

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, JUNE 9, 2022, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of May 19, 2022.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **WOODFIELD TRAIL CONDOMINIUM DEVELOPMENT.** Special Use and Site Plan applications by Stephen R. Mills, President of Bear Development, LLC (Boomtown, LLC, property owner), to allow for the development of a condominium complex (Woodfield Trail), consisting of 26 dwelling units arranged in 13 side-by-side duplex structures, which will include a new cul-de-sac street connecting to West Ryan Road, with sidewalks on both sides, street trees, a landscaped berm along West Loomis Road, 3 stormwater management areas and public water and sewer service to all dwelling units, property located at 12000 West Loomis Road (15.6 acres), such property being zoned R-8 Multiple-Family Residence District; Tax Key No. 891-9011-000 [a Special Use permit is required in the R-8 Multiple-Family Residence District for all residential uses, either single-family, two-family or multi-family]. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

E. **Adjournment**

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk’s office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: June 23, 2022

**City of Franklin
Plan Commission Meeting
May 19, 2022
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the May 19, 2022, regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Patricia Hogan and Adam Burckhardt, Alderwoman Shari Hanneman and City Engineer Glen Morrow. Excused was Commissioner Kevin Haley. Also present were City Attorney Jesse Wesolowski, Principal Planner Régulo Martínez-Montilva and Associate Planner Marion Ecks.

B. Approval of Minutes

1. Regular Meeting of May 5, 2022.

Commissioner Hogan moved and Alderwoman Hanneman seconded a motion to approve the May 5, 2022, regular meeting minutes. On voice vote, all voted ‘aye’; motion carried (5-0-1).

C. Public Hearing Business Matters

1. ADMINISTRATIVE REVIEW FOR SIGN PERMITTING IN THE CITY OF FRANKLIN BUSINESS PARK (PLANNED DEVELOPMENT DISTRICT NO. 18). Planned

Development District No. 18 Ordinance Text Amendment application by the City of Franklin/Department of City Development, to streamline the sign permitting process in the Franklin Business Park (Planned Development District No. 18) by allowing for administrative review of sign permits by Department of City Development staff exclusively, without the prerequisite of an additional review and approval by the Community Development Authority (CDA).

The Official Notice of Public hearing for a Planned Development District No. 18 Ordinance Text Amendment was read in to the record by Associate Planner Marion Ecks and the Public Hearing was opened at 7:04 p.m. and closed at 7:04 p.m.

Commissioner Leon moved and Commissioner Hogan seconded a motion to recommend approval of an Ordinance to amend Planned Development District No. 18 as it pertains to the administration of sign permits, with the addition of a sentence previously discussed at CDA (Community Development Authority). On voice vote, all voted ‘aye’; motion carried. (5-0-1).

2. ANASTASIA SKIN ATELIER, LLC BEAUTY SALON. Special Use application by Anastasia E. Garman, owner, d/b/a Anastasia Skin Atelier, LLC, to operate a one employee beauty salon, with hours of operation generally from 12:00 p.m. to 8:00 p.m., Monday

Associate Planner Marion Ecks presented the request by Anastasia E. Garman, owner, d/b/a Anastasia Skin Atelier, LLC, to operate a one employee beauty salon, with hours of operation generally from 12:00 p.m. to 8:00 p.m., Monday through Saturday, in Suite 240 of the multi-tenant building located at 11113 West Forest Home Avenue, property zoned M-1 Limited Industrial District; Tax Key No. 704-9978-002

through Saturday, in Suite 240 of the multi-tenant building located at 11113 West Forest Home Avenue, property zoned M-1 Limited Industrial District; Tax Key No. 704-9978-002.

The Official Notice of Public hearing for a Special Use was read in to the record by Associate Planner Marion Ecks and the Public Hearing was opened at 7:09 p.m. and closed at 7:10 p.m.

Commissioner Leon moved and Commissioner Burckhardt seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a beauty salon use upon property located at 11113 West Forest Home Avenue, Suite 240. On voice vote, all voted ‘aye’; motion carried. (5-0-1).

D. Business Matters

1. HOME DEPOT (STORE 4907) OUTDOOR SALES. Temporary Use application by Home Depot USA, Inc., for outdoor seasonal trees, shrubs and landscape bagged goods sales, for property zoned Planned Development District No. 14 (Jewel-Osco/Home Depot) and FW Floodway District, located at 6489 South 27th Street; Tax Key No. 714-9996-015.

Aldерwoman Hanneman moved and Commissioner Hogan seconded a motion to adopt a Resolution imposing conditions and restrictions for the approval of a Temporary Use for outdoor seasonal tree and shrub sales for property located at 6489 South 27th Street. On voice vote, all voted ‘aye’; motion carried. (5-0-1).

Adjournment

Commissioner Hogan moved and Commissioner Leon seconded to adjourn the Plan Commission meeting of May 19, 2022 at 7:13 p.m.. On voice vote, all voted ‘aye’; motion carried. (5-0-1).



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION
Meeting of June 9, 2022
SPECIAL USE & SITE PLAN

RECOMMENDATION: City Development Staff recommends to table this Special Use and Site Plan until the applicant submits a geotechnical report to attest that the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils is adequate for the proposed development.

Property Owner: Woodfield Trail condominium, Special Use & Site Plan

Applicant: S.R. Mills. Boomtown, LLC

Property Address/Tax Key Number: 12000 W Loomis Rd.

Aldermanic District: District 6

Agent: Daniel Szczap. Bear Development, LLC

Zoning District: R-8 – Multiple-Family Residence District

Use of Surrounding Properties: North: Planned Development District No. 40 (Cape Crossing), single-family residential.
South: Vacant properties zoned residential, R-2 and R-8.
East: Vacant and single-family residential zoned R-8
West: We-energies right-of-way and vacant land owned by the State of Wisconsin.

Proposal: Two-family residential condominium with 26 dwelling units served by a cul-de-sac street.

Staff Planner: Régulo Martínez-Montilva, AICP, Planning Manager

INTRODUCTION

The proposed Woodfield Trail condominium would have 26 dwelling units arranged in 13 duplex structures, side-by-side. Major improvements include a new cul-de-sac street connecting to Ryan Road with sidewalks on both sides, street trees, a landscaped berm along Loomis Road, 3 stormwater management areas and public water and sewer service to all dwelling units.

This development was presented before the Common Council on April 5, 2021, as a Concept Review. Then, this 15.6-acre site was created by Certified Survey Map No. 9338 recorded on August 6; and the C-1 Conservancy District zoning was removed from such site by rezoning Ordinance No. 2021-2480 on September 21. This development received a variance by the Board of Zoning and Building Appeals to allow for a reduced 20-foot front setback on January 19, 2022; and a Natural Resource Special Exception (NRSE) was granted on February 1 to allow for after-the-fact impacts to wetland buffers.

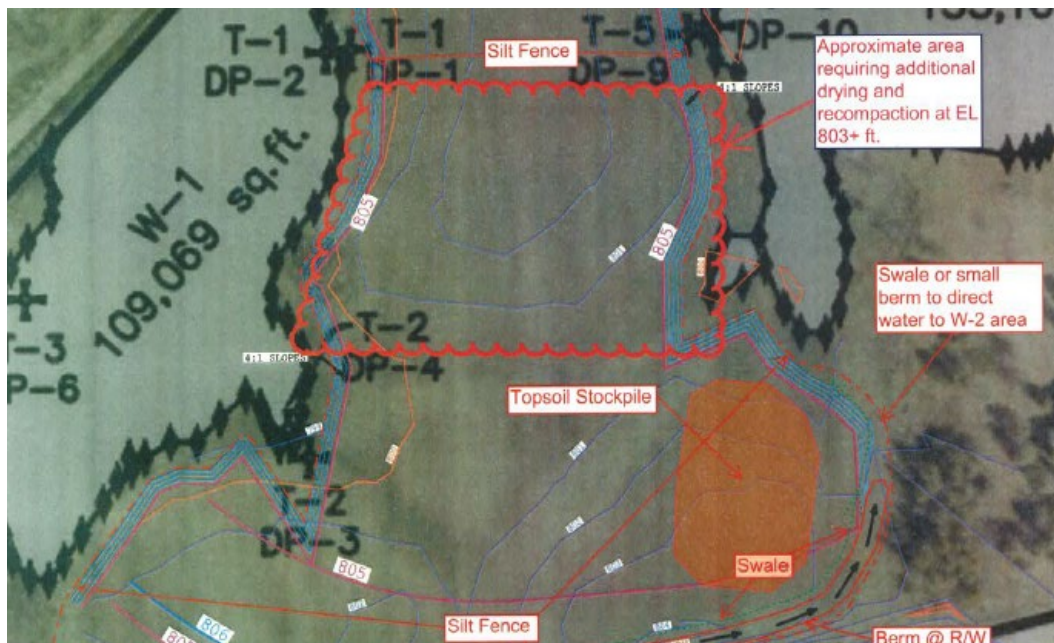
It is worth noting that a Special Use permit is required in the R-8 Multiple-Family Residence District for all residential uses, either single-family, two-family or multi-family.

PROJECT ANALYSIS:

There are a few existing constraints to the property that impact the design and development of this project.

1. **Wetland buffers and setbacks.** Most of the proposed residential structures are located between the future Woodfield Court and wetland areas. The UDO does not allow structures to encroach into the 50-foot wetland setback and the 30-foot wetland buffer must remain undisturbed. This property was a WISDOT fill site and areas of wetland buffers (0.58 acres) have been previously impacted by grading activities, this wetland buffer impact is depicted in the Natural Resource Protection Plan (NRPP). A Natural Resource Special Exception was granted on February 1, 2022, (appendix #1). It is worth noting that none of the proposed residential structures will encroach into the 50-foot wetland setback
2. **Soil borings and geotechnical report still recommended.** The applicant submitted a report titled “Construction Testing Services Summary Report No. 1” dated March 11, 2019 (appendix #2). As mentioned above, this property was a fill site for Wisconsin DOT project and this report stated that “with the exception of the fill placed within the central portion of the site, that the engineered fills tested by CGC were compacted satisfactorily and in general agreement with the project requirements” (page 4). Per Figure 1 – Proposed fill area, the referenced central area requires additional drying and recompaction, the applicant has not provided documentation confirming that this has been completed. Note that approximately 5 residential structures and a segment of Woodfield Court is proposed in this area. Furthermore, this report states that “It should be recognized, however, that this report and its findings/results, is not intended to be and should not be used as a substitute for a subsurface exploration and foundation subgrade evaluation which is required to determine the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils”.

City Development staff recommends that the applicant must submit a geotechnical report to attest that the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils is adequate for the proposed development.



Proposed fill area, figure 1 in Construction Testing Services Summary Report No. 1 prepared by CGC, Inc. Appendix #2.

UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS

Special Use and Site Plan Applications are subject to the following provisions of the UDO:

- §15-3.0701 General Standards for Special Uses
- §15-7.0102 Principles and Standards of Review, Site Plans

General standards for Special Uses (§15-3.0701)

Summary of Standard	Staff's Finding
<p>1. <i>Harmony with UDO and Comprehensive Plan purposes and intent.</i></p>	<p>The northern portion of this site is designated as residential-multifamily in the future land use map of the <i>City of Franklin 2025 Comprehensive Master Plan</i>. The southern portion is designated as commercial but it is constrained by an access restriction to Loomis Road. The western portion is designated as Areas of Natural Resource Features, the wetland areas located on this site would be protected by conservation easements as indicated in the Natural Resource Protection Plan.</p> <p>It is worth noting that per Wisconsin Statutes §66.1001(2m)(b) “<i>A conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision's comprehensive plan</i>”.</p>
<p>2. <i>No Undue Adverse Impact.</i></p>	<p>City Development staff does not anticipate any “undue adverse impact” to adjacent properties because conservation easements would be provided to the west and east of the proposed development, as well as a landscape bufferyard with a berm to the south along Loomis Road.</p>
<p>3. <i>No Interference with Surrounding Development.</i></p>	<p>The proposed dwellings are designed to meet the maximum permitted height for single-family and two-family homes in the R-8 zoning district.</p>
<p>4. <i>Adequate Public Facilities.</i></p>	<p>The proposed development will be served by public water supply and sanitary sewer service. It is noted that access to public water and sewer is a requirement for residential development in the R-8 zoning district per UDO Section 15-3.0209.A “District Intent”.</p> <p>Per Fire Department comments: “this area is not well-served by existing fire stations and staffing, and that effective response force (ERF) response times may exceed industry and department benchmarks for both EMS and fire calls. The City is in planning to relocate Station #2 to the West, and enhance staffing at that station, which will serve to remedy this situation in the future, but even as this continues to move forward, it is still years out”.</p>
<p>5. <i>No Traffic Congestion.</i></p>	<p>The proposed 26 dwelling units would be served by a new cul-de-sac street connecting to Ryan Road. A Traffic Impact Analysis has not been prepared for this development proposal. City staff did not request a Traffic Impact Analysis for this development.</p>
<p>6. <i>No Destruction of Significant Features.</i></p>	<p>Wetland buffer areas (0.58 acres) have been previously impacted by mass grading as a result of fill permits for a Wisconsin DOT project.</p>

	<p>Grading within the wetland setback is also proposed, the UDO allows grading in the wetland setback provided a permanent vegetative cover is installed afterwards.</p> <p>These impacts to natural resources are subject to the conditions set forth in the Standards, Findings and Decision as part of the Natural Resource Special Exception granted on February 1, 2022 (appendix #1).</p>
<p>7. <i>Compliance with Standards.</i></p>	<p>The proposed development complies with the requirements of the R-8 Multiple-Family Residence District for single-family and two-family residential use, including: building setbacks, building height, required parking and landscaping.</p> <p>The Board of Zoning and Building Appeals granted a variance on January 19, 2022, for a reduced front setback of 20 feet in this development, while the minimum front setback in the R-8 district is 25 feet.</p> <p>All residential structures must comply with the 50-foot wetland setback.</p>

Principles and standards of review of Site Plans (§15-7.0102)

Summary of Standard	Staff's Finding
<p>A. <i>Conformity of Use to Zoning District.</i></p>	<p>Two-family residential use requires a Special Use permit in the R-8 zoning district. All residential uses require a Special Use permit in this zoning district, either single-family, two-family or multi-family.</p>
<p>B. <i>Dimensional Requirements.</i></p>	<p>The proposed development complies with the dimensional requirements for the R-8 zoning district set forth in UDO Table 15-3.0209A:</p> <ul style="list-style-type: none"> • Net Density. Proposed: 2.7 dwelling units/acre; Maximum: 5.0 du/ac. The net buildable site area is 9.38 acres. • All residential structures must comply with the side, rear and wetland setbacks. • The front setback has been reduced to 20 feet per variance previously granted.
<p>C. <i>Site Intensity and Site Capacity Calculations to be Reviewed.</i></p>	<p>Site Intensity and Capacity Calculations were reviewed as part of the Certified Survey Map approved by Resolution 2021-7754 on July 20, 2021.</p> <p>Per the Site Intensity and Capacity Calculations, the maximum density yield of this site is 46 dwelling units, while the applicant is proposing 26 units.</p>
<p>D. <i>Use and Design Provisions.</i></p>	<p>The proposed location for residential structures conforms to the development standards for the R-8 zoning district set forth in UDO Section 15-3.0209.</p>
<p>E. <i>Relation to Existing and Proposed Streets and Highways.</i></p>	<p>This development would be connected to Ryan Road through the proposed Woodfield Court. The street design for Woodfield Court meets the minimum width for a typical minor street of 60 feet and the street length is 769 feet, which is under the maximum permitted length for cul-de-sac streets of 800 feet.</p>

	<p>However, a Site Plan does not allow for dedication of public right-of-way to the city, dedication will require a separate Certified Survey Map since a condominium plat cannot be used for dedication of public right-of-way.</p> <p>Based on the Comprehensive Master Plan, Map 7.4 Bicycle and Pedestrian Circulation Facilities. City Development staff recommends the installation of a pedestrian path per City of Franklin specifications on the south side of Ryan Road. The applicant is working with Engineering Department on the location of this pedestrian facility, location within the right-of-way is preferred, or within an easement on private property as a second option. This pedestrian path should be included in the developer's agreement (condition of approval #7).</p> <p>It is worth noting that direct access to Loomis Road is restricted as indicated in the Site Plan.</p>
<i>F. Impacts on Surrounding Uses.</i>	<p>City Development staff does not anticipate major adverse impacts to surrounding uses because the developer will be required to provide conservation easements to the west and east, and a landscape bufferyard easement to the south.</p>
<i>G. Natural Resource Features Protection.</i>	<p>This Site Plan would not approve any impacts to natural resource features as defined in the UDO, including but not limited to encroachments of residential structures into the wetland buffers and wetland setbacks. Recording of the conservation easement document will be required prior to the issuance of building permits (condition of approval #4).</p> <p>See separate Natural Resource Special Exception (appendix #1).</p>
<i>H. Required Landscaping and Landscape Bufferyards.</i>	<p>This development includes a 30-foot landscape bufferyard easement along Loomis Road as required by UDO Section 15-5.0102.</p> <p>Recording of the landscape bufferyard easement document will be required prior to the issuance of building permits (condition of approval #5).</p>
<i>I. Provision of Emergency Vehicle Accessibility.</i>	<p>See comment from the Fire Department in Special Use standard #4, page 3.</p>
<i>J. Building Location.</i>	<p>The location of residential structures meets required building setbacks and are outside the existing easements on this property.</p>
<i>K. Location and Design of On-Site Waste Disposal and Loading Facilities.</i>	<p>Not applicable as no on-site waste disposal and loading facilities are proposed.</p>
<i>L. Consistency with Intent of UDO.</i>	<p>The proposed residential development is consistent with the intent of the R-8 zoning district (UDO Section 15-3.0209), specifically:</p> <ul style="list-style-type: none"> • It would be served by public sanitary sewer and water supply facilities. • It would serve as a transition between the M-1 limited manufacturing zoning to the southeast in the Ryan Meadows subdivision and single-family residential zoning to the north.

<i>M. Consistency with Intent of Comprehensive Plan.</i>	The northern portion of this site is designated as residential-multifamily in the future land use map of the City of Franklin 2025 Comprehensive Master Plan. The southern portion is designated as commercial but it is constraint by an access restriction to Loomis Road.
<i>N. Determination of "Suitability" of Site.</i>	As noted previously in this staff report (page #2), City Development staff recommends that the applicant must submit a geotechnical report to attest that the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils is adequate for the proposed development.

STAFF RECOMMENDATION

City Development Staff recommends to table this Special Use and Site Plan until the applicant submits a geotechnical report to attest that the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils is adequate for the proposed development.

Alternatively, should the Plan Commission recommend approval of the Special Use and approve the Site Plan request, City Development staff recommends the submission of the referenced geotechnical report as condition of approval #6.

Appendices

1. Standards, Findings and Decision as part of Natural Resource Special Exception granted on February 1, 2022, excluding exhibits.
2. Construction Testing Services Summary Report No. 1 dated March 11, 2019, and prepared by CGC, Inc., excluding appendices B & C.

RESOLUTION NO. 2022-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE
APPROVAL OF A SPECIAL USE FOR A CONDOMINIUM COMPLEX
DEVELOPMENT USE UPON PROPERTY LOCATED AT
12000 WEST LOOMIS ROAD
(STEPHEN R. MILLS, PRESIDENT OF BEAR DEVELOPMENT, LLC,
APPLICANT, BOOMTOWN, LLC, PROPERTY OWNER)

WHEREAS, Stephen R. Mills, President of Bear Development, LLC having petitioned the City of Franklin for the approval of a Special Use in an R-8 Multiple-Family Residence District, to allow for the development of a condominium complex (“Woodfield Trail”), consisting of 26 dwelling units arranged in 13 side-by-side duplex structures, property located at 12000 West Loomis Road (15.6 acres), bearing Tax Key No. 891-9011-000 [a Special Use permit is required in the R-8 Multiple-Family Residence District for all residential uses, either single-family, two-family or multi-family], more particularly described as follows:

PARCEL 1: A part of the Northwest 1/4 of Section 30, Township 5 North, Range 21 East in the City of Franklin, County of Milwaukee, State of Wisconsin bounded and described as follows: Beginning at the 1/8 post of the North line of said Northwest 1/4 which post is 1325.63 feet West of the Northeast corner of said Northwest 1/4, thence West on and along said North line of said Northwest 1/4, 223.1 feet to the point in the right of way of the Milwaukee Electric Railway and Light Company, thence on and along the line of said right of way, 260.01 feet to a point on the arc of the curve of said right of way, said curve being to the convex Southeasterly center radius of 7877.6 feet and said point in said arc being on the long chord 260 feet and South 39°21' West from the intersection of said line of said right of way and the North line of said Northwest 1/4, South 0°17' East 1094.52 feet to a point in the centerline of the Loomis Road, thence Northeasterly on a 2° curve along said centerline 463.83 feet to a point, said point being on the long chord of 463.52 feet and North 59°29' East from the first mentioned point on the centerline of the Loomis Road; thence North 0°47' West, 1055.3 feet to the place of beginning. The 24.75 feet along the North line of said Northwest 1/4 being excepted therefrom and the 45 feet perpendicular to the center line of the Loomis Road being excepted therefrom further excepting therefrom that part hereof described in Deed recorded as Document 7391120; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan

WOODFIELD TRAIL CONDOMINIUMS – SPECIAL USE
RESOLUTION NO. 2022-_____

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Commission on the 9th day of June, 2022, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Stephen R. Mills, President of Bear Development, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Stephen R. Mills, President of Bear Development, LLC, successors and assigns, as a condominium complex development use, which shall be developed in substantial compliance with, and operated and maintained by Stephen R. Mills, President of Bear Development, LLC, pursuant to those plans City file-stamped May 31, 2022 and annexed hereto and incorporated herein as Exhibit A.
2. Stephen R. Mills, President of Bear Development, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Stephen R. Mills, President of Bear Development, LLC condominium complex development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Stephen R. Mills, President of Bear Development, LLC, and the condominium complex development use, for the property located at 12000 West Loomis Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii)

WOODFIELD TRAIL CONDOMINIUMS – SPECIAL USE
RESOLUTION NO. 2022-_____

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obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. The applicant must submit a conservation easement for City staff review, Common Council approval, and recording with the Milwaukee County Register of Deeds Office, prior to the issuance of building permits.
5. The applicant must submit a landscape bufferyard easement for City staff review, Common Council approval, and recording with the Milwaukee County Register of Deeds Office, prior to the issuance of building permits.
6. The applicant must submit a geotechnical report to attest that the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils is adequate for the proposed development, prior to any land disturbance activity.
7. The pedestrian path on the south side of Ryan Road, between the future Woodfield Court and the east boundary of this development, should be included in the development agreement.
8. This Special Use is not accepting any dedication of land for right-of-way purposes. A separate instrument, such as Certified Survey Map, shall be required for dedication of land for right-of-way purposes.
9. Pursuant to the Unified Development Ordinance Section 15-7.0601, a condominium plat shall be required for the establishment of a condominium.

BE IT FURTHER RESOLVED, that in the event Stephen R. Mills, President of Bear Development, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

WOODFIELD TRAIL CONDOMINIUMS – SPECIAL USE
RESOLUTION NO. 2022-_____

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BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2022.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

Exhibit A

DRAFTED: MCC DESIGNED: MCC REVIEWED: MAC THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

Z:\PROJECTS\2019\09-09-60-WI\CAD\DWG\SHEETS\909.60 SITE PLAN.DWG

PINNACLE ENGINEERING GROUP
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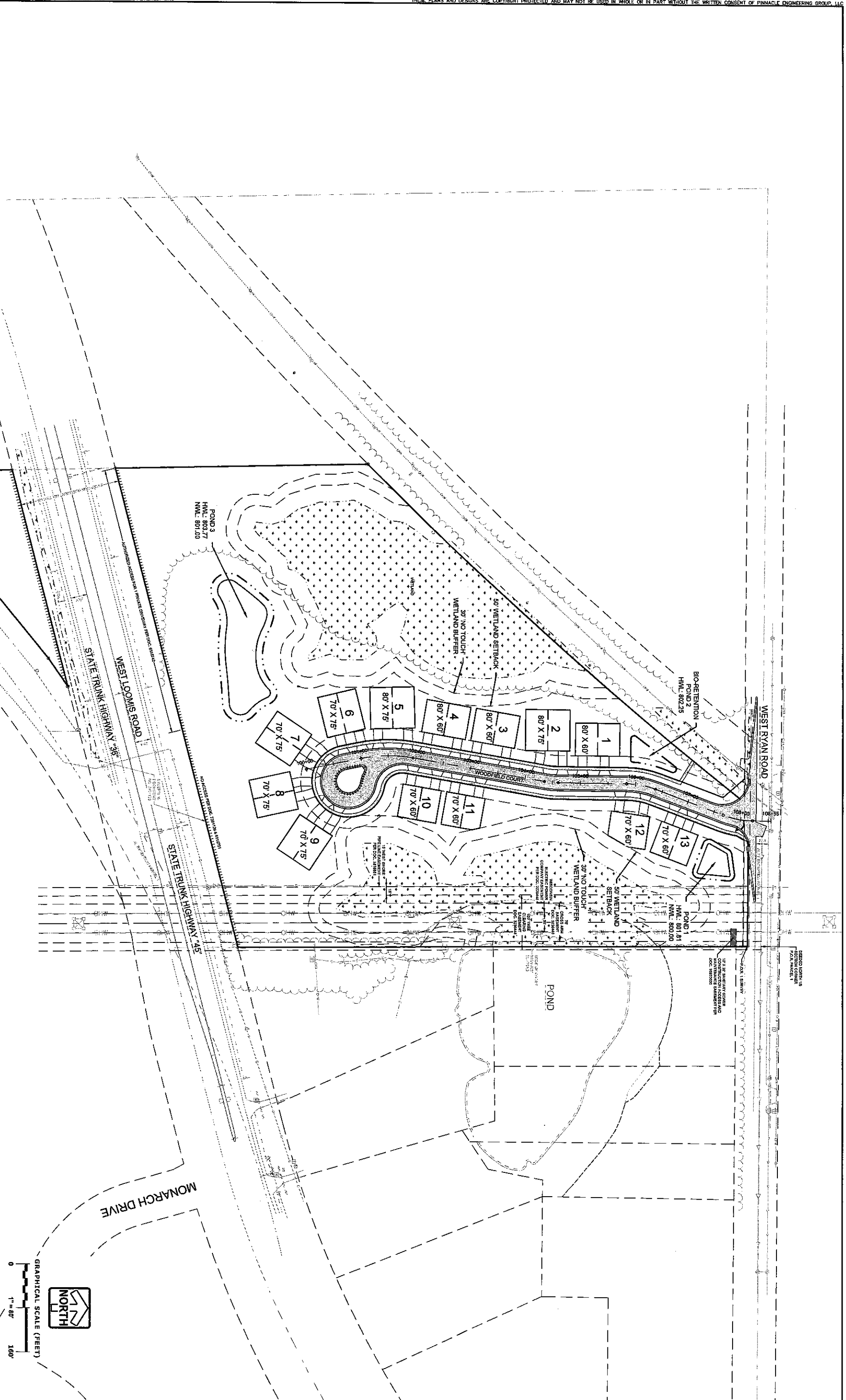
WOODFIELD TRAIL
 WEST RYAN ROAD, FRANKLIN, WI 53132

SITE PLAN OVERVIEW

REVISIONS

NO.	DATE	DESCRIPTION
1	5/11/22	ADDRESS CITY COMMENTS

PEG JOB No. 809.60
 PEG PH. MAC
 START DATE 01-07-22
 SCALE N.T.S.



