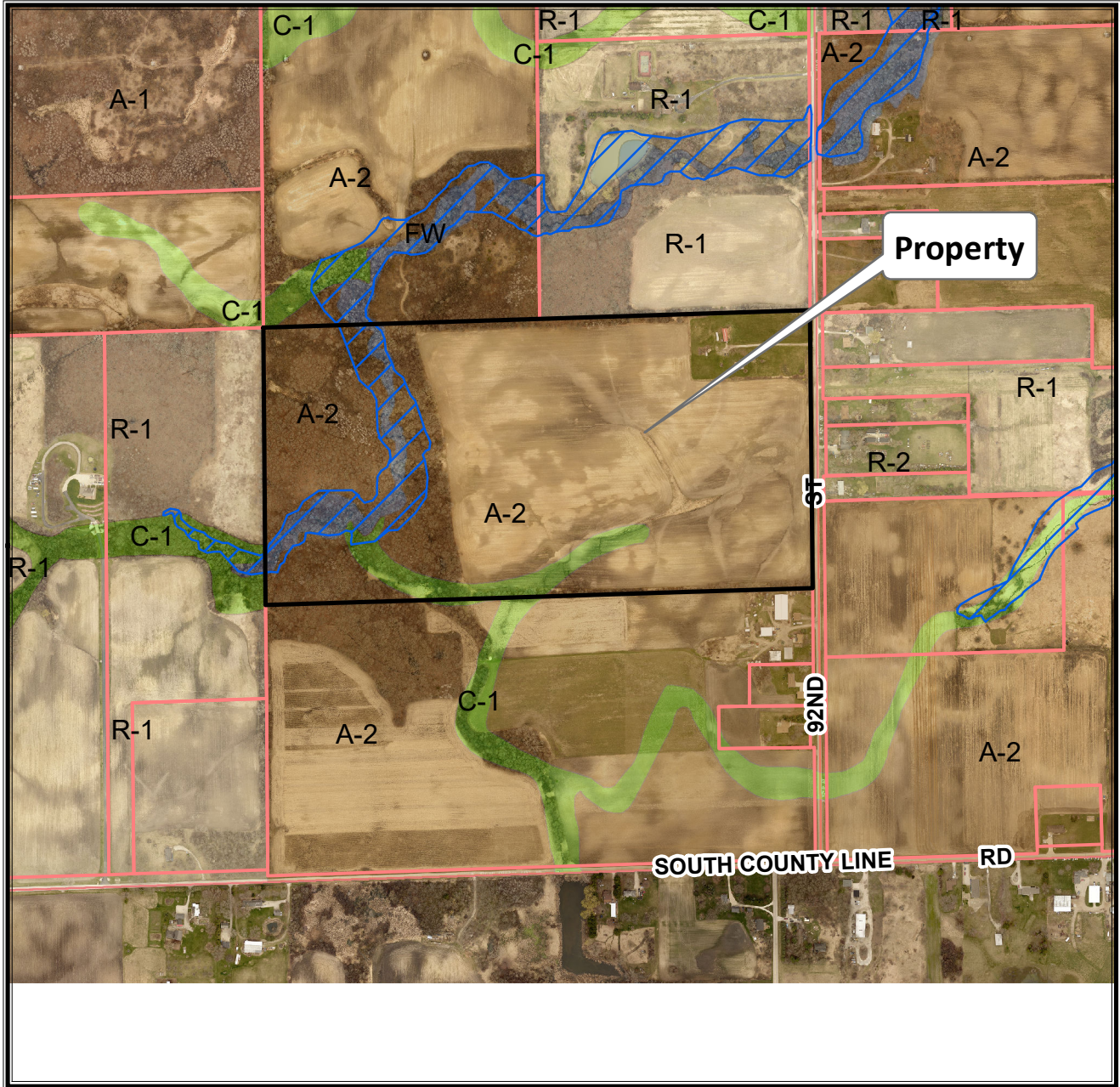
\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

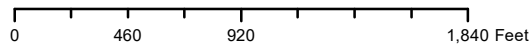
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

10757 S. 92nd Street  
TKN: 986 9997 000



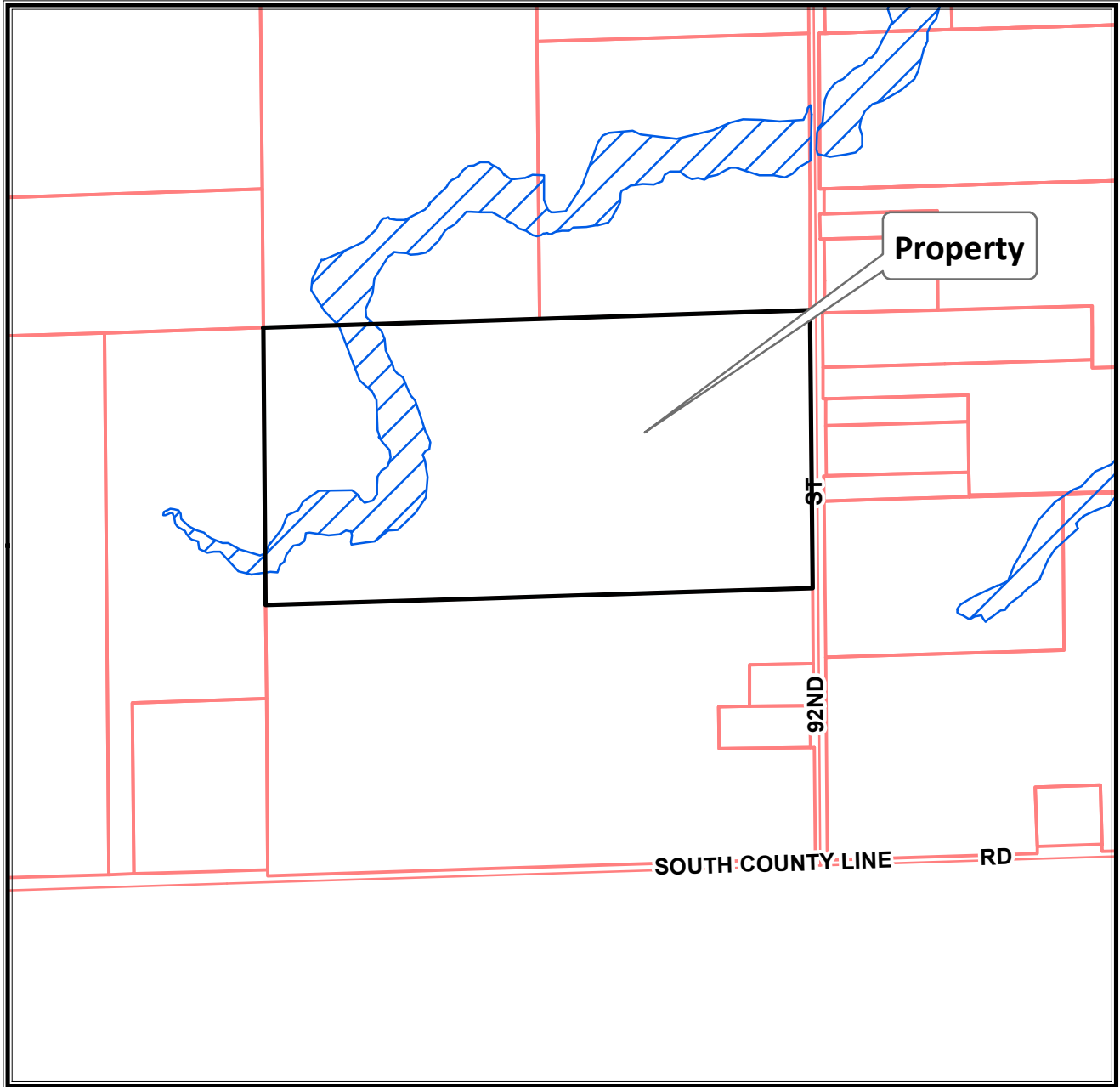
**Planning Department**  
**(414) 425-4024**



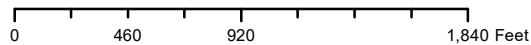
*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



10757 S. 92nd Street  
TKN: 986 9997 000



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





# MEMORANDUM

Date: August 20, 2021

To: Bonita Bosch, Breanna Predzik and Barbara Zagrodnik

From: Régulo Martínez-Montilva, Principal Planner  
City of Franklin, Department of City Development

RE: Comments and Recommendations for Certified Survey Map and Land Division Variance applications. 10757 S. 92<sup>nd</sup> Street, Tax Key No. 986-9997-000.

---

Below are comments and recommendations for the Certified Survey Map and Land Division Variance applications submitted on August 5, 2021.

## Department of City Development comments

1. **Required information for Certified Survey Maps.** Per Section 15-7.0702 of the Unified Development Ordinance (UDO), please show correctly on the face of the CSM, in addition to the information required by § 236.34 of the Wisconsin Statutes, the following:

***B. Setbacks, Shore Buffers, Wetland Buffers, Wetland Setbacks, and Building Lines.** All required setbacks, shore buffers, wetland buffers, wetland setbacks, and building lines shall be graphically indicated and dimensioned on the Certified Survey Map.*

Please add the 30-foot wetland buffer and the 50-foot wetland setback.

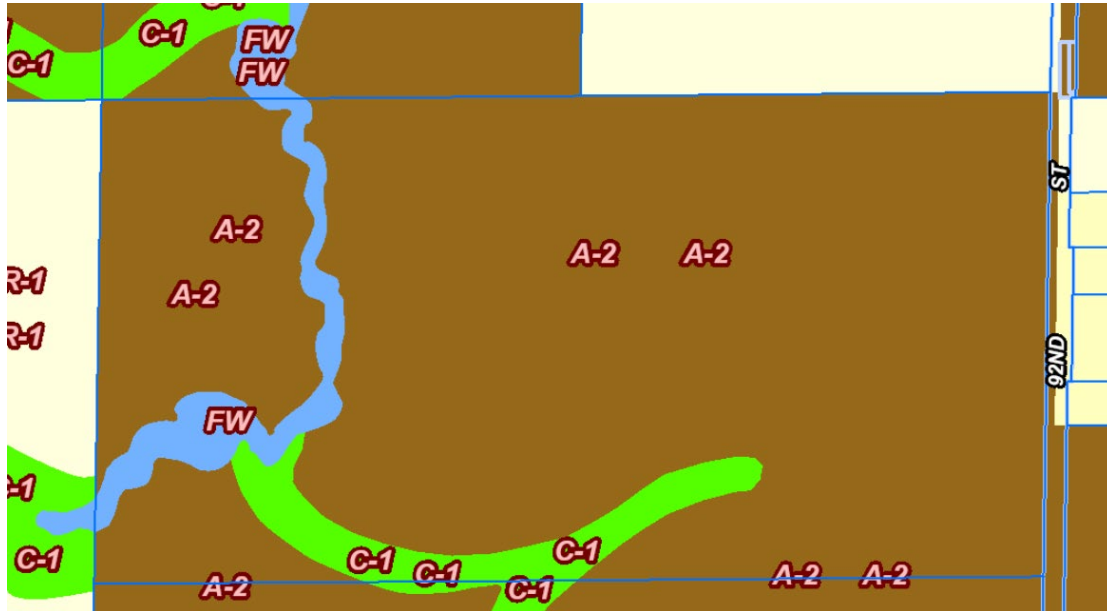
***G. Floodplain Limits and Contours.** Floodplain limits and the contour lines lying a vertical distance of two feet above the elevation of the one-hundred-year recurrence interval flood, or where such data is not available, five feet above the elevation of the maximum flood of record.*

Please add the floodplain limits, see image below for reference.



*M. Existing Zoning.* The Certified Survey Map shall indicate on its face the current zoning and zoning boundary lines of all parcels, lots or outlots proposed to be created by the Certified Survey Map.

Please add zoning district boundaries, see image below for reference:



2. **Conservation easement.** Pursuant to UDO §15-7.0702.P, conservation easements are required for Certified Survey Maps, the location and extent of conservation easements should be directly related to the Natural Resource Protection Plan. The conservation easement area shall be graphically indicated and clearly delineated and dimensioned on the face of the Certified Survey Map, this area must include the wetland and associated buffer and setback present in Lot 2.

The standard city's template for conservation easements is attached for your reference. Upon approval of the conservation easement by the Common Council, such document should be recorded concurrently with the Certified Survey Map.

3. Please add middle name initials to the Mayor and City Clerk names, it should read Stephen R. Olson and Sandra L. Wesolowski.
4. **CSM review time frame.** Pursuant to Wisconsin Statutes 236.34(1m)(f), the approval authority shall take action within 90 days of submittal unless the time is extended by agreement with the subdivider, therefore, the Common Council shall take action before November 3. If you are not able to address staff comments timely for the provided meeting dates (9/23, 10/7 or 10/21 Plan Commission), you can extend the review time in writing.

**Engineering Department comments**

5. See separate letter.

**Inspection Services Department comments**

6. Inspection Services has no comments on the proposal at this time.

**Police Department comments**

7. The PD has no comment regarding this request.

**Fire Department comments**

8. FD has no comments at this time.

**Milwaukee County Register of Deeds comments**

9. See separate letter, disregard comments regarding review fee.



Date: August 18, 2021

To: Planning and Zoning Department

From: Ronnie Asuncion, Eng Lead Tech

Re: Certified Survey Map

Owner: Dorothy Bosch Common Trust

Address: 10757 S 92<sup>nd</sup> Street

The Engineering Department has completed its review of the above proposed certified survey map. Prior to recommending it for approval, the following conditions should be resolved:

Must resolve all technical omissions and deficiencies identified by the City of Franklin and County of Milwaukee.

- On page 1 of 4;
  - a) Add this note “PROPERTY IS NOT SERVED BY MUNICIPAL SANITARY SEWER AND WATER”.
  - b) Under Legend, add the monument symbol.
  
- On page 2 of 4;
  - a) Indicate who delineated the wetland (Wetland Delineator Certified by the State of Wisconsin) and when it was delineated.
  - b) Show the wetland setbacks;
    - 30’ BUFFER NO TOUCH ZONE
    - 50’ SETBACK NO BUILD
  
- On page 3 of 4;
  - a) On the last paragraph, after the phrase WISCONSIN STATUTES change the sentence “AND THE LAND DIVISION AND DEVELOPMENT CONTROL ORDINANCE” to “**AND THE UNIFIED DEVELOPMENT ORDINANCE-DIVISION 15**”....
  
- On page 4 of 4;
  - a) Under the COMMON COUNCIL APPROVAL, insert the word “**AND ACCEPTED**” after the word “APPROVE”.
  - b) Under Mayor’s signature, change Steven to **STEPHEN OLSON-MAYOR**

Thank you



REGISTER OF DEEDS

# Milwaukee County

ISRAEL RAMÓN • Register of Deeds

August 16, 2021

City of Franklin Planning Department  
Attn: Gail M. Olsen, City Development Secretary  
9229 W. Loomis Road  
Franklin, WI 53132-9728

**\$75.00 Review Fee Not Paid**

RE: Preliminary Review of Certified Survey Map  
That Part of North ½ of SE ¼ of SEC 32 T 5N, R21E, City of Franklin, County of Milwaukee, State of Wisconsin

**Tax Key Number (s): 986-9997**

**Owners(s): Bonita K. Bosch Living Trust, Daniel J. Zagrodnik/Barbara A. Zagrodnik Living Trust**

**Comment:** Please make sure all ownership is correct before recording Certified Survey Map.

**Comment:** Milwaukee County is reviewing the Preliminary Plat for closure issues and to verify ownership. Please refer to Wisconsin State Stats 236 and the local municipalities ordinances for further questions.

Sincerely,  
Rosita Ross  
Real Property Supervisor  
[Rosita.Ross@MilwaukeeCountywi.gov](mailto:Rosita.Ross@MilwaukeeCountywi.gov)  
414-278-4047  
Cc: file  
Ronnie Asuncion, Engineering Technician  
Peter J. Nielson/Surveyor





AUG 05 2021

Date of Application: \_\_\_\_\_

**VARIANCE AND APPEALS APPLICATION** *City Development*

Complete, accurate and specific information must be entered. Please Print.

**Property Owner/Legal Entity (Full Legal Name[s]):**

Name: Bonita Bosch, Breanna Predzik, Barbara Zagrodnik  
 Name: Dorothy Bosch Common Trust  
 Mailing Address: 8830 W. Oakwood Road  
 City / State: Franklin, WI Zip: 53132  
 Phone: 414 712 4437  
 Email Address: bpredzik8787@gmail.com

**Applicant is Represented by (contact person) (Full Legal Name[s]):**

Name: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 City / State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email Address: \_\_\_\_\_

**Project Property Information:**

Property Address: 10757 S. 92nd Street, Franklin, WI 53132  
 Tax Key Nos: 9869997000  
 Existing Zoning: A-2  
 Existing Use: Agriculture  
 Proposed Use: A-2  
 Future Land Use Identification: Residential

**Variance Type Requested:**

- Administrative Appeal \* UDO Section 15-10.0205
- Area Variance \* UDO Section 15-10.0206
- Use Variance \* UDO Section 15-10.0207
- Non-Conforming Use(s) UDO Section 15-3.1010E
- Land Division Variance\*\* UDO Section 15-9.0310

The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/Resources/Documents/Maps.htm>

The Unified Development Ordinance is available at the City's website: [www.franklinwi.gov](http://www.franklinwi.gov)

**Variance and Appeals Application submittals for review must include and be accompanied by the following:**

(See Section 15-10.0206 of the Unified Development Ordinance for additional Variance requirements and procedures.)

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin:  \$250
- Legal Description for the subject property (WORD.doc or compatible format).
- Seven (7) complete **collated** sets of Application materials to include:
  - One (1) original and six (6) copies of a written Project Summary describing the project and including the information requested in Sections 15-9.0105C. (Administrative Appeal) or 15-9.0106C. (Variance) of the Unified Development Ordinance.
  - Three (3) **folded** full size, drawn to scale copies of the Plat of Survey, Site Plan, Building Elevations, Landscape Plan and Outdoor Lighting Plan, as appropriate, Photographs and any other supporting documents, which illustrate the Variance request.
  - Four (4) **folded** reduced size (11"x17") copies of the above stated submittal materials.
- Three (3) Affidavit Forms with original and notarized signatures (facsimiles and copies will not be accepted).
- \*Completed "Findings and Factors in the Review of Variances" Form (from Sections 15-10.0206C.1. and 15-10.0211 of the UDO).
- \*\*Completed "Findings and Factors in the Review of Land Division Variances" Form (from Sections 15-9.0310B.1 of the UDO).
- Email (or CD ROM) with all plans/submittal materials (where applicable). Plans must be submitted in both Adobe PDF and AutoCAD compatible format.

- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- Most Variance and Appeal requests require a public hearing prior to Board or Commission approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

Barbara Zagrodnik  
Bonita K Bosch Breanna Predzik  
 Signature - Property Owner  
Dorothy Bosch Common Trust  
 Name & Title (PRINT)  
 Date: 8/4/2021

Barbara Zagrodnik  
Bonita K Bosch Breanna Predzik  
 Signature - Property Owner  
Dorothy Bosch Common Trust  
 Name & Title (PRINT)  
 Date: 8/4/2021

Barbara Zagrodnik  
Bonita K Bosch Breanna Predzik  
 Signature - Applicant's Representative  
Dorothy Bosch Common Trust  
 Name & Title (PRINT)  
 Date: 8/4/2021



Planning Department  
9229 West Loomis Road  
Franklin, Wisconsin 53132  
Email: [generalplanning@franklinwi.gov](mailto:generalplanning@franklinwi.gov)



Phone: (414) 425-4024  
Fax: (414) 427-7691  
Web Site: [www.franklinwi.gov](http://www.franklinwi.gov)

## Findings and Factors in the Review of Land Division Variances

Date: 9/13/21

Case No. \_\_\_\_\_

Property Owner: Bonita K Bosch Trust, Bonita K Bosch Trustee, Barbara A Zagrodnik Trust, Barbara A Zagrodnik, Trustee, Bonita K Bosch Living Trust, Bonita K Bosch, Trustee, Daniel J Zagrodnik and Barbara A Zagrodnik

Property Address: 10757 S. 92nd Street, Franklin, WI 53132

Section 15-9.0310B.1 of the City of Franklin Unified Development Ordinance states, "No variance to the provisions of Divisions 15-5.0100, 15-8.0100, and 15-8.0200 of this Ordinance shall be granted unless the Plan Commission finds by the greater weight of the evidence that all the following facts and conditions exist and so indicates in the minutes of its proceedings:

1. There is exceptional, extraordinary, or unusual circumstances or conditions where a literal enforcement of the requirements of this Ordinance would result in severe hardship.

If the land division is not allowed, the owners will not be able to sell the parcel and improve their financial situation.

2. Such hardships should not apply generally to other properties or be such a recurrent nature as to suggest that the land division portions of the Unified Development Ordinance should be changed.

The proposed land division would not negatively impact the neighboring properties since the master plan indicates the land in the area to be zoned residential.

3. Such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity.

The proposed 4 acre parcel created by the land division will allow another family to purchase the property and enjoy the land and maintain the property rights and hopefully fulfill a life time dream to own a sizable parcel of land in the City of Franklin.

4. That the variance will not create substantial detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this Ordinance or the public interest.

The proposed land division creates a lot similar in size to other lots along 92nd Street.



# EXISTING NRPP MAP

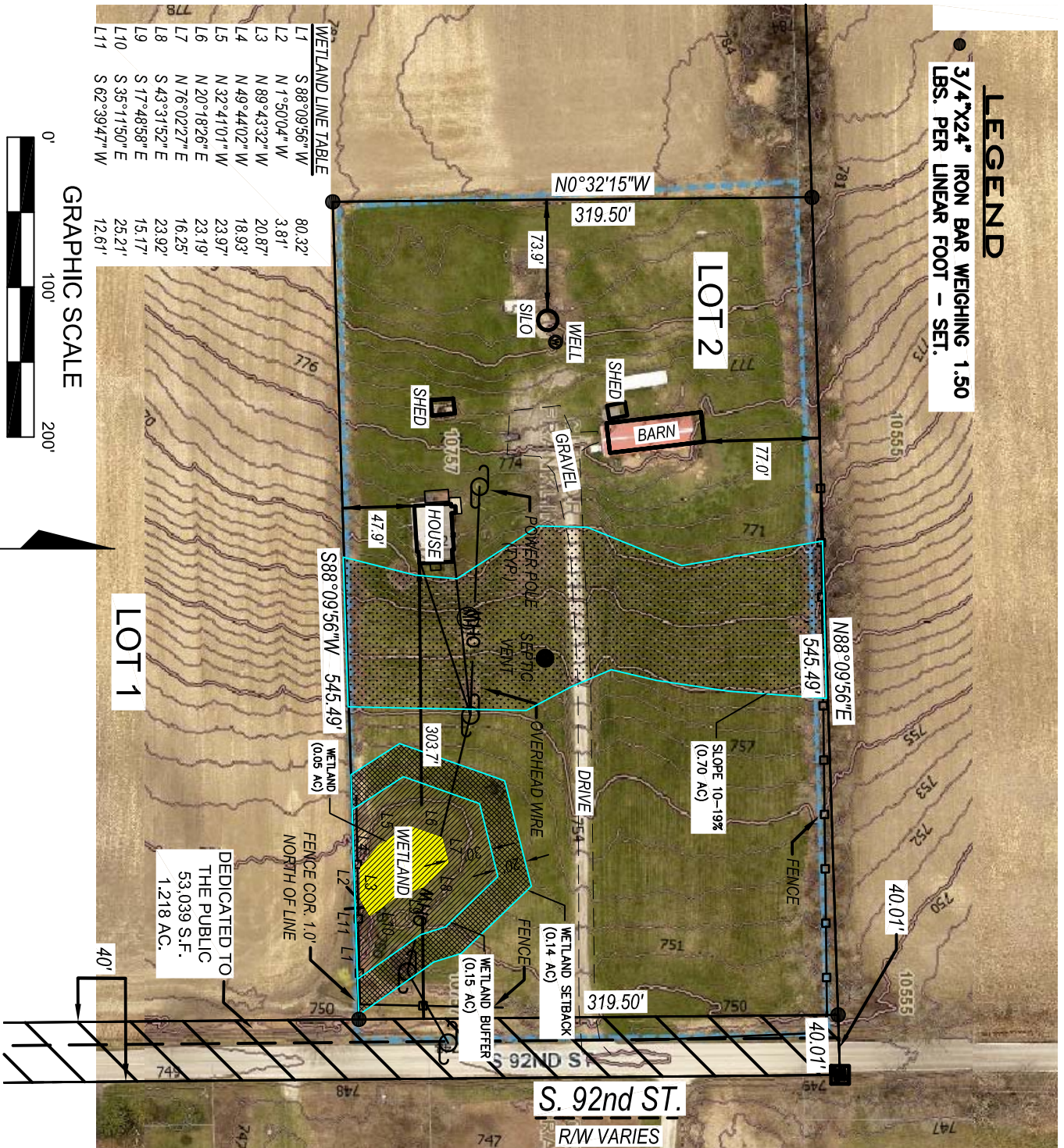


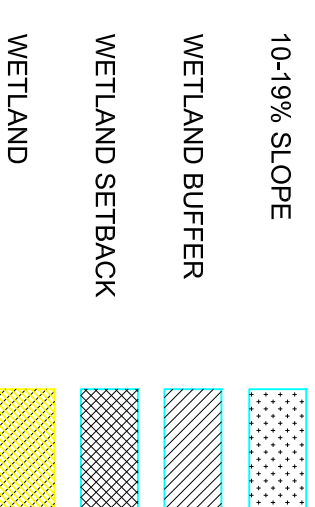
Table 1: Worksheet for the Calculation of Natural Resource Protection Land

Natural Resource Features	Zoning District Type: Residential Protection Standard	Area of Resource (Acres)	Protection Requirement	Area of Proposed Disturbance (Acres)	Acres of Land Required to be Mitigated	Acres of Land to be Mitigated
<b>Sleep Slopes</b>						
10-19%	60%	0	0.52	0	0	0
20-30%	75%	0.70		0	0	0
>30%	85%	0		0	0	0
<b>Woodlands &amp; Forests</b>						
Mature	70%	0				
Young	50%	0				
<b>Lakes &amp; Ponds</b>	100%	0				
<b>Streams</b>	100%	0				
<b>Shore Buffers</b>	100%	0				
<b>Floodplains/ Floodways</b>	100%	0				
<b>Wetlands &amp; Shoreland Wetlands</b>	100%	0.05	0.05	0	0	0
<b>Wetland Buffers</b>	100%	0.15	0.15	0	0	0
<b>Wetland Setbacks</b>		0.14		0	0	

LOT 2:  
 THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

Address: 10757 South 92nd Street, Franklin, Wisconsin

## LEGEND:



**PROPERTY OWNERS:**  
 Dorothy Bosch Common Trust (Breanna Predzik, Bonita Bosch, & Barbara Zagrodnik)  
 8830 W. Oakwood Rd.  
 Franklin, WI 53132  
 ph: 414-712-4437

**NRPP PREPARER:**  
 Helianthus LLC  
 Attn: Kristi Sherfinski  
 1836 W. Fond Du Lac Ave.,  
 Ste. 100  
 Milwaukee, WI 53205  
 ph: 414-588-7339







September 10, 2021

Régulo Martinez-Montilva, AICP  
Principal Planner – Department of City Development  
City of Franklin  
9229 W. Loomis Road  
Franklin, WI 53132

Dear Mr. Martinez-Montilva:

I am writing on behalf of Ms. Breanna Predzik in regards to her Land Division Variance application for the property at 10757 S. 92<sup>nd</sup> Street in the City of Franklin submitted on August 5, 2021. It is my understanding that Mr. Jim Maloney at Lynch & Associates has been working to address the Department of City Development and the Engineering Department comments regarding the required information on the Certified Survey Map (CSM) for Lot 2. This includes adding all setbacks and buffers, the floodplain limits, and existing zoning information, and resolving the technical issues and deficiencies on the CSM. It should also include graphically defining and adding dimensions for the areas to be placed under Conservation easement, and correcting the names of the Mayor and the City Clerk.

Ms. Predzik asked me to assist with filling out the Conservation Easement document. I made the attempt to fill in the paperwork on her behalf, though admittedly, CSM maps and Conservation Easements are not my area of expertise. The updated CSM and Conservation Easement documents are enclosed with this letter. If there are any issues with these documents, please let me know and I will do my best to assist Ms. Predzik with the necessary corrections.

Respectfully,

Kristi Sherfinski  
Principal  
Helianthus, LLC

## **Project Summary**

**Certified Survey Map for Bonita Bosch, Breanna Predzik, and Barbara Zagrodnik**

**10757 S. 92<sup>nd</sup> Street, Franklin**

The owners of the property would like divide the property into 2 lots. One lot would include the existing farmhouse and accessory buildings and the other would be retained as farm land. This land division gives the current property owners the option to sell the existing farmhouse in the future and also retain a large track of land for family use now and in the future.



Date of Application: \_\_\_\_\_

## CERTIFIED SURVEY MAP (CSM) APPLICATION

*Complete, accurate and specific information must be entered. Please Print.*

**Applicant (Full Legal Name[s]):**

Name: Bonita K Bosch Trust, Bonita K Bosch Trustee, Barbara A Zagrodnik Trust, Barbara A Zagrodnik, Trustee, Bonita K Bosch Livi  
 Company: Daniel J Zagrodnik and Barbara A Zagrodnik Living Trust, Daniel J Zagrodnik and Barbara A Zagrodnik, Trustees, Doro  
 Mailing Address: 8830 W. Oakwood Road  
 City / State: Franklin, WI Zip: 53132  
 Phone: 414 712 4437  
 Email Address: bpredzik8787@gmail.com

**Applicant is Represented by: (contact person)(Full Legal Name[s])**

Name: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 City / State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email Address: \_\_\_\_\_

**Project Property Information:**

Property Address: 10757 S. 92nd Street, Franklin, WI 53132  
 Property Owner(s): \_\_\_\_\_  
Dorothy Bosch Common Trust (Breanna Predzik, Bonita Bosch, Barbara Zagrodnik)  
 Mailing Address: 8830 W. Oakwood Road  
 City / State: Franklin, WI Zip: 53132  
 Email Address: bpredzik8787@gmail.com

Tax Key Nos: 9869997000  
 Existing Zoning: A-2  
 Existing Use: Agriculture  
 Proposed Use: A-1  
 CMP Land Use Identification: Landfill

\*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

**Certified Survey Maps shall be prepared as provided in § 236.34 (1m) (c) Wis. Stats. and Division 15-7.0700 of the Unified Development Ordinance.**

**Certified Survey Map submittals for review must include and be accompanied by the following:**

- Milwaukee County Review Fee, payable to Milwaukee County Register of Deeds: \$75
  - Two (2) original map copies for Milwaukee County review, prepared at 8-1/2" wide by 14" long on durable white paper.
- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin: \$1,500
- Seven (7) complete sets of Application materials, for City of Franklin review to include:
  - Project Summary: *a written detailed description of the project*: One (1) original and six (6) copies
  - Map Copies: One (1) original map copy and six (6) map copies prepared at 8-1/2" wide by 14" long and must be clearly legible.
- As may be required*, seven (7) copies of a "Natural Resource Protection Plan and "Landscape Plan" for any landscape bufferyard easement areas.
- If applicable*, three (3) copies of the Natural Resource Protection report (see Division 15-9.0309D of the UDO).
- If applicable*, one copy of the Site Intensity and Capacity Calculations (see Division 15-3.0500 of the UDO).
- Email (or CD ROM) with all plans and submittal materials in Adobe PDF. *(May be waived by City Planner.)*

- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- All Certified Survey Map requests require Plan Commission review and Common Council approval.
- All Certified Survey Map requests shall comply with Chapter 236 of the Wisconsin State Statutes.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

***(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).***

\_\_\_\_\_  
 Signature - Property Owner

\_\_\_\_\_  
 Name & Title (PRINT)  
 Date: \_\_\_\_\_

\_\_\_\_\_  
 Signature - Property Owner

\_\_\_\_\_  
 Name & Title (PRINT)  
 Date: \_\_\_\_\_

\_\_\_\_\_  
 Signature - Applicant

\_\_\_\_\_  
 Name & Title (PRINT)  
 Date: \_\_\_\_\_

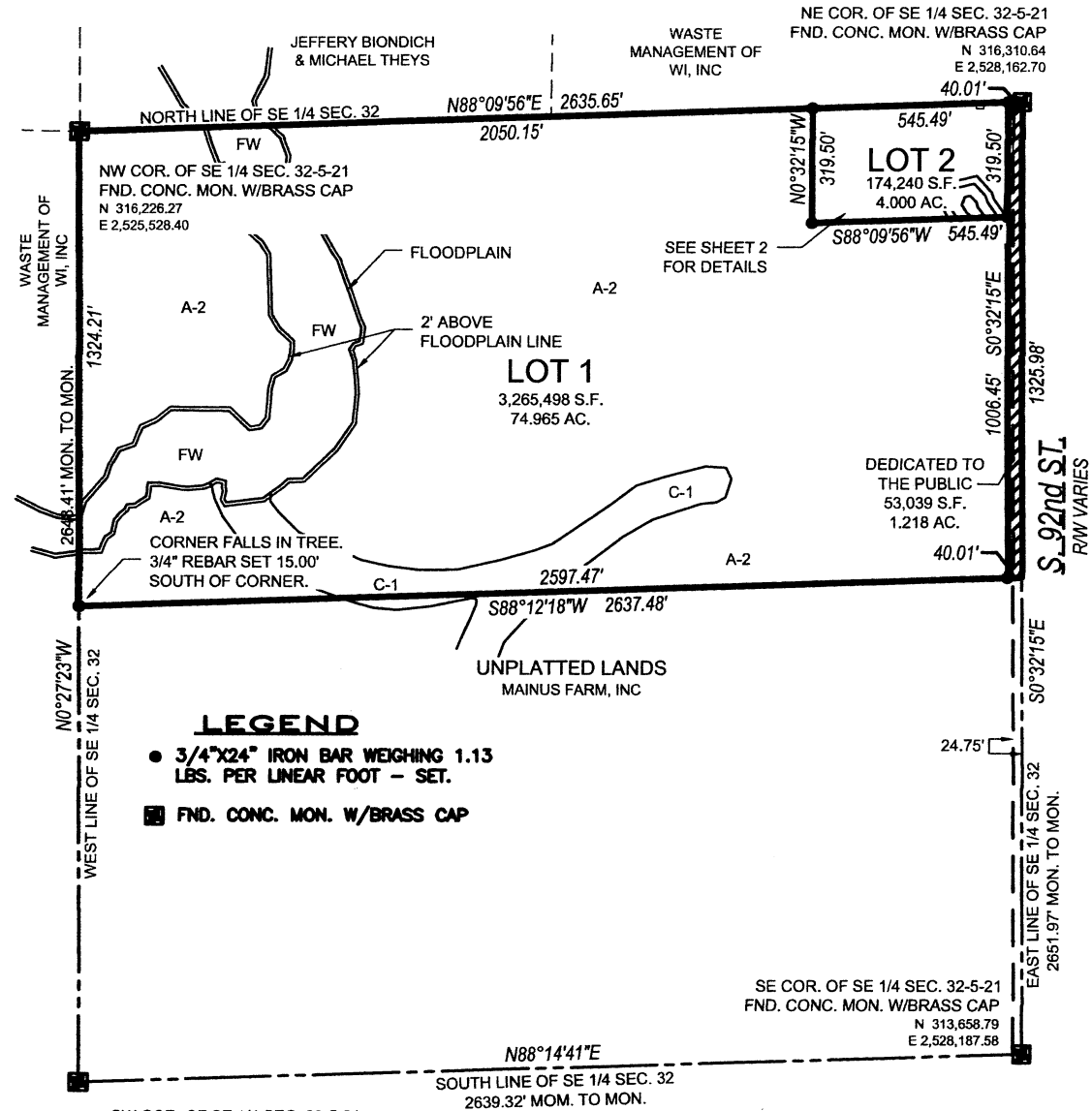
\_\_\_\_\_  
 Signature - Applicant's Representative

\_\_\_\_\_  
 Name & Title (PRINT)  
 Date: \_\_\_\_\_



**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

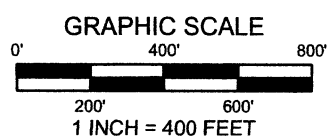
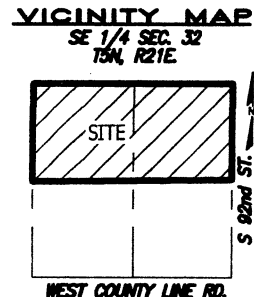
THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.



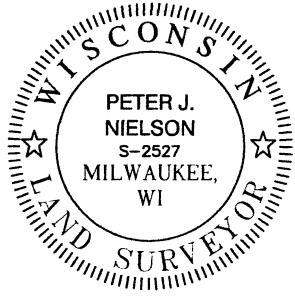
**LEGEND**

- 3/4"x24" IRON BAR WEIGHING 1.13 LBS. PER LINEAR FOOT - SET.
- FND. CONC. MON. W/BRASS CAP

PROPERTY IS NOT SERVED BY MUNICIPAL SANITARY SEWER AND WATER



BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD '27) - GRID NORTH. THE NORTH LINE OF THE SE 1/4 OF SEC. 32-5-21 IS ASSUMED TO BEAR N 88°09'56" E



DATE 6/29/2021  
SHEET 1 OF 4

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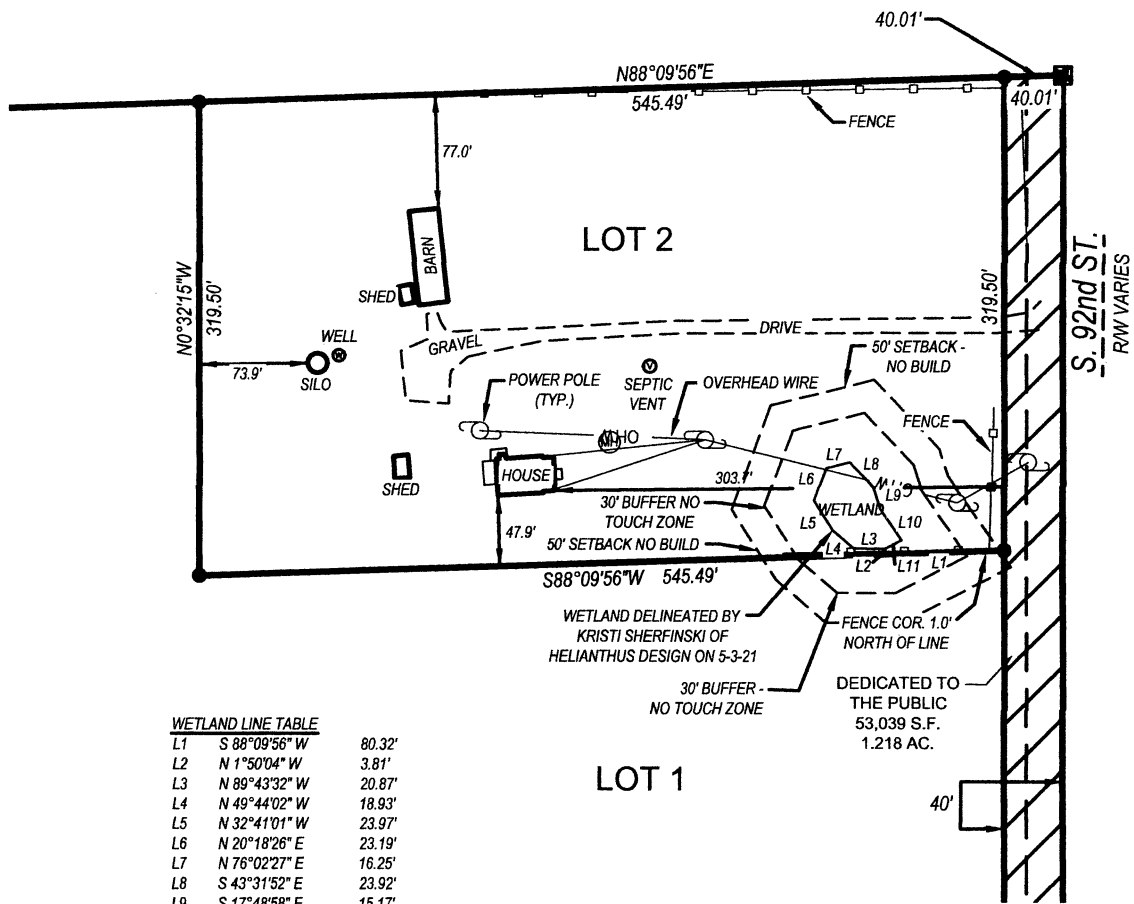


**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

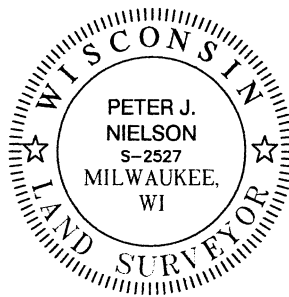
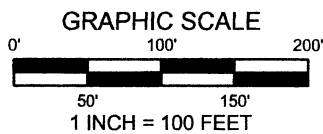
**LEGEND**

- 3/4"x24" IRON BAR WEIGHING 1.50 LBS. PER LINEAR FOOT - SET.



**WETLAND LINE TABLE**

L1	S 88°09'56" W	80.32'
L2	N 1°50'04" W	3.81'
L3	N 89°43'32" W	20.87'
L4	N 49°44'02" W	18.93'
L5	N 32°41'01" W	23.97'
L6	N 20°18'26" E	23.19'
L7	N 76°02'27" E	16.25'
L8	S 43°31'52" E	23.92'
L9	S 17°48'58" E	15.17'
L10	S 35°11'50" E	25.21'
L11	S 62°39'47" W	12.61'



BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD '27) - GRID NORTH. THE NORTH LINE OF THE SE 1/4 OF SEC. 32-5-21 IS ASSUMED TO BEAR N 88°09'56" E

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**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, PETER J. NIELSON, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

BEING PART OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 32; THENCE S 0°32'15" E ALONG THE EAST LINE OF SAID SOUTHEAST 1/4, 1325.98 FEET TO THE SOUTH LINE OF THE NORTH 1/2 OF SAID SOUTHEAST 1/4; THENCE S 88°12'18" W ALONG SAID SOUTH LINE OF THE NORTH 1/2 OF THE SOUTHEAST 1/4, 24.76 FEET TO THE WEST LINE OF S. 92nd STREET; THENCE CONTINUING S 88°12'18" W ALONG SAID SOUTH LINE OF THE NORTH 1/2 OF THE SOUTHEAST 1/4, 2612.73 FEET TO THE WEST LINE OF THE SOUTHEAST 1/4; THENCE N 0°27'23" W ALONG SAID WEST LINE OF THE SOUTHEAST 1/4, 1324.21 FEET TO THE NORTHWEST CORNER OF THE SOUTHEAST 1/4; THENCE N 88°09'56" E ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4, 2610.89 FEET TO THE WEST LINE OF S. 92nd STREET; THENCE CONTINUING N 88°09'56" E ALONG SAID NORTH LINE OF THE SOUTHEAST 1/4, 24.76 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 AND THE POINT OF BEGINNING.

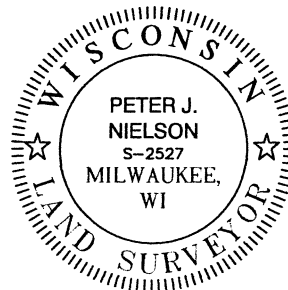
SAID PARCEL CONTAINS 3,492,778 SQUARE FEET OR 80.183 ACRES, MORE OR LESS.

I FURTHER CERTIFY THAT I HAVE MADE SAID LAND DIVISION AND DEDICATION BY THE DIRECTION OF BONITA K. BOSCH LIVING TRUST DATED 11-28-2012, DANIEL J. ZAGRODNIK AND/OR BARBARA A. ZAGRODNIK, LIVING TRUST DATED 9-28-2011, BARBARA A. ZAGRODNIK SEPARATE TRUST DATED 7-24-2011 OWNERS OF SAID LANDS. THAT SUCH LAND DIVISION IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE UNIFIED DEVELOPMENT ORDINANCE-DIVISION 15 OF THE CITY OF FRANKLIN IN SURVEYING, DIVIDING, MAPPING AND DEDICATING THE SAME.

DATED THIS 13th DAY OF SEPTEMBER, 2021.

\_\_\_\_\_  
PETER J. NIELSON  
PROFESSIONAL LAND SURVEYOR #S-2527



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**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE  
21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

WE, BONITA K. BOSCH LIVING TRUST DATED 11-28-2012, DANIEL J. ZAGRODNIK AND/OR BARBARA A. ZAGRODNIK, LIVING TRUST DATED 9-28-2011, BARBARA A. ZAGRODNIK SEPARATE TRUST DATED 7-24-2011, AS OWNERS, HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, MAPPED, DIVIDED AND DEDICATED AS REPRESENTED ON THIS MAP AS REPRESENTED HEREON.

AS OWNERS, WE FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S. 236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL:

- 1. THE CITY OF FRANKLIN

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
BONITA K. BOSCH LIVING TRUST DATED NOVEMBER 28, 2012 - BONITA K. BOSCH TRUSTEE

\_\_\_\_\_  
BARBARA A. ZAGRODNIK SEPARATE TRUST DATED JULY 24, 2011- BARBARA A. ZAGRODNIK TRUSTEE

\_\_\_\_\_  
DANIEL J. ZAGRODNIK AND/OR BARBARA A. ZAGRODNIK LIVING TRUST DATED SEPTEMBER 28, 2011 - DANIEL J. ZAGRODNIK AND BARBARA A. ZAGRODNIK TRUSTEES

STATE OF \_\_\_\_\_ ) ss  
COUNTY OF \_\_\_\_\_ )

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

THE ABOVE NAMED \_\_\_\_\_  
TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND  
ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

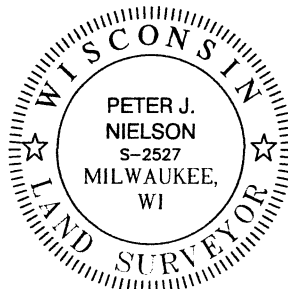
COMMON COUNCIL APPROVAL AND ACCEPTANCE:

APPROVED AND ACCEPTED BY THE COMMON COUNCIL OF THE CITY OF FRANKLIN, RESOLUTION NO. \_\_\_\_\_

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
STEPHEN R. OLSON - MAYOR

\_\_\_\_\_  
SANDRA L. WESOLOWSKI - CLERK



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CONSERVATION EASEMENT

[Lot 2, 10757 S. 92nd Street; Dorothy Bosch Common Trust]

This Conservation Easement is made by and between the City of Franklin, a municipal corporation of the State of Wisconsin, hereinafter referred to as "Grantee," and the Bonita K. Bosch Trust, Barbara A. Zagrodnik Trust, Bonita K. Bosch Living Trust, Daniel J. Zagrodnik and Barbara A. Zagrodnik Living Trust, and the Dorothy Bosch Revocable Trust, hereinafter referred to as "Grantor," and shall become effective upon the recording of this Grant of Conservation Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to § 700.40(2)(b) of the Wisconsin Statutes.

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within the City of Franklin, Milwaukee County, Wisconsin, described in Exhibit A attached hereto and hereby made a part hereof (protected property); and

WHEREAS, the Grantor desires and intends that the natural elements and the ecological and aesthetic values of the protected property including, without limitation, including the Wetland, the Wetland Buffer, and the Wetland Setback on the Natural Resource Protection Plan prepared by K. Sherfinski of Helianthus, LLC, dated June 29, 2021 and revised August 25, 2021, which Plan is on file in the office of the City of Franklin Department of City Development, be preserved and maintained by the continuation of land use that will not interfere with or substantially disrupt the natural elements or the workings of natural systems; and

WHEREAS, Grantee is a "holder", as contemplated by § 700.40(1)(b)1. of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under § 62.23 and § 236.45 of the Wisconsin Statutes, the conservation of land, natural areas, open space and water areas; and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the conservation easement on, over and across the protected property, desire to conserve the natural values thereof and prevent the use or development of the protected property for any purpose or in any manner inconsistent with the terms of this conservation easement; and

WHEREAS, the Grantee is willing to accept this conservation easement subject to the reservations and to the covenants, terms, conditions and restrictions set out herein and imposed hereby;

WHEREAS, \_\_\_\_\_ [*Mortgage Holder*] \_\_\_\_\_, mortgagee of the protected property ("Mortgagee"), consents to the grant of this conservation easement by Grantor to Grantee and Mortgagee's consent is attached hereto and identified as "Mortgage Holder Consent".

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a conservation easement in perpetuity on, over and across the protected property.

Grantee's rights hereunder shall consist solely of the following:

1. To view the protected property in its natural, scenic, and open condition;
2. To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act; and
3. To enter the protected property at all reasonable times for the purpose of inspecting the protected property to determine if the Grantor is complying with the covenants and conditions of this grant.













## Wetland & Waterway Consulting, LLC

Dave Meyer

S83 W23915 Artesian Avenue • Big Bend, WI 53103

262-719-4286 • Fax 262-364-2197

E-Mail • [dave@wetlandwi.com](mailto:dave@wetlandwi.com)

June 10, 2021

Breanna Predzik  
8830 W. Oakwood Rd.  
Franklin, WI 53132

Dear Ms. Predzik:

Wetland & Waterway Consulting (WWC) has conducted a wetland delineation on your property located in Sec. 32, T5N, R21E, City of Franklin, Milwaukee County. The delineation was conducted on May 3, 2021 at your request. This site is under consideration for future sale or development; therefore, location of the wetlands is necessary. The purpose of the delineation was to identify and flag all wetlands within the boundaries identified on the attached maps.

The subject site is an approximately 4-acre portion of a parcel located at 10757 S. 92<sup>nd</sup> Street. The predominant land cover for this property is mowed lawn with a house and farm buildings on it.

### **INTRODUCTION**

Dave Meyer, the owner of WWC, is an independent environmental consultant providing environmental permitting services, site assessments, wetland delineations, and planning advice. He obtained a master's degree in Natural Resources Management from Southern Illinois University-Carbondale in 1977. Mr. Meyer has held technical and administrative positions in wetland and water resources specialties with the Wisconsin Department of Natural Resources and the U.S. Army Corps of Engineers. He has satisfactorily completed the Reg IV Wetland Delineation training offered by the U.S. Army Corps of Engineers, the Advanced Wetland Delineation training conducted by the University of Wisconsin-LaCrosse in 2002 and 2007, the USACOE/WIDNR 1987 Wetland Delineation Manual Midwest Region Supplement Training in 2009, the USACOE/WIDNR 1987 Wetland Delineation Manual Northcentral/Northeast Region Supplement Training in 2010, the Basic Hydric Soil ID training conducted by the University of Wisconsin-LaCrosse in 2011, the Wetland Training Institute's Advanced Hydrology for Jurisdictional Determinations in 2016, and the SEWRPC Environmental Corridor Delineation Workshops in 2004 and 2015. Mr. Meyer is recognized by the Wisconsin Department of Natural Resources as an Assured Delineator.



Kristi Sherfinski, the lead delineator for this project, is also recognized as an Assured Wetland Delineator with the Wisconsin Department of Natural Resources (WDNR). She has over 20 years of experience delineating wetlands in the Great Lakes Region. She received her initial basic wetland training at the Wetland Training Institute in Hastings, Michigan in 2002. Kristi worked as a project manager and wetland delineator at JFNew & Associates in Grand Haven, Michigan for six years, conducting wetland delineations in Michigan, Indiana, Illinois, and Wisconsin. Kristi then moved to Wisconsin to work for the Southeastern Wisconsin Regional Planning Commission (SEWRPC) with Dr. Donald Reed. At SEWRPC, Kristi updated the Wisconsin Wetland Inventory (WWI) in 2005 and in 2010 for the seven-county area of southeast Wisconsin. Kristi participated in the Advanced Wetland Delineation training in 2006. In 2009, she attended the Wetland Delineation USACE Regional Supplement training session, the Environmental Corridor Delineation Workshop, and the Farm Service Agency (FSA) Slide Review training session. After working at SEWRPC for seven years, Kristi worked as an environmental specialist at JSD Professional Services, Inc. for two years, before she started her own consulting business.

Kristi Sherfinski, conducted the wetland delineation field work on May 3. Field conditions on May 3<sup>rd</sup> were rainy and with air temperatures in the 70s (°F).

## **METHODS**

The process of wetland delineation involves collecting information about the soils, vegetation, and hydrology of a site in order to determine where the wetland boundary is located. The methodology used to conduct the delineation followed the US Army Corps of Engineers Wetlands Delineation Manual (1987), and the appropriate Regional Supplement to the Corps of Engineers Wetland Delineation Manual. In general, in southeastern and western Wisconsin, the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0, August, 2010) is used. The remaining portions of the state follow the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0, January, 2012). At this site, the Midwest Regional manual was used.

