



PLAN COMMISSION MEETING AGENDA
Thursday, December 7, 2023 at 6:00 P.M.

A. Call to Order and Roll Call

B. Approval of Minutes

1. Approval of regular meeting of November 9, 2023.

C. Public Hearing Business Matters

1. **Conway Area Exception.** Request for lot coverage increase to allow for a detached garage, upon property located at 11933 W. Oakwood Drive (749 0055 00).
2. **Master Halco Special Use Amendment/Miscellaneous Application.** Request for approval of a Special Use Amendment and Miscellaneous Application to allow for a fence wholesaler and distributor with indoor and outdoor storage of inventory, light fabrication of gates, and office spaces upon property located at 7407 South 27th Street (761 9994 006).
3. **Glander Family Chiropractic Unified Development Ordinance Text Amendment.** Request to amend Table 15-3.0603 of the Unified Development Ordinance to add Standard Industrial Classification Title No. 8041 "Offices and Clinics of Chiropractors" as a Special Use in the M-1 Limited Industrial District.
4. **Glander Family Chiropractic Special Use.** Request for approval of a Special Use to allow for a chiropractic office and services business use upon property located at 11217 West Forest Home Avenue (748 9961 001).
5. **Boomtown Special Use Amendment.** Request to amend a previously approved special use permit from 13 two-family homes to 13 single-family homes, upon property located at 12000 W. Loomis Road (891 9011 000).
6. **Mr. Green's BBQ Special Use.** Request for approval of a Special Use to allow for an approximately 440 sq. ft. meat-smoker enclosure and overnight parking for a food truck, located at 7740 South Lovers Lane Road, Suite 400 (794 9001 000).
7. **AK Developers, LLC Special Use.** Request for approval of a Special Use to allow for an approximately 3,500 sq. ft. liquor, tobacco, & miscellaneous retail sale use, located at 7730 South Lovers Lane Road, Suite 200 (794 9999 007).
8. **On Cloud Wine Special Use.** Request for approval of a Special Use to allow for a wine bar in the multi-tenant retail building located in the PDD 26 zoning district, located at 10064 West Loomis Road (841 0073 000).

D. Business Matters

1. **Master Halco Site Plan Amendment.** Request for approval of various site modifications including but not limited to, construction of a 28-stall parking lot, installation of new building and parking lot lighting, adding new landscape plantings, and construction of a storm water management pond upon property located at 7407 South 27th Street (761 9994 006).
2. **Department of Public Works Site Plan Amendment.** Request for approval of a Site Plan Amendment to allow for redesign of the existing yard, including development of a new storage

building and yard waste drop off area, on property located at 7979 W. Ryan Road (896 9990 001). Additionally, the applicant is requesting a determination from Plan Commission as to whether the proposed storage building may be considered a Principal Structure. *This item was tabled at the November 9, 2023 meeting to provide for a neighborhood meeting.*

E. Adjournment

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting. <https://www.youtube.com/c/CityofFranklinWIGov>. Any question regarding items on this agenda may be directed to the Department of City Development’s office at 414-425-4024, Monday through Friday, 8:30 AM – 5:00 PM.

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk’s office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: December 21, 2023.

City of Franklin
Plan Commission Meeting
November 9, 2023
Minutes

unapproved

A. Call to Order and Roll Call

Mayor John Nelson called the November 9, 2023 Plan Commission meeting to order at 6:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, Alderwoman Courtney Day (arrived at 6:10), City Engineer Glen Morrow and Commissioners Patrick Leon, Kevin Haley and Michael Shawgo. Also present were City Attorney Jesse Wesolowski, Associate Planner Marion Ecks and Planning Associate Nick Fuchs. Excused was Commissioner Patricia Hogan.

B. Approval of Minutes – Regular Meeting of October 19, 2023

Commissioner Leon moved and Commissioner Haley seconded a motion to approve the October 19, 2023 meeting minutes. On voice vote, all voted 'aye'; motion carried (54-0-12).

Approval of Minutes – Special Meeting of October 24, 2023

Commissioner Haley moved and City Engineer Morrow seconded a motion to approve the October 24, 2023 meeting minutes. On voice vote, all voted 'aye'; motion carried (54-0-21).

C. Public Hearing Business Matters

- 1. Master Halco Special Use Amendment/Miscellaneous Application.** Request for approval of a Special Use Amendment and Miscellaneous Application to allow for a fence wholesaler and distributor with indoor and outdoor storage of inventory, light fabrication of gates, and office spaces upon property located at 7407 South 27th Street (761 9994 006).

The applicant requested that C.1. be tabled and continue the public hearing to December 7, 2023 Plan Commission meeting.

Planning Associate Fuchs presented the development and Special Use Amendment and Miscellaneous application.

The Official Notice of Public Hearing for a Special Use Amendment was read in to the record by Fuchs and the Public Hearing opened at 6:06 p.m.

Commissioner Leon moved and Commissioner Haley seconded a motion to continue the public hearing for the Special Use Amendment and Miscellaneous application to the December 7, 2023 meeting. On voice vote, all voted 'aye'; motion carried (54-0-12).

F-D. Business Matters

- 1. Master Halco Site Plan Amendment.** Request for approval of various site modifications including but not limited to, construction of a 28-stall parking lot, installation of new building and parking lot lighting, adding new landscape plantings, and construction of a storm water management pond upon property located at 7407 South 27th Street (761 9994 006).

Commissioner Leon moved and City Engineer Morrow seconded a motion to table D.1. to the next meeting. On voice vote, all voted 'aye'; motion carried (54-0-21).

C. Public Hearing Business Matters

- 2. BadAx Flats, LLC Special Use.** Request for approval of a Special Use to allow for a beer and wine sales establishment with an outdoor wine and beer garden upon property located at 7160 South Ballpark Drive (754 9006 000).

Planning Associate Fuchs presented the Special Use and Site Plan. Noted is a condition related to hours of operation.

Applicant Emily Caldini, of Land by Label, spoke giving a company background of Three Cellars as an operator of an establishment that serves local beer & wine, and including the sale of snacks, but no food.

Aldерwoman Day arrived at 6:10 p.m.

The Official Notice of Public Hearing for a Special Use was read in to the record by Fuchs and the Public Hearing opened at 6:13 p.m.

Resident Dana Gindt had questions and concerns regarding:

- Noise mitigation
- UDO requirements that alcohol establishments not be close to residential development
- Objects to PDD 37 – other development on property is out of compliance
- Requesting continued review of Site Plan
- Continued comments on Site Plan
- Overall compliance of the development with PDD 37

Resident Dale Kirner had concerns about:

- Noise and quality of life
- Accountability for noise level at the property lines

- Comment about volume of Tacos & Tequila event; the property owner assured residents that this would not be too loud

Mayor Nelson responded that Tacos & Tequila event planners were responsible for the noise issues, not the property owner.

Resident Kirner commented this could have been addressed at time of violation.

Greendale resident Kleist expressed concerns about live music noise and protection for the neighbors.

The public hearing was closed at 6:24.

Commissioner Leon was seeking an answer from the applicant regarding outdoor music and what precautions are in place to control noise and lights.

Applicant Caldini explained the photometrics plan was provided in the Site Plan. The operator is a relaxed environment that includes a lounge with no televisions or loud music.

Commissioner Leon asked if there will be outdoor music or live music with speakers.

Applicant Caldini, and Ian Martin of Land by Label commented they are unsure at this time.

Applicant Martin stated that they are not asking to deviate from existing guidelines for noise.

Aldерwoman Day had comments and questions relating to:

- acoustic music/type of music
- decibel limit and distance requirements
- prepackaged food versus prepared food on site
- outdoor patio – same schedule

Applicant Caldini confirmed that the venue would only be serving prepackaged food; and that the patio would be on the same schedule as the rest of the business.

Planning Associate Fuchs commented that requirements relating to noise and distance are in the UDO, and are separate from PDD 37.

City Engineer Morrow commented the Special Use is specific to alcohol.

Commissioner Leon asked if there have been any violations by Three Cellars in the past at their previous location in Franklin.

Commissioner Haley asked if a status of a sound report from Milwaukee County could be brought to Plan Commission.

Planning Associate Fuchs read the motion.

Commissioner Leon moved and City Engineer Morrow seconded a motion to adopt a Resolution approving a Special Use for a beer and wine sales establishment with an outdoor wine and beer garden upon property located at 7160 South Ballpark Drive (BadAx Flats, LLC, applicant). On voice vote, all voted 'aye'; motion carried (65-0-01).

D. Business Matters

- 3. City of Franklin Amendment to Planned Development District (PDD) No. 37.** Request to amend Table 15-3.0442C.1. and Table 15-3.0442D.2. related to the Minimum Total Living Area per Residential Apartment Dwelling Unit and to reduce the minimum required dwelling unit size for one-bedroom dwelling units from 700 square feet to 600 square feet.

Planning Associate Fuchs presented this item with staff's recommendation. The amendment is due to an error in PDD tables of the UDO related to dwelling unit size.

City Attorney Wesolowski questioned if the request is a Minor Planned Development District Amendment or a Major Planned Development District Amendment. Wesolowski indicated there must be a vote on whether it is a Minor or Major amendment.

Commissioner Leon asked does suspending the rules allow for a public hearing.

City Attorney Wesolowski responded no, it must include a published notice.

Applicant Martin questioned is this a substantial change or change in use?

City Attorney Wesolowski, Associate Planner Ecks, Commissioner Leon and City Engineer Morrow made additional comments on the discussion of Minor versus Major Amendment.

Motion #1

At 6:48 p.m., on roll call vote, Commissioner Leon moved and Commissioner Haley seconded a motion to suspend rules to allow for public input. On voice vote, all voted 'aye'; motion carried (65-0-01).

Resident Dana Gindt does not support the change. Asked how does this impact the TID requirements of a maximum percentage of residential development in a TID.

Motion #2

Commissioner Leon moved and Alderwoman Day seconded a motion to return to normal business. On voice vote, all voted 'aye'; motion carried (65-0-01).

Motion #3

Commissioner Leon moved and Alderwoman Day seconded a motion to determine the proposed Planned Development District Amendment to be a Minor Amendment. On voice vote, all voted 'aye'; motion carried (65-0-01).

Motion #4

Commissioner Leon moved and City Engineer Morrow seconded a motion to adopt an ordinance amending Table 15-3.0442C.1. and Table 15-3.0442D.2. related to the minimum total living area per residential apartment dwelling unit and to reduce the minimum required dwelling unit size for one-bedroom dwelling units from 700 to 600 square feet. On voice vote, all voted 'aye'; motion carried (65-0-01).

2. **BadAx Flats, LLC Site Plan.** Request for approval of a Site Plan to allow for the construction of a mixed-use multi-family and commercial building upon property located at 7160 South Ballpark Drive (754 9006 000). Additionally, the applicant is requesting the following waivers:
- a) Ordinance 2019-2368, Table 15-3.0442C.1, to allow for a front setback of 10 feet, opposed to the minimum front setback of 25 feet.
 - b) Ordinance 2019-2368, Table 15-3.0442EB3.a. to reduce the required number of minimum plantings.

Planning Associate Fuchs presented the Site Plan for BadAx Flats, LLC. The Site Plan was previously tabled at the June 22, 2023 Plan Commission meeting due to issues related to dwelling unit size, landscaping requirements and trash enclosure details. A Special Use has already been approved. Staff is recommending approval of waivers.

City Attorney Wesolowski suggested to add that this approval be conditioned on approval of the Minor Planned Development District Amendment.

City Engineer Morrow indicated that the project will need stormwater approval by the County and engineering.

Alderwoman Day commented on parking and landscaping. Will there be removal of surface parking?

Applicant Martin objected to condition of the Planned Development District Amendment because the Special Use already approved 78 units.

~~Commissioner Leon moved and Alderwoman Day seconded a motion to adopt a Resolution approving a Site Plan Amendment to allow for the construction of a mixed-use multi-family~~

~~and commercial building upon property located at 7160 South Ballpark Drive (BadAx Flats, LLC, applicant). On voice vote, all voted 'aye'; motion carried (6-0-0)_[NF1].~~

a) Ordinance 2019-2368, Table 15-3.0442C.1, to allow for a front setback of 10 feet, opposed to the minimum front setback of 25 feet.

Commissioner Leon moved and Commissioner Haley seconded a motion to approve a waiver from Ordinance 2019-2368, table 15-3.0442C.1, to allow for a front setback of 10 feet, opposed to the minimum front setback of 25 feet. On voice vote, all voted 'aye'; motion carried (6-0-0).

b) Ordinance 2019-2368, Table 15-3.0442EB3.a. to reduce the required number of minimum plantings.

~~Commissioner Leon moved and Alderwoman Day seconded a motion to approve a waiver from Ordinance 2019-2368, table 15-3.0442EB3.A. to reduce the required number of minimum plantings. On voice vote, all voted 'aye'; motion carried (65-0-0)_[NF1].~~

~~Commissioner Leon moved and Alderwoman Day seconded a motion to adopt a Resolution approving a Site Plan Amendment to allow for the construction of a mixed-use multi-family and commercial building upon property located at 7160 South Ballpark Drive (BadAx Flats, LLC, applicant). On voice vote, all voted 'aye'; motion carried (5-0-1)_[NF2].~~

4. Department of Public Works Site Plan Amendment. Request for approval of a Site Plan Amendment to allow for redesign of the existing yard, including development of a new storage building and yard waste drop off area, on property located at 7979 W. Ryan Road (896 9990 001). Additionally, the applicant is requesting a determination from Plan Commission as to whether the proposed storage building may be considered a Principal Structure.

City Engineer Morrow presented the Site Plan Amendment indicating baseball diamonds are part of Department of Public Works lot and the yard is now being developed. Screening will be provided for neighbors to the south. Long term, there will be an additional expansion.

Applicant's representative John Wellenkamp added that there is a landscaping berm on the south end of the lot that will be part of the site development. Bids are due November 14, 2023.

Associate Planner Ecks added additional details of the application and discussion of the necessary zoning determination.

Commissioner Leon asked if a public hearing is required for this? O could the City offer public engagement such as a neighborhood meeting with the Alderperson.

Commissioner Leon moved and Commissioner Shawgo seconded a motion to table this item to the December 7, 023 meeting so staff and Alderperson can get feedback from the neighborhood regarding visual and sound deflection. On voice vote, all voted 'aye'; motion carried (~~65-0-01~~).

It is noted the Resolution should clarify "City Application."

Commissioner Haley also commented on the proposed future addition to primary structure and that noise mitigation requires a solid structure.

5. **WE Energies Site Plan Amendment.** Request for approval of a Site Plan Amendment to allow for a redesigned atrium including entryway, landscaping, and patio, on property located at 4800 W Rawson Rd. (740 9988 006).

Associate Planner Ecks presented the Site Plan Amendment.

Commissioner Leon moved and Commissioner Shawgo seconded a motion to adopt a Resolution approving a Site Plan Amendment for the redesign of the front entrance of the WE Energies service center, upon property located at 4800 West Rawson Avenue (by Ryan Lee, WEC Energy Group, applicant, WI Electric Power Co, property owner)). On voice vote, all voted 'aye'; motion carried (~~65-0-10~~).

E. Adjournment

Commissioner Leon moved and Commissioner Haley seconded to adjourn the meeting at 7:40 p.m. On voice vote, all voted 'aye'; motion carried (~~65-0-01~~).



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.1.

Meeting of December 7, 2023

Area Exception

RECOMMENDATION: City Development Staff recommends approval of this Area Exception request to increase the lot coverage to 17.65%, while the maximum lot coverage permitted as of right is 15%.

Project name:	Conway, Area Exception
Property Owner:	Conway, Thomas C.
Applicant:	Conway, Thomas C.
Property Address/TKN:	11933 W. Oakwood Dr. / 749 0055 000
Aldermanic District:	District 6
Zoning District:	R-3 – Suburban/Estate Single-Family Residence District
Staff Planner:	Régulo Martínez-Montilva, AICP, CNUa, Principal Planner

INTRODUCTION:

Area Exception to allow for a lot coverage of 17.65% (4,228 square feet) for the installation of a detached garage, exceeding the R-3 maximum lot coverage standard of 15% (3,594 square feet). The area of the subject property is 23,958 square feet. The existing residence, attached garage, deck, and detached shed cover approximately 3,718 sq. ft. The proposed detached garage would be 720 sq. ft. The existing detached shed of 210 square feet is planned for removal.

PROJECT ANALYSIS:

The process to grant an Area Exception involves review and recommendation of the Plan Commission followed by approval by the Board of Zoning and Building Appeals.

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%. Section 15-10.0209.G. of the Unified Development Ordinance (UDO) specifically lists Standards to be reviewed to grant or deny an Area Exception, which the Plan Commission and Board of Zoning and Building Appeals will use to consider the request.

Lot coverage is defined as “the area of a zoning lot occupied by the principal building or buildings, accessory structure(s) and accessory building(s)”. For example, structures that count towards lot coverage include: principal buildings or dwellings, garages, sheds, swimming pools and associated paved surfaces within four feet from the pool, decks, any structures with a cover or canopy, etc. This Lot Coverage definition should not be confused with Impervious Surface Ratio (ISR) as driveways and walkways count towards ISR but not for lot coverage.

Maximum lot coverage calculation:

- The property area is 23,958 square feet (sq. ft.).
- Per UDO Table 15-3.0204, the maximum lot coverage is 15% in the R-3 Suburban/Estate Single-Family Residence District where the subject property is located. Based on the property area, the maximum lot coverage for this property is 3,594 sq. ft.
- The existing lot coverage of the dwelling, attached garage, deck, and detached shed is 16% (3,718 sq. ft.), specifically dwelling and attached garage (2,806 sq. ft.), deck (702 sq. ft.), and detached shed (210 sq. ft.).
- The proposed detached garage for which this Area Exception has been requested would be 720 sq. ft. The construction of the proposed detached garage, and removal of the existing detached shed (210 sq. ft.) would result in a lot coverage of 17.65% (4,228 sq. ft.).
- With approval of an Area Exception, the maximum lot coverage may be increased up to 20% over the maximum permitted lot coverage in this zoning district (15%), resulting in 18% (4,312 sq. ft.). Therefore, this request falls within the allowable increase if the Area Exception is granted.

The proposed detached garage is setback 30 feet from the rear lot line (south) and 10 feet from the side lot line (west) which is in compliance with the minimum required setbacks in the R-3 zoning district.

The subject property is located in the Woodcrest Acres subdivision platted in 1952, the plat depicts a 12-foot utility easement along the rear lot line, half of this easement is located on the subject property. The proposed garage location is not encroaching into this easement.

SITE COMPLIANCE

A site visit was performed as part of the staff report preparation process. No compliance issues were discovered during the site visit besides lot coverage.

STAFF RECOMMENDATION

City Development Staff recommends approval of this Area Exception request to increase the lot coverage to 17.65%, while the maximum lot coverage permitted as of right is 15%, with the conditions that there is no home occupation in any accessory structures, including the proposed detached garaged, and that the existing detached shed is removed.

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: _____ city use only

BOARD OF ZONING AND BUILDING APPEALS REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME: <u>Thomas Conway</u>	NAME: <u>Andrew Catteruccia</u>	COMPANY: _____	COMPANY: <u>American Garage Builders</u>
MAILING ADDRESS: <u>11933 oakwood dr.</u>	MAILING ADDRESS: <u>901 w winneshago</u>	CITY/STATE: <u>Franklin, WI</u> ZIP: <u>53132</u>	CITY/STATE: <u>Milwaukee, WI</u> ZIP: <u>53205</u>
PHONE: <u>(414) 704 - 3371</u>	PHONE: <u>(414) 852 - 1710</u>	EMAIL ADDRESS: <u>Tconway8@yahoo.com</u>	EMAIL ADDRESS: <u>Andrew_Agb@yahoo.com</u>

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: <u>11933 oakwood DR</u>	TAX KEY NUMBER: <u>7490055000</u>
PROPERTY OWNER: <u>Thomas Conway</u>	PHONE: <u>(414) 704 - 3371</u>
MAILING ADDRESS: <u>11933 oakwood DR.</u>	EMAIL ADDRESS: <u>Tconway8@yahoo.com</u>
CITY/STATE: <u>Franklin, WI</u> ZIP: <u>53132</u>	DATE OF COMPLETION: _____ <small>office use only</small>

APPLICATION TYPE

Please check the application type that you are applying for

Area Exception
 Minor Variance
 Sign Variance and Appeals
 Variance and Appeals

Most requests require Board of Zoning and Building Appeals approval.

Applicant is responsible for providing Board of Zoning and Building Appeals resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

[Signature], the applicant, certify that I have read the following page detailing the requirements for BZBA approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: <u>[Signature]</u>	APPLICANT SIGNATURE: <u>[Signature]</u>
NAME & TITLE: <u>Thomas Conway / owner</u> DATE: _____	NAME & TITLE: <u>Andrew Catteruccia / contractor</u> DATE: <u>7/19/23</u>
PROPERTY OWNER SIGNATURE: _____	APPLICANT REPRESENTATIVE SIGNATURE: _____
NAME & TITLE: _____ DATE: _____	NAME & TITLE: _____ DATE: _____

Description of Subject Property

1. Property is zoned R-3 (Suburban/Estate Single-Family Residential District)
2. The property is .532 acres = 23,173.92 sq. ft. in area
3. According to section 15-3.0203, the max lot coverage is 15% of the total lot. This means this property can only be permitted to have 3,476 sq. ft. of lot coverage.
4. Assessor data shows that the current lot coverage is 3,414
5. $3476 - 3414 = 62$ sq. ft. of available building space.

Project Narrative

My client recently became a resident to the City of Franklin, during his search for a new home he had plans to build a 3-4 car detached garage to support his hobby of being car enthusiast. He was in contact in 2021 with the former planning manager Mr. Heath Eddy in regards to his plan, whether building a 720 sq.ft detached garage in his back yard would fall within the cities parameters. In further discussion, Mr. Eddy gave "advice" that the plan would in fact be permitted under the lot coverage requirements, thus was the deciding factor for my client to close on his current residence. Present day, the plans come to fruition and now he's informed that he in fact cannot follow through with the plans because it exceeds the lot coverage requirement (per Laurie Miller). My client was given false information in 2021, now we just want to make things rights and follow through with what the original plan was. No one currently is to blame, and I want to thank everyone who is involved for taking the time to review and potentially grant this build.

I've also provided the email thread between my client, Mr. Eddy, Ms. Miller, and myself.

Andrew Catteruccia

Project Manager & Representative

(414) 852-1710

American Garage Builders, Inc.

Standards in the Review of Area Exceptions

Date: 7/18/23

Case No. _____

Property Owner: Thomas Conway

Property Address: 11933 Oakwood Dr. Franklin, WI, 53132

Section 15-10.0209G of the City of Franklin Unified Development Ordinance specifically lists Standards to be reviewed by the Board of Zoning and Building Appeals to grant or deny an Area Exception. The Standards are:

1. That the area exception will not be detrimental to or endanger the public health, safety, comfort or general welfare.

NO, the proposed placement will be well positioned in the rear yard far from any ROW and away from neighboring parcels.

2. That the uses, values and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or diminished by the area exception.

NO, the purpose for this building is to store cars and personal belongings to mitigate potential "eye sores" for lack of storage space in the principal dwelling

3. That the area exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

NO. The proposed building was well thought out and designed with everyone's best interest, following the setbacks given by the city

4. That the area exception will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire within the neighborhood.

NO, the placement and size of building is well within the homeowners property, nicely spaced from existing structures within parcel, in back yard away from ROW

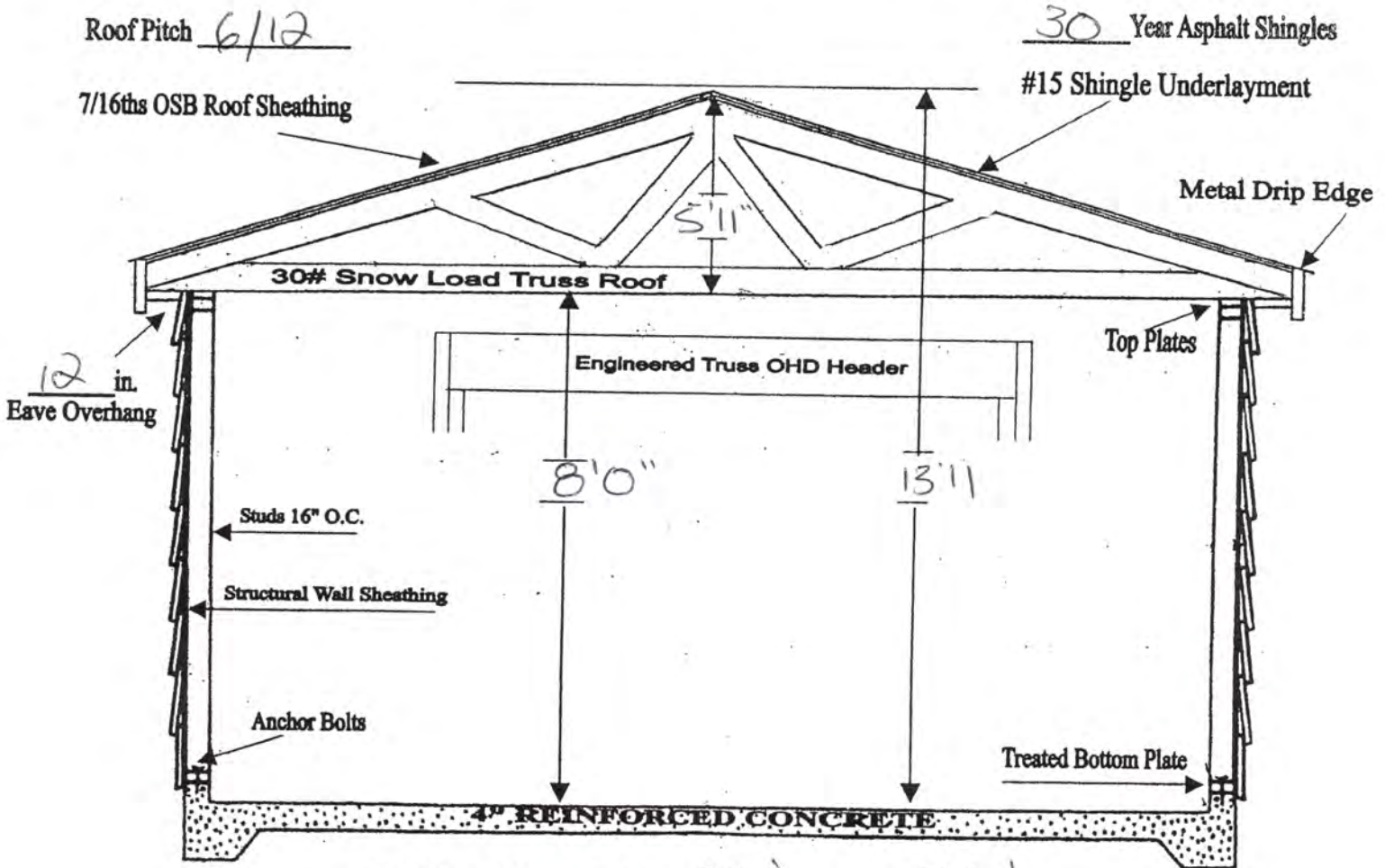
5. That the area exception shall be in harmony with the general purpose and intent of this Unified Development Ordinance.

YES, everything being proposed is within the means of whats required and expected. After proposal is submitted and potentially approved, will not be deviated without proper approval.