RESOLUTION NO. 2022-_____

A RESOLUTION APPROVING A SITE PLAN FOR THE
DEVELOPMENT OF A CONDOMINIUM COMPLEX WITH ASSOCIATED
CUL-DE-SAC STREET CONSTRUCTION, SIDEWALKS, LANDSCAPING,
STORMWATER MANAGEMENT AND PUBLIC WATER AND SEWER SERVICE
(12000 WEST LOOMIS ROAD)
(STEPHEN R. MILLS, PRESIDENT OF BEAR DEVELOPMENT, LLC, APPLICANT,
BOOMTOWN, LLC, PROPERTY OWNER)

WHEREAS, Stephen R. Mills, President of Bear Development, LLC having applied for approval of a proposed site plan for the development of a condominium complex (“Woodfield Trail”), consisting of 26 dwelling units arranged in 13 side-by-side duplex structures, which will include a new cul-de-sac street connecting to West Ryan Road, with sidewalks on both sides, street trees, a landscaped berm along West Loomis Road, 3 stormwater management areas and public water and sewer service to all dwelling units, property located at 12000 West Loomis Road (15.6 acres), zoned R-8 Multiple-Family Residence District; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the development of a condominium complex (“Woodfield Trail”), consisting of 26 dwelling units arranged in 13 side-by-side duplex structures, which will include a new cul-de-sac street connecting to West Ryan Road, with sidewalks on both sides, street trees, a landscaped berm along West Loomis Road, 3 stormwater management areas and public water and sewer service to all dwelling units, property located at 12000 West Loomis Road (15.6 acres), zoned R-8 Multiple-Family Residence District, as depicted upon the plans dated May 31, 2022, attached hereto and incorporated herein, is hereby approved, subject to approval of the application for a Special Use, and subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with and operated and maintained pursuant to the Site Plan for the Stephen R. Mills, President of Bear Development, LLC condominium complex development (“Woodfield Trail”) dated May 31, 2022.
2. Stephen R. Mills, President of Bear Development, LLC, successors and assigns, and

STEPHEN R. MILLS, PRESIDENT OF BEAR DEVELOPMENT, LLC – SITE PLAN
RESOLUTION NO. 2022-_____

Page 2

any developer of the Stephen R. Mills, President of Bear Development, LLC condominium complex development (“Woodfield Trail”) project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Stephen R. Mills, President of Bear Development, LLC condominium complex development (“Woodfield Trail”) project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon the Stephen R. Mills, President of Bear Development, LLC condominium complex development (“Woodfield Trail”) project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Stephen R. Mills, President of Bear Development, LLC condominium complex development (“Woodfield Trail”) shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. This Site Plan is subject to the conditions set forth in the Special Use resolution for the Woodfield Trail condominiums.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2022.

APPROVED:

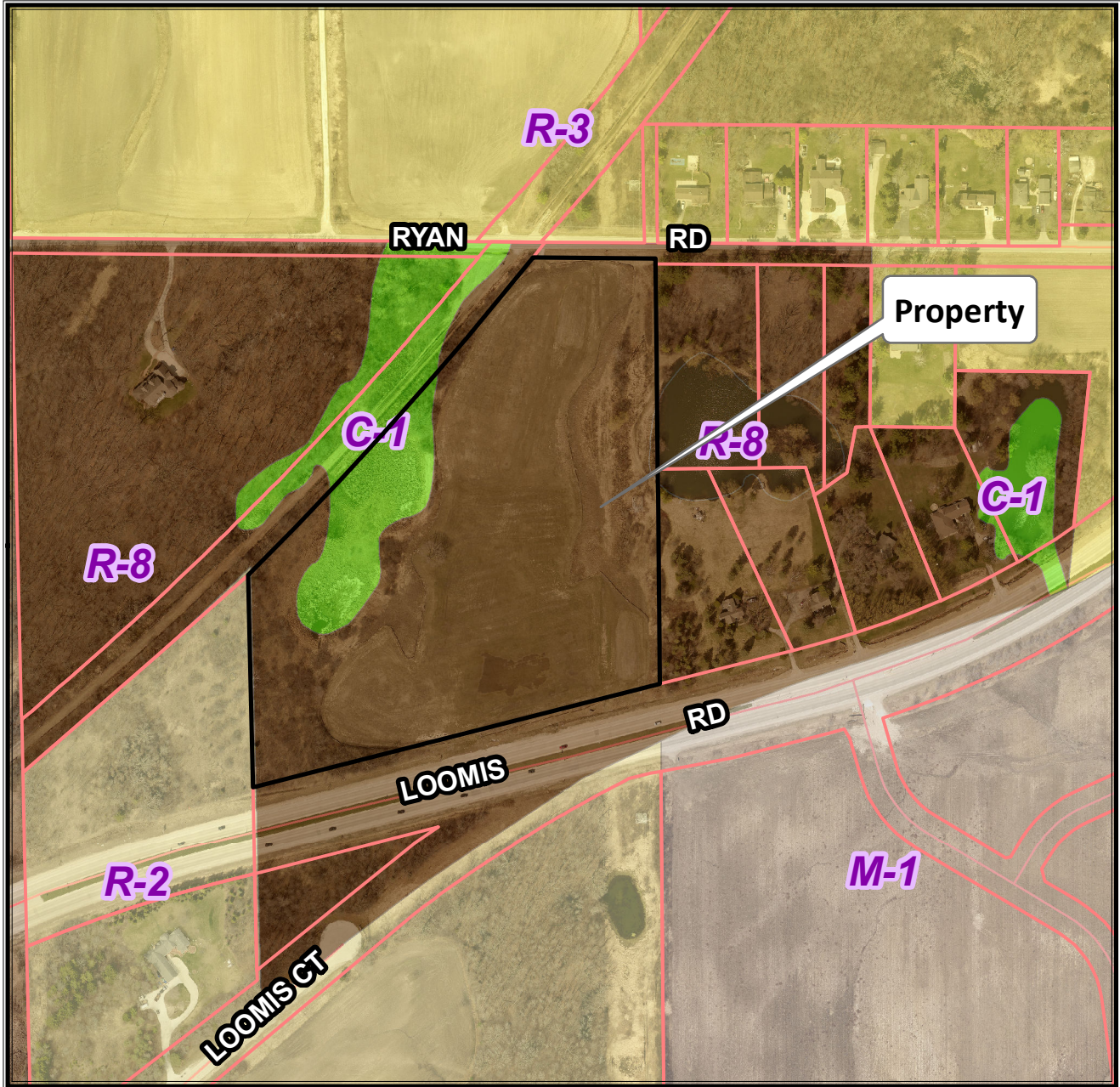
ATTEST:

Stephen R. Olson, Chairman

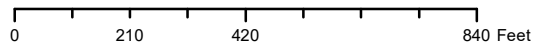
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

12000 W. Loomis Road
TKN: 891 901 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

54



8 1 7 5 8 3 1 8

Tx:40865595

DOC # 11224509

RECORDED:

03/07/2022 01:56 PM

ISRAEL RAMON

REGISTER OF DEEDS

MILWAUKEE COUNTY, WI

AMOUNT: 30.00

FEE EXEMPT #:

TRANSFER FEE:

**STANDARDS, FINDINGS & DECISION-
BEAR DEVELOPMENT**

Document Number

Recording Area

Name and Return Address

Shirley J. Roberts, Deputy City
Clerk
City of Franklin
9229 West Loomis Road
Franklin, Wisconsin 53132

891-9011-000 & 891-9012-
000

Parcel Identification Number (PIN)

This information must be completed by submitter: document title, name & return address, and PIN (if required). Other information such as the granting clause, legal description, etc., may be placed on this first page of the document or may be placed on additional pages of the document.

Standards, Findings and Decision
of the City of Franklin Common Council upon the Application of Stephen R. Mills,
President of Bear Development, LLC, applicant, for a Special Exception
to Certain Natural Resource Provisions of the City of Franklin
Unified Development Ordinance

Whereas, Stephen R. Mills, President of Bear Development, LLC, applicant, having filed an application dated September 3, 2021, for a Special Exception pursuant to Section 15-9.0110 of the City of Franklin Unified Development Ordinance pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature; a copy of said application being annexed hereto and incorporated herein as Exhibit A; and

Whereas, the application having been reviewed by the City of Franklin Environmental Commission and the Commission having made its recommendation upon the application, a copy of said recommendation dated January 12, 2022 being annexed hereto and incorporated herein as Exhibit B; and

Whereas, following a public hearing before the City of Franklin Plan Commission, the Plan Commission having reviewed the application and having made its recommendation thereon as set forth upon the report of the City of Franklin Planning Department, a copy of said report dated January 20, 2022 being annexed hereto and incorporated herein as Exhibit C; and

Whereas, the property which is the subject of the application for a Special Exception is located at 12000 West Loomis Road, zoned R-8 Multiple-Family Residence District and C-1 Conservancy District, and such property is more particularly described upon Exhibit D annexed hereto and incorporated herein; and

Whereas, Section 15-10.0208B. of the City of Franklin Unified Development Ordinance, as amended by Ordinance No. 2003-1747, pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature, provides in part: "The decision of the Common Council upon any decision under this Section shall be in writing, state the grounds of such determination, be filed in the office of the City Planning Manager and be mailed to the applicant."

Now, Therefore, the Common Council makes the following findings pursuant to Section 15-10.0208B.2.a., b. and c. of the Unified Development Ordinance upon the application for a Special Exception dated September 3, 2021, by Stephen R. Mills, President of Bear Development, LLC, applicant, pursuant to the City of Franklin Unified Development Ordinance, the proceedings heretofore had and the

recitals and matters incorporated as set forth above, recognizing the applicant as having the burden of proof to present evidence sufficient to support the following findings and that such findings be made by not less than four members of the Common Council in order to grant such Special Exception.

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *but rather, the applicant notes that the site is already impacted by fill. Wetland delineations from 2014 show the existing wetland complexes in the same general locations as 2021; the development cannot proceed as designed without impacts to wetland setback and buffer.*

2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:

a. be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives: *The applicant notes that the site is already impacted by fill. The zoning classification (R-8 Multifamily) and allowable site intensity for the property allow for greater intensity of use, however the site access and configuration, and required setbacks create constraints on the placement of buildings and other infrastructure; or*

b. unreasonably and negatively impact upon the applicant's use of the property and that there are no reasonable practicable alternatives: *The applicant notes that the site is already impacted by fill. The parcel is currently vacant; the proposed use has been affirmed through a rezoning to R-8 Multifamily (ORD 2021-2480), and the applicant has completed a Concept Review and Certified Survey Map approval in seeking this development approval.*

3. The Special Exception, including any conditions imposed under this Section will:

a. be consistent with the existing character of the neighborhood: *the proposed development with the grant of a Special Exception as requested will be consistent with the existing character of the neighborhood; and the applicant states that "The proposed impact and resulting development will be consistent with the neighborhood and consistent with the existing zoning and Comprehensive Plan." Surrounding properties include future industrial and developing residential uses; and*

b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: *The applicant states that "The situation and conditions related to this project are unique as the affected property was a properly permitted to impact the wetland buffer/setback. Applying the wetland setback/buffer at this point serves no purpose and does not protect the actual wetland resources. Other properties seeking the same relief would need to meet similar standards."*

Placement of fill on site was at the request of Bear Development to “raise the sites and help with future development plans (Ruffing, A. 2018, January 14).”

According to the Natural Resource Protection Plan (NRPP) submitted on January 10, 2022, fill was placed in the wetland setback and buffer under City of Franklin Permit I20180438. Fill permits for Wisconsin DOT project were approved by the City of Engineering Department. City approvals for fill impacts to wetland setback and buffer were not sought by the applicant at that time.

The limits of impacts proposed for this Special Exception align with impacted areas under the fill permit.

The site has since experienced significant degradation and impacts by invasive species. Fill permits for Wisconsin DOT project were approved by the City of Engineering Department.

The Council finds that this NRSE does allow for a degree of noncompliance under §UDO-15-10-10.0208B2.d.v. that will effectively undermine the ability of the City of Franklin to apply or enforce the requirement with respect to other properties (§UDO-15-10.0208B2.c.ii).

c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: *Applicant represents that the unique circumstances involved with this request is what the NRSE process was intended for; and*

d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development: *(this finding only applying to an application to improve or enhance a natural resource feature): not applicable.*

The Common Council considered the following factors in making its determinations pursuant to Section 15-10.0208B.2.d. of the Unified Development Ordinance.

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: *The applicant states that “The improvements will not negatively affect surrounding properties.” Proposed impacts will occur within the site and do not extend past the property line.*

2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: *The applicant states that “The exceptional, extraordinary or unusual circumstance is that the resource being impacted has*

already been impacted and the property has been included in a TID Project Plan whereby the resulting improvements are necessary to generate tax increment.” Tax Increment Districts must include a residential component.

3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: *The proposed use has been affirmed through a rezoning to R-8 Multifamily (ORD 2021-2480), and the applicant has completed a Concept Review and Certified Survey Map approval in seeking this development approval.*

4. Aesthetics: *The applicant states that “There will be no negative impact to aesthetics. The resulting development will be a residential neighborhood with required street trees and significant green space.”*

5. Degree of noncompliance with the requirement allowed by the Special Exception: *The applicant states that “Considering the that the area of impact was previously disturbed, the NRSE is not over-reaching.”*

Placement of fill on site was at the request of Bear Development to “raise the sites and help with future development plans (Ruffing, A. 2018, January 14).”

According to the NRPP submitted on January 10, 2022, fill was placed in the wetland setback and buffer under City of Franklin Permit I20180438. Fill permits for Wisconsin DOT project were approved by the City of Engineering Department. City approvals for fill impacts to wetland setback and buffer were not sought by the applicant at that time.

The limits of impacts proposed for this NRSE align with impacted areas under the fill permit.

The site has since experienced significant degradation and impacts by invasive species.

The Council finds that this NRSE does allow for a degree of noncompliance under §UDO-15-10-10.0208B2.d.v. that will effectively undermine the ability of the City of Franklin to apply or enforce the requirement with respect to other properties (§UDO-15-10.0208B2.c.ii).

6. Proximity to and character of surrounding property: *Proposed impacts will occur within the site and do not extend past the property line. The applicant notes that “Applicant owns the adjacent properties to the east and south. W. Ryan Road separates neighboring land to the north, a WE Energies ROW separates neighboring land to the west and a remnant WDOT parcel is located to the west.”*

7. Zoning of the area in which property is located and neighboring area: *Surrounding zoning consists of Single and Multifamily Residential. There is an area of M-1 Limited Industrial District to the southeast.*

8. Any negative affect upon adjoining property: *No negative affect upon adjoining property is perceived. Proposed impacts will occur within the site and do not extend past the property line.*

9. Natural features of the property: *The applicant does not propose impacts to natural resource features beyond those included in this request.*

10. Environmental impacts: *The applicant states that "There are no other environmental impacts associated with the NRSE."*

11. A recommendation from the Environmental Commission as well as a review and recommendation prepared by an Environmental Commission-selected person knowledgeable in natural systems: *The Environmental Commission recommendation and its reference to the report of January 12, 2022 is incorporated herein.*

12. The practicable alternatives analysis required by Section 15-9.0110C.4. of the Unified Development Ordinance and the overall impact of the entire proposed use or structure, performance standards and analysis with regard to the impacts of the proposal, proposed design solutions for any concerns under the Ordinance, executory actions which would maintain the general intent of the Ordinance in question, and other factors relating to the purpose and intent of the Ordinance section imposing the requirement: *The Plan Commission recommendation and the Environmental Commission recommendation address these factors and are incorporated herein.*

Decision

Upon the above findings and all of the files and proceedings heretofore had upon the subject application, the Common Council hereby grants a Special Exception for such relief as is described within Exhibit C, upon the conditions:

- 1) that the natural resource features and mitigation areas upon the properties to be developed be protected by a perpetual conservation easement to be approved by the Common Council prior to any development within the areas for which the Special Exception is granted prior to the issuance of any Occupancy Permits;*
- 2) that the applicant obtain all other necessary approval(s) from all other applicable governmental agencies prior to any development within the areas for which the Special Exception is granted;*
- 3) that all development within the areas for which the Special Exception is granted shall proceed pursuant to and be governed by the approved Natural Resource Protection Plan and all other applicable plans for Stephen R. Mills,*

President of Bear Development, LLC, applicant, and all other applicable provisions of the Unified Development Ordinance.

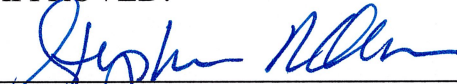
- 4) *that the applicant shall provide plans for management of wetland setback that conforms to the standards of §15-4.0102I for appropriate plantings. Turf grasses are prohibited. Other grasses or native plantings are acceptable. Non-vegetative cover is permitted in areas subject to erosion. Management and implementation information shall be included on development plans including landscape plans subject to the review of the Department of City Development.*
- 5) *that the applicant shall place boulders or other markers to demarcate the wetland setback on the property.*
- 6) *that the applicant shall make required technical corrections (UDO §15-4.0102 and §15-7.0200) to Natural Resource Protection Plans including information about the limits of fill and related grading from fill permit I20201541, subject to staff approval, prior to the commencement of any land disturbance.*
- 7) *that the applicant shall clarify the amount of temporary grading impacts.*
- 8) *that the applicant incur only temporary impacts to wetland setback and buffer, which shall be restored to the standards of UDO §15-4.0102I for wetland setback and UDO §15-4.0103B5 for wetland buffer.*
- 9) *That the applicant provide for repair of the pond drainage tile/pipe between the pond edge and the outlet at Ryan Road, subject to a revised conservation easement; and for the removal of buckthorn with a minimum expenditure of \$10,000.*

The duration of this grant of Special Exception is permanent.

Introduced at a regular meeting of the Common Council of the City of Franklin this 1st day of February, 2022.


Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 1st day of February, 2022.

APPROVED:



Stephen R. Olson, Mayor

ATTEST:



Sandra L. Wesolowski, City Clerk

AYES 6 NOES 0 ABSENT 0



Construction • Geotechnical
Consulting Engineering/Testing

March 11, 2019
CM18048

Mr. Andy Ruffing
Musson Brothers, Inc.
4215 N. 124th Street
Brookfield, WI 53005

Re: Construction Testing Services Summary Report No. 1
Bear North Site
West Loomis Road
Franklin, Wisconsin

Dear Mr. Ruffing:

This report summarizes Construction • Geotechnical Consultants, Inc. (CGC) field observations and results of the intermittent compaction testing program completed to-date within the Bear North site in Franklin, Wisconsin. The services were provided on an intermittent basis between March 19 and September 27, 2018. During this time period a total of twenty-seven (27) separate visits were made to complete the prescribed testing program. More specific details regarding CGC's field observations and the results of the field-testing program are presented in the following paragraphs and attachments.

1. General

The site is located on the north side of State Highway 36 (West Loomis Road), between US Highway 45 (North Cape Road) to the west and Ryan Road to the east, in Franklin, Wisconsin. We understand that no specific development is planned for the site at this time. Filling of the site was performed to take advantage of the fill soils available from the nearby Highway 100 roadway reconstruction project and was performed in accordance with the Site Use and Agreement document between Musson Brothers, Inc. (Musson) and Mills Hotel Wyoming, LLC dated March 16, 2018. Based on review of a grading plan, dated March 7, 2018, provided by Musson Brothers, Inc. the site grades prior to site preparation (i.e., topsoil stripping) ranged between about EL 801 to 804 ft and the planned (fill-to) grade is generally EL 805 ft; although swales were proposed along the southern edge of the property for site drainage purposes. Therefore, after site stripping, about 2 to 5 ft of new fill was anticipated to raise the site. Specifically, our efforts for the services covered by this report were focused on the following:

- **Subgrade Observations:** Following stripping of surficial topsoil, confirm the suitability of the exposed subgrade conditions prior to engineered fill placement within those areas of the site that required fill to raise the areas to the planned site grades. Subgrade

Mr. Andy Ruffing
Musson Brothers, Inc.
March 11, 2019
Page 2

evaluation within the fill areas were completed by proof-rolling with fully-loaded haul and/or triaxial dump trucks.

- **Field Density Testing:** Performed field density tests on an intermittent basis, as scheduled by representatives of Musson to check the adequacy of compaction achieved on fill materials placed during mass grading activities.
- **Laboratory Testing:** Performed laboratory testing (i.e., Proctors) on the soils utilized during fill placement.
- **Reporting:** Developed this summary report which details the results of the field and laboratory testing programs completed to-date; and

More specific details regarding our field observations and results of the testing program are outlined in the following paragraphs.

2. Subgrade Observations Prior to Fill Placement

Subgrade proof-roll operations were observed on an ongoing basis as structural fill areas were prepared on the dates of March 19, March 23, March 28, April 11 and May 1, 2018. The results of the proof-rolls overall indicated the subgrades were generally suitable for fill placement and compaction, excluding one approximate 50 ft by 50 ft area northeast of the southern entrance to the site which contained saturated clayey soils that exhibited moderate rutting (6 to 8 in.) and instability. To prepare this area for fill placement the saturated clays were undercut approximately 12 in. to a suitable brown lean clay subgrade.

3. Fill Placement

The March 7, 2018 grading plan showing the approximate extent of the fill areas for the project is included as Figure 1 – Proposed Fill Area enclosed in Appendix A. Fill soils throughout the planned future development area consisted of imported lean clay, silty clay with variable sand and gravel content and clayey to silty sand with gravel soils from Musson’s Highway 100 project identified as Specimen Nos. 1 through 3. A summary of the specimen soil descriptions, maximum dry densities and optimum moisture contents, and accompanying Laboratory Compaction Tests completed in our laboratory per modified Proctor (ASTM D1557) test methods are attached with this report in Appendix B.

Mr. Andy Ruffing
Musson Brothers, Inc.
March 11, 2019
Page 3

During this reporting period, a series of one hundred thirty-five (135) field density tests were performed on the fills placed within the development areas of the site with a nuclear density gauge to check the adequacy of compaction. The fills were typically placed in 8- to 12- in. thick loose lifts, spread with a dozer, then compacted with a sheepsfoot compactor. The modified Proctor maximum dry density values ranged between 125.0 to 135.5 pcf for the imported soils. A targeted minimum compaction level of 95 percent of the maximum dry density values was established for this project. Due to wet, rainy weather conditions during the intermittent filling operations, difficulty with obtaining adequate compaction was routinely experienced. Where initial compaction levels fell below 95%, predominantly due to elevated moisture contents, the soils were aerated and recompacted until they met the minimum required compaction level. Following the performance of retests (where required), the field density testing program performed generally resulted in a level of compaction ranging between 95% to 100%, generally meeting and/or exceeding the targeted 95% minimum level of compaction established for the project.

An exception was, however, encountered within the central portion of the site, the approximate limits of which are indicated on Figure 1 enclosed in Appendix A. Within this area, fill soils were placed and adequately compacted to, on average, about EL 802 to 802.5 ft. However, subsequent lifts placed to about EL 803 ft were too wet to properly compact and perform subsequent density tests. It was our recommendation at the time, as communicated to Musson field personnel, and in a subsequent meeting with Musson and Bear Development, that the soils in this area be aerated to promote drying and recompacted until the targeted compaction levels are obtained. However, further site preparation within the central portion of the site has not been performed to-date, due to project scheduling and weather conditions.

We understand that placement of a surficial topsoil layer has been performed by Musson throughout the majority of the southern and northern portions of the site, where passing density tests have generally been achieved, to the planned subgrade elevations. However, we understand that it is currently proposed to document the lateral extent and the existing site grades within the central area of the site where adequate compaction has not been achieved to-date. Following those documentation activities, we understand the current plan is to raise the central area of the site with non-engineered fill and surficial topsoil to promote surface runoff from this area. Undercutting and full removal of the non-engineered fill materials placed above EL 803 ft and further drying and recompaction of the underlying soils (at about EL 803 ft) will then be performed in the future, possibly dependent on future development plans. We recommend documentation of the area be included in site documents to illustrate the need to perform additional/remedial site preparation activities within the central portion of the site to provide proper support for future structures and/or pavements.



Mr. Andy Ruffing
Musson Brothers, Inc.
March 11, 2019
Page 4

Results of the field density testing program performed to-date are presented in Field Density Test Report No. 1 attached in Appendix C. The test locations (northing and easting) and test elevations were provided to CGC by the on-site Musson personnel and are included in the Field Density Test Report No. 1. Laboratory compaction (Proctor) test reports are also attached in Appendix B for your review.

* * * * *

In summary, based on our intermittent field observations and results of the field-testing program as outlined above and in the enclosed information, it is our opinion, *with the exception of the fill placed within the central portion of the site*, that the engineered fills tested by CGC were compacted satisfactorily and in general agreement with the project requirements. It should be recognized, however, that this report and its findings/results, is not intended to be and should not be used as a substitute for a subsurface exploration and foundation subgrade evaluation which is required to determine the soil bearing pressure capacity of the engineered fill soils and the underlying natural soils. The conditions contained in this report and previously discussed with the project team, represent our professional opinion, based on our review of available information, described above, part-time intermittent site observations and interpretations. These opinions were developed consistent with the level of care and skill ordinarily exercised by members of the engineering profession currently practicing in the same locality under similar conditions. No other representation is expressed or implied, and no warranty or guarantee is included, or intended.

It has been a pleasure to serve you during this phase of the project. If you have any questions or need additional consultation or testing services, please give us a call.

Sincerely,

CGC, Inc.

Paul J. Giese, P.E.

Senior Consulting Professional

Nathan I. Springstead, P.E.
Senior Staff Engineer



Mr. Andy Ruffing
Musson Brothers, Inc.
March 11, 2019
Page 5

Encl: Appendix A - Figure 1 – Proposed Fill Area
Appendix B - Summary of Laboratory Compaction (Proctor) Test Results
Appendix C - Field Density Test Report – No. 1

cc via email: Bear Development - Mr. Dan Szczap (dszczap@beardevelopment.com)

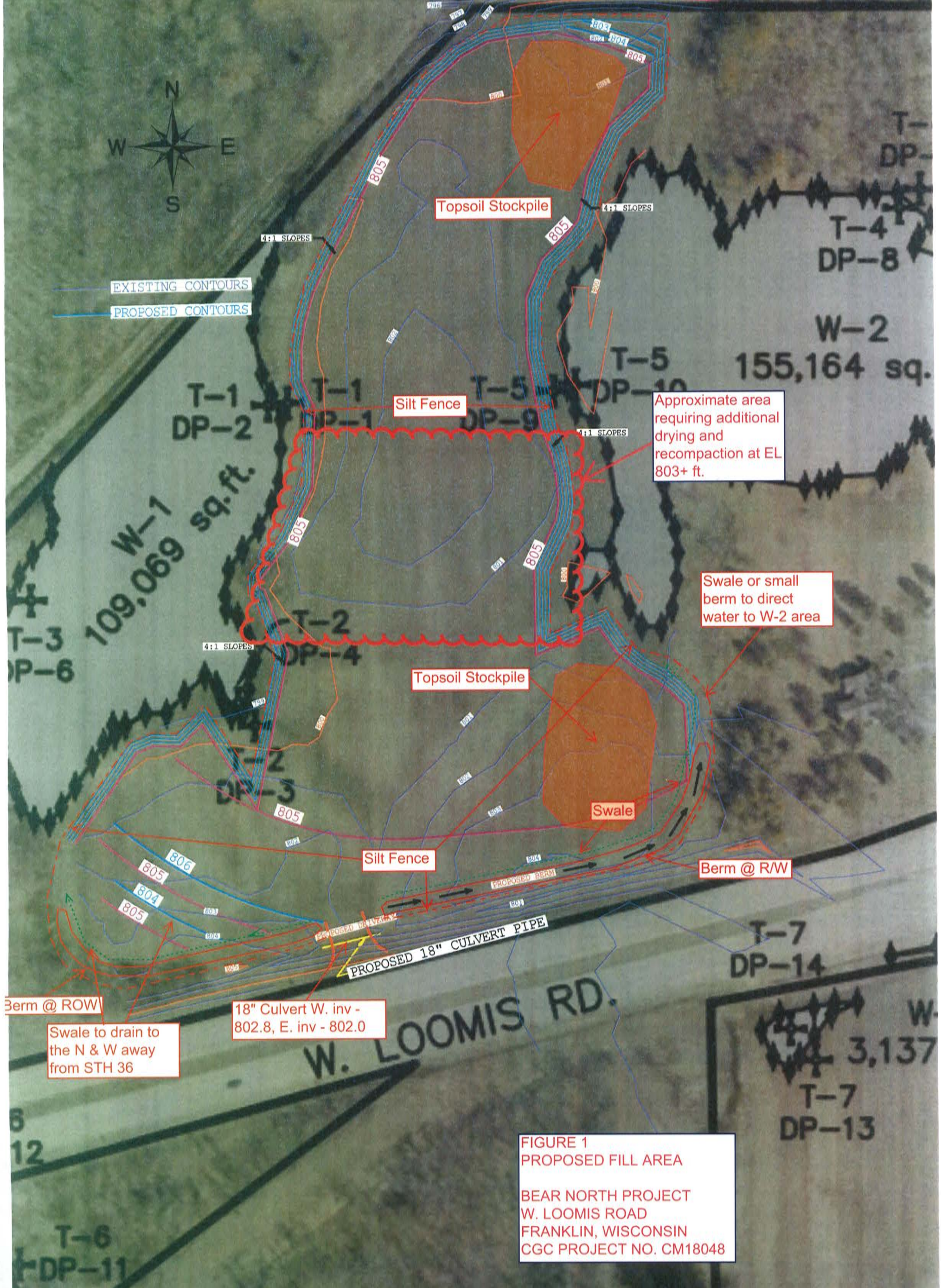
APPENDIX A

FIGURE 1 – PROPOSED FILL AREA

PROJECT AREA BOUNDARIES



EXISTING CONTOURS
PROPOSED CONTOURS



Approximate area requiring additional drying and recompaction at EL 803+ ft.