Prior to the site visit, several sources of data are consulted to reveal information that will aid in the locating the wetlands on the site. The sources reviewed include weather records to determine antecedent hydrologic conditions, the Wisconsin Wetland Inventory (WWI) map, the soil survey map, a topographic map, and historic aerial photographs of the project area. In areas that are under active cultivation as farmland, a Farm Service Agency (FSA) Slide Review is also conducted if hydric soils are mapped.

Data sample points are chosen based on the potential wetland areas identified by reviewing the above-referenced sources, and other sample points are added based on information gathered while in the field. Sample points are chosen on either side of the wetland line for their ability to

reveal information about the actual location of the line, and upland reference data samples are chosen in order to show the contrast between wetland and upland field conditions.

Once a data sample point is chosen and located in the field, data is collected on the vegetation, the hydrology, and the soils of the site. Vegetation is identified by strata (tree, shrub, herbaceous, and vine layers), and an aerial coverage percent is determined for each species by layer. The plot size for the tree, shrub, and vine layers is a 30-foot radius circle, and the plot size for the herbaceous layer is a 5-foot radius circle. The scientific names and wetland status of each plant species follows the National Wetland Plant List (2018). Once all species have been assigned a cover percentage, the dominance by wetland indicator plant species is assessed.

Hydrological indicators, as described in the Regional Supplements, are then listed for the sample point. A soil pit is excavated to required depths, saturation, and the water table is recorded. The soil profile at the sample point is also described, using the Munsell Soil-Color Charts (2009) to assess the color of the soil, and a texture analysis to determine the predominant texture of each soil layer. This data is used to determine if the soil profile meets the hydric soil indicators as defined in the Regional Supplements and the Field Guide for Identifying Hydric Soils V. 8.2 (USDA, 2018).

Once the location of the wetland line is determined from the data sampling effort, the edge of the wetland is flagged in the field and then surveyed in order to produce a map of the wetland that occurs on the subject property. Representative photographs of the sample points and of each wetland area were taken during the field visit. Any ditch, stream, pond or other water body that may be considered a Water of the U.S. and thus regulated by the U.S. Army Corps of Engineers (USACE) or the Wisconsin Department of Natural Resources (WDNR) is also identified.

**RESULTS AND DISCUSSION**

Antecedent Hydrologic Condition Analysis

Weather records were consulted from the Mitchell Field Airport weather station to determine if precipitation levels were normal for the three months prior to the site visit. The antecedent hydrologic condition analysis for the site revealed that climatic conditions near the site were drier than normal at the time of the site visit (**Table 1**). Drier than normal conditions means that hydrologic indicators may be absent from the wetland sample points and the data must be interpreted accordingly. Wetter than normal conditions must be accounted for when interpreting the data because saturation or the water table may be higher than it is during normal conditions, giving false positives for hydrological indicators.

Table 1 – Antecedent Hydrologic Condition Analysis

Month	3 yrs in 10 Less	3 yrs in 10 More	Rain Fall	Condition Dry, Wet,	Condition Value	Month Weight	Product of
-------	---------------------	---------------------	--------------	------------------------	--------------------	-----------------	---------------



	Than	Than		Normal		Value	Previous Two Columns
April	2.83	4.42	1.41	Dry	1	3	3
March	1.63	3.13	0.84	Dry	1	2	2
February	0.97	2.00	1.19	Normal	2	1	2
						Sum	7
If sum is:							
6-9	Then prior period has been drier than normal						
10-14	Then prior period has been normal						
15-18	Then prior period has been wetter than normal						
Conclusions:	A sum of 7 shows the prior period to the site visit to be drier than normal.						

#### Review of Existing Data Sources

Existing data sources were reviewed to aid in the identification of wetland areas in the field.

The topographic map shows that the farm buildings are sited at the top of a convex hillslope. The lowest part of the property is 749 feet in elevation above Mean Sea Level. The highest part of the property is at the west side at 784 feet in elevation. There is a small depression at 750 feet in elevation near the southeast corner of the property.

The soil survey map shows three different soil types. The Fox silt loam and the Ozaukee silt loam, 6-12%, eroded, are non-hydric, whereas the Ozaukee silt loam 2-6% are predominantly non-hydric but may have hydric soil inclusions in depressions. All of the soil types occurring on the property are listed in **Table 2**.

Table 2 – Soil Types

Map Symbol	Map Unit Name	Hydric Soil Type
FtB	Fox silt loam, 2-6%	Non-hydric
OzaB	Ozaukee silt loam, 2-6%	Predominantly non-hydric
OzaC2	Ozaukee silt loam, 6-12%, eroded	Non-hydric

The Wisconsin Wetland Inventory does not show any mapped wetlands within the project area.

Historic aerial photographs revealed that the farmhouse and buildings were there as of 1937 and the surrounding lands were all agricultural. The property changed very little over the decades, with the original farmhouse and out buildings still in place.

Because the subject area has always been lawn with the buildings, agricultural fields were not part of the subject area, and a Farm Service Agency (FSA) Slide Review was not necessary.

#### Wetlands Identified During the Site Visit

One wetland area was identified on the property during the site field visit. A description of the wetland area follows.

*Wetland A* is a wet meadow wetland that was found in the depressional area near the southeast corner of the subject area. It had been mowed just prior to the site visit. The dominant plant species was reed canary grass. The soils were saturated at the surface and the water table was at 10 inches. The soils met the hydric soil criteria for F6. Redox Dark Surface. Wetland hydrology indicators included High Water Table, Saturation, Water-Stained Leaves, Saturation Visible on Aerial Imagery, Geomorphic Position, and FAC-Neutral Test. The upland data point was taken on a slight rise to the east of the feature. The dominant species was Kentucky bluegrass. Soils were non-hydric and hydrology was lacking.

Data point 1 was taken in an area of disturbed woods in the northwest corner of the subject property. The vegetation was dominated by box elder, common buckthorn, hybrid honeysuckle, gray dogwood, smooth brome, and black raspberry. The Prevalence Index was 3.82 and therefore the vegetation was not hydrophytic. The soils were non-hydric and hydrology was absent. The area was located on a hillslope.

#### **CONCLUSION**

The wetland lines staked in the field and referred to in this report are the best estimate of the wetland boundaries based on the conditions present at the time of delineation. The wetlands identified for this report may be subject to federal regulation under the jurisdiction of the U.S. Army Corps of Engineers, state regulation under the jurisdiction of Wisconsin DNR, and local jurisdiction under your local county, town, city, or village. Because this delineation was conducted by Ms. Sherfinski, an Assured Delineator, obtaining a concurrence letter from the Wisconsin Department of Natural Resources is not necessary. Concurrence with these wetland lines by the U.S. Army Corps of Engineers, however, must be obtained before undertaking any alterations or modifications of this property. Activities affecting wetlands or surface waters may require permits from the U.S. Army Corps of Engineers, the Wisconsin Department of Natural Resources, and local municipal authorities. The client must obtain authorization from all proper regulatory authorities before altering, modifying, or using the property. If the required authorizations are not obtained, Wetland & Waterway Consulting, LLC shall not be liable or responsible for any resulting damages.

Sincerely,

A handwritten signature in blue ink that reads "Dave Meyer". The signature is written in a cursive style with a horizontal line at the end.

Dave Meyer

A handwritten signature in blue ink that reads "Kristi Sherfinski". The signature is written in a cursive style.

Kristi Sherfinski

Attachments

1. Literature Cited
2. Location map
3. USGS topo map
4. Soil Survey maps
5. Wisconsin Wetland Inventory map
6. Historical Aerial Photographs
7. Site photographs
8. Data Points
9. Wetland boundary map



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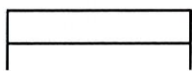
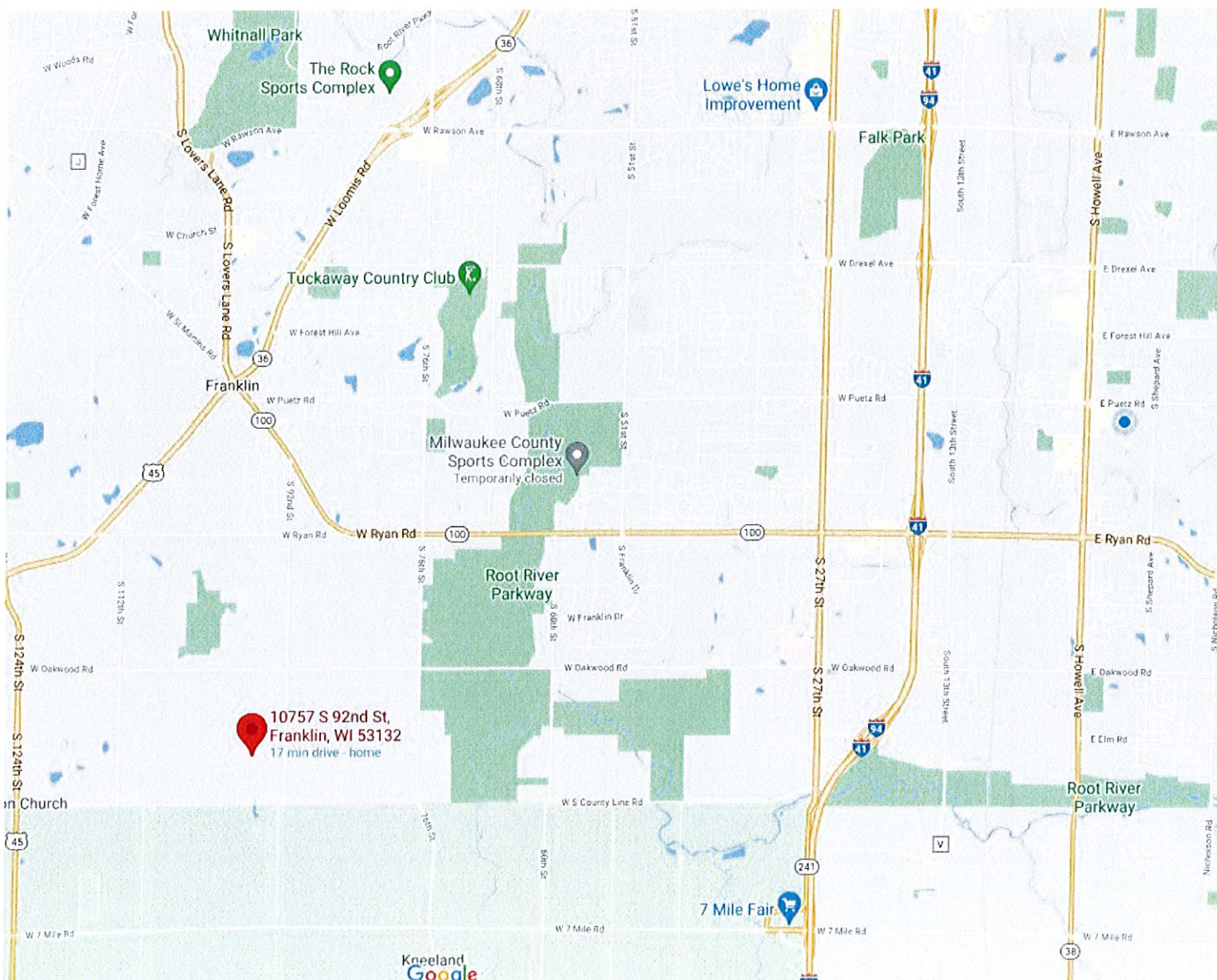
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1 MILE



TOPOGRAPHIC MAP

Source: Google Maps, 2021





# TOPOGRAPHIC MAP



188 0 94 188 Feet

DISCLAIMER: This map is a user generated static output from the Milwaukee County Land Information Office Interactive Mapping Service website. The contents herein are for reference purposes only and may or may not be accurate, current or otherwise reliable. No liability is assumed for the data delineated herein either expressed or implied by Milwaukee County or its employees.

NAD 1983\_2011\_StatePlane\_Wisconsin\_South\_FIPS\_4803\_Ft\_ 1 : 1,129

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes





# Soils Map



- Legend**
- Wetland Identifications and Confirmations
    - Wetland Class Points
      - Dammed pond
      - Excavated pond
      - Filled excavated pond
      - Filled/draind wetland
      - Wetland too small to delineate
    - Filled Points
    - Wetland Class Areas
      - Wetland
      - Upland
    - Filled Areas
  - NRCS Wisconsin Soils
    - Soil Mapping Unit
    - Water

## Notes

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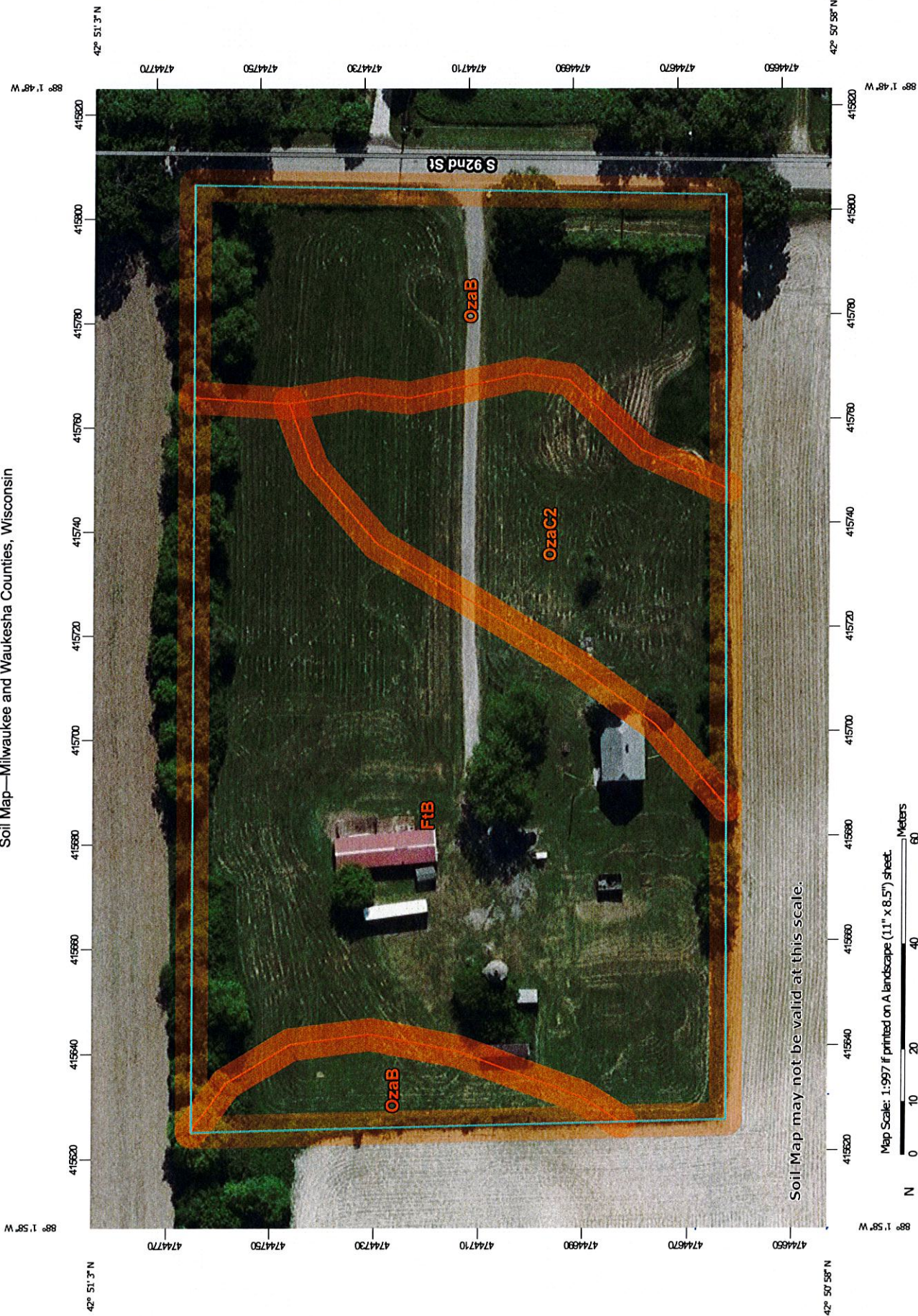


1: 990

NAD\_1983\_HARN\_Wisconsin\_TM



Soil Map—Milwaukee and Waukesha Counties, Wisconsin



Map Scale: 1:997 if printed on A landscape (11" x 8.5") sheet.



Soil Map may not be valid at this scale.



Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey



## MAP LEGEND

- Area of Interest (AOI)
- Area of Interest (AOI)
- Soils**
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features**
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features
- Water Features**
- Streams and Canals
- Transportation**
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background**
- Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Milwaukee and Waukesha Counties, Wisconsin

Survey Area Data: Version 16, Jun 8, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 20, 2020—Jul 1, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
FtB	Fox silt loam, loamy substratum, 2 to 6 percent slopes	2.4	52.7%
OzaB	Ozaukee silt loam, 2 to 6 percent slopes	1.3	28.5%
OzaC2	Ozaukee silt loam, 6 to 12 percent slopes, eroded	0.9	18.8%
<b>Totals for Area of Interest</b>		<b>4.5</b>	<b>100.0%</b>



## Hydric Soil List - All Components

This table lists the map unit components and their hydric status in the survey area. This list can help in planning land uses; however, onsite investigation is recommended to determine the hydric soils on a specific site (National Research Council, 1995; Hurt and others, 2002).

The three essential characteristics of wetlands are hydrophytic vegetation, hydric soils, and wetland hydrology (Cowardin and others, 1979; U.S. Army Corps of Engineers, 1987; National Research Council, 1995; Tiner, 1985). Criteria for all of the characteristics must be met for areas to be identified as wetlands. Undrained hydric soils that have natural vegetation should support a dominant population of ecological wetland plant species. Hydric soils that have been converted to other uses should be capable of being restored to wetlands.

Hydric soils are defined by the National Technical Committee for Hydric Soils (NTCHS) as soils that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part (Federal Register, 1994). These soils, under natural conditions, are either saturated or inundated long enough during the growing season to support the growth and reproduction of hydrophytic vegetation.

The NTCHS definition identifies general soil properties that are associated with wetness. In order to determine whether a specific soil is a hydric soil or nonhydric soil, however, more specific information, such as information about the depth and duration of the water table, is needed. Thus, criteria that identify those estimated soil properties unique to hydric soils have been established (Federal Register, 2002). These criteria are used to identify map unit components that normally are associated with wetlands. The criteria used are selected estimated soil properties that are described in "Soil Taxonomy" (Soil Survey Staff, 1999) and "Keys to Soil Taxonomy" (Soil Survey Staff, 2006) and in the "Soil Survey Manual" (Soil Survey Division Staff, 1993).

If soils are wet enough for a long enough period of time to be considered hydric, they should exhibit certain properties that can be easily observed in the field. These visible properties are indicators of hydric soils. The indicators used to make onsite determinations of hydric soils are specified in "Field Indicators of Hydric Soils in the United States" (Hurt and Vasilas, 2006).

Hydric soils are identified by examining and describing the soil to a depth of about 20 inches. This depth may be greater if determination of an appropriate indicator so requires. It is always recommended that soils be excavated and described to the depth necessary for an understanding of the redoximorphic processes. Then, using the completed soil descriptions, soil scientists can compare the soil features required by each indicator and specify which indicators have been matched with the conditions observed in the soil. The soil can be identified as a hydric soil if at least one of the approved indicators is present.

Map units that are dominantly made up of hydric soils may have small areas, or inclusions, of nonhydric soils in the higher positions on the landform, and map units dominantly made up of nonhydric soils may have inclusions of hydric soils in the lower positions on the landform.

The criteria for hydric soils are represented by codes in the table (for example, 2). Definitions for the codes are as follows:

1. All Histels except for Folistels, and Histosols except for Folists.
2. Soils in Aquic suborders, great groups, or subgroups, Albolls suborder, Historthels great group, Histoturbels great group, Pachic subgroups, or Cumulic subgroups that:
  - A. Based on the range of characteristics for the soil series, will at least in part meet one or more Field Indicators of Hydric Soils in the United States, or
  - B. Show evidence that the soil meets the definition of a hydric soil;
3. Soils that are frequently ponded for long or very long duration during the growing season.
  - A. Based on the range of characteristics for the soil series, will at least in part meet one or more Field Indicators of Hydric Soils in the United States, or
  - B. Show evidence that the soil meets the definition of a hydric soil;
4. Map unit components that are frequently flooded for long duration or very long duration during the growing season that:
  - A. Based on the range of characteristics for the soil series, will at least in part meet one or more Field Indicators of Hydric Soils in the United States, or
  - B. Show evidence that the soil meets the definition of a hydric soil;

Hydric Condition: Food Security Act information regarding the ability to grow a commodity crop without removing woody vegetation or manipulating hydrology.

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## Report—Hydric Soil List - All Components

Hydric Soil List - All Components--WI602-Milwaukee and Waukesha Counties, Wisconsin					
Map symbol and map unit name	Component/Local Phase	Comp. pct.	Landform	Hydric status	Hydric criteria met (code)
FtB: Fox silt loam, loamy substratum, 2 to 6 percent slopes	Fox	100	Outwash plains	No	—
OzaB: Ozaukee silt loam, 2 to 6 percent slopes	Ozaukee	88-100	End moraines,ground moraines	No	—
	Pewamo-Drained	0-7	Depressions on ground moraines,drainage ways on ground moraines	Yes	2
	Ashkum-Drained	0-7	Ground moraines,end moraines	Yes	2
	Urban land	0-5	Ground moraines	No	—
OzaC2: Ozaukee silt loam, 6 to 12 percent slopes, eroded	Ozaukee-Eroded	88-100	End moraines,ground moraines	No	—
	Blount-Lake michigan lobe	0-7	End moraines,ground moraines	No	—
	Urban land	0-5	Ground moraines	No	—
	Ozaukee-Severely eroded	0-5	End moraines,ground moraines	No	—

### Data Source Information

Soil Survey Area: Milwaukee and Waukesha Counties, Wisconsin  
 Survey Area Data: Version 16, Jun 8, 2020





# WWI Map



## Legend

- Wetland Identifications and Confirmations
- Wetland Class Points**
  - Dammed pond
  - Excavated pond
  - Filled excavated pond
  - Filled/draind wetland
  - Wetland too small to delineate
- Filled Points**
  - Wetland
  - Upland
- Wetland Class Areas**
  - Wetland
  - Upland
- Filled Areas**
  - Wetland
  - Upland
- NRCS Wetspots**
  - Wetspot
- Maximum Extent Wetland Indicators**
  - Indicator

## Notes

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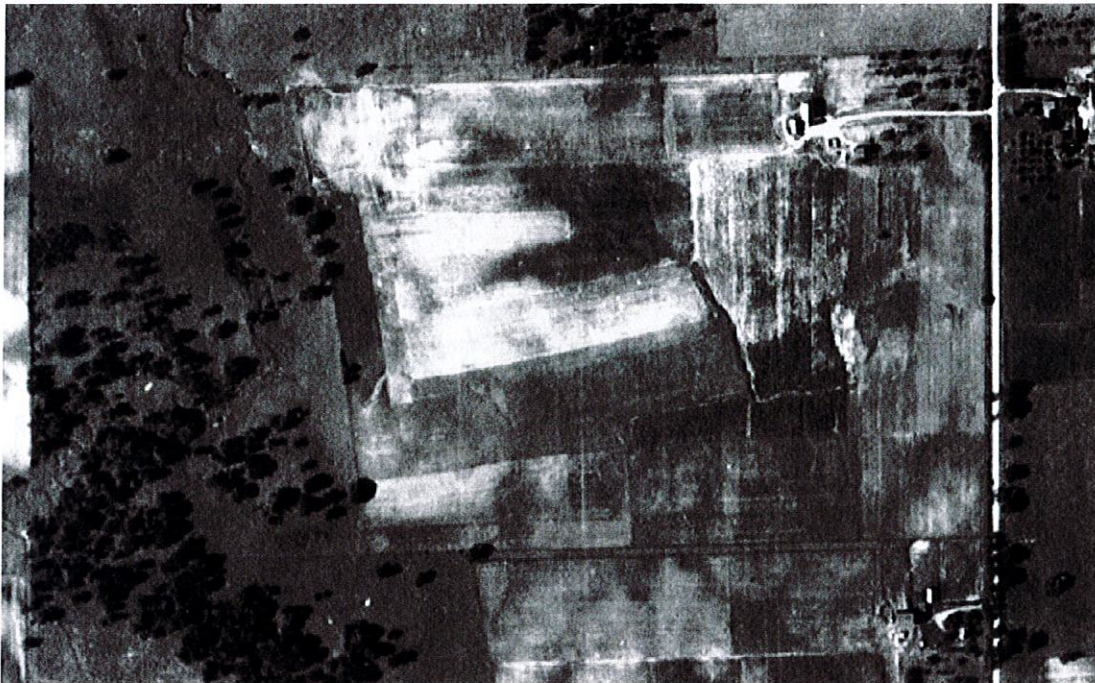
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1963.

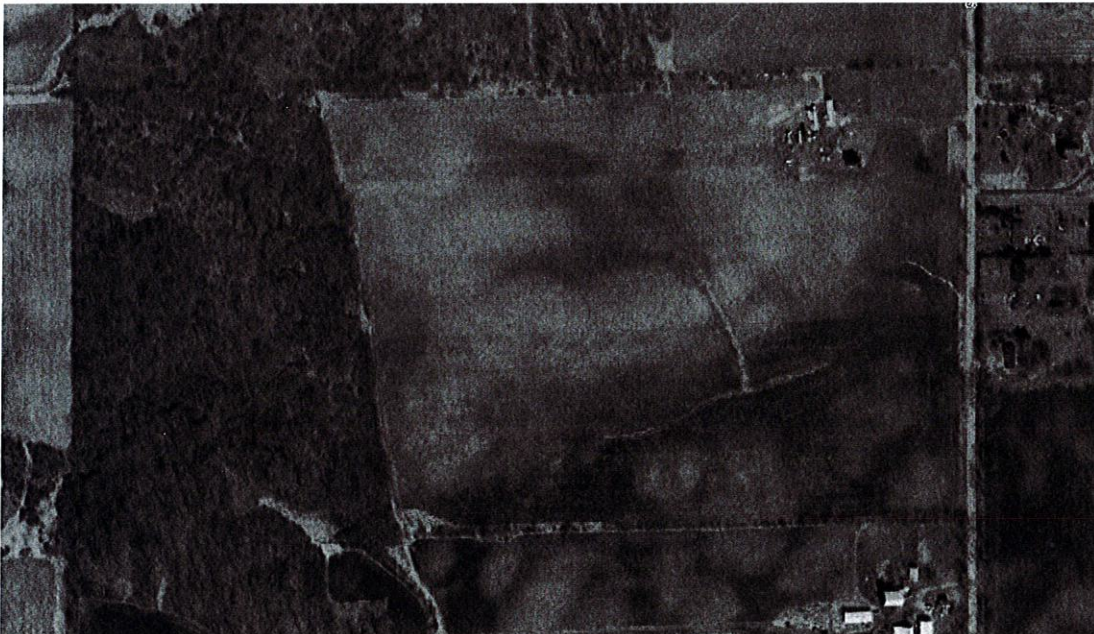
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Source: Milwaukee County GIS, 2021





1980.

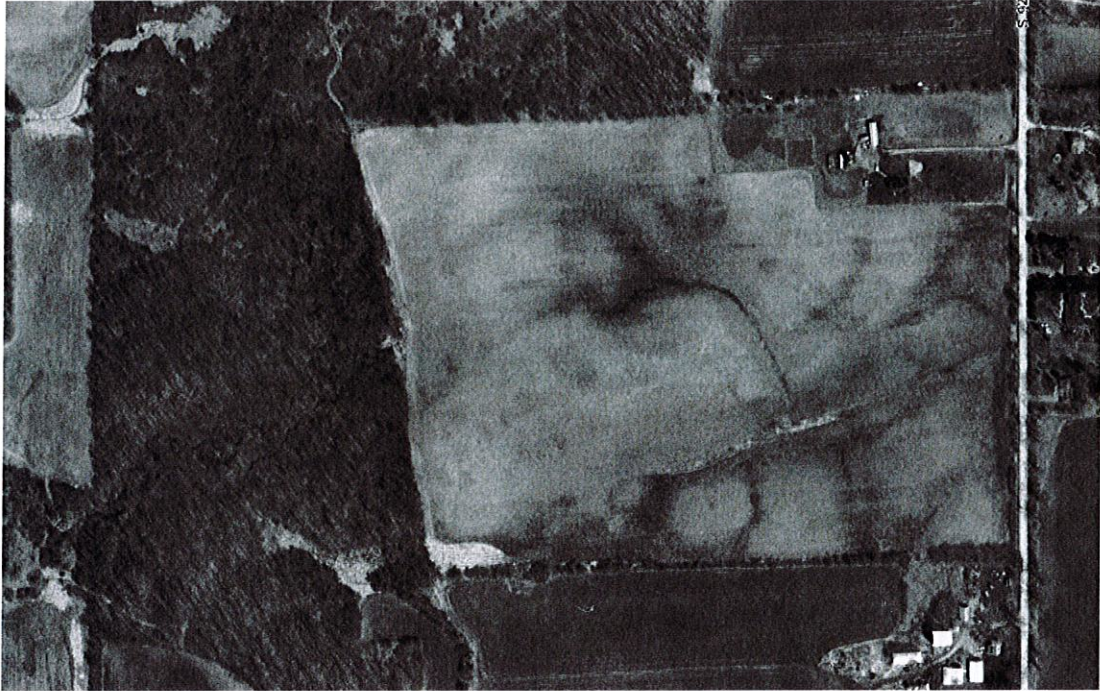


1990.

## HISTORIC AERIAL PHOTOS

Source: Milwaukee County GIS, 2021





2000.



2010.

HISTORIC AERIAL PHOTOS





# 2015 NAIP

## Legend



## Notes

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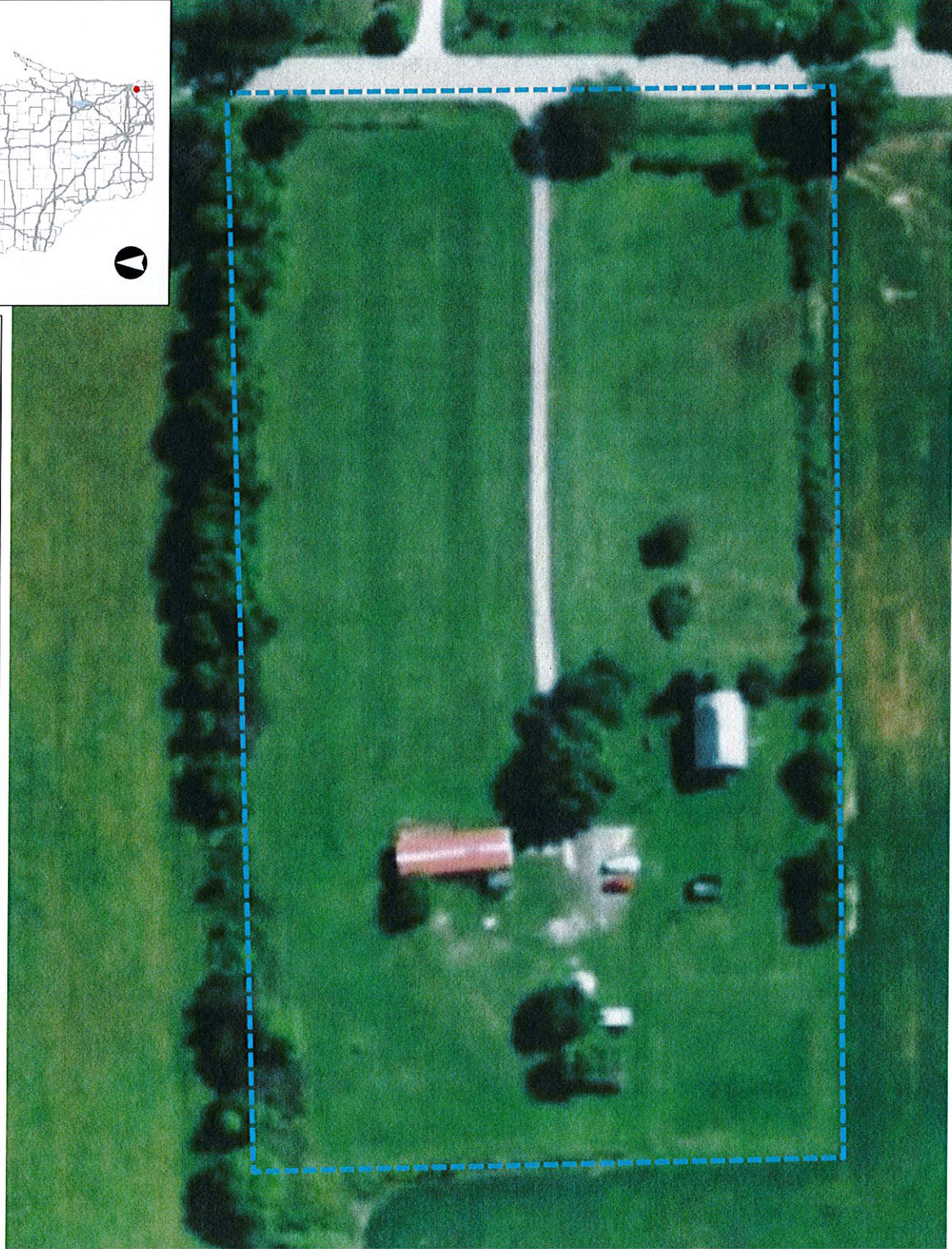
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# 2018 NAIP

## Legend



## Notes

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The farm buildings sit on top of a large hill set away from the road.



A view of the main farm buildings on top of the hill.

## SITE PHOTOS





A view of the mowed wet meadow wetland which sits in a depression near the front of the property.



The mowed wetland was mowed just prior to the site visit.

## SITE PHOTOS



**WETLAND DETERMINATION DATA FORM - Midwest Region**

Project/Site 10757 S, 92nd St. City/County: Franklin/ Milwaukee Sampling Date: May 3, 2021  
 Applicant/Owner: Predzik State: WI Sampling Point: 1  
 Investigator(s): K. Sherfinski Section, Township, Range: S32, T5N, R21E  
 Landform (hillslope, terrace, etc.): hillcrest Local relief (concave, convex, none): convex  
 Slope (%): 3-4% Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name Ozaukee silt loam, 2-6% (OzaB) JWI Classification: None  
 Are climatic/hydrologic conditions of the site typical for this time of the year? N (If no, explain in remarks)  
 Are vegetation \_\_\_\_\_, soil \_\_\_\_\_, or hydrology \_\_\_\_\_ significantly disturbed? Are "normal circumstances" present? Yes  
 Are vegetation \_\_\_\_\_, soil \_\_\_\_\_, or hydrology \_\_\_\_\_ naturally problematic? present? Yes  
**SUMMARY OF FINDINGS** (If needed, explain any answers in remarks.)

Hydrophytic vegetation present?	<u>N</u>	<b>Is the sampled area within a wetland?</b> <u>N</u> f yes, optional wetland site ID: _____
Hydric soil present?	<u>N</u>	
Indicators of wetland hydrology present?	<u>N</u>	

Remarks: (Explain alternative procedures here or in a separate report.)  
Antecedent hydrologic conditions analysis shows climatic conditions to be drier than normal for this time of year.

**VEGETATION -- Use scientific names of plants.**

Tree Stratum	(Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	<b>Dominance Test Worksheet</b>
1	<u>Acer negundo</u>	15	Y	FAC	
2	_____	_____	_____	_____	<b>Prevalence Index Worksheet</b> Total % Cover of: OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>2</u> x 2 = <u>4</u> FAC species <u>72</u> x 3 = <u>216</u> FACU species <u>115</u> x 4 = <u>460</u> UPL species <u>35</u> x 5 = <u>175</u> Column totals <u>224</u> (A) <u>855</u> (B) Prevalence Index = B/A = <u>3.82</u>
3	_____	_____	_____	_____	
4	_____	_____	_____	_____	
5	_____	_____	_____	_____	
		15 = Total Cover			
Sapling/Shrub stratum	(Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	
1	<u>Rhamnus cathartica</u>	25	Y	FAC	
2	<u>Lonicera x bella</u>	20	Y	FACU	
3	<u>Cornus racemosa</u>	15	Y	FAC	
4	<u>Crataegus mollis</u>	10	N	FAC	
5	<u>Morus alba</u>	5	N	FAC	
		75 = Total Cover			
Herb stratum	(Plot size: <u>5ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	
1	<u>Bromus inermis</u>	60	Y	FACU	
2	<u>Rubus occidentalis</u>	30	Y	UPL	
3	<u>Solidago altissima</u>	25	N	FACU	
4	<u>Galium aparine</u>	10	N	FACU	
5	<u>Symphotrichum urophyllum</u>	5	N	UPL	
6	<u>Geum canadense</u>	2	N	FAC	
7	<u>Vitis riparia</u>	2	N	FACW	
8	_____	_____	_____	_____	
9	_____	_____	_____	_____	
10	_____	_____	_____	_____	
		134 = Total Cover			
Woody vine stratum	(Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	
1	_____	_____	_____	_____	
2	_____	_____	_____	_____	
		0 = Total Cover			

Remarks: (Include photo numbers here or on a separate sheet)  
Disturbed woods edge.



**SOIL**

Sampling Point: 1

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (Inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type*	Loc**		
0-12	10YR 3/2	100					silty clay loam	
12-20	10YR 4/3	100					silty clay	

\*Type: C = Concentration, D = Depletion, RM = Reduced Matrix, MS = Masked Sand Grains. \*\*Location: PL = Pore Lining, M = Matrix

**Hydric Soil Indicators:**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- 2 cm Muck (A10)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 5 cm Mucky Peat or Peat (S3)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils:**

- Coast Prairie Redox (A16) (LRR K, L, R)
- Dark Surface (S7) (LRR K, L)
- Iron-manganese masses (F12) (LRR K, L, R)
- Very Shallow Dark Surface (TF12)
- Other (explain in remarks)

\*Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric soil present? N

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

**Primary Indicators (minimum of one is required; check all that apply)**

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9)

- Aquatic Fauna (B13)
- True Aquatic Plants (B14)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres on Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Thin Muck Surface (C7)
- Gauge or Well Data (D9)
- Other (Explain in Remarks)

**Secondary Indicators (minimum of two required)**

- Surface Soil Cracks (B6)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Stunted or Stressed Plants (D1)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)

**Field Observations:**

Surface water present? Yes  No  Depth (inches): \_\_\_\_\_  
 Water table present? Yes  No  Depth (inches): \_\_\_\_\_  
 Saturation present? Yes  No  Depth (inches): \_\_\_\_\_  
 (includes capillary fringe)

Indicators of wetland hydrology present? N

Describe recorded data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

**WETLAND DETERMINATION DATA FORM - Midwest Region**

Project/Site 10757 S, 92nd St. City/County: Franklin/ Milwaukee Sampling Date: May 3, 2021  
 Applicant/Owner: Predzik State: WI Sampling Point: 2  
 Investigator(s): K. Sherfinski Section, Township, Range: S32, T5N, R21E  
 Landform (hillslope, terrace, etc.): hillslope Local relief (concave, convex, none): convex  
 Slope (%): 2-3% Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name Ozaukee silt loam, 2-6% (OzaB) JWI Classification: None  
 Are climatic/hydrologic conditions of the site typical for this time of the year? N (If no, explain in remarks)  
 Are vegetation \_\_\_\_\_, soil \_\_\_\_\_, or hydrology \_\_\_\_\_ significantly disturbed? Are "normal circumstances" present? Yes  
 Are vegetation \_\_\_\_\_, soil \_\_\_\_\_, or hydrology \_\_\_\_\_ naturally problematic? present? Yes  
**SUMMARY OF FINDINGS** (If needed, explain any answers in remarks.)

Hydrophytic vegetation present?	<u>Y</u>	<b>Is the sampled area within a wetland?</b> <u>Y</u> If yes, optional wetland site ID: _____
Hydric soil present?	<u>Y</u>	
Indicators of wetland hydrology present?	<u>Y</u>	

Remarks: (Explain alternative procedures here or in a separate report.)  
Antecedent hydrologic conditions analysis shows climatic conditions to be drier than normal for this time of year.

**VEGETATION -- Use scientific names of plants.**

Tree Stratum	(Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	<b>Dominance Test Worksheet</b> Number of Dominant Species that are OBL, FACW, or FAC: <u>1</u> (A) Total Number of Dominant Species Across all Strata: <u>1</u> (B) Percent of Dominant Species that are OBL, FACW, or FAC: <u>100.00%</u> (A/B)
1	_____	_____	_____	_____	
2	_____	_____	_____	_____	
3	_____	_____	_____	_____	
4	_____	_____	_____	_____	
5	_____	_____	_____	_____	
		<u>0</u>	= Total Cover		<b>Prevalence Index Worksheet</b> Total % Cover of: OBL species <u>20</u> x 1 = <u>20</u> FACW species <u>90</u> x 2 = <u>180</u> FAC species <u>0</u> x 3 = <u>0</u> FACU species <u>0</u> x 4 = <u>0</u> UPL species <u>0</u> x 5 = <u>0</u> Column totals <u>110</u> (A) <u>200</u> (B) Prevalence Index = B/A = <u>1.82</u>
Sapling/Shrub stratum	(Plot size: <u>30ft radius</u> )				
1	_____	_____	_____	_____	
2	_____	_____	_____	_____	
3	_____	_____	_____	_____	
4	_____	_____	_____	_____	
5	_____	_____	_____	_____	
		<u>0</u>	= Total Cover		
Herb stratum	(Plot size: <u>5ft radius</u> )				
1	<u>Phalaris arundinacea</u>	<u>90</u>	<u>Y</u>	<u>FACW</u>	
2	<u>Eleocharis palustris</u>	<u>15</u>	<u>N</u>	<u>OBL</u>	
3	<u>Ranunculus sceleratus</u>	<u>5</u>	<u>N</u>	<u>OBL</u>	
4	_____	_____	_____	_____	
5	_____	_____	_____	_____	
6	_____	_____	_____	_____	
7	_____	_____	_____	_____	
8	_____	_____	_____	_____	
9	_____	_____	_____	_____	
10	_____	_____	_____	_____	
		<u>110</u>	= Total Cover		
Woody vine stratum	(Plot size: <u>30ft radius</u> )				
1	_____	_____	_____	_____	
2	_____	_____	_____	_____	
		<u>0</u>	= Total Cover		

Remarks: (Include photo numbers here or on a separate sheet)  
Wet meadow that has been mowed.



**SOIL**

Sampling Point: 2

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (Inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type*	Loc**		
0-14	10YR 3/1	95	10YR 3/4	5	C	PL	silty clay loam	
14-20	10YR 2/1	60	10YR 5/6	5	C	M	silty clay	
	10YR 4/1	20						
	10YR 3/1	15						

\*Type: C = Concentration, D = Depletion, RM = Reduced Matrix, MS = Masked Sand Grains. \*\*Location: PL = Pore Lining, M = Matrix

**Hydric Soil Indicators:**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- 2 cm Muck (A10)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 5 cm Mucky Peat or Peat (S3)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils:**

- Coast Prairie Redox (A16) (LRR K, L, R)
- Dark Surface (S7) (LRR K, L)
- Iron-manganese masses (r 1z) (LRR K, L, R)
- Very Shallow Dark Surface (TF12)
- Other (explain in remarks)

\*Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric soil present? Y

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (minimum of one is required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9)

- Aquatic Fauna (B13)
- True Aquatic Plants (B14)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres on Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Thin Muck Surface (C7)
- Gauge or Well Data (D9)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Stunted or Stressed Plants (D1)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)

**Field Observations:**

Surface water present? Yes  No  Depth (inches): \_\_\_\_\_  
 Water table present? Yes  No  Depth (inches): 10  
 Saturation present? Yes  No  Depth (inches): At surface

Indicators of wetland hydrology present? Y

Describe recorded data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Can see a wet spot in the lawn in several of the aerial photos.

Remarks:

**WETLAND DETERMINATION DATA FORM - Midwest Region**

Project/Site 10757 S, 92nd St. City/County: Franklin/ Milwaukee Sampling Date: May 3, 2021  
 Applicant/Owner: Predzik State: WI Sampling Point: 3  
 Investigator(s): K. Sherfinski Section, Township, Range: S32, T5N, R21E  
 Landform (hillslope, terrace, etc.): hillslope Local relief (concave, convex, none): convex  
 Slope (%): 2-3% Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name Ozaukee silt loam, 2-6% (OzaB) NWI Classification: None

Are climatic/hydrologic conditions of the site typical for this time of the year? N (If no, explain in remarks)  
 Are vegetation \_\_\_\_\_, soil \_\_\_\_\_, or hydrology \_\_\_\_\_ significantly disturbed? Are "normal circumstances" present? Yes  
 Are vegetation \_\_\_\_\_, soil \_\_\_\_\_, or hydrology \_\_\_\_\_ naturally problematic? (If needed, explain any answers in remarks.)

**SUMMARY OF FINDINGS**

Hydrophytic vegetation present?	<u>Y</u>	<b>Is the sampled area within a wetland?</b> <u>N</u> If yes, optional wetland site ID: _____
Hydric soil present?	<u>N</u>	
Indicators of wetland hydrology present?	<u>N</u>	

Remarks: (Explain alternative procedures here or in a separate report.)  
Antecedent hydrologic conditions analysis shows climatic conditions to be drier than normal for this time of year.

**VEGETATION -- Use scientific names of plants.**

<u>Tree Stratum</u> (Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	<b>Dominance Test Worksheet</b> Number of Dominant Species that are OBL, FACW, or FAC: <u>1</u> (A) Total Number of Dominant Species Across all Strata: <u>1</u> (B) Percent of Dominant Species that are OBL, FACW, or FAC: <u>100.00%</u> (A/B)
1 _____	_____	_____	_____	
2 _____	_____	_____	_____	
3 _____	_____	_____	_____	
4 _____	_____	_____	_____	
5 _____	_____	_____	_____	
<u>0</u> = Total Cover				
<u>Sapling/Shrub stratum</u> (Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	
1 _____	_____	_____	_____	
2 _____	_____	_____	_____	
3 _____	_____	_____	_____	
4 _____	_____	_____	_____	
5 _____	_____	_____	_____	
<u>0</u> = Total Cover				
<u>Herb stratum</u> (Plot size: <u>5ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	
1 <u>Poa pratensis</u>	<u>100</u>	<u>Y</u>	<u>FAC</u>	
2 <u>Taraxacum officinale</u>	<u>15</u>	<u>N</u>	<u>FACU</u>	
3 <u>Trifolium repens</u>	<u>15</u>	<u>N</u>	<u>FACU</u>	
4 _____	_____	_____	_____	
5 _____	_____	_____	_____	
6 _____	_____	_____	_____	
7 _____	_____	_____	_____	
8 _____	_____	_____	_____	
9 _____	_____	_____	_____	
10 _____	_____	_____	_____	
<u>130</u> = Total Cover				
<u>Woody vine stratum</u> (Plot size: <u>30ft radius</u> )	Absolute % Cover	Dominant Species	Indicator Status	
1 _____	_____	_____	_____	
2 _____	_____	_____	_____	
<u>0</u> = Total Cover				

Remarks: (Include photo numbers here or on a separate sheet)  
Mowed lawn.

**Hydrophytic Vegetation Indicators:**  
 \_\_\_\_\_ Rapid test for hydrophytic vegetation  
 Dominance test is >50%  
 \_\_\_\_\_ Prevalence index is ≤3.0\*  
 \_\_\_\_\_ Morphological adaptations\* (provide supporting data in Remarks or on a separate sheet)  
 \_\_\_\_\_ Problematic hydrophytic vegetation\* (explain)  
 \*Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic

**Hydrophytic vegetation present?** Y



**SOIL**

Sampling Point: 3

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (Inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type*	Loc**		
0-14	10YR 2/2	100					silty clay loam	
14-24	10YR 4/3	95	10YR 5/6	5	C	PL/M	silty clay	

\*Type: C = Concentration, D = Depletion, RM = Reduced Matrix, MS = Masked Sand Grains. \*\*Location: PL = Pore Lining, M = Matrix

**Hydric Soil Indicators:**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- 2 cm Muck (A10)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 5 cm Mucky Peat or Peat (S3)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils:**

- Coast Prairie Redox (A16) (LRR K, L, R)
- Dark Surface (S7) (LRR K, L)
- Iron-manganese masses (F12) (LRR K, L, R)
- Very Shallow Dark Surface (TF12)
- Other (explain in remarks)

\*Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric soil present?   N  

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (minimum of one is required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9)

- Aquatic Fauna (B13)
- True Aquatic Plants (B14)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres on Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Thin Muck Surface (C7)
- Gauge or Well Data (D9)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Stunted or Stressed Plants (D1)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)

**Field Observations:**

Surface water present? Yes  No  Depth (inches): \_\_\_\_\_  
 Water table present? Yes  No  Depth (inches): \_\_\_\_\_  
 Saturation present? Yes  No  Depth (inches): \_\_\_\_\_  
 (includes capillary fringe)

Indicators of wetland hydrology present?   N  

Describe recorded data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

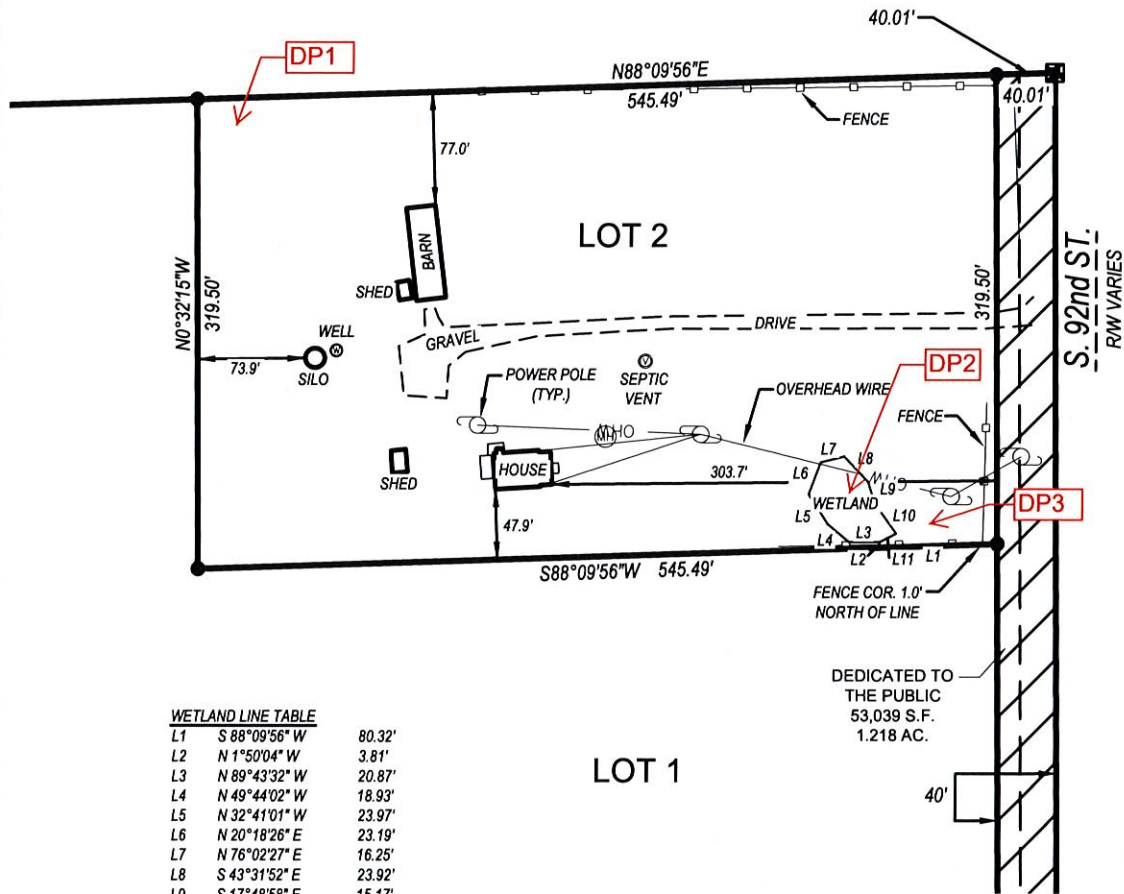
Remarks:

Area is on a slight rise, approximately 24 inches in elevation higher than DP2.

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**  
 THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE  
 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

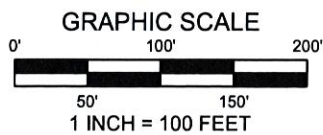
**LEGEND**

- 3/4"x24" IRON BAR WEIGHING 1.50 LBS. PER LINEAR FOOT - SET.