AMERICAN GARAGE BUILDERS

Federal ID# 01-072-2880

Wisconsin Financial Certification ID # 908032



Building Size: Gable 20' Eave 36'

Property Owner Thomas Conway

Job Site Address 11933 Oakwood Dr.

City Franklin State WI Zip 53132

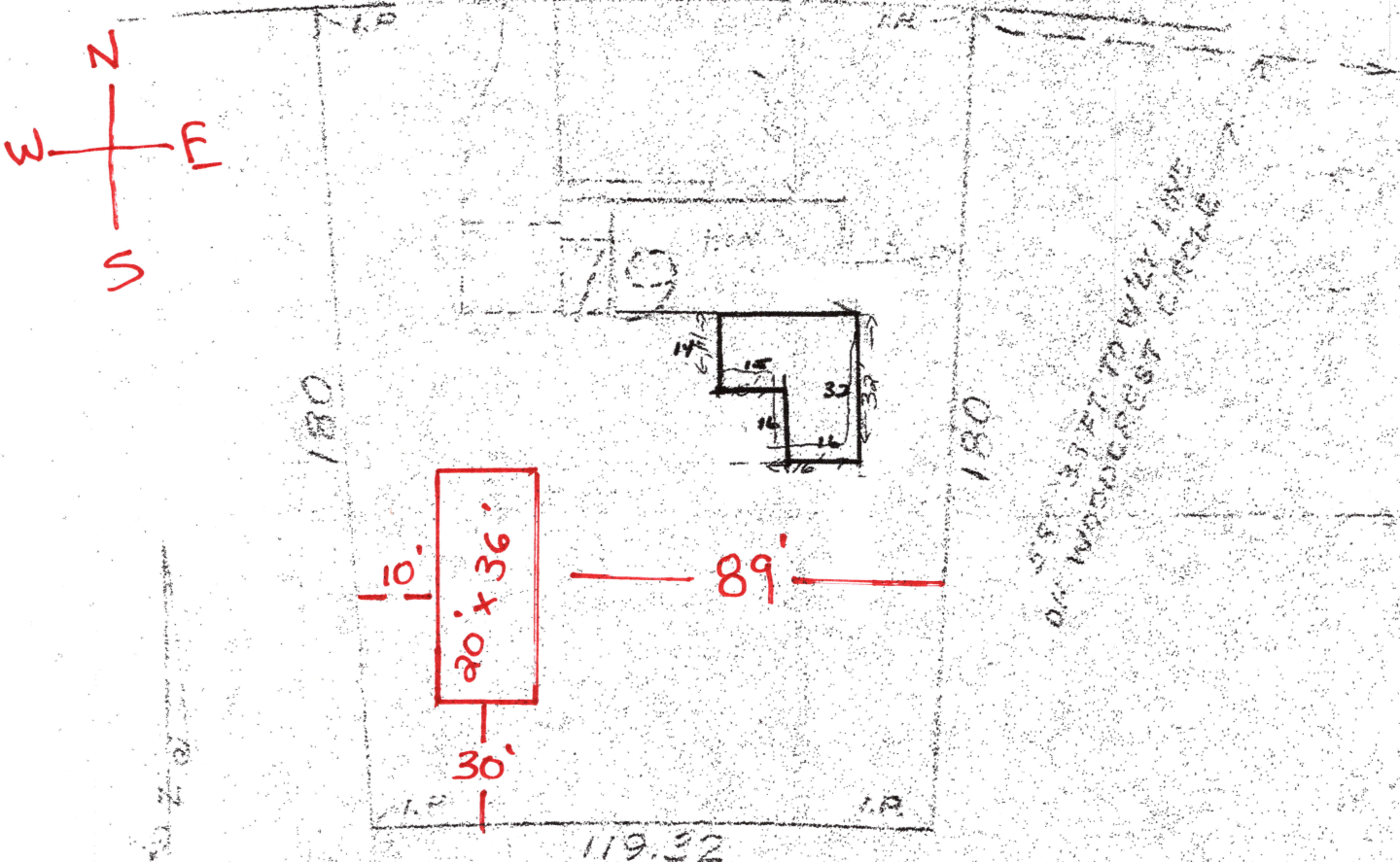
American Representative [Signature] Phone (414) 852-1710

PLAT

10. 19. Block ...
Being a Subdivision of part of ...
North, Range 21 East, Town of Franklin, Milwaukee County, Wisconsin.

11933 W. Oakwood Dr.

OAKWOOD DRIVE 60 FT.



Setbacks

- W lotline: 10'
- E lotline: 89'
- S lotline: 30'

SCALE 1" = 40'

ADDRESS
7512 HARWOOD AVE.
WAUWATOSA 13, WIS.

Surveyed and Drawn By
WALTER J. CONNELL
Civil Engineer and Surveyor

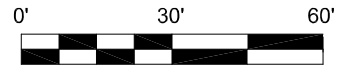
PHONE
BLUEMOUND 1363
SHEMONG 6766

SURVEYED FOR
Advance Realty Co.
1334 W. North Ave.
Milwaukee, Wisconsin
(Agents)

I, Walter J. Connell, hereby certify that I surveyed the above described property on _____ according to the official records and that the above plot is a true representation of the boundary lines thereof, and the principal lines of _____ building thereon.

REGISTERED PROFESSIONAL ENGINEER NO. 655
STATE OF WISCONSIN

Plat of Survey



Property Description: Document No. 11096591
 Lot Nineteen (19), in Block "D", in Woodcrest Acres, being a
 Subdivision of part of the Southwest One-quarter (1 / 4) of Section
 Six (6), in Township Five (5) North, Range Twenty-one (21) East,
 in the City of Franklin, Milwaukee County, Wisconsin.

PREPARED FOR:
 Thomas Conway
 11933 W. Oakwood Drive
 Franklin, Wisconsin 53132



BEARINGS ARE REFERENCED TO
 WOODCREST ACRES, WEST LINE
 LOT 19, BLOCK D BEARS S 03°37'08" W

Notes:

1. A title commitment has not been provided and this parcel may be subject to, or benefit from, easements or agreements, written or otherwise, not shown hereon.
2. Outside diameter measured on all monuments. Set monuments are 1.50Lbs/Lineal Foot.
3. () Indicates recorded as bearings and dimensions.
4. Field work completed on 10-05-23.

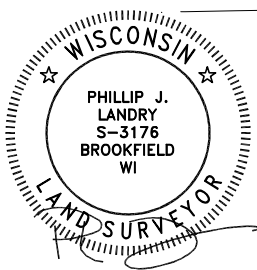
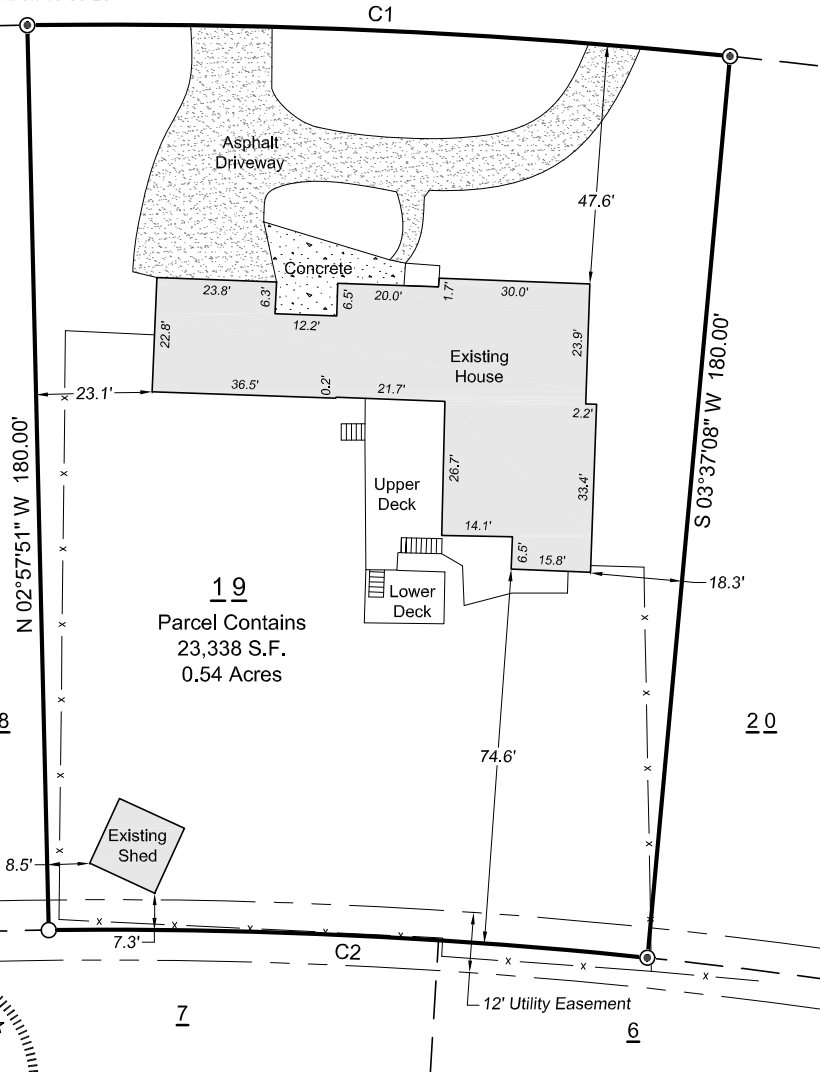
W. OAKLAND DR.
 (60' R.O.W.)

C1 Curve Data

RAD. = 1218.50'
 ARC = 140.00'
 CHD. = 139.92'
 BRG. = S 89°40'42" E

C2 Curve Data

RAD. = 1048.50'
 ARC = 119.31'
 CHD. = 119.24'
 BRG. = N 89°40'42" W



SURVEYOR'S CERTIFICATE

I hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, its exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

LEGEND

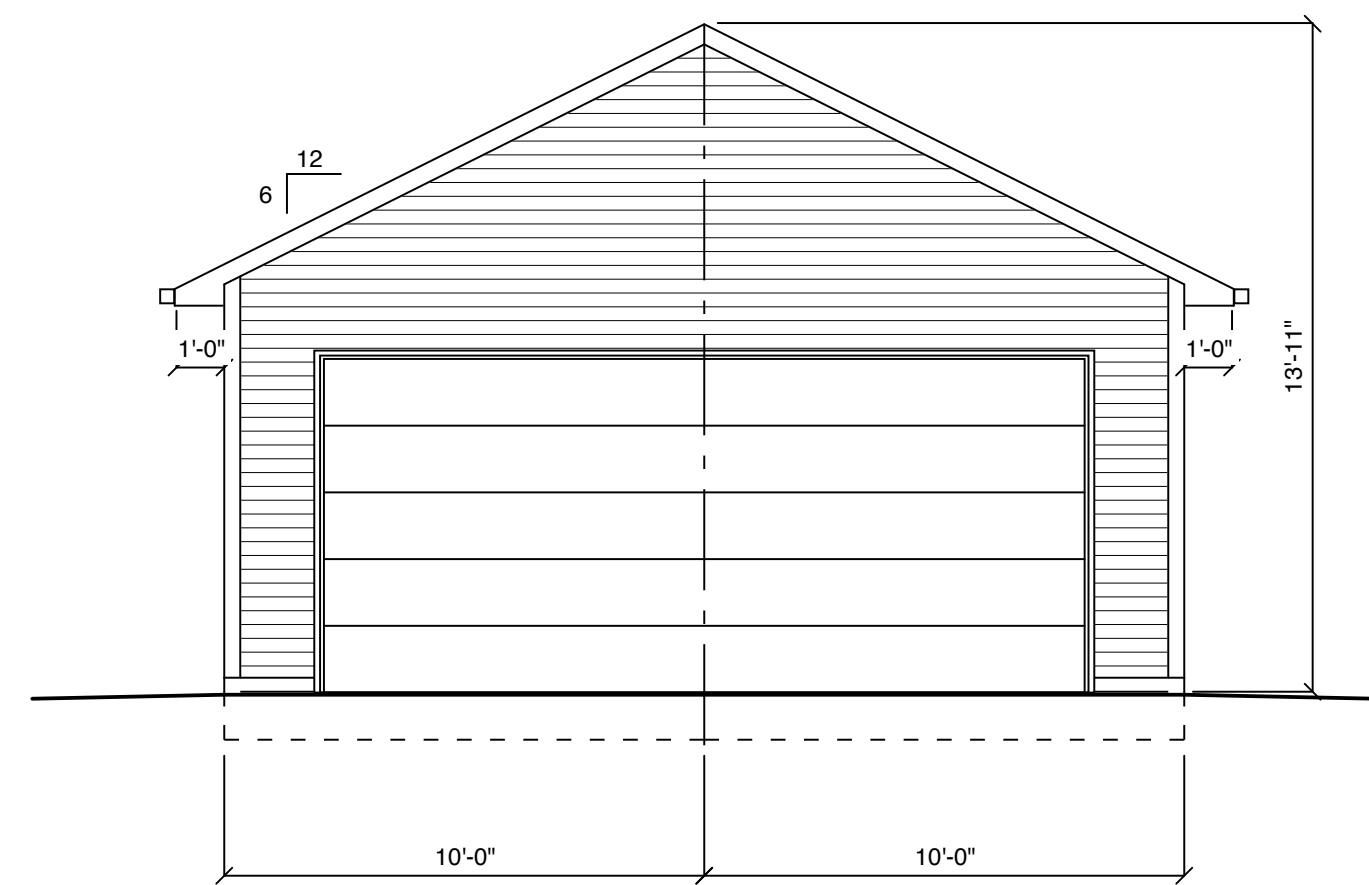
- ⊙ 1-1/4" Iron Pipe
- 3/4"X18" Iron Rod Set
- x — Chain Link Fence
- \ — Board Fence



260 Regency Court • Suite L100
 Brookfield, WI 53045 • (262) 312-1034
 www.c3egeomatics.com

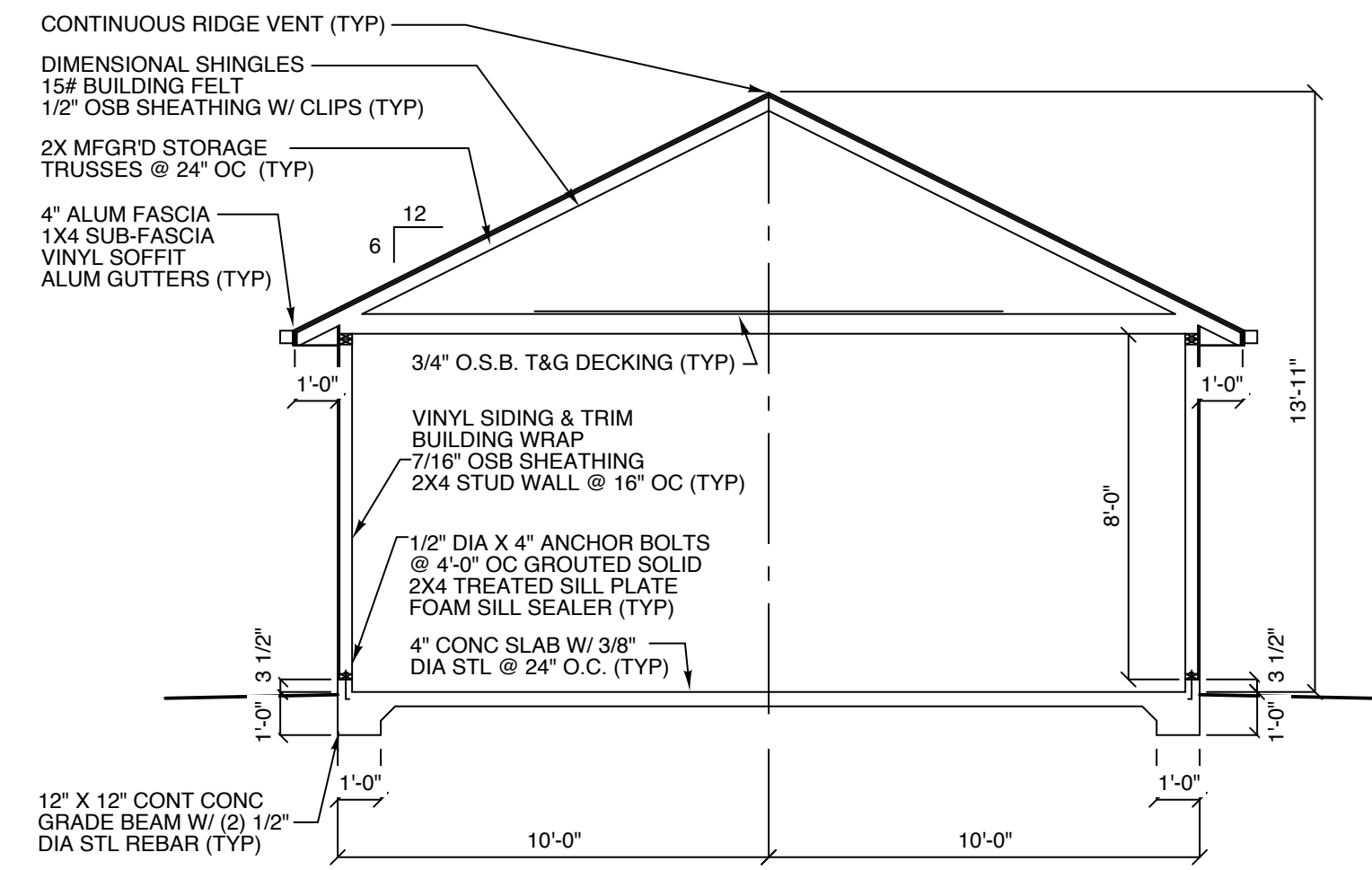
Dated this 30th Day of October, 2023: Phillip J. Landry S-3176

Job# 23303



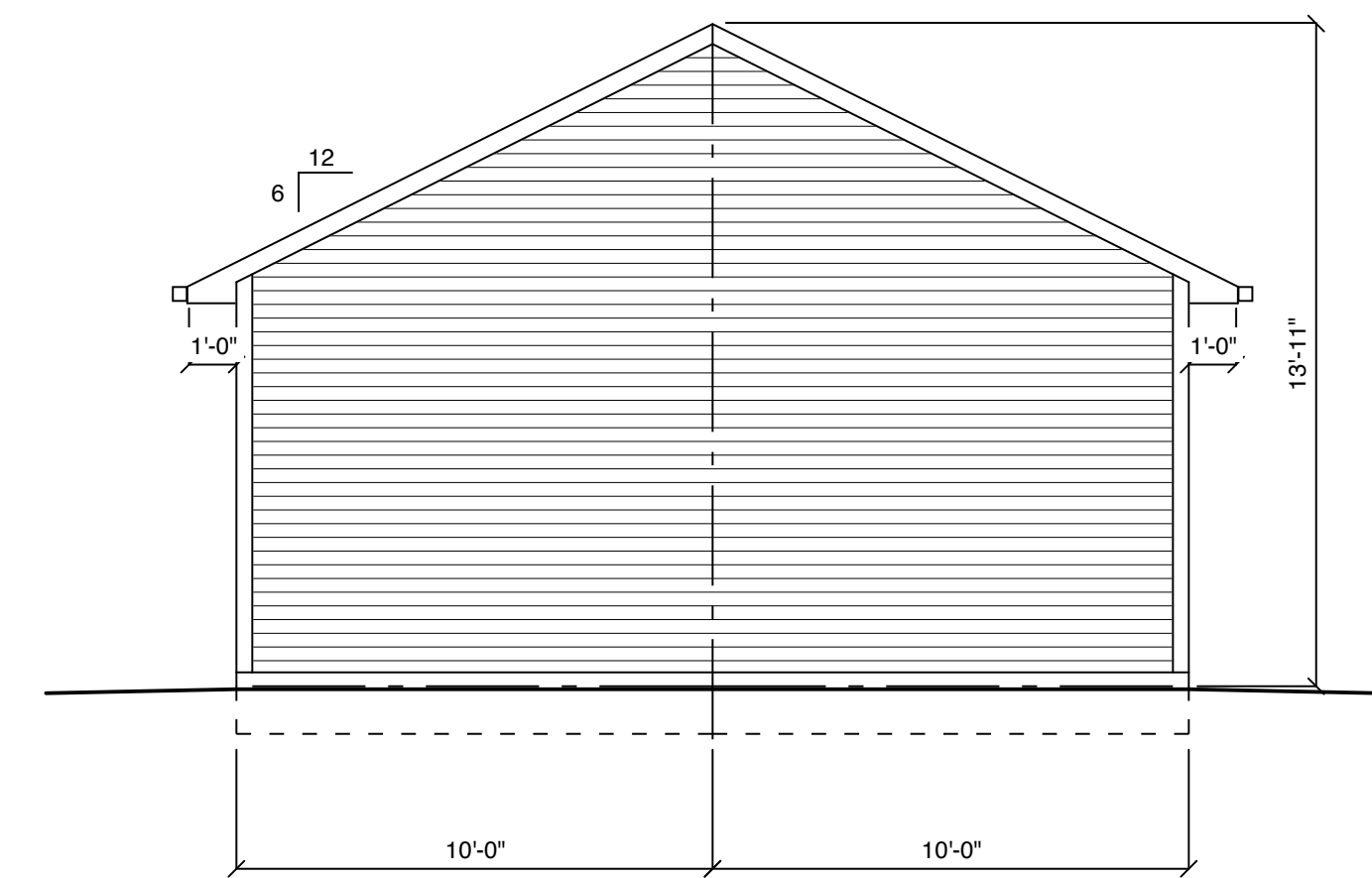
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



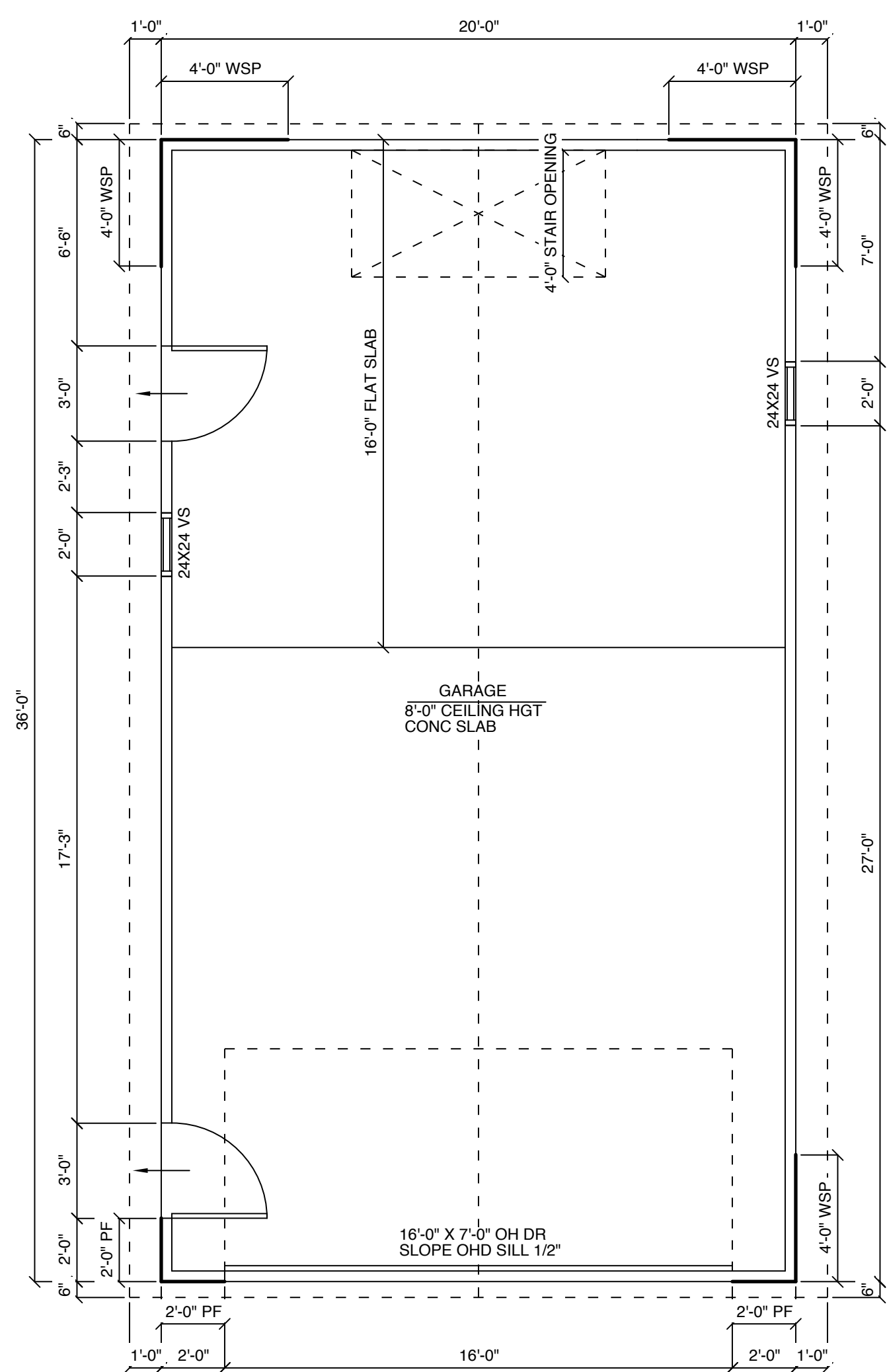
TYPICAL PARTIAL WALL SECTION

SCALE: 1/4" = 1'-0"



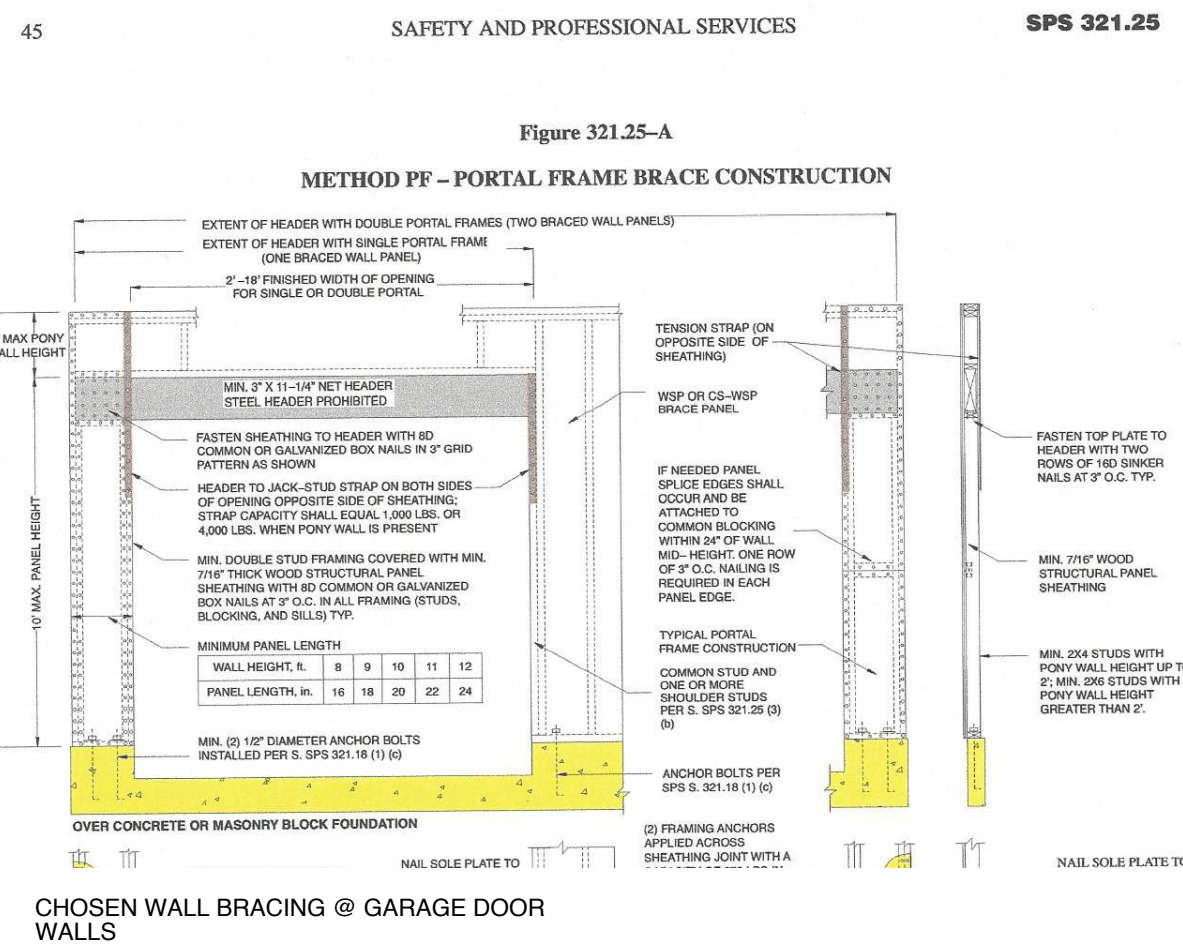
REAR ELEVATION

SCALE: 1/4" = 1'-0"