Swale or small berm to direct water to W-2 area

18" Culvert W. inv - 802.8, E. inv - 802.0

Swale to drain to the N & W away from STH 36

FIGURE 1
PROPOSED FILL AREA

BEAR NORTH PROJECT
W. LOOMIS ROAD
FRANKLIN, WISCONSIN
CGC PROJECT NO. CM18048

100 ft

May 31, 2022

Mr. Regulo Martinez-Montilva
9229 W. Loomis Road
Franklin, WI 53132

RE: Woodfield Trail Site Plan

Dear Mr. Martinez-Montilva:

Bear Development is pleased to submit this letter and the enclosed re-submittal materials as formal application for Site Plan Approval for Woodfield Trail Condominiums. Bear Development is acting on behalf the record owner, Boomtown, LLC.

Project Summary

The property in question, consists of Lot 1 of Certified Survey Map #9338. Certified Survey Map No. 9338 was recorded on August 6, 2021, as Document Number 11148158. The property is currently vacant and includes public road frontage on W. Ryan Road and STH 36 (Loomis Road). The property is located within City of Franklin TID #6.

Parcel 1

Tax Key Number: 891-9011-000
Acreage: 15.61 Acres
Current Use: Vacant
Proposed Use: Ranch Condominiums
Zoning: R-8 Multiple Family Residence District
Site Plan Request: Condominium neighborhood consisting of twenty-six (26) residential units arranged in two-family structures.

Special Use Permit

- Under a separate application, Bear Development has also submitted a Special Use Application in the R-8 Multiple Family Residence District to allow a condominium neighborhood consisting of twenty-six (26) residential dwelling units on the referenced parcels. The units will be arranged in 2 family buildings.
-

Previous Approvals

- Certified Survey Map, Land Division
- Variance to allow a front yard setback of 20 feet
- Natural Resources Special Exception to allow limited impacts to the Wetland Buffer and Setback



Phone: 262.694.2327



beardevelopment.com



4011 80th Street, Kenosha, WI 53142

Woodfield Trail Ranch Condominiums

Woodfield Trail is a planned condominium neighborhood consisting of twenty-six (26) homes arranged in 2-family, ranch style buildings. The neighborhood will be served with full public utilities and roadway. The project has been designed in accordance with the City of Franklin Construction Specification and R-8 Multiple Family Zoning District Standards.

The project was specifically designed to minimize impact to the natural resource features as identified in the City of Franklin Unified Development Ordinance. The building pads vary in size and exact home plans will need to be designed and finalized for several building pads to eliminate any encroachment into the Wetlands Setback.

The neighborhood drainage is served by a series of engineered stormwater basins and is adequately buffered from STH 36. Woodfield Trail includes public sidewalks and proposed connection to the future City multi-use trail. The enclosed submittal includes Design Engineering Plans and Stormwater Management Report.

The project plans are currently being reviewed by WE Energies for natural gas, electric and street lighting design. The applicant is also in correspondence with the United States Postal Service to finalize mail delivery plans.

Project Schedule

The project schedule is dependent on final municipal approvals/Entitlements. At this point, we anticipate an August 2022 start for site development. Completion of all public improvements should be complete in early November.

Estimate of Site Improvement Costs:

Bear Development, LLC recently received Engineering review comments on May 27, 2022. Based on the engineering comments, the construction plans will need to be revised and re-bid. However, based on previous projects and the volatile construction material market, we *estimate* the following site improvement costs:

Soft Costs:	\$65,000.00
Earthwork:	\$330,700.00
Utilities:	\$660,500.00
Paving & Concrete:	\$210,500.00
Street Trees/Landscaping:	\$35,000.00
Contingency:	\$229,711.00
Total:	\$1,531,411.00





Providing Creative Real Estate Solutions to Build Better Communities

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel Szczap".

Daniel Szczap
Bear Development, LLC



Phone: 262.694.2327



beardevelopment.com



4011 80th Street, Kenosha, WI 53142



May 31, 2022

Regulo Martinez Montilva
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

RE: Woodfield Trail- Revised Submittal

Regulo:

Bear Development, LLC is in receipt of the City Development Review Comments dates, May 3, 2022. Please find our responses below in **Red**.

Staff comments are as follows for the above-referenced applications received on April 12, 2022:

City Development Department comments

1. **Site Plan.** Pursuant to the Unified Development Ordinance (UDO) Section 15-7.0103 “Applications for Site Plan Review”, please add or revise the following:
 - C. “Architect and/or Engineer's Name and Address. Architect and/or engineer's name, address, and seal noted”.

The revised Civil Engineering Infrastructure Plans, dated 5/11/2022 have been revised to include the Civil Engineer’s name , address and seal.
 - G. “Soils Data. The characteristics and types of soils related to contemplated specific uses. Soil borings may be required by the City Engineer, Zoning Administrator, and/or Plan Commission”. Since subject property was recently used as a WDOT Fill site, City Development staff recommends soil borings and geotechnical report as part of these Special Use and Site Plan applications.

Bear Development, LLC previously submitted a Summary Report of the WDOT Select Fill project including geotechnical testing. Per our telephone conversation, this report was sufficient to address this comment.

- I. “Type, Size, and Location of All Structures and Signs”. It is not clear whether the numbered rectangles are the home pads or the building footprints, please clarify. The proposed building footprints are required to attest compliance with wetland setbacks.

The revised Civil Engineering Infrastructure Plans include building envelopes showing the maximum size building footprint for each building. The building envelopes are limited due to various setbacks. We understand the restrictions placed on the project due to wetland setbacks.

- CC. “Project summary”. Please add building schedule and estimate of all site improvement costs to the project summary.

Please see revised project summary.

2. **Wetland setback.** Per Natural Resource Special Exception (NRSE); Standards, Findings & Decisions (Doc. 11224509), decision #8 states that “the applicant incurs only temporary impacts to wetland setback and buffer”. In other words, the NRSE did not approve any permanent impact or structures into the 50-foot wetland setback. Please indicate the building footprint of all structures and dwellings to attest compliance with the wetland setback.

The revised Civil Engineering Infrastructure Plans depict the size, location and orientation of proposed building footprints in relation to the wetlands. All building footprints are in compliance with the approved Natural Resource Special Exception.

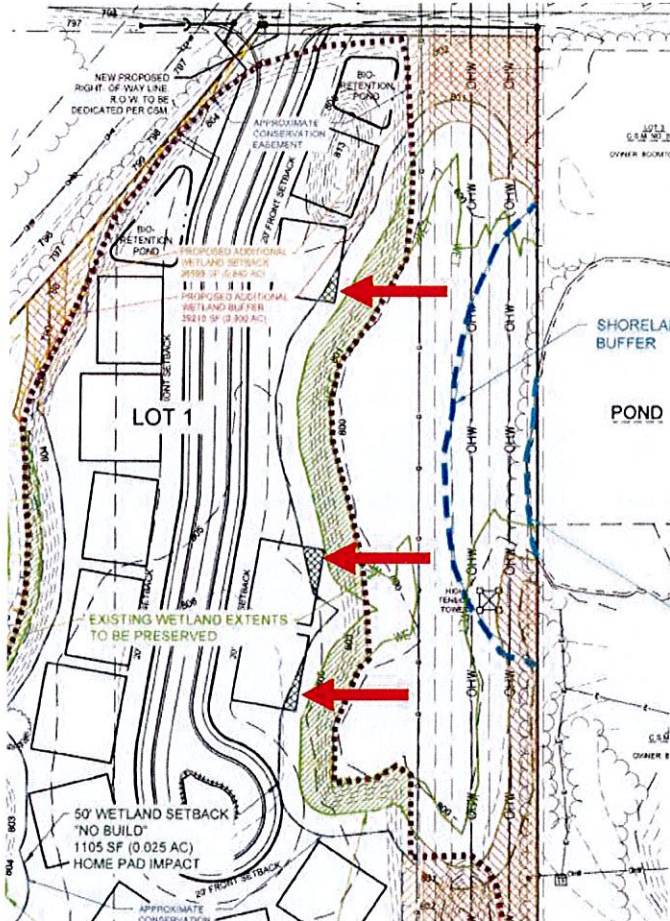
3. **Wetland setback markers.** Per the above-referenced NRSE, decision #5 states that “the applicant shall place boulders or other markers to demarcate the wetland setback on the property”. Please indicate the location of the wetland setback markers on the Site Plan and add a detail of the typical marker.

The revised Civil Engineering Infrastructure Plans depict Wetland Setback Sign locations on Sheets C-7 and C-8. Bear Development will finalize marking method (signs or boulders) as we approach site development and will submit a plan for Staff review/approval.

4. **Amount of temporary grading impacts.** Per the NRSE, decision #7 states that “the applicant shall clarify the amount of temporary grading impacts”. Please provide the amount of wetland setback area to be impacted by grading activities, measured in acres and square feet.

The revised Civil Engineering Infrastructure Plans, Sheet C-10 include the grading impact area calculation.

5. **Wetland setback impact.** Please label the green crosshatched areas in the Natural Resource Protection Plan. Per staff comment #2, please confirm that this impact to the wetland setback is for grading only, not for placing new structures.



A revised Natural Resource Protection Plan is included in the re-submittal. Bear Development understands that permanent structures cannot be located in the Wetlands Setback.

6. **New wetland buffer impact not approved.** The NRSE did not approve any new impacts to the wetland buffer. Please add a label to the NRPP and Landscape Plan stating that the wetland buffer impact areas have already been disturbed. City Development has no comments about the proposed ground cover, Agrecol Shortgrass Prairie.

Noted. The revised NRPP and Landscape Plans identify the City restrictions to the Wetland Buffer and Setback.

7. **Conservation easement.** Recording of the conservation easement document will be required prior to the issuance of building permits.

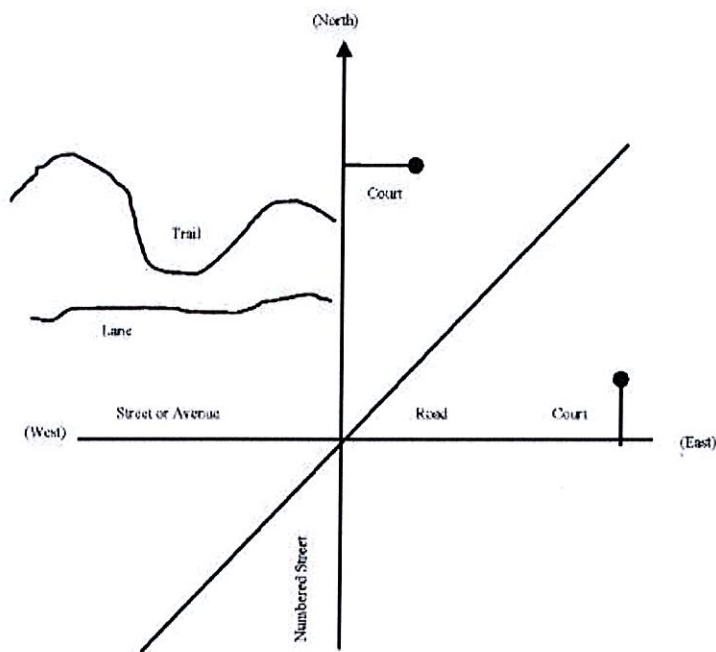
Noted.

8. **Landscape bufferyard easement.** Pursuant to UDO § 15-5.0102, a landscape bufferyard easement with a minimum width of 30 feet is required along Loomis Rd (STH 36). The easement line is indicated on the Landscape Plan but it is not labeled, please add label. Recording of the landscape bufferyard easement document will be required prior to the issuance of building permits.

Noted. Please see revised Landscape Plans.

9. **Cul-de-sac street.** Please add length of the proposed cul-de-sac street, measured from the Ryan Road centerline to the center of the island. This length cannot exceed 800 feet per UDO Section 15-5.0103A. Please indicate the name for this street, “Court” is recommended for cul-de-sac streets per the street naming system (UDO Figure 15-5.0101).

Figure 15-5.0101
STREET NAMING SYSTEM

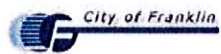
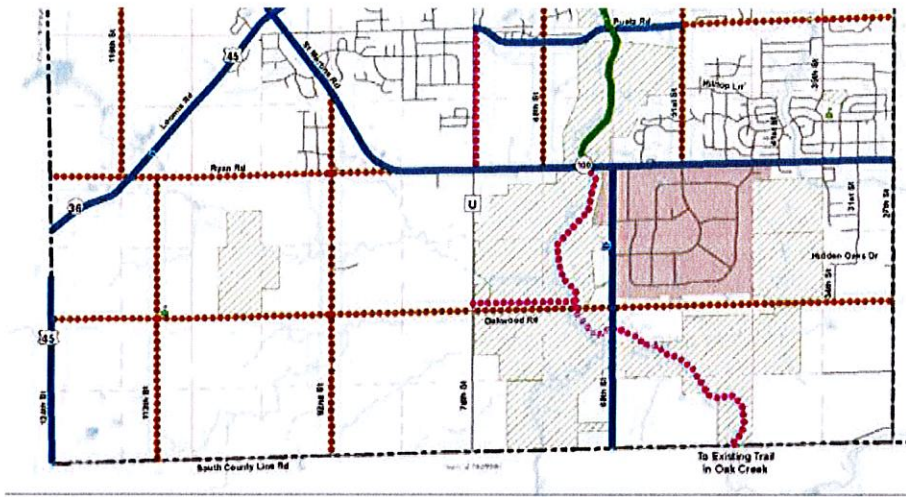


Please see page C-10 of the Revised Civil Engineering Infrastructure Plans. The cul-de-sac has a total length of 769 feet and has been named Woodfield Court.

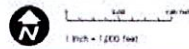
10. **Pedestrian Facility along Ryan Road.** Based on the Comprehensive Master Plan, Map 7.4 Bicycle and Pedestrian Circulation Facilities. City Development staff recommends the installation of a pedestrian path per City of Franklin specifications on the south side of Ryan Road, from the new sidewalk on the east side of the proposed cul-de-sac street to the eastern boundary of the subject site.

Please see page C-16 of the Revised Civil Engineering Infrastructure Plans. Bear Development seeks direction from the City as to whether the future trail is to be shown in

the W. Ryan Road Right of Way or shown as an easement on private lands.



Bicycle and Pedestrian Circulation Facilities



R.A. Smith National
Board Surveying
and Engineering



11. Approval of a Condominium Plat by Common Council will be required, see submittal requirements in application form available at: <https://www.franklinwi.gov/Files/Planning/PermitApplications/Land-Division-Review-Application-20211.pdf> . Condominium Plat recording will be required prior to the issuance of building permits.

Noted. The Condominium Plat will be submitted once we receive and address City Engineering comments.

12. Any monument sign will be subject to a separate sign permit.

Noted.

13. Per city's parking schedule (UDO Table 15-5.0203), a two-car attached garage per dwelling unit is required. Please confirm that the proposed garages are able to accommodate two cars.

All future dwelling units will include a two-car attached garage.

Engineering Department comments

14. *No comments on the Site Plan application. Engineering aspects will follow once we receive the Engineering plans for review and recommendations.*

Fire Department comments

15. *The fire code is pretty silent on 1-2 family residences, so our main concern in the water infrastructure, which appears satisfactory for this development. I will again mention that this area is not well-served by existing fire stations and staffing, and that effective response force (ERF) response times may exceed industry and department benchmarks for both EMS and fire calls. The City is in planning to relocate Station #2 to the West, and enhance staffing at that station, which will serve to remedy this situation in the future, but even as this continues to move forward, it is still years out.*

Inspection Services Department comments

16. *Inspection Services has no comments on the proposal at this time.*

Police Department comments

17. *The PD has no comment regarding this request.*

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ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

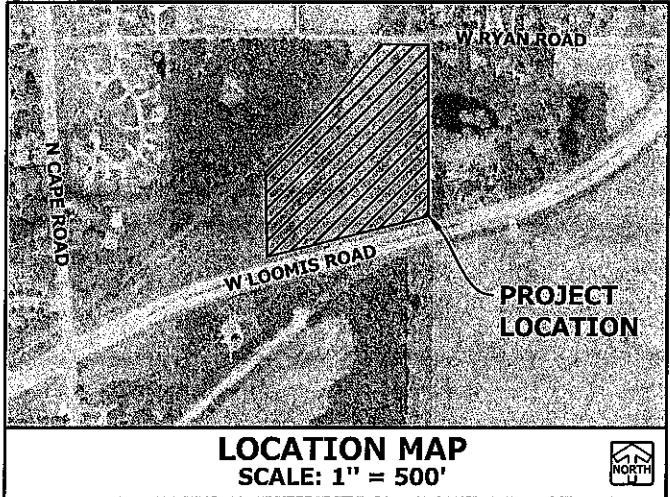
WOODFIELD TRAIL

FRANKLIN, MILWAUKEE COUNTY, WI

PLANS PREPARED
FOR



LEGEND	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	⊙
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	□
PRECAST FLARED END SECTION	△	△
CONCRETE HEADWALL	∩	∩
VALVE BOX	x	x
FIRE HYDRANT	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—W—	—W—
FIRE PROTECTION	—FP—	—FP—
ELECTRICAL CABLE	—E—	—E—
OVERHEAD WIRES	—OHW—	—OHW—
GAS MAIN	—G—	—G—
TELEPHONE LINE	—T—	—T—
UTILITY CROSSING	—	—
CAUTION EXISTING UTILITIES NEARBY	⚠	⚠
GRANULAR TRENCH BACKFILL	▨	▨
LIGHTING	⊙	⊙
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
CONTOUR	749	749
SPOT ELEVATION	x(750.00)	+750.00
WETLANDS	▨	▨
PRIMARY ENVIRONMENTAL CORRIDOR	▨	▨
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	—SF—	—SF—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—



REFERENCE BENCHMARKS:
BENCHMARK = RAILROAD SPIKE IN UTILITY POLE
ELEVATION=802.73

VERTICAL DATUM: NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29)
HORIZONTAL DATUM: WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1927 (NAD27)

ABBREVIATIONS			
BL	BASE LINE	MH	MANHOLE
BP	BOTTOM OF PIPE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
FYG	FINISHED YARD GRADE	TS	TOP OF SIDEWALK
HWL	HIGH WATER LEVEL	TW	TOP OF FOUNDATION WALL
INV	INVERT	WM	WATER MAIN
L	LENGTH OF CURVE	Δ	INTERSECTION ANGLE

PROJECT TEAM CONTACTS	
CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888	OWNER: DAN SZCZAP BEAR DEVELOPMENT, LLC 4011 80TH STREET KENOSHA, WI 53142 (262) 949-3788
SURVEYOR: JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888	

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FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	SITE PLAN OVERVIEW
C-4	PROPOSED TYPICAL SECTIONS
C-5	UTILITY PLAN OVERVIEW
C-6 - C-8	ROADWAY & STORM SEWER P&P
C-9	WATER AND SANITARY PLAN AND PROFILE
C-10 - C-12	GRADING PLAN
C-13 - C-15	EROSION CONTROL PLAN
C-16	INTERSECTION DETAILS
C-17 - C-20	CONSTRUCTION DETAILS

GENERAL NOTES	
1.	THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
2.	A GEOTECHNICAL REPORT HAS NOT BEEN PREPARED FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
3.	THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
4.	THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
5.	THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON HIS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
6.	QUESTIONS/CLEARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
7.	PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
8.	COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIED THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
9.	SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
10.	THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
11.	THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
12.	SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
13.	CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
14.	THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

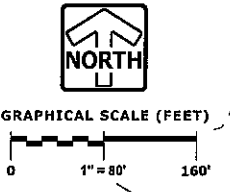
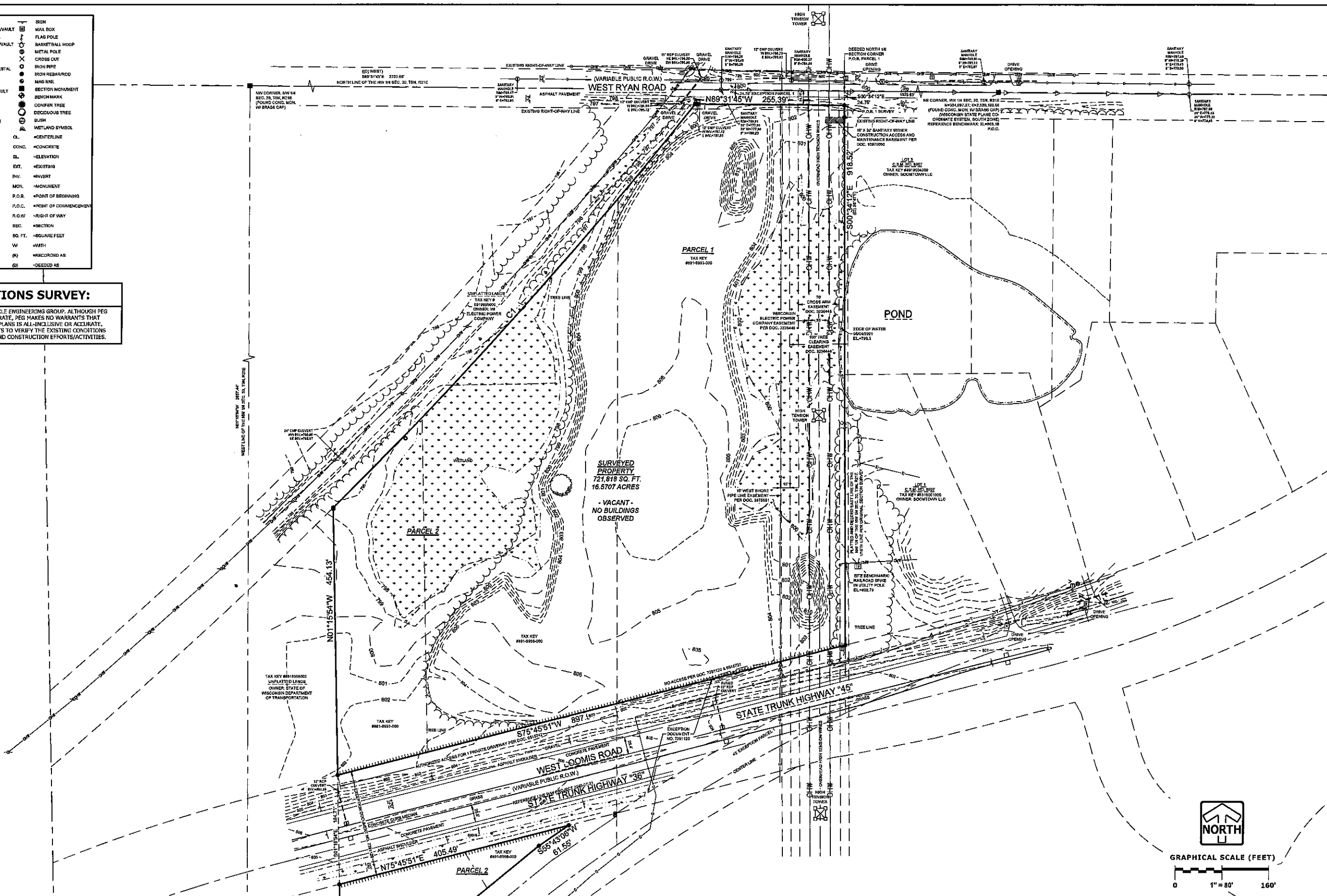
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<ul style="list-style-type: none"> ○ SANITARY MANHOLE ○ SEPTIC COVER ○ STORM INLET ○ CLEANOUT ○ CATCH BASIN ○ LATERAL ○ UNKNOWN MANHOLE ○ WELL ○ HYDRANT ○ WATER VALVE ○ DOWN SPOUT ○ SPRINKLER VALVE ○ WATER SHUT OFF ○ STANDPIPE ○ WATER MANHOLE ○ FLOOD LIGHT ○ LIGHT POLE ○ TRAFFIC SIGNAL ○ UTILITY POLE ○ GUY WIRE 	<ul style="list-style-type: none"> ○ FIBER OPTIC MARKER ○ FIBER OPTIC MANHOLE/Vault ○ TELEPHONE REDESTAL ○ TELEPHONE MANHOLE/Vault ○ TELEPHONE MARKER ○ TRANSFORMER ○ ELECTRIC METER/PEDESTAL ○ ELECTRIC VAULT ○ CABLE TV R-RESEBOX ○ GAS VALVE ○ GAS METER ○ AIR CONDITIONING UNIT ○ VENT ○ WOOD POST ○ DUMPSTER ○ SOIL BORING ○ SPOT ELEVATION ○ EXT. EXISTING ○ INV. INVERT ○ MON. ENCLOSURE ○ P.O.B. #POINT OF BEGINNING ○ P.O.C. #POINT OF COMMENCEMENT ○ R.O.W. #RIGHT OF WAY ○ SEC. #SECTION ○ SQ. FT. #SQUARE FEET ○ W# #WIDTH ○ #RECORDED AS ○ #DEEDED AS 	<ul style="list-style-type: none"> ○ ROOF ○ MAIL BOX ○ FLAG POLE ○ BASKETBALL HOOP ○ METAL POLE ○ CROSS OUT ○ IRON PIPE ○ IRON REBAR/ROD ○ NAIL BOLT ○ SECTION MONUMENT ○ BENCHMARK ○ CONIFER TREE ○ DECIDUOUS TREE ○ BUSH ○ WETLAND SYMBOL ○ CONCR. #CONCRETE ○ #ELEVATION ○ #EXISTING
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EXISTING CONDITIONS SURVEY:

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(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

WOODFIELD TRAIL

EXISTING CONDITIONS PLAN

WEST RYAN ROAD, FRANKLIN, WI 53132

REVISIONS

NO.	ADDRESS	CITY	COMMENTS	DATE
1				5/11/22

PEG JOB No. 809.60 PEG PM. MAC START DATE 04-07-22 SCALE N.T.S.	SHEET C-2 C-20
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 EXISTING CONDITIONS PLAN

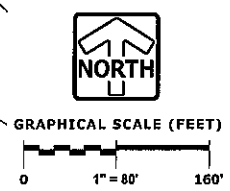
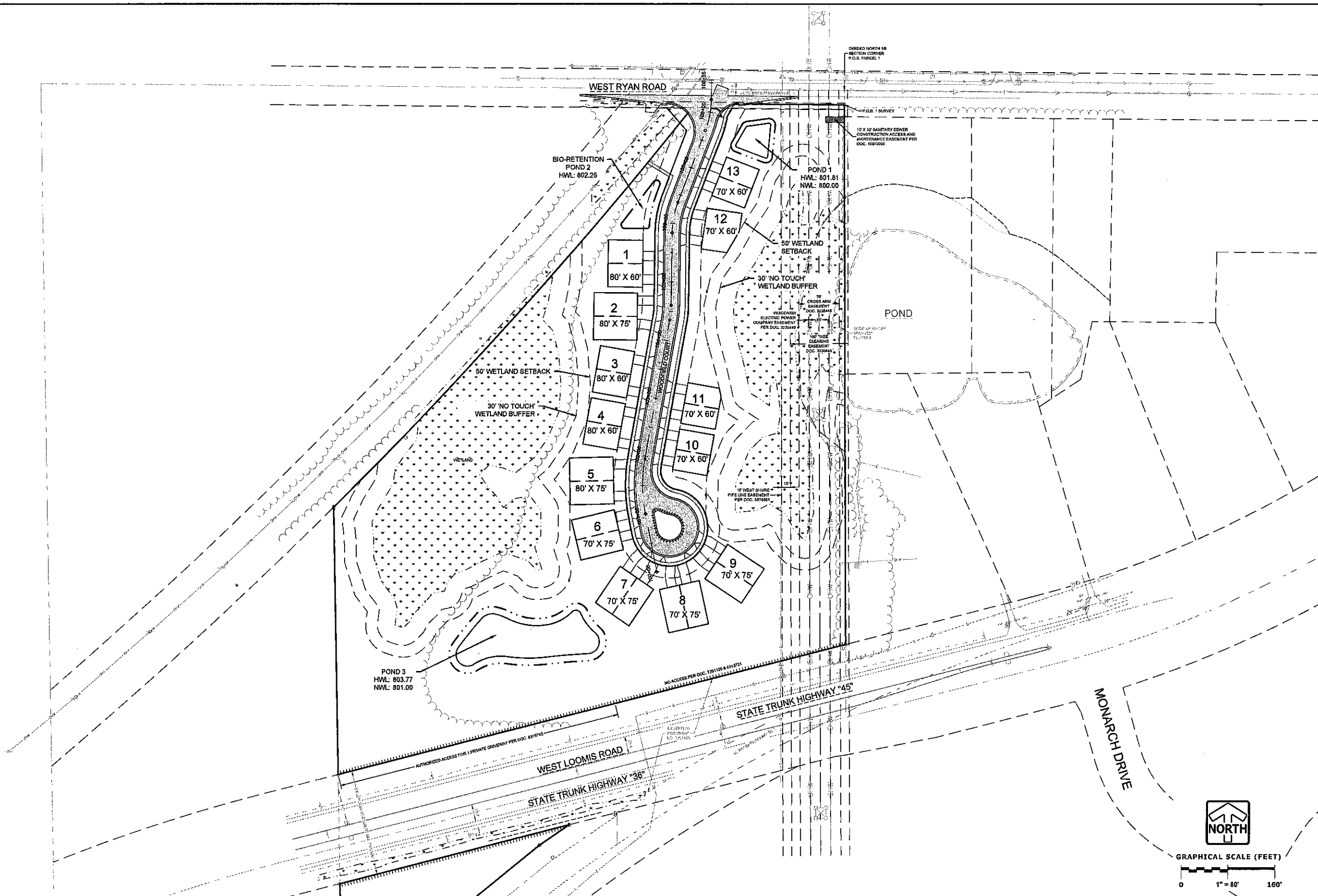
Z:\PROJECTS\2016\809.60-W\CAD\SHETS\809.60 EXISTING CONDITIONS.DWG

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SITE PLAN OVERVIEW



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 (262) 754-8888
 CHICAGO | MILWAUKEE | MADISON

WOODFIELD TRAIL
WEST RYAN ROAD, FRANKLIN, WI 53132

SITE PLAN OVERVIEW

REVISIONS	
1	ADDRESS CITY COMMENTS 5/11/22

REG. JOB NO.	809.60
DESIGNER	MCC
START DATE	01-07-22
SCALE	N.T.S.