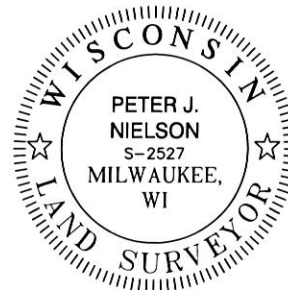


**WETLAND LINE TABLE**

L1	S 88°09'56" W	80.32'
L2	N 1°50'04" W	3.81'
L3	N 89°43'32" W	20.87'
L4	N 49°44'02" W	18.93'
L5	N 32°41'01" W	23.97'
L6	N 20°18'26" E	23.19'
L7	N 76°02'27" E	16.25'
L8	S 43°31'52" E	23.92'
L9	S 17°48'58" E	15.17'
L10	S 35°11'50" E	25.21'
L11	S 62°39'47" W	12.61'



BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD '27) - GRID NORTH. THE NORTH LINE OF THE SE 1/4 OF SEC. 32-5-21 IS ASSUMED TO BEAR N 88°09'56" E







## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of September 23, 2021

## Site Plan

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**RECOMMENDATION:** City Development staff recommends approval of this Site Plan for a new hotel in the Ballpark Commons development, subject to the conditions set forth in the attached resolution.

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<b>Project Name:</b>	Sleep Inn & Mainstay Suites Hotel at Ballpark Commons
<b>Project Address:</b>	6868 S Ballpark Drive
<b>Applicant:</b>	BPC County Land, LLC
<b>Property Owner:</b>	BPC County Land, LLC
<b>Current Zoning:</b>	PDD No. 37 – Rocksports Complex/Ballpark Commons
<b>2025 Comprehensive Plan:</b>	Mixed Use
<b>Use of Surrounding Properties:</b>	Ballpark Drive and baseball fields to the north and west, residential single-family across 76 <sup>th</sup> Street to the east, access road to Loomis Road, and lot 3 of Ballpark Commons to the southwest.
<b>Applicant's Action Requested:</b>	Plan Commission approval of this Site Plan request.

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**INTRODUCTION:**

Site Plan application to allow for the construction of a dual branded Sleep Inn & MainStay Suites Hotel with 98 rooms, 47 conventional hotel rooms branded as Sleep Inn and 51 MainStay Suites rooms for extended stay. The proposed site improvements includes:

- The hotel building is a 4-story wood frame structure. The building footprint is 13,775 sf with a total floor area of 55,100 sf. The hotel would have the following amenities: indoor pool, guest laundry, fitness and community rooms.
- Exterior patio between the hotel building and Ballpark Drive.
- Surface parking lot with a total of 111 stalls, 106 regular parking stalls and 5 accessible stalls. Parking lot includes landscape islands, landscape buffers and light poles.
- 2 driveway connections to South Ballpark Drive, this facility will use 1 existing driveway and the other is being proposed next to the existing trail.
- Stormwater management facilities to be reviewed separately by the Engineering Department.
- Wall signage (subject to separate approvals).

This 3.56-acre property is located in the Ballpark Commons Sports Village Commercial/Mixed Use Area of Planned Development District (PDD) No. 37 where hotel is a permitted use. The minimum front setback in this area is 25 feet, the applicant is requesting to allow for a 15-ft front setback due to utility easements located near the rear lot line, which limit the property's buildable area.

**PROJECT ANALYSIS:**

City Development staff reviewed this application for compliance with Planned Development District (PDD) No. 37 and the Unified Development Ordinance. The table below contains measurable development standards for this project:

<b>Type of standard</b>	<b>Requirement</b>	<b>Proposed</b>
Minimum Landscape Surface Ratio (LSR), averaged across the entire PDD.	0.25	0.65
<b>Minimum front yard (feet) *</b>	25	15
Minimum side yard (feet)	10	300
Minimum side yard on corner lot (feet)	25	67
Minimum rear yard (feet)	20	105
Maximum building height (stories/feet)	4 / 60	4 /60
<b>Parking for hotel use. 1 space per guest room plus 1 space per 30 sf of assembly room (parking stalls) *</b>	98	111
Accessible parking ADA (parking stalls)	5	5
Internal parking landscape islands (sq. feet), 20 sq. feet per parking stall	2,220	8,089
Snow storage area (sq. feet), 10 % of parking lot area	4,750	8,528

**(\*) Waiver requested by the applicant.**

Please refer to the Department of City Development memo dated August 24, 2021, which provides staff comments and recommendations, and responses from the applicant, as well as separate letter from the Engineering Department dated August 23, 2021.

**Requested waivers**

The applicant is requesting the following waivers for this Site Plan:

- **Front building setback.** The applicant is requesting a reduction of the minimum front building setback from 25 feet to 15 feet. The applicant states that “because the utility corridors serving the areas of Ballpark Commons north or Rawson Avenue were located of know waste material whenever possible, utility easement occupy much of the outer edge of this parcel”. The Plan Commission may reduce setback requirements in Ballpark Commons Sports Village Commercial/Mixed Use Area per Table 15-3.0442B.1 of the PDD ordinance.

Staff comment: Given the presence of utility easements located in the rear of this property, the Ballpark Drive street design with on-street parking, curb extensions, sidewalks and frequent pedestrian crossings, and the precedence of the 3-story office building in Ballpark Commons (7044 S Ballpark Drive) with reduced setbacks. City Development has no objections to this setback reduction request.



- **Parking increase.** As previously indicated in the development standards table, the required parking for this hotel based on the number of guest rooms is 98 parking stalls, the applicant is proposing 111 parking stalls. The applicant states that the additional parking stalls (13) are intended “to accommodate stalls that may be lost to future cross-access needs, excessive snow events, etc.” (staff memorandum #8)

Staff comment: According to PDD Ordinance §15-3.0442E(B)(b), “parking lots in which the number of spaces significantly exceeds the minimum number of parking spaces required under Section 15-5.0203 are not permitted”. The Plan Commission may increase parking requirements up to 20% per UDO §15-5.0203.B.

It is worth noting that in the Ballpark Commons development, the minimum Landscape Surface Ratio (LSR) is averaged across the entire PDD. The resulting averaged LSR with this proposal would be 0.65. Unnecessary parking stalls will reduce the averaged LSR and therefore limit the development capacity of other properties in the Ballpark Commons development. For example, the minimum parking stall size is 180 sf, these 13 additional parking spaces would decrease the overall LSR by 2,340 sf.

- **Central area or feature.** Per PDD Ordinance §15-3.0442E (B)(3)(b), “each development which contains a building over forty-thousand (40,000) square feet in area shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground area, water feature, and/or other such deliberately designated areas or focal points that adequately enhance the development or community. All such areas shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the building and remainder of the site, and maintained over the life of the building and project” (staff memorandum #18).

According to the PDD Ordinance §15-3.0442E(B)(6)(b)., the Plan Commission may waive this design standard by a majority vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project which compensate for the waiver of the particular standard.

The applicant is proposing a concrete patio between the hotel building and S. Ballpark Drive. The area of this patio is approximately 600 square feet (12 by 50 feet), it would be “accessible to the public and connected to adjacent public walks, but is generally intended for hotel guest use” as indicated by the applicant.

Staff comment: This concrete patio does not meet the definition of the central area feature described in the PDD ordinance in staff’s opinion, it does not include benches, outdoor playground or a water feature, and it is separated from the public sidewalk by a retaining wall.

### **Recommended conditions**

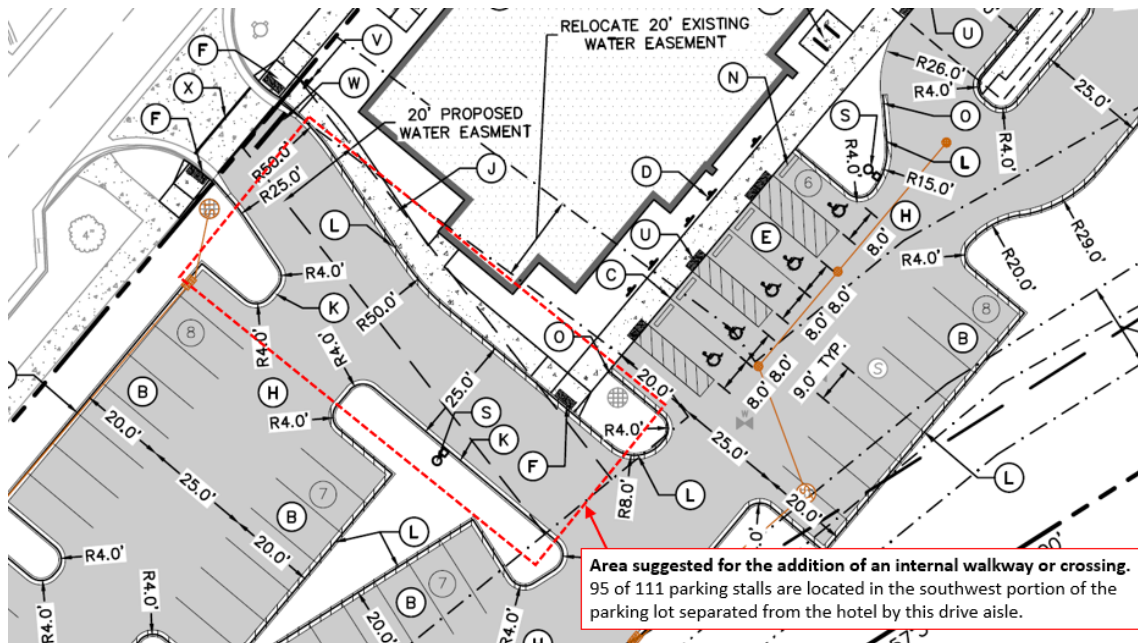
City Development staff recommends the following conditions of approval for consideration of the Plan Commission, these conditions are also included in the attached draft resolution.

- Cross-access.** The Ballpark Commons district intent in the Ordinance §15-3.0442.B(8), states as follows: “require that cross-access for both pedestrian and vehicular circulation be provided between adjacent parcels at the time of any new development or redevelopment”. The applicant is not opposed to a cross-access easement but believes that the installation of a cross-access connection is not necessary at this time (staff memorandum #3).

Staff comment: A cross-access easement and a letter or credit is recommended in lieu of the actual construction of the cross-access connection. Per the PDD section cited in the previous paragraph, “the city may require a letter of credit sufficient to ensure the construction of the future pedestrian and vehicular connection when actual construction is not taking place at the time of site plan approval”, see condition of approval #5.

- Internal pedestrian walkway or crossing.** Pursuant to PDD Ordinance §15-3.0442E(B)(2)(c)(ii), “large parking areas shall include walkways to allow safe pedestrian access to the building entrance and to connect the site to adjacent streets and properties” (staff memorandum #10). The applicant stated that “due to the parking lot configuration there is not an efficient/useful way to configure additional walkway within the parking lot”.

Staff comment: 95 of 111 parking stalls are located in the southwest portion of the parking lot separated from the hotel by a drive aisle. City Development staff recommends a pedestrian walkway or crossing on the drive aisle located between the hotel building and the southwest portion of the parking lot (see image below). The pedestrian crossing must be distinguished from driving surfaces with painted lines, colored paver blocks or textured concrete, see condition of approval #7.



- Compliance with easements restrictions.** According to Certified Survey Map No. 9043, this property (Lot 4) is subject to a 20-foot wide Metropolitan Milwaukee Sewage District pipeline easement (Doc No. 10519825), a 30-foot wide landscape bufferyard easement and a



50-foot wide sanitary sewer easement. Attached MMSD letter regarding pipeline easement for reference.

Staff comment: Given the presence of multiple easements as noted above, staff recommends that the Site Plan approval must be conditioned upon compliance with all easement restrictions applicable to this property, see condition of approval #6.

**CONCLUSION:**

City Development staff recommends approval of this Site Plan for a new hotel in the Ballpark Commons development, subject to the conditions set forth in the attached resolution.

**Staff suggestion**

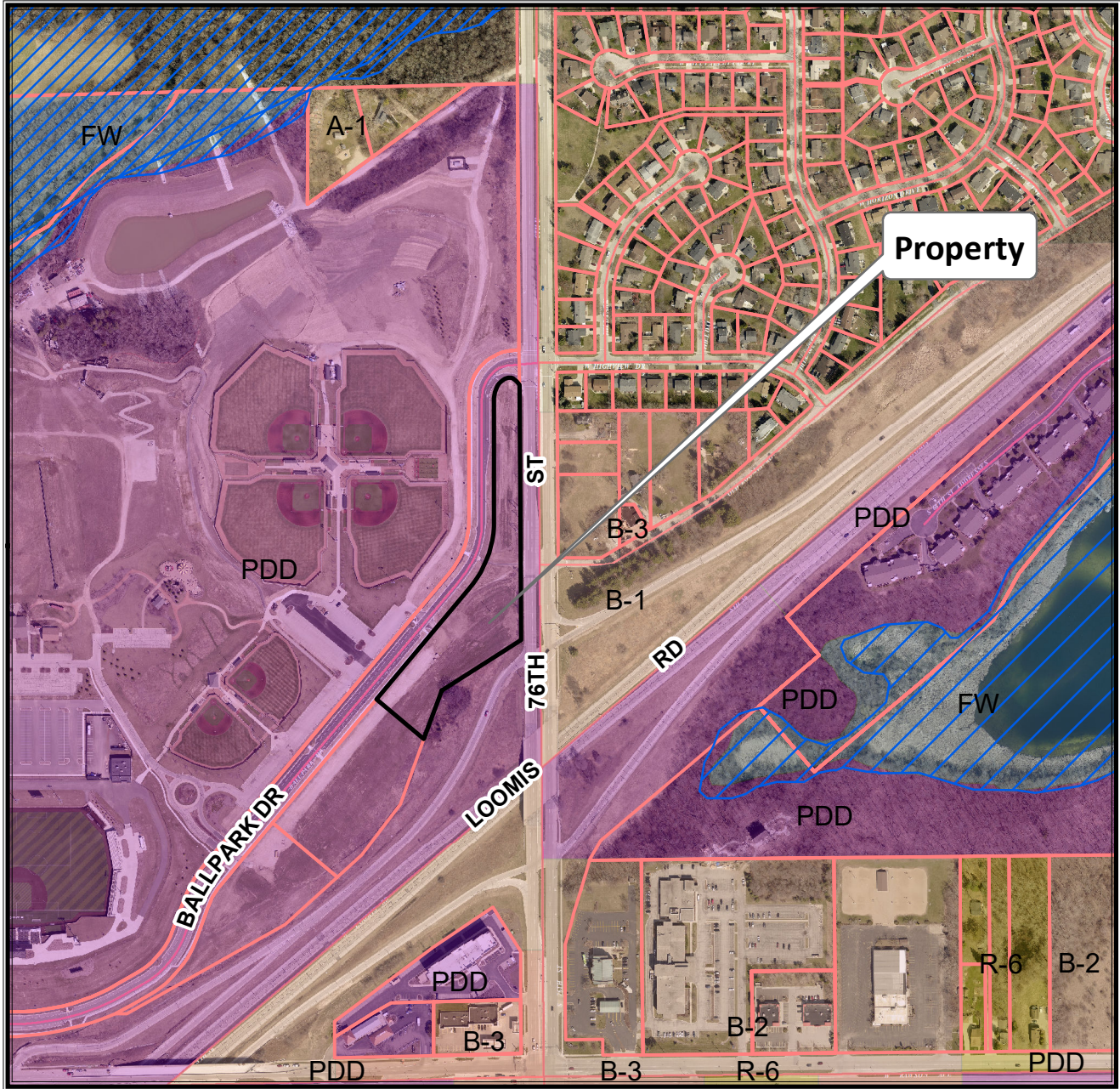
City Development staff suggests the construction of a public sidewalk by the developer on the west side of S. 76<sup>th</sup> Street from the Oak Leaf Trail to the southeast corner of the property as indicated below (approximately 230 feet), so visitors/participants at the Ballpark Commons development can walk to/from the Hampton Hotel and adjacent commercial properties. This section of S. 76<sup>th</sup> Street is under Milwaukee County jurisdiction, so if the Plan Commission wishes to include this suggestion as a condition of approval, it would be subject to acceptance by Milwaukee County.

Note that this suggestion is not part of the attached draft resolution.

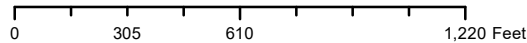




6868 S. Ballpark Dr.  
TKN: 744 1010 000



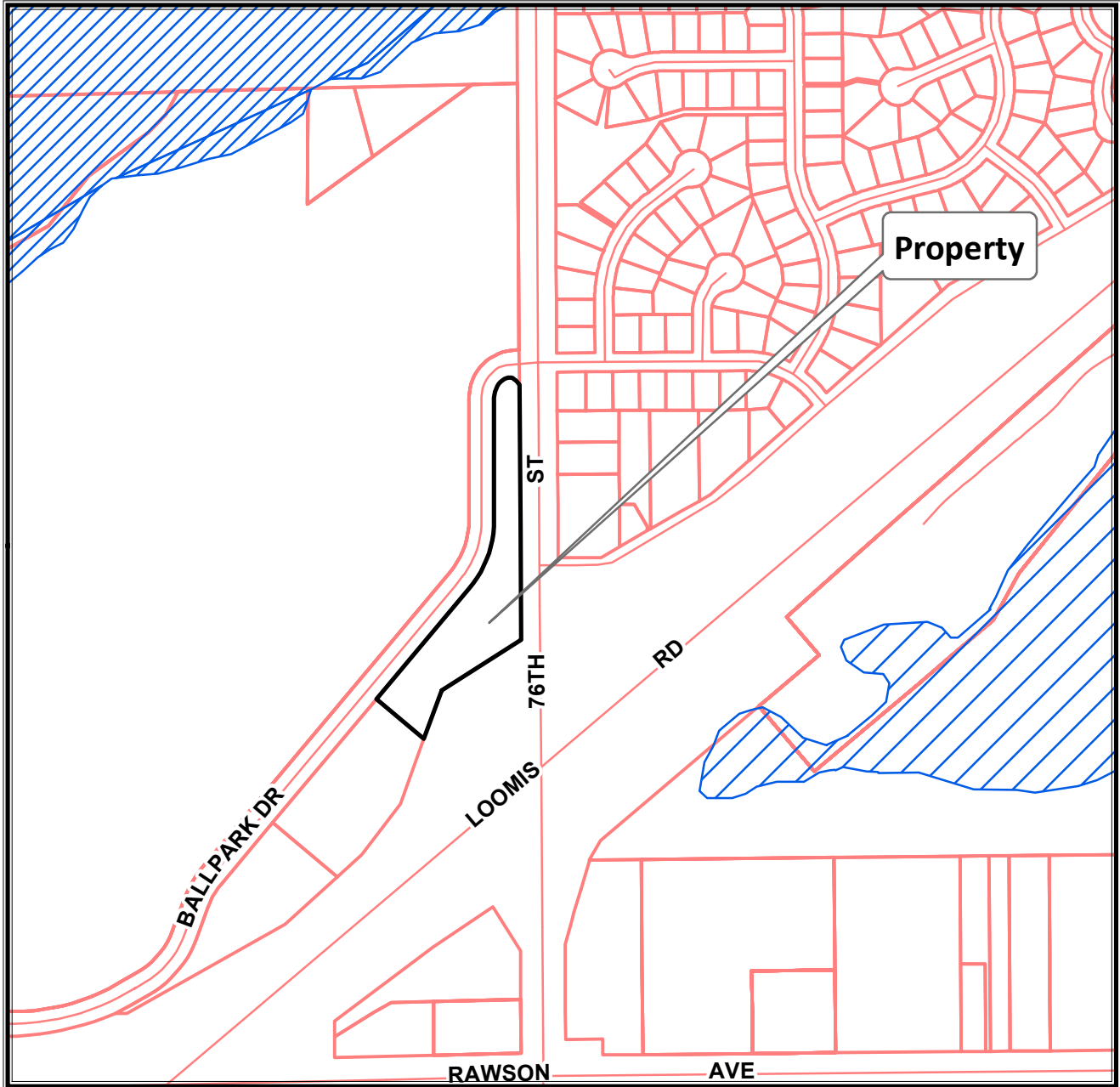
**Planning Department**  
**(414) 425-4024**



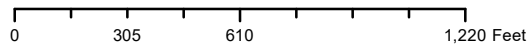
*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



6868 S. Ballpark Dr.  
TKN: 744 1010 000



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





Date of Application: August 6th, 2021

**SITE PLAN / SITE PLAN AMENDMENT APPLICATION**

Complete, accurate and specific information must be entered. *Please Print.*

**Applicant (Full Legal Name[s]):**

Name: Michael E. Zimmerman  
 Company: BPC County Land LLC  
 Mailing Address: 7044 S. Ballpark Drive  
 City / State: Franklin, WI Zip: 53132  
 Phone: \_\_\_\_\_  
 Email Address: mikez@rocventures.org

**Applicant Is Represented by: (contact person)(Full Legal Name[s])**

Name: Justin L. Johnson, P.E.  
 Company: JSD Professional Services  
 Mailing Address: W238 N1610 Busse Road, Suite 100  
 City / State: Waukesha, WI Zip: 53188  
 Phone: 262.513.0666  
 Email Address: justin.johnson@jsdinc.com

**Project Property Information:**

Property Address: 6868 S. Ballpark Drive  
 Property Owner(s): BPC County Land LLC  
 Mailing Address: 7044 S. Ballpark Drive  
 City / State: Franklin, WI Zip: 53132  
 Email Address: mikez@rocventures.org

Tax Key Nos: 744 1010 000  
 Existing Zoning: PDD No. 37  
 Existing Use: PDD No. 37  
 Proposed Use: PDD No. 37  
 Future Land Use Identification: PDD

\*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

**Site Plan/Site Plan Amendment submittals for review must include and be accompanied by the following:**

- This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- Application Filing Fee, payable to City of Franklin:  Tier 1: \$2000  Tier 2: \$1000 (Lot size ≤ 1 acre)  
 Tier 3: \$500 (≤ 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only).
- Legal Description for the subject property (WORD.doc or compatible format).
- Seven (7) complete **collated** sets of Application materials to include:
  - One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
  - Seven (7) **folded** full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)  
 Reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package will be at Planning staff recommendation, if applicable.
- One colored copy (11"x17") of the building elevations, if applicable.
- One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO).
- Three copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO).
- Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

- Upon receipt of a complete submittal, staff review will be conducted within ten business days. Additional materials may be required.
- Site Plan/Site Plan amendment requests require Plan Commission or Community Development Authority review and approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Michael E. Zimmerman  
 Signature - Property Owner  
 Michael E. Zimmerman - Member  
 Name & Title (PRINT)  
 Date: August 6, 2021

Michael E. Zimmerman  
 Signature - Applicant  
 Michael E. Zimmerman - Member  
 Name & Title (PRINT)  
 Date: August 6, 2021

\_\_\_\_\_  
 Signature - Property Owner  
 Name & Title (PRINT)  
 Date: \_\_\_\_\_

[Signature]  
 Signature - Applicant's Representative  
 Justin L. Johnson, P.E. - Associate  
 Name & Title (PRINT)  
 Date: August 6, 2021



August 5, 2021

City of Franklin Planning Department  
9299 W. Loomis Road  
Franklin, WI 53132  
Attn: Mr. Joe Dietl, Planning Manager

Re: 98 Unit Hotel Building C6 at Ballpark Commons

Dear Joel:

We are submitting a design package for planning review for a 98 Room Dual Branded Sleep Inn & MainStay Suites Hotel.

The parties involved are; ROC Venturers (Owner & Co-Developer), BraveHart Development (Owner & CoDeveloper), JSD Professional Services, Inc. (Civil Engineer/site designer), Simonson & Associates Architects LLC (Building Design).

This is for building C6 on the west side of south 76th Street, and south east of Crystal Ridge Road. The building is a 4 story, wood Frame structure for hotel use with 51 MainStay Suites branded extend stay rooms with small kitchenettes in each room, and 47 Sleep Inn branded rooms that are conventional hotel rooms. The building includes indoor pool, guest laundry, fitness room, community room for gathering & breakfast, and exterior patio for outside guest gathering space.

The position of the building in this development is ideal for guests visiting Ballpark Commons and also will have great visibility for transient travelers passing through Franklin. The hotel is close enough that guests can walk to all the venues, but spaced apart enough to provide ideal sleeping conditions.

Thank you,

Troy Hart *Troy*

*Hart*

Partner

BraveHart Development LLC

# Memorandum

[www.jsdinc.com](http://www.jsdinc.com)

To: Ms. Gail Olsen  
From: Justin L. Johnson, PE  
Re: Hotel at Ballpark Commons  
JSD Project #: 14-6548-G  
Date: August 6, 2021 (rev 9/13/21)  
cc:

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## HOTEL AT BALLPARK COMMONS PROJECT NARRATIVE:

Please accept the attached Site Plan Amendment application for the construction of a new hotel at Ballpark Commons. This submittal is being made by JSD Professional Services, Inc. on behalf of Braveheart Development and ROC Ventures.

The following is a narrative summary describing the project.

### **Project Description & Purpose**

The Sleep Inn & Mainstay Suites Hotel is a perfect complement to round out the amenities available at the Ballpark Commons development. Due to the current and future retail, offices, dining, apartments, senior living, and sports & recreational venues in the development there is a high demand for room nights.

This dual brand property will be a 4 story, wood frame structure with 51 MainStay Suites branded extended stay rooms. These rooms offer small kitchens that have a dishwasher, refrigerator, oven, microwave, and sofa sleeper. The other half of the hotel will have 47 Sleep Inn branded rooms that are more conventional hotel rooms. The combination of extended stay and standard rooms provides the flexibility for families, business travelers, and athletes to select which room type matches their travel needs.

As of June 2020, Choice Hotels had 7,118 properties in 41 countries and territories worldwide, with approximately 597,018 rooms, in addition to 1,035 hotels under construction. This makes them one of the largest hotel chains in the world with over \$7.6B in reservations and 45M reward members. The new Sleep Inn / MainStay Suites prototype from Choice has over 130 locations open and/or under



development. This prototype is very different from existing Choice properties and offers a modern, sleek design. The management company, Hart Family Hotels, currently operates many Choice properties with top 10% Google and Trip Advisor review scores, even in comparison to all the other major brands. This illustrates extremely positive customer feedback on new Choice Hotel properties and Hart Family Hotels ability to operate top-tier hotels. Their most recent Choice project was the same Sleep Inn & MainStay Suites prototype and is a finalist for project of the year from Choice Hotels.

### **Included Amenities**

The proposed Sleep Inn & MainStay Suites Hotel allows for two brands, two guest-types, and multiple demand drivers under one roof. Sleep Inn guest rooms feature timeless, nature-inspired design. MainStay Suites guest rooms feature warm and welcoming residential style design. The following amenities are also included:

- Indoor pool
- Guest laundry
- Fitness room
- Community room for gathering & breakfast
- Exterior patio for outside guest gathering space

### **Building Setbacks**

Because the utility corridors serving the areas of Ballpark Commons north of Rawson Avenue were located outside of known waste material whenever possible, utility easements occupy much of the outer edge of this parcel. This limits the buildable space on the site and forces the site to be configured generally as shown on the enclosed plans. In an effort to maintain proper traffic flow and public safety routes, the rear of the building is being pressed toward Ballpark Drive, thus maximizing the available space at the front door of the building.

*For these reasons, we hereby request consideration of reduced building setbacks as depicted on the enclosed plans.*

### **Stormwater Management**

The proposed improvements are in full compliance with the approved Stormwater Management Report for Ballpark Commons development areas north of W. Rawson Avenue. An updated Stormwater Compliance Memorandum will be submitted ~~in the next week~~ for [City of Franklin Engineering Department review](#) of the hotel component of the development with an exhibit and calculations showing that impervious surface areas following construction are within the limits allowed by the approved stormwater design. In addition to the interim check provided by this Stormwater Compliance Memo, once the project is fully built out, the Developer will provide a post-construction update to the Stormwater Management Report, including the items included in this proposal.

## **Parking**

The proposed Site Plan includes ~~117~~ 111 parking stalls, exclusively for hotel patron use. This exceeds both the operator's needs (one per room - 98) and City of Franklin UDO Requirements (98). There are no assembly areas to be utilized by non-guests, so the City of Franklin guideline is tied only to number of guest rooms. That said, we are providing extra stalls on the site, understanding that there will be management and housekeeping staff needing to park in various numbers and at various times.

## **Natural Resources**

The subject parcel previously contained two DNR-exempted roadside ditch wetlands and one isolated wetland (Wetland Area 16). These areas were all addressed and approved by the Common Council on January 9, 2018 (approved NRPP attached). No other protected natural resources are present on the site.

## **Project Value**

The Proposed Sleep Inn / Mainstay Suites Hotel is anticipated to cost between \$12M and \$13M to construct.



**MEMORANDUM**  
*(RESPONSES SHOWN IN BLUE)*

Date: August 24, 2021  
To: Justin L. Johnson, P.E. JSD Professional Services  
From: Department of City Development  
Régulo Martínez-Montilva, Principal Planner  
RE: Application for Site Plan – Ballpark Commons Hotel  
6868 S. Ballpark Drive

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Staff comments are as follows for a Site Plan application submitted on August 6, 2021, to allow for a new hotel building at Ballpark Commons.

**City Development Department comments**

1. **Building height.** This site is located in the Ballpark Commons Sports Village Commercial/Mixed Use Area of Planned Development District (PDD) No. 37. Per Ordinance 2019-2368 (PDD Ordinance), Table 15-3.0442B.1, the maximum building height in this area is 60 feet. Please revise the Southeast elevation, which is exceeding this standard by 6 inches.

*This has been changed. The maximum height as shown on the revised elevations is 60'-0" AFF.*

2. **Driveway location.** Staff objects the proposed driveway relocation due to traffic safety concerns, impact to existing crosswalk and on-street parking reduction. Staff recommends to keep the driveway at its current location or install the new driveway at least 150 feet from the existing driveway (measured from centerline to centerline).

*The layout has been changed to keep the driveway in its current location. Refer to Civil plans.*

3. **Cross-access.** The Ballpark Commons district intent in the Ordinance §15-3.0442.B(8), states as follows: *require that cross-access for both pedestrian and vehicular circulation be provided between adjacent parcels at the time of any new development or redevelopment. In cases where existing development on adjacent parcels, not under common ownership, does not allow for the actual construction of connecting driveways, sidewalks, etc. it shall be sufficient in most cases to provide the appropriate cross-access easements to be utilized at the point in time when the adjacent parcel undergoes development or redevelopment that would facilitate the completion of the connection. The city may require a letter of credit sufficient to ensure the construction of the future pedestrian and vehicular connection when actual construction is not taking place at the time of site plan approval.*

City Development staff recommends a cross-access connection to Lot 3 or shared driveway.

*Per the Master Site Plan Lot 3 is planned to be either future parking or baseball fields. We are not opposed to a cross-access easement but at present time we do not believe it is necessary.*

4. **Single row parking aisles.** Pursuant to the UDO table below, single row parking (90°) and aisle must be at least 45 feet. The proposed single row parking aisle is 24 feet in width, 25 feet is

recommended to comply with this requirement.

<b>Minimum Width of Off-Street Parking Rows and Aisles</b>				
<b>Type of Row</b>	<b>Parallel Spaces</b>	<b>45° Angle Spaces</b>	<b>60° Angle Spaces</b>	<b>90° Angle Spaces</b>
Single Row & Aisle	20 feet	35 feet	40 feet	45 feet
Double Row & Aisle	28 feet	60 feet	62 feet	65 feet (a)

*The layout has been changed to accommodate the required 25-foot drive aisles.*

5. **Snow storage plan.** A snow storage plan is required per UDO §15-5.0210(B), see attached for snow storage standards. Please include the area intended for snow storage and the total area for surface parking including access drives (in square feet). The snow storage plan may be a separate plan or may be part of the Site Plan or Landscape Plan.

*The landscape plan has been updated to show the proposed snow storage areas.*

6. **Easements.** Please confirm that all proposed site improvements will be in compliance with all the easements restrictions applicable to this property. Please list all existing easements.

*Refer to C1.0 – Site Plan for all existing and proposed easements. We confirmed with City Engineering at the pre-application meeting that paving and curbs would be allowed over the existing easements.*

7. **Wall signs.** Signage are subject to a separate review and approval. However, please note that the 2 proposed wall signs are exceeding the maximum 30-foot height set forth in Municipal Code Section 210-4.C(7)(b)[1]: *no part of a combustible wall sign or billboard shall be erected or maintained above the sill of a second-story window or windows of the building or structure to which such sign or billboard is to be attached, nor shall any part of such a sign or billboard be more than 30 feet above the established grade immediately below.* Please revise the sign location or use other type of signage. Alternatively, you may apply for a sign variance subject to review and approval by the Board of Zoning and Building Appeals (BZBA).

*This requirement is for “combustible wall sign” and the signage shown are all of non-combustible construction. The signage package will be submitted for separate review.*

#### Ballpark Commons PDD design standards

According to the PDD Ordinance §15-3.0442E(B)(6)(b)., the Plan Commission may waive any of the following design standards by a majority vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project which compensate for the waiver of the particular standard. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

#### Parking

8. **Number of parking spaces.** According to PDD Ordinance §15-3.0442E(B)(b), *parking lots in which the number of spaces significantly exceeds the minimum number of parking spaces required*



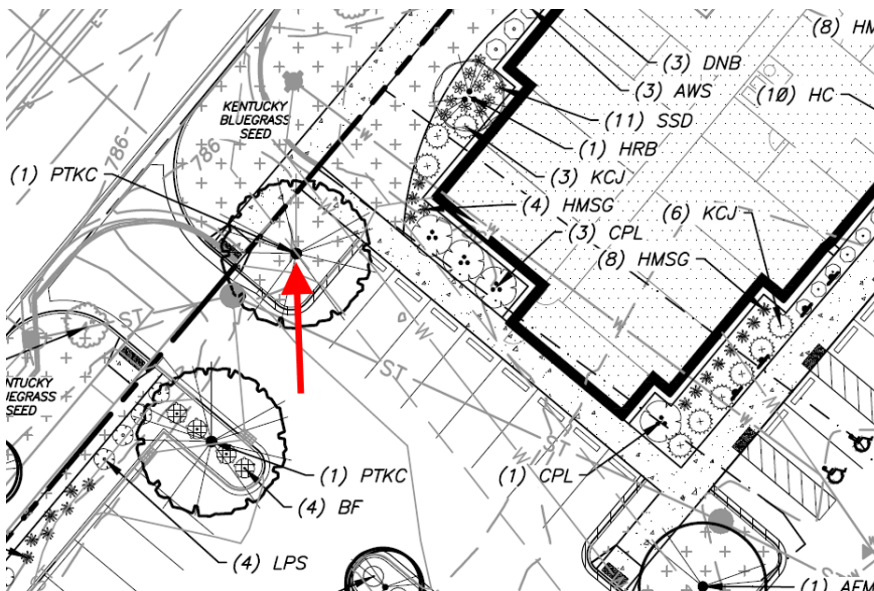


11. **Parking islands are too long.** Pursuant to PDD Ordinance §15-3.0442E(B)(4)(c)(ii), *landscaped islands shall be three (3) feet shorter than the depth of any adjacent space.* The provided parking spaces are 20-ft long, so the parking islands must be 17-ft long, measured from the inside of the curb. Please revise parking islands, see parking below in Lot 1 as an example.



*The layout has been changed at the entrance to the site to accommodate the requested 17-foot long parking islands.*

12. **Visibility at driveways.** Pursuant to PDD Ordinance §15-3.0442E(B)(4)(d)(i), *perimeter planting areas shall be designed to maintain and protect visibility at driveways and access points.* Staff recommends relocation of the tree marked below to maintain visibility at this crosswalk for safer pedestrian mobility. This tree may be substituted with shrubs not exceeding 2.5 feet in height.



*The landscape plan has been changed to maintain and protect visibility at the driveways and access points.*



13. **Northwest elevation.** Pursuant to PDD Ordinance §15-3.0442E (B)(5)(a)(viii), *all visible sides of the building shall be designed with details that complement the front facade. Side facades that are visible from the public street shall receive equal design attention.* Staff recommends the addition to the Northwest elevation (facing Ballpark Drive) of materials and architectural features present in the Southeast elevation.

*All of the elevations have been revised.*

14. **Standard corporate colors limited to signs.** Pursuant to PDD Ordinance §15-3.0442E (B)(5)(c)(v), *standard corporate and trademark colors shall be permitted only on sign face and copy areas.* The “dewberry” color (FCP-4) is considered a corporate color of Sleep Inn, staff recommends to remove this color from the area below the Sleep Inn sign in the Southeast elevation. This color may be substituted with “cobble stone” (FCP-1) or similar.

*This elevation has been revised.*

15. **Roof mounted equipment.** Any roof mounted equipment? If so, please provide a roof plan with equipment location and screening. According to PDD Ordinance §15-3.0442E (B)(5)(d)(v), *all roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, must be screened from public view by parapets, walls, or by other approved means.*

*Roof plan is being included. HVAC units will be ground mounted.*

16. **Windows.** Pursuant to PDD Ordinance §15-3.0442E (B)(5)(d)(i), upper floor windows *must have trim or molding at least two inches wide around their perimeters.* Please add detail of typical upper floor windows attesting compliance with this requirement.

*The 2” trim is being shown on the elevations.*

#### Landscape and streetscape

17. **Pedestrian accessibility.** According to PDD Ordinance §15-3.0442E (B)(5)(h), *buildings shall maintain and/or enhance the pedestrian scale and special attention shall be given to designing a primary building entrance that is both attractive and functional.* The site plan as presented is depicting the primary building entrance in the Southeast elevation and the building is oriented in such way that the rear of the building is facing S. Ballpark Drive. Staff recommends a rendering, architectural perspective drawing and/or street cross section to illustrate the relationship between the building and S. Ballpark Drive.

*Please refer to the revised NW building elevation. Although the main entrance is on the SE side of the building, there is a canopied entrance on the NW side, scaled for pedestrian use and accented by the vertical building element at the entrance. With the landscaping along Ballpark Drive, and the patio and large storefront windows providing views into the pool area on the NW façade, we feel we have addressed the intent of this ordinance.*

18. **Central area or feature.** Per PDD Ordinance §15-3.0442E (B)(3)(b), *each development which contains a building over forty-thousand (40,000) square feet in area shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground*

area, water feature, and/or other such deliberately designated areas or focal points that adequately enhance the development or community. All such areas shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the building and remainder of the site, and maintained over the life of the building and project. Please add a central area or feature accessible to the public and connected to the Ballpark Drive sidewalk.

*Refer to C1.0 – Site Plan. Located between the building and Ballpark Drive is a patio area (key-note “Q”). This amenity is accessible to the public and connected to adjacent public walks, but is generally intended for hotel guest use.*

19. **Street furniture recommended.** Per PDD Ordinance §15-3.0442E (B)(5)(c)(v), *the pedestrian environment may be enhanced by street furniture, landscaping, awnings, and movable planters of seasonal flowers.* City Development staff recommends at least 3 benches within the tree lawn of S. Ballpark Drive (currently Outlot 1) or as part of the central area noted above.

*Refer to the Civil and Landscape Plans. Two benches have been provided along the Oak Leaf Trail immediately north of the site and a third bench has been provide along Ballpark Drive near the main parking lot entrance.*

20. **Bicycle parking recommended.** Pursuant to PDD Ordinance §15-3.0442E(B)(c)(vi), *lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk throughout the entire District.* City Development staff recommends the provision of racks for bicycles and/or scooters with access to internal walkways or public sidewalks, in a ratio of 1 per 10 vehicular parking spaces. Racks may be installed in the central area noted above.

*Refer to the Civil and Landscape Plans. Four (4) bicycle spaces have been provided near the main entrance of the building. We respectfully request that the number of required bicycle spaces be reduced from what is contemplated in the PDD ordinance, as we do not feel this site use will warrant 11 bicycle spaces.*

21. **Crosswalks.** Pursuant to PDD Ordinance §15-3.0442E(B)(c)(vi), pedestrian walkways shall be distinguished from driving surfaces. A crosswalk is required when the public sidewalk intersects a driveway, please revise Site Plan accordingly.

*The layout has been changed to accommodate the requested crosswalks.*

### **Mayor’s comments**

22. Concerned about wood frame construction: fire safety and noise within the building.

*The building is fully sprinklered and is designed to per all codes including fire, electrical and building codes. Floors and walls meet the sound transmission class and impact noise criteria that is required by the hotel brand, which exceeds building code requirements. The hotel owners are very concerned about the satisfaction of the guests during their stay and having a quiet room is a priority. With proper building materials, such as the use of insulation and resilient channels for both walls and ceilings, plus the use of lightweight concrete topping and sound control mats in the floor assembly, we can achieve very good results in sound control.*



23. Brand does not conform with brands presented by the developer in past presentations including the last presentation last spring (Holiday Inn Express).

*It is true that the developer made mention of an interest in the property from Holiday Inn and a previous co-developer. Unfortunately, as was reported in a previous Common Council update, that co-developer is no longer interested in pursuing a Holiday Inn at this location due to the significant impact that COVID had on their business. Since then, ROC Ventures re-acquired control over the property and recruited proven hotel operators Bravehart Development and Choice Hotel (Mainstay and Sleep Inn Products) as their hotel partners. Strategically, this is an ideal hotel product for the Ballpark Commons development as it is "fit for purpose" and aligns with desires of the sports tourism business as currently being generated at Ballpark Commons.*

24. Concerned with the market impact of this level hotel.

*The market study (STAR Report) supports additional hotel development in this area. In addition, the current book of businesses (sports teams and families) that is controlled by Ballpark Commons operators makes the market feasibility very compelling for investors. With many hotels facing uncertainty due to the pandemic over the last year, The Hotel at Ballpark Commons is a diamond in the rough. The property will have a unique opportunity to independently thrive based on the amenities available within the development. Retail, offices, dining, apartments, senior living, and sports & recreational venues in the development is expected to drive over 1.2 million visitors a year, which will in turn lead to the success of not only this hotel product, but likely also to other nearby businesses.*

#### **Fire Department comments**

25. Franklin Fire Department Construction and Alteration Requirements (2021-2022)

1. Follow all relevant WI DSPPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.

*Understood and will be addressed in final design.*

2. Fire Extinguisher placement as per NFPA 10.

*Understood and will be addressed in final design.*

3. Fire Department Connection (FDC) and hydrant placement must be acceptable to AHJ.

*The FDC location has been noted on the Civil Plans (on the northwest wall of the building near the water riser room).*

4. At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.

*Understood.*

5. Master Key set required for placement in Knox Box.

*Understood.*

6. Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>

*Understood and will be addressed.*

**Engineering Department comments**

26. See separate letter

*See attached engineering response letter.*

**Inspection Services Department comments**

27. Inspection Services has no comments on the proposal at this time.

*Noted.*

**Police Department comments**

28. The PD has no comment regarding this request.

*Noted.*



City of Franklin  
Engineering Department  
*(RESPONSES SHOWN IN BLUE)*

Date: August 23, 2021

To: Planning and Zoning Department

From: Ronnie Asuncion, Eng Lead Tech

Re: Sleep Inn & Mainstay Suites Hotel

Owner: BPC County Land LLC

Address: 6868 S Ballpark Drive

Comment/s:

- Submit a plat of survey for review and approval before issuing the building permit.  
*Understood. A plat of survey will be submitted for review at a later date.*
- Vacate/abandon the existing 20-Ft water main easement.  
*Refer to the attached easement documents.*
- Submit new location of the water main and its easement for review and approval.  
*Refer to the attached easement documents and C3.0 Utility Plan.*

Note:

Full-time Inspector onsite is required to install the water main and curb and gutter at the owner's expense. Please, refer to the City of Franklin Design Standards and Construction Specifications.  
*Understood.*

Thank you.

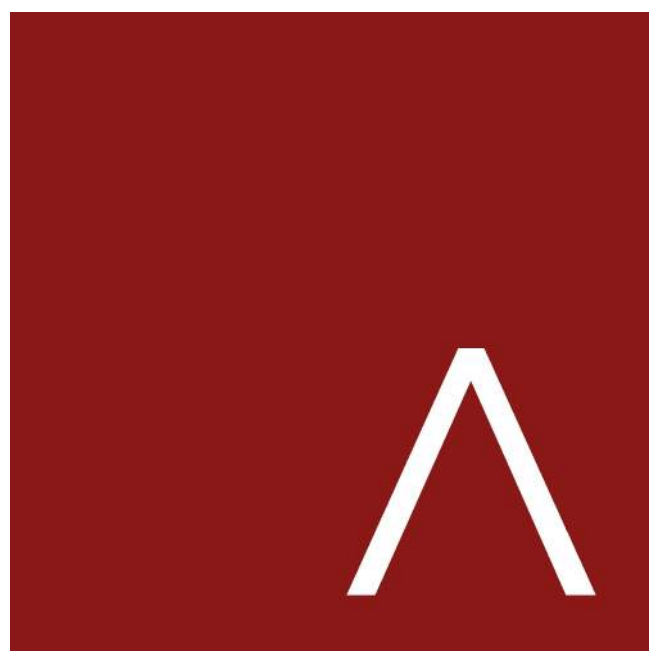




PREVIOUS SUBMITTAL



CURRENT SUBMITTAL



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 16-0909



CONSTRUCTION  
DOCUMENTS-REVIEW SET

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE FEBRUARY 27, 2018

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

MASTERPLAN

SHEET NUMBER

ASP-110

ATTACHMENT 03A





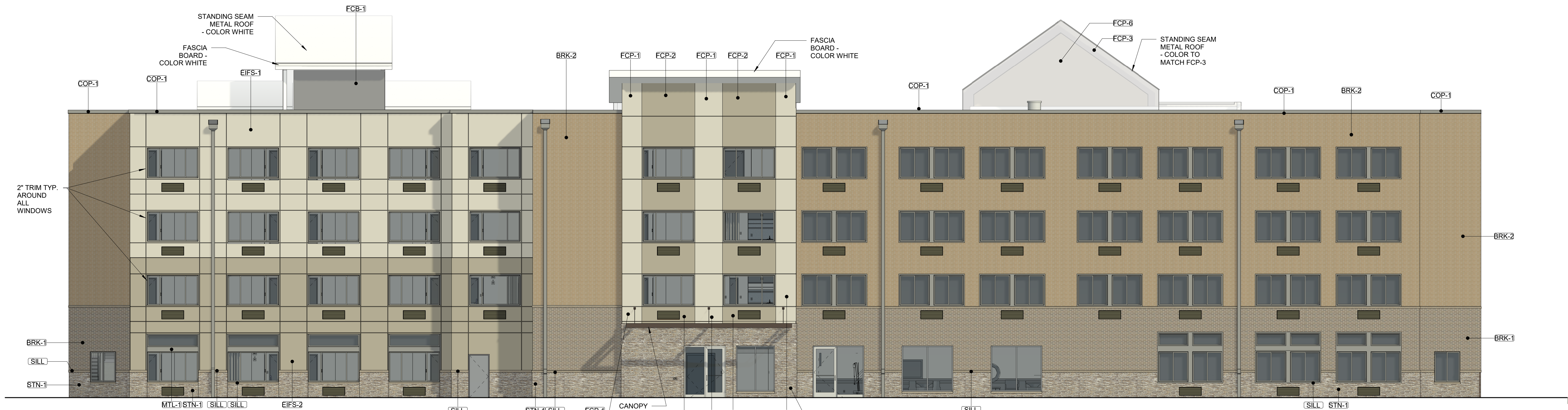
Ballpark Commons  
Site Plan Submittal  
August 6<sup>th</sup>, 2021

**Legal Description Lot 4**

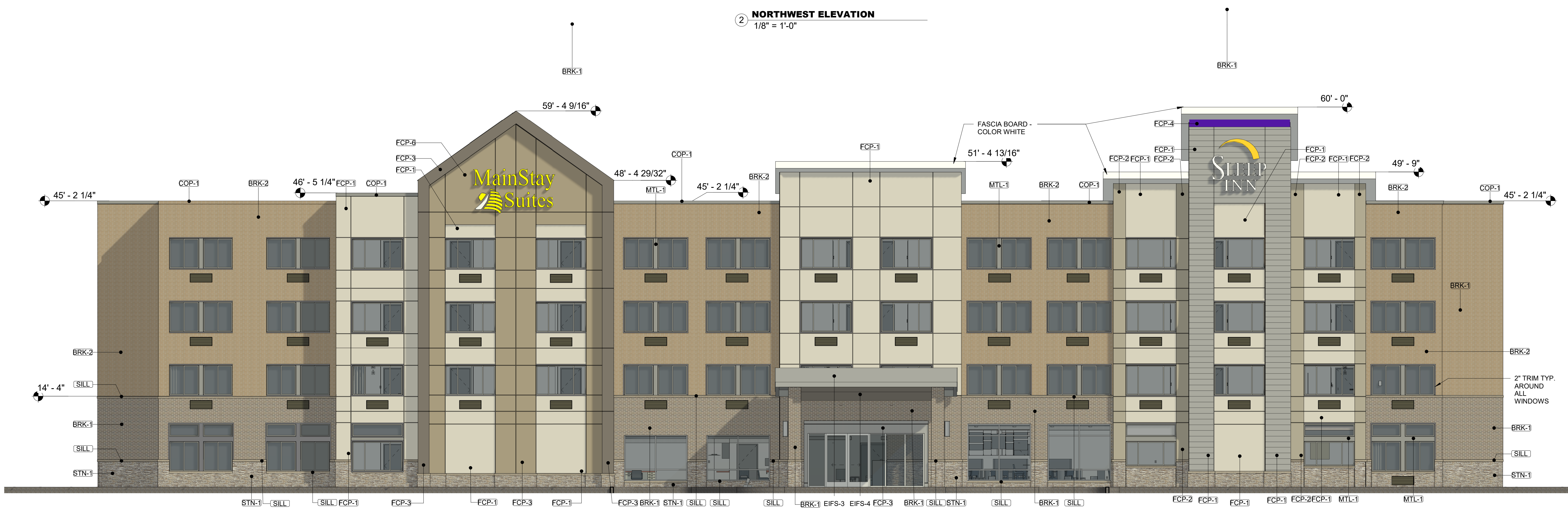
LOT 4 OF CERTIFIED SURVEY MAP NO. 9043, BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$  AND THE NORTHEAST  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

LOT 4 CONTAINS 155,128 SQUARE FEET OR 3.5612 ACRES





② NORTHWEST ELEVATION  
1/8" = 1'-0"



① SOUTHEAST ELEVATION  
1/8" = 1'-0"

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# SLEEP INN/MAINSTAY

## FRANKLIN, WISCONSIN

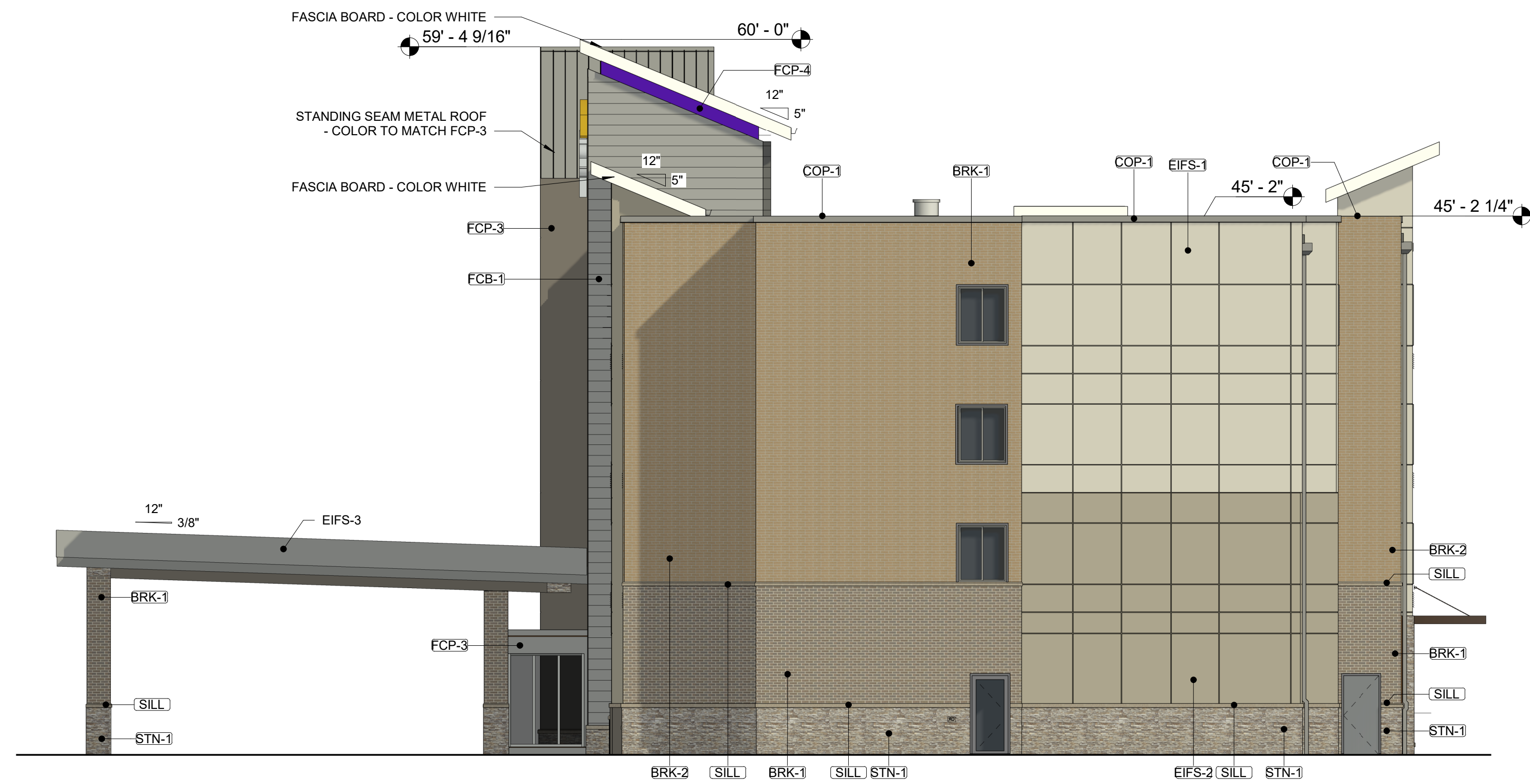
09/13/21

24"x36" SHEET (FULL SIZE)  
- SCALE IS AS NOTED  
12"x18" SHEET (HALF SIZE)  
- SCALE IS ONE-HALF OF WHAT IS NOTED  
OTHER SHEET SIZES NOT TO SCALE  
SAA JOB #: 21068