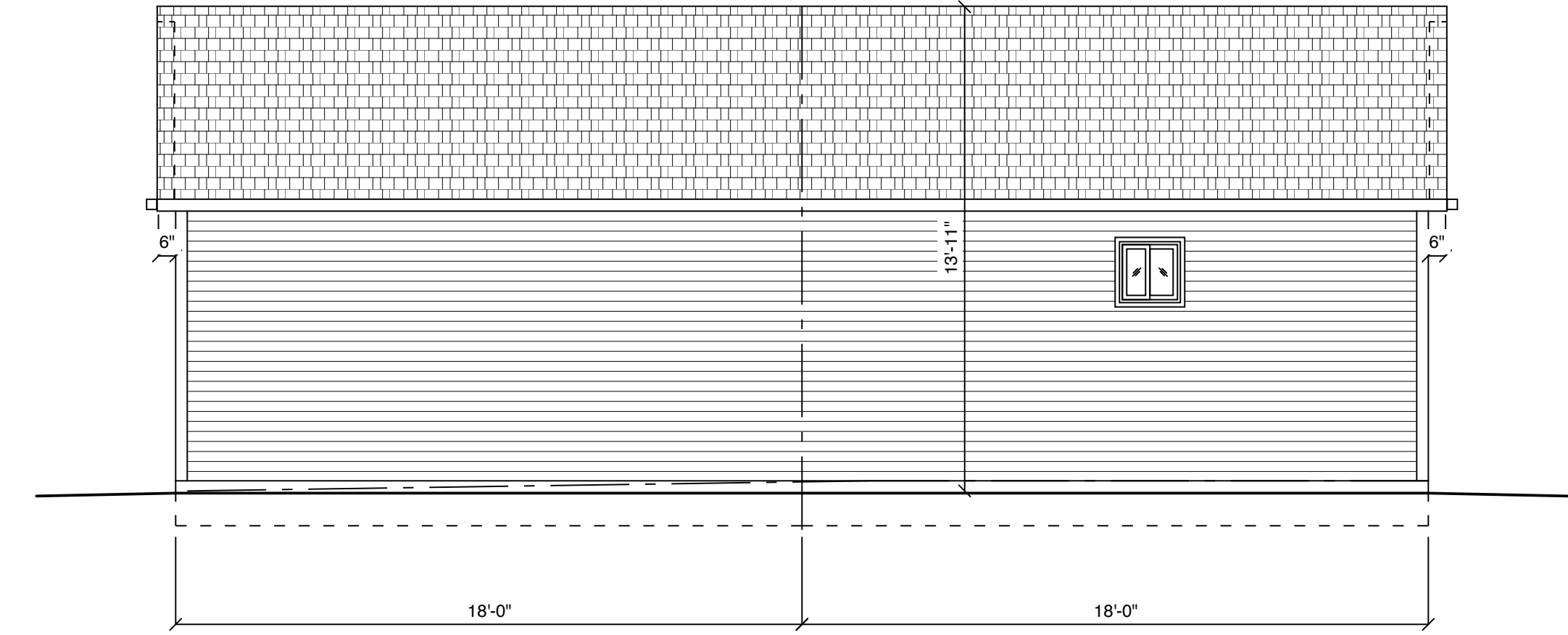
PROPOSED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



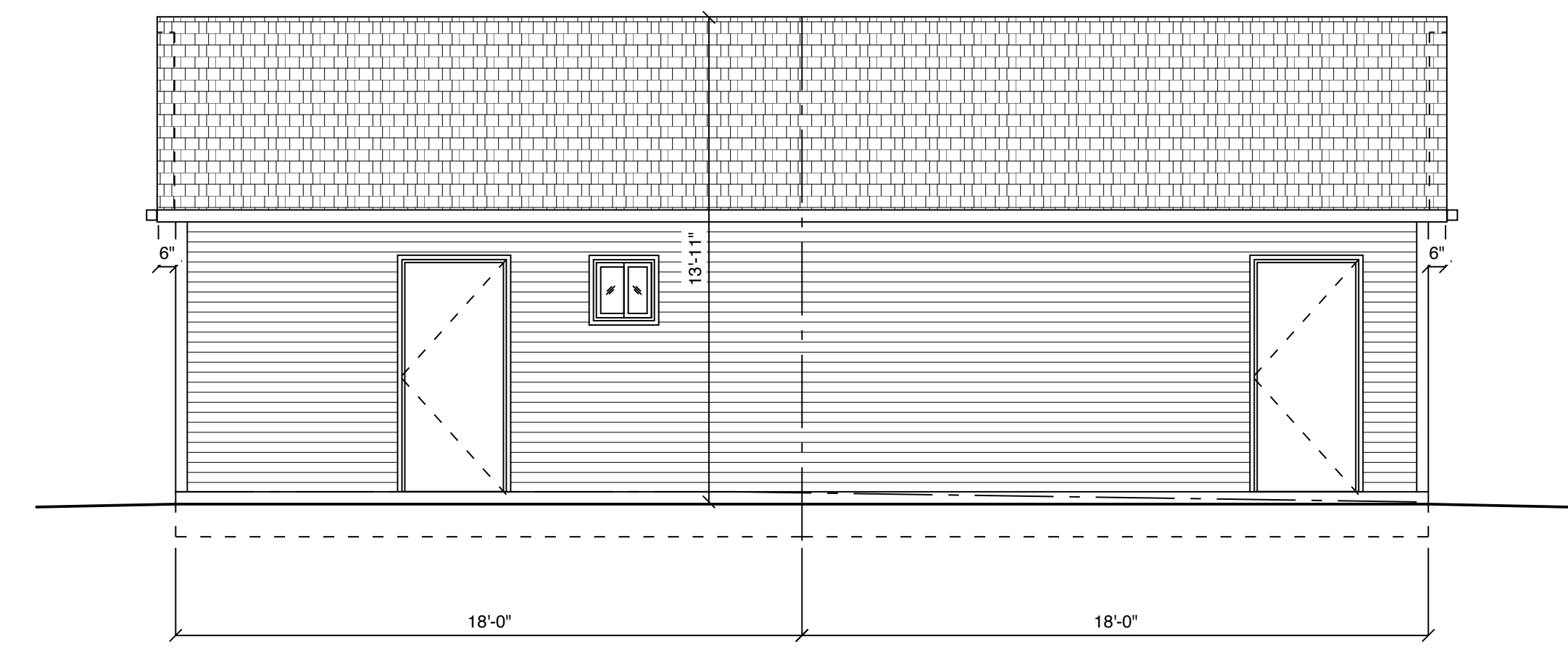
CHOSEN WALL BRACING @ GARAGE DOOR WALLS

Material	Minimum Bracing Material Thickness or Size	Minimum Spacing Between Bracing	Minimum Vertical Height		Minimum Vertical Spacing
			Minimum Spacing	Minimum Spacing	
1.80" Flat-iron	1/4" wood brace (per approved wood brace manufacturer instructions)	30"	45° angle and maximum 10' max. height	3'-0" minimum with a 3'-6" max. height (10' max. height with 12:12 slope)	Per stud and top and bottom plates
DWS	1/2" (1" maximum) 2x4 wood brace	30"	45°	3'-0" min. with 2x8" top and 4x12" bottom (or 1 1/2" x 4" top and 2x8" bottom)	Per stud and top and bottom plates
WSP	2x6 wood stud (per approved wood stud manufacturer instructions)	30"	45°	3'-0" min. with 2x8" top and 4x12" bottom (or 1 1/2" x 4" top and 2x8" bottom)	7" edges, 12" field (single)
SW	Structural floor-board sheathing	30"	45°	3'-0" min. with 2x8" top and 4x12" bottom (or 1 1/2" x 4" top and 2x8" bottom)	7" edges, 12" field (including top and bottom plates)
CS-WSP	Continuous sheathing WSP	30"	45°	3'-0" min. with 2x8" top and 4x12" bottom (or 1 1/2" x 4" top and 2x8" bottom)	Same as WSP
CS-WSP	Continuous sheathing WSP	30"	45°	3'-0" min. with 2x8" top and 4x12" bottom (or 1 1/2" x 4" top and 2x8" bottom)	Same as WSP
CS-WSP	Continuous sheathing WSP	30"	45°	3'-0" min. with 2x8" top and 4x12" bottom (or 1 1/2" x 4" top and 2x8" bottom)	Same as WSP



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

AMERICAN GARAGE BUILDERS-CONWAY
NEW CONSTRUCTION
11933 OAKWOOD DR
FRANKLIN WI 53132

SHEET TITLE PROPOSED FLOOR PLAN, BUILDING SECTION & EXTERIOR ELEVATIONS
DRAWN GE
CHECKED GE
DATE 14 JULY 2023
JOB NO. 2023.01.24
SHEET A1



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Meeting of December 7, 2023
Special Use Amendment, Miscellaneous Application, and Site Plan Amendment

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based upon the recommended draft Resolution and approve the Site Plan Amendment Application.

Project Name:	Master Halco
Property Owner:	Platt Construction Inc.
Applicant:	Mike Uhl, Master Halco
Property Address/Tax Key Number:	7407 S 27 th St./ 761 9994 006
Aldermanic District:	District 4
Agent:	Luke Sebald, Keller Inc.
Zoning District:	B-4 South 27 th St Mixed Use Commercial District
Use of Surrounding Properties:	B-4 S. 27 th St Mixed Use Commercial District (north), BP Business Park and OL-1 Office Overlay (south), R-6 Suburban Single-Family Residence and OL-1 Office Overlay (west), City of Oak Creek (east)
Application Request:	To allow for a fence wholesale and distribution use with light fabrication and outdoor storage and associated site changes.
Staff Planner:	Nick Fuchs, Planning Associate

Background

The applicant, Master Halco, is seeking Special Use Amendment/Miscellaneous Application and Site Plan Amendment approval to operate a fence wholesale and distribution use with light fabrication and outdoor storage. The Special Use and Site Plan Amendment are described in detail further below.

The site is currently being utilized by Platt Construction, which first obtained Special Use approval in 1992 via Resolution No. 92-3753. This Special Use allowed for an “outdoor construction yard and storage in conjunction with an office building and indoor storage building.”

The proposed use is similar in nature and will utilize the site and building in manner consistent with the original special use approval.

SPECIAL USE

The subject property is zoned B-4 South 27th Street Mixed Use Commercial District. Master Halco anticipates approximately 12 to 15 employees and hours of operation between 7:00 a.m. and 4:30 p.m. Monday through Friday.

The applicant has indicated that the business is not generally open to the public and sales are business to business. The majority of the product is stored outside within the storage yard located to the west of the

main building. This building will contain space for light fabrication of gates, racked storage, and office space.

The applicant has provided responses to the Special Use standards listed within Section 15-3.0701 of the UDO for Plan Commission and Common Council review.

SITE PLAN

The applicant is proposing a variety of site modifications. The building is also proposed to be painted as illustrated on the attached elevations.

The site changes include, but are not limited to:

- Relocating light poles, removing a walkway, and removing trees to construct a new 27-stall parking lot in front of the principal building adjacent to South 27th Street.
 - Parking spaces are 9' wide and 19' in length (171 square feet). It appears a 20' long parking space could be achieved with adjustments to the design, in part by reducing the drive aisle to 24-feet. Staff recommends parking spaces be a minimum of 9' wide and 180 square feet in compliance with Section 15-5.0202 of the UDO. It can be noted that allowance for slightly shorter parking spaces has been allowed in past developments with the consideration of an overhang when parking spaces are abutting a curb.
- Removing parking lot landscape islands that are located to the north of the building.
- Adding 18 deciduous trees, 8 evergreen trees, and 127 shrubs, which is in conformance with landscaping quantity requirements of the UDO.
- Adding building lighting, including lighting on the multiple sheds located to the west of the main building and to the rear of the main building.
- Adding parking lot lighting for the new parking lot.
- Construction of a storm water pond at the southwest corner of the property.
- Proposing to add crushed gravel and concrete on the west side of the property.
 - The site plan indicates an existing impervious area of 6.168 acres and greenspace of 2.186 acres. The proposed improvements will result in a total impervious area of 5.753 acres and greenspace of 2.601 acres. Staff finds that the increase in greenspace is due to the proposed storm water pond. With a site size of 8.354 acres, about 2.51 acres of greenspace is required per the 0.30 minimum LSR standard of the B-4 District.
 - It can be noted that, in review of historical aerial photography, it is difficult to determine the extent of the existing graveled areas over the years. It does appear the existing fence location was in place and defined at the time of development. All proposed improvements are within this area.

The applicant also provided a Natural Resource Protection Plan indicating that no protected natural resources exist onsite. WDNR mapping was also reviewed and did not show any mapped wetlands onsite.

All B-4 District Development Standards are met. Note South 27th Street Design Overlay District Standards do not apply as no new buildings are proposed and no building addition that increases floor area by 50% is proposed.

Staff also finds the proposed modifications are in conformance with Part 5 Design Standards of the UDO, except for the parking space size as noted above.

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

The Department of City Development staff recommends the Plan Commission approve the Site Plan Amendment application for the proposed site modifications as depicted on the attached plans.

Recommended Conditions of Approval

- Special Use
 - Outdoor storage shall be limited to the fenced-in concrete and gravel area located to the west of the principal building and shall be kept in an orderly manner as determined by the Zoning Administrator or Plan Commission.
 - No overnight parking of commercial vehicles shall be allowed outside of the storage yard located behind or to the west of the principal building.
- Site Plan
 - Final grading, erosion control, and stormwater management plans shall be approved by the Engineering Department prior to any land disturbance activities.
 - Parking spaces shall be a minimum of 9' wide and 180 square feet in compliance with Section 15-5.0202 of the UDO. [This condition must be added to the attached draft resolution]

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE AMENDMENT FOR A FENCE
WAREHOUSE, DISTRIBUTION, AND FABRICATION BUSINESS USE WITH
OUTDOOR STORAGE UPON PROPERTY LOCATED AT 7407 SOUTH 27TH
STREET

(BY MASTER-HALCO, INC. APPLICANT,
PLATT CONSTRUCTION INC., PROPERTY
OWNER)

WHEREAS, Master-Halco, Inc., having petitioned the City of Franklin for the approval of a Special Use Amendment for a fence warehouse, distribution, and fabrication business use with outdoor storage upon property located at 7407 S 27th Street, such Special Use having been previously approved on February 4, 1992 by Resolution No. 92-3753, zoned B-4 South 27th St Mixed Use Commercial District. The property which is the subject of the application bears Tax Key No. 761 9994 006 and is more particularly described as follows:

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5794, RECORDED ON JANUARY 14, 1993 ON REEL 2948, IMAGE 745 TO 749 AS DOCUMENT NO. 6715343, BEING A DIVISION OF LANDS IN THE SOUTHEAST ¼ AND SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 12, TOWN 5 NORTH, RANGE 21 EAST, EXCEPTING THEREFROM LANDS CONVEYED IN WARRANTY DEED RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 10387598, SAID LAND BEING IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15- 9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 9th day of November, 2023 and 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use Amendment be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use Amendment upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use Amendment, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Master-Halco, Inc. for the approval of a Special Use Amendment for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use Amendment is approved only for the use of the subject property by Master-Halco, Inc., successors and assigns, for a fence warehouse and distribution use with light fabrication and outdoor storage, which shall be developed in substantial compliance with, and owned and operated and maintained by Master-Halco, Inc., pursuant to those plans City dated October 23, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Master-Halco, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Master-Halco, Inc. Special Use Amendment, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Master-Halco, Inc. Special Use Amendment for the property located at 7407 S 27th St.: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Outdoor storage shall be limited to the concrete and gravel area located to the west of the principal building and shall be kept in an orderly manner.
5. No overnight parking of commercial vehicles shall be allowed outside of the storage yard located behind or to the west of the principal building.

BE IT FURTHER RESOLVED, that in the event Master-Halco, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Amendment Resolution, following a ten (10)

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use Amendment permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Amendment Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use Amendment permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use Amendment has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

AYES _____NOES _____ABSENT _____

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

EXHIBIT A

PLANS DATED OCTOBER 23, 2023

ATTACHED HERETO

RESOLUTION NO. 2023-_____

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR
THE DEVELOPMENT OF A MASTER-HALCO SALES BRANCH
UPON PROPERTY LOCATED AT 7407 SOUTH 27TH STREET
(BY MASTER-HALCO, INC., APPLICANT, PLATT
CONSTRUCTION, INC., PROPERTY OWNER)

WHEREAS, Master-Halco, Inc., having petitioned the City of Franklin for the approval of a Site Plan Amendment for the development of a Master-Halco Sales Branch upon Master-Halco, Inc.'s acquisition of title of said property by conveyance from the Property Owner referenced above, upon property located at 7407 South 27th Street, such Site Plan and Special Use having been previously approved on February 4, 1992 by Resolution No. 92-3753, zoned B-4 South 27th Street Mixed Use Commercial District. The property which is the subject of the application bears Tax Key No. 761 9994 006.

WHEREAS, the development proposes a new parking area and storm water management pond as well as modifications to landscaping and lighting onsite, and the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0304 B-4 South 27th Street Mixed Use Commercial District of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan Amendment for Master-Halco, Inc. dated October 23, 2023, as submitted by Master-Halco, Inc., as described above, be and the same is hereby approved, subject to the following conditions:

1. Master-Halco, Inc., successors and assigns and any developer of the Master Halco project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Master-Halco, Inc. project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon Master-Halco, Inc. and the Master-Halco project for the property located at 7407 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

MASTER-HALCO - SITE PLAN AMENDMENT

RESOLUTION NO. 2023-_____

Page 2

3. The Master-Halco, Inc. project shall be developed in substantial compliance with the plans dated October 23, 2023.
4. Final grading, erosion control, and stormwater management plans shall be approved by the Engineering Department prior to any land disturbance activities.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Master-Halco, Inc. development as depicted upon the plans dated October 23, 2023, attached hereto as Exhibit A and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan Amendment for the property located at 7404 South 27th Street, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this 9th day of November, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this 7th day of December, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

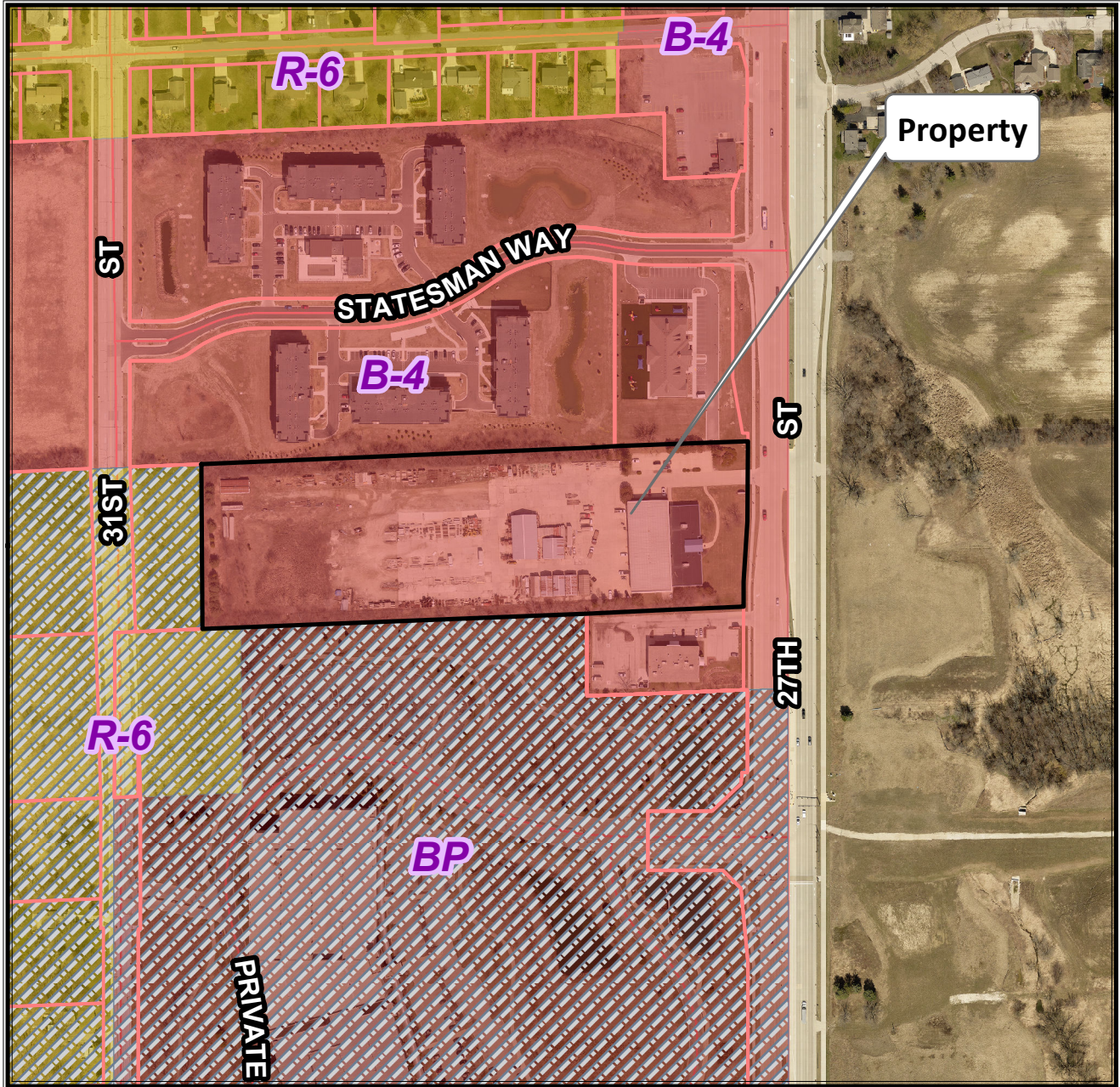
AYES _____ NOES _____ ABSENT _____

EXHIBIT A

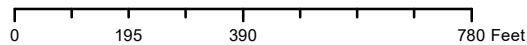
PLANS DATED OCTOBER 23, 2023

ATTACHED HERETO

7407 S. 27th Street
TKN: 761 9994 006



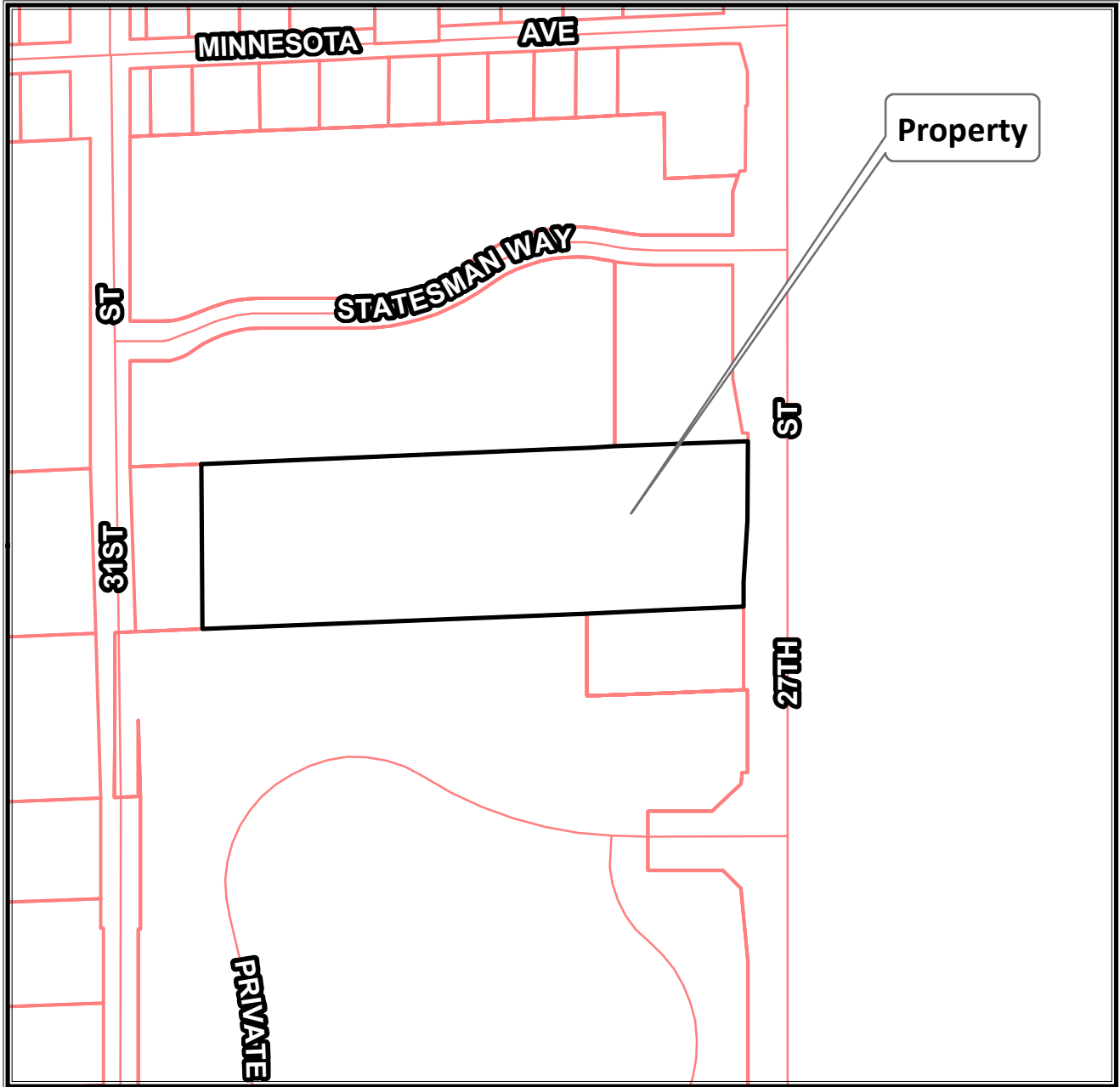
Planning Department
(414) 425-4024



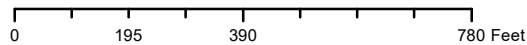
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