SHEET
C-3
 C-20

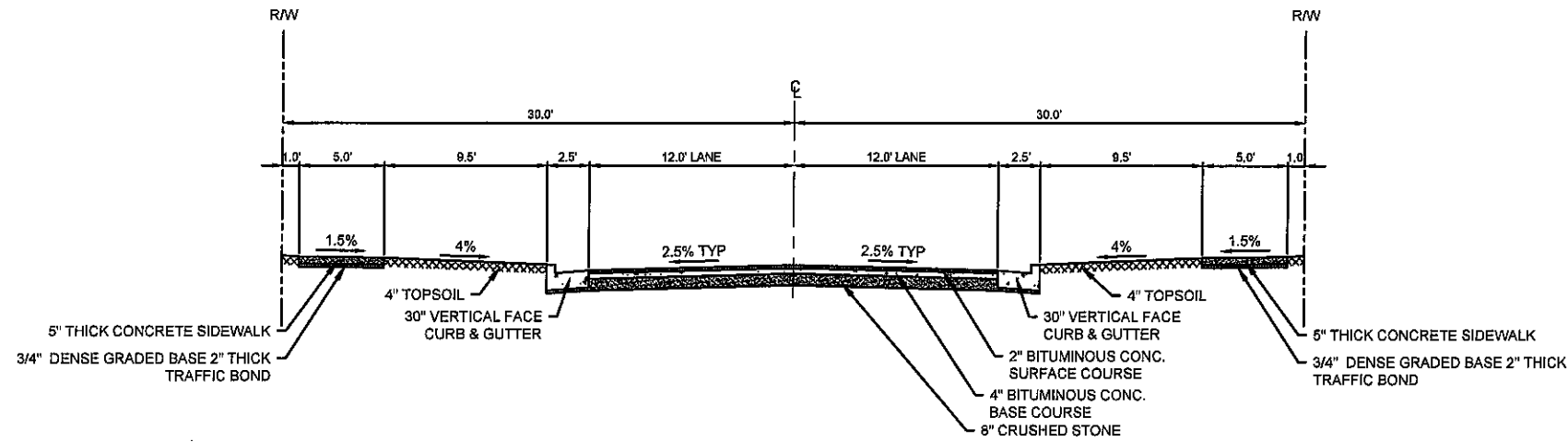
Z:\PROJECTS\2016\809.60-WA\CAD\SHEETS\809.60 SITE PLAN.DWG

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DESIGNED: MAC

DESIGNED: MAC

DESIGNED: MAC



**PROPOSED RESIDENTIAL STREET TYPICAL SECTION - 60' R.O.W.
WOODFIELD COURT
STA 101+50.00 TO 107+50.00**

NOTE: CRUSHED STONE BASE SHALL CONSIST OF THE BOTTOM 4 INCHES OF 1 1/2" TO 3" TB AND THE TOP 4 INCHES OF 3/4" TO 1 1/2" TB.
NOTE: BITUMINOUS CONC BASE COURSE TO HAVE A NO.3 (19.0mm) GRADATION (3 MT 58-28 S), BITUMINOUS CONC SURFACE COURSE TO HAVE A NO.4 (12.5mm) GRADATION (4 MT 58-28 H).

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PROPOSED TYPICAL SECTIONS



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PROPOSED TYPICAL SECTIONS

REVISIONS	
1. ADDRESS CITY COMMENTS	5/11/22

REG JOB No. 809.60
REG PM. MAC
START DATE 01-07-22
SCALE N.T.S.

SHEET
C-4
C-20

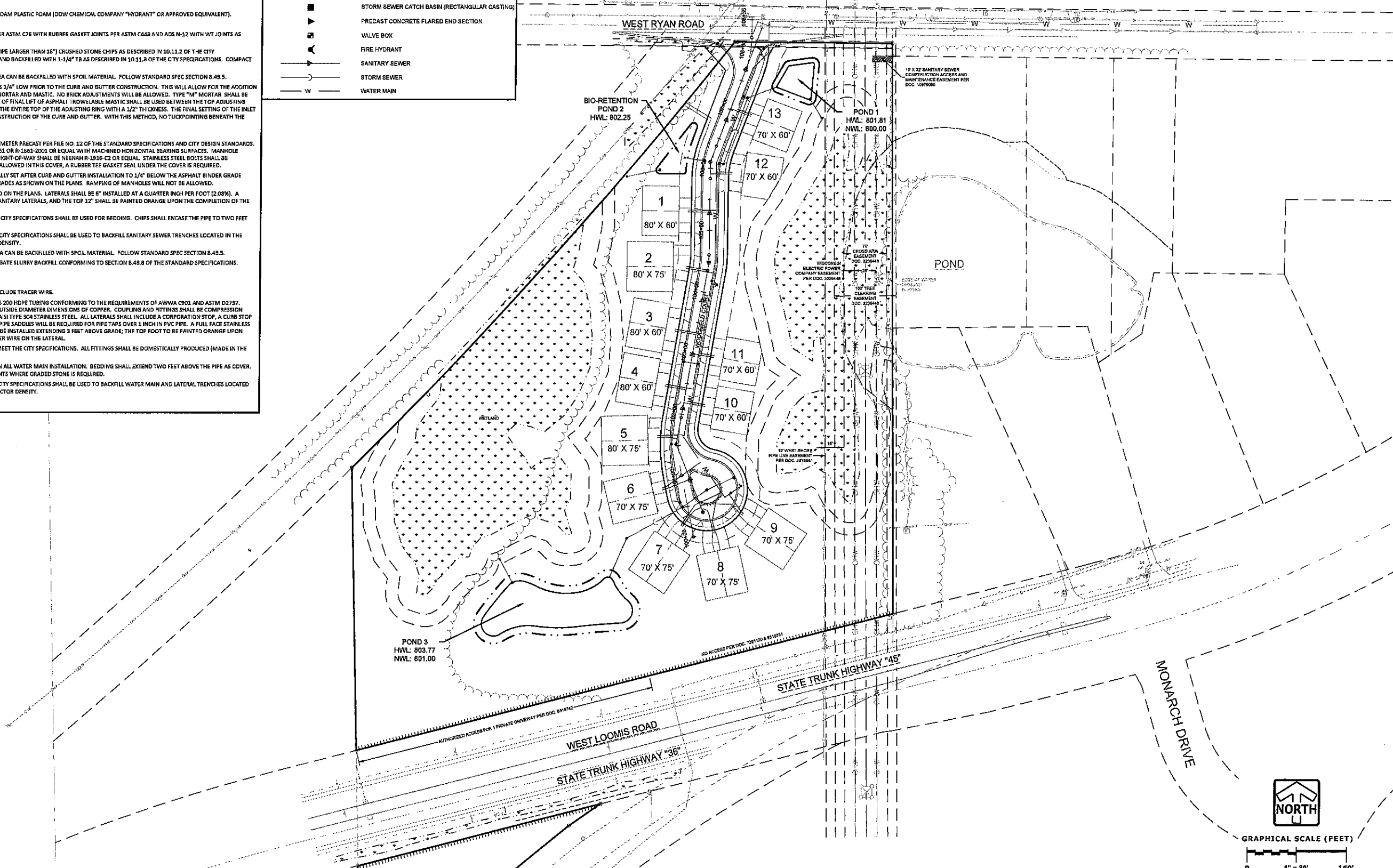
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 DRAWN BY: MJC
 DESIGNED BY: MJC
 REVIEWED BY: MJC

UTILITY NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF FRANKLIN DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS (JULY 2017), THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION, AND MMSD REQUIREMENTS. THESE UTILITY NOTES ARE NOT A COMPLETE LIST OF THE REQUIREMENTS.
- CONTACT DIGGER'S HOTLINE BEFORE UTILITY WORK. CONTACT FRANKLIN SEWER AND WATER DEPARTMENT TO LOCATE EXISTING SEWER AND WATER UTILITIES.
- INSULATION SHALL BE 2" x 8" x 2" THICK PLANKS OF STYROFOAM PLASTIC FOAM (DDW CHEMICAL COMPANY "HYDRANT" OR APPROVED EQUIVALENT).
- STORM SEWER
 - STORM SEWER SHALL BE REINFORCED CONCRETE PIPE PER ASTM C76 WITH RUBBER GASKET JOINTS PER ASTM C448 AND ADS N-52 WITH W7 JOINTS AS SPECIFIED ON THE PLANS.
 - STORM SEWER SHALL BE BEDDED IN 3/8" OR 5/4" (FOR PIPE LARGER THAN 18") CRUSHED STONE CHIPS AS DESCRIBED IN 10.11.2 OF THE CITY SPECIFICATIONS, TO TWO FEET ABOVE THE TOP OF PIPE AND BACKFILLED WITH 1-1/4" TB AS DESCRIBED IN 10.11.3 OF THE CITY SPECIFICATIONS. COMPACT TO 95% OF MODIFIED PROCTOR DENSITY.
 - TRENCHES THAT ARE LOCATED IN AN OFF-ROADWAY AREA CAN BE BACKFILLED WITH SPOIL MATERIAL. FOLLOW STANDARD SPEC SECTION 8.48.5.
 - THE INLETS ARE TO BE SET THREE INCHES PLUS OR MINUS 1/4" LOW PRIOR TO THE CURB AND GUTTER CONSTRUCTION. THIS WILL ALLOW FOR THE ADDITION OF A TWO INCH ADJUSTING RING AND THE NECESSARY MORTAR AND MASTIC. NO BRICK ADJUSTMENTS WILL BE ALLOWED. TYPE "M" MORTAR SHALL BE USED PER STANDARD SPEC SECTION 8.37.0. AT THE TIME OF FINAL LIFT OF ASPHALT TROWELABLE MASTIC SHALL BE USED BETWEEN THE TOP ADJUSTING RING AND THE INLET FRAME. THE MASTIC SHALL COVER THE ENTIRE TOP OF THE ADJUSTING RING WITH A 1/2" THICKNESS. THE FINAL SETTING OF THE INLET FRAME AND GRATE SHALL BE COMPLETED WITH THE CONSTRUCTION OF THE CURB AND GUTTER. WITH THIS METHOD, NO TUCKPOINTING BENEATH THE FRAME SHOULD BE REQUIRED.
- SANITARY SEWER
 - ALL SANITARY MANHOLES SHALL BE A MINIMUM 48" DIAMETER PRECAST PER FILE NO. 12 OF THE STANDARD SPECIFICATIONS AND CITY DESIGN STANDARDS. MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1561 OR R-1563-2001 OR EQUAL WITH MACHINED HORIZONTAL BEARING SURFACES. MANHOLE FRAME AND GRATE INSTALLED OUTSIDE OF THE STREET RIGHT-OF-WAY SHALL BE NENAH R-1936-C2 OR EQUAL. STAINLESS STEEL BOOTS SHALL BE FURNISHED WITH THIS COVER. NO VENT HOLES WILL BE ALLOWED IN THIS COVER, A RUBBER TEE GASKET SEAL UNDER THE COVER IS REQUIRED.
 - ALL SANITARY MANHOLE RIM ELEVATIONS SHALL BE FINALLY SET AFTER CURB AND GUTTER INSTALLATION TO 1/4" BELOW THE ASPHALT BINDER GRADE ELEVATION WHICH SHALL BE 2-1/4" LOWER THAN THE GRADES AS SHOWN ON THE PLANS. RAMPING OF MANHOLES WILL NOT BE ALLOWED.
 - SANITARY SEWER PIPE AND LATERALS SHALL BE AS NOTED ON THE PLANS. LATERALS SHALL BE 6" INSTALLED AT A QUARTER INCH PER FOOT (2.08%). A MAPLE HEART SHALL BE INSTALLED AT THE END OF ALL SANITARY LATERALS, AND THE TOP 12" SHALL BE PAINTED ORANGE UPON THE COMPLETION OF THE LATERAL INSTALLATION.
 - CRUSHED STONE CHIPS CONFORMING TO 10.11.2 OF THE CITY SPECIFICATIONS SHALL BE USED FOR BEDDING. CHIPS SHALL ENCASE THE PIPE TO TWO FEET ABOVE THE TOP OF PIPE.
 - TRAFFIC BOND (1-1/4") AS DESCRIBED IN 10.11.3 OF THE CITY SPECIFICATIONS SHALL BE USED TO BACKFILL SANITARY SEWER TRENCHES LOCATED IN THE ROADWAYS. COMPACT TO 95% OF MODIFIED PROCTOR DENSITY.
 - TRENCHES THAT ARE LOCATED IN AN OFF-ROADWAY AREA CAN BE BACKFILLED WITH SPOIL MATERIAL. FOLLOW STANDARD SPEC SECTION 8.48.5.
 - BACKFILL IN EXISTING ROADWAY AREAS SHALL BE AGGREGATE SLURRY BACKFILL CONFORMING TO SECTION 8.48.8 OF THE STANDARD SPECIFICATIONS.
 - FOLLOW THE CITY TESTING REQUIREMENTS.
- WATER MAIN
 - WATER MAIN PIPE SHALL BE PVC AWWA C-900 DR-18. INCLUDE TRACER WIRE.
 - WATER LATERALS SHALL BE 1 1/2" PLASTIC PRESSURE CLASS 200 HDPE TUBING CONFORMING TO THE REQUIREMENTS OF AWWA C901 AND ASTM D2737. SERVICE PIPE SHALL HAVE A SDR OF 9 AND SHALL HAVE OUTSIDE DIAMETER DIMENSIONS OF COPPER. COUPLING AND FITTINGS SHALL BE COMPRESSION TYPE. INSERT STIFFENERS FOR PLASTIC TUBING SHALL BE AISI TYPE 304 STAINLESS STEEL. ALL LATERALS SHALL INCLUDE A CORPORATION STOP, A CURB STOP AND A CURB BOX LOCATED AT THE RIGHT-OF-WAY LINE. PIPE SADDLES WILL BE REQUIRED FOR PIPE TAPS OVER 1 INCH IN PVC PIPE. A FULL FACE STAINLESS TOPPING SLEEVE SHALL BE USED. A MAPLE HEART SHALL BE INSTALLED EXTENDING 3 FEET ABOVE GRADE; THE TOP FOOT TO BE PAINTED ORANGE UPON COMPLETION OF LATERAL INSTALLATION. INCLUDE TRACER WIRE ON THE LATERAL.
 - ALL VALVES, FITTINGS, MARKERS AND HYDRANTS SHALL MEET THE CITY SPECIFICATIONS. ALL FITTINGS SHALL BE DOMESTICALLY PRODUCED (MADE IN THE U.S.A.)
 - TRAFFIC BOND 5/4" FOR BEDDING SHALL BE REQUIRED ON ALL WATER MAIN INSTALLATION. BEDDING SHALL EXTEND TWO FEET ABOVE THE PIPE AS COVER. AN EXCEPTION IS IN AREAS AROUND VALVES AND HYDRANTS WHERE GRADED STONE IS REQUIRED.
 - TRAFFIC BOND (1-1/4") AS DESCRIBED IN 10.11.3 OF THE CITY SPECIFICATIONS SHALL BE USED TO BACKFILL WATER MAIN AND LATERAL TRENCHES LOCATED IN THE ROADWAYS. COMPACT TO 95% OF MODIFIED PROCTOR DENSITY.
 - FOLLOW THE CITY TESTING REQUIREMENTS.

LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- STORM SEWER
- WATER MAIN



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WOODFIELD TRAIL
UTILITY PLAN OVERVIEW
WEST RYAN ROAD, FRANKLIN, WI 53132

REVISIONS	
1. ADDRESS CITY COMMENTS	5/11/22

SHEET
C-5
C-20
 REG. JOB No. 809.60
 REG. PW. MAC
 START DATE 05-07-22
 SCALE N.T.S.
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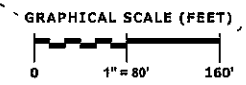
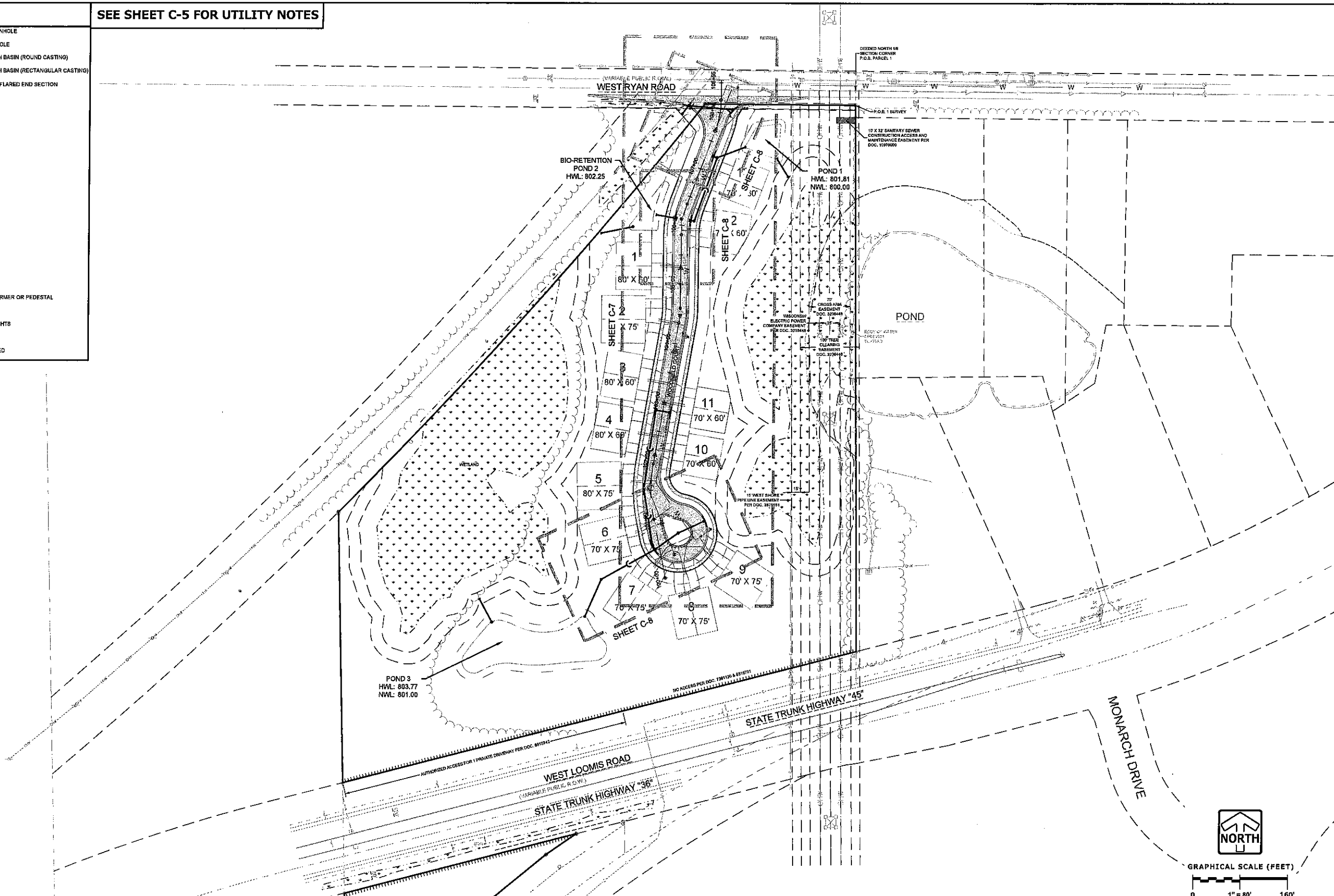
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 REVIEWED: MAC

LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- WATER MAIN
- FIRE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE
- POWER POLE WITH LIGHTS
- STREET SIGN
- UTILITY TO BE REMOVED

SEE SHEET C-5 FOR UTILITY NOTES



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ROADWAY & STORM SEWER P&P OVERVIEW

REVISIONS	
1	ADDRESS CITY COMMENTS 5/11/22

PEG JOB No.	809.60	MAC
PEG PM	MAC	N.T.S.
START DATE	01-07-22	
SCALE		

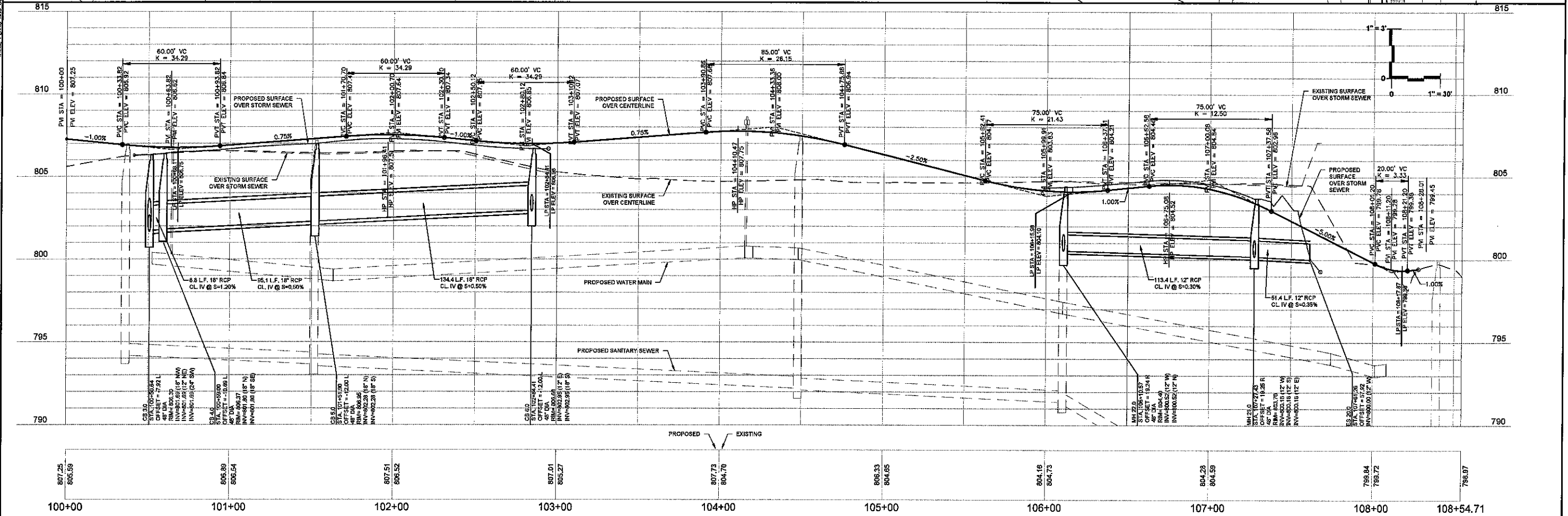
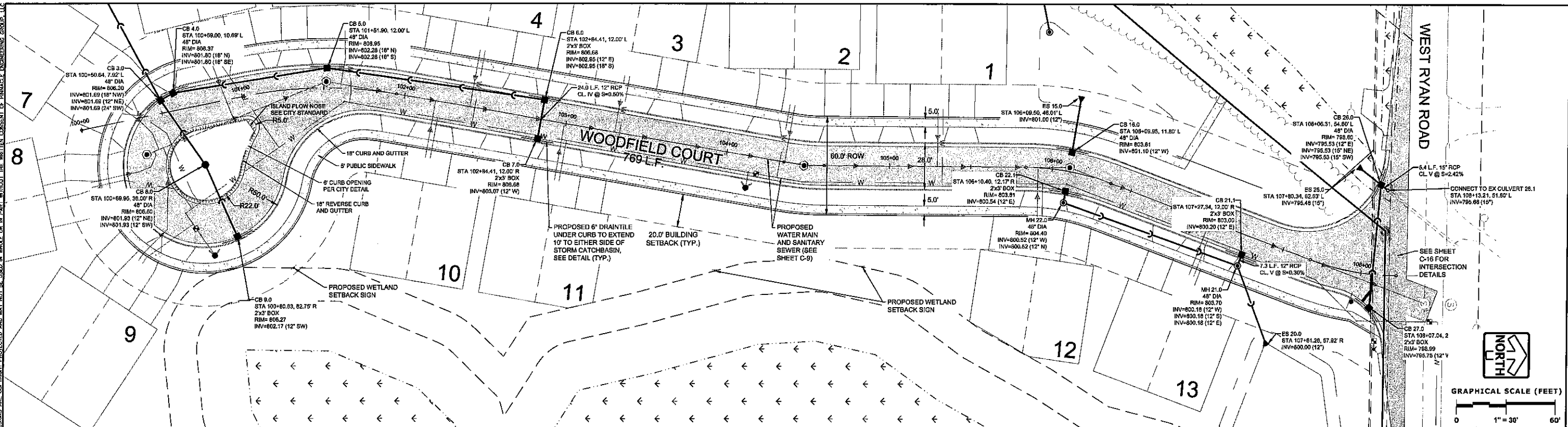
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 ROADWAY & STORM SEWER P&P OVERVIEW

Z:\PROJECTS\2016\809.60-WI\CAD\SHEETS\809.60 ROADWAY PLAN AND PROFILES.DWG

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 REVIEWED: MAC
 DRAFTER: MDC

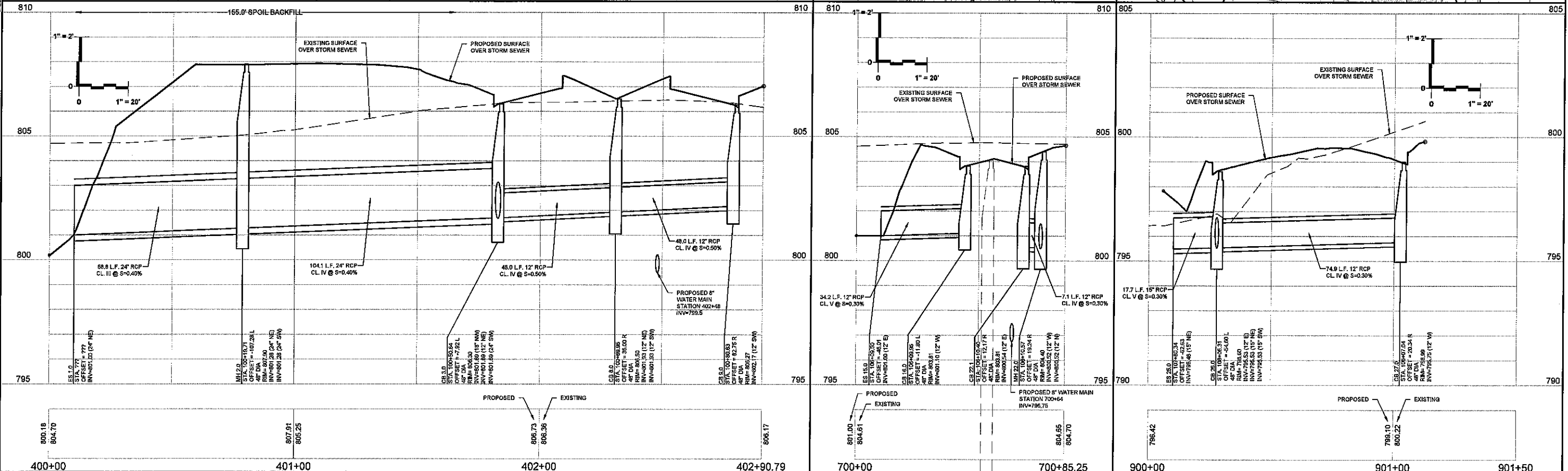
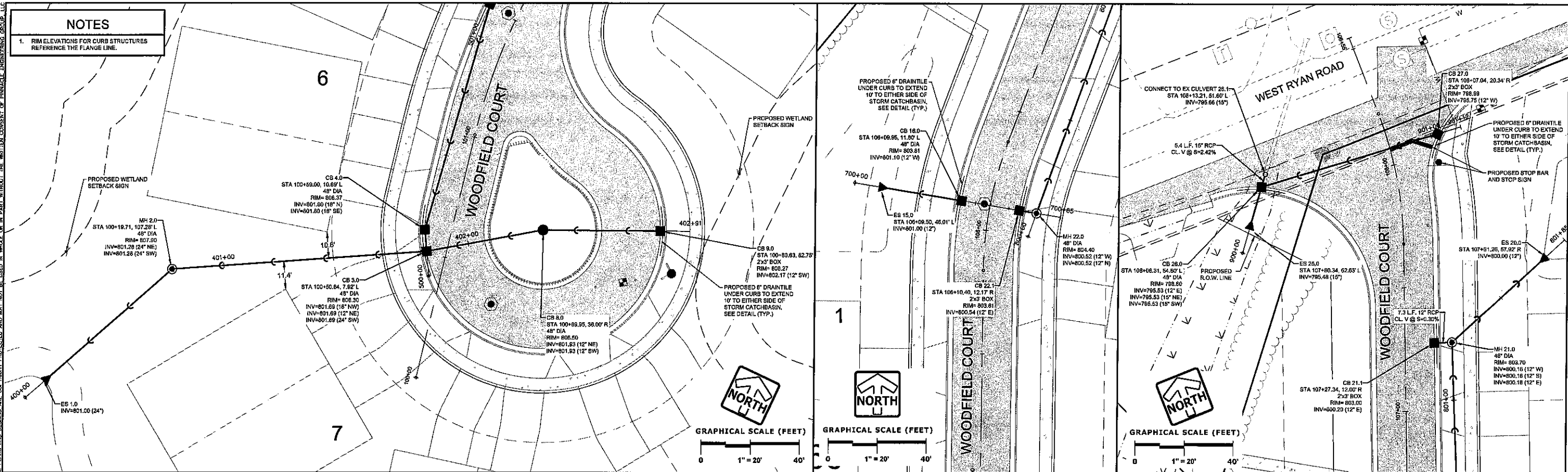
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Z:\PROJECTS\2016\809.60-WI\CAD\SHETS\809.60 ROADWAY PLAN AND PROFILES.DWG

NOTES
 1. RIM ELEVATIONS FOR CURB STRUCTURES REFERENCE THE FLANGE LINE.