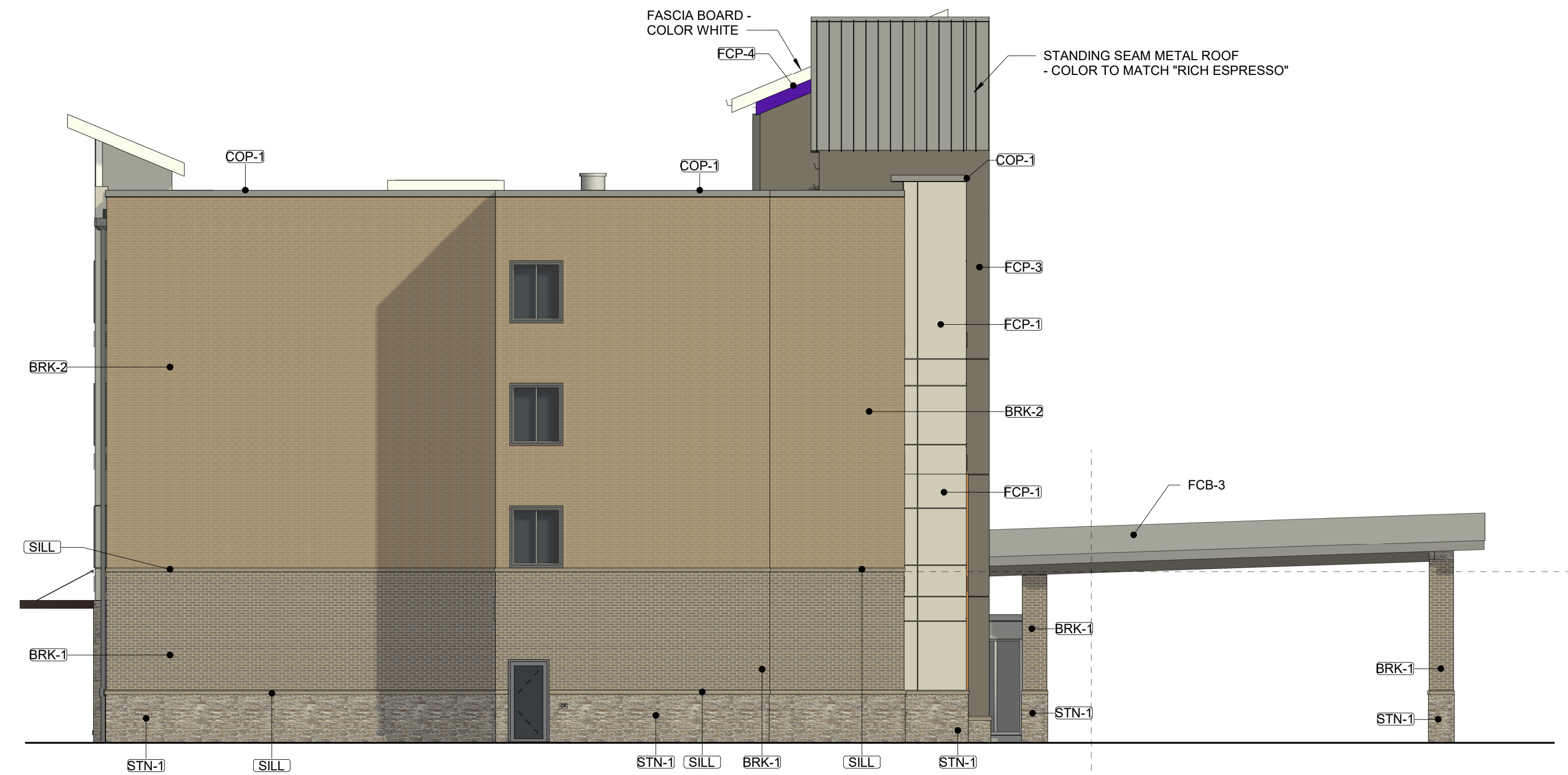
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② NORTHWEST ELEVATION  
1/8" = 1'-0"



① SOUTHEAST ELEVATION  
1/8" = 1'-0"

EXT. MATERIAL LEGEND	
<b>BRK-1</b>	<b>BRICK VENEER</b>
<b>COLOR:</b>	SIoux CITY BRICK - FINE ART
<b>COMMENT:</b>	MORTAR TO MATCH BRICK COLOR
<b>BRK-2</b>	<b>BRICK VENEER</b>
<b>COLOR:</b>	SIoux CITY BRICK - BEIGE GRAY
<b>COMMENT:</b>	MORTAR TO MATCH BRICK COLOR
<b>COP-1</b>	<b>METAL COPING</b>
<b>COLOR:</b>	WARM GRAY
<b>COMMENT:</b>	
<b>FCP-1</b>	<b>FIBER CEMENT PANEL</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPANEL - SMOOTH
<b>COLOR:</b>	COBBLESTONE
<b>COMMENT:</b>	REVEAL COLOR TO MATCH PANEL
<b>FCP-2</b>	<b>FIBER CEMENT PANEL</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPANEL - SMOOTH
<b>COLOR:</b>	MONTEREY TAUPE
<b>COMMENT:</b>	REVEAL COLOR TO MATCH PANEL
<b>FCP-3</b>	<b>FIBER CEMENT PANEL</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPANEL - SMOOTH
<b>COLOR:</b>	RICH ESPRESSO
<b>COMMENT:</b>	REVEAL COLOR TO MATCH PANEL
<b>FCP-4</b>	<b>FIBER CEMENT PANEL</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPANEL - SMOOTH
<b>COLOR:</b>	SW 6552 - DEWBERRY
<b>COMMENT:</b>	REVEAL COLOR TO MATCH PANEL
<b>FCP-5</b>	<b>FIBER CEMENT PANEL</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPANEL - SMOOTH
<b>COLOR:</b>	ARCTIC WHITE
<b>COMMENT:</b>	REVEAL COLOR TO MATCH PANEL
<b>FCP-6</b>	<b>FIBER CEMENT PANEL</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPANEL - SMOOTH
<b>COLOR:</b>	WOODSTOCK BROWN
<b>COMMENT:</b>	REVEAL COLOR TO MATCH PANEL
<b>FCB-1</b>	<b>FIBER CEMENT LAP BOARD</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	HARDIEPLANK - SMOOTH 10.75" EXPOSURE
<b>COLOR:</b>	RICH ESPRESSO
<b>COMMENT:</b>	
<b>SILL</b>	<b>CAST STONE SILL</b>
<b>COLOR:</b>	MATCH COLOR OF ADJACENT BRICK
<b>COMMENT:</b>	
<b>STN-1</b>	<b>THIN STONE</b>
<b>COLOR:</b>	TBD
<b>COMMENT:</b>	NATURAL MORTAR
<b>MTL-1</b>	<b>BRAKE METAL</b>
<b>COLOR:</b>	WARM GRAY
<b>COMMENT:</b>	
<b>FAS-1</b>	<b>FASCIA BOARD</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	FASCIA - SMOOTH
<b>COLOR:</b>	ARCTIC WHITE
<b>COMMENT:</b>	
<b>SOFF-1</b>	<b>SOFFIT</b>
<b>MANUFACTURER:</b>	JAMES HARDIE
<b>STYLE/SIZE:</b>	VENTED SOFFIT - SMOOTH
<b>COLOR:</b>	ARCTIC WHITE
<b>COMMENT:</b>	
<b>EIFS-1</b>	<b>EXTERIOR INSULATION FINISH SYSTEM</b>
<b>MANUFACTURER:</b>	PAREX
<b>STYLE/SIZE:</b>	TEXTURE: 534 SANDFINE
<b>COLOR:</b>	TO MATCH HARDIE COBBLESTONE
<b>COMMENT:</b>	
<b>EIFS-2</b>	<b>EXTERIOR INSULATION FINISH SYSTEM</b>
<b>MANUFACTURER:</b>	PAREX
<b>STYLE/SIZE:</b>	TEXTURE: 534 SANDFINE
<b>COLOR:</b>	TO MATCH HARDIE MONTEREY TAUPE
<b>COMMENT:</b>	
<b>EIFS-3</b>	<b>EXTERIOR INSULATION FINISH SYSTEM</b>
<b>MANUFACTURER:</b>	PAREX
<b>STYLE/SIZE:</b>	TEXTURE: 534 SANDFINE
<b>COLOR:</b>	TO MATCH HARDIE RICH ESPRESSO
<b>COMMENT:</b>	
<b>EIFS-4</b>	<b>EXTERIOR INSULATION FINISH SYSTEM</b>
<b>MANUFACTURER:</b>	PAREX
<b>STYLE/SIZE:</b>	TEXTURE: 534 SANDFINE
<b>COLOR:</b>	TO MATCH HARDIE ARCTIC WHITE
<b>COMMENT:</b>	

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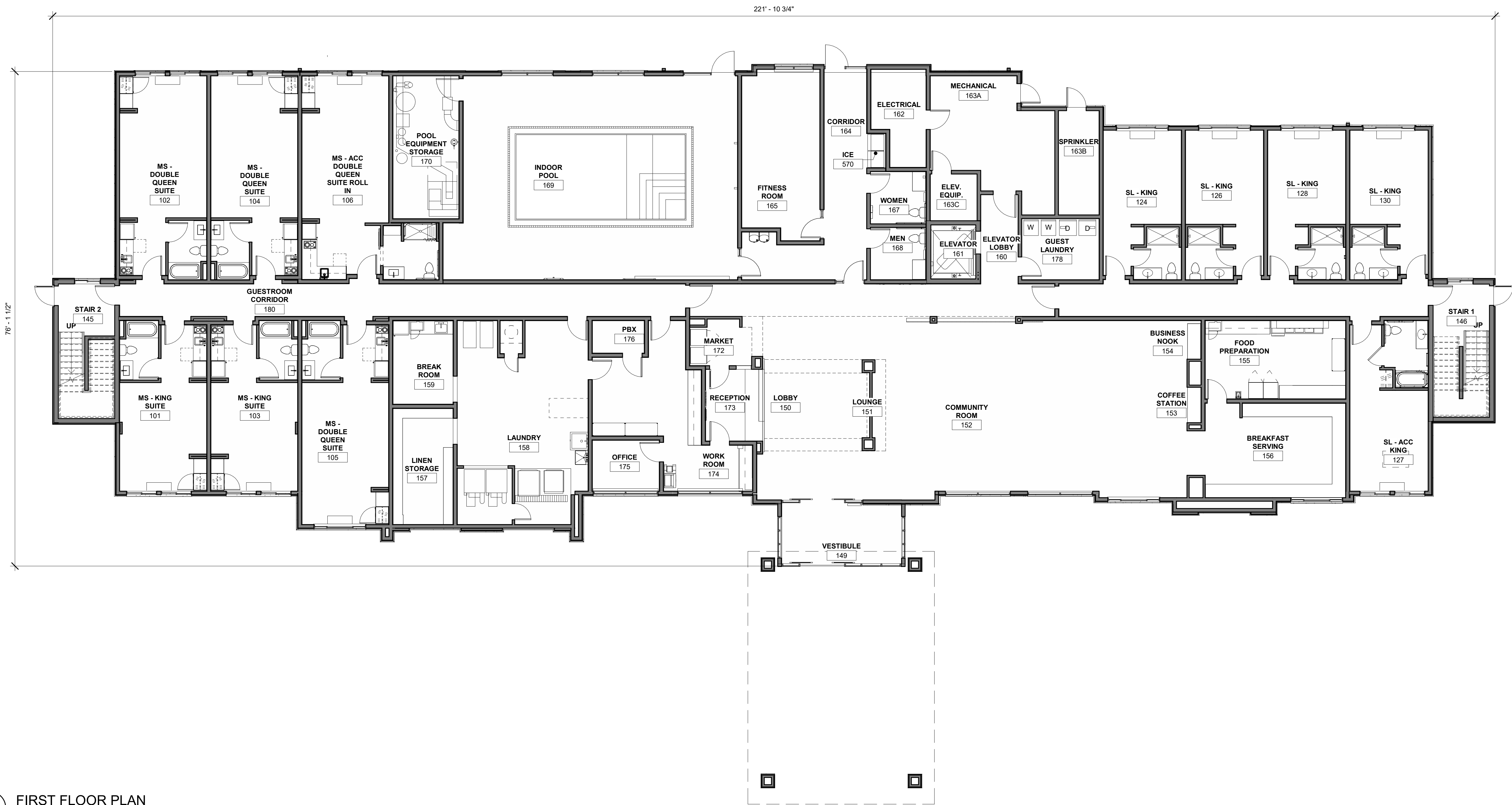
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1 FIRST FLOOR PLAN  
1/8" = 1'-0"

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1 SECOND FLOOR PLAN  
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1 THIRD FLOOR PLAN  
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1 FOURTH FLOOR PLAN  
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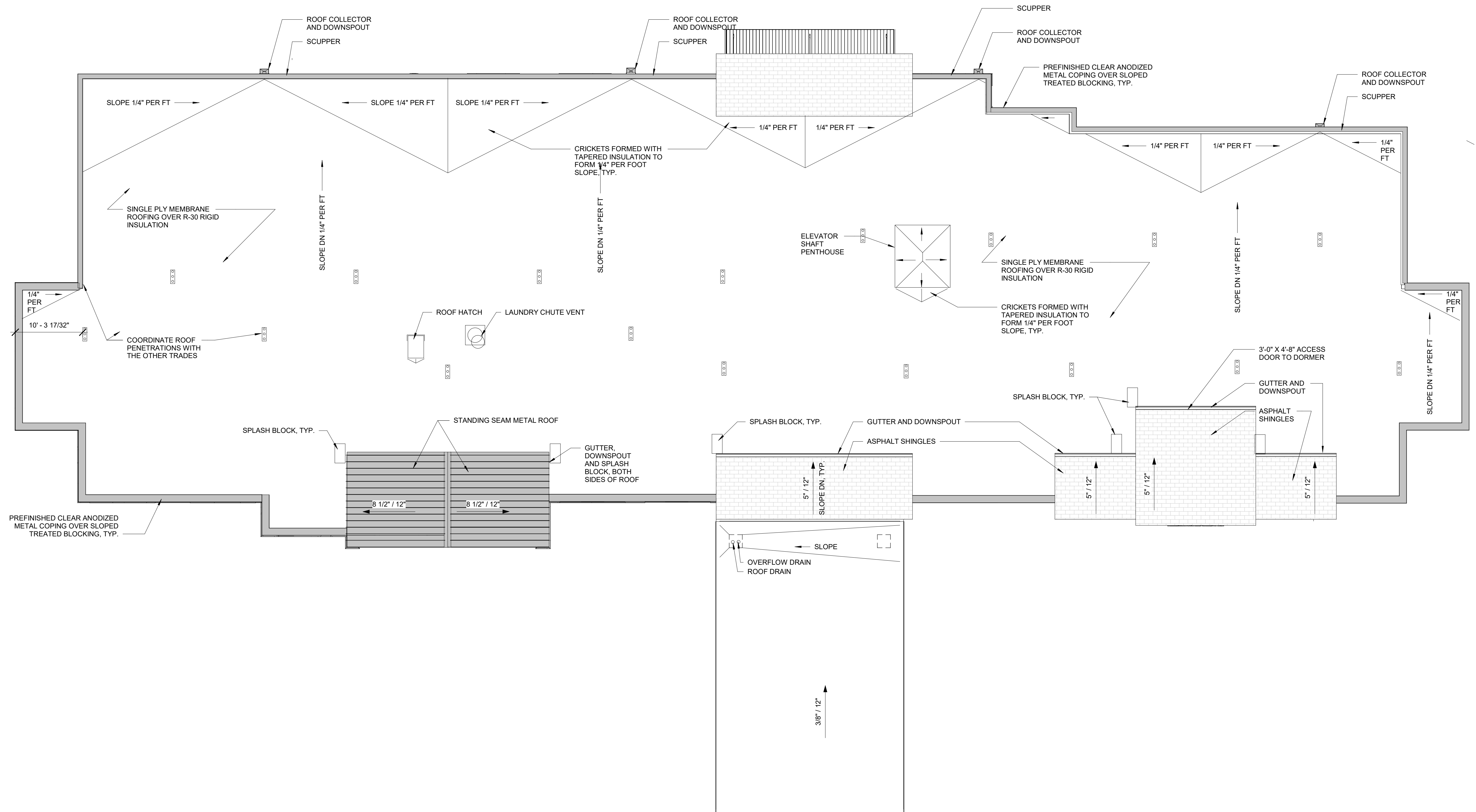
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**1** ROOF PLAN  
1/8" = 1'-0"

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## SITE PLAN CHECKLIST

<b>Date of Submittal</b>	September 13, 2021
<b>Taxkey ID #</b>	744 1010 000
<b>Project Name</b>	Ballpark Commons Hotel

<b>Staff Use</b>	<i>Indicate Complete or NA</i>	<b>Required Information</b>	<b>Ordinance #</b>
	<i>X</i>	Scale and Name of Project	15-7.0103-A
	<i>X</i>	Owner's and/or Developer's Name and Address	15-7.0103-B
	<i>X</i>	Architect, Surveyor and/or Engineer's Name and Address (seal and/or stamp)	15-7.0103-C
	<i>X</i>	Date of Site Plan Submittal with all Dates of Revisions w/ Revisor's Initials	15-7.0103-D
	<i>X</i>	Site Size in Square Feet and Acres	15-7.0103-E
	<i>X</i>	Existing and Proposed Topography (2' intervals)	15-7.0103-F
	<i>Geo Report</i>	Soils Data	15-7.0103-G
	<i>X</i>	Off Street Parking Spaces, Loading, Ingress and Egress, Driveway Locations of Adjoining Prop.	15-7.0103-H
	<i>X</i>	Type, Size, and Location of All Existing and Proposed Structures and Signs	15-7.0103-I
	<i>X</i>	Building Height	15-7.0103-J
	<i>X</i>	Existing and Proposed Street Names	15-7.0103-K
	<i>X</i>	Existing and Proposed Public Street Rights-of-way or Reservations	15-7.0103-L
	<i>X</i>	Building and Yard Setbacks	15-7.0103-M
	<i>X</i>	Proposed Sanitary Sewers, Storm Sewers and Water Mains	15-7.0103-O
	<i>X</i>	Proposed Stormwater Management Facilities	15-7.0103-P
	<i>X</i>	Natural Resource Protection Plan*	15-7.0103-Q
	<i>X</i>	Landscape Plan**	15-7.0103-R
	<i>X</i>	Site Intensity and Capacity Calculations	15-7.0103-S
	<i>X</i>	Pedestrian Sidewalks and Walkways	15-7.0103-T
	<i>n/a</i>	Development Staging/Phasing	15-7.0103-U
	<i>X</i>	Arch. Plans, Elevations, and Perspective Drawings and Sketches, Materials, Color Samples	15-7.0103-V
	<i>X</i>	Lighting Plan* with Photometrics	15-7.0103-W
	<i>X</i>	Easements (existing and proposed) with Dimensions	15-7.0103-X
	<i>X</i>	Highway Access	15-7.0103-Y
	<i>X</i>	Existing and Proposed Zoning Boundaries	15-7.0103-Z
	<i>n/a</i>	Market Analysis (required for commercial properties greater than 30,000 sq. ft. land area)	15-7.0103-AA
	<i>n/a</i>	Project Summary (Fiscal Impact, Operat. Info., Bldg-phasing Schedule, Est. Project Costs Value and Site Improvements Costs	15-7.0103-CC
	<i>n/a</i>	Additional Data as required by Planning, Engineering, or Plan Commission	15-7.0103-DD
	<i>n/a</i>	Vision Corner Easements	

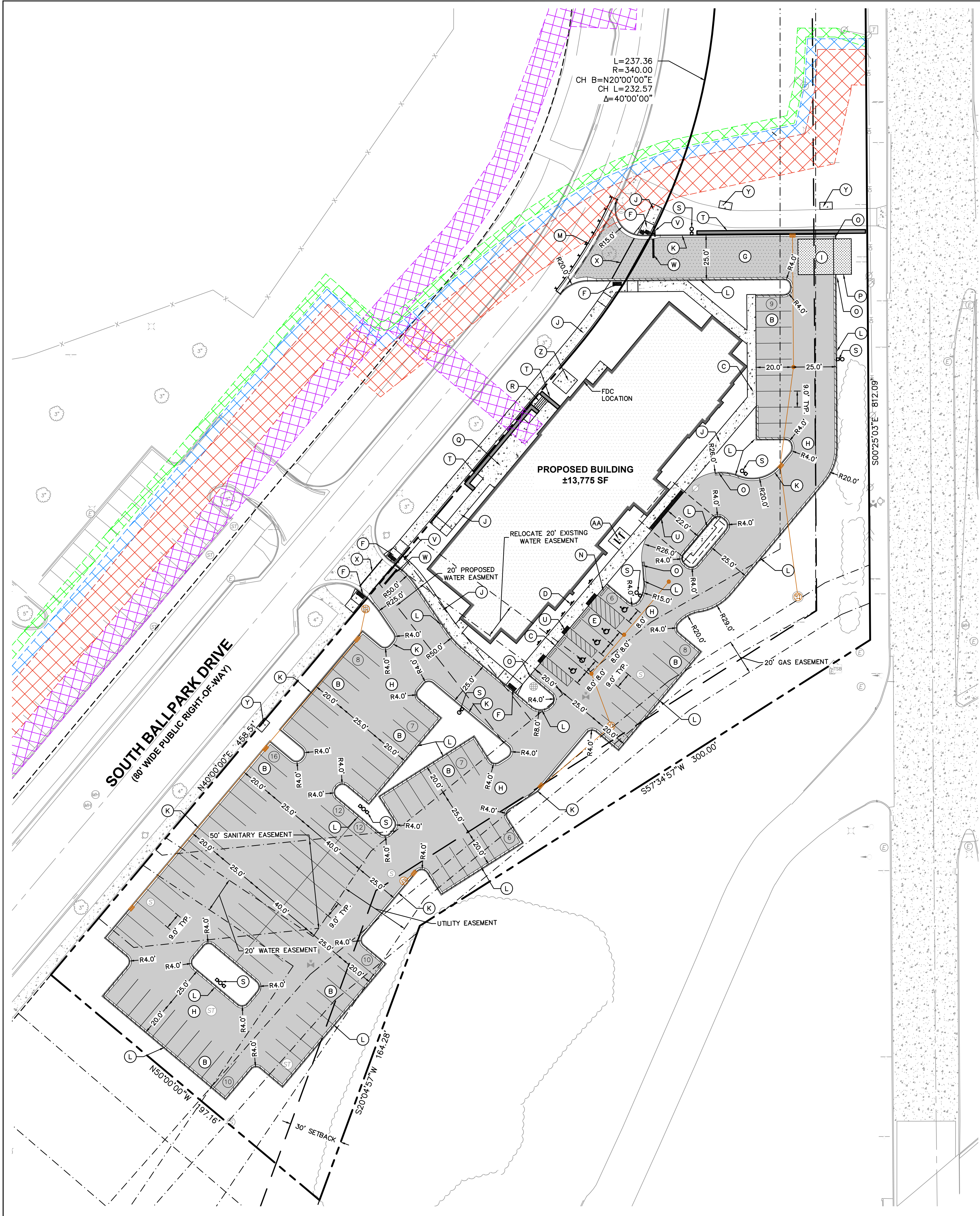
\* If required

\*\* If natural resources, as defined in the City of Franklin Unified Development Ordinance, are present

**Staff Notes:**



File: R:\201\11426268 Ballpark Commons\146848-01\DWG\Civil\Sheets\C1.0 - Site Plan.dwg Layout: C1.0 User: ammetz Plotted: Sep 14, 2021 - 9:19am Xrefs:



**SITE KEY**

- (A) DIAGONAL HATCH - SWSL/4" @ 45° @ 2'-0" O.C.
- (B) PARKING STALLS - 20'-0" SWSL/4" @ 9'-0" O.C.
- (C) FLUSH PAVEMENT WITH CONCRETE WALK
- (D) ADA PARKING SIGN
- (E) ADA ACCESSIBLE PARKING SPACE. SEE DETAILS FOR ACCESSIBLE PARKING SIGN AND SYMBOL
- (F) ADA ACCESSIBLE RAMP W/ DETECTABLE WARNING FIELD (SEE DETAIL)
- (G) HEAVY DUTY HMA PAVEMENT
- (H) STANDARD DUTY HMA PAVEMENT
- (I) HEAVY DUTY CONCRETE PAVEMENT
- (J) CONCRETE SIDEWALK
- (K) 18" STANDARD CURB AND GUTTER (SEE DETAIL)
- (L) 18" REJECT CURB AND GUTTER (SEE DETAIL)
- (M) CURB DRIVEWAY ENTRANCE (SEE DETAIL)
- (N) WHEEL STOP
- (O) 2" TAPER CURB HEAD
- (P) TRASH ENCLOSURE (REFER TO ARCHITECTURAL PLANS)
- (Q) CONCRETE PATIOS (REFER ARCHITECTURAL PLANS)
- (R) CONCRETE STAIRS (REFER TO ARCHITECTURAL PLAN)
- (S) LIGHT POLE (SEE PHOTOMETRIC PLANS)
- (T) RETAINING WALL WITH DECORATIVE HANDRAIL (SEE DETAIL)
- (U) DETECTABLE WARNING FIELD
- (V) STOP SIGN
- (W) STOP BAR - SWSL 12"
- (X) CROSS WALK - SWSL 6" @ 7'-0" O.C.
- (Y) BENCH W/ CONCRETE PAD (REFER TO LANDSCAPE PLAN)
- (Z) TRANSFORMER PAD (REFER TO ARCHITECTURAL PLAN)
- (AA) BIKE RACKS W/ PAD (REFER TO LANDSCAPE PLAN)

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- BUILDING SETBACK LINE
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- SAWCUT EXISTING PAVEMENT
- EXISTING METHANE EXTRACTION SYSTEM CORRIDOR
- EXISTING WE ENERGIES EASEMENT
- EXISTING ATT EASEMENT
- EXISTING SPECTRUM EASEMENT
- RETAINING WALL
- STORM STRUCTURES

**PAVING NOTES**

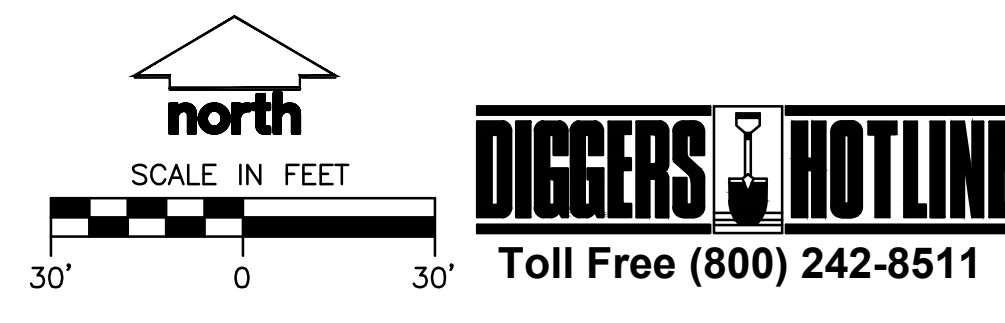
1. GENERAL
  - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF FRANKLIN ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY GZA DATED DECEMBER 17, 2020."
  - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
  - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
  - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
  - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
  - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
  - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMP.


**SITE INFORMATION BLOCK**

SITE ADDRESS	6868 S BALLPARK DRIVE
PROPERTY ACREAGE	2.66 ACRES
OWNER/DEVELOPER	BPC COUNTY LAND LLC 7044 S. BALLPARK DRIVE FRANKLIN, WI 53132
ARCHITECT	SIMONSON & ASSOCIATES ARCHITECTS LLC. 1717 INGERSOLL AVENUE, SUITE 117 DES MOINES, IA 50309
ENGINEER	JSD PROFESSIONAL SERVICES, INC W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WI 53188
ZONING	PDD NO. 37
NUMBER OF BUILDING STORIES	4
TOTAL BUILDING SQUARE FOOTAGE	55,100
GROSS BUILDING SQUARE FOOTAGE	13,775
BUILDING HEIGHT	SEE ARCHITECTURAL PLANS
NUMBER OF REQUIRED PARKING STALLS	98
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	106
ACCESSIBLE	5
TOTAL SURFACE	111
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	1,118 SF
EXISTING PERVIOUS SURFACE AREA	114,958 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.01
PROPOSED IMPERVIOUS SURFACE AREA	69,687 SF
PROPOSED PERVIOUS SURFACE AREA	46,389 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.60

**DRAWING INDEX**

- C1.0 SITE PLAN
- C2.0 GRADING AND EROSION CONTROL PLAN
- C3.0 UTILITY PLAN





**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners

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COEUR D'ALENE

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W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

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CLIENT:  
**ROC AND BRAVEHART DEVELOPMENT**

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CLIENT ADDRESS:  
**ROC VENTURES**  
7044 S. BALLPARK DRIVE, STE 300  
FRANKLIN, WI 53132

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PROJECT LOCATION:  
**BALLPARK COMMONS - HOTEL**

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PROJECT LOCATION:  
**FRANKLIN, WI**

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PLAN MODIFICATIONS:

#	Date:	Description:
1	08-06-2021	CITY PLAN SUBMITTAL
2	09-13-2021	PC PACKAGE
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Design/Drawn: IRN  
Approved: JLU

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SHEET TITLE:  
**SITE PLAN**

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SHEET NUMBER:  
**C1.0**

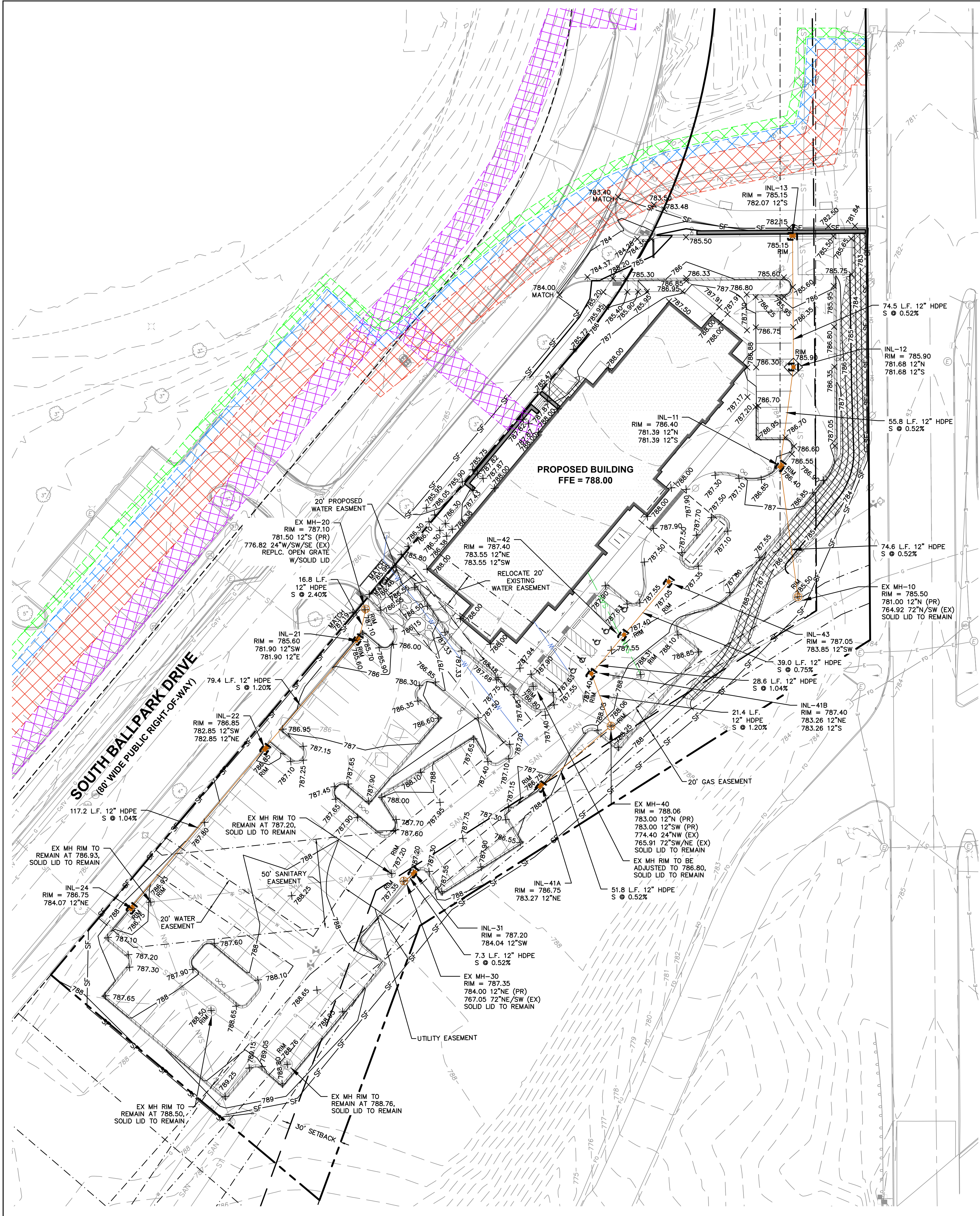
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JSD PROJECT NO: 14-6548-G

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### LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- 959 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- RETAINING WALL
- FENCE
- SILT FENCE
- CONSTRUCTION ENTRANCE

- EROSION MATTING
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- BOC - BACK OF CURB
- MATCH - MATCH EXISTING GRADE
- HP - HIGH POINT
- SW - SIDEWALK
- INLET PROTECTION

- EXISTING METHANE EXTRACTION SYSTEM CORRIDOR
- EXISTING WE ENERGIES EASEMENT
- EXISTING ATT EASEMENT
- EXISTING SPECTRUM EASEMENT

- ### CONSTRUCTION SEQUENCING
- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE
  - EXISTING STORMWATER BASIN TO BE USED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. TEMPORARY SWALES FROM SITE GRADING AREAS SHALL BE CREATED TO DIVERT RUNOFF WATERS, AS POSSIBLE, TO THE BASINS DURING EXCAVATION AND GRADING.
  - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
  - BEGIN BUILDING CONSTRUCTION.
  - CONDUCT ROUGH GRADING EFFORTS.
  - COMPLETE EXCAVATION AND ROUGH GRADING OF POND.
  - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  - PLACE TOPSOIL AND IMMEDIATELY STABILIZED DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
  - THE BASINS SHALL BE CLEANED, CUT TO FINAL GRADES AND THE SURFACE RESTORED WITH SUPPLEMENTAL STONE INCLUDING ALL OF THE FINAL SEEDING AND STABILIZATION.
  - EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 3 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND WDNR REQUIREMENTS. ANY CHANGES TO OR VARIANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS WILL NEED TO BE APPROVED BY THE ENGINEER AND CITY OF NEW BERLIN PRIOR TO IMPLEMENTATION.

- ### GRADING AND SEEDING NOTES
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
  - PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
  - ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
  - CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
  - ALL DISTURBED AREAS SHALL BE SODED AND/OR SEEDDED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
  - CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SODED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
  - ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THE WITHIN 2 WEEKS OF DISTURBANCE.
  - ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF FRANKLIN ORDINANCE.

- ### EROSION CONTROL NOTES
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF FRANKLIN OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
  - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF FRANKLIN ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
  - INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF FRANKLIN PRIOR TO DEVIATION OF THE APPROVED PLAN.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
  - CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE LONG AND NARROW (12" THICK) BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
  - PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF FRANKLIN.
  - INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
  - DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    - BACKFILL, COMPACT, AND STABILIZE PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WPDNR APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
  - EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
  - STABILIZATION PRACTICES:
    - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
      - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
      - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - HYDRO-MULCHING WITH A TACKIFIER
      - GEOTEXTILE EROSION MATTING
      - SODDING

### PLAN MODIFICATIONS:

#	Date:	Description:
1	08-06-2021	CITY PLAN SUBMITTAL
2	09-13-2021	PC PACKAGE
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Design/Drawn: JRL  
 Approved: JRL

SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN**

SHEET NUMBER:  
**C2.0**

JSD PROJECT NO: 14-6548-G

north

SCALE IN FEET

30' 0 30'

**DIGGERS HOTLINE**

Toll Free (800) 242-8511

**JSD**  
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Engineers • Surveyors • Planners

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**MILWAUKEE REGIONAL OFFICE**  
 W238 N1610 BUSSE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 P. 262.513.0666

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CLIENT:  
**ROC AND BRAVEHART DEVELOPMENT**

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CLIENT ADDRESS:  
**ROC VENTURES**  
 7044 S. BALLPARK DRIVE, STE 300  
 FRANKLIN, WI 53132

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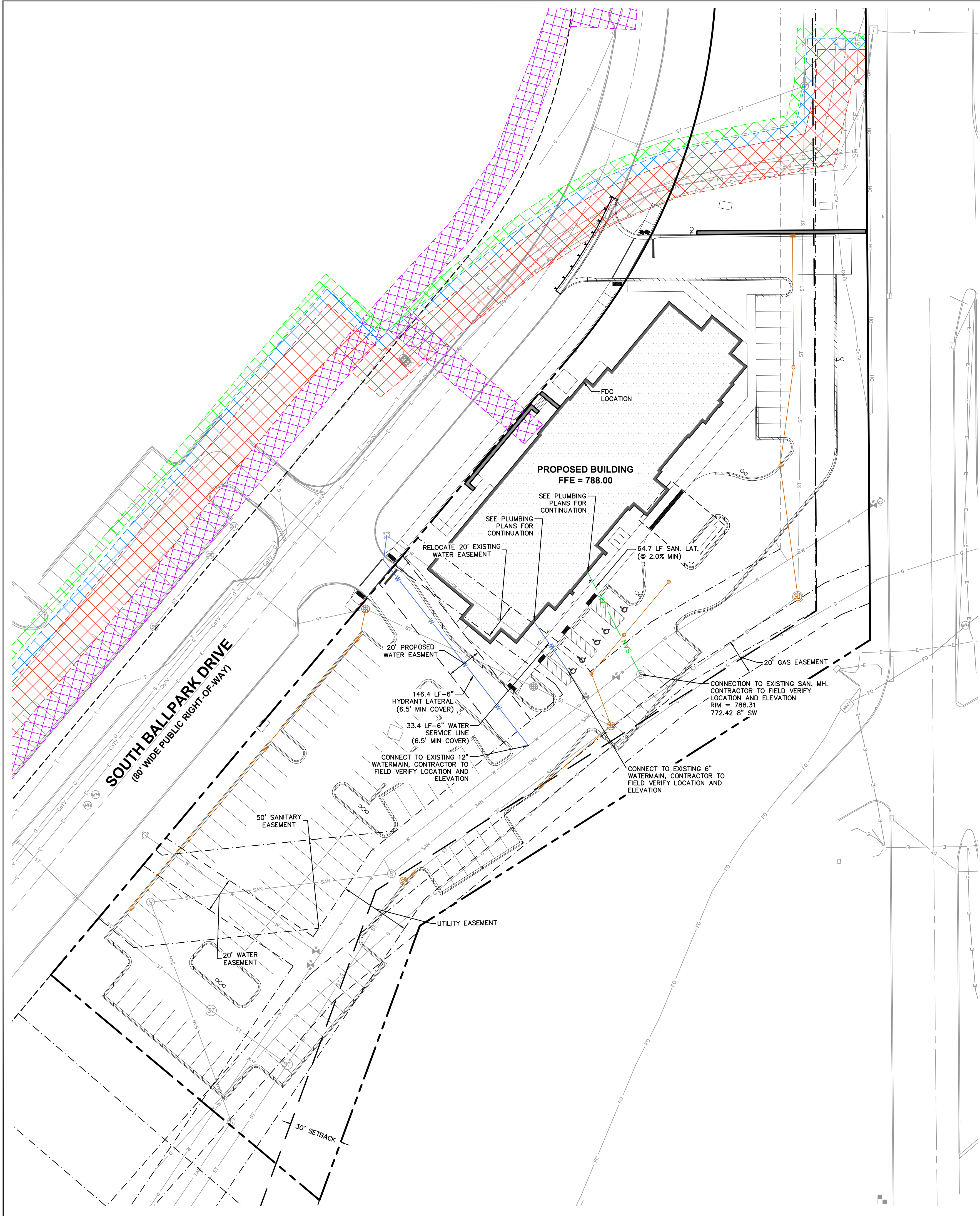
PROJECT LOCATION:  
**BALLPARK COMMONS - HOTEL**

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PROJECT NO: 14-6548-G



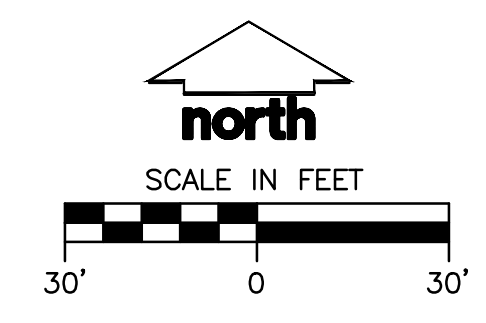
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**LEGEND**

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	BUILDING SETBACK LINE
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	SAN
---	W
---	ST
---	STORM STRUCTURES
---	FENCE
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING SIGN
---	SAWCUT EXISTING PAVEMENT
---	EXISTING METHANE EXTRACTION SYSTEM
---	EXISTING WE ENERGIES EASEMENT
---	EXISTING ATT EASEMENT
---	EXISTING SPECTRUM EASEMENT

- UTILITY NOTES**
- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
  - PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
    - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
    - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
  - SPECIFICATIONS SHALL COMPLY WITH THE CITY OF FRANKLIN SPECIAL PROVISIONS.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  - CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
  - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
  - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  - STORM SEWER SPECIFICATIONS -
    - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
    - INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.
    - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
    - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
    - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
  - WATER MAIN SPECIFICATIONS -
    - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-15, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
    - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
    - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF FRANKLIN. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
    - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
    - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - SANITARY SEWER SPECIFICATIONS -
    - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
    - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
    - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
    - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF FRANKLIN.
    - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
  - WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 8.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).



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**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

---

CLIENT:  
**ROC AND BRAVEHART DEVELOPMENT**

---

CLIENT ADDRESS:  
**ROC VENTURES**  
7044 S. BALLPARK DRIVE, STE 300  
FRANKLIN, WI 53132

---

PROJECT:  
**BALLPARK COMMONS - HOTEL**

---

PROJECT LOCATION:  
**FRANKLIN, WI**

---

PLAN MODIFICATIONS:

#	Date:	Description:
1	08-06-2021	CITY PLAN SUBMITTAL
2	09-13-2021	PC PACKAGE
3		
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14		
15		

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Design/Drawn: **JRN**  
Approved: **JRN**

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SHEET TITLE:  
**UTILITY PLAN**

---

SHEET NUMBER:  
**C3.0**

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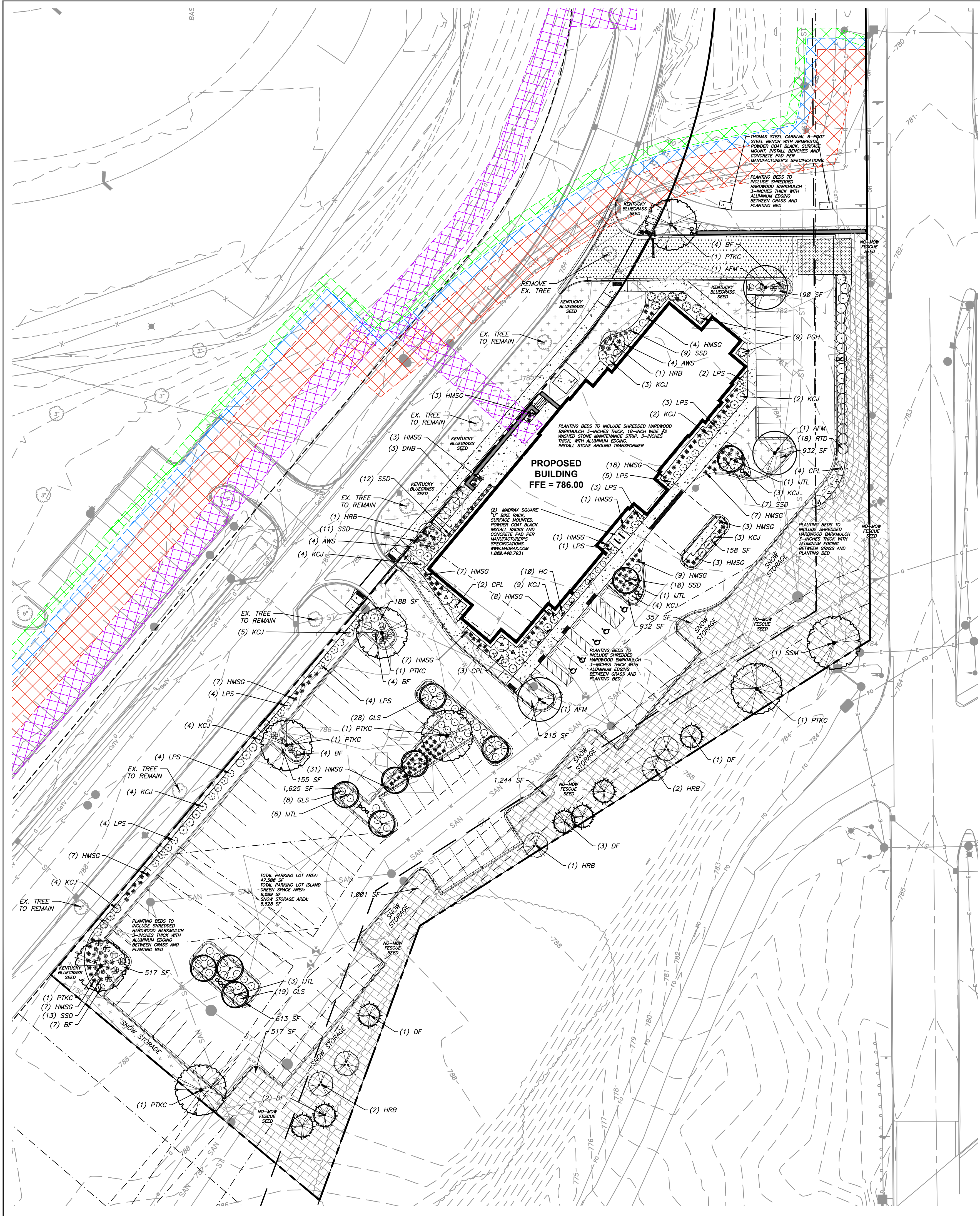
JSD PROJECT NO: 14-6548-G

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**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**PLANT SCHEDULE**

Deciduous Trees				
Code	Quantity	Botanical/Common	Root	Size
SSM	1	Acer miyabei 'Morton' TM / State Street Miyabei Maple	B & B	2.5" Cal
AFM	3	Acer x freemanii 'DTR 102' TM / Autumn Fantasy Freeman Maple	B & B	2.5" Cal
PTKC	7	Gymnocladus dioica 'J.C. McDaniel' TM / Prairie Titan Kentucky Coffeetree	B & B	2.5" Cal
Evergreen Trees				
Code	Quantity	Botanical/Common	Root	Size
DF	7	Pseudotsuga menziesii / Douglas Fir	B & B	8' Tall
Ornamental Trees				
Code	Quantity	Botanical/Common	Root	Size
HRB	7	Betula nigra 'Cully' TM / Heritage River Birch (Multi-Stem)	B & B	7' Tall
IJTL	11	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2" Cal
Deciduous Shrubs				
Code	Quantity	Botanical/Common	Root	Size
RTD	18	Cornus baileyi / Bailey's Red-twig Dogwood	B & B	36" Ht.
HC	10	Cotoneaster acutifolius lucidus / Hedge Cotoneaster	Cont.	#3
BF	19	Forsythia viridissima 'Bronxensis' / Bronx Forsythia	Cont.	#3
PGH	9	Hydrangea paniculata 'Grandiflora' / PeeGee Panicle Hydrangea	Cont.	#3
DNB	3	Physocarpus opulifolius 'Monlo' TM / Diabolo Purple Ninebark	B & B	36" Tall
GLS	56	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	Cont.	#3
LPS	28	Spiraea japonica 'Little Princess' / Little Princess Japanese Spirea	Cont.	#3
AWS	8	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Bumald Spiraea	Cont.	#3
CPL	9	Syringa vulgaris / Common Lilac	B & B	36" Tall
Evergreen Shrubs				
Code	Quantity	Botanical/Common	Root	Size
KCJ	47	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	Cont.	#5
Perennials & Grasses				
Code	Quantity	Botanical/Common	Root	Size
SSD	62	Hemerocallis x 'Stella D'Oro' / Stella D'Oro Daylily	Cont.	#1
HMSG	130	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	Cont.	#1

**OWNERS INFORMATION**

BPC COUNTY LAND LLC  
7044 S. BALLPARK DRIVE  
FRANKLIN, WI 53132

**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- - - RIGHT OF WAY LINE
- 847--- PROPOSED 1 FOOT CONTOUR
- 850--- PROPOSED 5 FOOT CONTOUR
- 847--- EXISTING 1 FOOT CONTOUR
- 850--- EXISTING 5 FOOT CONTOUR
- ⊕ STORM STRUCTURE
- SAN SANITARY SERVICE
- W WATER SERVICE
- ST STORM SEWER
- +++ KENTUCKY BLUEGRASS SEED
- NO-MOW FESCUE SEED

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SCALE IN FEET

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WAUKESHA, WISCONSIN 53188  
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CLIENT:  
**ROC AND BRAVEHART DEVELOPMENT**

CLIENT ADDRESS:  
**ROC VENTURES**  
7044 S. BALLPARK DRIVE, STE 300  
FRANKLIN, WI 53132

PROJECT:  
**BALLPARK COMMONS - HOTEL**

PROJECT LOCATION:  
**FRANKLIN, WI**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	09-13-2021	PC PACKAGE
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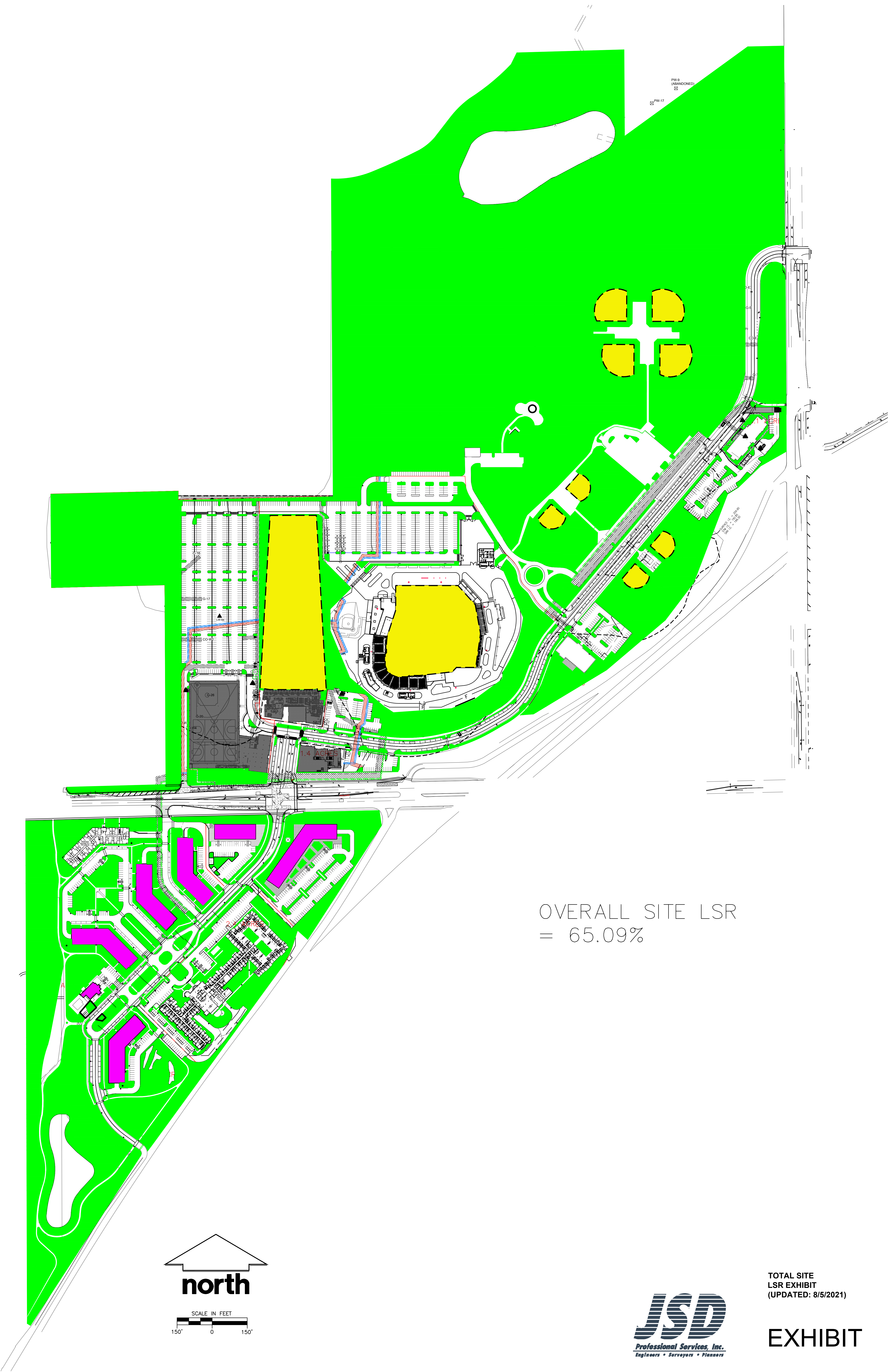
Design/Drawn: IRN  
Approved: JLL