7407 S. 27th Street
TKN: 761 9994 006



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



CITY OF FRANKLIN

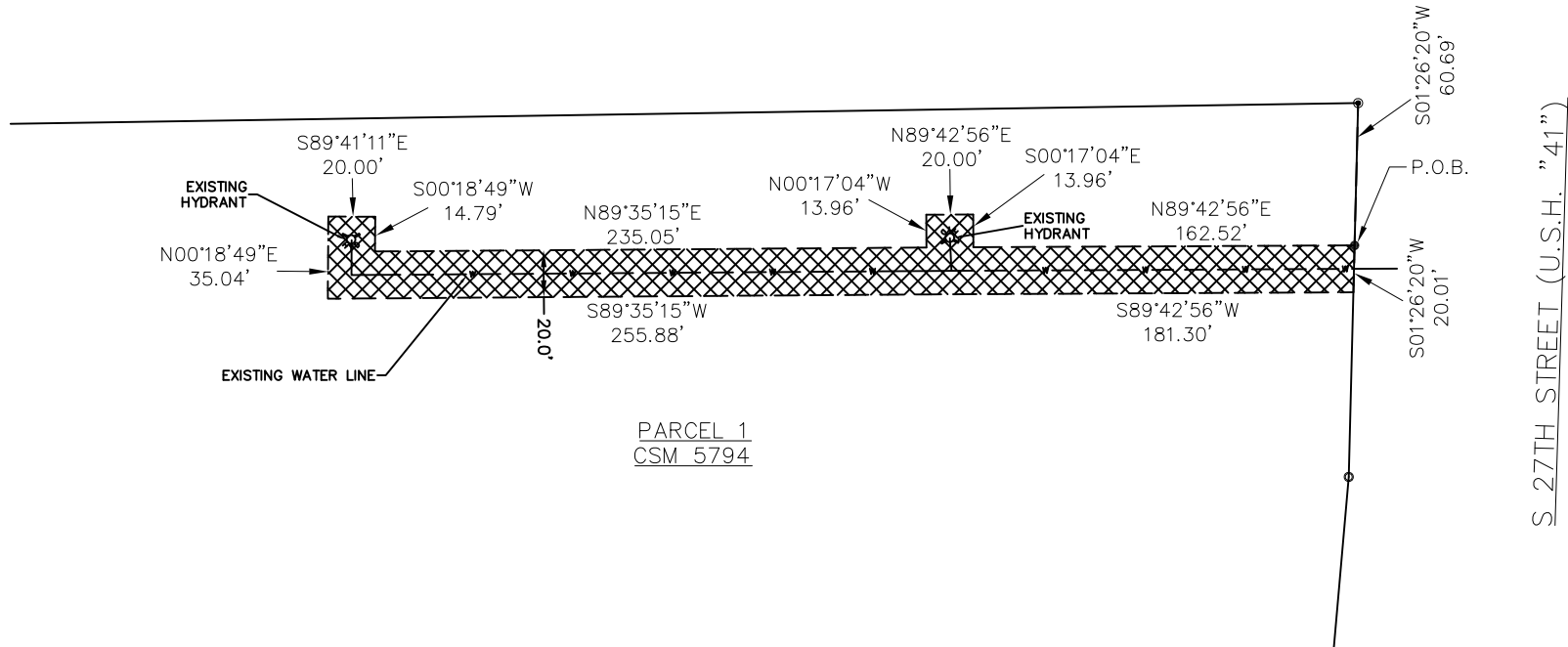
WATER MAIN EASEMENT



PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5794, RECORDED ON JANUARY 14, 1993 ON REEL 2948, IMAGE 745 TO 749 AS DOCUMENT NO. 6715343, BEING A DIVISION OF LANDS IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 5 NORTH, RANGE 21 EAST, EXCEPTING THEREFROM LANDS CONVEYED IN WARRANTY DEED RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 10387598, SAID LAND BEING IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

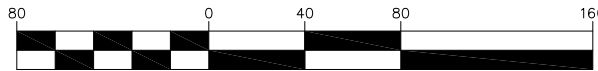
EASEMENT DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PARCEL 1 CSM 5794; THENCE S 01°26'20" W, 60.69 FEET TO THE POINT OF BEGINNING; THENCE S 01°26'20" W, 20.01 FEET; THENCE S 89°42'56" W, 181.30 FEET; THENCE S 89°35'15" W, 255.88 FEET; THENCE N 00°18'49" E, 35.04 FEET; THENCE S 89°41'11" E, 20.00 FEET; THENCE S 00°18'49" W, 14.79 FEET; THENCE N 89°35'15" E, 235.05 FEET; THENCE N 00°17'04" W, 13.96 FEET; THENCE N 89°42'56" E, 20.00 FEET; THENCE S 00°17'04" E, 13.96 FEET; THENCE N 89°42'56" E, 162.52 FEET TO THE POINT OF BEGINNING.



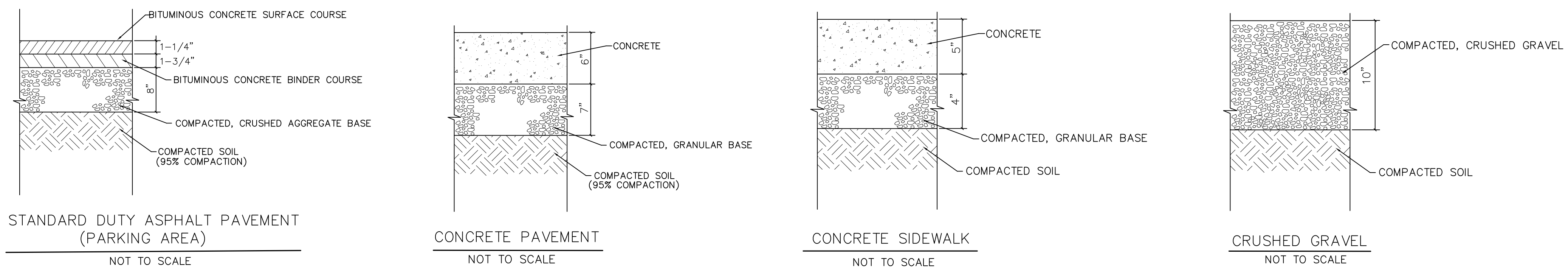
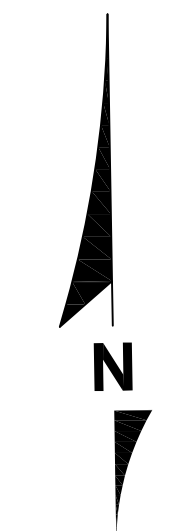
CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com

GRAPHIC SCALE



1 inch = 80 ft

CJE NO.: 2238R2
OCTOBER 23, 2023

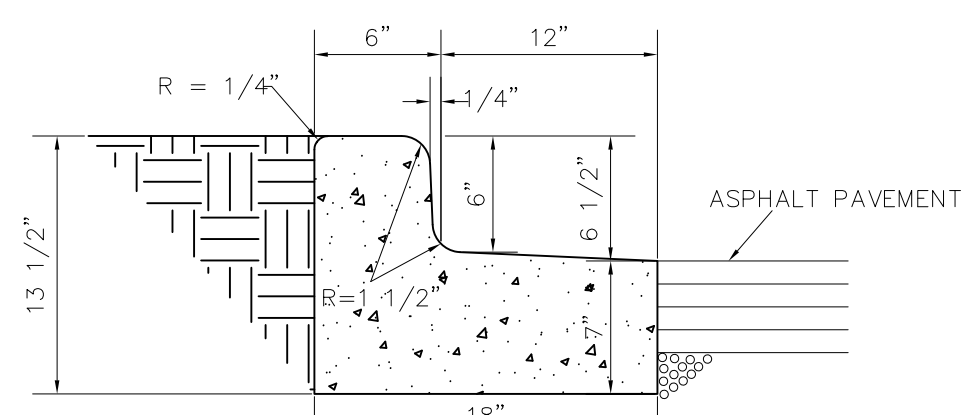
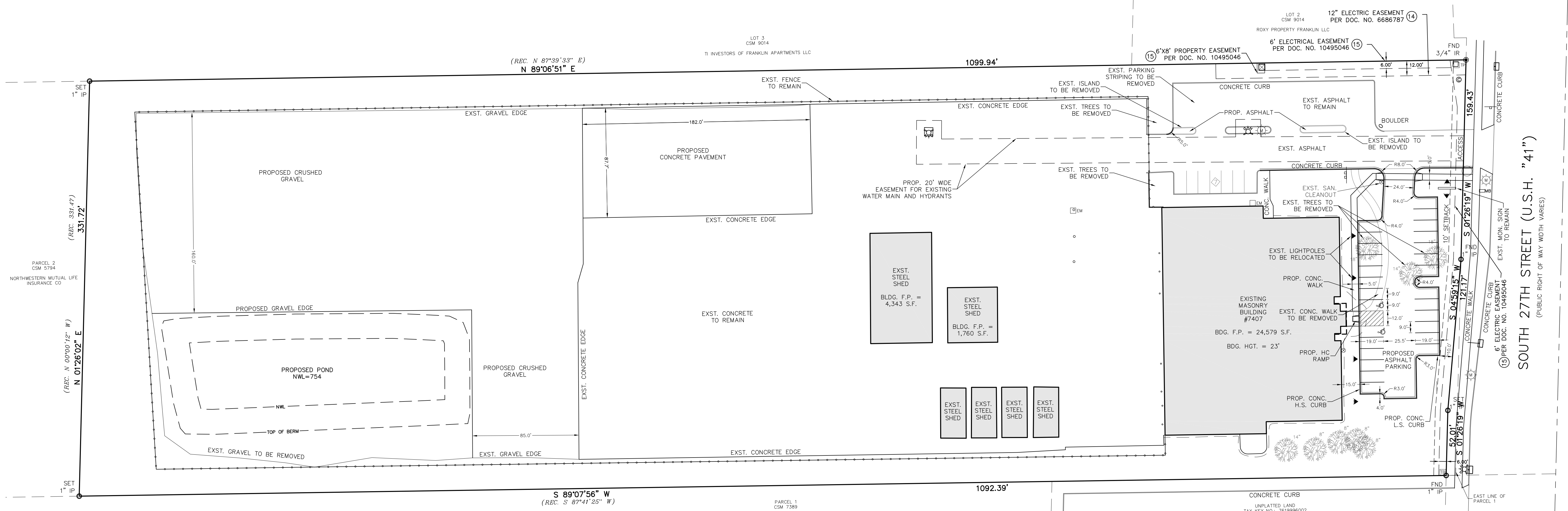


STANDARD DUTY ASPHALT PAVEMENT
 (PARKING AREA)
 NOT TO SCALE

CONCRETE PAVEMENT
 NOT TO SCALE

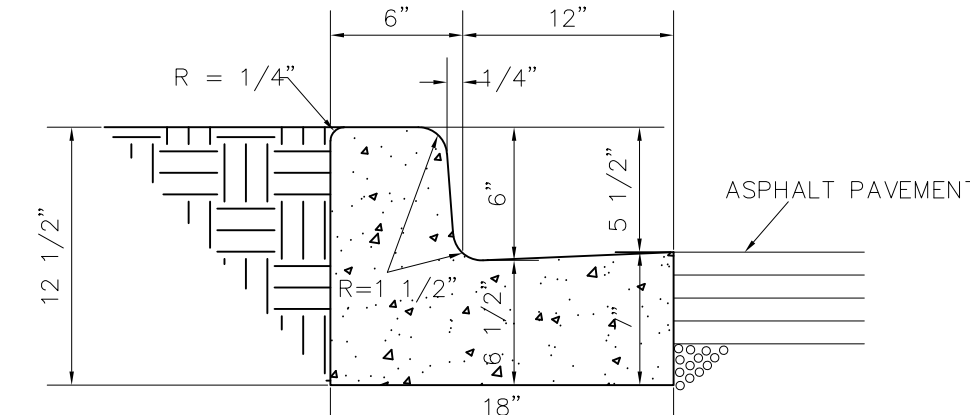
CONCRETE SIDEWALK
 NOT TO SCALE

CRUSHED GRAVEL
 NOT TO SCALE



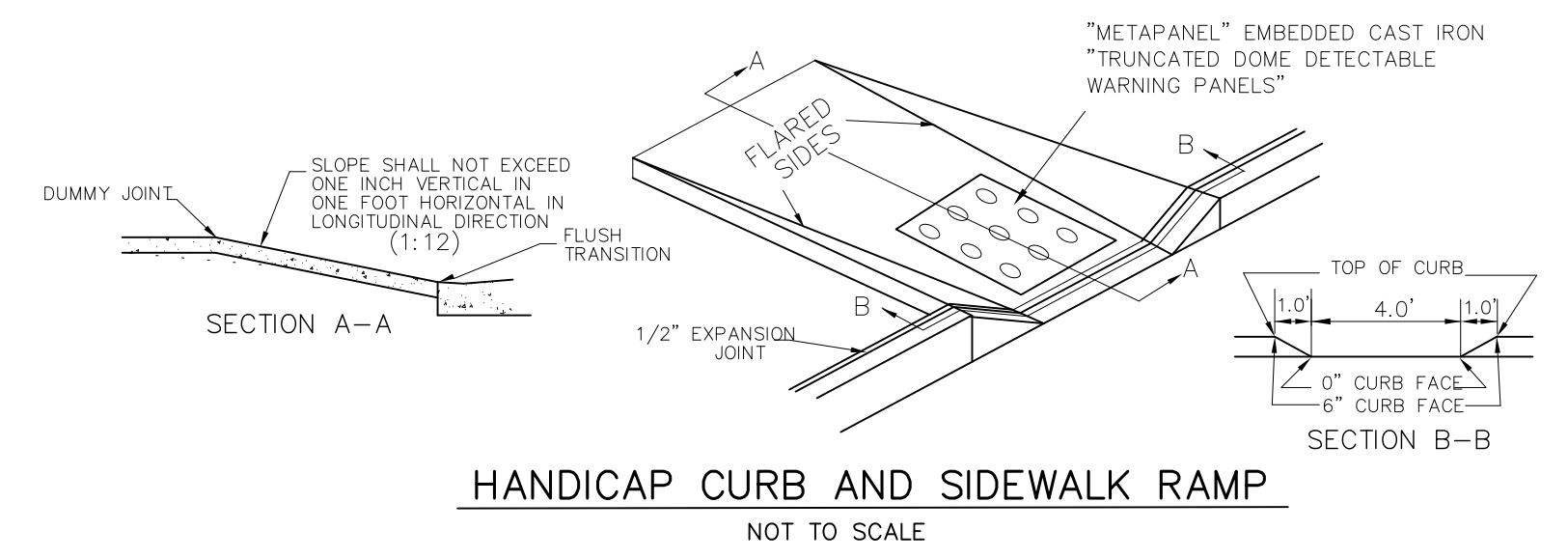
HIGH SIDE CONCRETE CURB (H.S. C&G) DETAIL
 NOT TO SCALE

NOTE: INSTALL WHERE THE DRAINAGE IS DIRECTED AWAY FROM THE CURB



LOW SIDE CONCRETE CURB (L.S. C&G) DETAIL
 NOT TO SCALE

NOTE: INSTALL WHERE THE DRAINAGE IS DIRECTED TOWARDS THE CURB



HANDICAP CURB AND SIDEWALK RAMP
 NOT TO SCALE

SITE AREAS

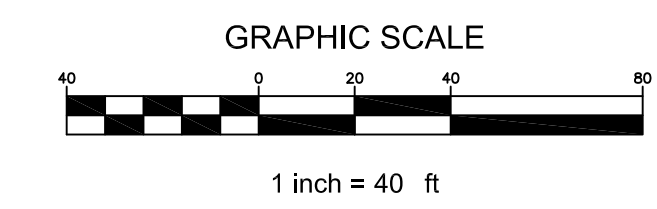
EXISTING GRAVEL = 113,144 S.F. (2.597 ACRES)
 EXISTING PAVEMENT = 121,611 S.F. (2.792 ACRES)
 EXISTING BUILDING = 33,933 S.F. (0.779 ACRES)
 EXISTING IMPERVIOUS = 268,688 S.F. (6.168 ACRES)
 EXISTING OPEN = 95,228 S.F. (2.186 ACRES)

PROPOSED GRAVEL = 67,919 S.F. (1.559 ACRES)
 PROPOSED PAVEMENT = 148,748 S.F. (3.415 ACRES)
 PROPOSED BUILDING = 33,933 S.F. (0.779 ACRES)
 PROPOSED IMPERVIOUS = 250,600 S.F. (5.753 ACRES)
 PROPOSED OPEN = 113,316 S.F. (2.601 ACRES)

TOTAL SITE AREA = 363,916 S.F. (8.354 ACRES)

NOTES:

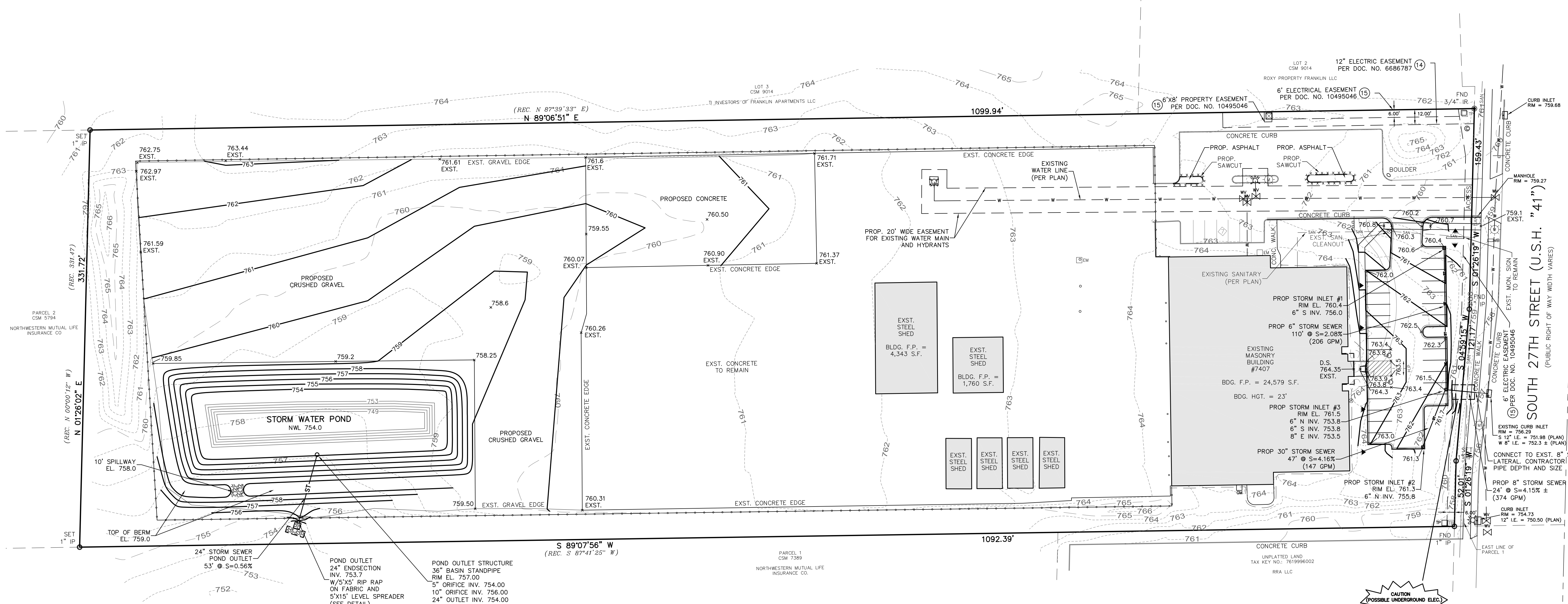
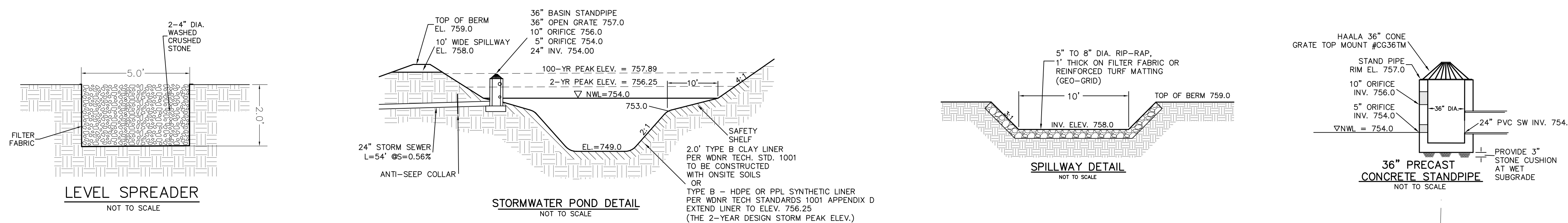
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
- DISTURBED AREA = 2.986 ACRES
- STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY.



MASTER HALCO
 7407 S. 27TH ST. FRANKLIN, WI

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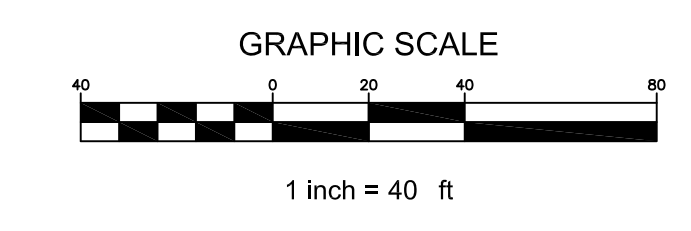


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LEGEND

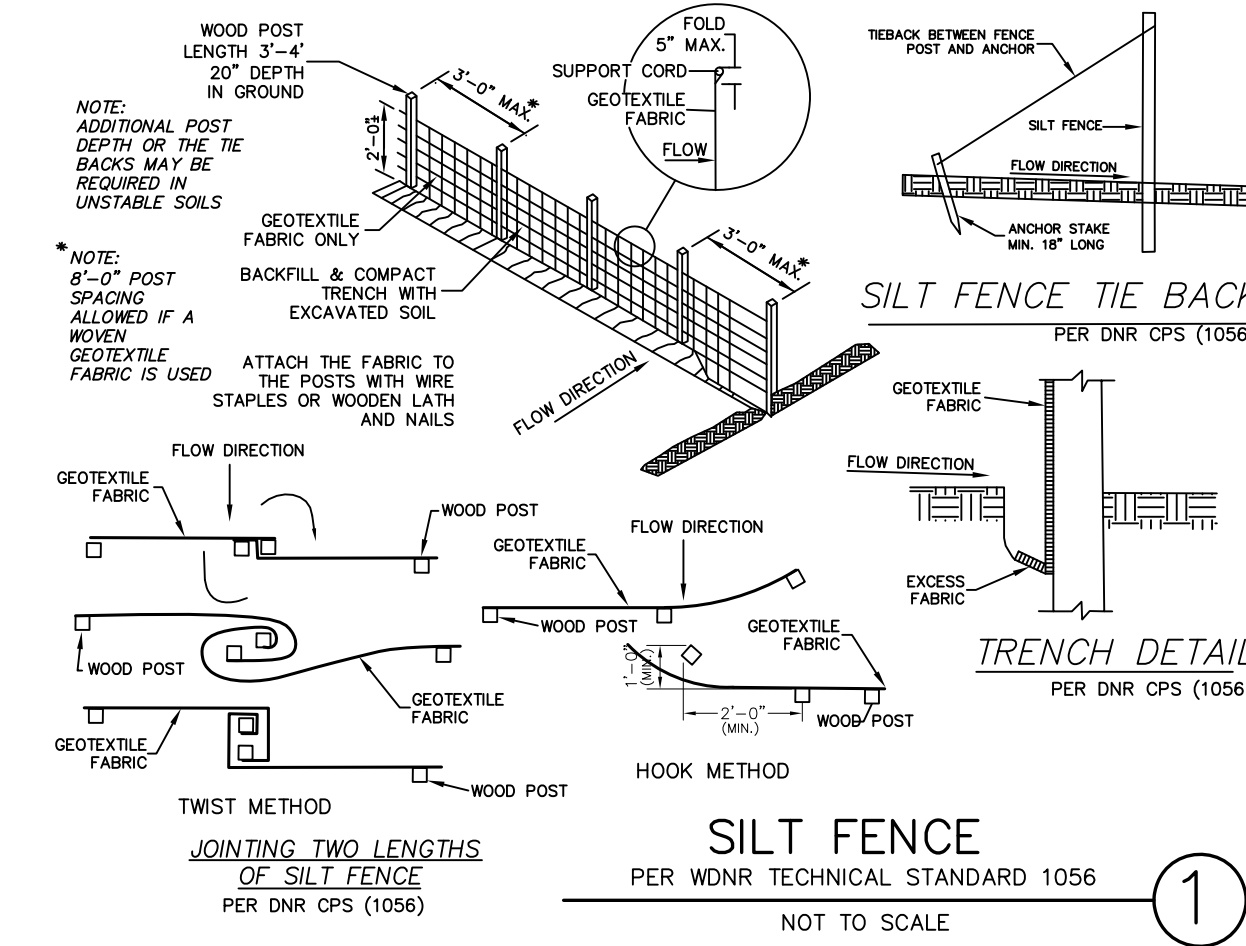
---	EXISTING CONTOUR
---	EXISTING FENCE
---	EXISTING SANITARY
---	EXISTING WATER
---	PROPOSED CONTOUR
x 761.5	PROPOSED ELEVATION
---	PROPOSED STORM SEWER

- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 - DISTURBED AREA = 2.986 ACRES
 - STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY.
 - UNLESS OTHERWISE LABELED ON THE PLAN, STORM SEWER PIPE SHALL BE PVC ASTM D3034 OR ADS HDPE.
 - THE CONTRACTOR SHALL VERIFY STORM SEWER CONNECTION PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 - ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8.4.3.4 AND PER FILE NO.4 COMPACTED SECTION (CLASS "B" BEDDING).
 - EXISTING FENCE OVER POND OUTLET SHALL BE REMOVED AND REPLACED ONCE OUTLET PIPE HAS BEEN INSTALLED.