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WEST RYAN ROAD, FRANKLIN, WI 53132

REVISIONS

NO.	ADDRESS CITY COMMENTS	DATE
1	ADDRESS CITY COMMENTS	5/11/22

SHEET **C-8**
 C-20

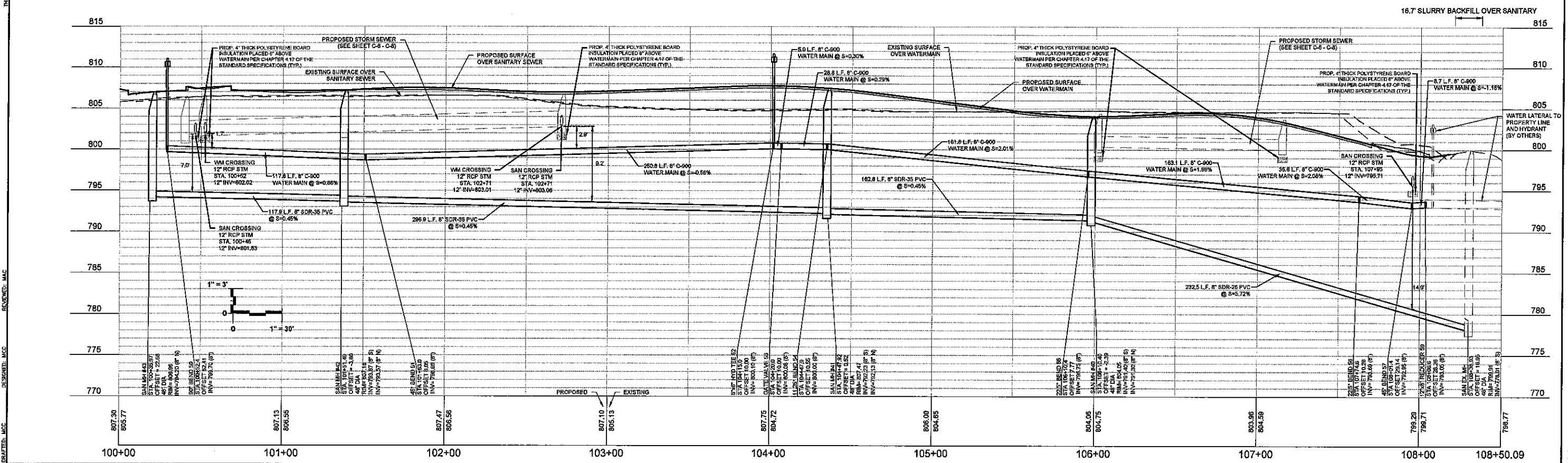
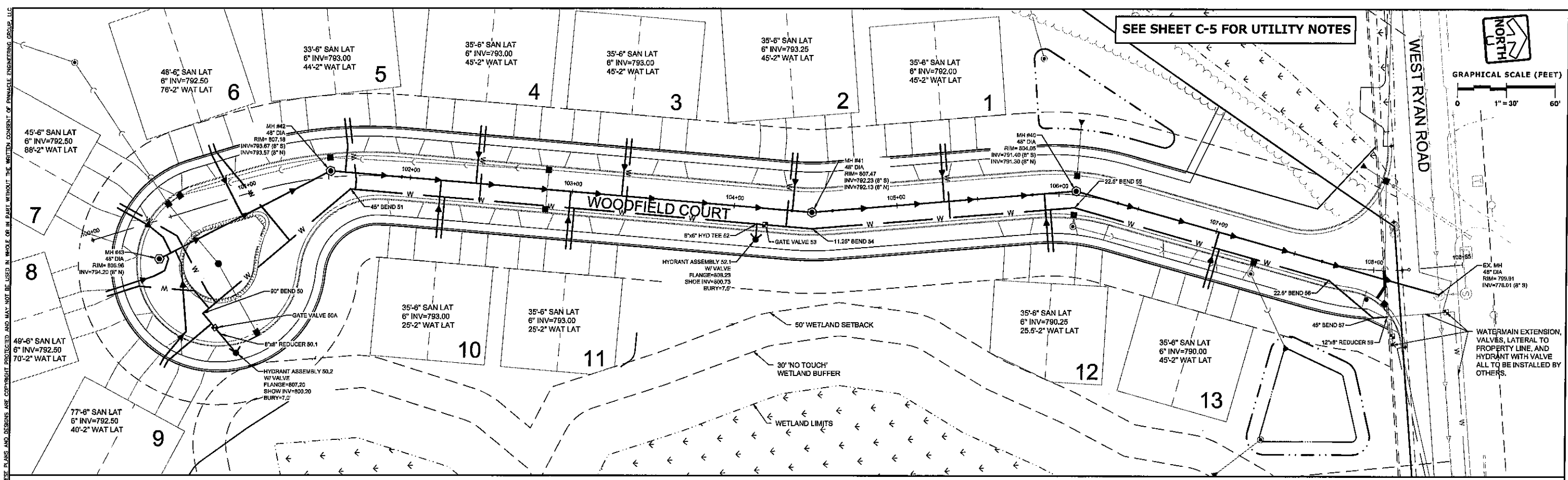
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DRAWN: MAC
REVIEWED: MAC

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SEE SHEET C-5 FOR UTILITY NOTES



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**WATER AND SANITARY
PLAN AND PROFILE**

REVISIONS	
1	ADDRESS CITY COMMENTS 5/11/22

PEG JOB NO.	809.60
PEG PN	MAC
START DATE	01-07-22
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C-20

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WATER AND SANITARY PLAN AND PROFILE
5-SEP-2022

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 PROJECT: MGC

LEGEND

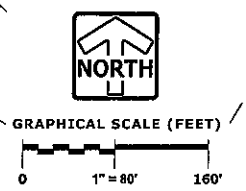
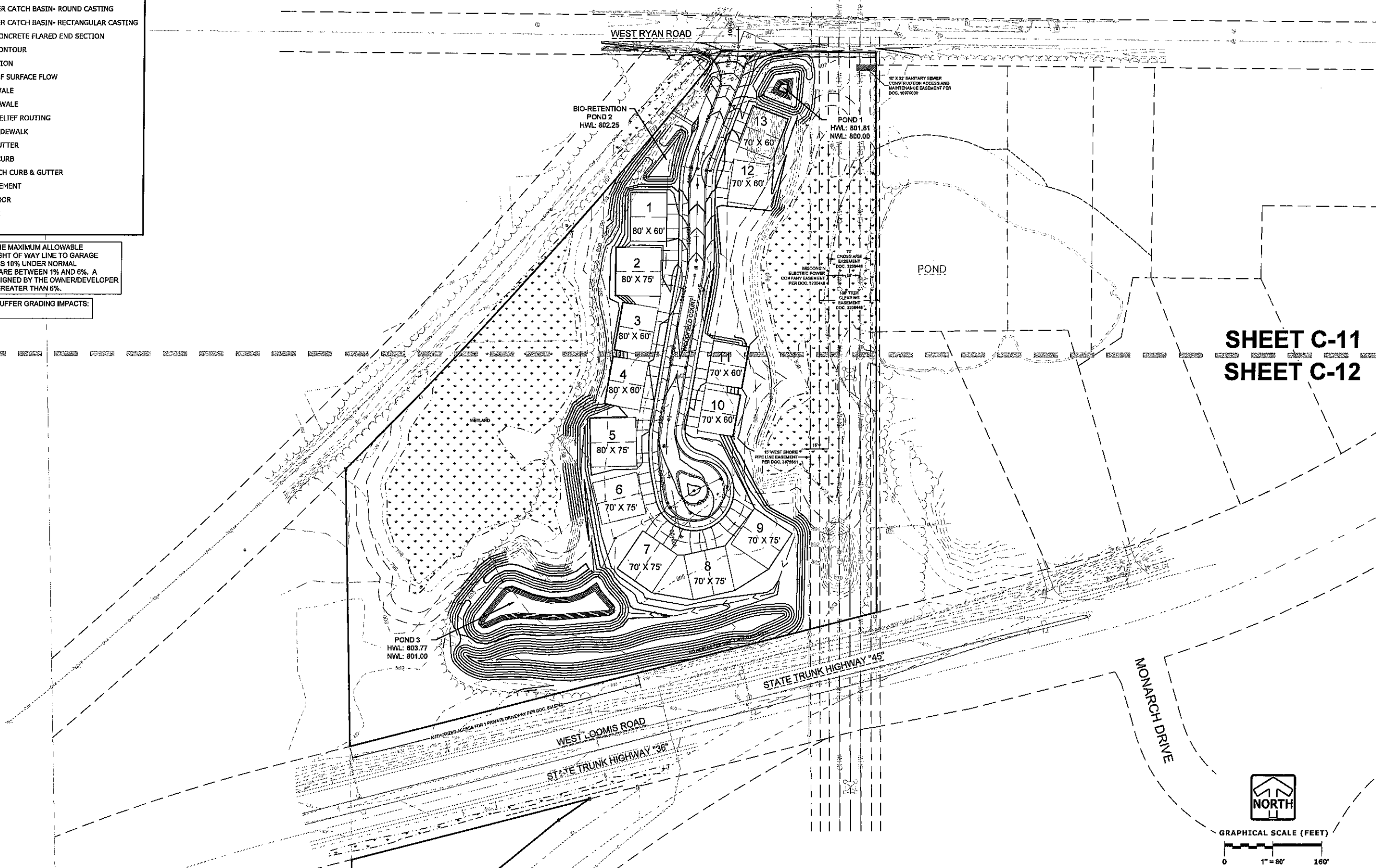
- ⊙ STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ▴ PROPOSED CONCRETE FLARED END SECTION
- 749 PROPOSED CONTOUR
- + 750.00 SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- DITCH OR SWALE
- DIVERSION SWALE
- ↪ OVERFLOW RELIEF ROUTING
- ▬ CONCRETE SIDEWALK
- ▬ CURB AND GUTTER
- ▬ DEPRESSED CURB
- ▬ REVERSE PITCH CURB & GUTTER
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- TW TOP OF WALK
- YG YARD GRADE

RESIDENTIAL DRIVEWAY SLOPES: THE MAXIMUM ALLOWABLE DRIVEWAY (FROM BACK OF WALK/RIGHT OF WAY LINE TO GARAGE FLOOR) FOR THE CITY OF FRANKLIN IS 10% UNDER NORMAL CONDITIONS. SUGGESTED GRADES ARE BETWEEN 1% AND 6%. A WAIVER OF ACCEPTANCE MUST BE SIGNED BY THE OWNER/DEVELOPER FOR ANY DRIVEWAY WITH A SLOPE GREATER THAN 6%.

PROPOSED TEMPORARY WETLAND BUFFER GRADING IMPACTS: 25,320 SF (0.581 AC)

MATCH LINE
MATCH LINE

SHEET C-11
SHEET C-12



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GRADING PLAN OVERVIEW

REVISIONS	
1. ADDRESS CITY COMMENTS	5/11/22

SHEET	C-10	C-20	
PROJECT NO.	809.60	MAC	
START DATE	03-07-22	N.T.S.	
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RESIDENTIAL DRIVEWAY SLOPES: THE MAXIMUM ALLOWABLE DRIVEWAY (FROM BACK OF WALK/RIGHT OF WAY LINE TO GARAGE FLOOR) FOR THE CITY OF FRANKLIN IS 10% UNDER NORMAL CONDITIONS. SUGGESTED GRADES ARE BETWEEN 1% AND 6%. A WAIVER OF ACCEPTANCE MUST BE SIGNED BY THE OWNER/DEVELOPER FOR ANY DRIVEWAY WITH A SLOPE GREATER THAN 6%.

PROPOSED TEMPORARY WETLAND BUFFER GRADING IMPACTS: 25,320 SF (0.581 AC)

SEE SHEET C-16 FOR INTERSECTION IMPROVEMENTS

WEST RYAN ROAD

10' X 32' SANITARY SEWER CONSTRUCTION ACCESS AND MAINTENANCE EASEMENT PER DOC. 10970000

PROPOSED POND EMERGENCY SPILLWAY ELEVATION=802.00

BIO-RETENTION POND 2 HWL: 802.25

PROPOSED BASIN EMERGENCY SPILLWAY ELEVATION=802.50

OCS 36.0 48" DIA RIM= 802.00 INV=798.00 (12" W) DEWATER ORIFICE (INV=798.00 (2') (SEE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION)

55.6 L.F. 12" RCP @ S=0.19%

ES 35.0 INV=797.90 (12")

50' WETLAND SETBACK

30' "NO TOUCH" WETLAND BUFFER

OCS 41.0 48" DIA RIM= 801.50 INV=802.00 (12" 88) DEWATER ORIFICE (INV=800.00 (2') (SEE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION)

36.1 L.F. 12" RCP @ S=0.28%

ES 40.0 INV=799.90 (12")

50' WETLAND SETBACK

30' "NO TOUCH" WETLAND BUFFER

BLDG 1
807.50 TOF
807.33 GAR
807.00 FYG
N DW S=8.7%
S DW S=1.7%

BLDG 2
808.00 TOF
808.83 GAR
808.50 FYG
804.50 LOOKOUT
N DW S=4.7%
S DW S=2.2%

BLDG 3
808.75 TOF
808.58 GAR
808.25 FYG
804.25 LOOKOUT
N DW S=2.5%
S DW S=5.0%

BLDG 4
808.50 TOF
808.33 GAR
808.00 FYG
804.00 LOOKOUT
N DW S=3.9%
S DW S=1.3%

BLDG 13
805.75 TOF
805.58 GAR
805.25 FYG
N DW S=7.1%
S DW S=2.5%

BLDG 12
805.00 TOF
805.83 GAR
805.50 FYG
N DW S=4.7%
S DW S=2.6%

BLDG 11
808.50 TOF
808.33 GAR
808.00 FYG
804.00 LOOKOUT
N DW S=2.7%
S DW S=4.0%

BLDG 10
808.75 TOF
808.58 GAR
808.25 FYG

70' CROSS ARM EASEMENT DOC. 3236448

WISCONSIN ELECTRIC POWER COMPANY EASEMENT PER DOC. 3236448

50' WETLAND SETBACK

30' "NO TOUCH" WETLAND BUFFER

100' TREE CLEARING EASEMENT DOC. 3236448

POND

MATCH LINE

SHEET C-12



GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

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 DRAWN: MAC
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WOODFIELD TRAIL

GRADING PLAN

WEST RYAN ROAD, FRANKLIN, WI 53132

REVISIONS

NO.	DESCRIPTION	DATE
1	ADDRESS CITY COMMENTS	5/11/22

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 REG PM: MAC
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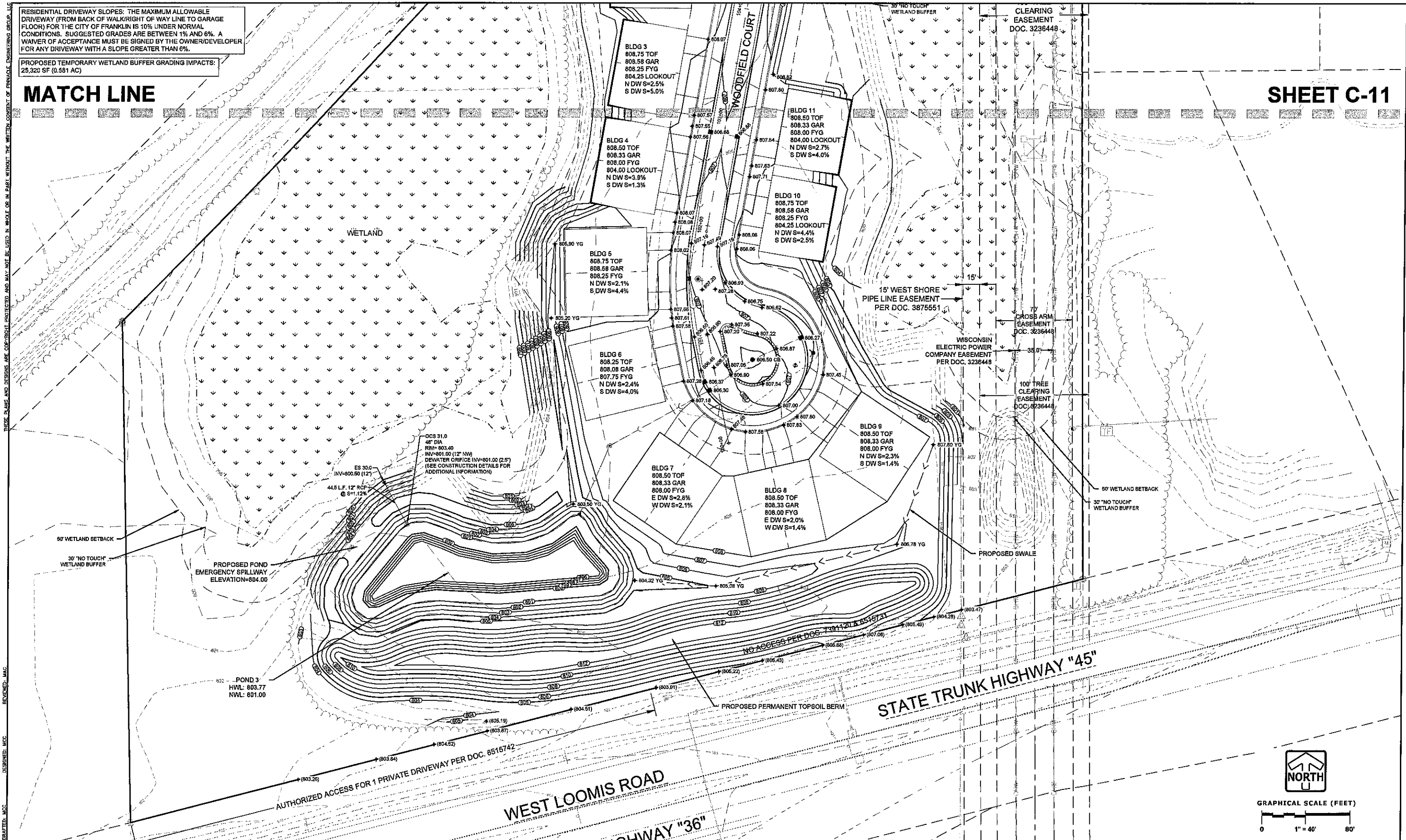
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PROPOSED TEMPORARY WETLAND BUFFER GRADING IMPACTS: 25,320 SF (0.581 AC)

MATCH LINE

SHEET C-11



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GRADING PLAN

REVISIONS	
1	ADDRESS CITY COMMENTS 5/11/22

REG. JOB NO.	809.60
DESIGNER	MAC
START DATE	05-07-22
SCALE	N.T.S.

SHEET C-12 C-20

Z:\PROJECTS\2016\809.60-W\CAD\Sheets\809.60 GRADING PLAN.DWG

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (VPODES PERMIT NO. WA-5067631-4) FOR CONSTRUCTION SITE (LAND DISTURBANCE ACTIVITIES). ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ALL NECESSARY PERMITS MUST BE OBTAINED FROM THE VILLAGE AND OTHER LOCAL, STATE, AND FEDERAL AGENCIES PRIOR TO PERFORMING ANY EARTHWORK OR WORK IN THE VILLAGE RIGHT-OF-WAY.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES. PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING: PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH, BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S758N EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C1258N (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
21. NO EQUIPMENT IS TO BE PLACED OR STORED IN ANY ROAD RIGHT-OF-WAYS WITHOUT PROPER APPROVAL FROM THE VILLAGE.
22. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR TO KEEP EROSION CONTROL RECORDS ON SITE.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS. SEE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.

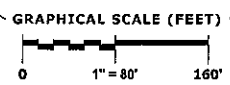
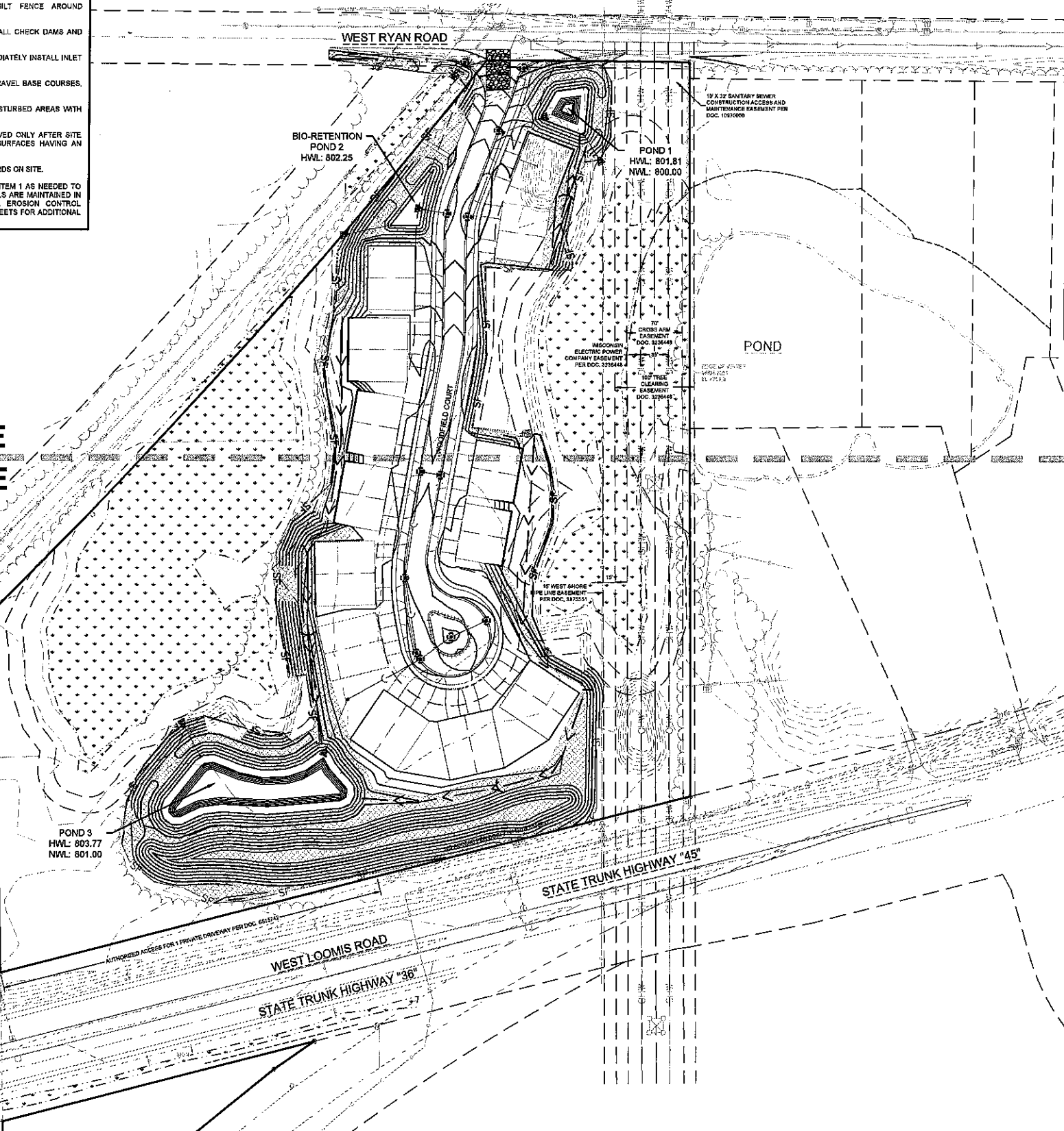
LEGEND

- ⊙ STORM SEWER MANHOLE
- STORM SEWER INLET (ROUND CASTING)
- ▣ STORM SEWER INLET (RECTANGULAR CASTING)
- ▤ PRECAST FLARED END SECTION
- CLEANOUT
- PROPOSED CONTOUR
- WETLANDS
- HIGH WATER LEVEL (HWL)
- NORMAL WATER LEVEL (NWL)
- DIVERSION SWALE
- DIVERSION BERM
- SILT FENCE
- STRAW WATTLE DITCH CHECK
- INLET PROTECTION
- MEDIUM RIP RAP
- ▣ CONSTRUCTION ENTRANCE
- ⊕ HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- ▨ EROSION CONTROL BLANKET

ALL DISTURBED AREAS WHICH ARE NOT MATTED SHALL BE HYDROSEED.

MATCH LINE
MATCH LINE

SHEET C-14
SHEET C-15



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EROSION CONTROL PLAN OVERVIEW

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START DATE 04/27/22
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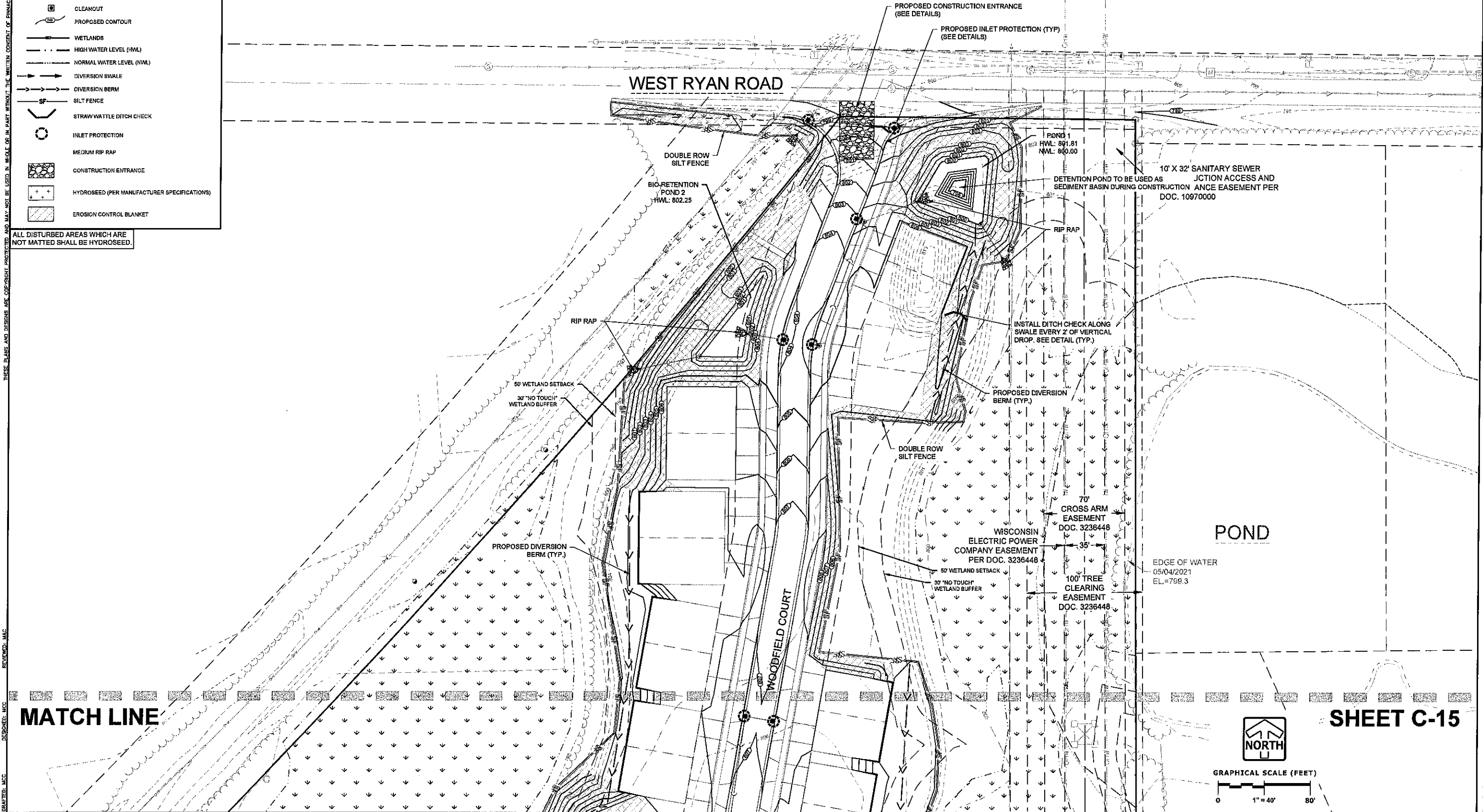
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LEGEND

- STORM SEWER MANHOLE
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ALL DISTURBED AREAS WHICH ARE NOT MATTED SHALL BE HYDROSEED.