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.0**

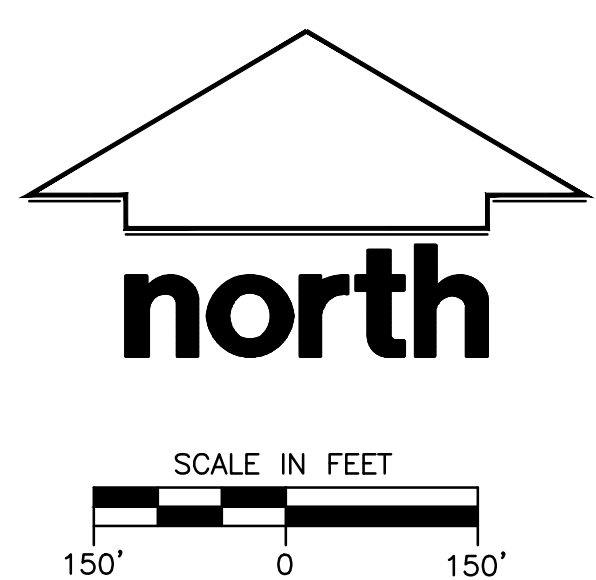
JSD PROJECT NO: 14-6548-G





PW-6  
(ABANDONED)  
PW-17

OVERALL SITE LSR  
= 65.09%



TOTAL SITE  
LSR EXHIBIT  
(UPDATED: 8/5/2021)

EXHIBIT



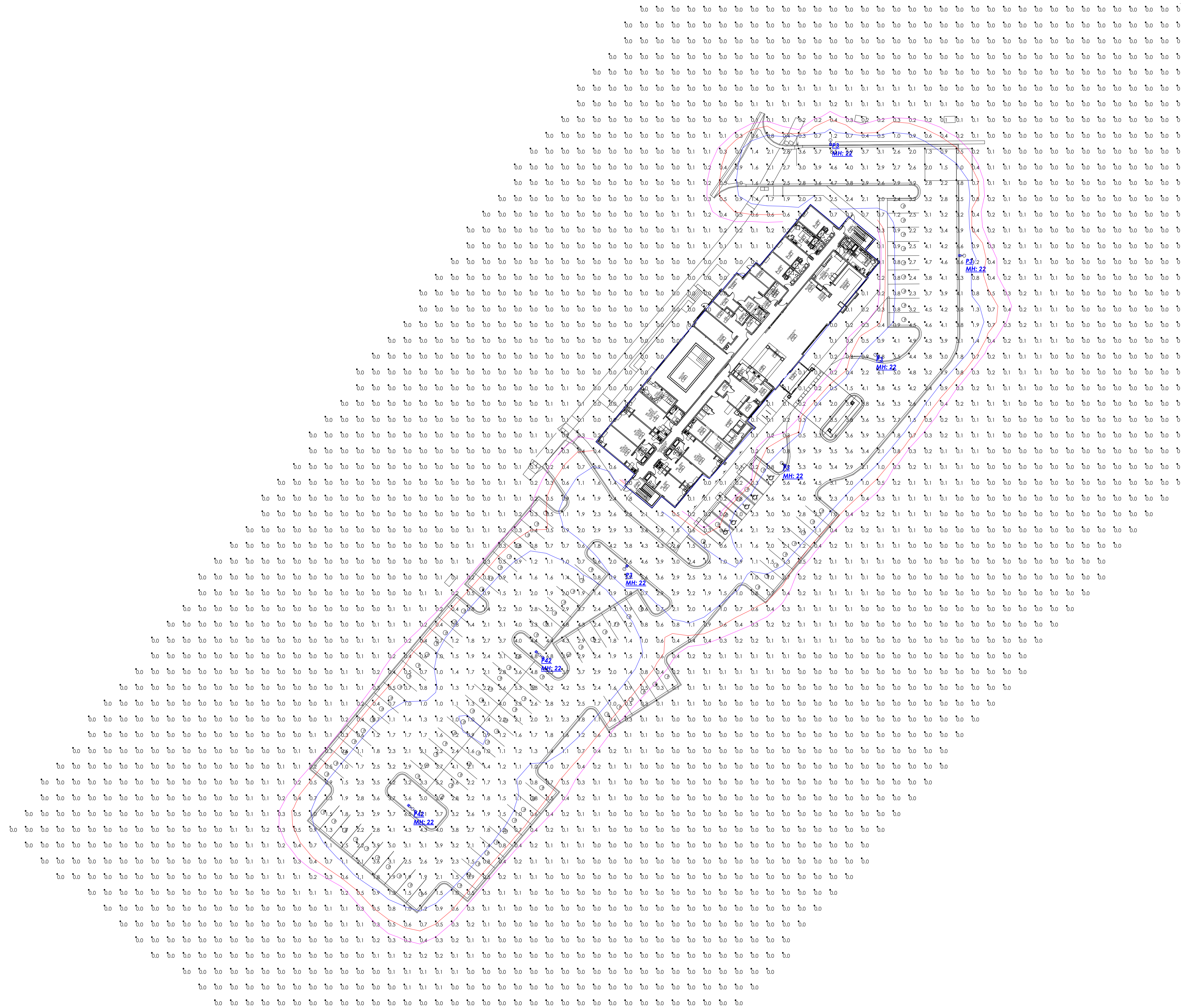
## LIGHTING PLAN CHECKLIST

<b>Date of Submittal</b>	September 13th, 2021		
<b>Taxkey ID #</b>	744 1010 000		
<b>Project Name</b>	Ballpark Commons Hotel		

<i>Staff Use</i>	<i>Complete or NA</i>	<b>Required Information</b>	<b>Ordinance #</b>
	<b>x</b>	Catalog page, cut sheet or photograph of the luminaire, including the mounting method	15-5.0402 (B)(1)
	<b>x</b>	Photometric data test report of the proposed luminaire graphically showing the lighting distribution at all angles vertically and horizontally around the luminaire.	15-5.0402 (B)(2)
	<b>x</b>	Plot plan indicating the location of the proposed luminaire(s), mounting and/or installation height(s) in feet, the overall illumination levels (in footcandles) & uniformities on the site and the illumination levels (in footcandles) at the property boundary lines.	15-5.0402 (B)(3)
	<b>x</b>	Graphic depiction of the luminaire lamp (or bulb) concealment and light cut-off angles.	15-5.0402 (B)(4)

*Staff Notes*  
 Reviewer's Initials: \_\_\_\_\_





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.39	8.6	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF		
□	5	P3	MCGRAW-EDISON	GLEON-AF-03-LED-E1-SL3	Single	18591	166	0.900		
○	2	P42	MCGRAW-EDISON	GLEON-AF-03-LED-E1-T4W	Back-Back	18459	166	0.900		

- Standard Reflectance of 80/50/20 unless noted otherwise
- Not a Construction Document, for Design purposes only
- Standard indoor calc points @ 30" A.F.F. unless noted otherwise
- Standard outdoor calc points @ Grade unless noted otherwise
- Egress calc points @ 0' A.F.F.
- Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

MLAZGAR ASSOCIATES  
 16350 W. GLENDALE DR.  
 NEW BERLIN, WI 53151  
 (P) 414-943-1915  
 (F) 952-943-8088  
 www.mlazgar.com



#	Date	Comments
Revisions		

RIMA Project #: 114702  
 Drawn By: EP  
 Date: 09/13/2021  
 Scale: 1" = 35' 0"

**PHOTOMETRIC SITE PLAN**  
**BALLPARK COMMONS HOTEL**  
**FRANKLIN, WI**

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm

may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

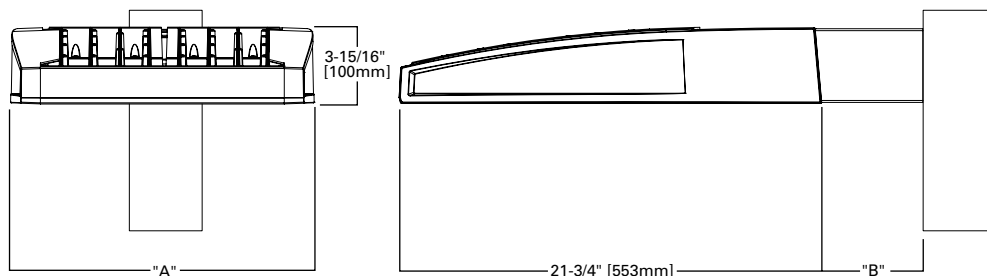


GLEON GALLEON LED

1-10 Light Squares Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

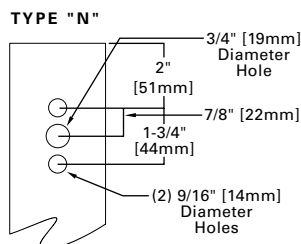


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length <sup>1</sup>	Weight with Arm (lbs.)	EPA with Arm <sup>2</sup> (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

3G Vibration Rated  
DesignLights Consortium® Qualified\*  
Dark Sky Approved (3000K CCT and warmer only)  
IP66 Rated  
ISO 9001  
LM79 / LM80 Compliant  
UL/cUL Wet Location Listed

ENERGY DATA

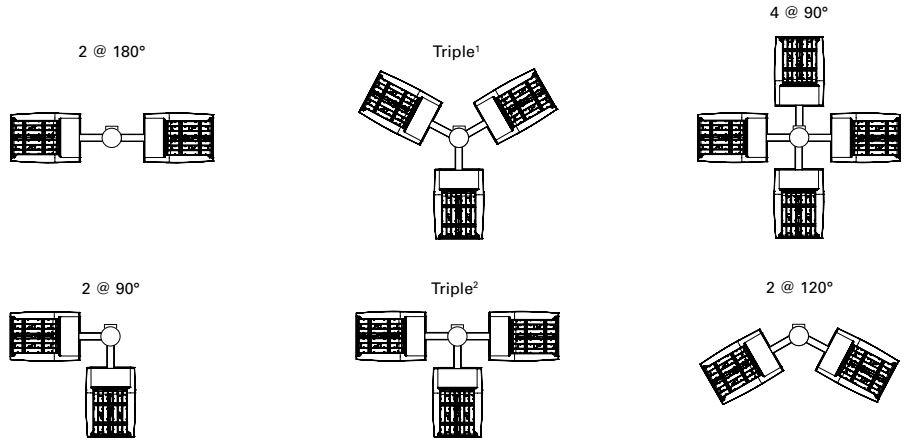
Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V, 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)





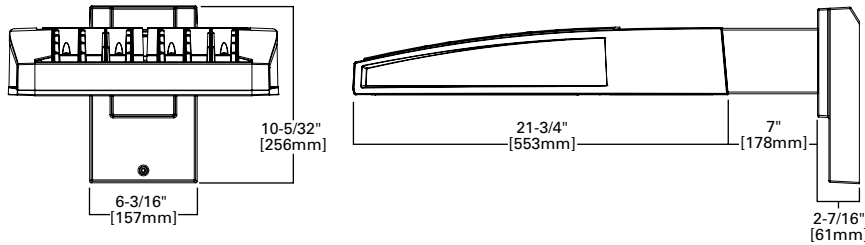
**ARM MOUNTING REQUIREMENTS**

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

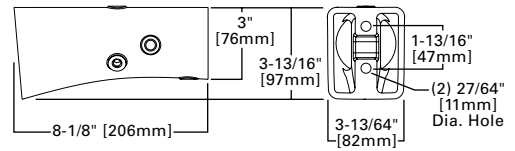


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

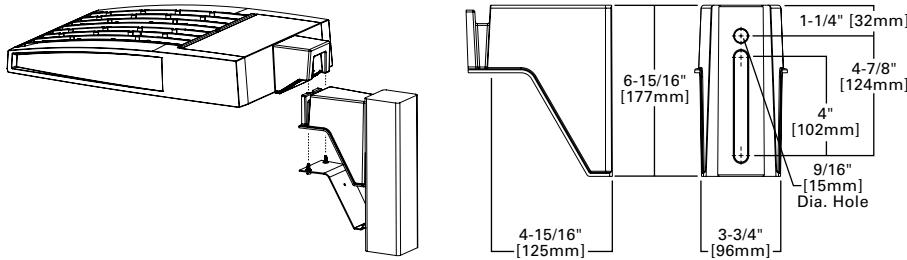
**STANDARD WALL MOUNT**



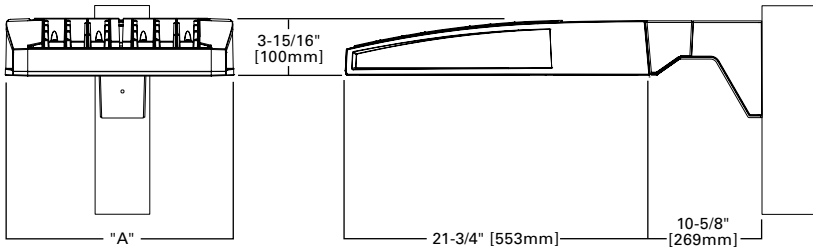
**MAST ARM MOUNT**



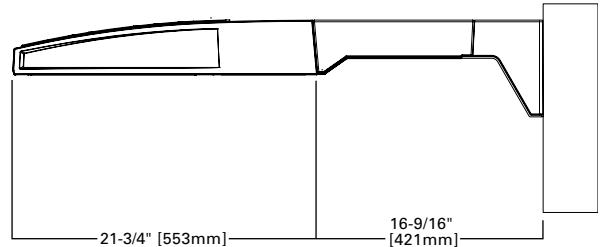
**QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)**



**QM Quick Mount Arm (Standard)**



**QMEA Quick Mount Arm (Extended)**

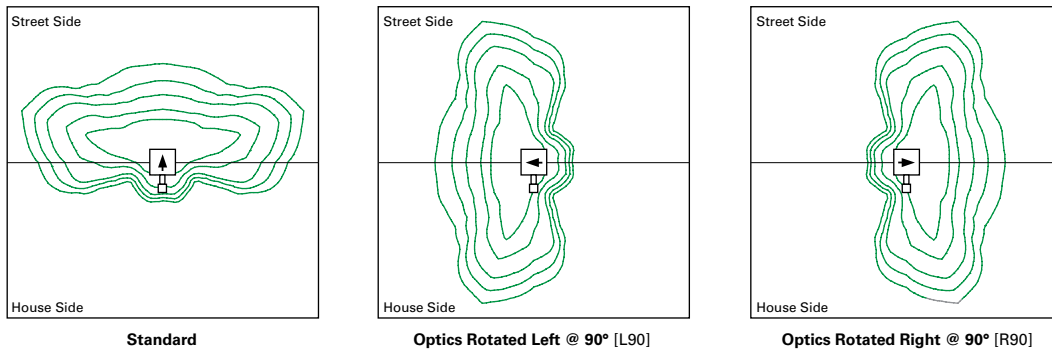


**QUICK MOUNT ARM DATA**

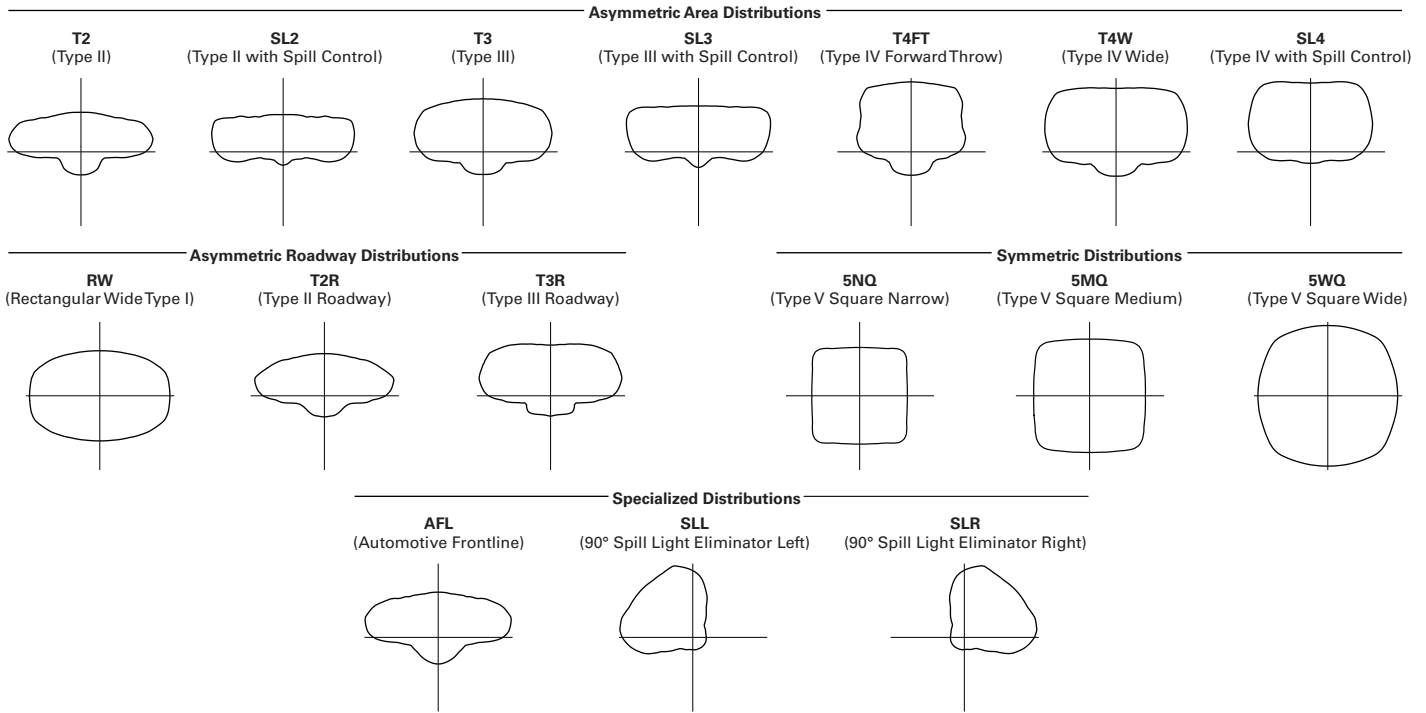
Number of Light Squares <sup>1,2</sup>	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 <sup>3</sup>	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	N/A	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

**OPTIC ORIENTATION**



**OPTICAL DISTRIBUTIONS**

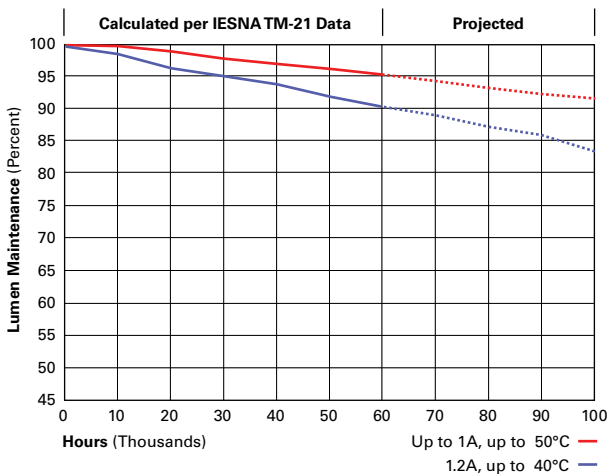


**LUMEN MAINTENANCE**

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97





**NOMINAL POWER LUMENS (1.2A)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	67	129	191	258	320	382	448	511	575	640	
<b>Input Current @ 120V (A)</b>	0.58	1.16	1.78	2.31	2.94	3.56	4.09	4.71	5.34	5.87	
<b>Input Current @ 208V (A)</b>	0.33	0.63	0.93	1.27	1.57	1.87	2.22	2.52	2.8	3.14	
<b>Input Current @ 240V (A)</b>	0.29	0.55	0.80	1.10	1.35	1.61	1.93	2.18	2.41	2.71	
<b>Input Current @ 277V (A)</b>	0.25	0.48	0.70	0.96	1.18	1.39	1.69	1.90	2.09	2.36	
<b>Input Current @ 347V (A)</b>	0.20	0.39	0.57	0.78	0.96	1.15	1.36	1.54	1.72	1.92	
<b>Input Current @ 480V (A)</b>	0.15	0.30	0.43	0.60	0.73	0.85	1.03	1.16	1.28	1.45	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	6,863	13,412	20,011	26,441	32,761	39,205	46,364	52,534	58,601	64,880
	3000K Lumens	6,489	12,681	18,919	25,000	30,974	37,066	43,836	49,668	55,405	61,341
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T2R</b>	4000K/5000K Lumens	7,285	14,238	21,246	28,072	34,780	41,621	49,221	55,770	62,212	68,878
	3000K Lumens	6,888	13,462	20,087	26,541	32,884	39,351	46,537	52,729	58,819	65,122
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3</b>	4000K/5000K Lumens	6,995	13,670	20,397	26,951	33,391	39,959	47,256	53,544	59,728	66,130
	3000K Lumens	6,613	12,924	19,284	25,480	31,570	37,780	44,679	50,624	56,471	62,524
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3R</b>	4000K/5000K Lumens	7,150	13,973	20,850	27,549	34,134	40,846	48,307	54,734	61,056	67,598
	3000K Lumens	6,761	13,212	19,713	26,046	32,272	38,619	45,673	51,750	57,726	63,911
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	7,036	13,748	20,515	27,107	33,586	40,191	47,530	53,854	60,074	66,512
	3000K Lumens	6,652	12,999	19,397	25,629	31,754	37,999	44,938	50,917	56,797	62,885
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4W</b>	4000K/5000K Lumens	6,945	13,571	20,249	26,756	33,152	39,671	46,917	53,160	59,298	65,653
	3000K Lumens	6,566	12,831	19,146	25,297	31,344	37,508	44,358	50,260	56,064	62,072
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL2</b>	4000K/5000K Lumens	6,851	13,388	19,977	26,396	32,704	39,137	46,283	52,444	58,498	64,768
	3000K Lumens	6,477	12,658	18,888	24,957	30,920	37,003	43,759	49,584	55,308	61,235
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL3</b>	4000K/5000K Lumens	6,994	13,668	20,394	26,947	33,388	39,953	47,249	53,537	59,720	66,119
	3000K Lumens	6,612	12,922	19,281	25,477	31,567	37,774	44,673	50,618	56,463	62,514
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL4</b>	4000K/5000K Lumens	6,645	12,986	19,378	25,603	31,723	37,962	44,893	50,868	56,743	62,824
	3000K Lumens	6,282	12,279	18,321	24,207	29,993	35,892	42,445	48,094	53,648	59,398
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	7,214	14,097	21,036	27,795	34,437	41,210	48,734	55,220	61,597	68,199
	3000K Lumens	6,820	13,329	19,888	26,279	32,558	38,962	46,077	52,208	58,237	64,479
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>5MQ</b>	4000K/5000K Lumens	7,347	14,356	21,423	28,306	35,071	41,969	49,632	56,237	62,730	69,454
	3000K Lumens	6,947	13,573	20,254	26,762	33,158	39,680	46,925	53,170	59,309	65,667
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>5WQ</b>	4000K/5000K Lumens	7,366	14,396	21,480	28,381	35,164	42,080	49,765	56,386	62,898	69,639
	3000K Lumens	6,964	13,610	20,308	26,833	33,247	39,786	47,050	53,311	59,468	65,842
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>SLL/SLR</b>	4000K/5000K Lumens	6,147	12,010	17,921	23,679	29,339	35,109	41,521	47,046	52,478	58,102
	3000K Lumens	5,811	11,355	16,944	22,388	27,739	33,194	39,256	44,479	49,617	54,933
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	7,149	13,970	20,846	27,543	34,126	40,837	48,295	54,722	61,042	67,582
	3000K Lumens	6,760	13,208	19,709	26,041	32,264	38,610	45,661	51,738	57,713	63,897
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>AFL</b>	4000K/5000K Lumens	7,175	14,021	20,921	27,643	34,249	40,986	48,470	54,920	61,262	67,828
	3000K Lumens	6,784	13,256	19,780	26,136	32,381	38,750	45,827	51,925	57,922	64,129
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

\* Nominal data for 70 CRI.

**NOMINAL POWER LUMENS (1A)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	59	113	166	225	279	333	391	445	501	558	
<b>Input Current @ 120V (A)</b>	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.60	5.07	
<b>Input Current @ 208V (A)</b>	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
<b>Input Current @ 240V (A)</b>	0.26	0.48	0.71	0.96	1.19	0.41	1.67	1.89	2.12	2.39	
<b>Input Current @ 277V (A)</b>	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
<b>Input Current @ 347V (A)</b>	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
<b>Input Current @ 480V (A)</b>	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	6,256	12,225	18,242	24,104	29,865	35,739	42,265	47,888	53,420	59,144
	3000K Lumens	5,915	11,559	17,248	22,789	28,236	33,790	39,960	45,277	50,506	55,919
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T2R</b>	4000K/5000K Lumens	6,642	12,979	19,366	25,589	31,705	37,941	44,870	50,840	56,711	62,789
	3000K Lumens	6,280	12,271	18,311	24,193	29,976	35,872	42,423	48,068	53,619	59,365
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3</b>	4000K/5000K Lumens	6,377	12,461	18,593	24,568	30,439	36,426	43,077	48,810	54,447	60,282
	3000K Lumens	6,029	11,781	17,580	23,229	28,781	34,441	40,731	46,150	51,480	56,997
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3R</b>	4000K/5000K Lumens	6,518	12,739	19,006	25,113	31,116	37,235	44,036	49,895	55,658	61,622
	3000K Lumens	6,029	11,781	17,579	23,229	28,779	34,440	40,729	46,148	51,478	56,995
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	6,414	12,533	18,702	24,710	30,616	36,637	43,328	49,093	54,763	60,631
	3000K Lumens	6,064	11,849	17,681	23,363	28,946	34,638	40,966	46,417	51,776	57,325
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T4W</b>	4000K/5000K Lumens	6,331	12,372	18,459	24,391	30,221	36,163	42,769	48,459	54,056	59,849
	3000K Lumens	5,986	11,697	17,452	23,061	28,572	34,192	40,436	45,817	51,108	56,585
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL2</b>	4000K/5000K Lumens	6,245	12,205	18,212	24,062	29,813	35,677	42,192	47,807	53,326	59,042
	3000K Lumens	5,904	11,539	17,218	22,750	28,187	33,732	39,891	45,199	50,418	55,822
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL3</b>	4000K/5000K Lumens	6,376	12,460	18,591	24,564	30,436	36,421	43,072	48,803	54,439	60,273
	3000K Lumens	6,028	11,780	17,578	23,224	28,776	34,435	40,723	46,141	51,471	56,986
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL4</b>	4000K/5000K Lumens	6,058	11,838	17,664	23,340	28,918	34,605	40,924	46,370	51,727	57,269
	3000K Lumens	5,727	11,193	16,701	22,067	27,341	32,718	38,692	43,841	48,906	54,146
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	6,577	12,851	19,176	25,336	31,392	37,566	44,426	50,337	56,151	62,170
	3000K Lumens	6,218	12,151	18,131	23,955	29,680	35,517	42,003	47,592	53,089	58,779
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
<b>5MQ</b>	4000K/5000K Lumens	6,697	13,088	19,528	25,803	31,970	38,258	45,243	51,264	57,185	63,313
	3000K Lumens	6,332	12,374	18,463	24,395	30,227	36,171	42,776	48,468	54,066	59,861
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>5WQ</b>	4000K/5000K Lumens	6,715	13,122	19,580	25,871	32,055	38,360	45,365	51,401	57,337	63,482
	3000K Lumens	6,348	12,406	18,513	24,461	30,307	36,268	42,891	48,599	54,210	60,021
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
<b>SLL/SLR</b>	4000K/5000K Lumens	5,604	10,949	16,337	21,586	26,745	32,004	37,850	42,886	47,838	52,965
	3000K Lumens	5,298	10,351	15,446	20,409	25,287	30,258	35,786	40,547	45,229	50,077
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	6,517	12,735	19,002	25,107	31,109	37,227	44,025	49,883	55,644	61,607
	3000K Lumens	6,162	12,040	17,965	23,738	29,413	35,197	41,623	47,163	52,609	58,247
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>AFL</b>	4000K/5000K Lumens	6,541	12,781	19,072	25,199	31,221	37,362	44,185	50,065	55,846	61,831
	3000K Lumens	6,184	12,084	18,032	23,825	29,519	35,325	41,775	47,334	52,801	58,459
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

\* Nominal data for 70 CRI.



**NOMINAL POWER LUMENS (800MA)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	44	85	124	171	210	249	295	334	374	419	
<b>Input Current @ 120V (A)</b>	0.39	0.77	1.13	1.54	1.90	2.26	2.67	3.03	3.39	3.80	
<b>Input Current @ 208V (A)</b>	0.22	0.44	0.62	0.88	1.06	1.24	1.50	1.68	1.87	2.12	
<b>Input Current @ 240V (A)</b>	0.19	0.38	0.54	0.76	0.92	1.08	1.30	1.46	1.62	1.84	
<b>Input Current @ 277V (A)</b>	0.17	0.36	0.47	0.72	0.83	0.95	1.19	1.31	1.42	1.67	
<b>Input Current @ 347V (A)</b>	0.15	0.24	0.38	0.49	0.63	0.77	0.87	1.01	1.15	1.52	
<b>Input Current @ 480V (A)</b>	0.11	0.18	0.29	0.37	0.48	0.59	0.66	0.77	0.88	0.96	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	5,054	9,878	14,739	19,475	24,129	28,875	34,148	38,691	43,159	47,785
	3000K Lumens	4,779	9,338	13,935	18,412	22,813	27,301	32,286	36,581	40,805	45,179
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5
<b>T2R</b>	4000K/5000K Lumens	5,366	10,486	15,647	20,675	25,616	30,654	36,252	41,076	45,819	50,730
	3000K Lumens	5,074	9,914	14,794	19,548	24,218	28,982	34,276	38,835	43,320	47,964
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
<b>T3</b>	4000K/5000K Lumens	5,153	10,068	15,022	19,849	24,593	29,430	34,805	39,436	43,990	48,705
	3000K Lumens	4,872	9,519	14,203	18,766	23,251	27,825	32,907	37,285	41,591	46,048
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>T3R</b>	4000K/5000K Lumens	5,266	10,292	15,356	20,290	25,140	30,084	35,578	40,312	44,968	49,786
	3000K Lumens	4,979	9,731	14,518	19,184	23,769	28,443	33,638	38,114	42,516	47,071
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	5,182	10,126	15,109	19,964	24,736	29,600	35,006	39,664	44,245	48,987
	3000K Lumens	4,899	9,574	14,285	18,876	23,387	27,986	33,097	37,501	41,832	46,315
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>T4W</b>	4000K/5000K Lumens	5,115	9,995	14,914	19,706	24,417	29,218	34,554	39,152	43,674	48,354
	3000K Lumens	4,836	9,450	14,100	18,631	23,085	27,624	32,670	37,017	41,292	45,717
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
<b>SL2</b>	4000K/5000K Lumens	5,046	9,860	14,713	19,441	24,087	28,825	34,089	38,625	43,085	47,702
	3000K Lumens	4,771	9,322	13,911	18,381	22,774	27,253	32,229	36,518	40,735	45,101
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
<b>SL3</b>	4000K/5000K Lumens	5,152	10,067	15,020	19,846	24,591	29,426	34,800	39,431	43,984	48,698
	3000K Lumens	4,871	9,518	14,200	18,764	23,249	27,822	32,902	37,280	41,585	46,042
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>SL4</b>	4000K/5000K Lumens	4,894	9,565	14,271	18,857	23,364	27,959	33,065	37,465	41,792	46,270
	3000K Lumens	4,627	9,043	13,492	17,829	22,090	26,434	31,261	35,422	39,513	43,746
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	5,313	10,383	15,493	20,470	25,363	30,351	35,893	40,669	45,367	50,229
	3000K Lumens	5,024	9,817	14,647	19,354	23,980	28,696	33,936	38,452	42,893	47,490
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
<b>5MQ</b>	4000K/5000K Lumens	5,411	10,574	15,778	20,848	25,830	30,911	36,554	41,418	46,202	51,154
	3000K Lumens	5,117	9,997	14,917	19,710	24,421	29,225	34,561	39,160	43,682	48,364
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>5WQ</b>	4000K/5000K Lumens	5,426	10,603	15,820	20,903	25,899	30,992	36,652	41,529	46,325	51,290
	3000K Lumens	5,130	10,025	14,958	19,763	24,486	29,302	34,654	39,263	43,799	48,493
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
<b>SLL/SLR</b>	4000K/5000K Lumens	4,528	8,846	13,199	17,440	21,609	25,858	30,580	34,649	38,651	42,792
	3000K Lumens	4,281	8,364	12,480	16,489	20,430	24,448	28,912	32,759	36,543	40,459
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	5,265	10,289	15,353	20,285	25,134	30,077	35,569	40,303	44,958	49,775
	3000K Lumens	4,978	9,727	14,516	19,179	23,763	28,437	33,629	38,105	42,506	47,060
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
<b>AFL</b>	4000K/5000K Lumens	5,285	10,327	15,409	20,360	25,225	30,186	35,699	40,450	45,120	49,956
	3000K Lumens	4,996	9,763	14,569	19,249	23,849	28,540	33,752	38,244	42,659	47,232
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 70 CRI.

**NOMINAL POWER LUMENS (600MA)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
<b>Nominal Power (Watts)</b>	34	66	96	129	162	193	226	257	290	323	
<b>Input Current @ 120V (A)</b>	0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89	
<b>Input Current @ 208V (A)</b>	0.17	0.34	0.49	0.65	0.84	0.99	1.14	1.30	1.48	1.63	
<b>Input Current @ 240V (A)</b>	0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43	
<b>Input Current @ 277V (A)</b>	0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33	
<b>Input Current @ 347V (A)</b>	0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99	
<b>Input Current @ 480V (A)</b>	0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77	
<b>Optics</b>											
<b>T2</b>	4000K/5000K Lumens	4,121	8,055	12,019	15,881	19,676	23,547	27,847	31,552	35,196	38,967
	3000K Lumens	3,896	7,615	11,363	15,015	18,604	22,263	26,328	29,831	33,276	36,842
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
<b>T2R</b>	4000K/5000K Lumens	4,376	8,552	12,760	16,860	20,890	24,998	29,563	33,497	37,365	41,369
	3000K Lumens	4,138	8,085	12,064	15,941	19,751	23,635	27,951	31,670	35,328	39,113
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
<b>T3</b>	4000K/5000K Lumens	4,201	8,210	12,251	16,187	20,055	23,999	28,383	32,159	35,873	39,718
	3000K Lumens	3,973	7,763	11,583	15,304	18,961	22,691	26,835	30,406	33,916	37,552
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
<b>T3R</b>	4000K/5000K Lumens	4,294	8,393	12,523	16,546	20,501	24,532	29,014	32,875	36,671	40,600
	3000K Lumens	4,060	7,936	11,840	15,644	19,383	23,195	27,432	31,082	34,671	38,386
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>T4FT</b>	4000K/5000K Lumens	4,226	8,257	12,321	16,280	20,172	24,139	28,547	32,346	36,082	39,948
	3000K Lumens	3,996	7,807	11,649	15,392	19,071	22,822	26,990	30,582	34,114	37,770
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>T4W</b>	4000K/5000K Lumens	4,171	8,151	12,162	16,071	19,912	23,827	28,178	31,928	35,615	39,432
	3000K Lumens	3,943	7,706	11,498	15,194	18,825	22,527	26,642	30,187	33,673	37,281
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
<b>SL2</b>	4000K/5000K Lumens	4,114	8,041	11,998	15,854	19,643	23,506	27,799	31,498	35,135	38,901
	3000K Lumens	3,890	7,603	11,344	14,989	18,572	22,224	26,282	29,780	33,219	36,779
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
<b>SL3</b>	4000K/5000K Lumens	4,200	8,209	12,249	16,184	20,053	23,996	28,379	32,154	35,869	39,712
	3000K Lumens	3,972	7,762	11,580	15,302	18,960	22,688	26,831	30,400	33,913	37,546
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>SL4</b>	4000K/5000K Lumens	3,992	7,799	11,638	15,378	19,053	22,801	26,964	30,552	34,081	37,733
	3000K Lumens	3,774	7,374	11,003	14,539	18,015	21,557	25,493	28,886	32,222	35,674
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5
<b>5NQ</b>	4000K/5000K Lumens	4,333	8,467	12,634	16,694	20,683	24,751	29,271	33,166	36,996	40,961
	3000K Lumens	4,097	8,005	11,945	15,784	19,555	23,401	27,674	31,357	34,978	38,727
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
<b>5MQ</b>	4000K/5000K Lumens	4,413	8,622	12,867	17,000	21,064	25,207	29,810	33,777	37,677	41,715
	3000K Lumens	4,173	8,152	12,165	16,073	19,915	23,832	28,185	31,934	35,623	39,440
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>5WQ</b>	4000K/5000K Lumens	4,424	8,646	12,900	17,046	21,120	25,274	29,890	33,866	37,778	41,826
	3000K Lumens	4,182	8,175	12,197	16,117	19,968	23,896	28,260	32,018	35,717	39,545
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
<b>SLL/SLR</b>	4000K/5000K Lumens	3,692	7,214	10,763	14,222	17,621	21,086	24,937	28,256	31,519	34,897
	3000K Lumens	3,491	6,820	10,176	13,447	16,660	19,937	23,577	26,715	29,800	32,994
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
<b>RW</b>	4000K/5000K Lumens	4,293	8,390	12,520	16,542	20,496	24,527	29,007	32,866	36,662	40,591
	3000K Lumens	4,059	7,932	11,837	15,640	19,378	23,189	27,425	31,074	34,662	38,377
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
<b>AFL</b>	4000K/5000K Lumens	4,310	8,421	12,566	16,602	20,571	24,616	29,112	32,986	36,795	40,738
	3000K Lumens	4,074	7,962	11,881	15,697	19,448	23,273	27,525	31,187	34,788	38,516
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 70 CRI.



**CONTROL OPTIONS**

**0-10V (DIM)**

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol (P, R and PER7)**

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

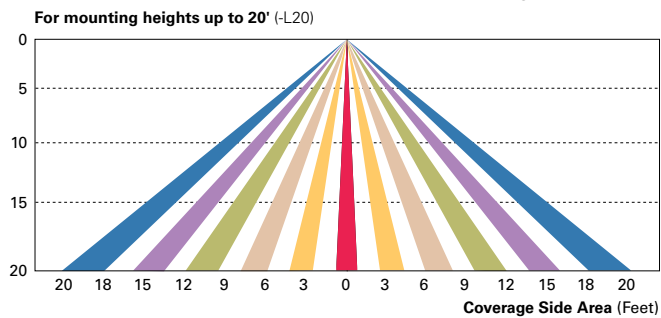
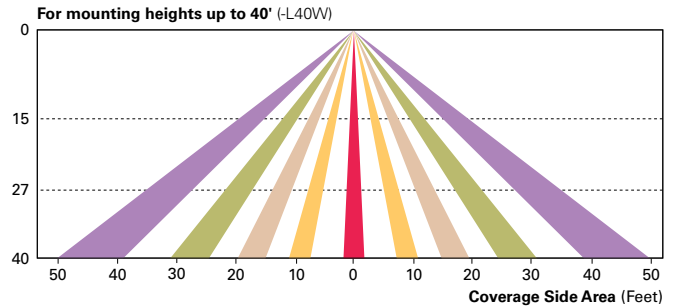
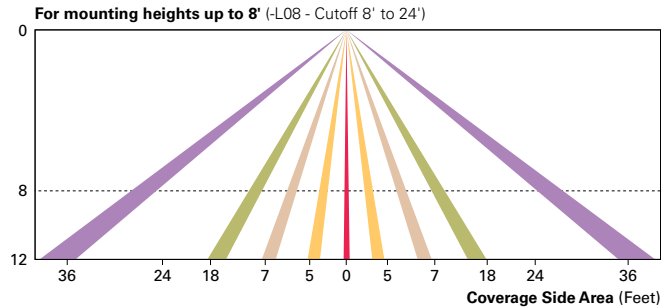
**After Hours Dim (AHD)**

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

**Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)**

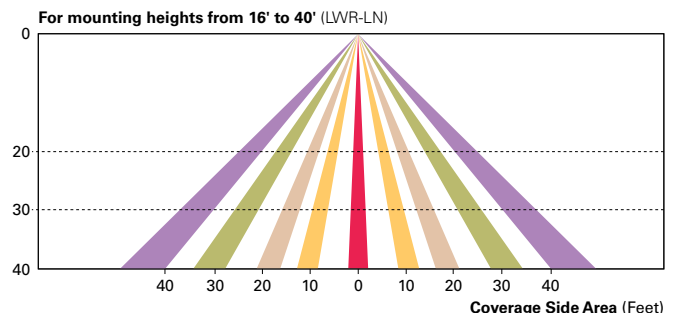
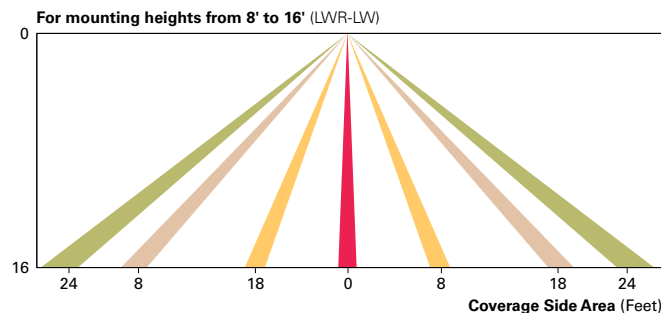
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage. pattern for mounting heights from 8'-40'.



**Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN)**

Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



**WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)**

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

**LumenSafe Integrated Network Security Camera (LD)**

Cooper Lighting Solutions brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution for active surveillance. As the ideal solution to meet the needs for active surveillance, the LumenSafe integrated network camera is a streamlined, outdoor-ready fixed dome that provides HDTV 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

**Synapse (DIM10)**


SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 Synapse control module and MS/DC motion sensor; requires additional Synapse system components for operation. Contact Synapse at [www.synapsewireless.com](http://www.synapsewireless.com) for product support, warranty and terms and conditions.

ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family <sup>1,2</sup>	Light Engine	Number of Light Squares <sup>3</sup>	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AF=1A Drive Current	01=1 02=2 03=3 04=4 05=5 <sup>4</sup> 06=6 07=7 <sup>5</sup> 08=8 <sup>5</sup> 09=9 <sup>6</sup> 10=10 <sup>6</sup>	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V <sup>7</sup> 480=480V <sup>2,8</sup>	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5N0=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm <sup>9</sup> MA=Mast Arm Adapter <sup>10</sup> WM=Wall Mount QM=Quick Mount Arm (Standard Length) <sup>11</sup> QMEA=Quick Mount Arm (Extended Length) <sup>12</sup>
<b>Options (Add as Suffix)</b>						<b>Accessories (Order Separately)</b>	
<p>7027=70 CRI 2700K <sup>13</sup> 7030=70 CRI 3000K <sup>13</sup> 8030=80 CRI 3000K <sup>13</sup> 7050=70 CRI 5000K <sup>13</sup> 7060=70 CRI 6000K <sup>13</sup> AMB=Amber, 590nm <sup>16,35</sup> 600=Drive Current Set to Nominal 600mA <sup>15</sup> 800=Drive Current Set to Nominal 800mA <sup>15</sup> 1200=Drive Current Set to Nominal 1200mA <sup>15,16</sup> F=Single Fuse (120, 207 or 347V. Specify Voltage) FF=Double Fuse (208, 240 or 480V. Specify Voltage) 2L=Two Circuits <sup>17,18</sup> DIM=External 0-10V Dimming Leads <sup>19,20</sup> DIM10=Synapse Integrated Control Module <sup>14,19</sup> AHD145=After Hours Dim, 5 Hours <sup>22</sup> AHD245=After Hours Dim, 6 Hours <sup>22</sup> AHD255=After Hours Dim, 7 Hours <sup>22</sup> AHD355=After Hours Dim, 8 Hours <sup>22</sup> HA=50°C High Ambient <sup>23</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Installed Mesh Top TH=Tool-less Door Hardware HSS=Installed House Side Shield <sup>28</sup> CE=CE Marking <sup>29</sup> LCF=Light Square Trim Painted to Match Housing <sup>27</sup> P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) <sup>21</sup> PER7=NEMA 7-PIN Photocontrol Receptacle <sup>21</sup> R=NEMA Photocontrol Receptacle <sup>21</sup></p>						<p>MS/L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height <sup>24</sup> MS/L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>24</sup> MS/L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height <sup>24</sup> MS/DIM/L08= Motion Sensor for Dimming Operation, Maximum 8' Mounting Height <sup>24</sup> MS/DIM/L20= Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>24</sup> MS/DIM/L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>24</sup> MS/X/L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height <sup>24,25</sup> MS/X/L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height <sup>24,25</sup> MS/X/L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height <sup>24,25</sup> LWR/LW=Enlightened Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>26</sup> LWR/LN=Enlightened Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>26</sup> ZW=WaveLinx-enabled Module and 4-PIN Receptacle <sup>19,33</sup> ZD=WaveLinx-enabled Module with DALI driver and 4-PIN Receptacle <sup>19,33</sup> SWPD4XX=WaveLinx Sensor Only, 7'-15' <sup>32,34</sup> SWPD5XX=WaveLinx Sensor Only, 15'-40' <sup>32,34</sup> WOBXX=WaveLinx Sensor with Bluetooth, 7'-15' <sup>32,34</sup> WOFXX=WaveLinx Sensor with Bluetooth, 15'-40' <sup>32,34</sup> GRSBK=Glare Reducing Shield, Black <sup>36</sup> GRSWH=Glare Reducing Shield, White <sup>36</sup></p>	
<p>NOTES: 1 Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information. 2 DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 3 Standard 4000K CCT and minimum 70 CRI. 4 Not compatible with MS/4-LXX or MS/1-LXX sensors. 5 Not compatible with extended quick mount arm (QMEA). 6 Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA). 7 Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A. 8 Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). 9 May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table. 10 Factory installed. 11 Maximum 8 light squares. 12 Maximum 6 light squares. 13 Extended lead times apply. Use dedicated IES files for 2700K, 3000K, 5000K and 6000K when performing layouts. 14 Available in 800mA only. 15 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. 16 Not available with HA option. 17 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 18 Not available with Enlightened wireless sensors. 19 Cannot be used with other control options. 20 Low voltage control lead brought out 18" outside fixture. 21 Not available if any "MS" sensor is selected. Motion sensor has an integral photocell. 22 Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information. 23 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents. 24 The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information. 25 Replace X with number of Light Squares operating in low output mode. 26 Enlightened wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1 and LWP-PoE8 in appropriate quantities. See www.cooperlighting.com/lighting for Enlightened application information. 27 Not available with house side shield (HSS). 28 Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected. 29 CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only. 30 One required for each Light Square. 31 Requires PER7. 32 Requires ZW or ZD receptacle. 33 WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. 34 Replace XX with sensor color (WH, BZ or BK.) 35 Narrow-band 590nm +/-5nm for wildlife and observatory use. Supplied at 500mA drive current only. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option. 36 Not for use with T4FT, T4W or SL4 optics. See IES files for details.</p>						<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>24</sup> GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit <sup>11</sup> GLEON-QMEA=Quick Mount Extended Arm Kit <sup>12</sup> LS/HSS=Field Installed House Side Shield <sup>28,30</sup> WOLC-7P-10A=WaveLinx Outdoor Control Module <sup>19,31</sup> SWPD4-XX=WaveLinx Wireless Sensor, 7' - 15' Mounting Height <sup>19,32,33,34</sup> SWPD5-XX=WaveLinx Wireless Sensor, 15' - 40' Mounting Height <sup>19,32,33,34</sup></p>	

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul	
L=LumenSafe Technology* 	D=Dome Camera, Standard H=Dome Camera, Hi-Res Z=Dome Camera, Remote PTZ	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card	W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking

\*Consult LumenSafe system pages for additional details and compatibility.



# Steel Poles



## SSS SQUARE STRAIGHT STEEL

Catalog #		Type
Project		
Comments		Date
Prepared by		

### FEATURES

- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole
- 10'-39' mounting heights
- Drilled or tenon (specify)

### DESIGN CONSIDERATIONS

Wind induced vibrations resulting from steady, unidirectional winds and other aerodynamic forces, as well as vibration and coefficient of height factors for non-grounded mounted installations (e.g., installations on bridges or buildings) are not included in this document. The information contained herein is for general guidance only and is not a replacement for professional judgement. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Also, please review Cooper Lighting Solutions' Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit [www.eaton.com/lighting](http://www.eaton.com/lighting) for available options, accessories and ordering information.

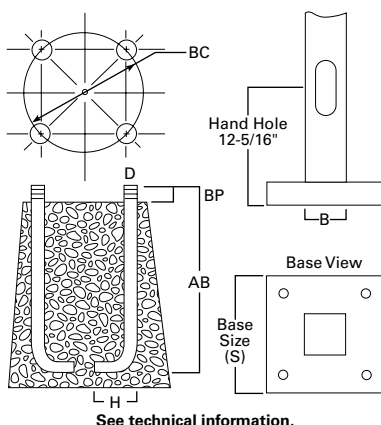
### ORDERING INFORMATION

SAMPLE NUMBER: SSA5A20SFM1XG

Product Family	Shaft Size (Inches) <sup>1</sup>	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Arm Lengths (Feet)	Options (Add as Suffix)
SSS=Square Straight Steel	4=4" 5=5" 6=6"	A=0.120" M=0.188" X=0.250"	10=10' 15=15' 20=20' 25=25' 30=30' 35=35' 39=39'	S=Square Steel Base	F=Dark Bronze G=Galvanized Steel J=Summit White K=Carbon Bronze L=Dark Platinum R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 9=3" O.D. Tenon (4" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling M=Type M Drilling N=Type N Drilling R=Type R Drilling S=Standard Upsweep Arm <sup>6</sup> Z=Type Z Drilling	1=Single 2=2 at 180° 3=Triple <sup>2</sup> 4=4 at 90° 5=2 at 90° X=None	X=None 2=2' 3=2.5' 4=4' 6=6' 8=8'	A=1/2" Tapped Hub <sup>3</sup> B=3/4" Tapped Hub <sup>3</sup> C=Convenience Outlet <sup>4</sup> E=GFCI Convenience Outlet <sup>4</sup> G=Ground Lug H=Additional Hand Hole <sup>5</sup> V=Vibration Dampener

**NOTES:** 1. All shaft sizes nominal. 2. Square poles are 3 at 90°, round poles are 3 at 120°. 3. Tapped Hub is located 5' below the pole top and on the same side of pole as hand hole, unless specified otherwise. 4. Outlet is located 4' above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. 5. Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified. 6. Arm must be ordered separately.