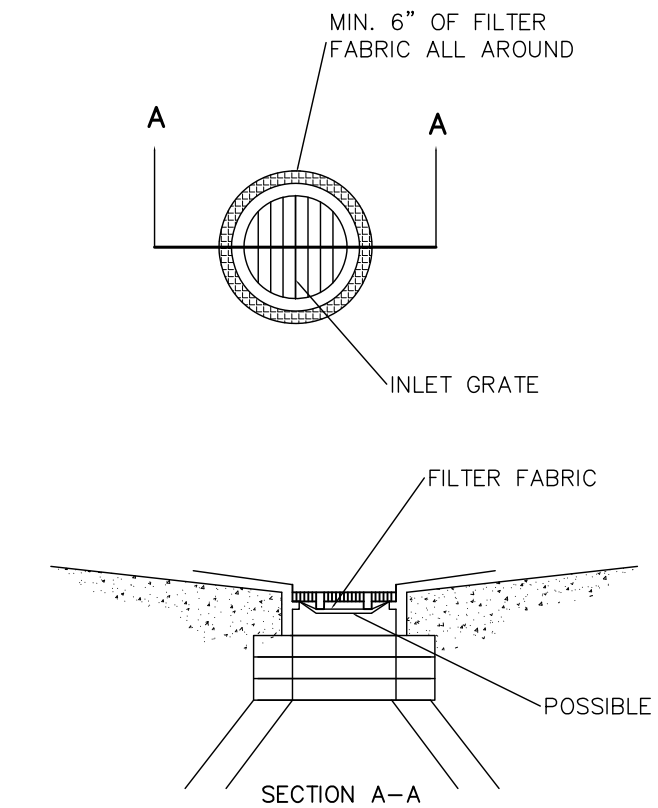
MASTER HALCO
 7407 S. 27TH ST. FRANKLIN, WI
SITE GRADING AND UTILITY PLAN C2.0

CJE NO.: 2238R2
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CONSTRUCTION SPECIFICATIONS
 PER DNR CPS (1056)

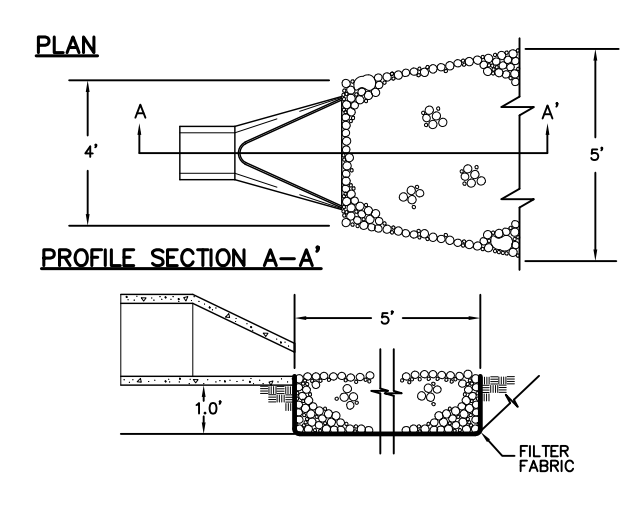
- CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
- LOCATE POSTS PER DNR CPS (1056)
- WHEN JOINTS ARE NECESSARY REFER, TO DNR CPS (1056)
- FILTER FABRIC TO BE OF NYLON, POLYESTER, POLYPROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB/LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
- THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 6" TRENCH
- THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
- POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.
- USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
- USE WISDOT APPROVED SILT FENCE



INLET GRATE SCREEN CONSTRUCTION SPECIFICATIONS

- REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
- FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - GRAB STRENGTH: 100LBS. (ASTM D-3786)
 - MULLEN BURST: 200 PSI (ASTM D-3786)
 - EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - WATER FLOW RATE OF 10 GAL./MIN./SQ.FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - ULTRA VIOLET RADIATION STABILITY OF 90% F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT.

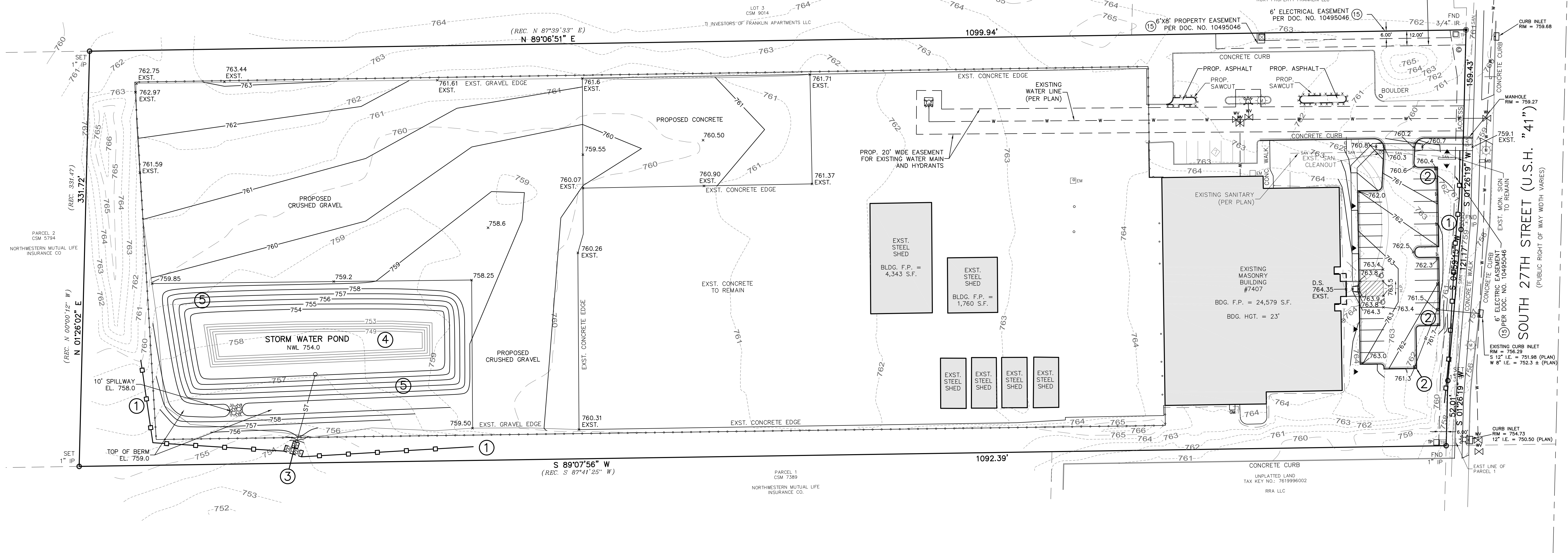
NOTE:
 INSTALL IN ALL STORM INLETS AND CATCH BASINS LOCATED WITHIN AND ADJACENT TO THE CONSTRUCTION AREA



CONSTRUCTION SPECIFICATIONS

- EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
- PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
- EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
- PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
- RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
- IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

OUTLET PROTECTION FOR ENDSECTION ③
 NOT TO SCALE



CONSTRUCTION SCHEDULE

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- INSTALL SILT FENCE.
- STRIP AND STOCKPILE SOIL FROM SEDIMENT BASIN COMPLETE WITH OUTLETS:
 - ROUGH GRADE AND OVER EXCAVATE BOTTOM OF BASIN.
 - INSTALL OUTLET STRUCTURE AND PIPES.
- STRIP AND STOCK PILE TOP SOIL. SURROUND TOP SOIL STOCK PILE WITH SILT FENCE AND TEMP. FENCING. LOCATION OF STOCK PILE TO BE DETERMINED BY CONTRACTOR.
- ROUGH GRADE SITE
- INSTALL PROPOSED UTILITIES.
- INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
- INSTALL OUTLET PROTECTION.
- FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 2ND RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
 DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131	95
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding

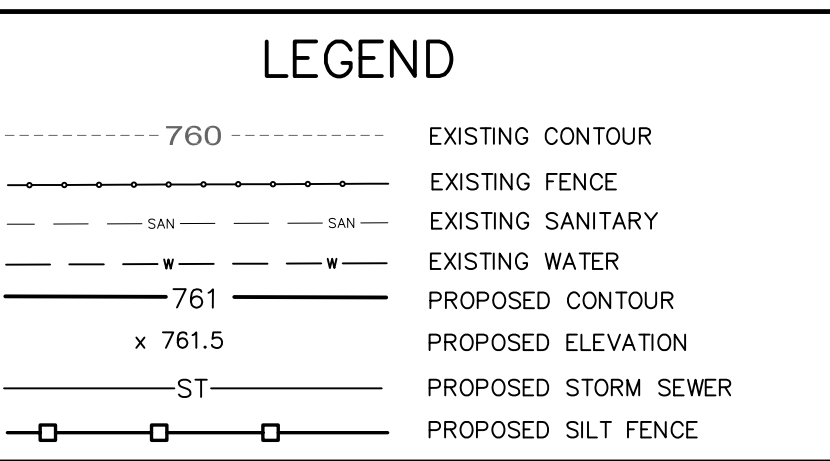
LAND APPLICATION OF ADDITIVES:
 DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICALSTANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

EROSION CONTROL PRACTICES SCHEDULE

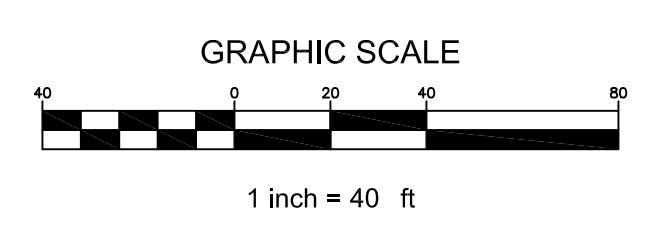
- SILT FENCE
- INLET PROTECTION
- OUTLET PROTECTION
- SEDIMENT BASIN
- EROSION MAT

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER WISDOT EROSION CONTROL PAL (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, OUTLET BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



NOTES:

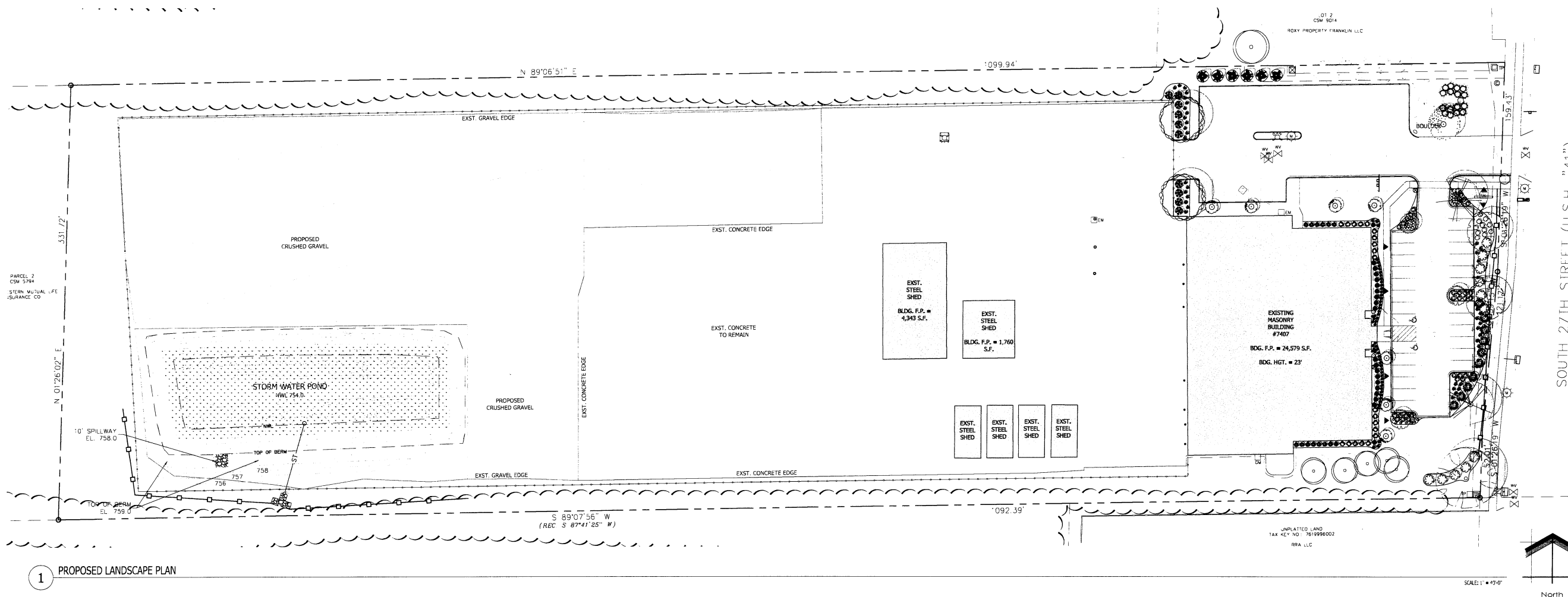
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- DISTURBED AREA = 2.986 ACRES
- STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY.
- ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF FRANKLIN STANDARDS AND WDNR CPS TECHNICAL STANDARDS.



CJE NO.: 2238R2
 OCTOBER 23, 2023

MASTER HALCO
 7407 S. 27TH ST. FRANKLIN, WI

EROSION CONTROL PLAN C3.0



1 PROPOSED LANDSCAPE PLAN

Project:

MASTER HALCO

7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
01/05/23		Plan Commission Re-Submittal
10/27/23		Revisions Based on Staff Comments

SITE INFORMATION

USDA PLANT HARDINESS ZONE	5b (-15 to -10 Degrees F)
LOT ZONING	
LOT AREA	363,916 SQ. FT. (8.35 Acres)
SITE BUILDING AREA	22,245 SQ. FT.
TOTAL IMPERVIOUS	250,400 SQ. FT. (5.75 Acres)
TOTAL GREENSPACE	113,316 SQ. FT. (2.60 Acres)
SITE LANDSCAPE PERCENTAGE	31.1%
TOTAL PARKING STALLS	35 STALLS

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 524-9592 www.diggershotline.com

811
Know what's below.
Call before you dig.

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVER-HEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE CITY OF FRANKLIN LANDSCAPE REQUIREMENTS SET FORTH IN SECTION 15-5.0302 MINIMUM LANDSCAPE STANDARDS 15-5.0304 Minimum Landscaping Standards for Off-Street Parking Areas and Lots.

Required Trees for Parking Lot Perimeter and Interior Applications:

- Minimum Landscaping Requirements for Residential and Nonresidential Off-Street Parking Areas and Lots.
- Shade or decorative trees are required within the vehicular use area at a ratio of one tree for every 10 parking spaces or fraction thereof
- Interior Landscaping for Off-Street Parking Areas.

On-site perimeter greenbelts at least 10 feet in width shall be installed along any street side and along all interior lot lines when parking is located on that side of any building on the site.

15-5.0353 Landscape and Site Design General Standards.

Landscaping, On-site landscaping shall be provided per the landscaping requirements found in § 15-5.0302. In addition, the project shall provide:

- Extensive building foundation landscaping for all building frontages facing public streets, parking lots, or residential districts.

Commercial, Office, Institutional and Similar Uses

Type	Planting Size	Minimum Quantity
Canopy/Shade Tree	2.5 inch caliper	1 per 5 provided parking spaces
Evergreens	4 feet tall	1 per 5 provided parking spaces
Decorative Trees	1.5 inch caliper	1 per 5 provided parking spaces
Shrubs	3 feet tall	1 per 5 provided parking spaces

Type	Planting Size	Minimum Quantity
Canopy/Shade Tree	2.5 inch caliper	1 per 10 provided parking spaces
Evergreens	4 feet tall	1 per 10 provided parking spaces
Decorative Trees	1.5 inch caliper	1 per 10 provided parking spaces
Shrubs	3 feet tall	1 per 10 provided parking spaces

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND SIGN OFF WITH THE CITY OF FRANKLIN. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE CITY OF FRANKLIN.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE MASTER HALCO PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED MASTER HALCO PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.4 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. "TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8" - A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.4 FOR FURTHER INFORMATION. PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5 - 10 - 5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.4 FOR FURTHER INFORMATION.

- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL. AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.4 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.4 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.4 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER). APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% NEWPORT BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Receptor Perennial Ryegrass
10% Fiesta 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO "TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
• NECESSARY IRRIGATION (IF REQUIRED)
• INTEGRATED PEST MANAGEMENT,
• PROPER FERTILIZATION
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
• REPLACEMENT OF LOST VEGETATION AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
• WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ABRORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

Sheet Title:

PROPOSED LANDSCAPE PLAN,
GENERAL NOTES,
AND PLANT MATERIAL TABLE

Date of Drawing: 10/27/23
Scale: 1" = 40'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

LSP1.1

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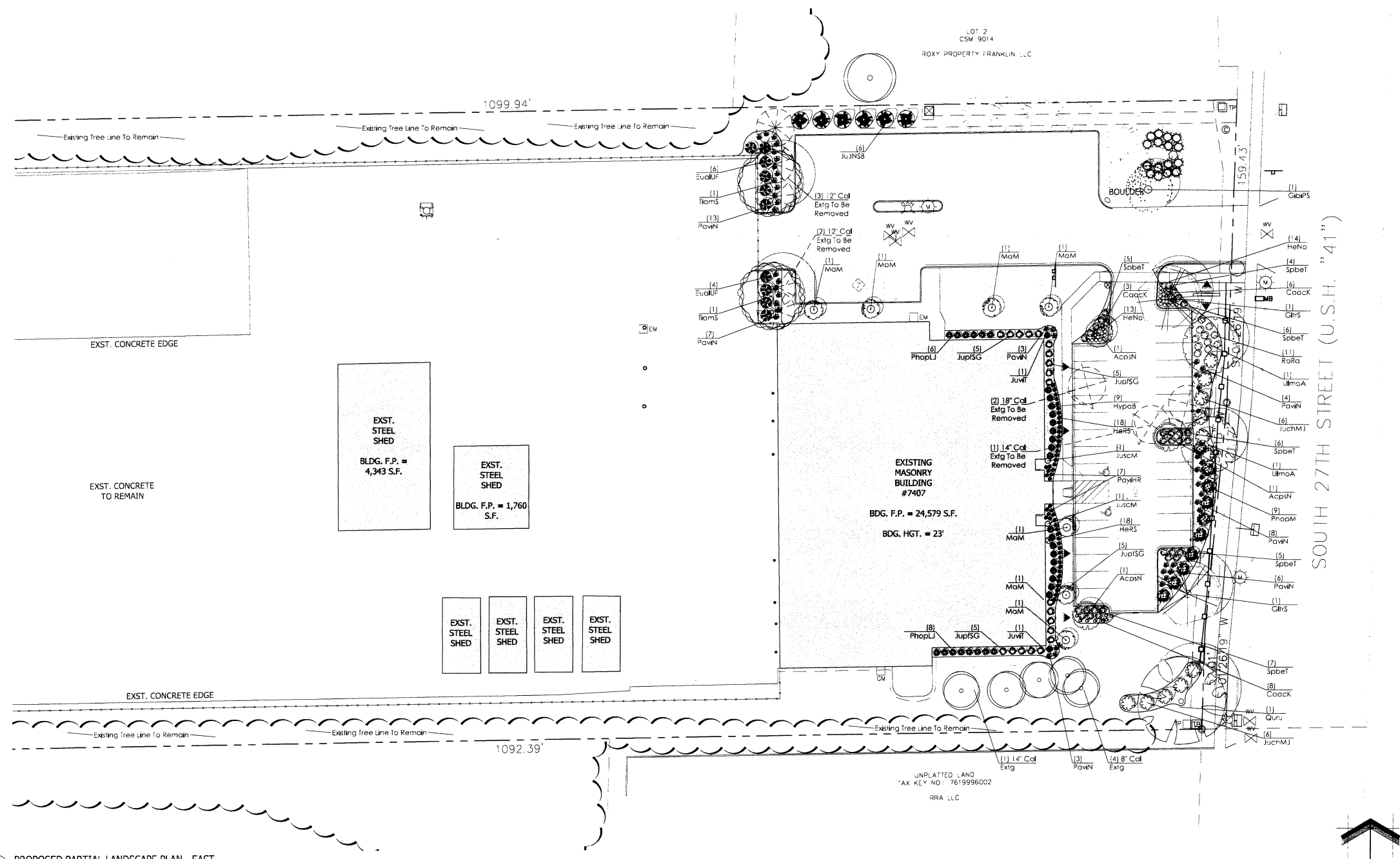
Project:

MASTER HALCO

7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
01/05/23		Plan Commission Re-Submittal
10/27/23		Revisions Based on Staff Comments



1 PROPOSED PARTIAL LANDSCAPE PLAN - EAST

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	AcpsN	☉	Acer pseudobaldianum 'Northwind'	Northwind Korean Maple	1 1/2' Cal - B&B	1
1	GtPS	☉	Ginkgo biloba Princeton Sentry	Princeton Sentry Maidenhair Tree	2 1/2' Cal - B&B	1, 7
2	GtRS	☉	Gleditsia triacanthos f. inermis 'Skygate'	Skygate Thornless Honeylocust	2 1/2' Cal - B&B	1
7	MOM	☉	Malus 'Mortiee'	Mortiee Flowering Crab	1 1/2' Cal - B&B	1
1	Quru	☉	Quercus rubra	Northern Red oak	2 1/2' Cal - B&B	1
2	TamS	☉	Tilia americana 'Sentry'	Sentry Linden	2 1/2' Cal - B&B	1
2	UlmA	☉	Ulmus 'Morton Accolade'	Accolade Elm	2 1/2' Cal - B&B	1
4	Exig	☉	Existing to Remain	Existing 8" Cal		2
1	Exig	☉	Existing to Remain	Existing to Remain	Existing 14" Cal	2
1	Exig	☉	Existing to be Removed	Existing to be Removed	Exig 14" Cal Demo	3
2	Exig	☉	Existing to be Removed	Existing to be Removed	Exig 18" Cal Demo	3

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
6	JuINSB	☉	Juniperus 'N. Select' Blue	Star Power Juniper	5' - 6" - B&B	4
2	Juvit	☉	Juniperus virginiana taylor	Taylor Redcedar	5' - 6" - B&B	4
6	Pini	☉	Pinus nigra	Austrian pine	Existing	2
5	Pini	☉	Pinus nigra	Austrian pine	Exig 12" Cal Demo	3

- Comments:
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and visibility for both pedestrians and motorists.
 - Remove tree in its entirety and grind stumps to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil and sow turf grass seed as required.
 - Evenly shaped upright tree/shrub with full branching to the ground.
 - Full, well-rooted plant, evenly shaped.
 - Full, well-rooted plant.
 - Made only.

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	EuaUF	☉	Euryonymus alatus 'Unforgettable Fire'	Unforgettable Fire Burning Bush	30" - 36" - B&B	5
18	HypaB	☉	Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	18" - Cont.	5
14	PhopLJ	☉	Physocarpus opulifolius 'Hoop21'	Little Joker Ninebark	18" - 24" - Cont.	5
10	PhopM	☉	Physocarpus opulifolius 'Monlo'	Diabolo Ninebark	18" - 24" - Cont.	5
11	RoRa	☉	Rosa x 'Rozita'	Double Knock Out Rose	18" - 24" - Cont.	5
29	SobeT	☉	Saroea betulifolia 'Tor'	Tor Birchleaf Sorrea	18" - Cont.	5
1	EudL	☉	Euryonymus alata	Winged euryonymus (Burning Bush)	Existing	2

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
11	JucnMJ	☉	Juniperus chinensis 'Mint Julep'	Mint Julep Juniper	18" - 24" - B&B	5
2	JucnM	☉	Juniperus scopulorum 'Medora'	Medora Juniper	3' - 4' - B&B	4
2	Juvit	☉	Juniperus virginiana taylor	Taylor Redcedar	5' - 6" - B&B	5
20	JupISG	☉	Juniperus x plectrantha 'MonSan'	Sea of Gold Juniper	18" - 24" - Cont.	5
17	Exig	☉	Existing to Remain	Existing to Remain	Existing	2

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
20	Coack	☉	Calamagrostis acutiflora 'Karl Forester'	Karl Forester Feather Reed Grass	1-Gal - Cont.	6
14	PawHR	☉	Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont.	6
44	PawN	☉	Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont.	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
27	HeNo	☉	Hemerocallis x 'Nosteratu'	Trojanaker Nosteratu Daylily	4 1/2" pot	6
36	HeRS	☉	Hemerocallis x Ruby Spider	Ruby Spider Daylily	4 1/2" pot	6

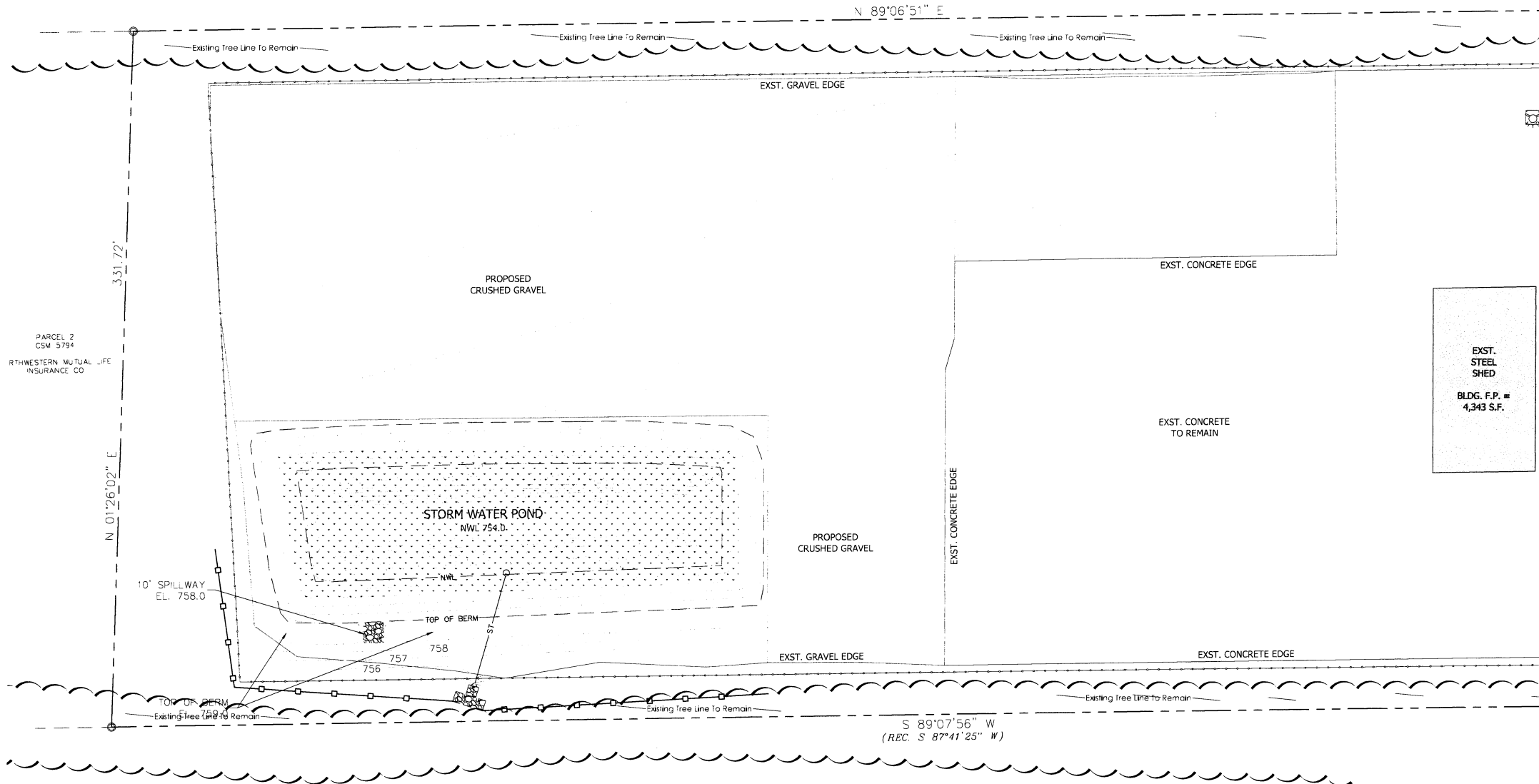
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Sheet Title:
PROPOSED LANDSCAPE PLAN,
GENERAL NOTES,
AND PLANT MATERIAL TABLE

Date of Drawing: 10/27/23
Scale: 1" = 30'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

LSP1.2

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1 PROPOSED PARTIAL LANDSCAPE PLAN - WEST

Quantity	Symbol	Supplier	Type
Upper Third of the Bowl - Economy Prairie Seed Mix Storm Water Management Pond area from Cardno			
OVERALL 10,200 sq. ft. VERIFY	[Symbol]	Cardno	Economy Prairie Seed Mix - mixture contains 6 of 7 native permanent grass/ sedge species and 10 of 13 native forb species. Apply at 40-95 PLS pounds per acre. Refer to cut sheets for mix specifics and installation instructions.
Lower Two-Thirds of the Bowl - Stormwater Prairie Seed Mix @ Storm Water Management Pond area from Cardno			
14,800 sq. ft. VERIFY	[Symbol]	Cardno	Stormwater Prairie Seed Mix - mixture contains 10 of 12 native permanent grass/ sedge species and 12 of 16 native forb species. Refer to cut sheets for mix specifics and installation instructions.