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EROSION CONTROL PLAN

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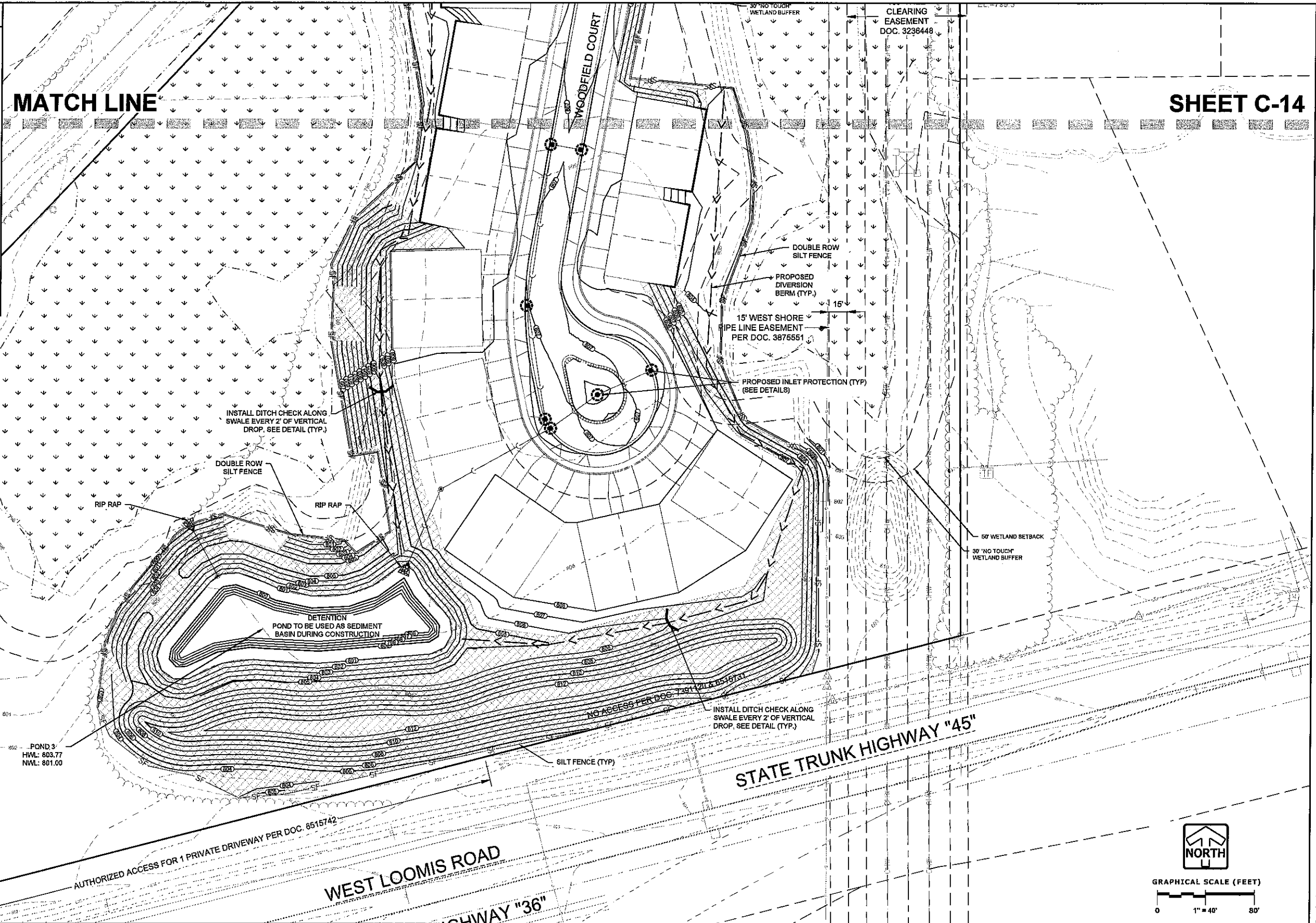
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 EROSION CONTROL PLAN

LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER INLET (ROUND CASTING)
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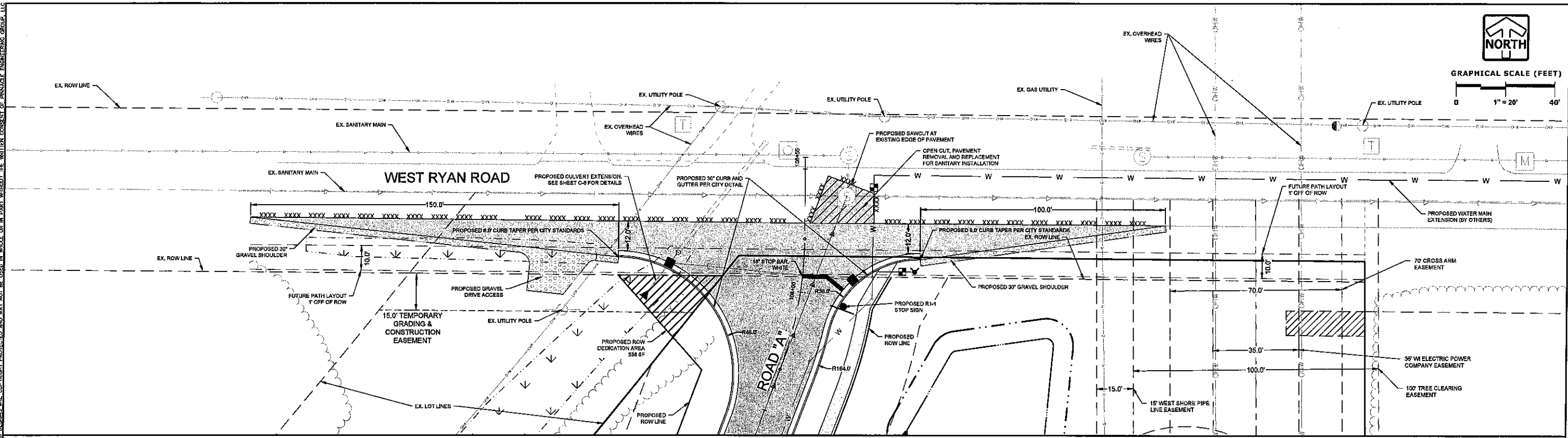
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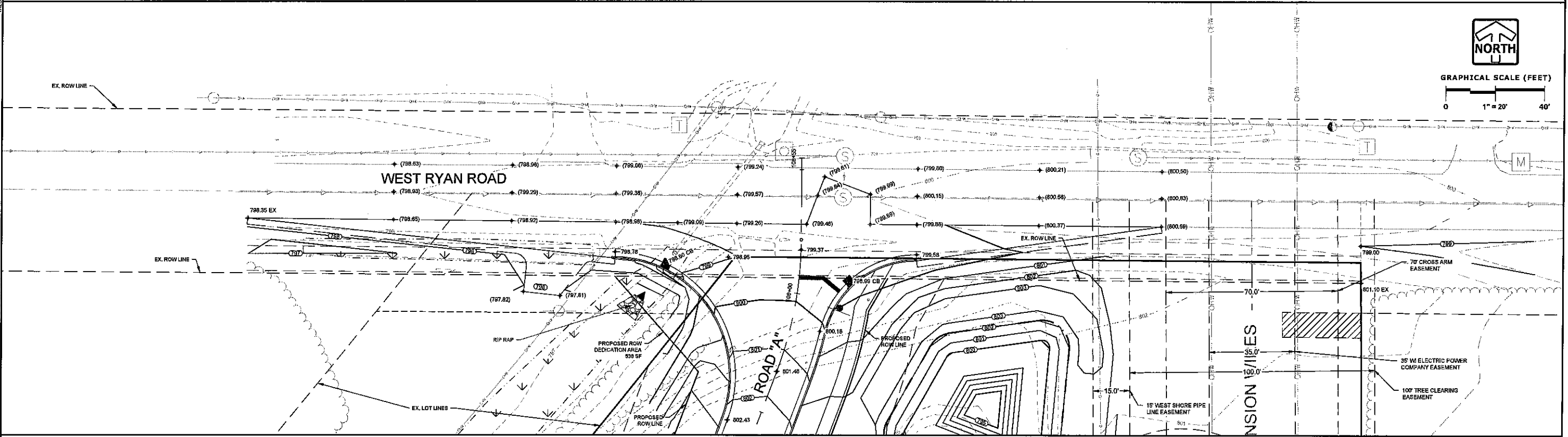
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<p>REG. JOB No.: 809.60</p> <p>REG. No.: JAC</p> <p>START DATE: 01-07-22</p> <p>SCALE: N.T.S.</p> <p>© COPYRIGHT 2016</p>	<p>PROJECT: 2016\809.60-W\CAD\SHEETS\809.60 EROSION CONTROL.DWG</p>																

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ROAD "A"-WEST RYAN ROAD: PROPOSED PAVING AND UTILITY PLAN



ROAD "A"-WEST RYAN ROAD: PROPOSED GRADING PLAN


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1.0 POTENTIAL POLLUTANT SOURCES

OPEN THE PROPOSED ACTIVITY ON THE PROJECT SITE. THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORT. REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY MATERIALS, FERTILIZERS, AND DUST. REFER TO SECTION 4 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 IS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

1. INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
2. INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
3. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
4. STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMS AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMS. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
5. CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE ESTABLISHED. DITCH CHECKS SHALL BE INSTALLED IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PREVENT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
6. FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
7. FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKET/MATTING, AND BEDDING MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PROTECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE S.O. PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND DIRECTION OF THE WIND. THE MEASURES MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:

- PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN
- TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100 LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (100 LBS/ACRE)
- HYDROMULCHING WITH A TACKLER
- GEOTEXTILE EROSION MATTING
- SOODING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS, SUCH:

PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERMS/WALES, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROADWAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3:1 V, BEFORE VEGETATION IS ESTABLISHED.

DIVERSION BERMS/WALES SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM A SEDIMENT TRAP OR OTHER CONTROL. BERMS/WALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.

SEDIMENT TRAPS/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/WALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

OUTLET SOIL PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIVERSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENT. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES Hauling Material Away From The Site Shall Be Covered With A Tarpaulin To Prevent Blowing Debris.

DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST 8 (8) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED ON THIS PLAN. UPON IDENTIFICATION OF DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW:

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK (STRAW BALES) - RE-BURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELVATION HAS OCCURRED.

DIVERSION BERMS/WALES - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

SEDIMENT TRAP - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.

INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.

OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.

SEDIMENT BASIN - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADE.

6.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED; STRUCTURAL CONTROL MEASURES; AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP. RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION & SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

1. CONTRACTOR SHALL STORE ONLY ENCLOSED PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
2. ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
3. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
4. MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

1. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ON-SITE.
2. IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS.
3. PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
4. IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
5. NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) POLLUTION DISCHARGE ELIMINATION SYSTEM (PDES) PERMIT NO. W-0000143-14 FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE NPDES PERMIT FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMIT.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ON-SITE WITH THE APPROVED PLAN.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE DEFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ON-SITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THE PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT FROM APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

NPDES NOTICE OF TERMINATION GUIDANCE:

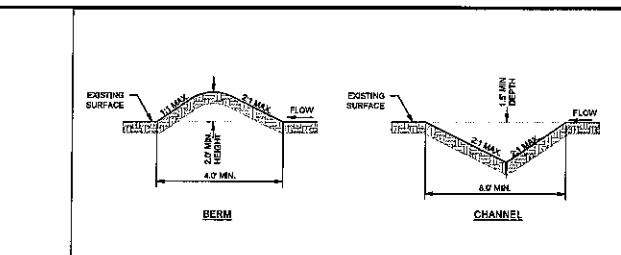
WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
VEGETATIVE COVER	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
NON VEGETATIVE COVER	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/WALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND DUST CONTROL	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A	*	*	*	*	*	*	*		
DORMANT SEEDING	B											B
TEMPORARY SEEDING			C	*	*	*	*	D	*	*		
SOODING			E	*	*	*	*	*	*	*		

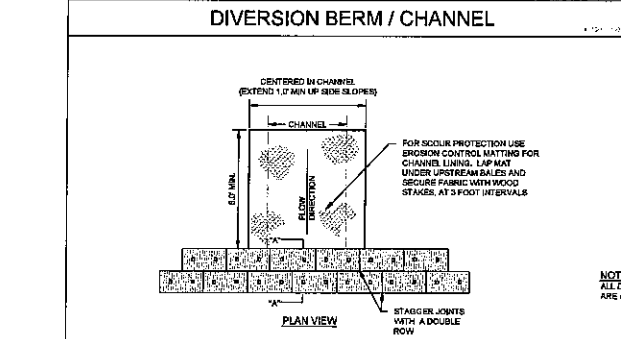
- A. KENTUCKY BLUEGRASS 80 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 20 LBS/ACRE.
 - B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
 - C. SPRING OATS 100 LBS/ACRE.
 - D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
 - E. SOD.
 - F. STRAW MULCH 2 TONS/ACRE.
- * IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.



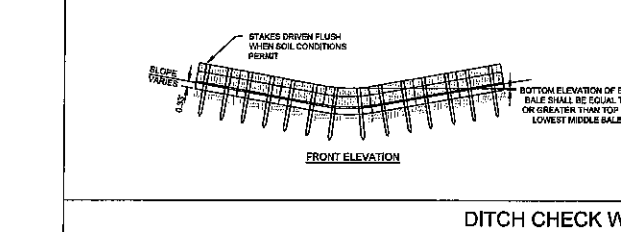
DIVERSION BERM / CHANNEL

- NOTES:**
1. DIVERSION MAY REQUIRE AREAS OF BERM AND OTHER AREAS OF CHANNEL TO PROVIDE SUFFICIENT PERIMETER PROTECTION.
 2. DIVERSION BERM VERSUS CHANNEL PRACTICES SHALL BE SELECTED SUCH TO PREVENT PONING (I.E., POSITIVE DRAINAGE SHALL BE MAINTAINED).
 3. FOR DIVERSIONS THAT ARE TO SERVE LONGER THAN 30 DAYS, THE SIDE SLOPES INCLUDING THE RIDGE AND THE DOWN-SLOPE SIDE OF THE DIVERSION SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED BY EQUIPMENT TRACKING AND TEMPORARY SEEDING. FOR DIVERSIONS SERVING LESS THAN 30 DAYS, THE DOWN-SLOPE SIDE OF THE DIVERSION SHALL BE STABILIZED AS SOON AS CONSTRUCTED BY EQUIPMENT TRACKING AND TEMPORARY SEEDING.
 4. DIVERSIONS SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION ACTIVITIES. AT ALL POINTS WHERE DIVERSION BERMS OR CHANNELS WILL BE CROSSED BY CONSTRUCTION EQUIPMENT, THE DIVERSION SHALL BE SHARED APPROPRIATELY AND/OR TEMPORARY CULVERTS OF ADEQUATE CAPACITY MAY BE ADDED AT CROSSINGS.
 5. AT MINIMUM, INSTALL ONE DITCH CHECK (SEE DETAIL) FOR EVERY 2 VERTICAL FEET OF DROP.
 6. DIVERSIONS SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE DIVERSION BERM.

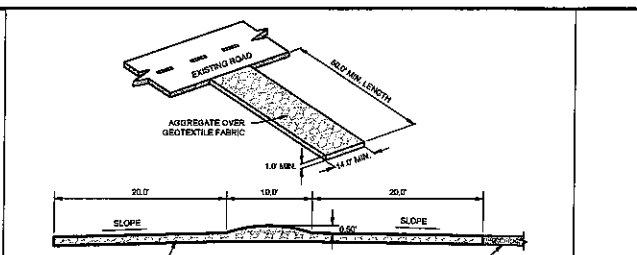
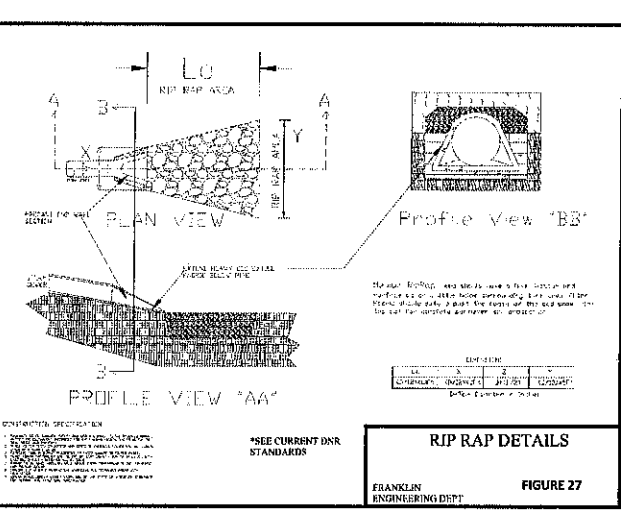
CONSTRUCTION ENTRANCE



DITCH CHECK WITH STRAW BALES



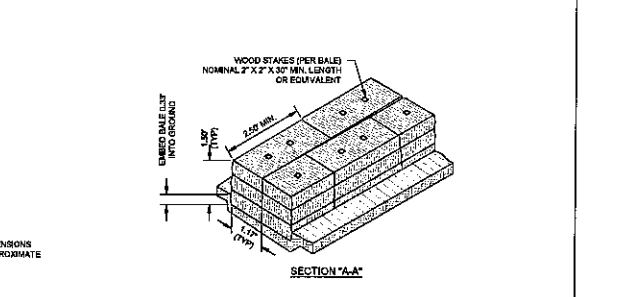
RIP RAP DETAILS



TRACKING PAD

- NOTES:**
1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH MNR TECHNICAL STANDARD 1687.
 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNERS.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3/8 INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD. THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 99 GEOTEXTILE, TABLE 1 OR 2, CLASS II OR IV, TO PREVENT MIXTURE OF UNDERLYING SOIL INTO THE STONE LAYER.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EXISTING POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC. WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 30 FEET LONG.
 6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.
 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

DROP INLET FILTER FABRIC BARRIER



CONSTRUCTION DETAILS

- NOTES:**
1. INSTALLED THE MINIMUM HEIGHT OF DITCH CHECK SHALL BE 12 INCHES AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 18 INCHES FOR MANUFACTURED OR BIOGRADABLE MATERIALS.
 2. DITCH CHECK MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A VEE.
 3. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO FEET OF DROP IN THE CHANNEL.
 4. DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 5. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.
 6. DITCH CHECK SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND CHANNEL STABILIZATION IS APPLIED.
 7. EROSION CONTROL MATTING FOR CHANNELS SHALL BE NORTH AMERICAN GREEN 10258R OR EQUAL.

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CHICAGO/MIAMI/WAUKESHA - NATIONWIDE

WOODFIELD TRAIL

WEST RYAN ROAD, FRANKLIN, WI 53132

CONSTRUCTION DETAILS

1. ADDRESS CITY COMMENTS: 5/11/22

REVISIONS:

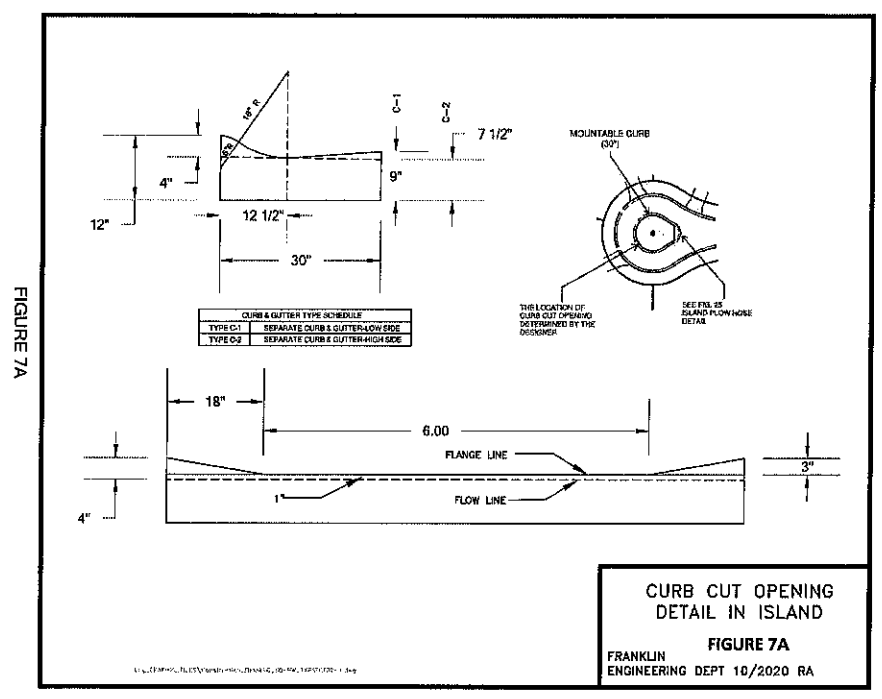
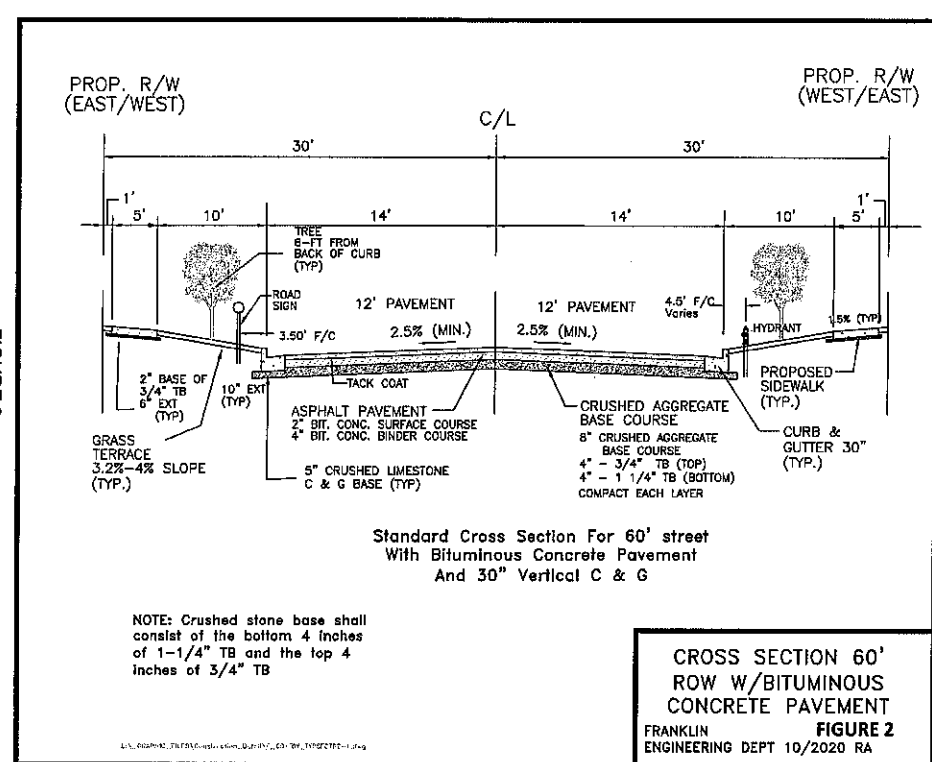
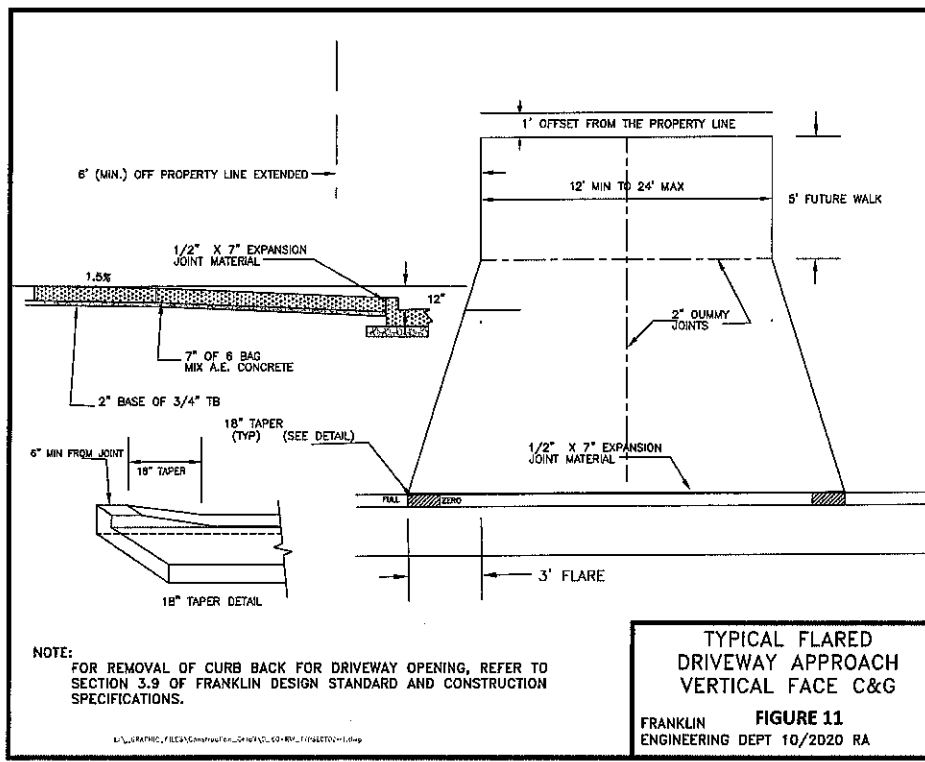
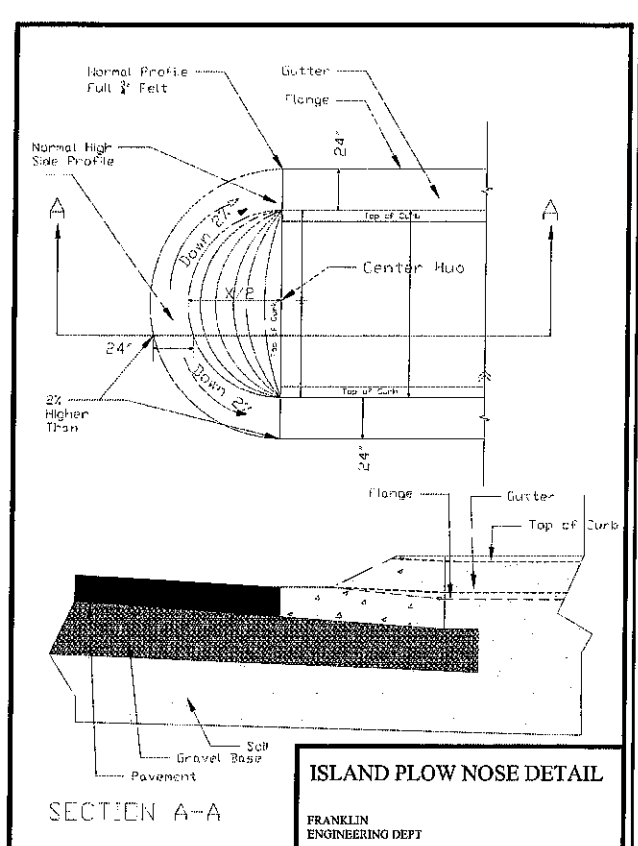
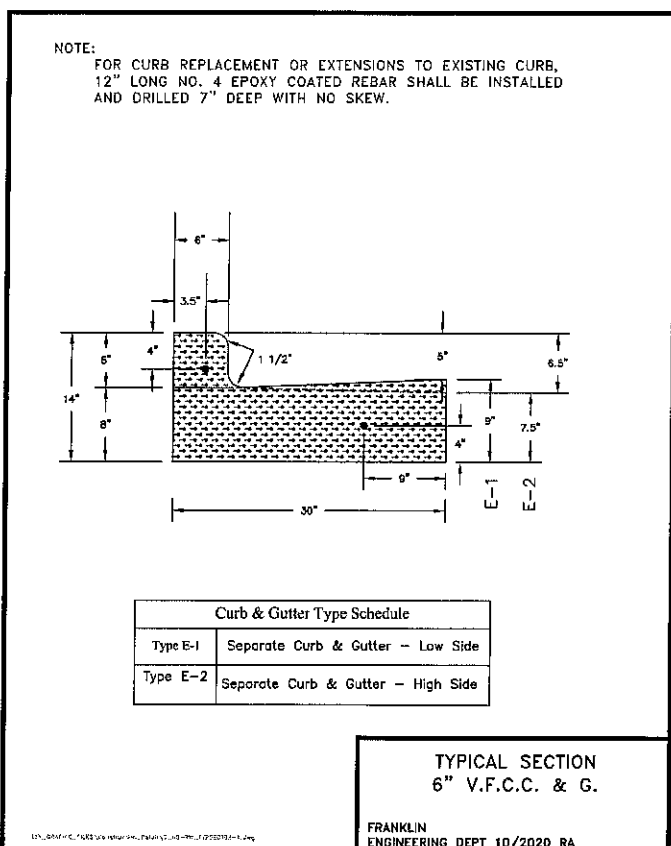
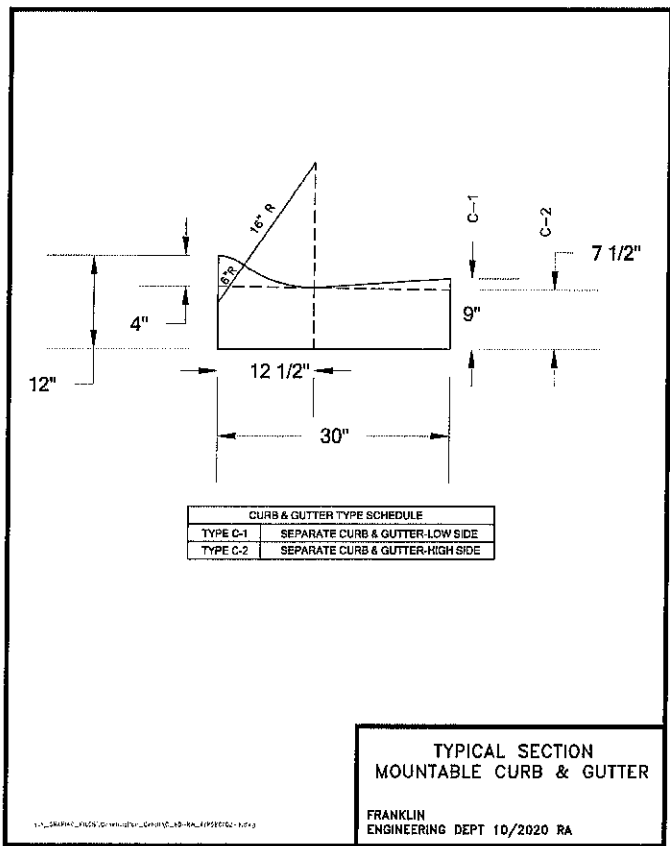
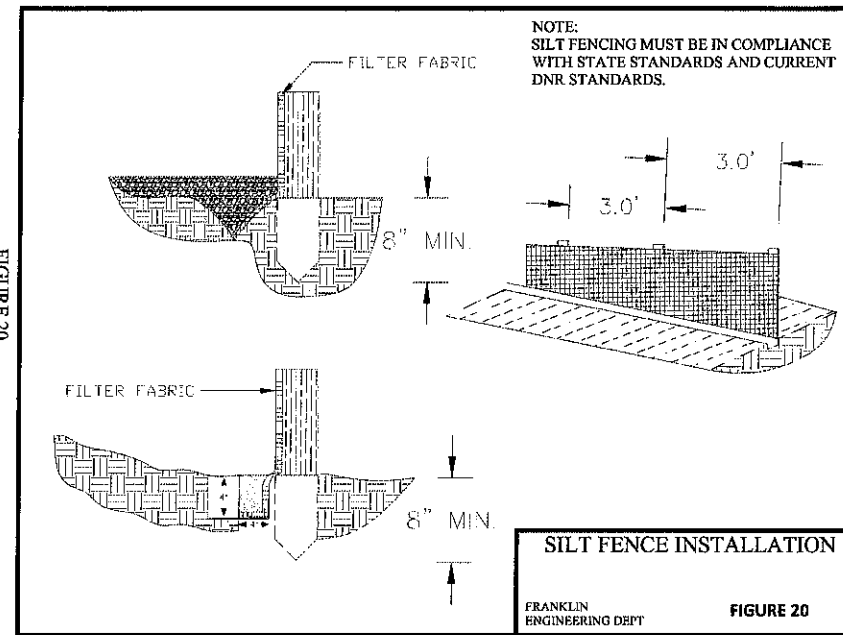
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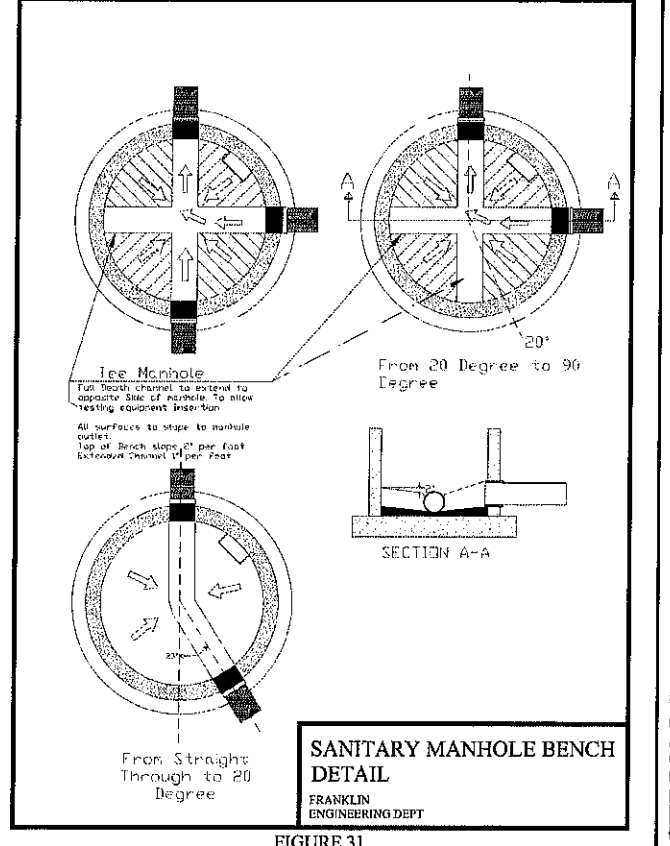
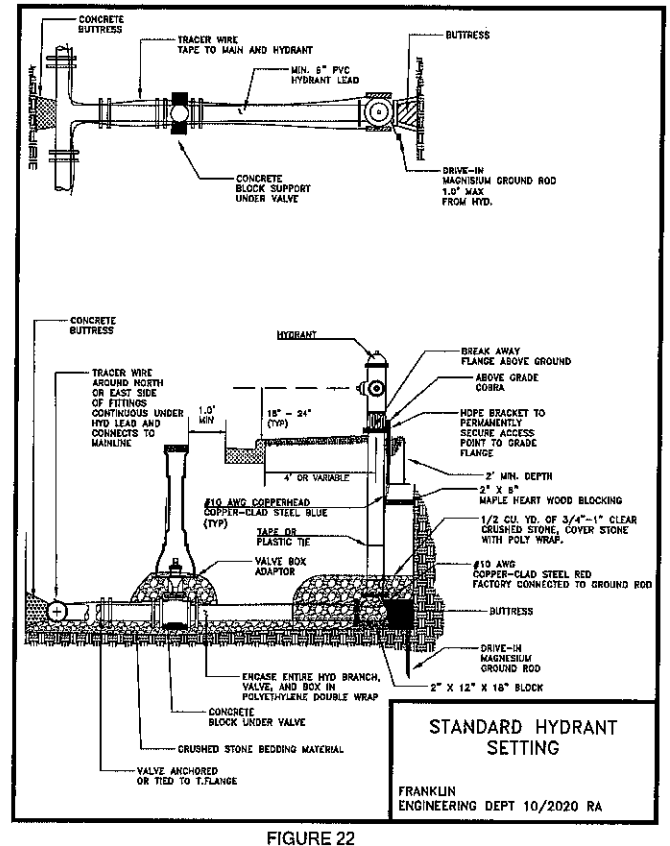
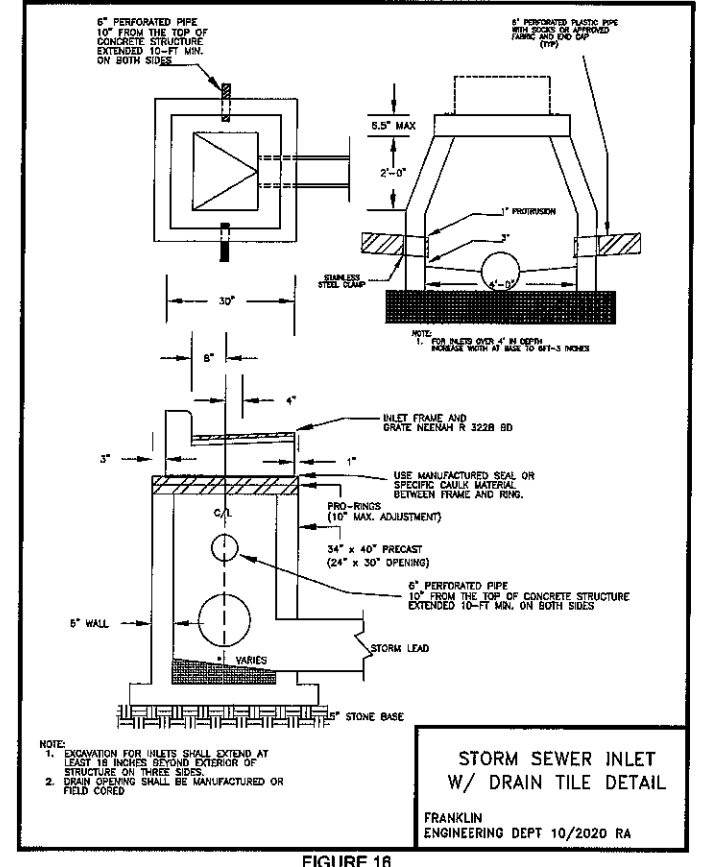
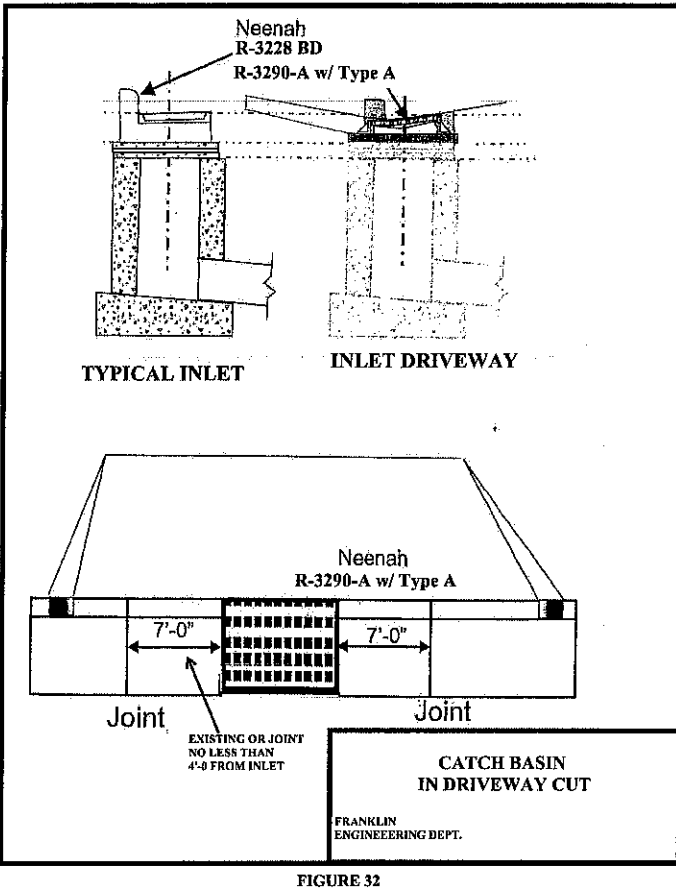
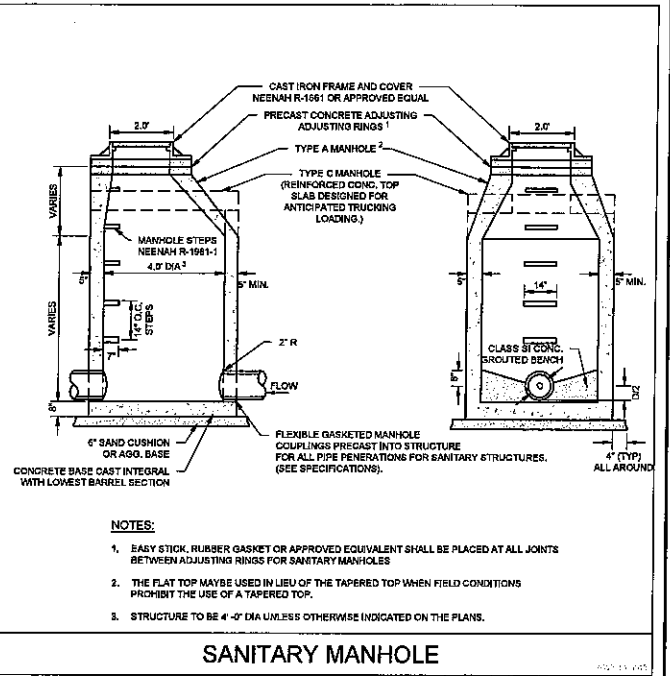
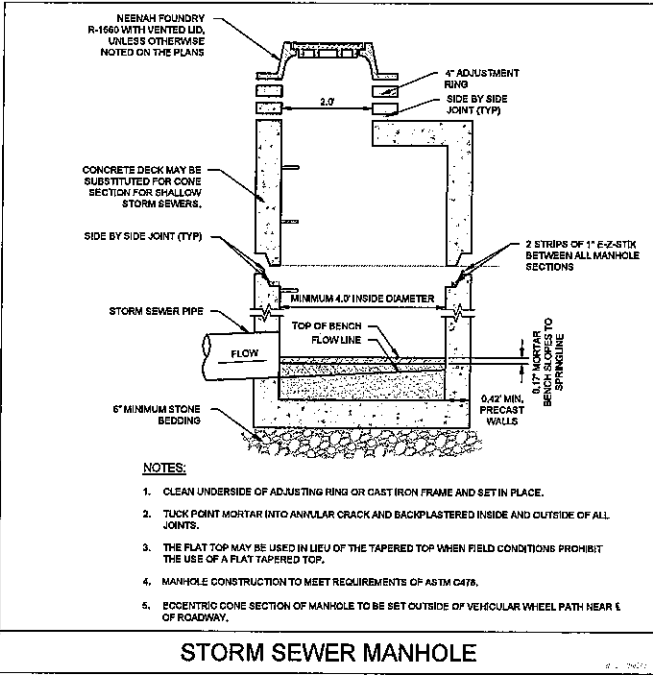
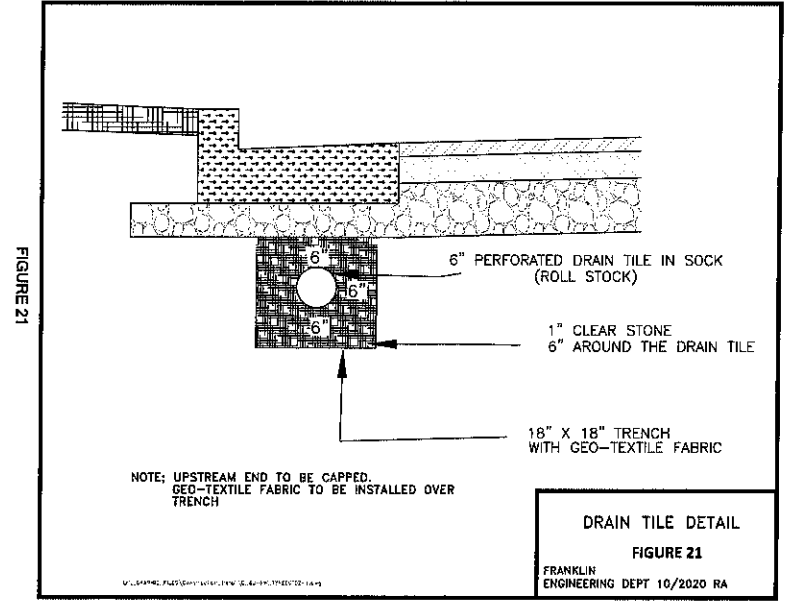
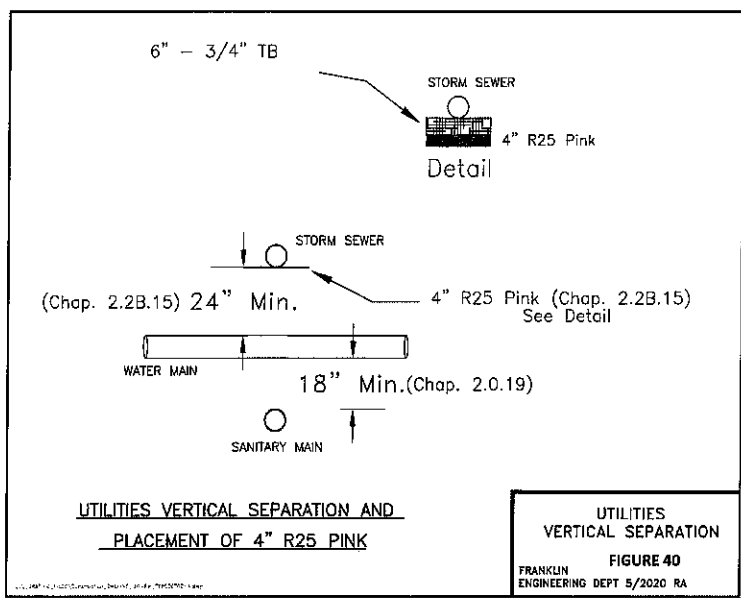
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WOODFIELD TRAIL

CONSTRUCTION DETAILS

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REVISIONS

1. ADDRESS CITY COMMENTS	5/11/22

SHEET

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2:\PROJECTS\2016\809.60-W\CAD\SHEETS\809.60 CONSTRUCTION DETAILS.DWG
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 START DATE 05-07-22
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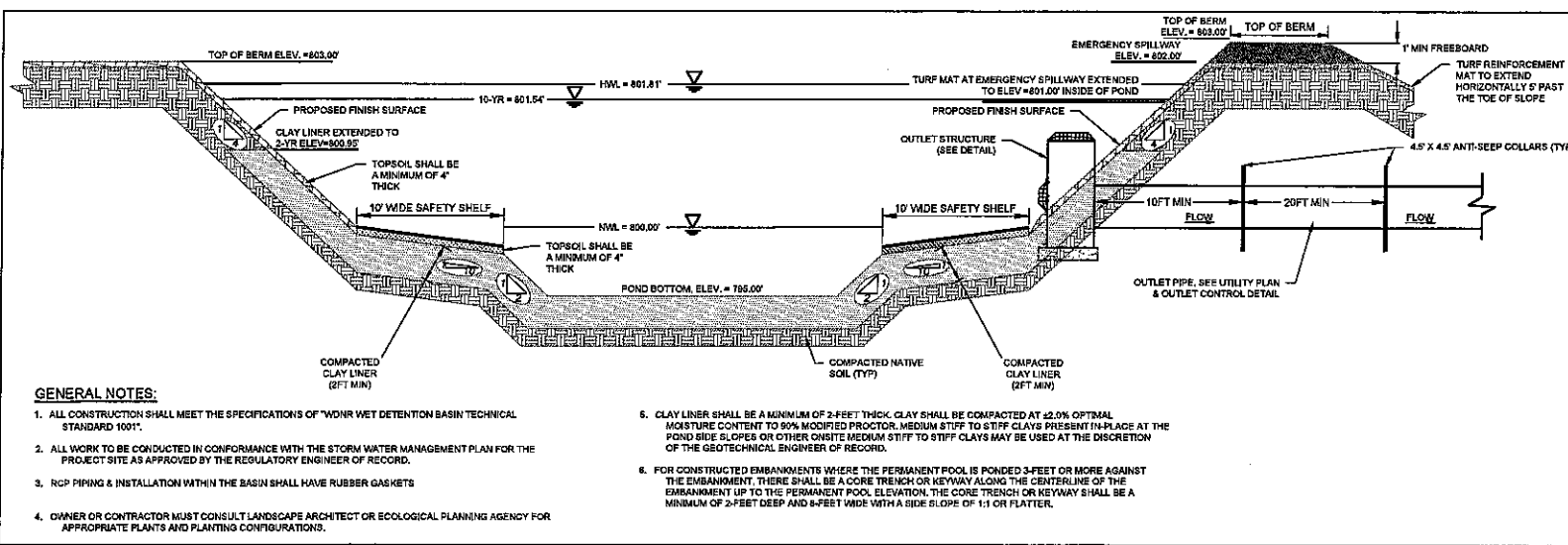
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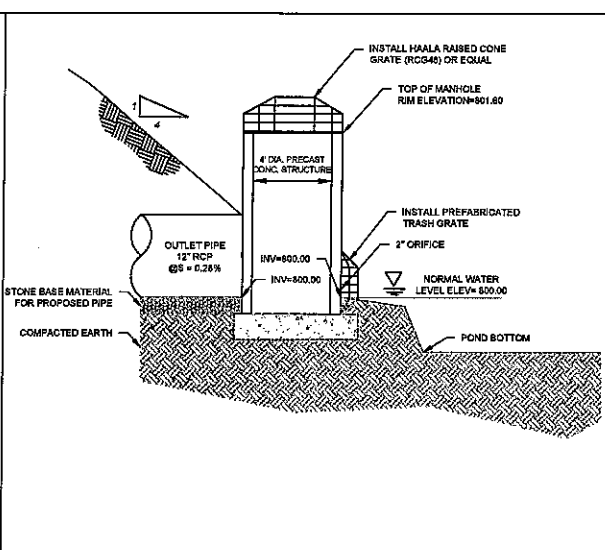
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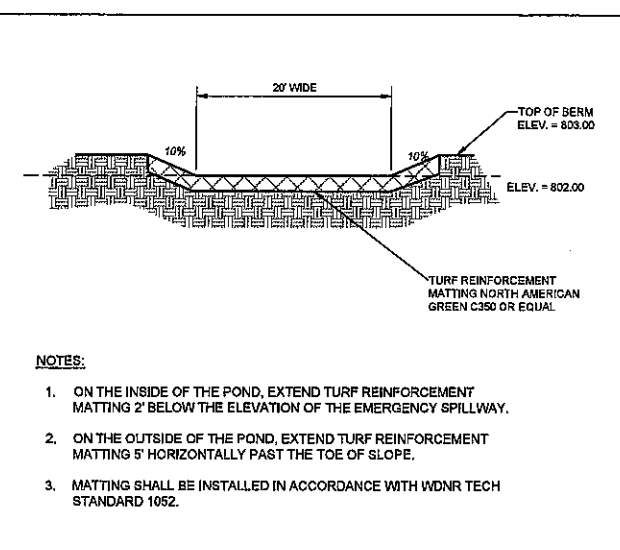
GENERAL NOTES:

- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDMR WET DETENTION BASIN TECHNICAL STANDARD 1001".
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
- RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL HAVE RUBBER GASKETS.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
- CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT 92.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN PLACE AT THE POND SIDE SLOPES OR OTHER ON-SITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
- FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 6-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

STORMWATER POND NE 1 CROSS SECTION



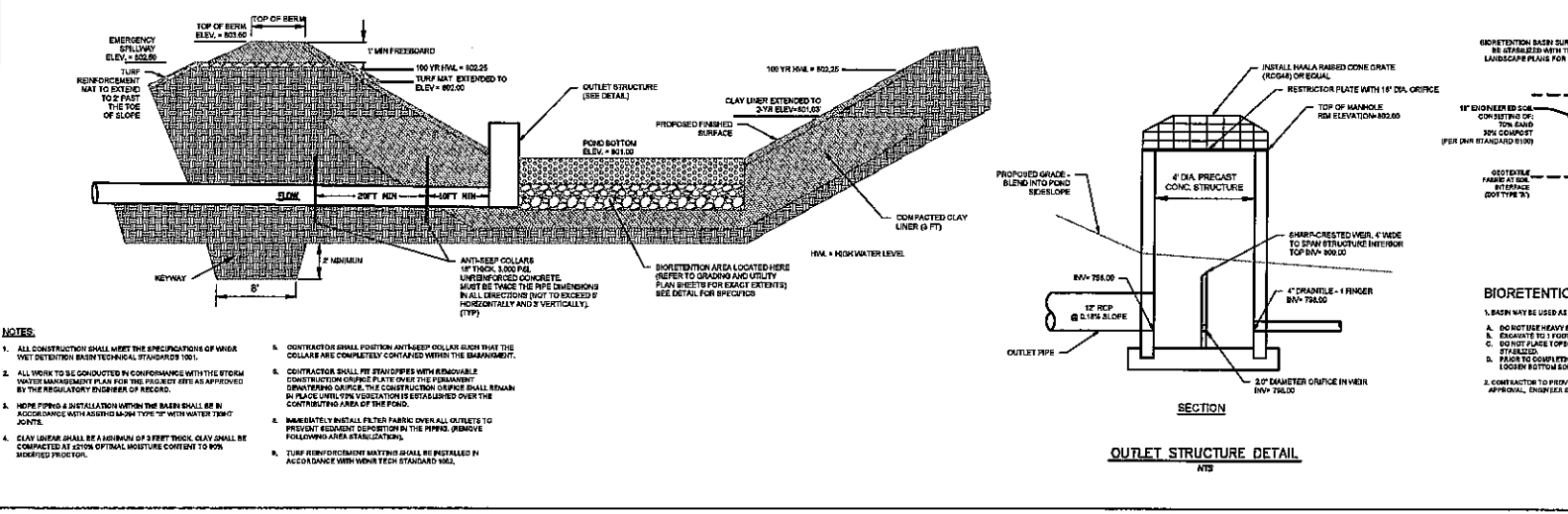
POND 1 OUTLET STRUCTURE



POND 1 EMERGENCY SPILLWAY

NOTES:

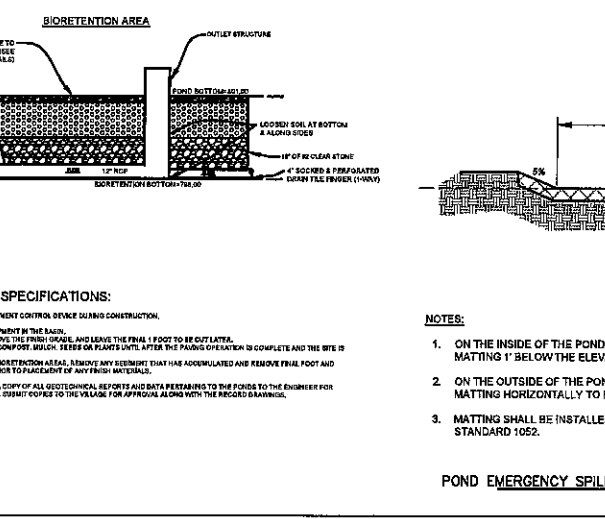
- ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 2' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
- ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 5' HORIZONTALLY PAST THE TOE OF SLOPE.
- MATTING SHALL BE INSTALLED IN ACCORDANCE WITH WDMR TECH STANDARD 1052.