### ANCHORAGE DATA



Pole	Template Number	Bolt Number	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)
SSS4	TMP1	AB1	8.5 - 11.0	4	3/4 x 25 x 3
SSS5	TMP1	AB1	11.0	4	3/4 x 25 x 3
SSS6	TMP2	AB3	12.5	4	1 x 36 x 4

**Effective Projected Area (At Pole Top)**

Mounting Height (Feet)	Catalog Number <sup>1,2</sup>	Wall Thickness (Inches)	Base Square <sup>3</sup> (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection <sup>3</sup> (Inches)	Shaft Size <sup>3</sup> (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) <sup>4</sup>				Max. Fixture Load - Includes Bracket (Pounds)
									80 mph	90 mph	100 mph	110 mph	
<b>MH</b>			<b>S</b>	<b>BC</b>	<b>BP</b>	<b>B</b>	<b>D x AB x H</b>						
10	SSS4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	30.0	22.0	17.0	13.0	100
15	SSS4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	15.0	11.5	8.7	6.5	100
20	SSS4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	8.7	5.9	3.9	2.5	150
20	SSS5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	15.4	11.1	7.9	5.5	150
25	SSS4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.7	1.7	0.3	--	200
25	SSS5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	9.3	6.0	3.5	1.6	200
25	SSS6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.9	6.1	3.5	1.2	200
30	SSS5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	4.7	2.1	--	--	200
30	SSS5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	10.4	6.4	3.5	1.5	200
30	SSS6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.3	1.4	--	--	200
30	SSS6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	19.0	13.0	8.7	5.6	200
35	SSS5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.8	2.8	--	--	200
35	SSS6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	12.8	7.2	3.7	1.0	200
35	SSS6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.5	11.0	6.8	3.5	200
39	SSS6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.3	3.0	--	--	300
39	SSS6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	13.0	7.0	3.7	0.8	300

**Effective Projected Area (Two Feet Above Pole Top)**

Mounting Height (Feet)	Catalog Number <sup>1,2</sup>	Wall Thickness (Inches)	Base Square <sup>3</sup> (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection <sup>3</sup> (Inches)	Shaft Size <sup>3</sup> (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) <sup>4</sup>				Max. Fixture Load - Includes Bracket (Pounds)
									80 mph	90 mph	100 mph	110 mph	
<b>MH</b>			<b>S</b>	<b>BC</b>	<b>BP</b>	<b>B</b>	<b>D x AB x H</b>						
10	SSS4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	23.0	17.5	14.0	11.0	100
15	SSS4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	13.4	10.0	7.5	5.7	100
20	SSS4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	7.6	5.2	3.4	2.1	150
20	SSS5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	13.8	9.9	7.1	4.9	150
25	SSS4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.4	1.6	0.3	--	200
25	SSS5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	8.5	5.5	3.2	1.5	200
25	SSS6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.1	5.6	3.0	1.2	200
30	SSS5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	1.8	--	--	--	200
30	SSS5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	9.6	5.9	1.9	0.2	200
30	SSS6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.1	1.3	--	--	200
30	SSS6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	18.5	12.5	8.4	5.3	200
35	SSS5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.5	2.4	--	--	200
35	SSS6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	11.8	7.0	3.5	1.0	200
35	SSS6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.0	10.5	6.4	3.4	200
39	SSS6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.0	2.4	--	--	300
39	SSS6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	12.0	6.7	3.0	0.5	300

NOTES:

1. Catalog number includes pole with hardware kit. Anchor bolts not included. Before installing, make sure proper anchor bolts and templates are obtained.
2. Tenon size or machining for rectangular arms must be specified. Hand hole position relative to drill location.
3. Shaft size, base square, anchor bolts and projections may vary slightly. All dimensions nominal.
4. EPAs based on shaft properties with wind normal to flat. EPAs calculated using base wind velocity as indicated plus 30% gust factor.



## Chapter UDO. Unified Development Ordinance

### Part 3. Zoning Districts: District Establishment, Dimensional, and Use Regulations

#### Division 15-3.0500. Site Intensity and Capacity Calculations

#### § 15-3.0502. Calculation of Base Site Area.

The base site area shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in § 15-3.0501 of this Ordinance.

Table 15-3.0502			
Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development			
<b>STEP 1:</b>	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.		3.5612 acres
<b>STEP 2:</b>	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	-	0 acres
<b>STEP 3:</b>	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	-	0 acres
<b>STEP 4:</b>	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	-	0 acres
<b>STEP 5:</b>	Equals "Base Site Area"	=	3.5612 acres

#### § 15-3.0503. Calculation of the Area of Natural Resources to Be Protected.

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the base site area (as defined in § 15-3.0502), shall

be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective natural resource protection standard (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the total resource protection land. The total resource protection land shall be calculated as indicated in Table 15-3.0503.

Table 15-3.0503						
Worksheet for the Calculation of Resource Protection Land						
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature		
	Agricultural District	Residential District	Non-Residential District			
Steep Slopes:						
10-19%	0.00	0.60	0.40	X	<u>0</u>	<u>0</u>
				=		
20-30%	0.65	0.75	0.70	X	<u>0</u>	<u>0</u>
				=		
+ 30%	0.90	0.85	0.80	X	<u>0</u>	<u>0</u>
				=		
Woodlands & Forests:						
Mature	0.70	0.70	0.70	X	<u>0</u>	<u>0</u>
				=		
Young	0.50	0.50	0.50	X	<u>0</u>	<u>0</u>
				=		
Lakes & Ponds	1	1	1	X	<u>0</u>	<u>0</u>
				=		
Streams	1	1	1	X	<u>0</u>	<u>0</u>
				=		
Shore Buffer	1	1	1	X	<u>0</u>	<u>0</u>
				=		
Floodplains	1	1	1	X	<u>0</u>	<u>0</u>
				=		
Wetland Buffers	1	1	1	X	<u>0</u>	<u>0</u>
				=		
Wetlands & Shoreland Wetlands	1	1	1	X	<u>0</u>	<u>0</u>
				=	<u>0</u>	<u>0</u>



Table 15-3.0503				
Worksheet for the Calculation of Resource Protection Land				
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature
	Agricultural District	Residential District	Non-Residential District	
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)				0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

## § 15-3.0505. Calculation of Site Intensity and Capacity for Nonresidential Uses.

In order to determine the maximum floor area which may be permitted on a parcel of land zoned in a nonresidential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0505 shall be performed.

### A. Maximum Permitted Floor Area for a Retail Building:

1. Notwithstanding the provisions of Table 15-3.0505, no individual retail building in any of the following districts shall exceed a total of 125,000 gross square feet of floor area, including all roofed area.
  - a. B-1 Neighborhood Business District.
  - b. B-2 General Business District.
  - c. B-3 Community Business District.
  - d. B-5 Highway Business District.
2. Notwithstanding, any other provision of this Ordinance, no special use permit, special exception or variance may be approved or granted that would allow a retail building to exceed the size limits of this subparagraph (1) and no nonconforming use or structure may be expanded in any manner that would increase its nonconformance with the limits of subparagraph (1).

Table 15-3.0505
Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development

**Table 15-3.0505**

**Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development**

<p><b>STEP 1:</b></p>	<p><b>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</b>                  Take Base Site Area (from Step 5 in Table 15-3.0502): <u>3.5612</u> Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X <u>0.45</u>                  Equals <b>MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</b></p>	<p align="right"><i>1.60</i> acres</p>
<p><b>STEP 2:</b></p>	<p><b>CALCULATE NET BUILDABLE SITE AREA:</b>                  Take Base Site Area (from Step 5 in Table 15-3.0502): <u>3.5612</u>                  Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: - <u>1.60</u>                  Equals <b>NET BUILDABLE SITE AREA =</b></p>	<p align="right"><i>1.9612</i> acres</p>
<p><b>STEP 3:</b></p>	<p><b>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</b>                  Take Net Buildable Site Area (from Step 2 above): <u>3.5612</u>                  Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X <u>0.57</u>                  Equals <b>MAXIMUM NET FLOOR AREA YIELD OF SITE =</b></p>	<p align="right"><i>2.030</i> acres</p>
<p><b>STEP 4:</b></p>	<p><b>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</b>                  Take Base Site Area (from Step 5 of Table 15-3.0502): <u>3.5612</u>                  Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X <u>0.31</u>                  Equals <b>MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</b></p>	<p align="right"><i>1.104</i> acres</p>
<p><b>STEP 5:</b></p>	<p><b>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</b>                  Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):                   (Multiple results by 43,560 for maximum floor area in square feet):</p>	<p align="right"><i>1.104</i> acres  (<u>48,090</u> square feet)</p>



SERVICES PROVIDED TO:

PROJECT:  
**BALLPARK COMMONS**

PROJECT LOCATION:  
 CITY OF FRANKLIN  
 MILWAUKEE COUNTY, WI

JSD PROJECT NO.: 14-6548

SEAL/SIGNATURE:

**ATTACHMENT 10**

APPROVED BY COMMON COUNCIL ON 1/9/2018

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN BY: KSC/JU 01-29-2018  
 DRAWN BY: KSC/JU 01-29-2018  
 CHECKED BY: LJJ 01-29-2018

PLAN MODIFICATIONS:

1. ADDED IMPACTED AREAS	03-07-2018
2. REVISED SITE PLAN	03-14-2018
3. CITY PLAN SUBMITTAL	09-20-2017

**DIGGERS HOTLINE**

Call 811 or (800) 242-8511

Milwaukee Area (262) 432-7910  
 Hearing Impaired TDD (800) 542-2289

www.DiggersHotline.com

SHEET TITLE:  
**NATURAL RESOURCE PROTECTION PLAN PROPOSED CONDITIONS NORTH**

SHEET NUMBER:  
**EXHIBIT**

**LEGEND**

	WETLAND		WETLAND DISTURBANCE
	WETLAND BUFFER		WETLAND BUFFER DISTURBANCE
	WETLAND SETBACK		WETLAND SETBACK DISTURBANCE
	EXEMPT WETLAND PER 2/27/2017 AND 5/19/2017 WDNR ARTIFICIAL EXEMPTION DETERMINATION LETTER		WOODLAND DISTURBANCE (MATURE)
	WOODLAND (MATURE)		FLOODPLAIN DISTURBANCE

NOTE: CALCULATIONS DO NOT INCLUDE OVERLAPPING NATURAL RESOURCES

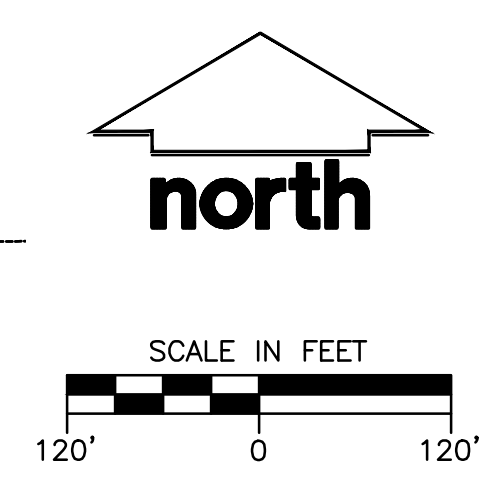
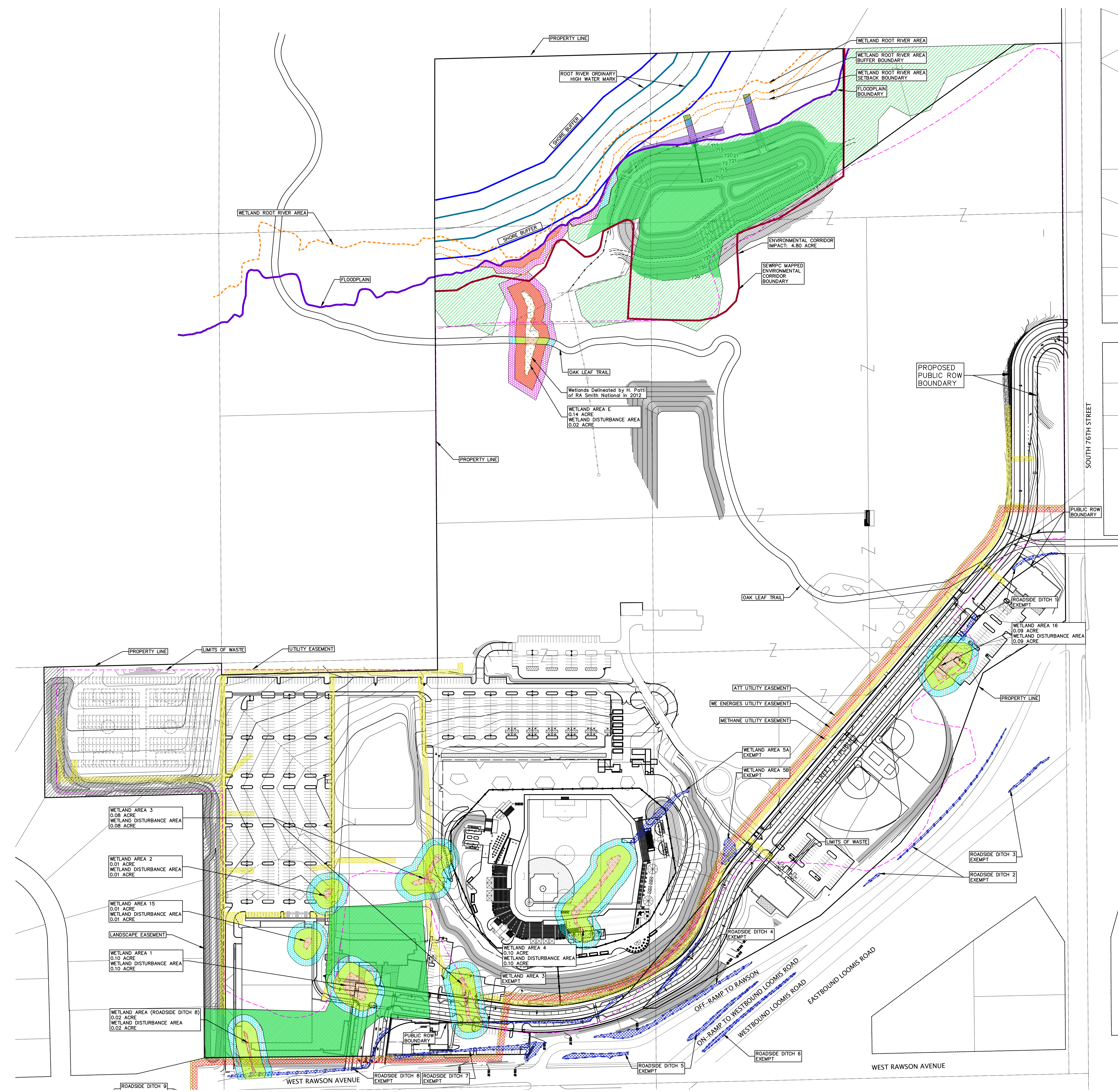
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	Acres of Land Required to be Preserved	Acres of Land to be Impacted	Acres of Land to be Mitigated	Acres of Land to be Mitigated*
	Agricultural District	Residential District	Non-Residential District					
Slope Slopes								
10-19%	0	0.6	0.4	X	0.00	0.00	0.00	N/A
20-30%	0.65	0.75	0.7	X	0.00	0.00	0.00	N/A
30% +	0.9	0.85	0.8	X	0.00	0.00	0.00	N/A
Woodlands & Forests								
Mature	0.7	0.7	0.7	X	12.05	8.44	9.27	0.00
Young	0.5	0.5	0.5	X	0.00	0.00	0.00	N/A
Lakes & Ponds	1	1	1	X	0.00	0.00	0.00	N/A
Streams	1	1	1	X	0.00	0.00	0.00	N/A
Shore Buffer	1	1	1	X	0.00	0.00	0.00	N/A
Floodplains/Floodlands	1	1	1	X	11.18	11.18	0.18	0.00
Wetland Buffers	1	1	1	X	5.52	5.52	4.27	0.00
Wetland Setbacks	1	1	1	X	4.54	4.54	3.98	0.00
Wetlands & Shoreland Wetlands	1	1	1	X	2.00	2.00	1.32	0.00
Exempt Wetlands	0	0	0	X	2.00	0.00	0.00	N/A
<b>TOTAL RESOURCE PROTECTION LAND</b>					<b>31.68</b>	<b>19.02</b>		
				*Total of Acres of Land in Resource Required to be Protected				

- 4.2 ACRE OF SHORE BUFFER IS LOCATED ON THE SITE, BUT OVERLAPS WITH THE FLOODPLAIN.
- STEEP SLOPES ARE PRIMARILY MANMADE AND ARE THEREFORE EXCLUDED FROM THE CALCULATIONS
- TABLE REFLECTS NATURAL RESOURCE FEATURES DEPICTED ON NRPP SHEETS 1 AND 2.

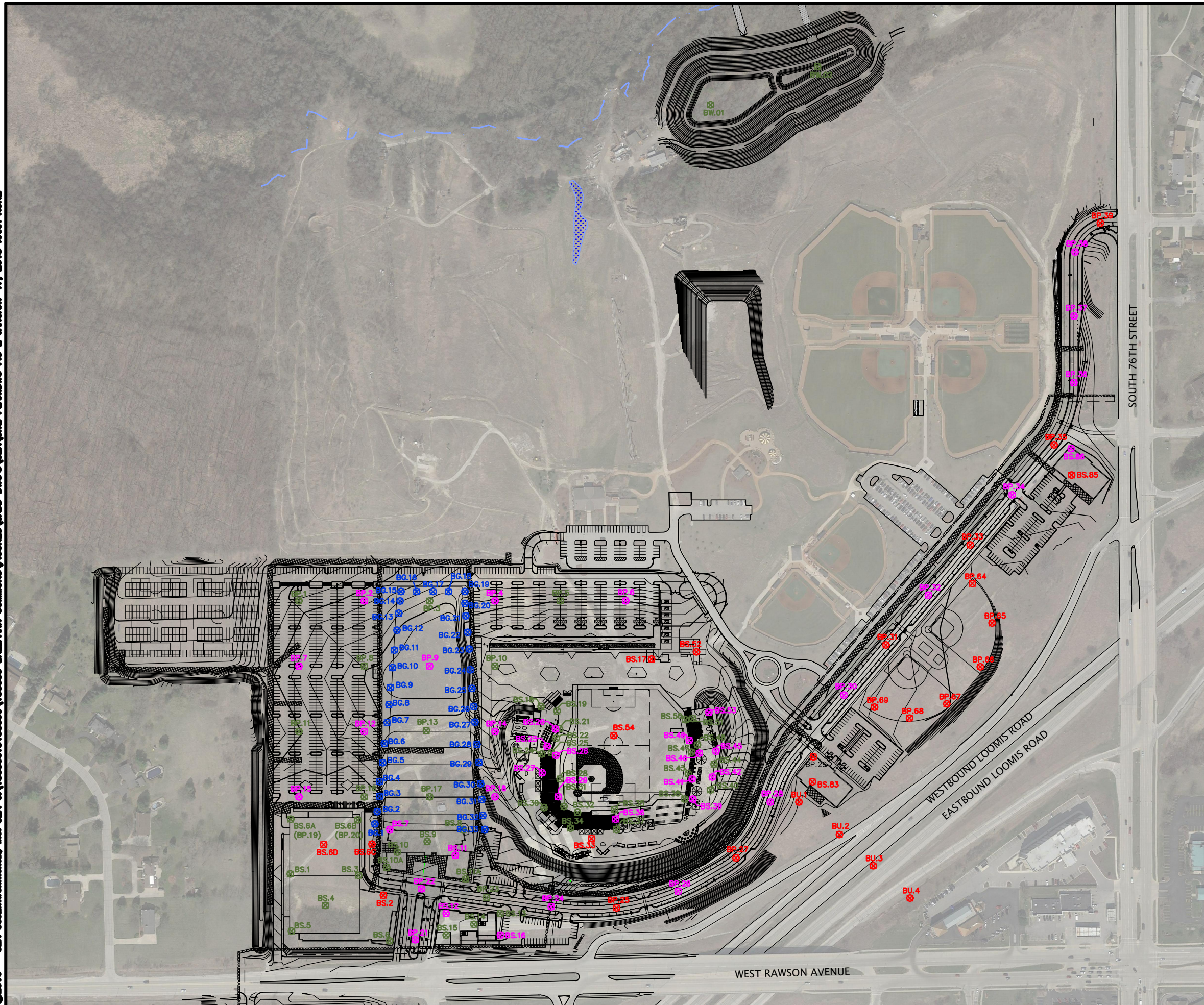
NOTE: CALCULATIONS INCLUDE OVERLAPPING NATURAL RESOURCES

Wetland ID/Natural Resource ID	Resource	Proposed Area to be Impacted (ac)	Remaining Area (ac)	Total Area (ac)
1	Wetland	0.10	0	0.10
	Buffer	0.24	0	0.24
	Setback	0.23	0	0.23
2	Wetland	0.01	0	0.01
	Buffer	0.13	0	0.13
	Setback	0.16	0	0.16
3	Wetland	0.08	0	0.08
	Buffer	0.56	0	0.56
	Setback	0.52	0	0.52
4	Wetland	0.10	0	0.10
	Buffer	0.49	0	0.49
	Setback	0.39	0	0.39
6	Wetland	0.07	0	0.07
	Buffer	0.21	0	0.21
	Setback	0.22	0	0.22
7	Wetland	0.03	0	0.03
	Buffer	0.19	0	0.19
	Setback	0.20	0	0.20
8	Wetland	0.33	0	0.33
	Buffer	0.52	0	0.52
	Setback	0.42	0	0.42
9	Wetland	0	0.03	0.03
	Buffer*	0.02	0.09	0.11
	Setback*	0.02	0.04	0.06
10	Wetland	0	0.04	0.04
	Buffer*	0.09	0.11	0.20
	Setback*	0.13	0.03	0.16
11	Wetland	0.27	0.04	0.31
	Buffer*	0.41	0.08	0.49
	Setback*	0.32	0	0.32
12	Wetland	0	0.02	0.02
	Buffer*	0.05	0.02	0.07
	Setback*	0.06	0.02	0.08
13	Wetland	0.14	0.42	0.56
	Buffer*	0.52	0.43	0.95
	Setback*	0.42	0.07	0.49
14	Wetland	0.02	0	0.02
	Buffer	0.12	0	0.12
	Setback*	0.15	0	0.15
15	Wetland	0.01	0	0.01
	Buffer	0.13	0	0.13
	Setback	0.16	0	0.16
16	Wetland	0.09	0	0.09
	Buffer	0.25	0	0.25
	Setback	0.24	0	0.24
Road Ditch 8	Wetland	0.02	0	0.02
	Buffer	0.24	0	0.24
	Setback	0.20	0	0.20
Road Ditch 13	Wetland	0.03	0.01	0.04
	Buffer*	0.06	0.08	0.14
	Setback*	0.05	0.02	0.07
Area E	Wetland	0.02	0.12	0.14
	Buffer	0.03	0.44	0.47
	Setback	0.02	0.38	0.40
Root River Wetland	Wetland	0	N/A	N/A
	Buffer	0.01	N/A	N/A
	Setback	0.07	N/A	N/A
Total	Woodlands	10.97	2.71	13.68
Total	Floodplains	0.18	11.00	11.18
Total	Shore Buffer	0	4.20	4.20
Total	Exempt Wetlands	N/A	N/A	2.00
Total	Environmental Corridor	4.96	N/A	N/A

\*Some buffers and setbacks overlapped due to the proximity of wetlands. Calculations account for the overlap so buffers and setbacks are not double-counted.

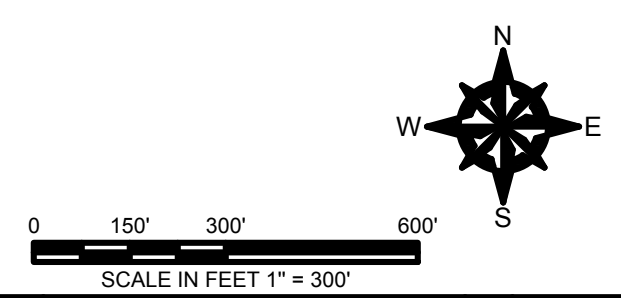






- LEGEND**
- ⊗ COMPLETED BORING LOCATION (PHASE I)
  - ⊗ COMPLETED BORING LOCATION (PHASE II)
  - ⊗ REMOVED BORING LOCATION
  - ⊗ BORING TO BE DRILLED

- NOTES**
1. BASE MAP DEVELOPED FROM A GOOGLE PROFESSIONAL ELECTRONIC IMAGE FILE. DIGITAL AERIAL ORTHOPHOTOGRAPHY WAS PUBLISHED BY THE U.S.G.S.
  2. THE USE OF AERIAL PHOTOGRAPHY CAN OFTEN MAKE BUILDINGS AND OTHER SITE FEATURES APPEAR TO BE OVERLAPPING AND DISTORTED WHEN OVERLAID WITH ACTUAL SITE FEATURES.
  3. THE LOCATION OF THE EXPLORATIONS WERE APPROXIMATELY DETERMINED BY LINE OF SIGHT AND/OR TAPE MEASUREMENTS FROM EXISTING TOPOGRAPHIC FEATURES. THESE LOCATIONS SHOULD BE CONSIDERED ACCURATE ONLY TO THE DEGREE IMPLIED BY THE METHOD USED.



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**BALLPARK COMMONS DEVELOPMENT**  
 76TH STREET AND RAWSON AVENUE  
 FRANKLIN, WISCONSIN

**BORING LOCATION MAP**

PREPARED BY: <b>GZA</b> GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR: BALLPARK COMMONS LLC.	
PROJ MGR: JS	REVIEWED BY: PJH	CHECKED BY: LJM	FIG
DESIGNED BY: JS	DRAWN BY: KLK	SCALE: see above	<b>1</b>
DATE: DECEMBER, 2017	PROJECT NO. 20.0155533.00	REVISION NO.	





GZA GeoEnvironmental, Inc.  
 20900 Swenson Drive #150  
 Waukesha, WI 53186  
 (262) 754-2560

# BORING NUMBER BP-33

**CLIENT** Ballpark Commons, LLC.  
**PROJECT NUMBER** 20.0155533.00  
**DATE STARTED** 12/22/17 **COMPLETED** 12/22/17  
**DRILLING CONTRACTOR** GESTRA Engineering  
**DRILLING METHOD** 3-1/4" ID Hollow-Stem Auger  
**LOGGED BY** IJM **CHECKED BY** JMS  
**DRILL RIG** Diedrich D-50 Turbo TM

**PROJECT NAME** Ballpark Commons Development  
**PROJECT LOCATION** Franklin, WI  
**GROUND ELEVATION** 788.37 ft NAVD88 **HOLE SIZE** 6-1/2 inches

DATE	TIME	DEPTH	CASING	STAB
12/22/17	AD	DRY	N/A	5 Minutes

**GROUND WATER LEVELS (ft, bgs):**

GEOTECH BH COLUMNS W/ REMARKS - GINT STD US LAB.GDT - 1/16/18 12:24 - J:\155500TO155599\155533 BALLPARK COMMONS\WORK\155533\_BPC\_BORING LOGS.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	REMARKS	SAMPLE TYPE NUMBER (Depth Interval)	RECOVERY (inches)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	UC Test (TSF) RIMAC Mach.	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
										LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0		Gravel Surface: 8" Road Gravel											
5		SS-1: Hard, sandy lean CLAY (CL), low plasticity; trace Gravel, fine; brown/gray, moist (FILL)  SS-2: Top 12": Hard, sandy lean CLAY (CL), low plasticity; trace Gravel, fine; brown/gray, moist (FILL) Bottom 6": Medium dense, clayey GRAVEL (GC), fine- to coarse-grained; little Sand, fine to coarse; little Wood Pieces; gray, moist (FILL)  SS-3: Very stiff, lean CLAY (CL), low plasticity; trace Gravel, trace Concrete Fragments; gray, moist (FILL)  SS-4: Piece of wood stuck in tip of sampler. (FILL)		SS-1 (1-2.5)  SS-2 (3.5-5)  SS-3 (6-7.5)  SS-4 (8.5-10)	18  18  14  2	3-5-8 (13)  6-8-9 (17)  4-6-4 (10)  10-50/5"-(50+)	4.5+  2.75  2.5						

End of boring at 10' BGS. Boring backfilled with 3/8" bentonite chips and cuttings.

<b>R E M A R K S</b>	
--	--



GZA GeoEnvironmental, Inc.  
 20900 Swenson Drive #150  
 Waukesha, WI 53186  
 (262) 754-2560

# BORING NUMBER BP-35

**CLIENT** Ballpark Commons, LLC. **PROJECT NAME** Ballpark Commons Development  
**PROJECT NUMBER** 20.0155533.00 **PROJECT LOCATION** Franklin, WI  
**DATE STARTED** 12/22/17 **COMPLETED** 12/22/17 **GROUND ELEVATION** \_\_\_\_\_ **HOLE SIZE** 6-1/2 inches  
**DRILLING CONTRACTOR** GESTRA Engineering  
**DRILLING METHOD** 3-1/4" ID Hollow-Stem Auger **GROUND WATER LEVELS (ft, bgs):**  
**LOGGED BY** IJM **CHECKED BY** JMS  
**DRILL RIG** Diedrich D-50 Turbo TM

DATE	TIME	DEPTH	CASING	STAB
12/22/17	AD	DRY	N/A	5 Minutes

GEOTECH BH COLUMNS W/ REMARKS - GINT STD US LAB.GDT - 1/16/18 12:24 - J:\155500TO155599\155533 BALLPARK COMMONS\WORK\155533\_BPC\_BORING LOGS.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	REMARKS	SAMPLE TYPE NUMBER (Depth Interval)	RECOVERY (inches)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	UC Test (TSF) RIMAC Mach.	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
										LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0		Gravel Surface: 8" Road Gravel	1										
0-4		SS-1: Very stiff, sandy lean CLAY (CL), low plasticity; trace Gravel, fine; brown, moist (FILL)		SS-1 (1-2.5)	14	5-6-5 (11)	3.5						
4-5		SS-2: Hard, lean CLAY (CL), low plasticity; little Sand, fine to coarse; trace Gravel, fine; light brown, moist		SS-2 (3.5-5)	18	5-9-13 (22)	4.5+						
5-9		SS-3: Medium dense, well-graded GRAVEL with SAND (GW), fine- to coarse-grained; trace Silt; light brown, moist	2	SS-3 (6-7.5)	10	5-10-15 (25)							
9-10		SS-4: Medium dense, well-graded SAND with GRAVEL (SW), fine- to coarse-grained; trace Silt; light brown, moist		SS-4 (8.5-10)	10	5-6-8 (14)							

End of boring at 10' BGS. Boring backfilled with 3/8" bentonite chips and cuttings.

**REMARKS**

- Boring moved approximately 25' east of surveyed location.
- Rig chatter from 6 to 8.5' BGS.





GZA GeoEnvironmental, Inc.  
 20900 Swenson Drive #150  
 Waukesha, WI 53186  
 (262) 754-2560

# BORING NUMBER BS-85

<b>CLIENT</b> <u>Ballpark Commons, LLC.</u>	<b>PROJECT NAME</b> <u>Ballpark Commons Development</u>																				
<b>PROJECT NUMBER</b> <u>20.0155533.00</u>	<b>PROJECT LOCATION</b> <u>Franklin, WI</u>																				
<b>DATE STARTED</b> <u>12/22/17</u> <b>COMPLETED</b> <u>12/22/17</u>	<b>GROUND ELEVATION</b> <u>785.73 ft NAVD88</u> <b>HOLE SIZE</b> <u>6-1/2 inches</u>																				
<b>DRILLING CONTRACTOR</b> <u>GESTRA Engineering</u>																					
<b>DRILLING METHOD</b> <u>3-1/4" ID Hollow-Stem Auger</u>	<b>GROUND WATER LEVELS (ft, bgs):</b>																				
<b>LOGGED BY</b> <u>IJM</u> <b>CHECKED BY</b> <u>JMS</u>	<table border="1"> <thead> <tr> <th>DATE</th> <th>TIME</th> <th>DEPTH</th> <th>CASING</th> <th>STAB</th> </tr> </thead> <tbody> <tr> <td>12/22/17</td> <td>AD</td> <td>DRY</td> <td>N/A</td> <td>5 Minutes</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	TIME	DEPTH	CASING	STAB	12/22/17	AD	DRY	N/A	5 Minutes										
DATE	TIME	DEPTH	CASING	STAB																	
12/22/17	AD	DRY	N/A	5 Minutes																	
<b>DRILL RIG</b> <u>Diedrich D-50 Turbo TM</u>																					

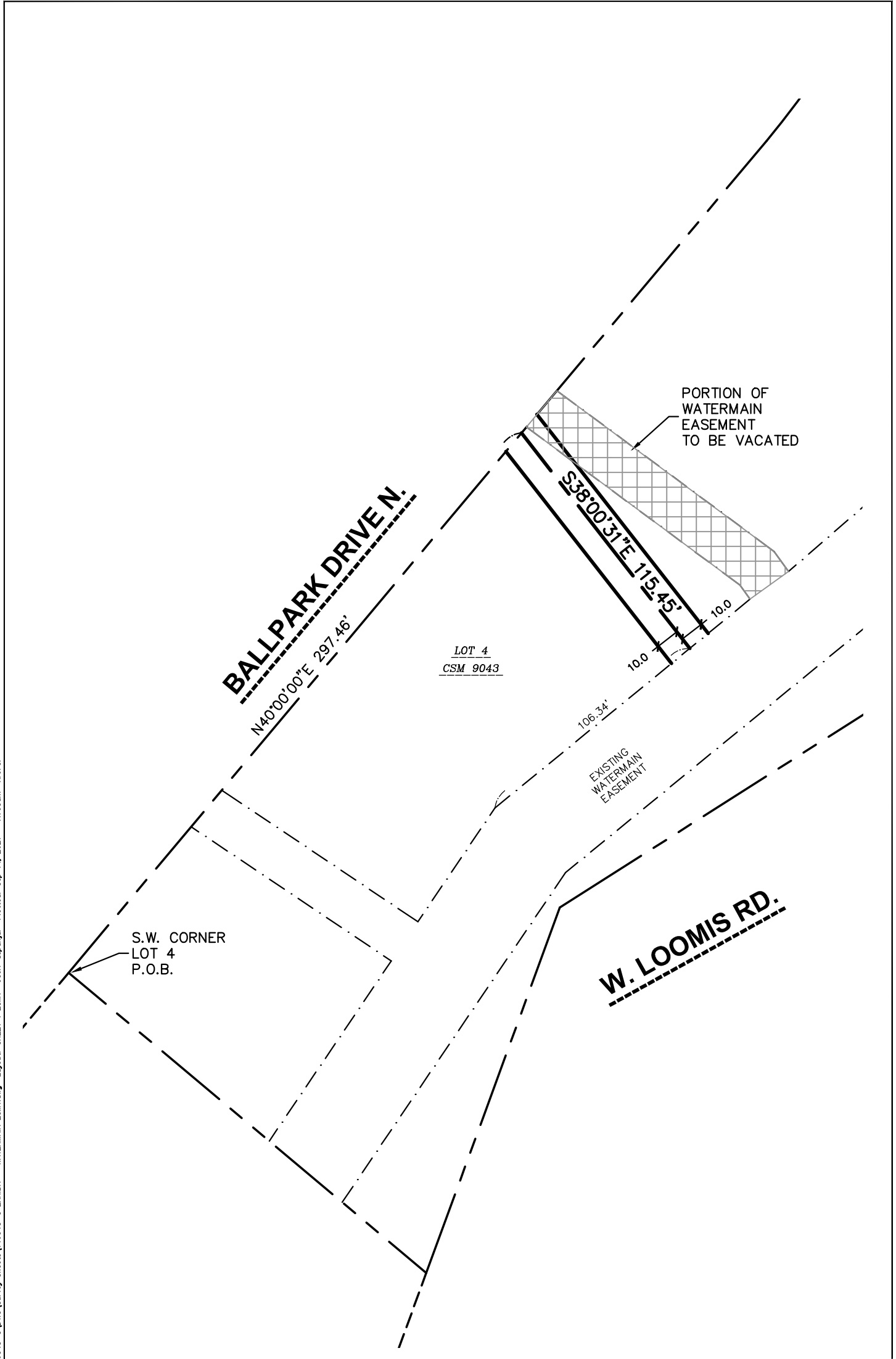
GEOTECH BH COLUMNS W/ REMARKS - GINT STD US LAB.GDT - 1/16/18 12:24 - J:\155500\TO155599\155533 BALLPARK COMMONS\WORK\155533\_BPC\_BORING LOGS.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	REMARKS	SAMPLE TYPE NUMBER (Depth Interval)	RECOVERY (inches)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	UC Test (TSF) RIMAC Mach.	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
										LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0		Grassy Surface: 6" Root mat / Topsoil											
5		SS-1: Hard, sandy lean CLAY (CL), low plasticity; trace Gravel, fine; brown, moist (Possible FILL)		SS-1 (1-2.5)	12	7-10-10 (20)	4.5+						
		SS-2: Very stiff, sandy silty CLAY (CL-ML), low plasticity; light brown, moist		SS-2 (3.5-5)	18	5-6-7 (13)	3.5						
		SS-3: Very stiff, sandy lean CLAY (CL), low plasticity; trace Gravel, fine; brown, moist		SS-3 (6-7.5)	10	5-4-7 (11)	3.0						
10		SS-4: Very stiff, sandy lean CLAY (CL), low plasticity; trace Gravel, fine; brown, moist		SS-4 (8.5-10)	8	3-5-3 (8)	2.25						
15		SS-5: Medium dense, well-graded GRAVEL with SAND (GW), fine- to coarse-grained; trace Silt; light brown, moist	1	SS-5 (13.5-15)	12	10-15-10 (25)							
20		SS-6: Medium dense, well-graded GRAVEL with SAND (GW), fine- to coarse-grained; trace Silt; light brown, moist		SS-6 (18.5-20)	18	7-8-14 (22)							

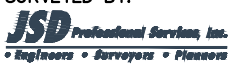
End of boring at 20' BGS. Boring backfilled with 3/8" bentonite chips and cuttings.

<b>R E M A R K S</b>	1. Slight petroleum odor to sample.
--	-------------------------------------

File: R:\2014\1426548-Ballpark Commons\146548-c\DWG\Survey Sheets\146548-g EXHIBIT - WATERMAIN ESM.T.dwg Layout: SHEET 1 ESM1 User: depanjar Plotted: Sep 14, 2021 - 11:03am Xref's



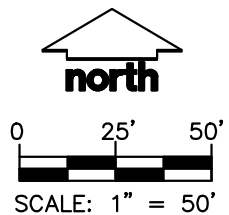
**EASEMENT EXHIBIT**  
**WATERMAIN EASEMENT**  
**ADDITION**

**SURVEYED BY:**  
  
 • Engineers • Surveyors • Planners  
**MILWAUKEE REGIONAL OFFICE**  
 W238 N 1610 BUSSE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 P. 262.513.0666

**SURVEYED FOR:**  
**ROC**  
**VENTURES**  
 7744 S BALLPARK DR  
 FRANKLIN, WI 53132

**PROJECT NO:** 14-6548G  
**FIELDBOOK/PG:** -  
**SHEET NO:** 1 OF 2

**SURVEYED BY:** -  
**DRAWN BY:** DHS  
**CHECKED BY:** AWW  
**APPROVED BY:** JLJ





**LEGAL DESCRIPTION**

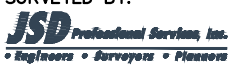
PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 9043, BEING PART OF THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN, THE CENTERLINE OF A TWENTY FOOT WIDE WATERMAIN EASEMENT BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERLY CORNER OF SAID LOT 4; THENCE N40°00'00"E ALONG THE WESTERLY LINE OF SAID LOT 297.46 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S38°00'31"E 115.45 FEET TO THE POINT OF TERMINATION.

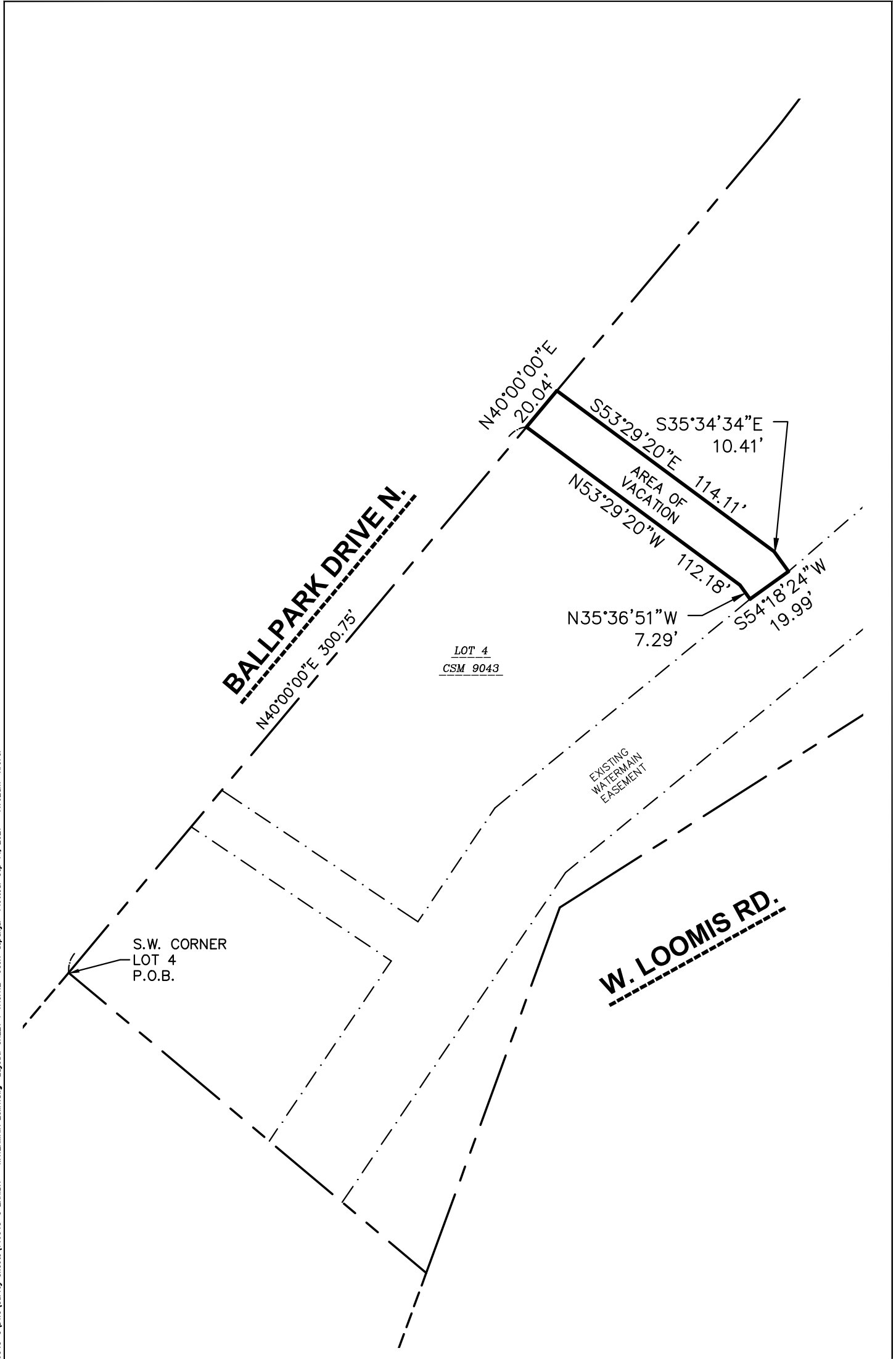
CONTAINING 2,309 SQUARE FEET.

File: R:\2014\1426548 Ballpark Commons\146548-c\DWG\Survey Sheets\146548-g EXHIBIT - WATERMAIN ESM.T.dwg Layout: SHEET 2 ESM.T User: deponjar Plotted: Sep 14, 2021 - 10:59am Xref's:

**EASEMENT EXHIBIT**  
**WATERMAIN EASEMENT**  
**ADDITION**

SURVEYED BY:  MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666	SURVEYED FOR: ROC VENTURES 7744 S BALLPARK DR FRANKLIN, WI 53132	PROJECT NO: <u>14-6548G</u> FIELDBOOK/PG: <u>-</u> SHEET NO: <u>2 OF 2</u>	SURVEYED BY: <u>-</u> DRAWN BY: <u>DHS</u> CHECKED BY: <u>AWW</u> APPROVED BY: <u>JLJ</u>
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File: R:\2014\1426549-Ballpark Commons\146549-c\DWG\Survey Sheets\146549-g EXHIBIT - WATERMAIN ESM.T.dwg Layout: SHEET 1 VACATE User: dpanjar Plotted: Sep 14, 2021 - 11:02am Xref's:



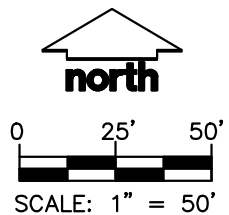
**EASEMENT EXHIBIT**  
WATERMAIN EASEMENT  
VACATION

SURVEYED BY:  
**JSD** Professional Services, Inc.  
• Engineers • Surveyors • Planners  
MILWAUKEE REGIONAL OFFICE  
W238 N 1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

SURVEYED FOR:  
**ROC VENTURES**  
7744 S BALLPARK DR  
FRANKLIN, WI 53132

PROJECT NO: 14-6548G  
FIELDBOOK/PG: -  
SHEET NO: 1 OF 2

SURVEYED BY: -  
DRAWN BY: DHS  
CHECKED BY: AWW  
APPROVED BY: JLJ





**LEGAL DESCRIPTION**

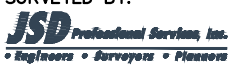
PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 9043, BEING PART OF THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN, THE AREA OF A WATERMAIN EASEMENT TO BE VACATED IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERLY CORNER OF SAID LOT 4; THENCE N40°00'00"E ALONG THE WESTERLY LINE OF SAID LOT 300.75 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING N40°00'00"E 20.04 FEET; THENCE S53°29'20"E 114.11 FEET; THENCE S35°34'34"E 10.41 FEET; THENCE S54°18'24"W 19.99 FEET; THENCE N35°36'51"W 7.29 FEET; THENCE N53°29'20"W 112.18 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,440 SQUARE FEET.

File: R:\2014\1426548 Ballpark Commons\146548-c\DWG\Survey Sheets\146548-g EXHIBIT - WATERMAIN ESM.T.dwg Layout: SHEET 2 VACATE User: depanjr Plotted: Sep 14, 2021 - 10:58am Xref's:

**EASEMENT EXHIBIT**  
**WATERMAIN EASEMENT**  
**VACATION**

SURVEYED BY:  MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666	SURVEYED FOR: ROC VENTURES 7744 S BALLPARK DR FRANKLIN, WI 53132	PROJECT NO: <u>14-6548G</u> FIELDBOOK/PG: <u>-</u> SHEET NO: <u>2 OF 2</u>	SURVEYED BY: <u>-</u> DRAWN BY: <u>DHS</u> CHECKED BY: <u>AWW</u> APPROVED BY: <u>JLJ</u>
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# CERTIFIED SURVEY MAP NO. 9043

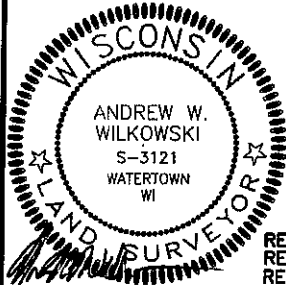
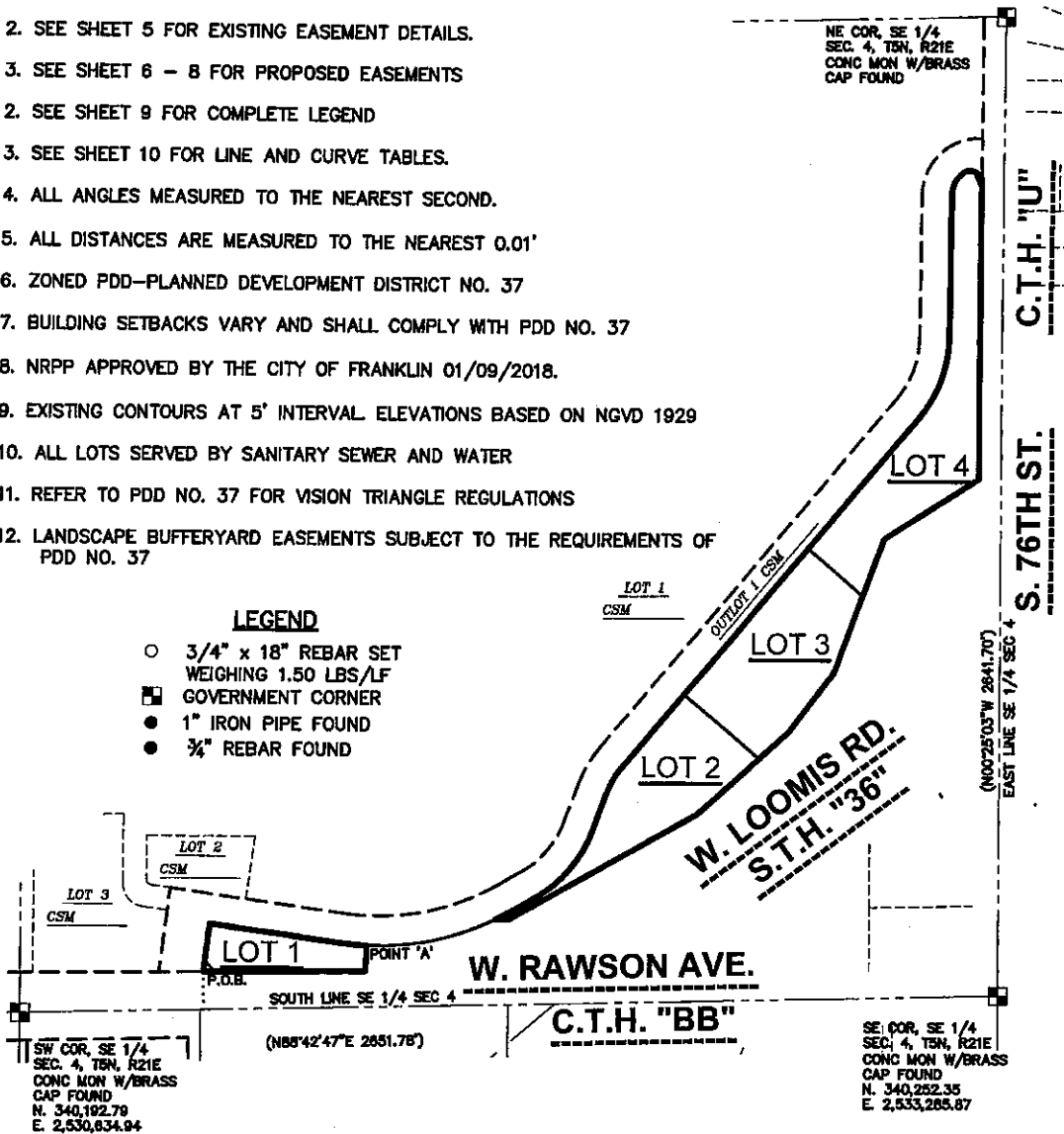
BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**NOTES**

1. SEE SHEET 2-4 FOR LOT DETAILS.
2. SEE SHEET 5 FOR EXISTING EASEMENT DETAILS.
3. SEE SHEET 6 - 8 FOR PROPOSED EASEMENTS
2. SEE SHEET 9 FOR COMPLETE LEGEND
3. SEE SHEET 10 FOR LINE AND CURVE TABLES.
4. ALL ANGLES MEASURED TO THE NEAREST SECOND.
5. ALL DISTANCES ARE MEASURED TO THE NEAREST 0.01'
6. ZONED PDD-PLANNED DEVELOPMENT DISTRICT NO. 37
7. BUILDING SETBACKS VARY AND SHALL COMPLY WITH PDD NO. 37
8. NRPP APPROVED BY THE CITY OF FRANKLIN 01/09/2018.
9. EXISTING CONTOURS AT 5' INTERVAL ELEVATIONS BASED ON NGVD 1929
10. ALL LOTS SERVED BY SANITARY SEWER AND WATER
11. REFER TO PDD NO. 37 FOR VISION TRIANGLE REGULATIONS
12. LANDSCAPE BUFFERYARD EASEMENTS SUBJECT TO THE REQUIREMENTS OF PDD NO. 37

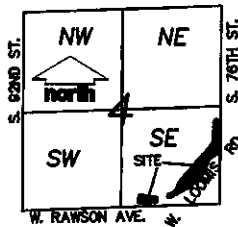
**LEGEND**

- 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/LF
- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- 3/4" REBAR FOUND



REVISED-2/6/18  
 REVISED-4/4/18  
 REVISED-5/1/18

THIS INSTRUMENT DRAFTED BY  
 ANDREW W. WILKOWSKI S-3121



LOCATION SKETCH  
 SECTION 4, T5N, R21E

ALL BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 4, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) BEARING OF N88°42'47\"/>



0 200' 400'  
 SCALE: 1"=400'

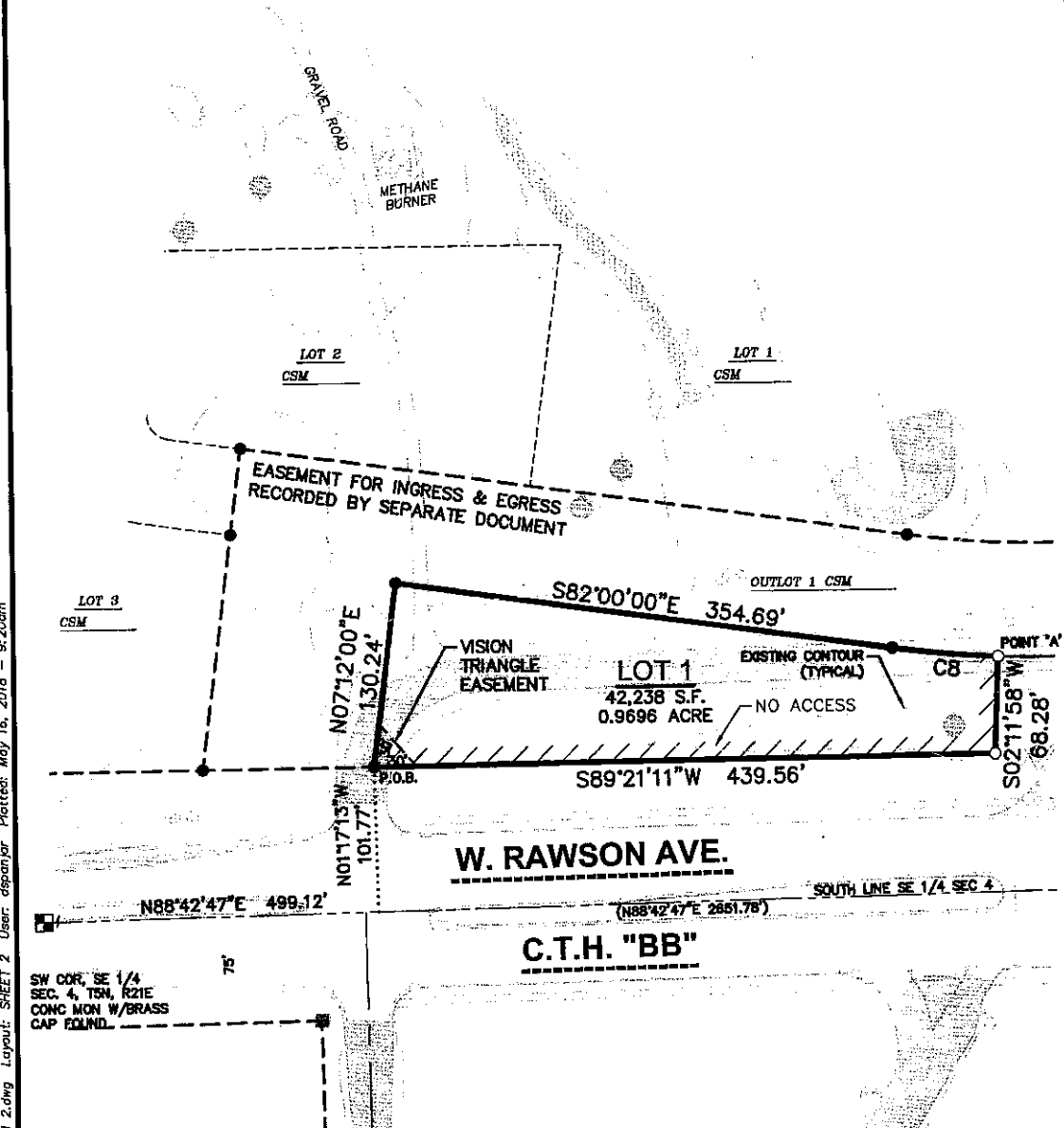
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SURVEYED BY: <b>JSD</b> Professional Services, Inc. <small>Engineers • Surveyors • Planners</small> 1228 W1610 BUSSE ROAD SUITE 100 WAUKESHA, WISCONSIN 53186 PHONE: (262)813-0888	OWNER AND SUBDIVIDER: BPC COUNTY LAND, LLC 510 W. KILBOURN AVE. MILWAUKEE, WI 53202	PROJECT NO: 14-8548 FILE NO: B- FIELDBOOK/PG: - SHEET NO: 1 OF 12	SURVEYED BY: JSD, INC DRAWN BY: DHS CHECKED BY: AWW APPROVED BY: JJJ
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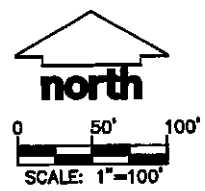
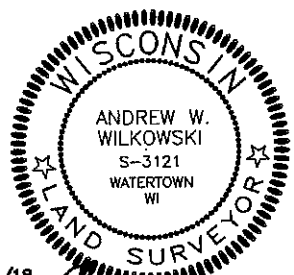
# CERTIFIED SURVEY MAP NO. 9043

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



File: R:\2018\1462548 Ballpark Commons.dwg\146548 CSM 2.dwg Layout: SHEET 2 User: dspanjar Plotted: May 15, 2018 - 9:20am

SW COR. SE 1/4  
SEC. 4, T5N, R21E  
CONC MON W/BRASS  
CAP FOUND.