Project:

MASTER HALCO

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Drawn By: MCD
Job Number: L22-079
Sheet Number:

LSP1.3

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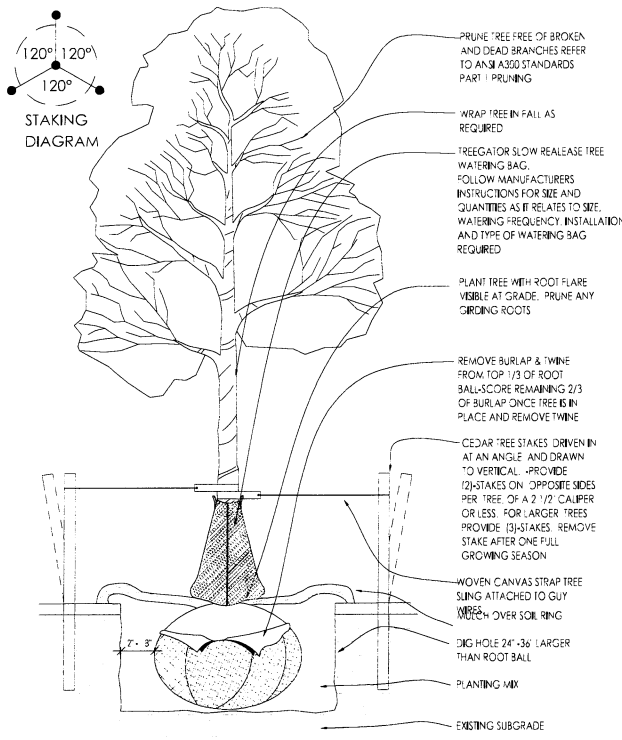
Sheet Title:

PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

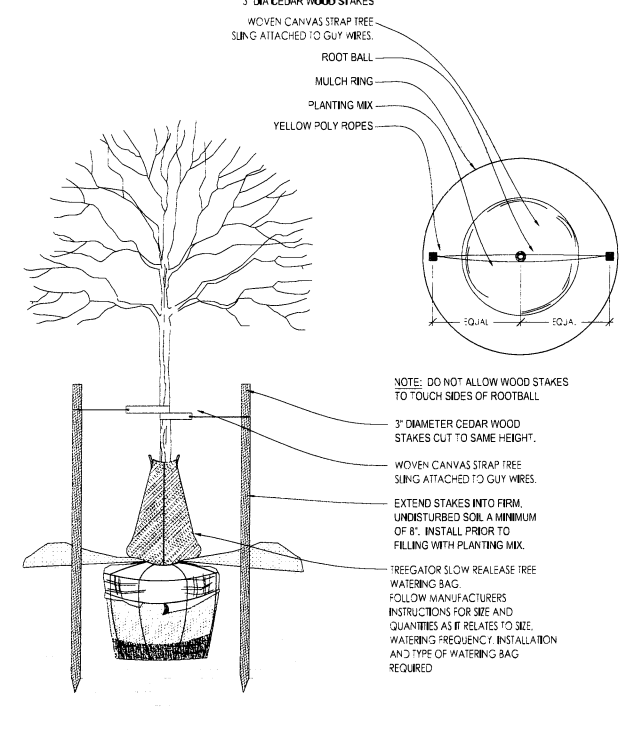
Date of Drawing: 10/27/23
Scale: As Noted
Drawn By: MCD
Job Number: L22-079
Sheet Number:

LSP1.4

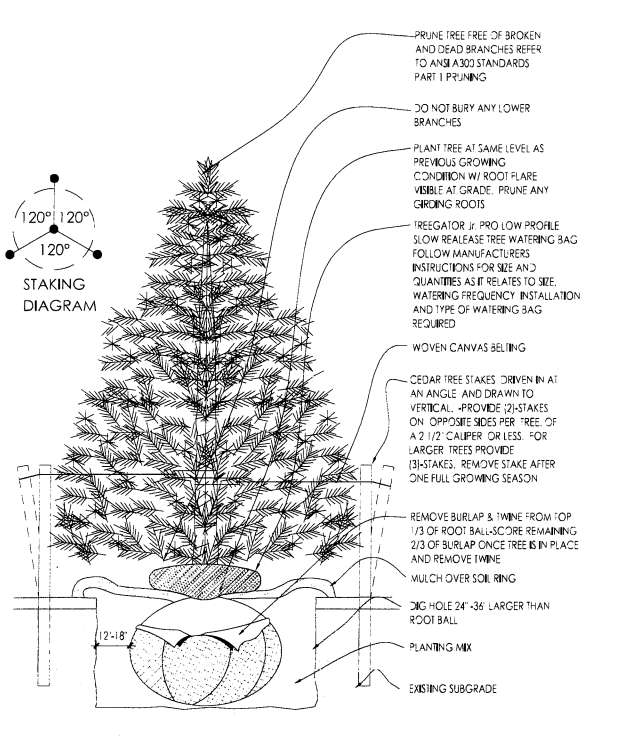
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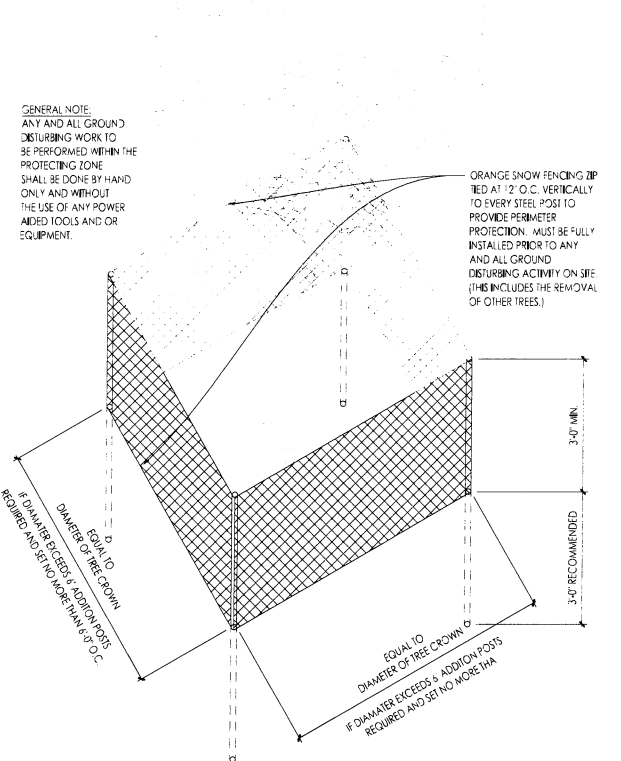
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



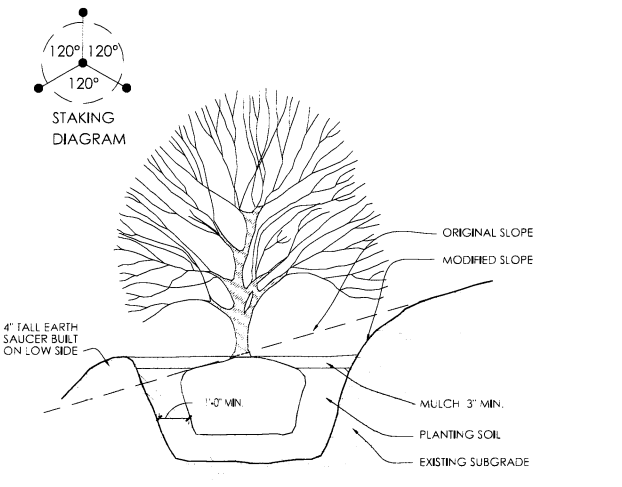
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



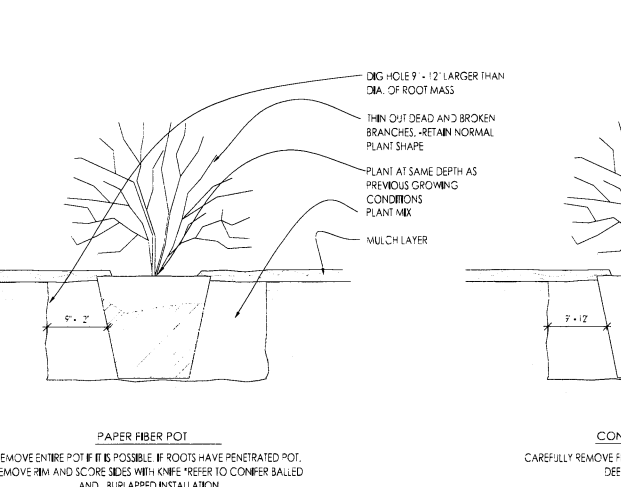
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



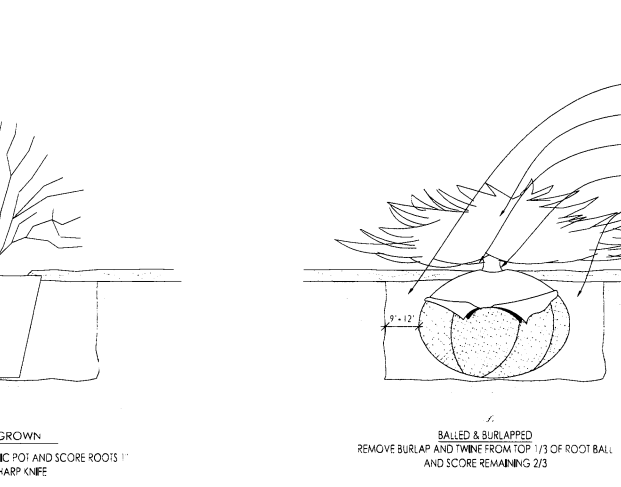
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



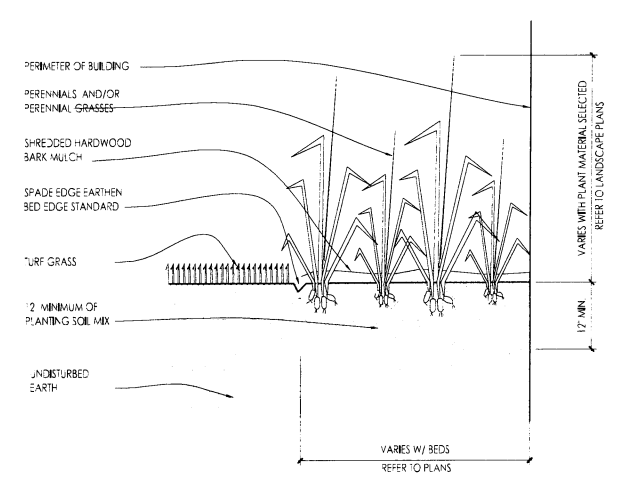
5 SLOPE PLANTING DETAIL SCALE: NONE
REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING



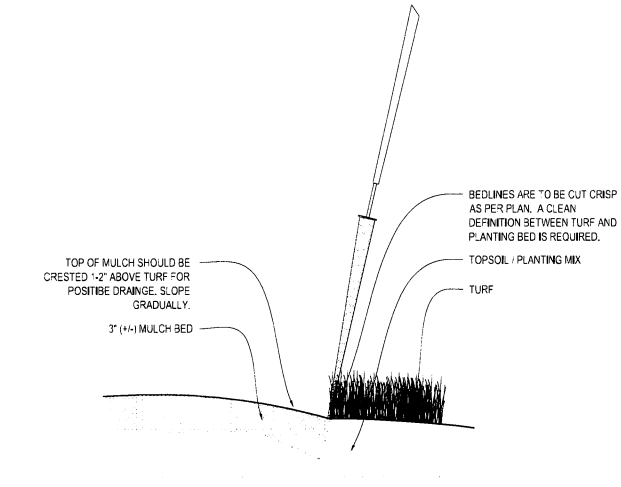
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



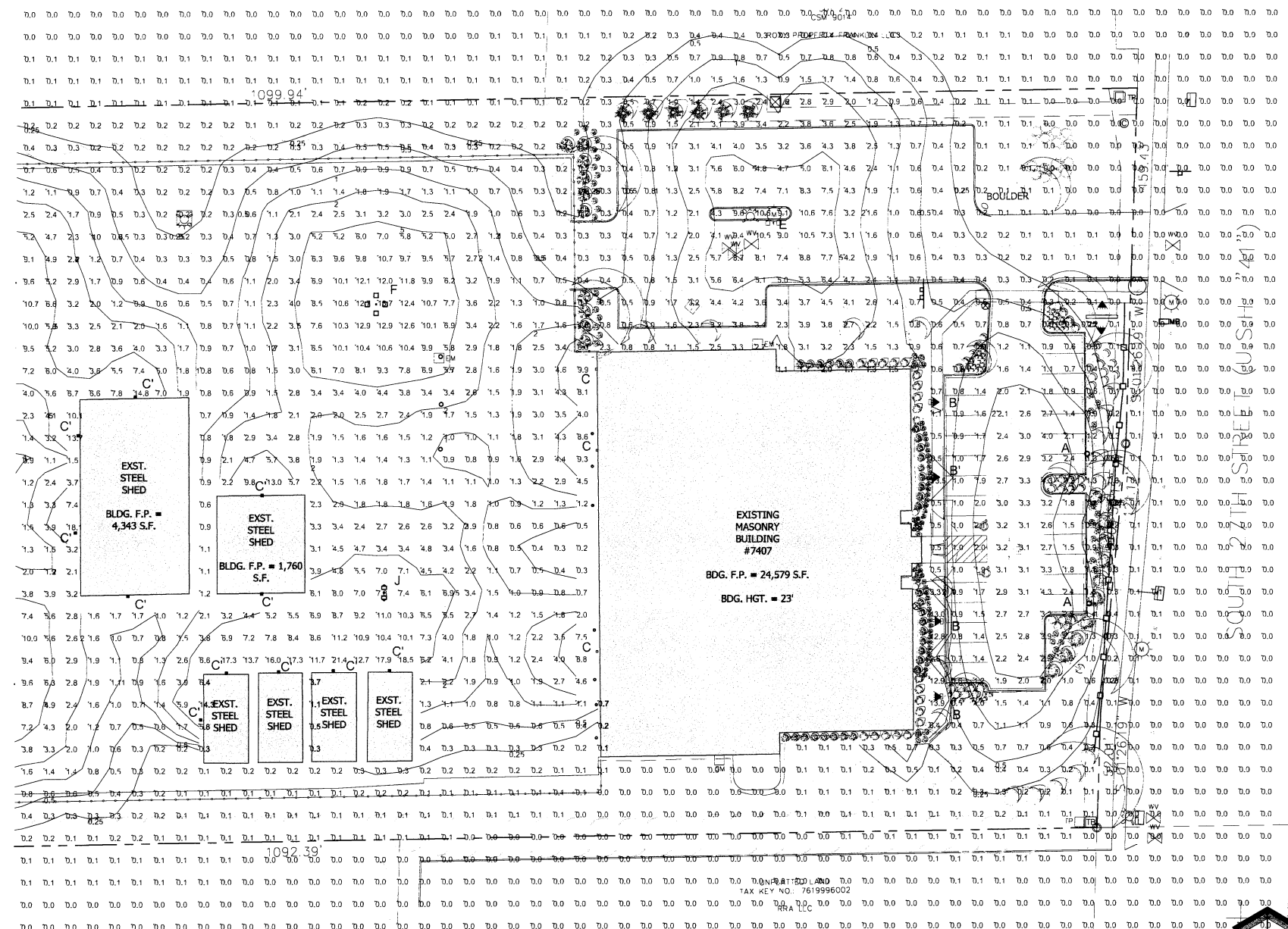
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - EAST

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	A	2	OSQ-A-xxx-4ME-U-40K-ULxxxxx w/OSQ-BLSMF CONFIGURED	Creo OSQ Series Area Luminaire Type II Medium w/ Backlight Shield, U Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire Type III Medium w/ Backlight Shield, U Input Power Designator, 4000K	MDA	OSQ-A-xxx-4ME-U-40K-ULxxxxx_PL07 690-001A-IES	Absolite	1.00	214.51
□	B	2	PR640	EXISTING FLOOD OPTIC	EXISTING HORIZONTAL POSITION FLOOD	PR640-250.ies	40000	1.00	450
□	C	3	LAC417SBL	16' x 9' AREA WALL PACK W/BACK LT. SHIELD	EXISTING BUILDING MOUNTED WALL PACK FLOOD	LAC417SBL.ies	14000	1.00	185
□	E	1	VPR694	22' VERTICAL PARKING/ROADWAY TYPE IV	EXISTING PARKING/ROADWAY HORIZONTAL POSITION FLOOD	VPR694.ies	44000	1.00	970

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	UG	CV	Avg/Max
Calc Zone #6	+	2.1 fc	21.4 fc	0.0 fc	N/A	N/A	-1.0	2.2	0.0:1

PHOTOMETRIC PLAN GENERAL NOTES

- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
- THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
- ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
- VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

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Sheet Title:
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 10/27/23
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

PHO1.1

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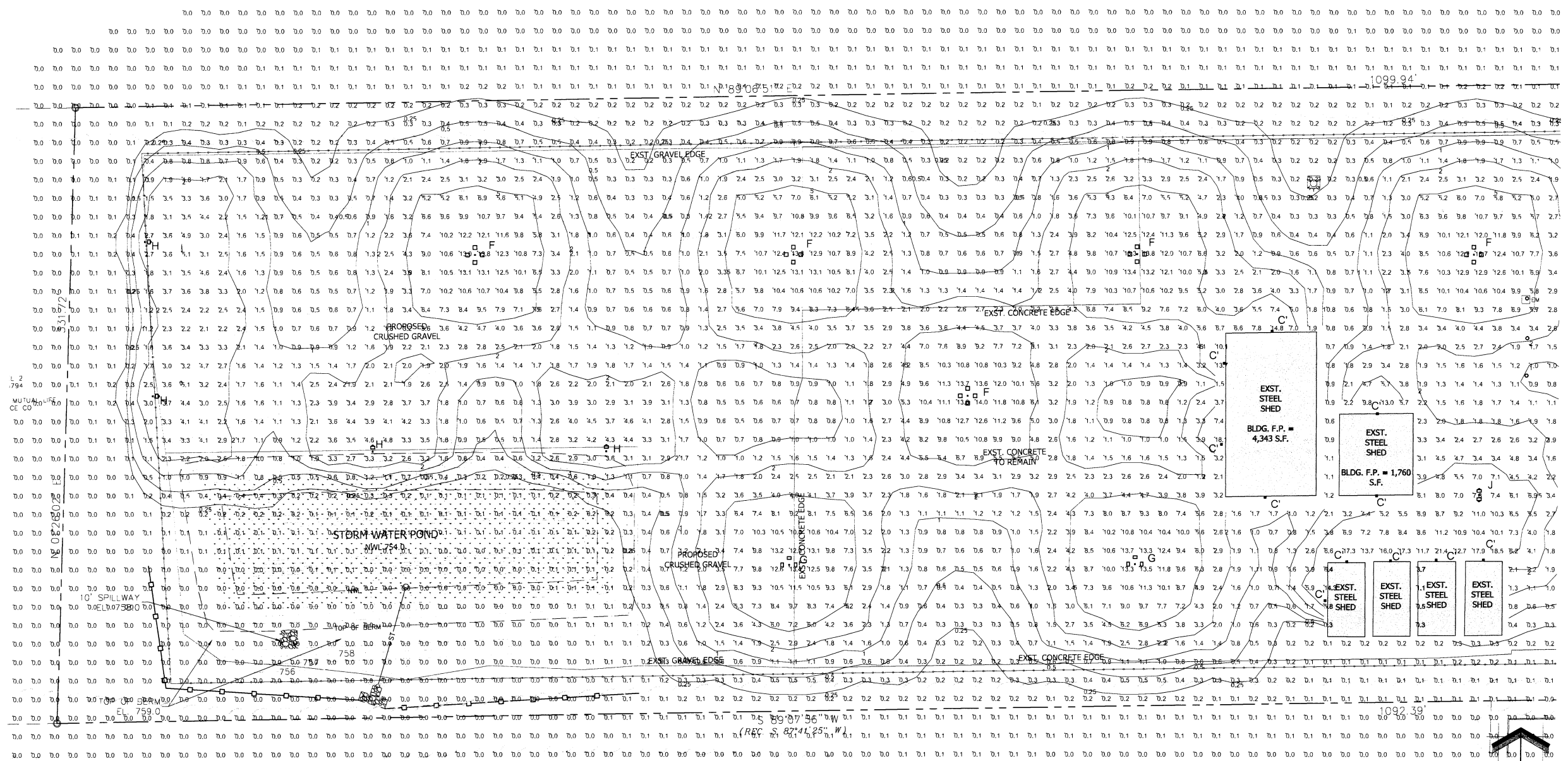
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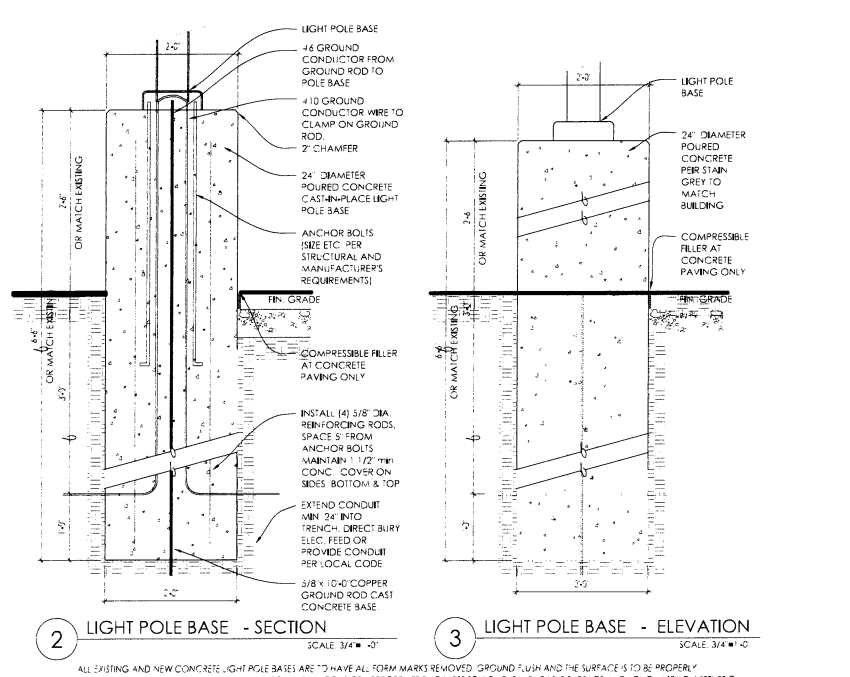
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1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - WEST



2 LIGHT POLE BASE - SECTION

3 LIGHT POLE BASE - ELEVATION

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
F		5	OSQ-A-xx-4ME-K-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium Input Power Designator, 4000K CONFIGURED FROM OSQ-A-xx-4ME-B-30K-ULxxxxx	CONFIGURED FROM Eight Cree MDA LEDs	OSQ-A-XX-4ME-T-40K-ULXXXXX_CON FIGURED.ies	Absolute	1,000	520
G		2	OSQ-A-xx-4ME-T-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium Distribution, B Input Power Designator, 3000K	CONFIGURED FROM MDA	OSQ-A-XX-4ME-T-40K-ULXXXXX_CON FIGURED.ies	Absolute	1,000	498
H		4	OSQ-A-xx-4ME-T-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 4000K	CONFIGURED FROM MDA	OSQ-A-XX-4ME-T-40K-ULXXXXX_W_OSQ-BLSLF_CONFI GURED.ies	Absolute	1,000	166
J		1	OSQ-A-xx-4ME-T-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 4000K	CONFIGURED FROM MDA	OSQ-A-XX-4ME-T-40K-ULXXXXX_W_OSQ_CONFI GURED.ies	Absolute	1,000	332

LUMINAIRE NOTES

- TEXTURE 'A' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING. FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'E' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (TWIN HEAD AND TENON) IS AN EXISTING POLE LOCATION. SHOWN FOR REFERENCE ONLY.
- TEXTURE 'F' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'G' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'H' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING. FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'I' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (TWIN HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING. FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) FINISH TO MATCH EXISTING w/ OPTIONAL P-TOCELL CONTROL.
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND-TROWELED MASONRY FINISH COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG-LASTING AESTHETIC.
- ALL NEW PROPOSED LIGHT POLES SHALL BE LOCATED 30" FROM BACK OF CURB TO THE EDGE OF THE REINFORCED LIGHT POLE BASE (UNLESS NOTED OTHERWISE).
- INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SERVICE LIGHTING CONTROL AND WIRING.
- CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
- PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A SILVER FINISH w/ OPTIONAL PHOTOCELL CONTROL.
- ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS. FOR PURPOSES OF CALCULATING THE LIGHTING AND PHOTO-METRIC EQUIP. ALL BUILDING MOUNTED LIGHTS WERE PLACED AT 22'-0" ABOVE FINISHED FLOOR ELEVATION.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INDIRECT LIGHTING COMPONENTS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINANCE SOCIETY BEST PRACTICES. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, CLEARANCE IN LAMP SPACES AND OTHER FACTORS THAT MAY CAUSE CHANGES IN ELECTRICAL VOLTAGE, TO BRANCHED LAMP SPACES AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

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Sheet Title:
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 10/27/23
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

PHO1.2

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Project:

MASTER HALCO

7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
01/05/23		Plan Commission Re-Submittal
10/27/23		Revisions Based on Staff Comments

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Sheet Title:

PROPOSED LIGHT FIXTURES

Date of Drawing: 10/27/23

Scale: NONE

Drawn By: MCD

Job Number: L22-079

Sheet Number:

PHO1.3

050" LED Area/Flood Luminaire - Medium

Photometry

Beam Spread (mm)	Beam Spread (ft)	Beam Spread (in)	Beam Spread (in)
150	1.1	28	28
300	2.2	56	56
450	3.3	84	84

Beam Spread (mm)	Beam Spread (ft)	Beam Spread (in)	Beam Spread (in)
150	1.1	28	28
300	2.2	56	56
450	3.3	84	84

Beam Spread (mm)	Beam Spread (ft)	Beam Spread (in)	Beam Spread (in)
150	1.1	28	28
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10" Lighting Wire Mounting 1 (800) 236-6800 | (262) 564-5415
Canada: www.cree.com/canada 1 (800) 475-1234 | (905) 890-7507

050" LED Area/Flood Luminaire - Medium

Photometry

Beam Spread (mm)	Beam Spread (ft)	Beam Spread (in)	Beam Spread (in)
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10" Lighting Wire Mounting 1 (800) 236-6800 | (262) 564-5415
Canada: www.cree.com/canada 1 (800) 475-1234 | (905) 890-7507

OSQ Series OSQ" LED Area/Flood Luminaire - Medium

Product Description

Performance Summary
Nominal Power: Precision Quarry (PQR) 100W
Nominal Power: Precision Quarry (PQR) 150W
Nominal Power: Precision Quarry (PQR) 200W
Nominal Power: Precision Quarry (PQR) 250W
Nominal Power: Precision Quarry (PQR) 300W
Nominal Power: Precision Quarry (PQR) 350W
Nominal Power: Precision Quarry (PQR) 400W
Nominal Power: Precision Quarry (PQR) 450W
Nominal Power: Precision Quarry (PQR) 500W

Accessories
Precision Quarry (PQR) 100W
Precision Quarry (PQR) 150W
Precision Quarry (PQR) 200W
Precision Quarry (PQR) 250W
Precision Quarry (PQR) 300W
Precision Quarry (PQR) 350W
Precision Quarry (PQR) 400W
Precision Quarry (PQR) 450W
Precision Quarry (PQR) 500W

10" Lighting Wire Mounting 1 (800) 236-6800 | (262) 564-5415
Canada: www.cree.com/canada 1 (800) 475-1234 | (905) 890-7507

050" LED Area/Flood Luminaire - Medium

Product Specifications

Construction & Materials

- Die cast aluminum housing with black powder coat finish.
- Polycarbonate lens with anti-glare treatment.
- Mounting holes for use with various mounting systems.
- Dimensions: 5.1" H x 5.1" W x 5.1" D.
- Weight: 1.5 lbs.