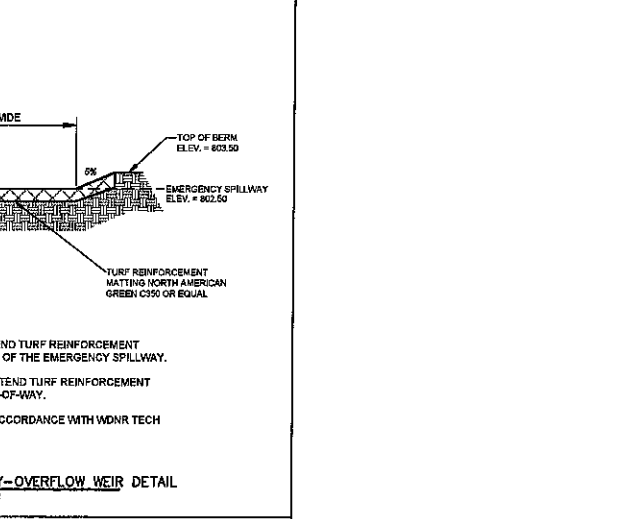
NOTES:

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- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
- WHERE PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH WDMR TECH STANDARD 1001.
- CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT 92.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR.
- CONTRACTOR SHALL POSITION ANTI-SEEP COLLARS SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN THE EMBANKMENT.
- CONTRACTOR SHALL RE STRIP COLLARS WITH REMOVABLE CONSTRUCTION ORIFICE PLATES OVER THE PERMANENT DOWNSTREAM ORIFICE. THE CONSTRUCTION ORIFICE SHALL REMAIN IN PLACE UNTIL THE PERMANENT ORIFICE IS ESTABLISHED OVER THE CONTRASTING AREA OF THE POND.
- IMMEDIATELY INSTALL FILTER FABRIC OVER ALL OUTLETS TO PREVENT SEDIMENT DEPOSITION IN THE POND, PREVIOUS FOLLOWING AREA STABILIZATION.
- TURF REINFORCEMENT MATTING SHALL BE INSTALLED IN ACCORDANCE WITH WDMR TECH STANDARD 1052.

BIORETENTION BASIN NW 2 CROSS SECTION



POND 3 OUTLET STRUCTURE



POND 3 EMERGENCY SPILLWAY

NOTES:

- ON THE INSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING 1' BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY.
- ON THE OUTSIDE OF THE POND, EXTEND TURF REINFORCEMENT MATTING HORIZONTALLY TO RIGHT-OF-WAY.
- MATTING SHALL BE INSTALLED IN ACCORDANCE WITH WDMR TECH STANDARD 1052.

POND EMERGENCY SPILLWAY—OVERFLOW WEIR DETAIL

BIORETENTION SPECIFICATIONS:

- BIASIN MAY BE USED AS SEDIMENT CONTROL DEVICE DURING CONSTRUCTION.
- DO NOT USE HEAVY EQUIPMENT IN THE BASIN.
- DEGRADE TO 1 FOOT ABOVE THE FINISH GRADE AND LEAVE THE FINAL 1 FOOT TO BE OUTLETTED.
- DO NOT CLIMB UPON, COMPACT, BRUSH, BEER OR PLANT INTO. AFTER THE PONDING OPERATION IS COMPLETE AND THE SITE IS STABILIZED.
- BEFORE TO COMPLETELY BIORETENTION AREA, REMOVE ANY SEEDING THAT HAS ACCUMULATED AND REMOVE FINAL FOOT AND LOGS FROM BOTTOM SOIL PRIOR TO PLACEMENT OF ANY FINISH MATERIALS.

2. CONTRACTOR TO PROVIDE & COPY OF ALL GEOTECHNICAL REPORTS AND DATA PREPARING TO THE POND TO THE ENGINEER FOR APPROVAL. ENGINEER SHALL GIVE COPIES TO THE VILLAGE FOR APPROVAL ALONG WITH THE RECORD DRAWINGS.

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CONSTRUCTION DETAILS


REVISIONS	
1. ADDRESS CITY COMMENTS	5/11/22

SHEET C-20
 C-20
 SCALE

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PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
PD	5	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	4" Ht.	30' T x 15' W
PS	3	<i>Pinus strobus</i>	White Pine	4" Ht.	50' T x 30' W
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AAS	7	<i>Acer rubrum</i> 'Autumn Spire'	Autumn Spire Maple	2" Cal.	30' T x 20' W
ANO	8	<i>Acer rubrum</i> 'Northwood'	Northwood Maple	2" Cal.	50' T x 35' W
GBM	7	<i>Ginkgo biloba</i>	Maidenhair Tree	2" Cal.	65' T x 35' W
TCG	8	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	2" Cal.	45' T x 35' W

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME
	26,135 sf	AGRECOL SHORTGRASS PRAIRIE	AGRECOL SHORTGRASS PRAIRIE MIX

LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
STREET TREES 15-8.0117 1 TREE / 85' LOT FRONTAGE	18	26

NATIVE PLANTINGS

SPECIFICATIONS FOR HAND BROADCASTING:

SEEDING SHALL BE CONDUCTED IN LATE FALL (SEPTEMBER 1- SOIL FREEZE) SO THAT SEEDS MAY LIE DORMANT DURING THE WINTER, ALLOWING FOR STRATIFICATION, OR SPRING (MARCH 1-JUNE 1) TO ALLOW A COMPLETE GROWING SEASON TO BECOME ESTABLISHED.

PRIOR TO SEEDING: ALL WEEDS AND EXISTING VEGETATION SHALL BE REMOVED. EXISTING VEGETATION SHALL BE TREATED WITH GLYPHOPHATE OR SIMILAR HERBICIDE BY A LICENSED PROFESSIONAL. TREATMENT SHALL OCCUR A MINIMUM OF 10 DAYS PRIOR TO SEEDING/PLANTING. VEGETATION STILL ALIVE AFTER INITIAL HERBICIDE TREATMENT SHALL BE TREATED A SECOND TIME PRIOR TO TILLING INTO THE SOIL. TREATED VEGETATION SHALL BE TILLED INTO THE SOIL NO EARLIER THAN 1 DAY PRIOR TO SEEDING.

A. PREPARATION OF SOIL PRIOR TO SEEDING

- REFER TO CIVIL PLANS FOR SOIL MIX.
- ALL FOREIGN MATERIALS LARGER THAN 1-INCH SHALL BE REMOVED FROM THE SOIL PRIOR TO SEEDING OR PLANTING.
- AREA SHOULD BE FREE FROM UNSIGHTLY VARIATIONS, RIDGES, AND DEPRESSIONS.
- AVOID DRIVING OVER THE SPECIFIED AREA WITH MACHINERY.

B. COVER CROP

- ANNUAL RYE SHALL BE SPREAD AT A DENSITY OF 20 POUNDS PER ACRE DURING THE PLANTING OR SEEDING OF THE NATIVE PLANT SPECIES TO STABILIZE THE SOIL AND REDUCE THE GROWTH OF UNWANTED VEGETATION. THIS ANNUAL GRASS GROWS RAPIDLY WITHOUT COMPETING WITH THE WILDFLOWERS AND GRASSES THAT ARE PLANTED IN THE TARGET AREAS.
- WINTER WHEAT OR PERENNIAL RYE SHALL NOT BE USED AS A COVER CROP. THESE GRASSES MAY OUT COMPETE PRAIRIE SEEDLINGS, LEADING TO A REDUCTION IN THE SUCCESS OF THE PLANTINGS.

C. SEED MIX: MIX ALL PRAIRIE SEED WITH VERMICULITE ACCORDING TO AGRECOL RECOMMENDATIONS AND INSTALLATION GUIDELINES.

- BROADCAST HALF THE SEED OVER THE ENTIRE SITE OR TARGET AREA.
- BROADCAST THE OTHER HALF OF SEED PERPENDICULAR TO THE DIRECTION THAT THE FIRST HALF OF THE SEED WAS BROADCAST.
- COVER SEED WITH 1/4-INCH TO 1/2-INCH OF SOIL (USE ANY EXCESS SOIL FROM THE SITE) WITH RAKE OR DRAG.
- ROLL SITE TO ENSURE FIRM SEED-TO-GROUND CONTACT.
- KEEP SEED CONSTANTLY WET THROUGH GERMINATION PERIOD. GENERALLY 3 WEEKS.

ALL SEEDING SHALL BE COVERED WITH 1-INCH OF CLEAN, NON-INVASIVE STRAW (NO MARSH HAY, OR REED CANARY GRASS) WITHOUT SEEDS, WITHIN SEVEN DAYS. WHEAT, RYE, OATS, OR BARLEY ARE ACCEPTABLE FORMS OF STRAW. THOSE AREAS OF SLOPES STEEPER THAN 8:1 (EIGHT FEET HORIZONTAL TO ONE FOOT VERTICAL) SHALL BE PLANTED NO LATER THAN OCTOBER 1 AND STAKED WITH AN EROSION CONTROL BLANKET TO PREVENT EROSION.

NATIVE PLANTINGS:

WEED SUPPRESSION MEASURES:





1st YEAR - PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. THIS SHOULD OCCUR APPROXIMATELY EVERY MONTH OF THE GROWING SEASON AFTER NATIVE PLANTINGS HAVE BEEN ROUGH GRADED.

2nd YEAR - IN MAY/JUNE MOW NATIVE PLANTINGS AT 6" HEIGHT TO SUPPRESS THE WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. HAVE PROFESSIONAL ASSESS PLANTINGS. REPEAT MOWING NATIVE PLANTINGS AND SPOT-SPRAY IN EARLY JULY.

3rd YEAR - IN MAY/JUNE MOW NATIVE PLANTINGS AT 8" HEIGHT TO SUPPRESS THE WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS.

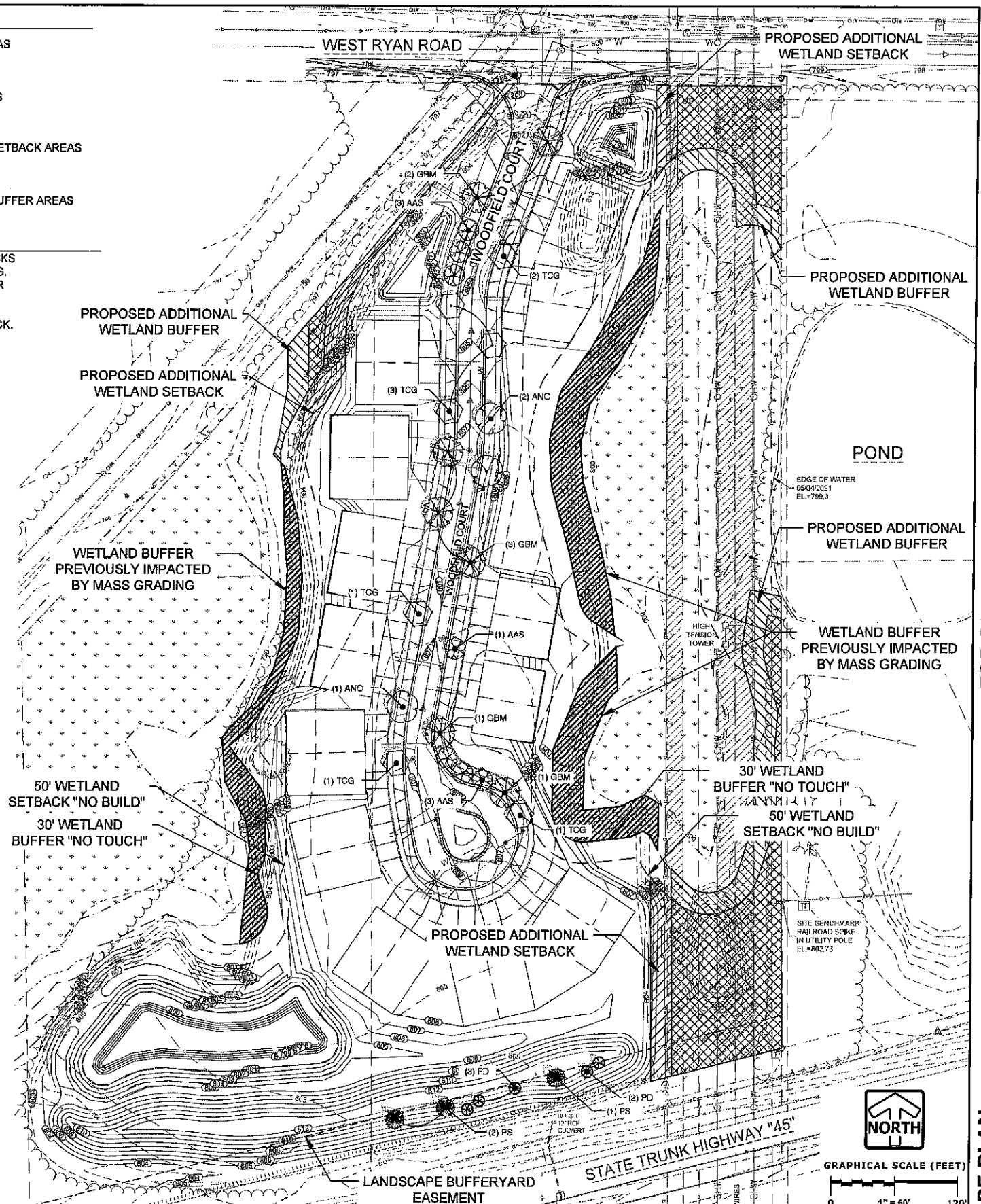
4th YEAR - IN MAY PERFORM A PRESCRIBED BURN. IN JUNE HAVE A QUALIFIED PROFESSIONAL ASSESS PLANTINGS. IF A PRESCRIBED BURN CAN NOT BE UTILIZED, NATIVE PLANTINGS SHALL BE CUT TO THE GROUND AND ALL CUT MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF SITE.

SITE KEY

-  50' WETLAND SETBACK IMPACT AREAS (1,105 SF)
-  30' WETLAND BUFFER IMPACT AREAS (25,620 SF)
-  PROPOSED ADDITIONAL WETLAND SETBACK AREAS (36,599 SF)
-  PROPOSED ADDITIONAL WETLAND BUFFER AREAS (39,210 SF)

NOTE:

- AREAS OF IMPACT WITHIN WETLAND SETBACKS SHALL BE RESTORED USING NATIVE SEEDING. REFER TO PLANT SCHEDULE AND NOTES FOR FURTHER DETAIL.
- EXISTING VEGETATION TO REMAIN IN AREAS SHOWN AS ADDITIONAL BUFFER AND SETBACK.




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1. ADDRESS CITY COMMENTS	5/11/22

REG JOB No. 809-600	SCALE 1" = 60'	SHEET L-1
REG PH. MAC	START DATE 03-07-22	L-2
SCALE 1" = 60'	DATE 03-07-22	6. COPYRIGHT 2018

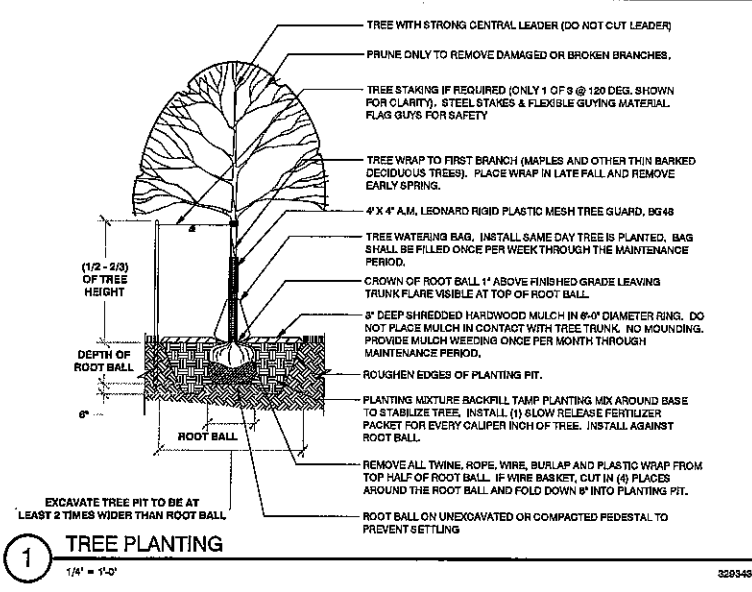
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GENERAL PLANTING NOTES

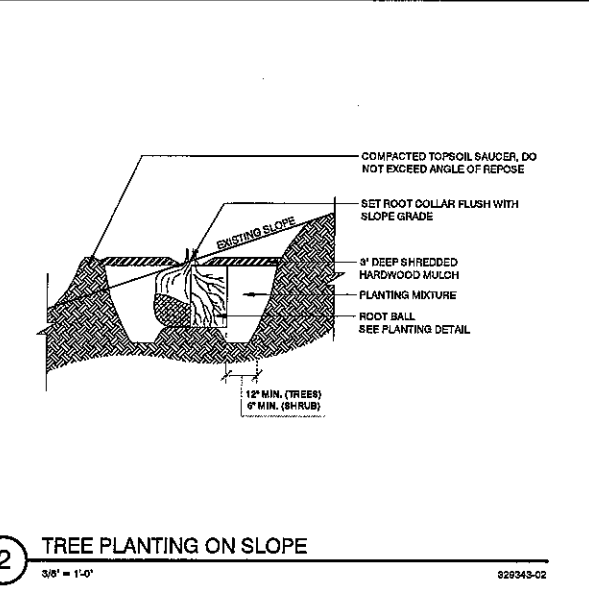
- THE LAYOUT OF ALL INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- WHILE PLANTING TREES & SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
 - 5 FEET FROM DRIVEWAYS
 - 3 FEET FROM SIDEWALKS
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

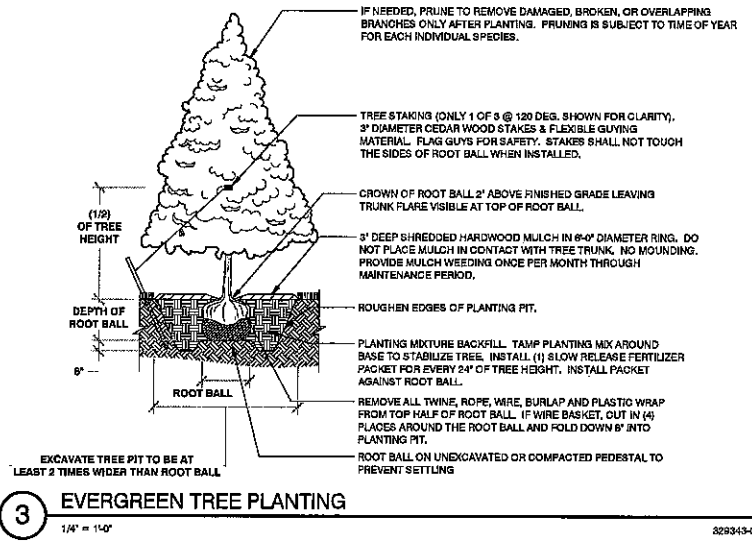
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL.
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



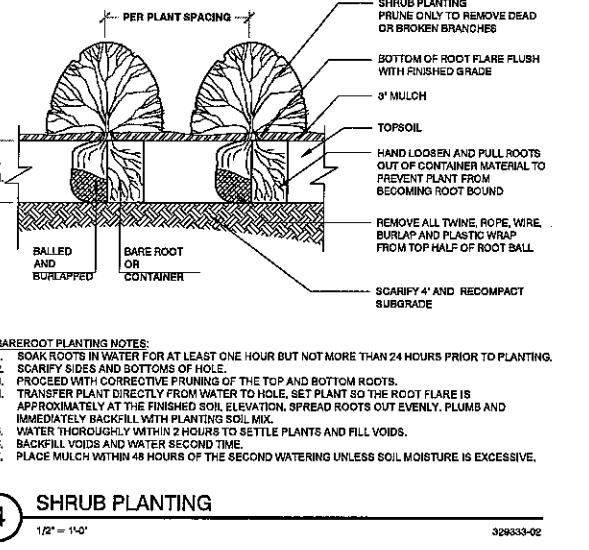
1 TREE PLANTING
1/4" = 1'-0" 329348-01



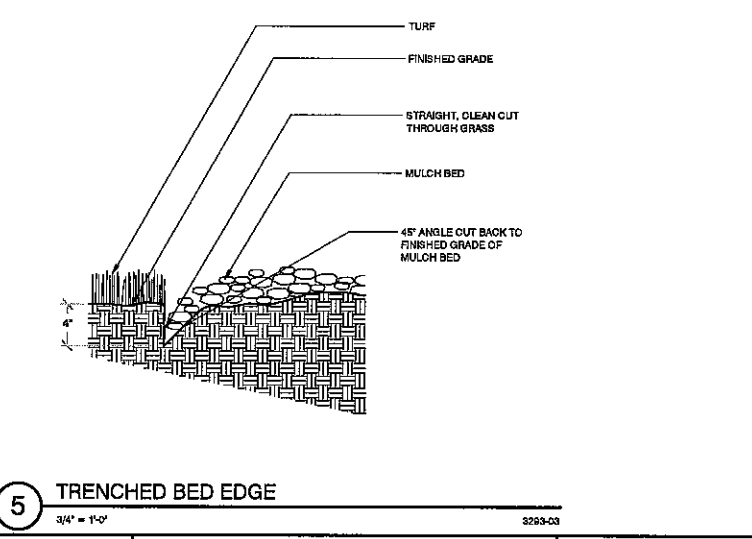
2 TREE PLANTING ON SLOPE
3/8" = 1'-0" 929349-02



3 EVERGREEN TREE PLANTING
1/4" = 1'-0" 329349-03



4 SHRUB PLANTING
1/2" = 1'-0" 329353-02



5 TRENCHED BED EDGE
3/4" = 1'-0" 3293-03

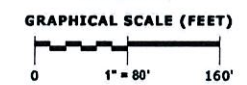
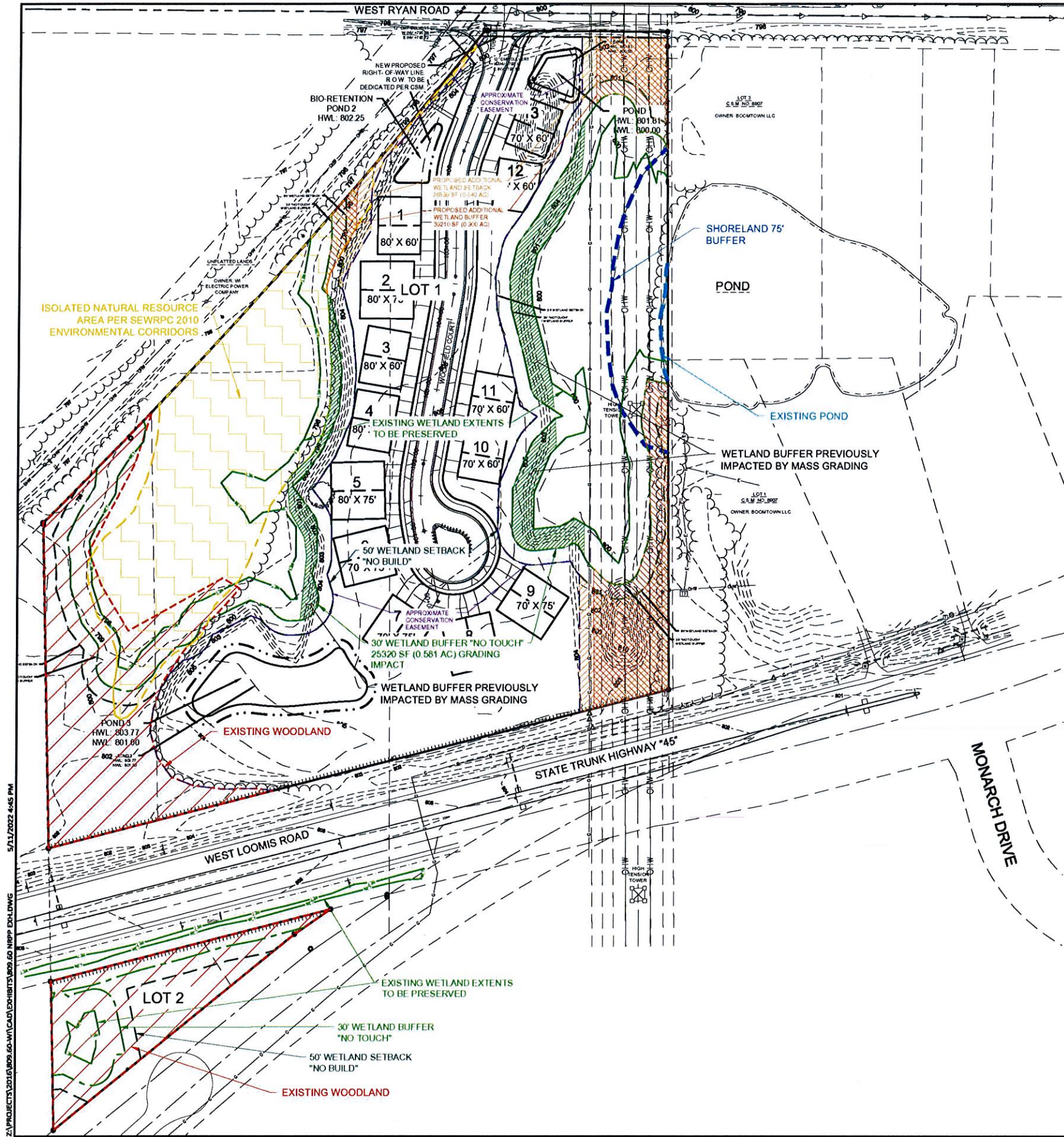
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 PEG PR. MAC
 START DATE 05-07-22
 SCALE VARIES
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 LANDSCAPE DETAILS & GENERAL NOTES



SITE DATA	
PROJECT NAME	RYAN ROAD CONDOMINIUMS
LOCATION/ADDRESS	FRANKLIN, WI 53132
OWNER CONTACT INFORMATION	DAN SZCZAP BEAR DEVELOPMENT 4011 80TH ST KENOSHA, WI 53142 dszczap@beardevelopment.com
DESIGNER CONTACT INFORMATION	MATT CAREY PINNACLE ENGINEERING GROUP 20725 WATERTOWN RD BROOKFIELD, WI 53186 matt.carey@pinnacle-engr.com

NATURAL RESOURCE FEATURE AREAS

RESOURCE TYPE	AREAS OF RESOURCE LOT 1 (15.61 AC)		AREAS OF RESOURCE LOT 2 (0.91 AC)	
STEEP SLOPES AREA*** - 10-19% SLOPES - PER PEG SURVEYED CONTOURS	N/A		N/A	
STEEP SLOPES AREA*** - 20-30% SLOPES - PER PEG SURVEYED CONTOURS	N/A		N/A	
WETLANDS - SEE DELINEATION INFORMATION BELOW**	164,559 SF (3.78 AC)	19,645 SF (0.451 AC) RESOURCE OVERLAP	2,175 SF (0.05 AC)	
WETLAND BUFFER "NO TOUCH" - 30' OFFSET, BASED OFF WETLAND DELINEATION	84,895 SF (1.95 AC)	4,218 SF (0.096 AC) RESOURCE OVERLAP	25,320 SF (0.581 AC) GRADING IMPACTS	15,362 SF (0.35 AC)
WETLAND SETBACK "NO BUILD" - 50' OFFSET, BASED OFF WETLAND DELINEATION	53,880 SF (1.24 AC)	2,153 SF (0.049 AC) RESOURCE OVERLAP	9,937 SF (0.23 AC)	
LAKES & PONDS - FIELD DELINEATED BY PEG SURVEY IN JANUARY OF 2019	1,021 SF (0.02 AC)		N/A	
SHORE BUFFER - 75' OFFSET, BASED OFF WETLAND DELINEATION	27,137 SF (0.62 AC)		N/A	
YOUNG WOODLANDS & FORESTS - BASED OFF PEG SURVEY	75,284 SF (1.73 AC)	33,652 SF (0.773 AC) RESOURCE OVERLAP	39,792 SF (0.91 AC)	27,391 SF (0.629 AC) RESOURCE OVERLAP
STREAMS (NOT PRESENT ON SITE)	N/A		N/A	
FLOODPLAINS (NOT PRESENT ON SITE)	N/A		N/A	
SEWRPC AREA - BASED OFF 2010 SEWRPC ENVIRONMENTAL CORRIDORS	108,944 SF (2.50 AC)		N/A	

* ADDITIONAL INFORMATION IS INCLUDED IN THE ATTACHED SITE INTENSITY CALCULATIONS.
 ** WETLANDS DELINEATED BY HEARTLAND ECOLOGICAL GROUP INC ON 6-25-2021.
 *** STEEPER SLOPES EXIST ONSITE DUE TO RECENT FILL GRADING THAT WAS COMPLETED. DUE TO THIS (AND BEING MANMADE) THEY ARE NOT INCLUDED IN THIS NRPP.

WETLAND IMPACTS DATA TABLE

TOTAL WETLAND BUFFER IMPACT:	25,320 SF (0.581 AC)
REQ BUFFER MITIGATION (x1.5):	37,980 SF (0.872 AC)
PROP BUFFER ADDITION	39,210 SF (0.900 AC)
TOTAL WETLAND SETBACK IMPACT:	0 (0.000 AC)
REQ SETBACK MITIGATION (x1.5):	0 SF (0.000 AC)
PROP SETBACK ADDITION	36,559 SF (0.844 AC)

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FRANKLIN DEVELOPMENT - NATURAL RESOURCES PROTECTION PLAN

5/11/22