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**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
12236 MIDGLO BLISSIE ROAD  
SUITE 100  
WALKEBURN, WISCONSIN 53188  
PHONE: (262)261-0808

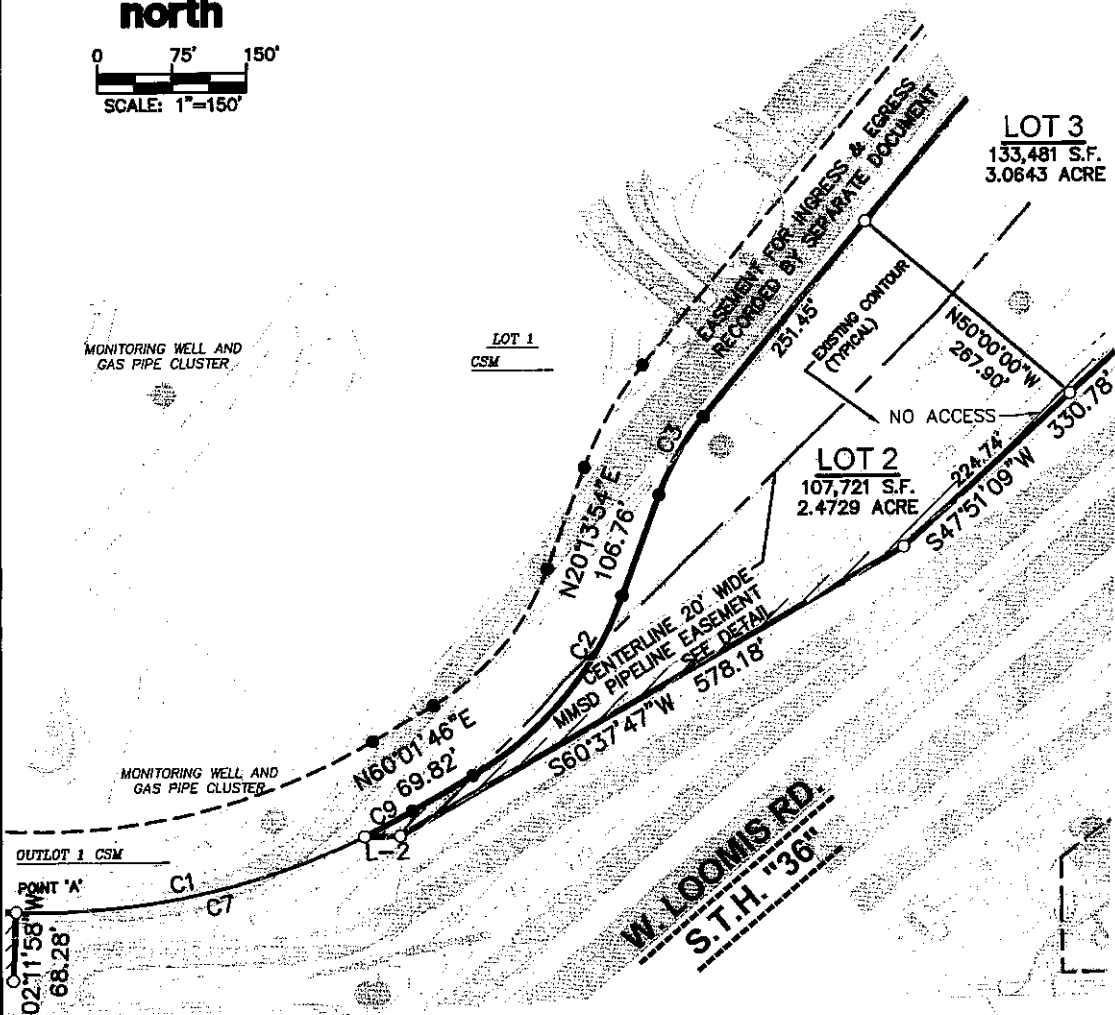
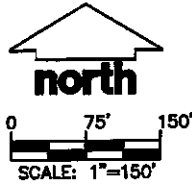
REVISED-2/6/18  
REVISED-4/4/18  
REVISED-5/1/18

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

SHEET 2 OF 12

# CERTIFIED SURVEY MAP NO. 9043

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

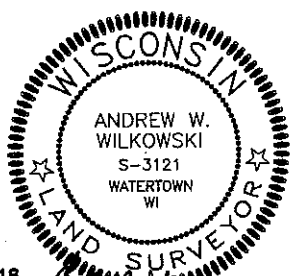


File: R:\2014\1406548 Ballpark Commons\dwg\146548 CSM 2.dwg Layout: SHEET 3 User: dspanjor Plotted: May 16, 2018 - 9:20am

OUTLOT 1 CSM  
POINT 'A'  
S02°11'58"W 68.28'  
C1  
C7  
W. RAWSON AVE.  
SOUTH LINE SE 1/4 SEC 4  
(N88°42'47"E 2651.78')  
C.T.H. "BB"

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**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
1238 N1810 BUSSE ROAD  
SUITE 100  
WALKESHA, WISCONSIN 53186  
PHONE: (262)913-0688

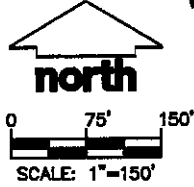
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REVISED-4/4/18  
REVISED-5/1/18





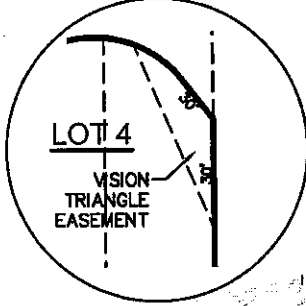
# CERTIFIED SURVEY MAP NO. 9043

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



VISION TRIANGLE EASEMENT DETAIL NOT TO SCALE

REVISED-2/6/18  
REVISED-4/4/18  
REVISED-5/1/18



BASEBALL FIELD

BASEBALL FIELD

BASEBALL FIELD

LOT 1  
CSM

LOT 4  
155,128 S.F.  
3.5612 ACRE

LOT 3  
133,481 S.F.  
3.0643 ACRE

W. LOOMIS RD.  
S.T.H. "36"

VISION TRIANGLE EASEMENT SEE DETAIL

S. 76TH ST. C.T.H. "U"

(N00°25'00"W - 2641.70')  
EAST LINE SE-1/4-SEC 4

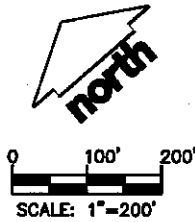
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1238 N1010 BUSSE ROAD  
SUITE 100  
WAUKESHA, WISCONSIN 53188  
PHONE: (262)613-0888

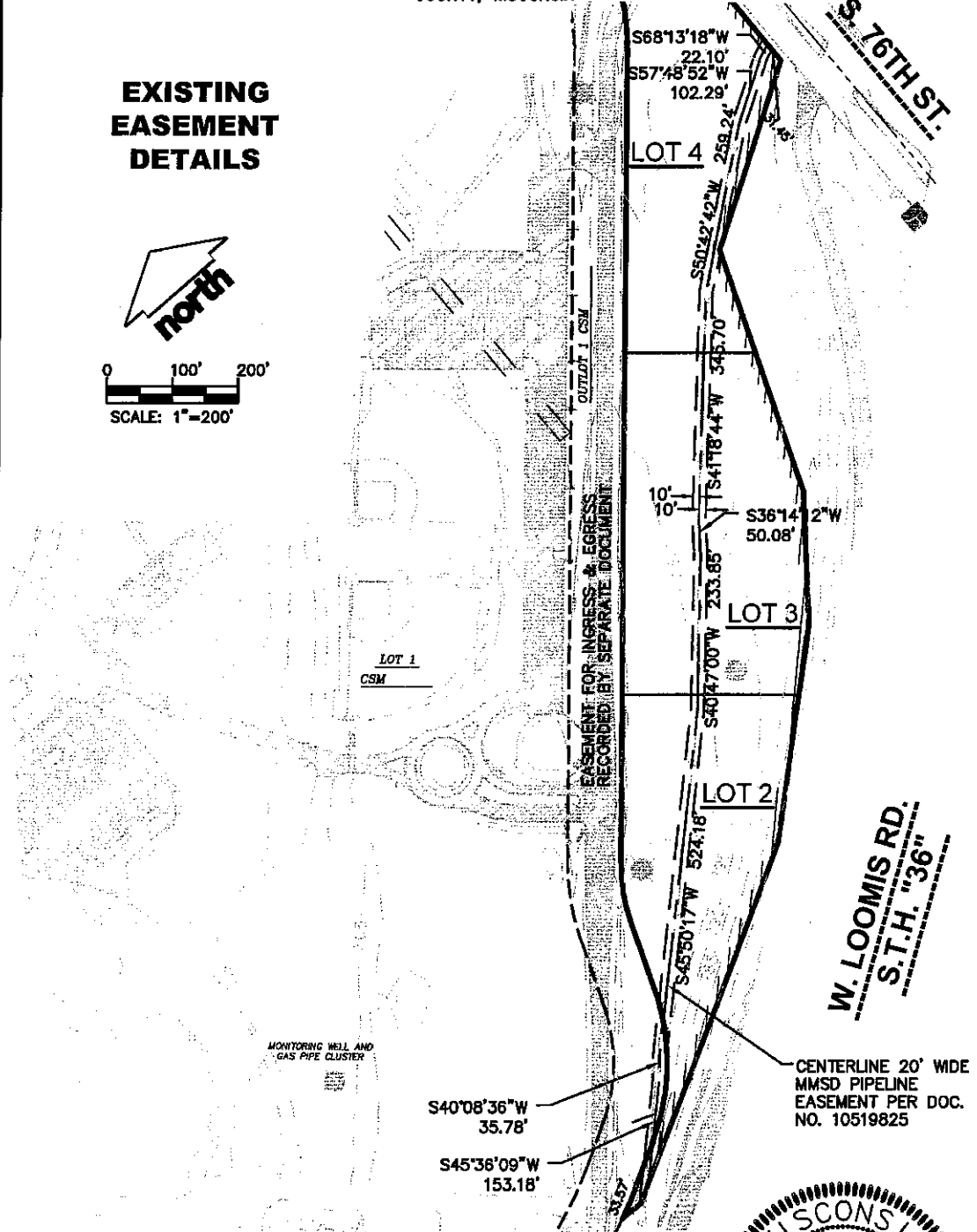
# CERTIFIED SURVEY MAP NO. 9843

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

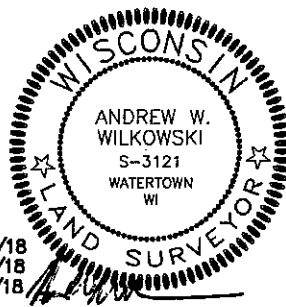
## EXISTING EASEMENT DETAILS



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 2238 WISCONSIN BUSSE ROAD  
 SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 PHONE: (262)913-0888



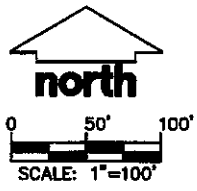
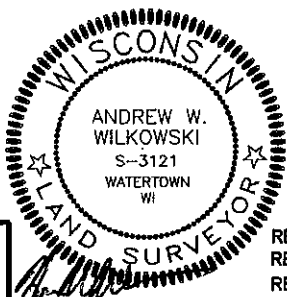
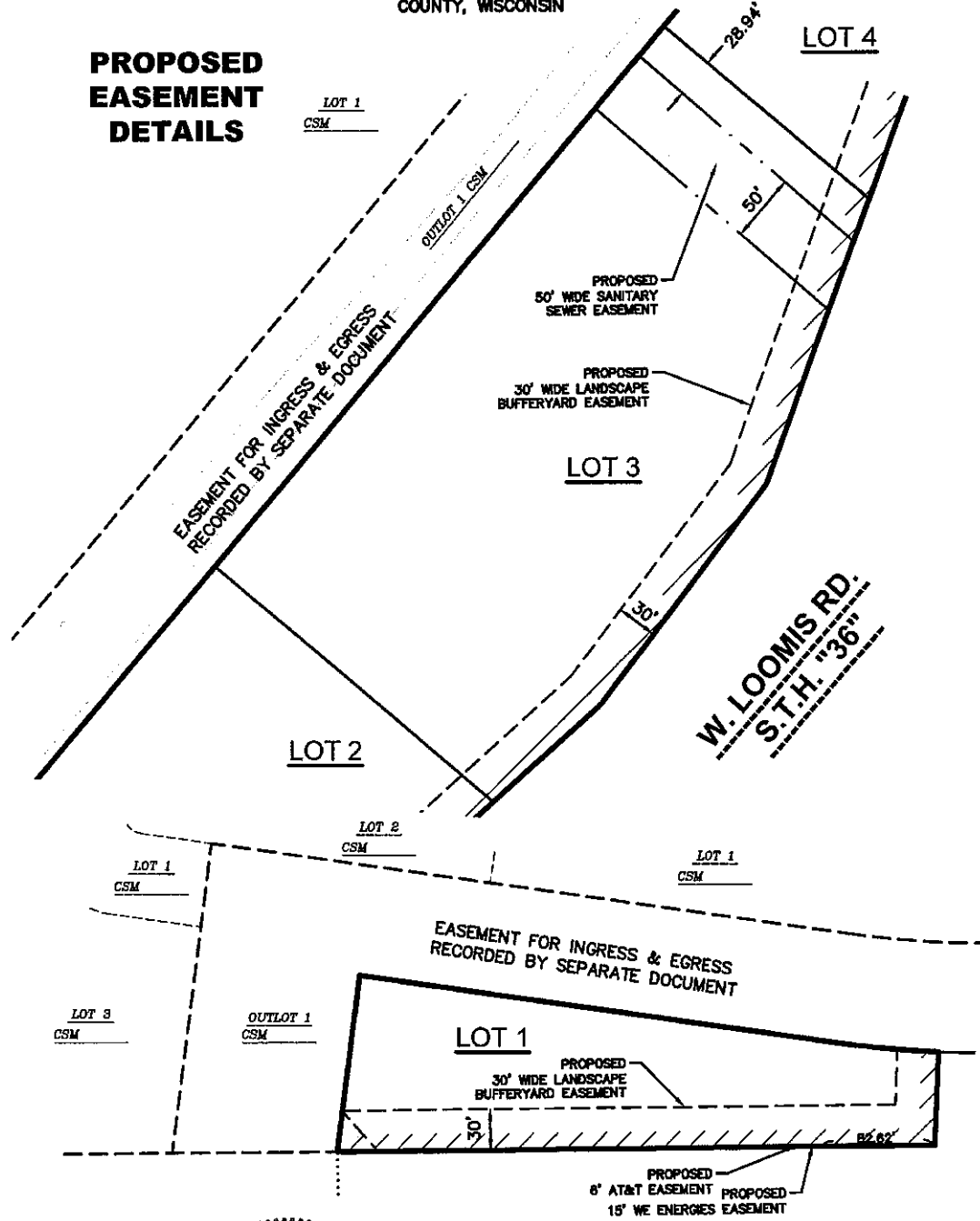
REVISED-2/6/18  
 REVISED-4/4/18  
 REVISED-5/1/18



**CERTIFIED SURVEY MAP NO. 9043**

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**PROPOSED EASEMENT DETAILS**



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Engineers • Surveyors • Planners  
2230 N1610 BUSSE ROAD  
SUITE 100  
WALKESSA, WISCONSIN 53186  
PHONE: (262)813-0666

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REVISED-4/4/18  
REVISED-5/1/18

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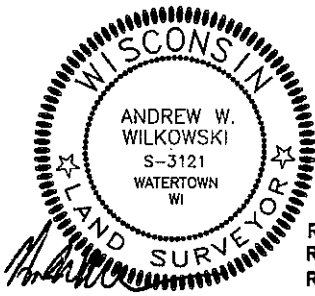
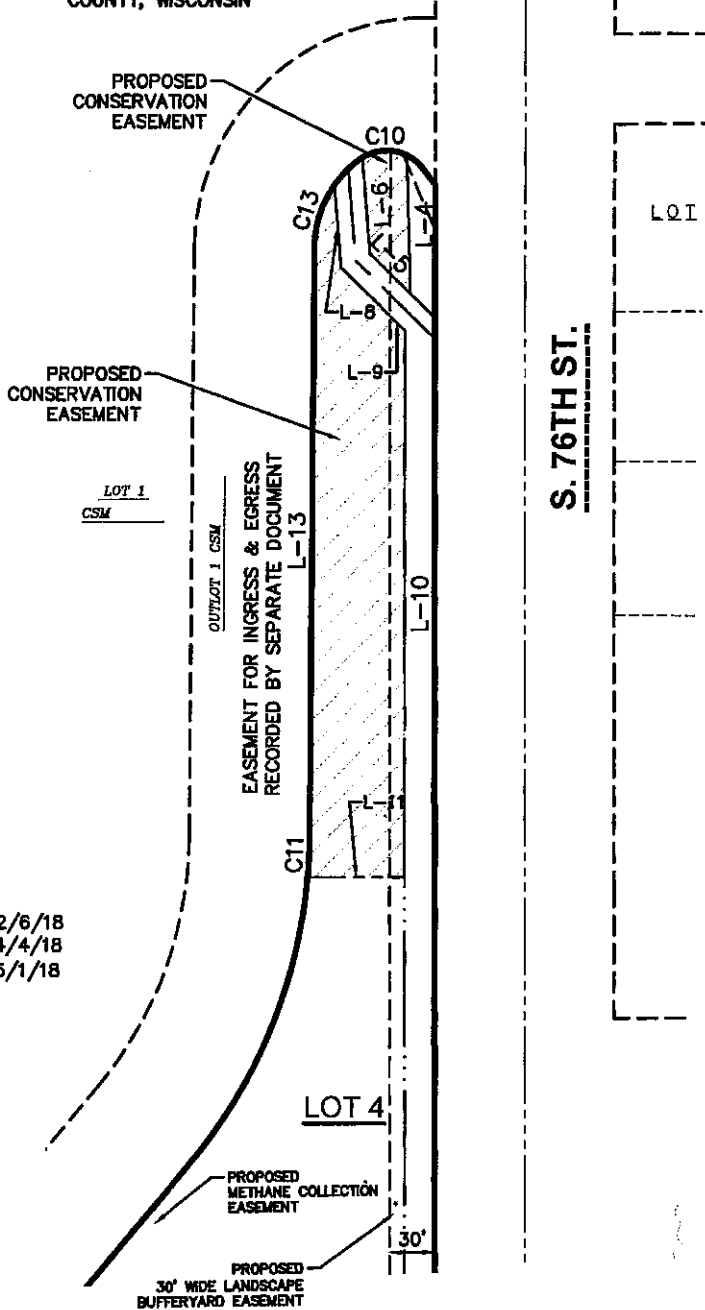
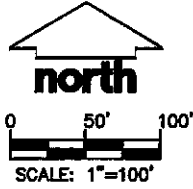
SHEET 6 OF 12

File: R:\2014\146548 Ballpark Commons\dwg\146548 CSM 2.dwg Layout: SHEET 6 User: dsponor Plotted: May 16, 2018 - 9:21am

# CERTIFIED SURVEY MAP NO. 9843

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

## PROPOSED EASEMENT DETAILS



REVISED-2/6/18  
REVISED-4/4/18  
REVISED-5/1/18

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
L-4	S01°56'35"E	91.70'
L-5	N45°56'35"W	38.30'
L-6	N05°01'38"W	64.00'
L-8	S05°01'38"E	55.00'
L-9	S45°56'35"E	60.35'
L-10	S00°25'03"E	361.52'
L-11	N90°00'00"W	64.98'
L-13	N00°00'00"E	389.18'

EASEMENT CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C11	27.84'	340.00'	4°41'27"	27.83'	N 02°20'43" E
C13	43.97'	72.00'	34°59'35"	43.29'	N 17°29'48" E

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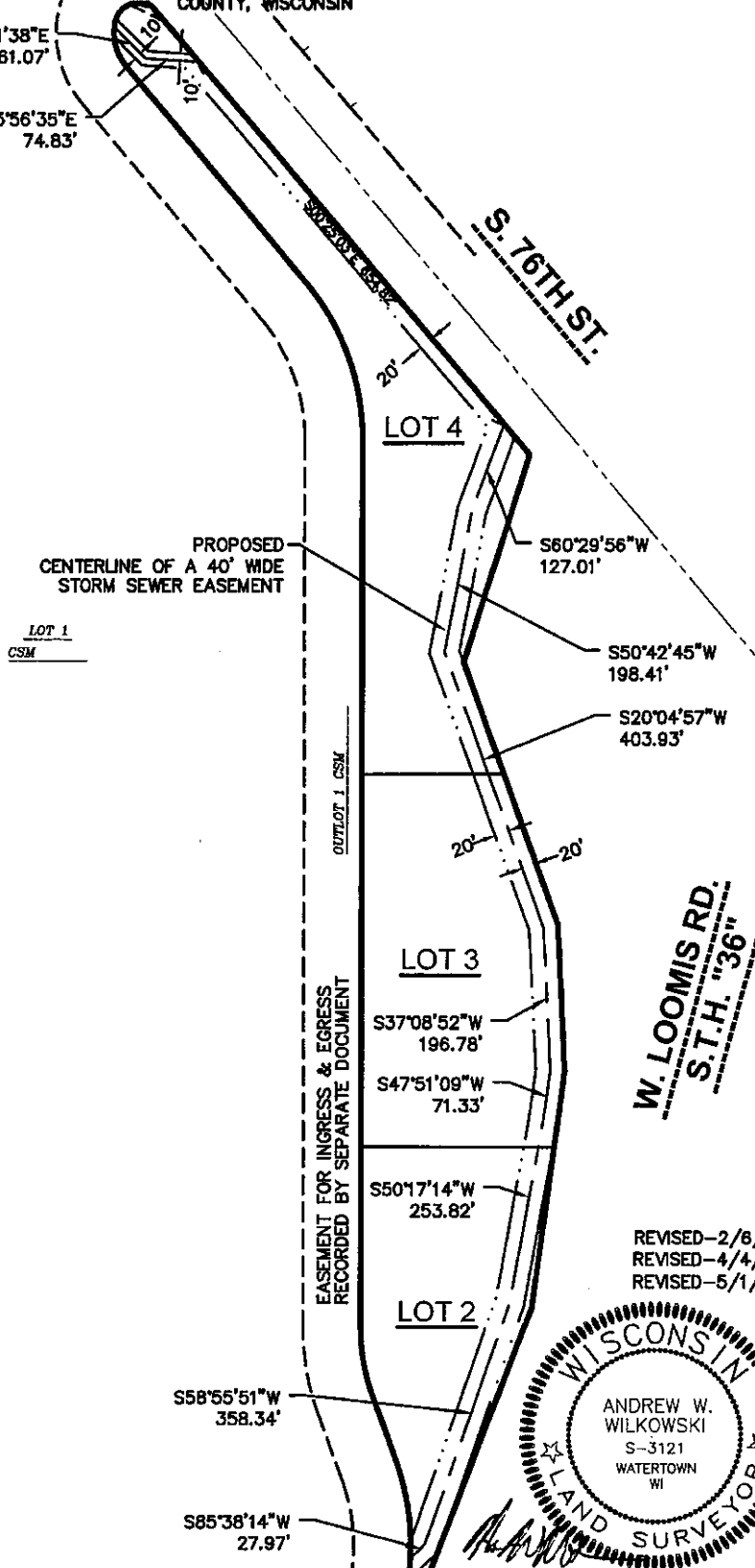
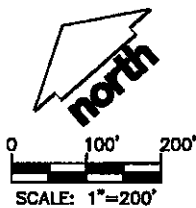
PREPARED BY:  
**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
1810 WISCONSIN BUSSE ROAD  
SUITE 100  
WAUKESHA, WISCONSIN 53186  
PHONE: (262)613-0666



# CERTIFIED SURVEY MAP NO. 9043

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

## PROPOSED EASEMENT DETAILS

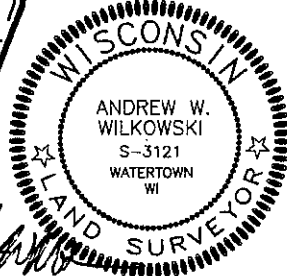


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 10230 N1810 BUSSE ROAD  
 SUITE 100  
 WALKERSLA, WISCONSIN 53185  
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REVISED-2/6/18  
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SHEET 8 OF 12

# CERTIFIED SURVEY MAP NO. 9043

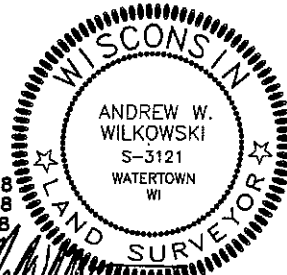
BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

## LEGEND

<ul style="list-style-type: none"> <li>△ CONTROL POINT</li> <li>⊗ FINISHED FLOOR SHOT LOCATION</li> <li>SB ⊗ SOIL BORING</li> <li>⊕ MONITORING WELL</li> <li>⊙ SIGNAL GAUGE</li> <li>⊕ TEST PIT</li> <li>● BOLLARD</li> <li>○ MAIL BOX</li> <li>○ POST</li> <li>⊖ SIGN</li> <li>⊙ SANITARY MANHOLE</li> <li>⊙ CLEAN OUT</li> <li>⊗ VENT PIPE</li> <li>⊕ WATERMAIN OR GASMAIN VALVE</li> <li>⊙ WATER MANHOLE</li> <li>⊙ HYDRANT</li> <li>⊕ WATER VALVE</li> <li>⊙ CURB STOP/SERVICE VALVE</li> <li>⊙ SIAMESE CONNECTOR</li> <li>⊕ SPRINKLER VALVE BOX</li> <li>⊙ SPRINKLER HEAD</li> <li>⊙ WELL</li> <li>⊙ STORM MANHOLE</li> <li>⊙ ROUND CASTED INLET</li> <li>⊙ SQUARE CASTED INLET</li> <li>⊙ CURB INLET</li> <li>⊙ GAS REGULATOR/METER</li> <li>⊙ GAS VALVE</li> <li>⊙ MANHOLE - UNVERIFIED TYPE</li> <li>⊙ MGE ELECTRIC MANHOLE (MGE)</li> <li>⊙ ELECTRIC MANHOLE</li> <li>⊙ ELECTRIC PEDESTAL</li> <li>⊙ ELECTRIC METER</li> <li>⊙ ELECTRIC TRANSFORMER</li> <li>⊙ AIR CONDITION UNIT</li> <li>⊙ LIGHT POLE</li> <li>⊙ POWER POLE W/GUY</li> <li>⊙ YARD LIGHT</li> <li>⊙ TRAFFIC SIGNAL</li> <li>⊙ PULL BOX</li> <li>⊙ SIGNAL CONTROLLER BOX</li> <li>⊙ VAULT</li> <li>⊙ TELEPHONE MANHOLE</li> <li>⊙ TELEPHONE PEDESTAL</li> <li>⊙ CABLE MANHOLE</li> <li>⊙ CABLE PEDESTAL</li> </ul>	<ul style="list-style-type: none"> <li>———— PLAT BOUNDARY</li> <li>..... CHORD LINE</li> <li>——— CENTERLINE</li> <li>——— RIGHT-OF-WAY LINE</li> <li>——— SETBACK LINE</li> <li>——— SECTION LINE</li> <li>——— PLATTED LOT LINE</li> <li>——— EASEMENT LINE</li> <li>——— LANDSCAPE LIMITS</li> <li>-x-x- FENCE LINE</li> <li>⊖ STONE WALL</li> <li>——— EDGE OF PAVEMENT</li> <li>==== CONCRETE CURB &amp; GUTTER</li> <li>——— EDGE OF GRAVEL</li> <li>— SAN — SANITARY SEWER</li> <li>— W — WATER LINE</li> <li>— ST — STORM SEWER</li> <li>— STM — STEAM LINE</li> <li>— G — NATURAL GAS</li> <li>— OH — OVERHEAD LINE</li> <li>— E — UNDERGROUND ELECTRIC</li> <li>— FO — FIBER OPTIC</li> <li>— OT — OVERHEAD TELEPHONE</li> <li>— T — UNDERGROUND TELEPHONE</li> <li>— OC — OVERHEAD CABLE</li> <li>— CoTV — UNDERGROUND CABLE</li> <li>⊖ EDGE OF WOODS OR BRUSH</li> <li>▨ BUILDING</li> <li>——— WALL LINE</li> <li>——— NAVIGABLE STREAM</li> <li>— · — · — EDGE OF WATER</li> <li>——— DITCH LINE</li> <li>——— DELINEATED WETLANDS</li> <li>▨ BITUMINOUS PAVEMENT</li> <li>▨ CONCRETE PAVEMENT</li> <li>▨ BUILDING</li> <li>——— EDGE OF BITUMINOUS PAVEMENT STRIPING</li> <li>( ) DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY</li> </ul>
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File: R:\2014\1406548 Bailpark Commons\dwg\146548 CSM 2.dwg Layout: SHEET 9 User: dsparanjar Plotted: May 16, 2018 - 9:21am

**PREPARED BY:**  
**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
 1230 WISIO BUSSE ROAD  
 SUITE 100  
 WAUKESHA, WISCONSIN 53186  
 PHONE: (262)613-0888

  
 REVISED-2/6/18  
 REVISED-4/4/18  
 REVISED-5/1/18  
 SHEET 9 OF 12

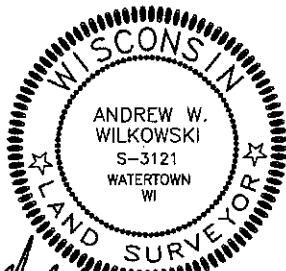


# CERTIFIED SURVEY MAP NO. 9043

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773452 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S38°19'59"E	13.56'
L-2	S88°50'17"W	35.91'

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C1	490.41'	740.00'	254.59	37°58'14"	481.48'	N79°00'53"E
C2	236.16'	340.00'	123.07	39°47'52"	231.44'	N40°07'50"E
C3	89.71'	280.00'	45.30	19°46'06"	89.26'	N30°06'57"E
C4	237.36'	340.00'	123.75	40°00'00"	232.57'	N20°00'00"E
C5	67.13'	72.00'	36.23	53°25'11"	64.72'	N26°42'35"E
C6	47.98'	31.15'	30.21	88°14'50"	43.37'	S82°27'24"E
C7	360.98'	740.00'	184.16	27°56'58"	357.41'	N78°13'28"E
C8	74.92'	740.00'	37.49	5°48'03"	74.89'	S84°54'02"E
C9	54.51'	740.00'	27.27	4°13'13"	54.49'	N62°08'22"E



*Andrew W. Wilkowski*

REVISED-2/6/18  
REVISED-4/4/18  
REVISED-5/1/18

File: R:\2014\1406548 Ballpark Commons\dwg\146548\_CSM 2.dwg Layout: SHEET 10 User: dsponjar Plotted: May 16, 2018 - 9:21am

PREPARED BY:  
**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
2228 W1810 BUSSE ROAD  
SUITE 100  
WALKESHA, WISCONSIN 53186  
PHONE: (262)813-0886

# CERTIFIED SURVEY MAP NO. 9043

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

## LEGAL DESCRIPTION

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 4; THENCE N88°42'47"E ALONG THE SOUTH LINE OF SAID 1/4 SECTION 499.12 FEET; THENCE N01°17'13"W 101.77 FEET TO A POINT ON THE NORTH LINE OF WEST RAWSON AVENUE, BEING THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE N07°12'00"E 130.24 FEET; THENCE S82°00'00"E 354.69 FEET; THENCE EASTERLY 74.92 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTH, WHOSE RADIUS 740.00 FEET AND WHOSE CHORD BEARS S84°54'02"E 74.89 FEET TO A POINT 'A'; THENCE S02°11'58"W 68.28 FEET TO A POINT ON THE NORTH LINE OF SAID AVENUE; THENCE S89°21'11"W 439.56 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THE FOLLOWING DESCRIBED LANDS:

COMMENCING AT AFORESAID POINT 'A'; THENCE NORTHEASTERLY 360.98 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 740.00 FEET AND WHOSE CHORD BEARS N78°13'28"E 357.41 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE NORTHEASTERLY 54.51 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 740.00 FEET AND WHOSE CHORD BEARS N62°08'22"E 54.49 FEET; THENCE N60°01'46"E 69.82 FEET; THENCE NORTHEASTERLY 236.16 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 340.00 FEET AND WHOSE CHORD BEARS N40°07'50"E 231.44 FEET; THENCE N20°13'54"E 106.76 FEET; THENCE NORTHEASTERLY 89.71 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE SOUTHEAST, WHOSE RADIUS IS 260.00 FEET AND WHOSE CHORD BEARS N30°06'57"E 89.26 FEET; THENCE N40°00'00"E 1223.92 FEET; THENCE NORTHEASTERLY 237.36 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 340.00 FEET AND WHOSE CHORD BEARS N20°00'00"E 232.57 FEET; THENCE N00°00'00"W 389.00 FEET; THENCE NORTHEASTERLY 67.13 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE SOUTHEAST, WHOSE RADIUS IS 72.00 FEET AND WHOSE CHORD BEARS N26°42'35"E 64.72 FEET; THENCE EASTERLY 47.98 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE SOUTH, WHOSE RADIUS IS 31.15 FEET AND WHOSE CHORD BEARS S82°27'24"E 43.37 FEET; THENCE S38°19'59"E 13.56 FEET TO A POINT ON THE WEST LINE OF SOUTH 76TH STREET; THENCE S00°25'03"E ALONG SAID LINE AND PARALLEL WITH EAST LINE OF SAID 1/4 SECTION 812.09 FEET TO A POINT ON THE NORTHERLY LINE OF WEST LOOMIS ROAD; THENCE S57°34'57"W 300.00 FEET; THENCE S20°04'57"W 385.00 FEET; THENCE S37°08'52"W 201.52 FEET; THENCE S47°51'09"W 330.78 FEET; THENCE S60°37'47"W 578.18 FEET; THENCE S88°50'17"W 35.91 FEET TO THE POINT OF BEGINNING.

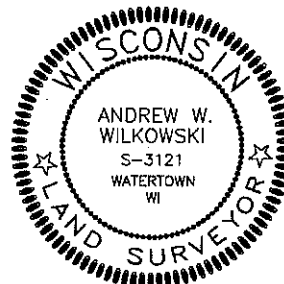
SAID PARCEL CONTAINS 438,568 SQUARE FEET OR 10.0681 ACRES.

## SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, PROFESSIONAL LAND SURVEYOR S-3121, DO HEREBY CERTIFY THAT BY BPC COUNTY LAND LLC, I HAVE SURVEYED, DIVIDED AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE UNIFIED DEVELOPMENT ORDINANCE OF THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

  
\_\_\_\_\_  
ANDREW W. WILKOWSKI S-3121  
PROFESSIONAL LAND SURVEYOR

JANUARY 18, 2018  
DATE



PREPARED BY:

**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
10238 N1810 BUSSE ROAD  
SUITE 100  
WAUKESHA, WISCONSIN 53186  
PHONE: (262)213-0666

REVISED-2/6/18  
REVISED-4/4/18  
REVISED-5/1/18

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

SHEET 11 OF 12



**CERTIFIED SURVEY MAP NO. 9043**

BEING THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10713453 AND LANDS IN THE SOUTHWEST 1/4, SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**CORPORATE OWNER'S CERTIFICATE**

BPC COUNTY LAND, LLC, A LIMITED LIABILITY CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE CITY OF FRANKLIN FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID BPC COUNTY LAND, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANAGER, BPC COUNTY LAND MANAGER, INC. THIS 18<sup>th</sup> DAY OF May, 2018.

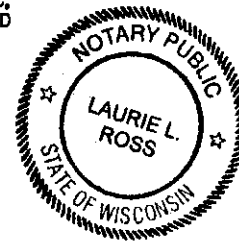
BY: Michael E. Zimmerman  
MICHAEL E. ZIMMERMAN, MANAGER  
BPC COUNTY LAND MANAGER, INC.

STATE OF WISCONSIN) SS  
MILWAUKEE COUNTY ) SS

PERSONALLY CAME BEFORE ME THIS 18<sup>th</sup> DAY OF May, 2018, THE ABOVE NAMED REPRESENTATIVES OF THE ABOVE NAMED BPC COMMON LAND, LLC, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

Laurie L. Ross  
NOTARY PUBLIC, MILWAUKEE COUNTY, WISCONSIN

9/20/19  
MY COMMISSION EXPIRES



**CITY OF FRANKLIN COMMON COUNCIL APPROVAL**

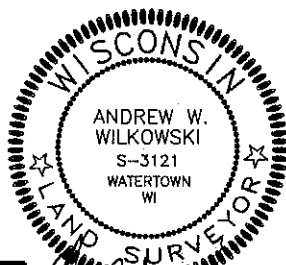
THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE COMMON COUNCIL OF THE CITY OF FRANKLIN, ON THIS 1st DAY OF May, 2018.

BY: Stephen Quson  
STEPHEN QUSON, MAYOR

DATE: 5/29/18

BY: Sandra L. Wesolowski  
SANDRA L. WESOLOWSKI, CITY CLERK

DATE: 5-29-18



DOC. # 10785128  
RECORDED:  
06/14/2018 08:29 AM  
JOHN LA FAVE  
REGISTER OF DEEDS  
MILWAUKEE COUNTY, WI  
AMOUNT: 30.00

PREPARED BY:  
**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
W238 N1810 BUSSE ROAD  
SUITE 100  
WALKESHA, WISCONSIN 53186  
PHONE: (262)913-0886

REVISED-2/6/18  
REVISED-4/4/18  
REVISED-5/1/18  
THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

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September 10, 2021

CERTIFIED MAIL

Maureen L. O'Leary Esq  
7044 S. Ballpark Dr.  
Suite #300  
Franklin, WI 53132

Re: Landfill Gas Pipeline on Ballpark Commons LLC property at Loomis and Rawson

To Whom it Concerns:

Please see attached letters regarding the placement of improvements over the Landfill Gas Pipeline. The District has worked with your construction people for several years in good faith, and now that the project was built without moving the pipeline, our requests are being ignored. Quite simply, the operating rules of the District require that any construction above District owned facilities or on District owned easements be approved in advance of construction.

We are once again attempting to work with you by offering to retroactively review the plans which should have been submitted before construction. If acceptable the written permission will be recorded for your protection. **YOUR ATTENTION TO THIS MATTER IS REQUIRED.** Please contact me with any questions. Thank you.

Sincerely,

Michael Hirsch  
MMSD Real Estate Supervisor  
414-225-2096

cc: City of Franklin, Planning Department





## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of September 23, 2021

## Minor PDD Amendment

---

**RECOMMENDATION:** City Development staff recommends approval of the Minor PDD Amendment subject to the conditions of approval in attached draft Ordinance.

---

<b>Project Name:</b>	Woodland Trails Façade Changes – Minor PDD Amendment
<b>Project Address:</b>	9301, 9325, 9337, 9363, 9375, 9399, and 9411 Cobblestone Way
<b>Applicant:</b>	Woodland Trails Condominium Association Inc.
<b>Property Owner:</b>	Woodland Trails Condominium Association Inc.
<b>Current Zoning:</b>	Planned Development District No. 25
<b>2025 Comprehensive Plan:</b>	Commercial
<b>Use of Surrounding Properties:</b>	R-8 Multiple Family Residence District to the North; R-3 Suburban/Estate Single-Family Residence District and Planned Development District 30 to the East; B-2 General Business District, M-1 Limited Industrial District, and R-8 to the South; and B-3 Community Business District, C-1 Conservancy District, R-8, and P-1 Park District to the West.
<b>Applicant’s Action Requested:</b>	Recommendation to the Common Council for approval of the proposed Minor PDD Amendment.
<b>Planner:</b>	Marion Ecks, Associate Planner

---

On April 9, 2021, the Woodland Trails Condominium Association Inc. submitted a request for a Minor PDD Amendment to Planned Development District Number 25 to the Department of City Development. The application was deemed complete on June 8, 2021. The applicant is seeking to amend the PDD to allow for the replacement of failing Ohio Cobblefield Cultured Stone with Hardie Plank.

**ANALYSIS:**

The applicant is requesting to alter the facades and trim of X of Y units in the development, due to the faulty installation of Ohio Cobblefield Cultured Stone siding material, resulting in leaks and other structural damage.

PDD 25 includes design standards that require that all facades shall have a minimum of 50% Ohio Cobblefield Cultured Stone, not including doors, windows, gutters, roof, and eaves (Ordinance No. 98-1491 Section E.8.a) The applicants are requesting to amend this section to allow for a maximum amount of 5% of cobblestone to remain on each building. They would like to install

100% Hardie Plank replace the stone-look siding that encloses living spaces, and retain stone on decorative exterior elements such as archways.

Staff suggests that each façade being revised should have Ohio Cobblefield Cultured Stone or other similar decorative cobblestone at the base to a height equal to the center of the first-floor windows, and to retain a stone-look window sill and lintel that match other buildings in the development.

Ordinance No. 98-1491 Section E.8 requires Architectural Board approval of all building plans prior to issuance of building permits. The applicants must coordinate accordingly with the Inspection Services department.

**CONCLUSION:**

City Development staff recommends approval of the Minor PDD Amendment subject to the conditions of approval in attached draft Ordinance.



STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

*[Draft 9-16-21; redraft 9-17-21]*

ORDINANCE NO. 2021-\_\_\_\_\_

AN ORDINANCE TO AMEND §15-3.0430 OF THE UNIFIED DEVELOPMENT ORDINANCE, PLANNED DEVELOPMENT DISTRICT NO. 25 (WOODLAND TRAILS CONDOMINIUMS-BURKE PROPERTIES) TO ALLOW FOR FAÇADE CHANGES WITHIN THE WOODLAND TRAILS CONDOMINIUMS COMPLEX (WOODLAND TRAILS CONDOMINIUM ASSOCIATION, INC., APPLICANT) (9301, 9325, 9337, 9363, 9375, 9399 AND 9411 COBBLESTONE WAY)

---

WHEREAS, §15-3.0430 of the Unified Development Ordinance provides for and regulates Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties), same having been created by Ordinance No. 1998-1491 and later amended by Ordinance Nos. 1999-1535, 2000-1602, 2003-1768, 2006-1875, 2006-1896, 2007-1927 and 2007-1928; and

WHEREAS, Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties) includes those lands legally described as follows:

Parcel 1, Parcel 2, Parcel 3, and Outlot 1 of CSM 6924, being that part of the Northeast ¼, Northwest ¼, Southeast ¼, and Southwest ¼ of the Southwest ¼ of Section 23, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, State of Wisconsin, excluding the following described lands:

All that part of the Southwest ¼, Southwest ¼, of Section 23, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, State of Wisconsin, Bounded and Described as follows: Beginning At The Southwest Comer Of Said Outlot 1 Of Certified Survey Map No. 6924; Thence North 88° 22' 14" East, Along The North Line Of West Ryan Road, 250.89 Feet To A Point In The Centerline Of The Drainage-Way; Thence North 11° 52' 24" West Along Said Centerline, 77.10 Feet To A Point; Thence North 37° 14' 01" West, Along Said Centerline, 40.06 Feet To A Point; Thence North 48° 41' 11" West, Along Said Centerline, 52.59 Feet To A Point; Thence North 34° 16' 56" West, Along Said Centerline, 61.84 Feet To A Point; Thence North 59° 37' 34" West, Along Said Centerline, 39.25 Feet To A Point; Thence North 31 ° 46' 33" West, Along Said Centerline, 41.93 Feet To A Point; Thence North 78° 21' 35" West, Along Said Centerline, 51.31 Feet To A Point; Thence North 61 ° 10' 45" West, Along Said Centerline, 35.91 Feet To A Point Along The West Line Of Outlot 1 Of Certified Survey Map No. 6924; Thence South 00° 15' 49" East Along Said West Line, 283.44 Feet To The

Point Of Beginning. Said Lands Being A Part Of Outlot (1), Certified Survey  
Map No. 6924.

WHEREAS, Woodland Trails Condominium Association, Inc. having petitioned for a further amendment to Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties), to replace the existing cobblestone façades with HardiePlank siding panel and to replace the windows on seven buildings within the condominium complex; and

WHEREAS, the City of Franklin Plan Commission having considered the application on the 9th day of September, 2021, and the Plan Commission having determined that the proposed amendment was a minor amendment and having recommended to the Common Council that the proposed amendment to Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties) be approved; and

WHEREAS, the Common Council having considered the application and having concurred with the recommendation of the Plan Commission and having determined that the proposed amendment to Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0430 Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties), of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows: Ordinance No. 98-1491, Section 13.28 E.8., pertaining to façades and windows, is hereby amended to allow for replacement of the existing cobblestone façades with HardiePlank siding panel and to replace the windows on seven buildings within the condominium complex, which shall be located and constructed, and appear as respectively depicted upon and pursuant to those plans City file-stamped \_\_\_\_\_, 2021, attached hereto and incorporated herein.

SECTION 2: The proposed Woodland Trails Condominiums façade and windows replacement shall be completed within one year from the date of adoption of this Ordinance, or this Ordinance and all rights and approvals resulting therefrom shall be null and void without any further action by the City of Franklin.



SECTION 3: Woodland Trails Condominium Association, Inc., successors and assigns and any developer of the Woodland Trails Condominiums façade and windows replacement project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Woodland Trails Condominiums façade and windows replacement project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

SECTION 4: All other applicable terms and provisions of §15-3.0430 Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties) not inconsistent with the terms of this Ordinance, and the Unified Development Ordinance of the City of Franklin, as amended from time to time, shall apply to the Woodland Trails Condominiums façade and windows replacement project, and all terms and provisions of §15-3.0430 Planned Development District No. 25 (Woodland Trails Condominiums-Burke Properties) as existing immediately prior to the adoption of this Ordinance and not amended by this Ordinance, shall remain in full force and effect.

SECTION 5: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 6: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 7: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021, by Alderman \_\_\_\_\_.