Electrical Data

Part Number	Power (W)	Current (A)	Voltage (V)
OSQ-100	100	0.9	120
OSQ-150	150	1.3	120
OSQ-200	200	1.7	120
OSQ-250	250	2.1	120
OSQ-300	300	2.5	120
OSQ-350	350	2.9	120
OSQ-400	400	3.3	120
OSQ-450	450	3.7	120
OSQ-500	500	4.2	120

10" Lighting Wire Mounting 1 (800) 236-6800 | (262) 564-5415
Canada: www.cree.com/canada 1 (800) 475-1234 | (905) 890-7507

6 OSQ SERIES LED AREA/FLOOD

PS Series "Down-Well" Square Straight Steel Pole

Product Description
Non-flashed square steel poles are typically used with a welded base with four pre-drilled anchor bolts. Maximum height of 100 feet and pole cap (optional) must be used. The National Electrical Code requires a pole to be installed with a 2" x 8" hand hole located 10' above the bottom of the pole base. A hand hole cover is supplied but shipped separately. In addition, 5, 12, and 4" x 10" poles include an optional 10" steel hand hole cover welded near the bottom. If the pole is used as a replacement pole, the hand hole is located near the top of the pole. The hand hole location on replacement poles is 12' above the bottom of the pole base.

Accessories
Hand-hole cover
Pole cap (optional)
Pole cap (optional) with 10" x 10" hand hole
Pole cap (optional) with 10" x 10" hand hole and 10" x 10" hole
Pole cap (optional) with 10" x 10" hand hole and 10" x 10" hole and 10" x 10" hole

Product	Mounting Configuration	Color Options
PS-5	5' Pole	Black, Gray, White, Silver
PS-12	12' Pole	Black, Gray, White, Silver
PS-4	4" x 10" Pole	Black, Gray, White, Silver
PS-5	5" x 10" Pole	Black, Gray, White, Silver
PS-12	12" x 10" Pole	Black, Gray, White, Silver
PS-18	18" x 10" Pole	Black, Gray, White, Silver

10" Lighting Wire Mounting 1 (800) 236-6800 | (262) 564-5415
Canada: www.cree.com/canada 1 (800) 475-1234 | (905) 890-7507

4 PS SERIES SQUARE STEEL POLE

Brackets and Tenons

Product Specifications

PB Series
Square Steel Vertical Pole Tenon (for use with Adjustable Arm & Horizontal/Vertical/Telescopic) Tenon
The top of the PB Series Tenon is designed to be inserted into the top of the pole. The top of the pole should have a hole that is 1/4" larger than the tenon. The tenon is made of square steel and is 1/2" thick. The tenon is 1/4" wide and 1/2" high. The tenon is 1/4" long. The tenon is 1/4" wide and 1/2" high. The tenon is 1/4" long.

Product	Mounting Configuration	Color Options
PB-12	12' Pole	Black, Gray, White, Silver
PB-18	18' Pole	Black, Gray, White, Silver
PB-24	24' Pole	Black, Gray, White, Silver

10" Lighting Wire Mounting 1 (800) 236-6800 | (262) 564-5415
Canada: www.cree.com/canada 1 (800) 475-1234 | (905) 890-7507

5 PB SERIES SQUARE STEEL POLE BRACKET

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REPORT TO THE PLAN COMMISSION

Meeting of December 7, 2023

Unified Development Ordinance Text Amendment and Special Use Applications

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Unified Development Ordinance and Special Use application to the Common Council for decision based upon the recommended draft Ordinance and Resolution with conditions as attached.

Project Name:	Glander Family Chiropractic
Property Owner:	ACG ACQUISITIONS #10 LLC D/B/A ANDERSON COMMERCIAL GRP
Applicant:	Eleah Glander, Glander Family Chiropractic
Property Address/Tax Key Number:	11217 West Forest Home Avenue/748 9961 001
Aldermanic District:	District 6
Agent:	Eleah Glander, Glander Family Chiropractic
Zoning District:	M-1 Limited Industrial District
Use of Surrounding Properties:	M-1 zoned property to the north and south, Woodland Prairie Condominiums to the east and B-3 zoned property and single-family residential to the west
Application Request:	To allow SIC Code No. 8041 Offices and clinics of Chiropractors within the M-1 District as a Special Use and approval of a Special Use Permit for Glander Family Chiropractic.
Staff Planner:	Nick Fuchs, Planning Associate

Project Description and Analysis

The applicant has filed a Unified Ordinance Text Amendment and Special Use applications to allow for Glander Family Chiropractic to locate and operate within Unit 3 of 11217 West Forest Home Avenue.

More specifically, the applicant is requesting to amend Table 15-3.0603 to add Standard Industrial Classification Title No. 8041 “Offices and Clinics of Chiropractors” as a Special Use in the M-1 Limited Industrial District. Currently SIC Code No. 8041 is not allowed within the M-1 District.

The applicant also concurrently filed a Special Use Application specifically for Glander Family Chiropractic.

Glander Family Chiropractic is a chiropractic offering chiropractic services and massage therapy. The tenant space is approximately 2,000 square feet. Staff does not anticipate any parking issues with the existing shared parking lot consisting of about 90 parking spaces. Hours of operations vary as outlined

within the applicant's project narrative, but are not anticipated to begin earlier than 9:00 a.m. or later than 7:00 p.m.

There are no exterior building or site changes proposed at this time.

Staff Recommendation

City Development Staff recommends approval of the Unified Development Ordinance Text Amendment to amend Table 15-3.0603 to add Standard Industrial Classification Title No. 8041 "Offices and Clinics of Chiropractors" as a Special Use in the M-1 Limited Industrial District.

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

ORDINANCE NO. 2023-_____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE TEXT AT TABLE 15-3.0603 STANDARD INDUSTRIAL CLASSIFICATION TITLE NO. 8041 “OFFICES AND CLINICS OF CHIROPRACTORS” TO ALLOW SUCH USE AS A SPECIAL USE IN THE M-1 LIMITED INDUSTRIAL DISTRICT (ELEAH GLANDER, GLANDER FAMILY CHIROPRACTIC, APPLICANT)

WHEREAS, Table 15-3.0603 of the Unified Development Ordinance sets forth the permitted and special uses in the nonresidential zoning districts; and

WHEREAS, Eleah Glander having applied for a text amendment to Table 15-3.0603 to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification (SIC) Title No. 8041 “Offices and Clinics of Chiropractors”, to allow for such use as a Special Use in the M-1 Limited Industrial District.

WHEREAS, the Plan Commission having reviewed the proposed amendment to change SIC Code No. 8041 “Offices and Clinics of Chiropractors” to a Special Use in the M-1 Limited Industrial District, and having held a public hearing on the proposal on the 7th day of December, 2023 and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council having accepted the recommendation of the Plan Commission and having determined that the proposed amendment is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Table 15-3.0603 of the Unified Development Ordinance of the Municipal Code of the City of Franklin, Wisconsin, only as it pertains to: Standard Industrial Classification Title No. 8041 “Offices and Clinics of Chiropractors”, is hereby amended as follows: insert “S” (Special Use) in the M-1 column

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

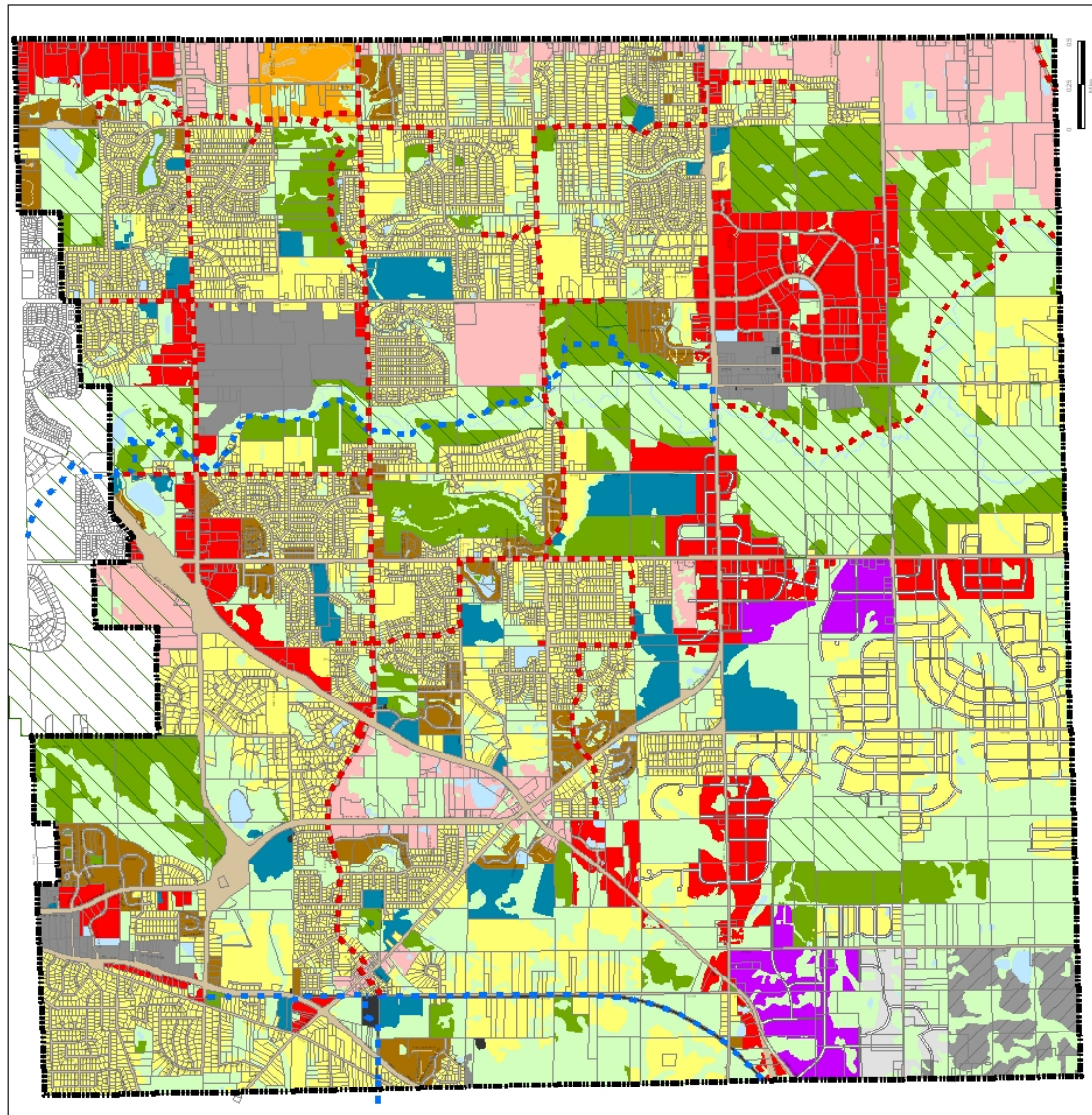
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

Map 5.7: Future Land Use Map 2025

Future Land Use Map 2025

Map 5.7



Legend

Future Land Use

- Areas of Natural Resource Features
- Business Park
- Commercial
- Communication and Utilities
- Industrial
- Institutional
- Landfill
- Light Manufacturing
- Mixed Use
- Office
- Recreational
- Residential
- Residential - Multi-Family
- Transportation
- Water
- Future Roads (SW Plan)
- Existing Trail
- Proposed Trail
- Milwaukee County Parkway

Notes:

The design on this map is intended to provide a general overview of the future land use plan for the City of Franklin. The design is not intended to be used as a legal document or as a basis for any legal action. The design is subject to change without notice. The design is not intended to be used as a legal document or as a basis for any legal action. The design is subject to change without notice.

Disclaimer:

The information depicted on this map was compiled from a variety of sources, including photographs, aerials, maps, and other data. The information is provided as a general overview and is not intended to be used as a legal document or as a basis for any legal action. The information is subject to change without notice.



City of Franklin
GIS Department
9228 W. Loomis Rd.
Franklin, WI 53132
www.franklinwi.gov

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REPORT TO THE PLAN COMMISSION

Meeting of December 7, 2023

Unified Development Ordinance Text Amendment and Special Use Applications

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Unified Development Ordinance and Special Use application to the Common Council for decision based upon the recommended draft Ordinance and Resolution with conditions as attached.

Project Name:	Glander Family Chiropractic
Property Owner:	ACG ACQUISITIONS #10 LLC D/B/A ANDERSON COMMERCIAL GRP
Applicant:	Eleah Glander, Glander Family Chiropractic
Property Address/Tax Key Number:	11217 West Forest Home Avenue/748 9961 001
Aldermanic District:	District 6
Agent:	Eleah Glander, Glander Family Chiropractic
Zoning District:	M-1 Limited Industrial District
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Application Request:	To allow SIC Code No. 8041 Offices and clinics of Chiropractors within the M-1 District as a Special Use and approval of a Special Use Permit for Glander Family Chiropractic.
Staff Planner:	Nick Fuchs, Planning Associate

Project Description and Analysis

The applicant has filed a Unified Ordinance Text Amendment and Special Use applications to allow for Glander Family Chiropractic to locate and operate within Unit 3 of 11217 West Forest Home Avenue.

More specifically, the applicant is requesting to amend Table 15-3.0603 to add Standard Industrial Classification Title No. 8041 “Offices and Clinics of Chiropractors” as a Special Use in the M-1 Limited Industrial District. Currently SIC Code No. 8041 is not allowed within the M-1 District.

The applicant also concurrently filed a Special Use Application specifically for Glander Family Chiropractic.

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within the applicant's project narrative, but are not anticipated to begin earlier than 9:00 a.m. or later than 7:00 p.m.

There are no exterior building or site changes proposed at this time.

Staff Recommendation

City Development Staff recommends approval of the Unified Development Ordinance Text Amendment to amend Table 15-3.0603 to add Standard Industrial Classification Title No. 8041 "Offices and Clinics of Chiropractors" as a Special Use in the M-1 Limited Industrial District.

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE FOR A CHIROPRACTIC OFFICE AND
SERVICES BUSINESS USE UPON PROPERTY LOCATED AT 11217 WEST FOREST
HOME AVENUE (BY ELEAH GLANDER, GLANDER FAMILY CHIROPRACTIC,
APPLICANT, ACG ACQUISITIONS #10 LLC (D/B/A ANDERSON COMMERCIAL
GRP, PROPERTY OWNER)

WHEREAS, Eleah Glander, Glander Family Chiropractic having petitioned the City of Franklin for the approval of a Special Use for a chiropractic office business use upon property located at 11217 West Forest Home Avenue, zoned M-1 Limited Industrial District. The property which is the subject of the application bears Tax Key No. 748 9961 001 and is more particularly described as follows:

Parcel A:

Parcel 1 of Certified Survey Map No. 4982, recorded on July 21, 1987, on Reel 2121, Images 1575 to 1577 inclusive, as Document No. 6086366, being a part of the Northwest 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 6, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin

Parcel B:

Parcel 2 of Certified Survey Map No. 4076, recorded on August 10, 1981, on Reel 1394, Images 1488 to 1490 inclusive, as Document No. 5493488, being a part of the Southeast 1/4 of Section 6, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

ELEAH GLANDER, GLANDER FAMILY CHIROPRACTIC – SPECIAL USE

RESOLUTION NO. 2023-_____

Page 2

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Eleah Glander, Glander Family Chiropractic, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Eleah Glander, Glander Family Chiropractic, successors and assigns, for a chiropractic office business use, which shall be developed in substantial compliance with, and operated and maintained by Eleah Glander, Glander Family Chiropractic, pursuant to the project narrative dated October 31, 2023 and associated plan submittal annexed hereto and incorporated herein as Exhibit A.
2. Eleah Glander, Glander Family Chiropractic, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Eleah Glander, Glander Family Chiropractic Special Use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Eleah Glander, Glander Family Chiropractic Special Use for the property located at 11217 West Forest Home Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event Eleah Glander, Glander Family Chiropractic, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than

ELEAH GLANDER, GLANDER FAMILY CHIROPRACTIC – SPECIAL USE

RESOLUTION NO. 2023-_____

Page 3

\$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

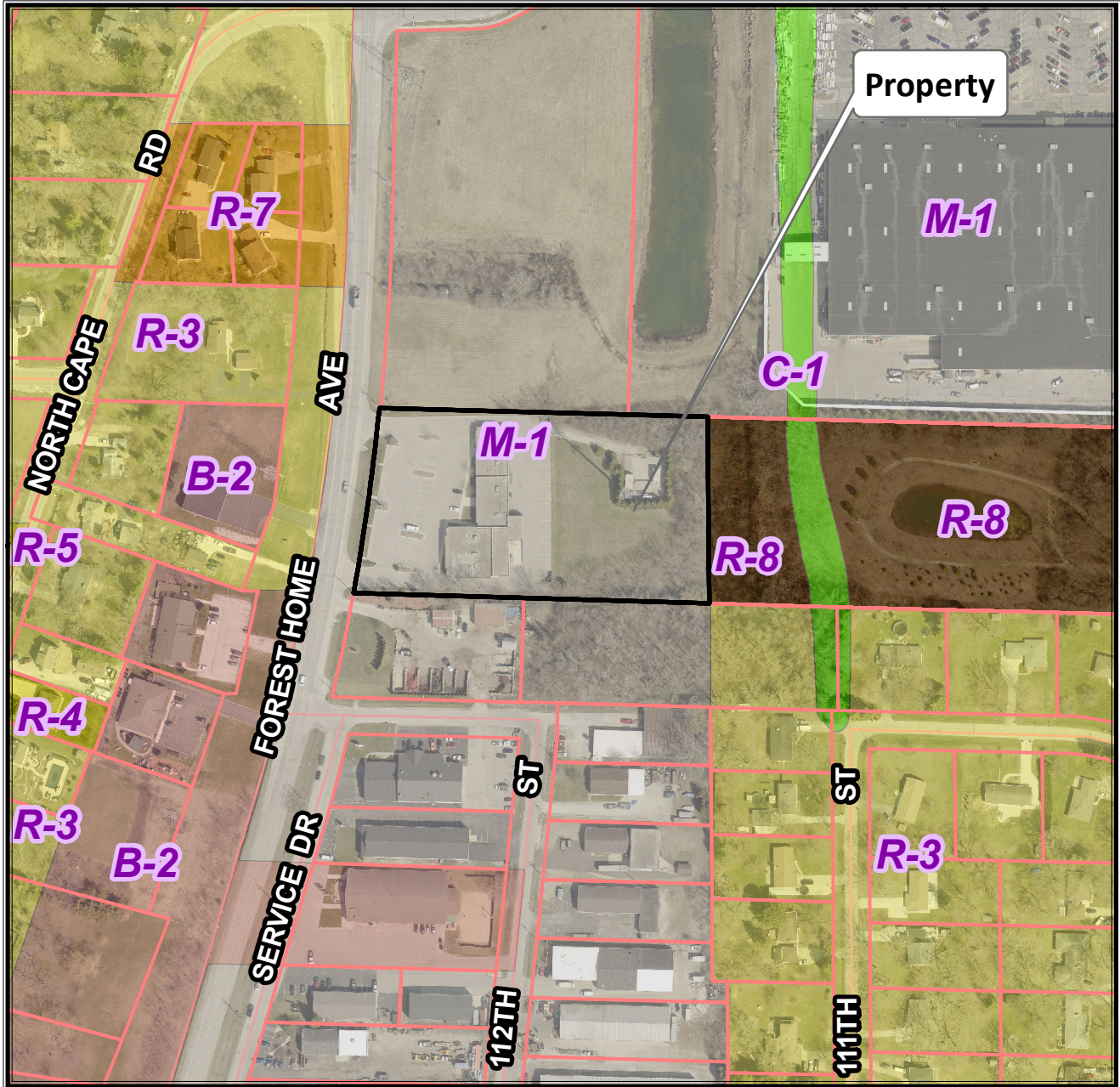
ELEAH GLANDER, GLANDER FAMILY CHIROPRACTIC – SPECIAL USE
RESOLUTION NO. 2023-_____

Page 4

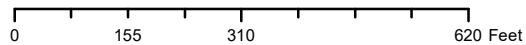
EXHIBIT A

ATTACHED HERETO

11217 W. Forest Home Ave.
TKN: 748 9961 001



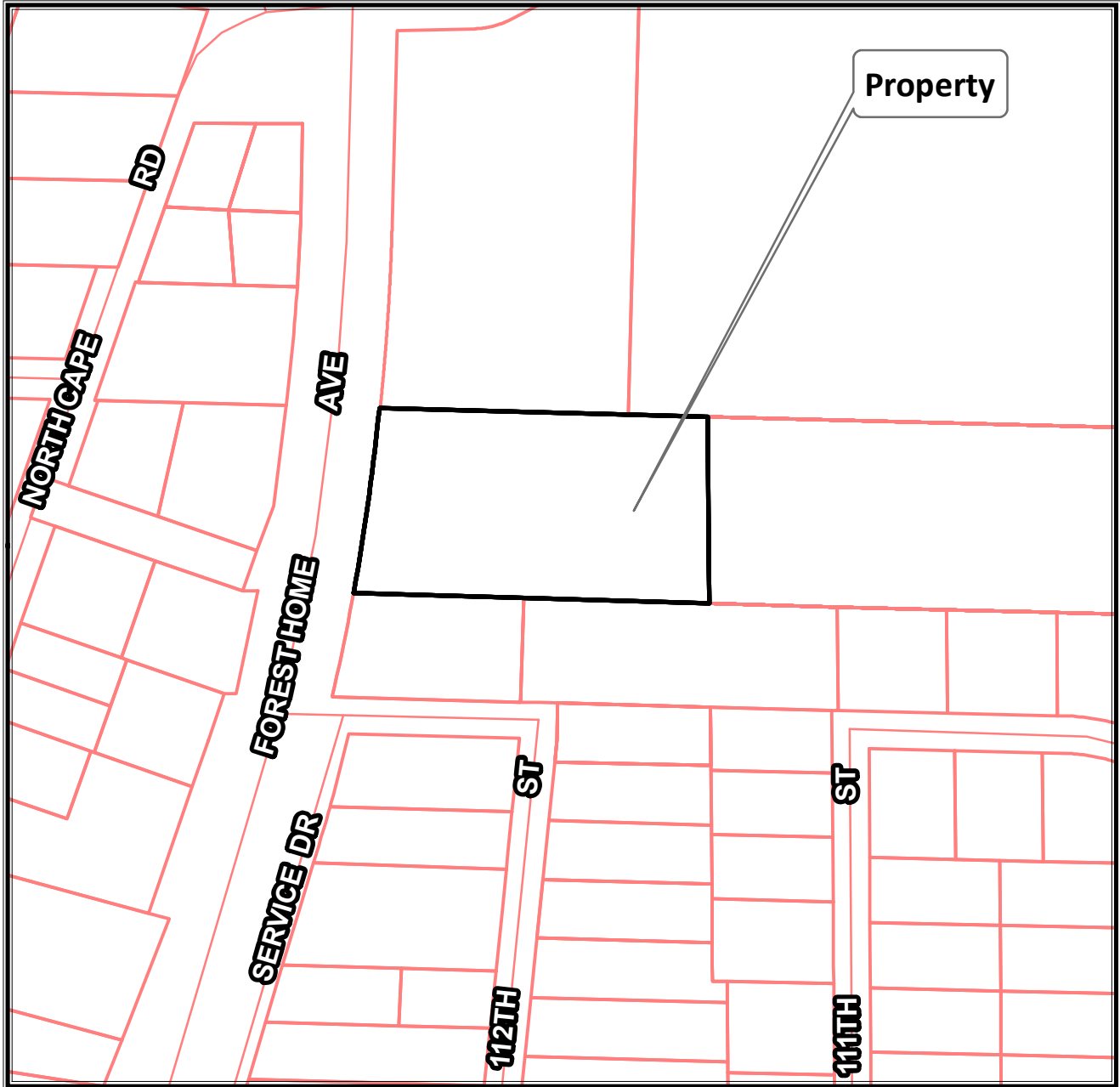
Planning Department
(414) 425-4024



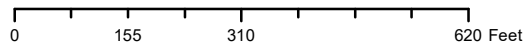
2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

11217 W. Forest Home Ave.
TKN: 748 9961 001



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



NORTH
2021 Aerial Photo

October 31, 2023

City of Franklin

9229 W. Loomis Road

Franklin, WI 53132

To Whom It May Concern,

Glander Family Chiropractic is a chiropractic office that is run by Dr. Eleah Glander. Dr. Glander has been practicing for almost 12 years and has been practicing at her current location in Hales Corners for 8 years.

Chiropractic is a gentle, non-invasive healthcare technique performed by a licensed Doctor of Chiropractic; the technique emphasizes the body's ability to heal itself. This is done through manual manipulation of joints in the spinal column to remove spinal misalignments, which in turn removes nerve interference allowing the body to function to the best of its ability.

Glander Family Chiropractic also utilizes electrical stimulation therapy, therapeutic ultrasound, neuromuscular re-education and intersegmental traction to address adhesions in the soft tissue that may be inhibiting spinal recovery.

Glander Family Chiropractic currently employs a doctor of chiropractic, an office manager/chiropractic technician and a second chiropractic technician that specializes in neuromuscular re-education.

Glander Family Chiropractic is looking to move the office to a new location at 11217 W. Forest Home Ave, Suite 3, Franklin WI. This location is currently M-1. Glander Family Chiropractic is looking to amend the UDO to add SIC 8041, "Offices and Clinics of Chiropractors" to be a special use in the M-1 district.

The 11217 W Forest Home Ave, Suite 3 location is 2000 square feet. There is an attached parking lot that has 90 parking spaces. Although there will not be dedicated parking spaces for Glander Family Chiropractic, there should be ample parking for patients of the clinic, as no more than 10 spaces, including for staff parking, are needed at any given time during the day. Additionally, the hours of operation for the clinic are Monday 2pm-6-7pm, Tuesday 9am-12pm and 2pm-6pm, Wednesdays 9:30am-12 and 2pm-4:30pm, Thursdays 9am-12pm and 2pm-7pm and Friday 9am-12pm.

Respectfully,

Dr. Eleah Glander DC

Glander Family Chiropractic

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. ***General Standards.*** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: correct. The proposed chiropractic office would join a number of businesses located along that stretch of Forest Home.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: correct. Glander Family Chiropractic's operating hours are Monday 2pm-6-7pm, Tuesday 9am-12pm and 2pm-6pm, Wednesdays 9:30am-12 and 2pm-4:30pm, Thursdays 9am-12pm and 2pm-7pm and Friday 9am-12pm. No patients will be at the location outside of those operating hours.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: correct. There is already a freestanding building at the proposed chiropractic office location, and minimal changes are required to the outside of the building. The office would simply be joining a stretch of the road along which a variety of businesses are already located.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: correct. Patients will be able to take a main street to the office, and there is a

parking lot off the road for patients to park in. Additionally, the parking lot has easy access in and out of the road. The office will not put undue strain on resources along that stretch of Forest Home Ave.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: correct. The office is not located on a residential street, and patients will be able to drive to the location without taking any residential streets. Additionally, there is ample off street parking available onsite at the proposed location.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: correct. No construction outside of the building is required, so the environmental impact of the proposed location is minimal.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: correct. All regulations for the special use will be met.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: correct. All compliance with special standards will be met.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of

the neighborhood or community.