ORDINANCE NO. 2021-\_\_\_\_\_

Page 4

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

---

Stephen R. Olson, Mayor

ATTEST:

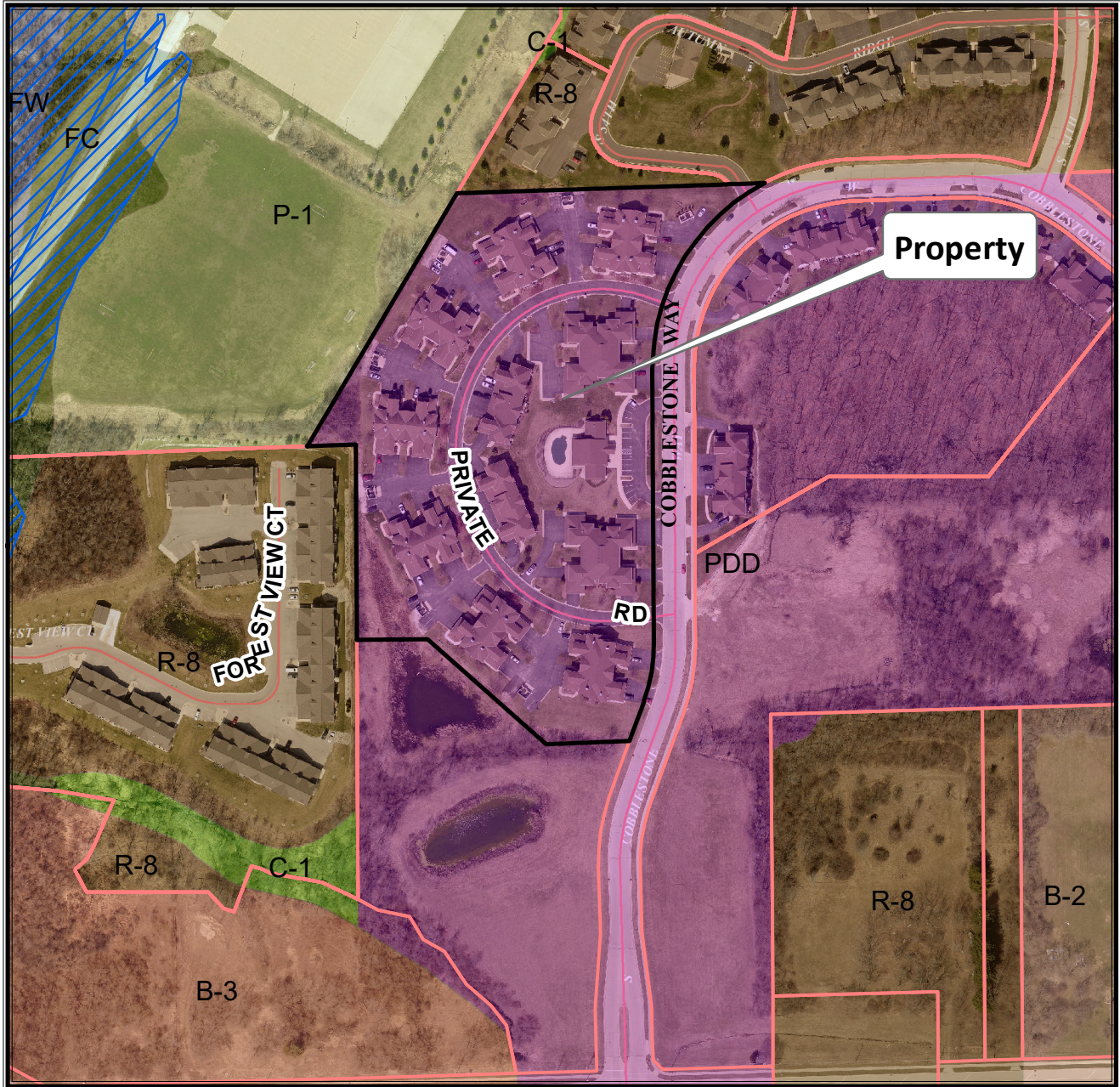
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Sandra L. Wesolowski, City Clerk

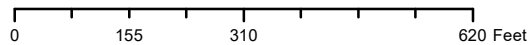
AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



9301-9411 Cobblestone Way  
TKN: 882 0140 000

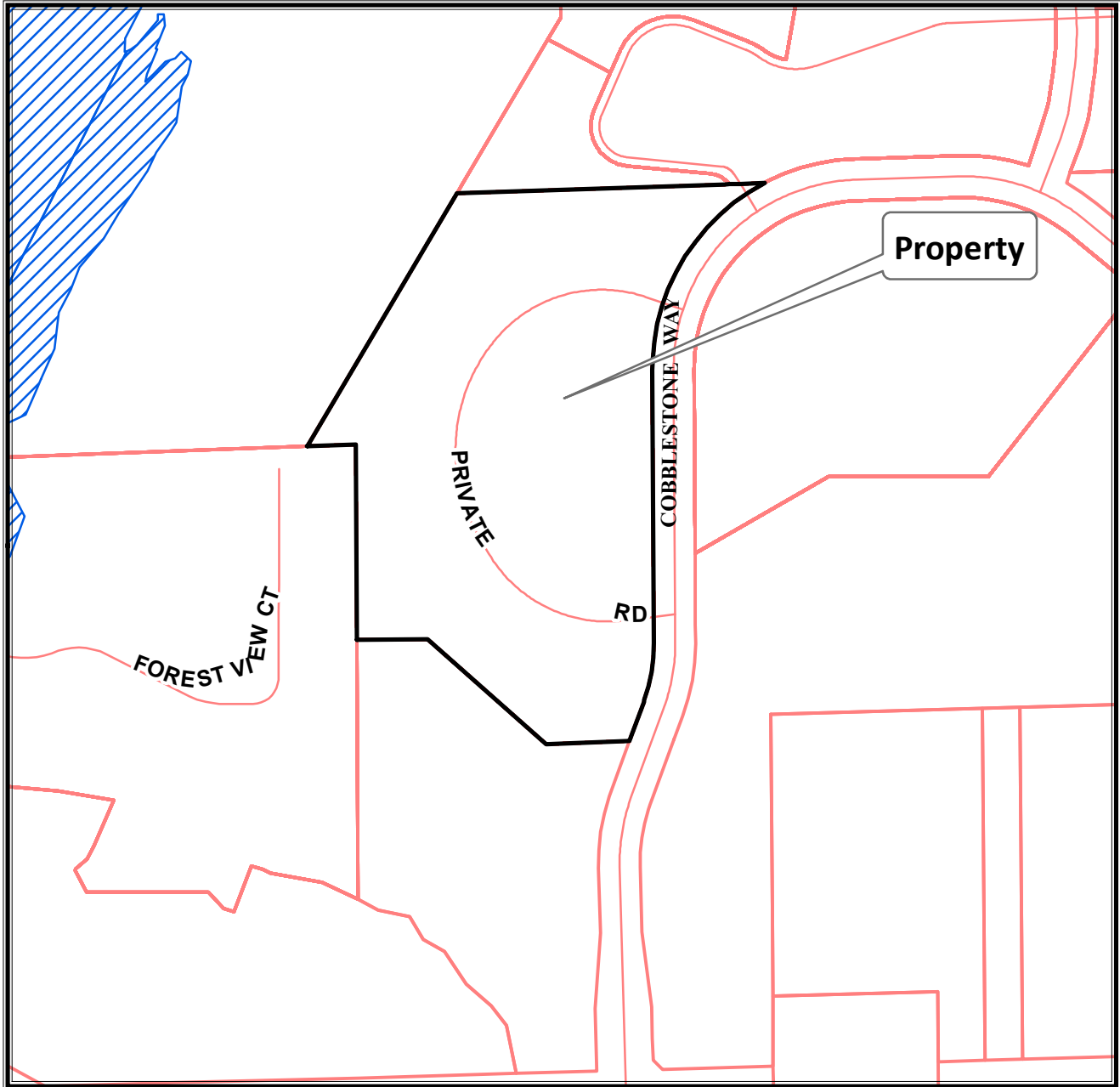


**Planning Department**  
**(414) 425-4024**

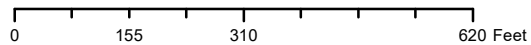


*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

9301-9411 Cobblestone Way  
TKN: 882 0140 000



**Planning Department**  
**(414) 425-4024**



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**NORTH**  
2021 Aerial Photo





Date: September 9, 2021

To: City of Franklin Department of City Development

From: Jeff Zarka President

Woodland Trails Façade Changes – Minor PDD Amendment

To Whom this may Concern

In response to the City of Franklin email response dated August 18, 2021 in which the department requested a clarification in 2 items. Our response is as follows.

Item 1 : We are request a maximum amount of 5% of cobblestone remain on each building. This is the stone that is an archway into the condo buildings. This cobblestone is not located in any living space so if when the water penetrates the stone we do not have any leakage into a living space. We will have 100% Hardie Plank replace the stone that borders the living space.

Item 2: We will coordinate with the inspection service department



04/09/21

My name is Kevin Theissen and I am a board member for Woodland Trails Condominiums Association. We would like to change the cobble stone materials on our 7 oldest buildings and install a hardie plank siding panel in lieu of cobblestone.. This is being done due to the fact the cobblestone was originally install incorrectly and now we are experiencing water leaks and rotten ply wood behind the stone. We have had a professional engineer inspect the area and this is what's been uncovered. (Please see attached report). It is our intent to leave the stone arches and entrance as we want to have some natural material that is original to the building and not causing problems remain. The association took a look at the hardie plank because of the new crisp look it will bring to the buildings and was affordable it also enhanced the beauty of the buildings. We feel the panel type hardie plank proposed is a more fitting look to the buildings. We also plan to replace the windows that are within the cobblestone façade because removing the stone will damage the window fins. We plan on doing this work on 7 buildings with those addresses as follows 9301, 9375, 9399, 9411, 9363, 9370 and 9325 South Cobblestone Way. The following is a summation of the work being completed. The buildings effected are the oldest buildings in the complex are not like the newer buildings which have a masonry, vinyl siding exterior.

Demo all exterior wall stone veneer down to studs. Remove stone, mesh, grout and sheathing

Sheathing & insulation (Furnish and Install)

Zip system sheathing at all walls

Flashing tape at all board joints, corners and returns

1-1/2" foam insulation boards

Hardie Panels (Furnish and Install)

James Hardie prefinished smooth panel siding on the exterior of the building on four sides not including the arch ways. COLOR Monterey Taupe (See Sample)

Tamlyn vertical and horizontal trim where panel siding meets panel siding

Tamlyn aluminum outside corner trim and inside corner trim per drawings

2 x 2 treated furring strips

Prefinished j-channel where panel siding meets the window jambs and window sills

Window head flashing

Exterior caulking where panel siding meets the masonry, window jambs and sills

Installation of new windows within the cobblestone area.



TYP PANEL

LAY OUT

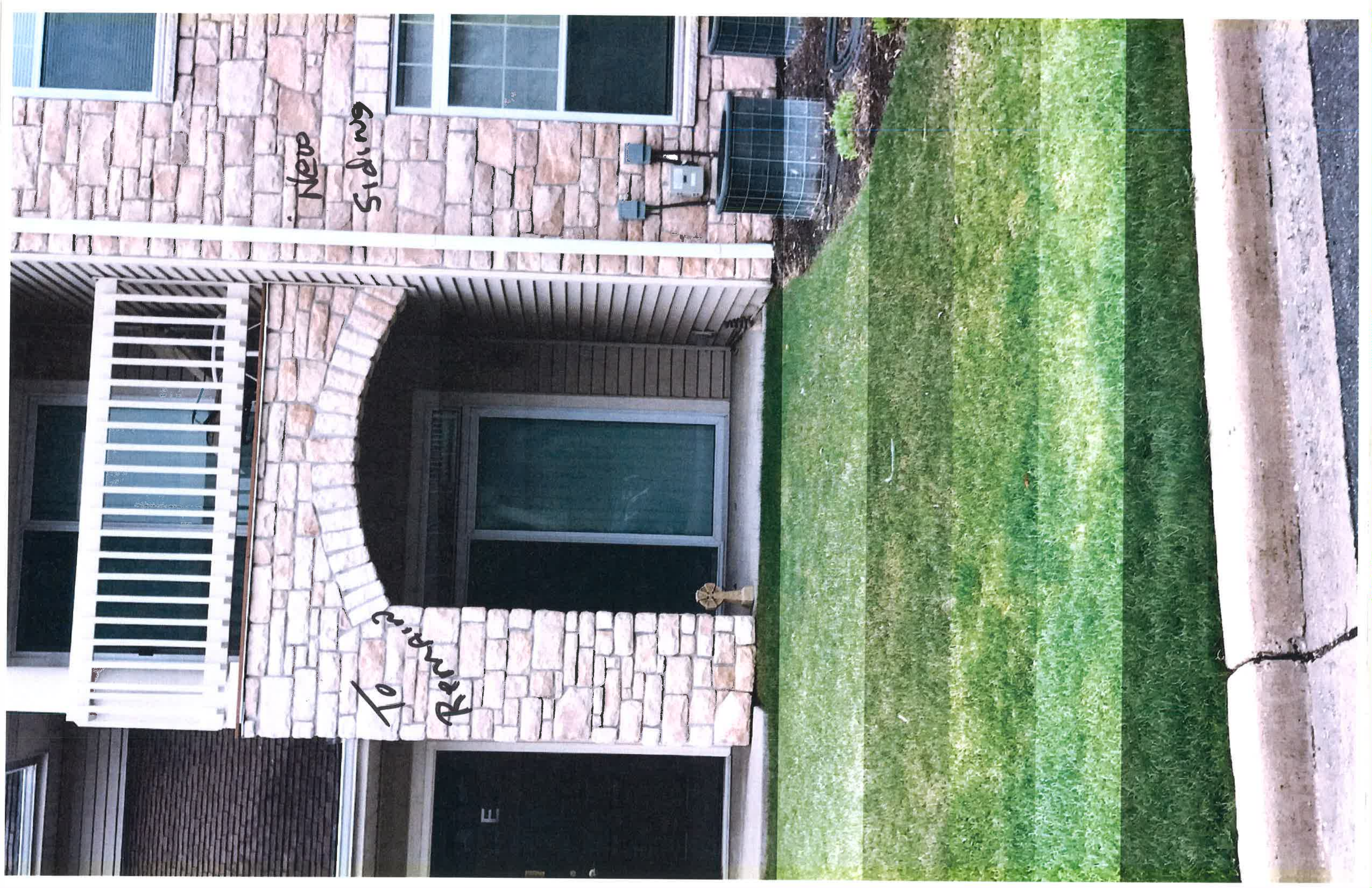




Typ Panel  
Layout







New  
Siding

To  
Remain





NEW SIDING  
SIDING SIDING  
SIDING TYP

9411





New  
Siding

&

Whisper

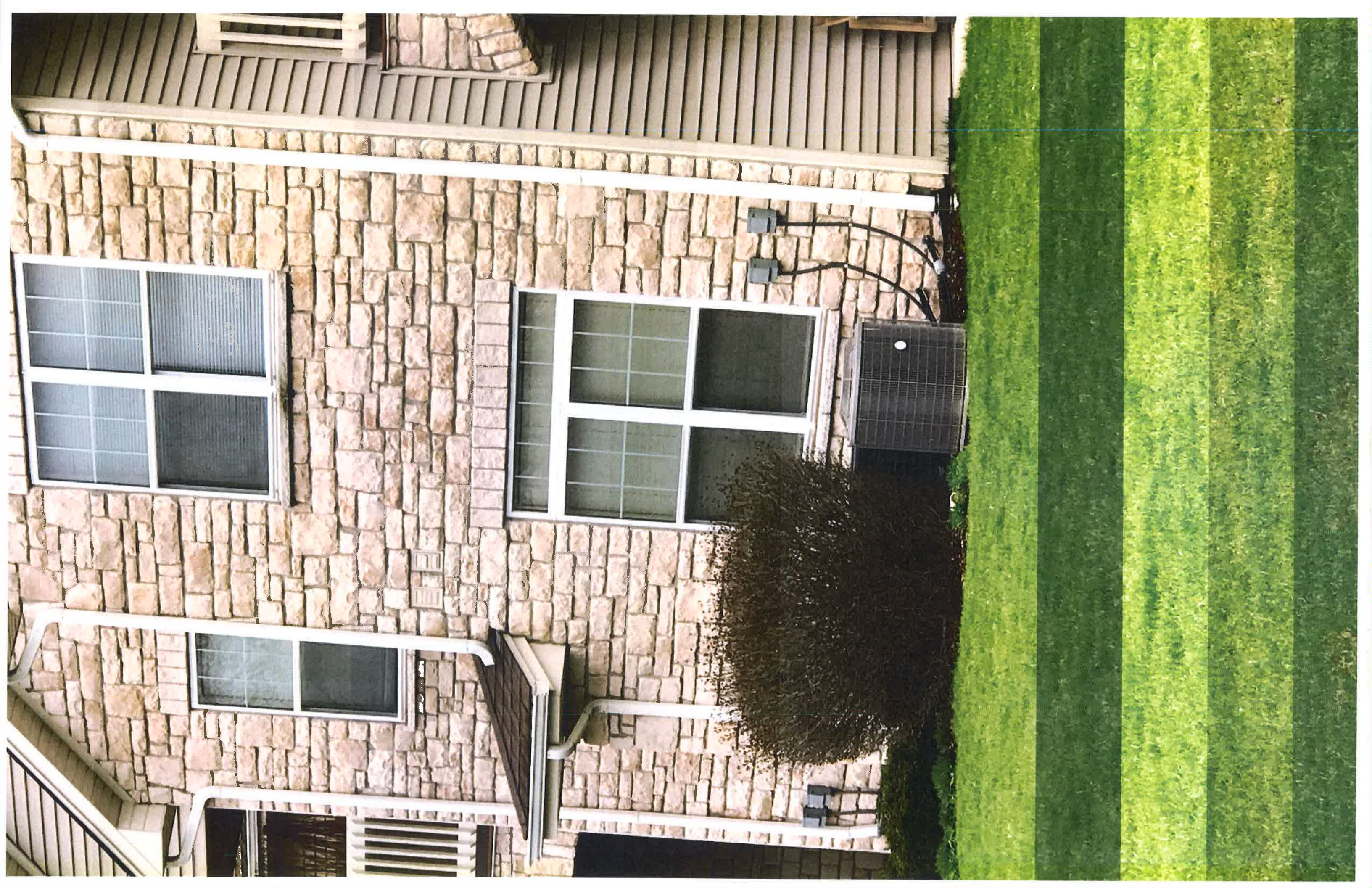
tile

To Remain





















1

## HardiePlank® **HL5** Lap Siding

Select Cedarmill® with ColorPlus® Technology

### MONTEREY TAUPE


- Engineered for Climate®
- Flame resistant
- Superior finish durability and fade resistance
- Long-lasting beauty
- Use the full ColorPlus palette to create hundreds of color combinations

488

Building character is what we do.

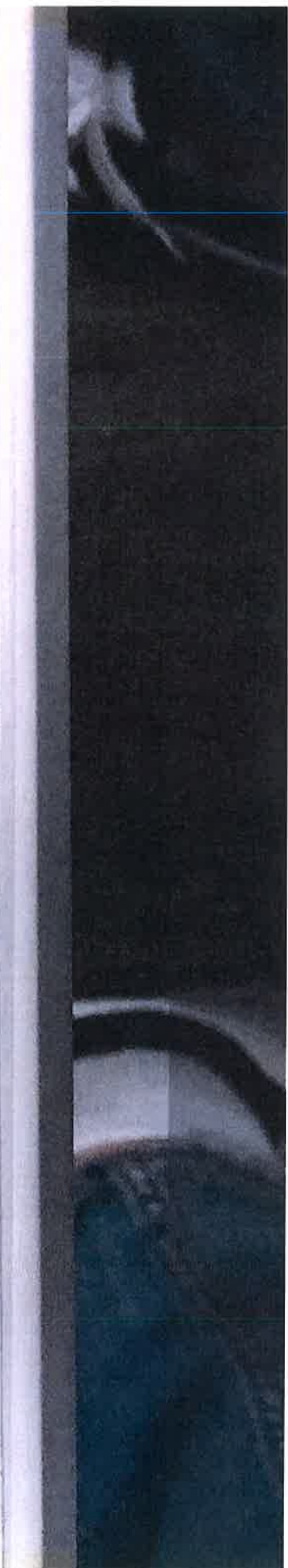
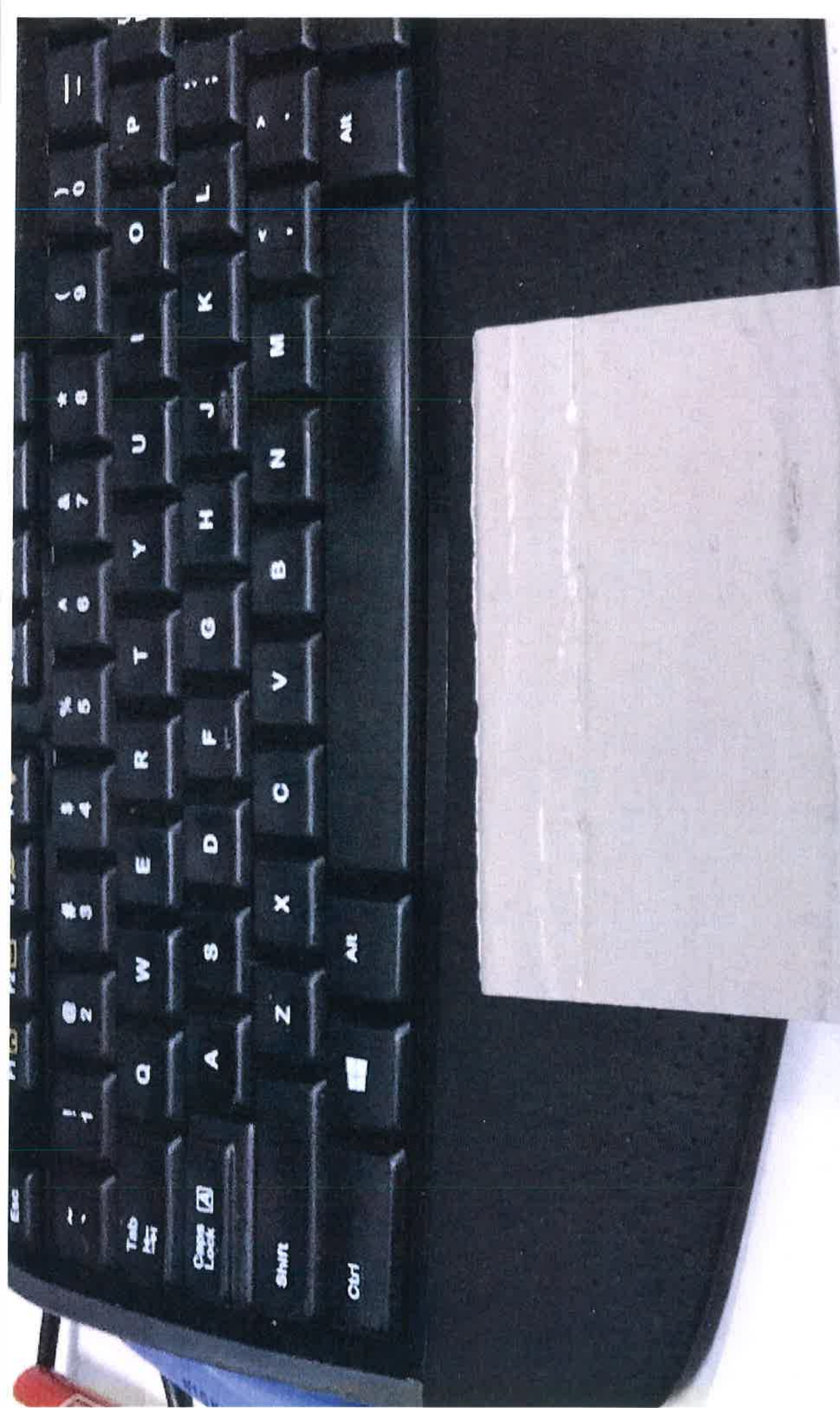


**JamesHardie**

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HS1128 5/14









## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of September 23, 2021

## Special Use/Site Plan Time Extension

**RECOMMENDATION:** City Development staff recommends approval of a 1-year time extension for the previously approved Special Use and Site Plan, subject to the conditions in attached draft resolution.

<b>Project Name:</b>	Time extension for Strauss Brands, Inc.
<b>Project Address:</b>	Ryan Meadows Lot 83 (Tax Key No. 891-1083-000)
<b>Owner:</b>	Strauss Brands, LLC
<b>Zoning:</b>	M-1 Limited Industrial District
<b>2025 Comprehensive Plan:</b>	Business Park
<b>Use of Surrounding Properties:</b>	Loomis Road and residential lots zoned R-8 to the north, future Monarch Drive and vacant M-1 zoned land to the east, Copart to the south and vacant land zoned R-2 to the west.
<b>Applicant Action Requested:</b>	Approval of requested 1-year extension for approved Site Plan and recommendation of approval to the Common Council of the requested 1-year time extension for the Special Use

On October 8, 2020, the Plan Commission conditionally approved the Site Plan for Strauss Brands, Inc. to construct a 152,035 square foot meat packing plant, along with a recommendation for approval of a Special Use for the same facility, as required in the M-1 Limited Industrial District. Plan Commission Resolution No. 2020-024 reflecting the Site Plan approval is attached.

On November 2, 2020, the Common Council conditionally approved a Special Use for the SIC No. 2011, Meat Packing Plants, authorizing the use of the property for Strauss Brands, Inc. proposed operation. Attached is Common Council Resolution 2020-7681 as recorded with the Milwaukee County Register of Deeds.

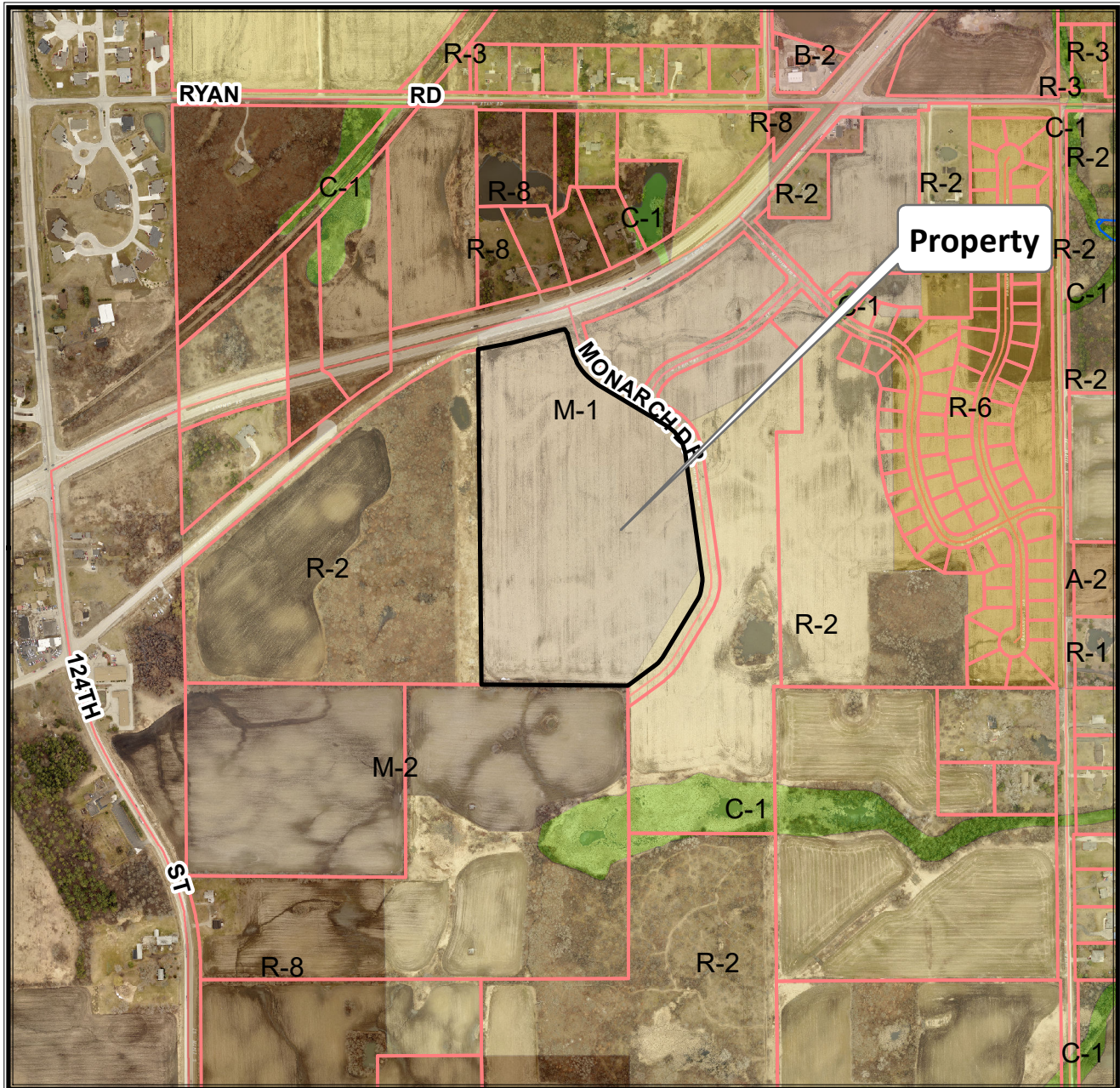
Condition No. 3 of the above-referenced Plan Commission resolution states the expiration of the Site Plan approval within one year from the date of adoption, which would be midnight on October 7, 2021, or the approval “shall be null and void, without any further action by the City of Franklin.”

It should be noted that the Site Plan approval is conditional (as per Condition No. 5 of the Plan Commission resolution) on the approval of the Special Use. The Special Use approval under Common Council Resolution No. 2020-7681 expires at midnight on November 1, 2021, and this approval is currently under legal challenge. Until the legal challenge is concluded, the applicant is not able to begin construction. Therefore, an extension of both approvals is a reasonable expectation.

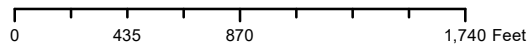
**CONCLUSION:**

City Development staff recommends approval of a 1-year time extension for a previously approved Site Plan (Plan Commission Resolution No. 2020-024) and Special Use (Common Council Resolution No. 2020-7681), subject to the conditions outlined in the attached resolution.



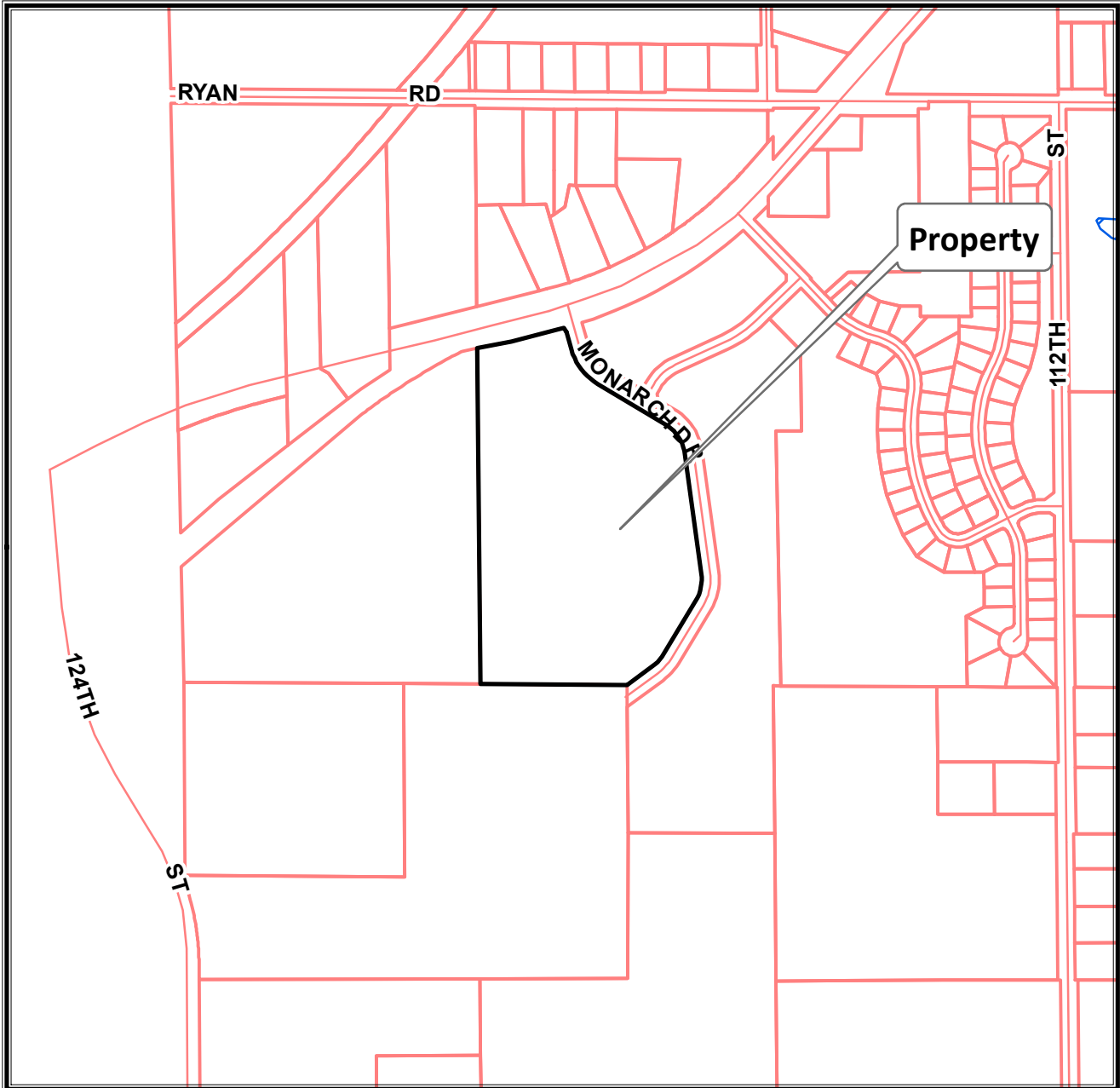


**Planning Department**  
**(414) 425-4024**

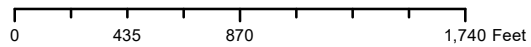


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TKN: 891 1083 000



**Planning Department**  
**(414) 425-4024**



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## RESOLUTION NO. 2020-024

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION OF A MEAT PROCESSING FACILITY WITH ASSOCIATED CATTLE PEN, A HARVEST FLOOR, CARCASS COOLERS, FABRICATION AREAS, PACKAGING AREAS, WAREHOUSE AREAS, SHIPPING DOCKS, OPERATIONS OFFICES, EMPLOYEE WELFARE SPACES, ASSOCIATED MECHANICAL SUPPORT FACILITIES AND SPACES, A FUTURE DEVELOPMENT AREA, STORMWATER PONDS, PARKING LOT AND TRUCK AND EMPLOYEE VEHICLE ENTRANCE DRIVES  
(THE SOUTHWEST CORNER OF THE INTERSECTION OF WEST LOOMIS ROAD AND THE NEW MONARCH DRIVE (LOT 83 OF RYAN MEADOWS SUBDIVISION)  
(STRAUSS BRANDS LLC, APPLICANT)

---

WHEREAS, Strauss Brands LLC having applied for approval of a proposed site plan for construction of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces, associated mechanical support facilities and spaces [the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) (the site is designed to detain all stormwater on-site in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings)], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision (approximately 30.2 acres)); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 152,035 square foot meat processing facility designed to process 250 to 500 head of cattle per day, including cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces, associated mechanical support

STRAUSS BRANDS LLC – SITE PLAN

RESOLUTION NO. 2020-024

Page 2

facilities and spaces [the proposed Site Plan includes a building positioned north/south on the site (roughly centered on the site) with employee/visitor parking on the east side of the building (280 spaces) and an access drive located along the south, west, and north sides of the building for truck traffic, with all access to the site via Monarch Drive (two access drives will be provided, one for employee auto parking and one for truck receiving and shipping) (the western portion of the site is identified as future building expansion area) (the site is designed to detain all stormwater on-site in three (3) detention ponds; the ponds are designed with a capacity to accommodate the future phases of work as indicated on the site drawings)], property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision (approximately 30.2 acres)) as depicted upon the plans dated September 28, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Strauss Brands LLC meat processing facility dated September 28, 2020.
2. Strauss Brands LLC, successors and assigns, and any developer of the Strauss Brands LLC meat processing facility construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Strauss Brands LLC meat processing facility construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Strauss Brands LLC meat processing facility construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Strauss Brands LLC meat processing facility construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. This Site Plan is conditioned upon the approval of a Special Use to allow for meat packing plants.



STRAUSS BRANDS LLC – SITE PLAN  
RESOLUTION NO. 2020-024  
Page 3

Introduced at a regular meeting of the Plan Commission of the City of Franklin this 8th day of October, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this 8th day of October, 2020.

APPROVED:

  
\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

  
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES 4 NOES 1 (Haley) ABSTENTION 1 (Burckhardt)

10



**RESOLUTION 2020-7681**

Document Number

DOC # 11057644  
RECORDED:  
12/17/2020 02:22 PM  
ISRAEL RAMON  
REGISTER OF DEEDS  
MILWAUKEE COUNTY, WI  
AMOUNT: 30.00

Recording Area

**Name and Return Address**

Shirley J. Roberts, Deputy City  
Clerk  
City of Franklin  
9229 West Loomis Road  
Franklin, Wisconsin 53132

**891-1083-000**

Parcel Identification Number (PIN)

This information must be completed by submitter: document title, name & return address, and PIN (if required). Other information such as the granting clause, legal description, etc., may be placed on this first page of the document or may be placed on additional pages of the document.

WRDA Rev. 12/22/2010



## RESOLUTION NO. 2020-7681

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR  
THE APPROVAL OF A SPECIAL USE FOR A MEAT PROCESSING FACILITY  
USE UPON PROPERTY LOCATED AT THE SOUTHWEST CORNER OF THE  
INTERSECTION OF WEST LOOMIS ROAD AND THE NEW MONARCH DRIVE  
(LOT 83 OF RYAN MEADOWS SUBDIVISION)  
(STRAUSS BRANDS LLC, APPLICANT)

---

WHEREAS, Strauss Brands LLC having petitioned the City of Franklin for the approval of a Special Use within an M-1 Limited Industrial District under Standard Industrial Classification Title No. 2011 "Meat Packing Plants" to allow for construction of a 152,035 square foot (total building footprint of the single-story building) meat processing facility (Phases I and II (staffed by approximately 261 employees in the production area and 11 employees in the office area)) designed to process 250 to 500 head of cattle per day, which will include cattle pens, a harvest floor, carcass coolers, fabrication areas, packaging areas, warehouse areas, shipping docks, operations offices, employee welfare spaces and associated mechanical support facilities and spaces, upon property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision, approximately 30.2 acres), bearing Tax Key No. 891-1083-000, more particularly described as follows:

Parts of Lot 1 and Outlot 1, of Certified Survey Map No. 9095 as recorded in the register of deeds office for Milwaukee County as Document No. 10830741, being a part of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows: Commencing at the southwest corner of the Northwest 1/4 of said Section 30; thence South 89°39'32" East along the south line of said Northwest 1/4, 1345.74 feet to the southwest corner of Lot 1 Certified Survey Map No. 9095 and the Point of Beginning; Thence North 00°34'12" West, along the west line of said Lot 1, 1523.10 feet to the southerly line of said right-of-way of West Loomis Road; thence North 79°00'41" East along the southerly line of said right-of-way, 156.97 feet; thence North 75°45'51" East along the southerly line of said right-of-way, 215.80 feet to a point of curvature; thence northeasterly along the southerly line of said right-of-way, 30.51 feet along the arc of said curve to the left, whose radius is 1979.86 feet and whose chord bears North 75°19'22" East, 30.51 feet; thence South 29°08'47" East, 22.47 feet; thence South 16°09'38" East, 83.27 feet to a point of curvature; thence southeasterly 198.68 feet along the arc of said curve to the left, whose radius is 265.00 feet and whose chord bears South 37°38'23" East, 194.06 feet; thence South 59°07'06" East, 356.12 feet to a point of curvature; thence southeasterly 170.14 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears South 33°27'51" East, 164.52 feet; thence South 07°48'36" East, 543.63 feet to a point of curvature; thence southwesterly 128.99 feet along the arc of said

curve to the right, whose radius is 190.00 feet and whose chord bears South 11°38'18" West, 126.52 feet; thence South 31°05'13" West, 282.33 feet to a point of curvature; thence southwesterly 75.12 feet along said curve to the right, whose radius is 190.00 feet and whose chord bears South 42°24'51" West, 74.64 feet; thence South 53°44'29" West, 143.69 feet to the south line of said Northwest 1/4; thence North 89°39'32" West along said south line, 662.99 feet to the Point of Beginning. Containing 1,316,168 square feet (30.2151 acres) of land, more or less; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 17th day of September, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Strauss Brands LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Strauss Brands LLC, successors and assigns, as a meat processing facility use, which shall be developed in substantial compliance with, and operated and maintained by Strauss Brands LLC, pursuant to those plans City file-stamped September 28, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. Strauss Brands LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Strauss Brands LLC meat processing facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.



STRAUSS BRANDS LLC – SPECIAL USE

RESOLUTION NO. 2020-7681

Page 3

3. The approval granted hereunder is conditional upon Strauss Brands LLC and the meat processing facility use for the property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision): (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Hours of livestock delivery shall be between the hours of 1:00 AM to 1:00 PM, Monday thru Friday, unless unforeseen conditions occur. Hours of operation for the harvest area shall be from 5:00 AM to 6:00 PM, Monday thru Friday. These conditions shall not apply to fabrication, grinding, maintenance, cleaning, and administrative activities which can operate 24 hours per day, Monday thru Saturday.
5. No outside storage of supplies and/or equipment shall be permitted.
6. No livestock shall be kept outside the buildings.
7. No livestock shall be kept on the premise overnight except when requested by state or federal inspector.
8. A maximum of 14 empty livestock trucks shall be permitted to park on the premise overnight.
9. No livestock trucks shall be washed or cleaned on the premise.
10. All processing waste shall be removed from the premise daily.
11. Removal of snow from private parking lots, walks and access drives shall be the responsibility of the owner.
12. A site plan amendment shall be required for the future building expansion areas, future truck maintenance facility, future parking and future driveways.
13. This Special Use is not approving any signs, signage requires a separate permit from the Inspection Services Department prior to installation.
14. The applicant shall prepare conservation easements for all protected natural resource features for staff review and Common Council approval, and recording with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.
15. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.
16. The minimum required off-street parking is 280 parking stalls.

STRAUSS BRANDS LLC – SPECIAL USE

RESOLUTION NO. 2020-7681

Page 4

17. The maximum driveway width is 28 feet for the employee parking lot and 48 feet for the truck entrance.
18. The maximum height is 8 feet for chain link fences and 10 feet for masonry walls, measured from grade.
19. The cattle barns and harvest areas shall be ventilated to dissipate odors. Trucks and trailers used to remove remainder animal wastes shall be loaded in enclosed dock areas to reduce spread of odors.
20. In the event of obnoxious odors detected off the premise, the Department of City Development shall immediately notify the operator and the federal or state inspector assigned to the facility.
21. The applicant, successors and assigns, shall implement sound control devices, including, but not limited to additional chimneys or baffles, to reduce the sound from exhaust and ventilation fans to a maximum of 65 decibels at the ground level adjacent to the building.
22. The applicant, successors and assigns, shall mitigate truck traffic noise and impact by installing a 5-foot high landscape berm on the east side of the livestock loading area to provide additional screening and sound deflection.
23. The applicant, successors and assigns, shall further mitigate truck traffic noise and impact by increasing the height of the berm along the north property line by an average of 2 feet over that shown on the existing approved site plan. This berm shall be designed to appear natural.
24. The applicant, successors and assigns, shall submit a revised Landscape Plan which shows the approved changes to berms and landscape buffers as provided in Conditions 22. and 23., above.
25. The applicant, successors and assigns, shall establish and maintain a citizen complaint procedure, in which concerned residents contact a designated representative of the applicant, successors or assigns, and provide details of any complaints. The applicant, successors and assigns, shall compile any and all complaints and submit a monthly report of the complaints to the City Health Department, along with any actions taken. This procedure shall be in addition to current coordination with the City Health Department regarding complaints and coordinating responses thereto.

BE IT FURTHER RESOLVED, that in the event Strauss Brands LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and



STRAUSS BRANDS LLC – SPECIAL USE

RESOLUTION NO. 2020-7681

Page 5

failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

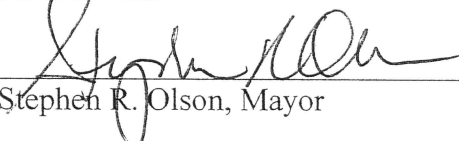
BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of a building permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this 2nd day of November, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 2nd day of November, 2020.

APPROVED:

  
\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

  
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES 4

NOES 3

ABSENT 0











## RESOLUTION NO. 2021-\_\_\_\_\_

A RESOLUTION TO AMEND RESOLUTION NO. 2020-7681, A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR A MEAT PROCESSING FACILITY USE UPON PROPERTY LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF WEST LOOMIS ROAD AND THE NEW MONARCH DRIVE (LOT 83 OF RYAN MEADOWS SUBDIVISION) (STRAUSS BRANDS LLC, APPLICANT), TO EXTEND THE TIME FOR COMMENCEMENT OF THE SPECIAL USE DEVELOPMENT

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WHEREAS, the Common Council having adopted Resolution No. 2020-7681, A Resolution Imposing Conditions and Restrictions for the Approval of a Special Use for a Meat Processing Facility Use Upon Property Located at the Southwest Corner of the Intersection of West Loomis Road and the New Monarch Drive (Lot 83 Of Ryan Meadows Subdivision) (Strauss Brands LLC, Applicant), on November 2, 2020; and

WHEREAS, Resolution No. 2020-7681 provides in a FURTHER RESOLVED provision that “pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of a building permit for such use”; and

WHEREAS, §15-9.0103G. of the Unified Development Ordinance provides “[i]n any case where a special use has not been established within one year after the date of granting thereof, then without further action by the Plan Commission or the Common Council, the special use authorization shall be null and void. The criteria for determining establishment of a special use may be set forth by the Common Council in the approving Special Use Resolution”; and §15-3.0701G. of the Unified Development Ordinance provides “[s]ubject to an extension of time granted by the Common Council, upon recommendation of the Plan Commission, no Special Use Permit shall be valid for a period longer than one year unless a Building Permit is issued and construction is actually begun within that period and is thereafter diligently pursued to completion or unless a Zoning Compliance Permit is issued and a use commenced within that period”; and

WHEREAS, the subject Special Use development is a subject in the litigation matter *Franklin Community Advocates, et al. v. City of Franklin, and Strauss Brands, LLC*, Milwaukee County Circuit Court Case No. 20-CV-7031, which litigation matter is in process and pending at this time; and

WHEREAS, the subject Special Use development is to be upon property located at the southwest corner of the intersection of West Loomis Road and the new Monarch Drive (Lot 83 of Ryan Meadows Subdivision, approximately 30.2 acres), bearing Tax Key No. 891-1083-000, more particularly described as follows:

Parts of Lot 1 and Outlot 1, of Certified Survey Map No. 9095 as recorded in the register of deeds office for Milwaukee County as Document No. 10830741, being a part of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows: Commencing at the southwest corner of the Northwest 1/4 of said Section 30; thence South 89°39'32" East along the south line of said Northwest 1/4, 1345.74 feet to the southwest corner of Lot 1 Certified Survey Map No. 9095 and the Point of Beginning; Thence North 00°34'12" West, along the west line of said Lot 1, 1523.10 feet to the southerly line of said right-of-way of West Loomis Road; thence North 79°00'41" East along the southerly line of said right-of-way, 156.97 feet; thence North 75°45'51" East along the southerly line of said right-of-way, 215.80 feet to a point of curvature; thence northeasterly along the southerly line of said right-of-way, 30.51 feet along the arc of said curve to the left, whose radius is 1979.86 feet and whose chord bears North 75°19'22" East, 30.51 feet; thence South 29°08'47" East, 22.47 feet; thence South 16°09'38" East, 83.27 feet to a point of curvature; thence southeasterly 198.68 feet along the arc of said curve to the left, whose radius is 265.00 feet and whose chord bears South 37°38'23" East, 194.06 feet; thence South 59°07'06" East, 356.12 feet to a point of curvature; thence southeasterly 170.14 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears South 33°27'51" East, 164.52 feet; thence South 07°48'36" East, 543.63 feet to a point of curvature; thence southwesterly 128.99 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears South 11°38'18" West, 126.52 feet; thence South 31°05'13" West, 282.33 feet to a point of curvature; thence southwesterly 75.12 feet along said curve to the right, whose radius is 190.00 feet and whose chord bears South 42°24'51" West, 74.64 feet; thence South 53°44'29" West, 143.69 feet to the south line of said Northwest 1/4; thence North 89°39'32" West along said south line, 662.99 feet to the Point of Beginning. Containing 1,316,168 square feet (30.2151 acres) of land, more or less; and

WHEREAS, the Plan Commission and the Common Council having reviewed the subject Special Use development with regard to the pending litigation, and the Common Council having determined it fair and reasonable to provide an extension of time for commencement of the Special Use development under circumstances currently present and pending.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that Resolution No. 2020-7681, A Resolution Imposing Conditions and Restrictions for the Approval of a Special Use for a Meat Processing Facility Use Upon Property Located at the Southwest Corner of the Intersection of West Loomis Road and the New Monarch Drive (Lot 83 Of Ryan Meadows Subdivision) (Strauss Brands LLC, Applicant), be and the same is hereby amended, specifically and only with regard to the fourth FURTHER



RESOLVED provision stated therein, which provision is immediately prior to the FINALLY RESOLVED provision on Page 5 of the Resolution, to state as follows: “BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under Resolution No. 2020-7681 adopted on November 2, 2020, be and the same is hereby granted an extension of time for the commencement of the Special Use development, which extension of time granted hereunder shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of a building permit for such use.”

BE IT FURTHER RESOLVED, that all terms and conditions of Resolution No. 2020-7681, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_ day of \_\_\_\_\_, 2021.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_ NOES \_\_\_ ABSENT \_\_\_

## RESOLUTION NO. 2021-\_\_\_\_\_

A RESOLUTION TO AMEND RESOLUTION NO. 2020-024, A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION OF A MEAT PROCESSING FACILITY WITH ASSOCIATED CATTLE PEN, A HARVEST FLOOR, CARCASS COOLERS, FABRICATION AREAS, PACKAGING AREAS, WAREHOUSE AREAS, SHIPPING DOCKS, OPERATIONS OFFICES, EMPLOYEE WELFARE SPACES, ASSOCIATED MECHANICAL SUPPORT FACILITIES AND SPACES, A FUTURE DEVELOPMENT AREA, STORMWATER PONDS, PARKING LOT AND TRUCK AND EMPLOYEE VEHICLE ENTRANCE DRIVES (THE SOUTHWEST CORNER OF THE INTERSECTION OF WEST LOOMIS ROAD AND THE NEW MONARCH DRIVE (LOT 83 OF RYAN MEADOWS SUBDIVISION) (STRAUSS BRANDS LLC, APPLICANT), TO EXTEND THE TIME FOR COMMENCEMENT OF THE SITE PLAN USE DEVELOPMENT

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WHEREAS, the Plan Commission having adopted Resolution No. 2020-024, A Resolution Approving a Site Plan for Construction of a Meat Processing Facility with Associated Cattle Pen, a Harvest Floor, Carcass Coolers, Fabrication Areas, Packaging Areas, Warehouse Areas, Shipping Docks, Operations Offices, Employee Welfare Spaces, Associated Mechanical Support Facilities and Spaces, a Future Development Area, Stormwater Ponds, Parking Lot and Truck and Employee Vehicle Entrance Drives (the Southwest Corner of the Intersection of West Loomis Road and the New Monarch Drive (Lot 83 of Ryan Meadows Subdivision) (Strauss Brands LLC, Applicant), on October 8, 2020; and

WHEREAS, Resolution No. 2020-024 provides at condition No. 4. “[t]hat the Strauss Brands LLC meat processing facility construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin”; and at condition No. 5. that “[t]his Site Plan is conditioned upon the approval of a Special Use to allow for meat packing plants”, such Special Use approval having been granted by the Common Council pursuant to Resolution No. 2020-7681 on November 2, 2020; and

WHEREAS, §15-7.0106 of the Unified Development Ordinance provides “[e]xcept in the case of approved PDD Planned Development Districts, no site plan approval shall be valid for a period longer than one year unless a Building Permit is issued and construction is actually begun within that period and is thereafter diligently pursued to completion or unless a Zoning Compliance Permit, Special Use Permit, or Occupancy Permit is issued and a use commences within that period”; and



AMEND STRAUSS BRANDS LLC – SITE PLAN  
RESOLUTION NO. 2020-024  
RESOLUTION NO. 2021-\_\_\_\_\_

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WHEREAS, the subject Special Use development upon which the Site Plan Use approval is conditioned is a subject in the litigation matter *Franklin Community Advocates, et al. v. City of Franklin, and Strauss Brands, LLC*, Milwaukee County Circuit Court Case No. 20-CV-7031, which litigation matter is in process and pending at this time; and

WHEREAS, the Plan Commission having reviewed the subject Site Plan development with regard to the pending litigation, and the Plan Commission having determined it fair and reasonable to provide an extension of time for commencement of the Site Plan Use development under circumstances currently present and pending.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that Resolution No. 2020-024, A Resolution Approving a Site Plan for Construction of a Meat Processing Facility with Associated Cattle Pen, a Harvest Floor, Carcass Coolers, Fabrication Areas, Packaging Areas, Warehouse Areas, Shipping Docks, Operations Offices, Employee Welfare Spaces, Associated Mechanical Support Facilities and Spaces, a Future Development Area, Stormwater Ponds, Parking Lot and Truck and Employee Vehicle Entrance Drives (the Southwest Corner of the Intersection of West Loomis Road and the New Monarch Drive (Lot 83 of Ryan Meadows Subdivision) (Strauss Brands LLC, Applicant), be and the same is hereby amended as to condition No. 4 to read as follows: “That the Strauss Brands LLC meat processing facility construction project Site Plan approval granted under Resolution No. 2020-024 adopted on October 8, 2020, be and the same is hereby granted an extension of time for the commencement of the Site Plan Use development, which extension of time granted hereunder shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless a Building Permit is issued and construction is actually begun within that period and is thereafter diligently pursued to completion.”; and as to condition No. 5. to read as follows: “The Site Plan Use development time extension granted hereunder is conditioned upon the approval of a grant of time extension for the Special Use approval having been granted by the Common Council pursuant to Resolution No. 2020-7681 on November 2, 2020, by the Common Council.”

BE IT FURTHER RESOLVED, that all terms and conditions of Resolution No. 2020-024, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

AMEND STRAUSS BRANDS LLC – SITE PLAN  
RESOLUTION NO. 2020-024  
RESOLUTION NO. 2021-\_\_\_\_\_  
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APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_