Response: The proposed location is for a chiropractic office. The doctor currently sees a number of patients in the Franklin area. Practicing at this location will allow the wellness and healthcare needs of the community to continue to be met.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: After an exhaustive search, no better location has been found that would be a more appropriate space for a chiropractic office. Any other properties for sale in the area require extensive renovations, or are extremely close to existing chiropractic offices. The proposed site does not have another chiropractor nearby. Operating in the proposed space would give residents and workers in the area a closer location to go for their health and wellness needs.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The exterior building requires no renovations before the chiropractic office would be able to start operations. There is already a parking lot sufficiently large enough to accommodate parking for employees and patients. The space is also already wheelchair accessible. No changes to the current site design or landscaping are required.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: There are already a number of businesses operating along the requested location. Allowing a chiropractic office to operate in the proposed space will not place undue stress or traffic in the neighborhood due to the number of already functioning businesses surrounding the requested location for the chiropractic office.

September 15, 2023

City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

To Whom It May Concern,

Special Use Permit Legal Description of the property

Parcel A:

Parcel 1 of Certified Survey Map No. 4982, recorded on July 21, 1987, on Reel 2121, Images 1575 to 1577 inclusive, as Document No. 6086366, being a part of the Northwest 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 6, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin

Parcel B:

Parcel 2 of Certified Survey Map No. 4076, recorded on August 10, 1981, on Reel 1394, Images 1488 to 1490 inclusive, as Document No. 5493488, being a part of the Southeast 1/4 of Section 6, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

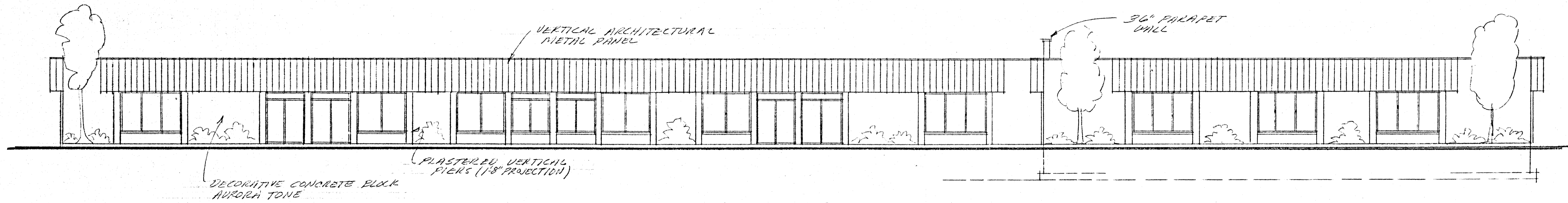
For informational purposes only:

Property Address: 11217 West Forest Home Avenue (Parcel A) and Vacant Land situated on South 112th Street (Parcel B), Franklin, WI 53132

Tax Key Number: 748-9961-001 (Parcel A) and 748-9959-003 (Parcel B)

Respectfully,

Dr. Eleah Glander DC
Glander Family Chiropractic
10920 W Forest Home Ave
Hales Corners, WI



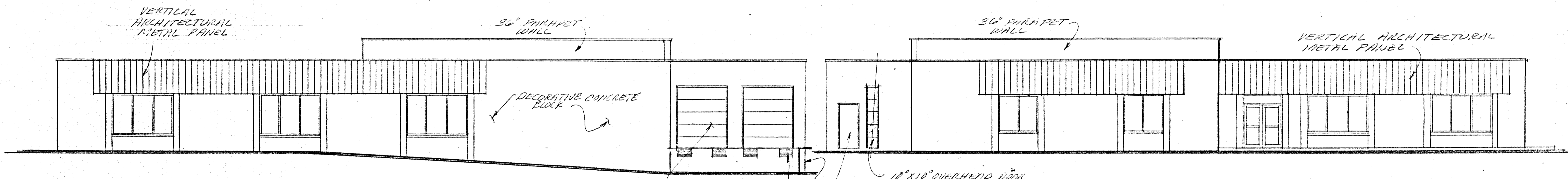
DECORATIVE CONCRETE BLOCK
AURORA TONE

PLASTERED VERTICAL
PIERS (1/8" PROJECTION)

VERTICAL ARCHITECTURAL
METAL PANEL

36" PARAPET
WALL

NORTH ELEVATION
SCALE 1/8"=1'-0"



VERTICAL
ARCHITECTURAL
METAL PANEL

36" PARAPET
WALL

DECORATIVE CONCRETE
BLOCK

36" PARAPET
WALL

VERTICAL ARCHITECTURAL
METAL PANEL

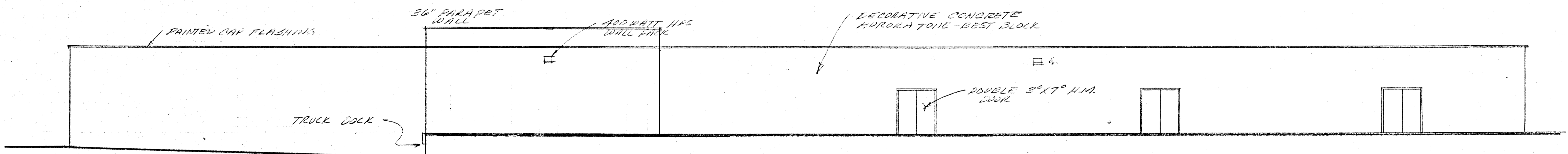
8'X10' OVERHEAD DOOR
DARK BUMPER
RETAINING
WALL

9'X10' H.M. DOOR
FRAME

10'X10' OVERHEAD DOOR

WEST ELEVATION
SCALE 1/8"=1'-0"

EAST ELEVATION
SCALE 1/8"=1'-0"



PAINTED COP FLASHINGS

36" PARAPET
WALL

400 WATT H.F.S.
WALL TRACK

DECORATIVE CONCRETE
AURORA TONE - BEST BLOCK

TRUCK DOCK

DOUBLE 3'X7' H.M.
DOOR

SOUTH ELEVATION
SCALE 1/8"=1'-0"

68801995

REVISIONS

Threshold Design, Inc.
Architects and Engineers
1285 Sunnyridge Road

PROJECT: FOREST HOME PLAZA
TITLE: FRANKLIN, WISCONSIN
ELEVATIONS

SHEET: 2
DATE DRAWN: 5/17/95
DATE ISSUED: 5/17/95
PROJECT NO: 68801995
DRAWN BY: [Signature]

ALTA/ACSM Land Title Survey

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO: Robert Yunker, Citizens Bank, its successors and/or assigns and Chicago Title Insurance Company.

Commitment NO.: CO-2972 dated May 17, 2016

That this map or plat and the survey on which it is based were made in accordance with the 2016 "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS and includes Table A Items 1, 2, 3, 4, 7(a), 8, 11 observed evidence, 16 and 17. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Wisconsin, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

June 17, 2016
Date

Dennis C. Sauer
Dennis C. Sauer
Professional Land Surveyor S-2421

LEGAL DESCRIPTION

Parcel A:
Parcel 1 of Certified Survey Map No. 4982, recorded on July 21, 1987, on Reel 2121, Images 1575 to 1577 inclusive as Document No. 6086366, being a part of the Northwest 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 6, Town 5 North, Range 21 East, City of Franklin, County of Milwaukee, State of Wisconsin.

Tax Key No: 748-9961-001
Address: 11217 W. Forest Home Avenue, Franklin, Wisconsin

The above legal description describes the same property as insured in the title commitment referenced in the Certification shown hereon.

SCHEDULE B - II

- Reservation for easement set forth in Warranty Deed recorded as Document No. 2557046 is general in nature and not plottable.
- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, for utility purposes, recorded on December 18, 1962, as Document No. 3994355 is plotted hereon.
- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company and Wisconsin Telephone Company, for utility purposes, recorded on May 13, 1970, as Document No. 4524627 is east of subject property and not plotted hereon.
- Rights of the public in portion of the subject premises lying within the limits of Forest Home Avenue is plotted hereon.
- Public utility easement and reservation for future road set forth on Certified Survey Map No. 4982, recorded as Document No. 6086366 are plotted hereon.
- Resolution Imposing Conditions and Restrictions for Approval of Special Use recorded as Document No. 6039273 describes entire parcel and is plotted hereon.
- Resolution Imposing Conditions and Restrictions for Approval of Special Use recorded as Document No. 6180994 describes entire parcel and is plotted hereon.
- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, for utility purposes, recorded on December 31, 2001, as Document No. 8192919 is plotted hereon.
- Easement agreement by and between Erkmanis Family Corporation, a Wisconsin corporation, and SBA Structures, Inc., a Florida corporation, recorded as Document No. 9572524. Assignment of Lessor's Interest in Lease recorded as Document No. 9761586. Notice of Resignation of Trustee, Notice of Appointment of Successor Trustee and Assignments of Assignment of Lessor's Interest in Leases recorded as Document No. 9917010 is plotted hereon.
- Memorandum of Antenna Site Agreement recorded as Document No. 9660847 is general in nature and not plottable.
- Memorandum of Assignment recorded as Document No. 10223037 is general in nature and not plottable.

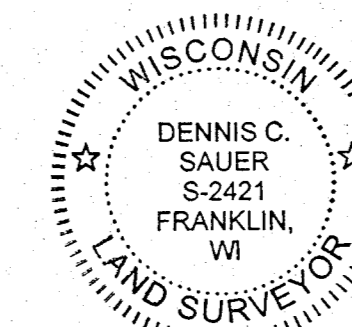
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO: Robert Yunker, Citizens Bank, its successors and/or assigns and Chicago Title Insurance Company.

Commitment NO.: CO-2972 dated May 17, 2016

That this map or plat and the survey on which it is based were made in accordance with the 2016 "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS and includes Table A Items 1, 2, 3, 4, 7(a), 8, 11 observed evidence, 16 and 17. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Wisconsin, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

June 17, 2016
Date



Dennis C. Sauer
Dennis C. Sauer
Professional Land Surveyor S-2421

LEGAL DESCRIPTION

Parcel B:
Parcel 2 of Certified Survey Map No. 4076, recorded on August 10, 1981, on Reel 1394, Images 1488 to 1490 inclusive as Document No. 5493488, being part of the Southeast 1/4 of Section 6, Town 5 North, Range 21 East, City of Franklin, County of Milwaukee, State of Wisconsin.

Tax Key No: 748-9959-003
Address: South 112th Street, Franklin, Wisconsin

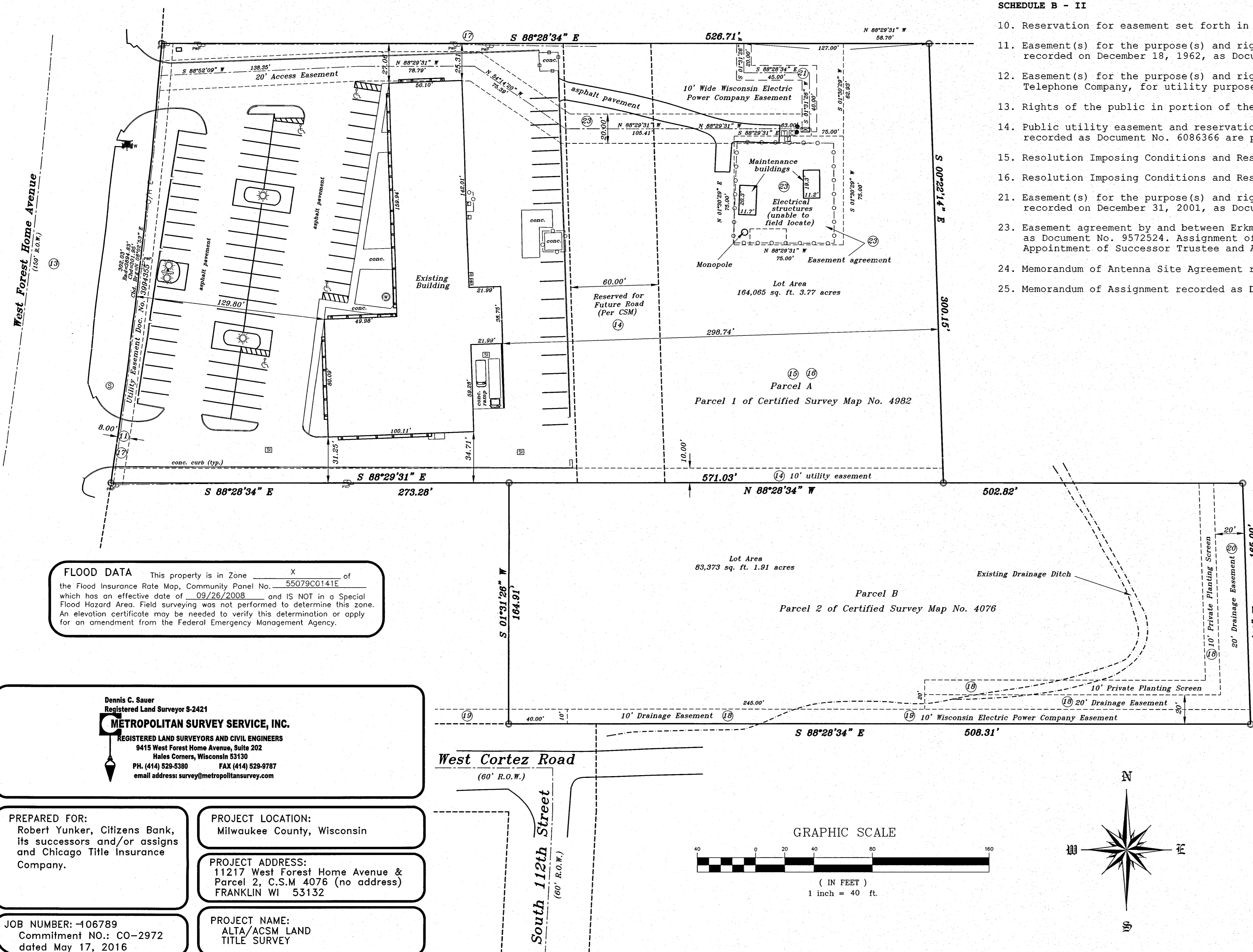
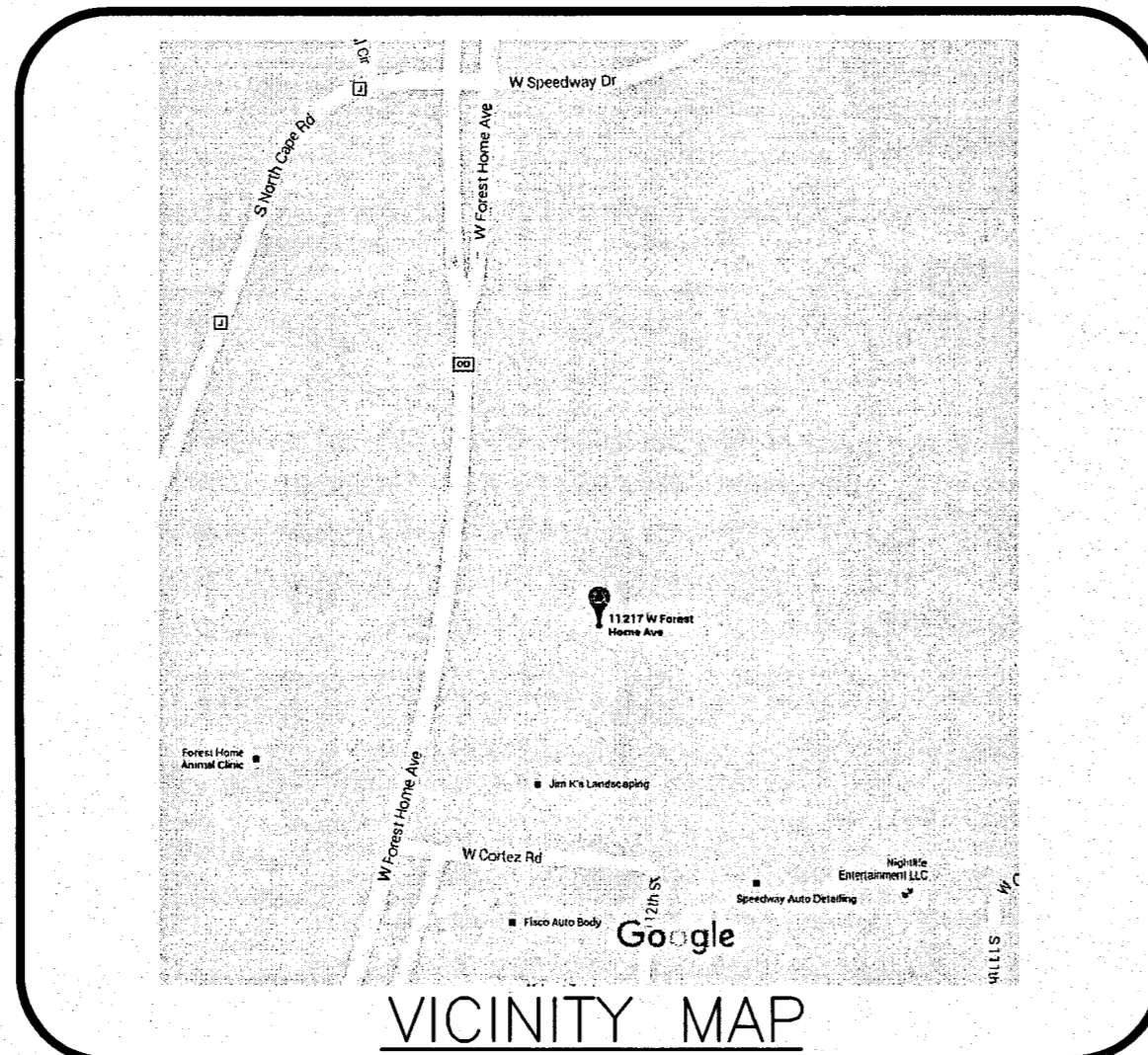
The above legal description describes the same property as insured in the title commitment referenced in the Certification shown hereon.

SCHEDULE B - II

- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, for utility purposes, recorded on December 18, 1962, as Document No. 3994355 is plotted hereon.
- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company and Wisconsin Telephone Company, for utility purposes, recorded on May 13, 1970, as Document No. 4524627 is east of subject property and not plotted hereon.
- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, for utility purposes, recorded on April 26, 1962, as Document No. 3945030 is plotted hereon.
- Private planting screen and drainage easement set forth on Certified Survey map No. 4076, as recorded as Document No. 5493488 is plotted hereon.
- Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, for utility purposes, recorded on June 21, 1990, as Document No. 6390931 is plotted hereon.
- Agreement to Convey Easement recorded as Document No. 6468520 is plotted hereon.

STANDARD LEGEND

○ IRON PIPE FOUND	☉ POWER POLE	— SS — SAN SEWER LINE
● IRON PIPE SET	☉ GUY WIRE	⊙ SEWER MANHOLE
⊙ P.K. NAIL FOUND	☉ LIGHT POLE	○ CLEAN OUT
⊙ P.K. NAIL SET	☉ STREET LIGHT POLE	— SD — STORM DRAIN LINE
× FND X MARK	☉ ELEC. TRANSFORMER	⊙ STORM DRAIN MANHOLE
⊙ SET X MARK	☉ AIR CONDITIONER	⊙ STORM INLET
▲ R.R. SPIKE FOUND	☉ BURIED ELECTRIC	☐ CURB INLET
▲ R.R. SPIKE SET	☉ OVERHEAD ELECTRIC	☐ PAY PHONE
⊙ BENCHMARK	☉ ELEC. MANHOLE	☐ TELEPHONE BOX
⊙ CONC. R/W MARKER	☉ ELEC. METER	⊙ TELEPHONE MANHOLE
(R) RECORD DATA	— W — WATER LINE	☐ TELEPHONE POLE
(M) MEASURED DATA	☐ WELL	— T — TELEPHONE LINE
(C) CALCULATED DATA	☐ WATER VALVE	☉ OVERHEAD TELEPHONE
R/W RIGHT OF WAY	☐ WATER METER	☉ HYDRANT
BSL BACK SET LINE	☐ GAS LINE	— C — CABLE TELEVISION
RCP REINFORCED CONC PIPE	☐ GAS VALVE	☉ OVERHEAD CABLE
CMP CORRUGATED METAL PIPE	☐ GAS METER	☐ CABLE BOX
PVC PLASTIC PIPE	☐ GAS MANHOLE	☐ TRAFFIC POLES
MTL METAL	☐ BOLLARD	☐ TRAFFIC SIGNAL
L/S LANDSCAPING	☐ BORE HOLE	☐ TRAFFIC MANHOLE
☐ TREE	☐ MONITORING WELL	☐ TRAFFIC SIGNAL BOX
☐ BRICK PILLAR	☐ MAIL BOX	☐ STOP SIGN
	☐ UNKNOWN MANHOLE	☐ SIGN



FLOOD DATA This property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 55079C0141E which has an effective date of 09/26/2008 and IS NOT in a Special Flood Hazard Area. Field surveying was not performed to determine this zone. An elevation certificate may be needed to verify this determination or apply for an amendment from the Federal Emergency Management Agency.

Dennis C. Sauer
Registered Land Surveyor S-2421
METROPOLITAN SURVEY SERVICE, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
9415 West Forest Home Avenue, Suite 202
Hales Corners, Wisconsin 53130
PH: (414) 529-5390 FAX: (414) 529-9787
email address: survey@metropolitansurvey.com

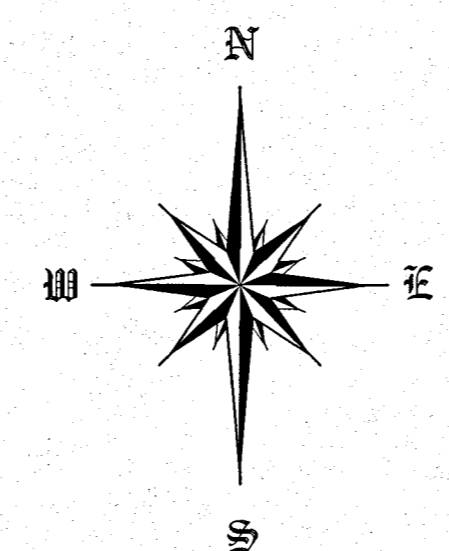
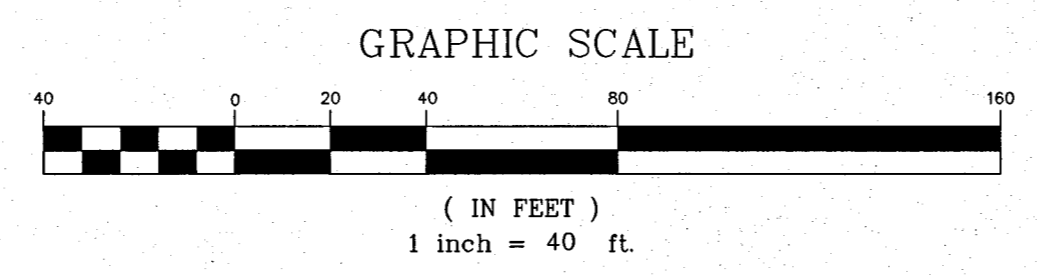
PREPARED FOR:
Robert Yunker, Citizens Bank,
its successors and/or assigns
and Chicago Title Insurance
Company.

PROJECT LOCATION:
Milwaukee County, Wisconsin

PROJECT ADDRESS:
11217 West Forest Home Avenue &
Parcel 2, C.S.M 4076 (no address)
FRANKLIN WI 53132

JOB NUMBER: -106789
Commitment NO.: CO-2972
dated May 17, 2016

PROJECT NAME:
ALTA/ACSM LAND
TITLE SURVEY





CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.5.

Meeting of December 7, 2023

Special Use Amendment

RECOMMENDATION: City Development Staff recommends approval of this Special Use amendment subject to the conditions set forth in the attached resolution.

Project name:	Boomtown, LLC – Special Use Amendment
Property Owner:	Boomtown, LLC
Applicant:	S.R. Mills. Boomtown, LLC
Property Address/TKN:	12000 W. Loomis Road / 891 9011 000
Aldermanic District:	District 6
Zoning District:	R-8 Multiple-Family Residence District
Staff Planner:	Régulo Martínez-Montilva, AICP, CNUa, Principal Planner

Please note:

- Recommendations are underlined, in italics and are included in the draft resolution.
- Suggestions are only underlined and are not included in the draft resolution.

Project Description/Analysis

The applicant received a special use permit for a condominium development consisting of 26 dwelling units arranged in 13 duplex structures (Resolution 2022-7873). This request is to amend said special use permit to allow for a condominium development with 13 single-family homes.

This special use amendment doesn't require an amendment to the approved site plan as the applicant is only requesting to build single-family homes within approved building footprints. It's worth noting that in the R-8 zoning district, single-family and two-family dwellings are subject to the same development standards, such as setbacks, lot coverage, building height, etc.

Background

This development was presented before the Common Council on April 5, 2021, as a Concept Review. Then, this 15.6-acre site was created by Certified Survey Map No. 9338 recorded on August 6; and the C-1 Conservancy District zoning was removed from such site by rezoning Ordinance No. 2021-2480 on September 21. This development received a variance by the Board of Zoning and Building Appeals to allow for a reduced 20-foot front setback on January 19, 2022; and a Natural Resource Special Exception (NRSE) was granted on February 1 to allow for after-the-fact impacts to wetland buffers.

The special use permit for 13 duplex structures (26 dwelling units) was granted on June 21, 2022, Resolution No. 2022-7873 and the Site Plan on June 9, 2022, Plan Commission Resolution 2022-016.

A condominium plat for 26 residential units was approved on September 6, 2022, Resolution No. 2022-7895. In November 2023, a condominium plat addendum was recorded depicting 13 single-family dwellings as presented in this special use permit request. The cul-de-sac street "Sophia Court" was dedicated to the city for right-of-way purposes by a warranty deed.

General standards for Special Uses (§15-3.0701)

Summary of Standard	Staff's Finding
<p>1. <i>Harmony with UDO and Comprehensive Plan purposes and intent.</i></p>	<p>The northern portion of this site is designated as residential-multifamily in the future land use map of the <i>City of Franklin 2025 Comprehensive Master Plan</i>. The southern portion is designated as commercial but it is constrained by an access restriction to Loomis Road.</p> <p>It is worth noting that per Wisconsin Statutes §66.1001(2m)(b) “<i>A conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision's comprehensive plan</i>”.</p>
<p>2. <i>No Undue Adverse Impact.</i></p>	<p>City Development staff does not anticipate any “undue adverse impact” to adjacent properties because conservation and landscape were approved. The conservation easement area is located to the west and east of the proposed development, as well as a landscape bufferyard with a berm to the south along Loomis Road.</p>
<p>3. <i>No Interference with Surrounding Development.</i></p>	<p>The proposed dwellings are designed to meet the maximum permitted height for single-family and two-family homes in the R-8 zoning district. This standard is not impacted by this amendment as this site is previously approved for two-family dwellings.</p>
<p>4. <i>Adequate Public Facilities.</i></p>	<p>The proposed development will be served by public water supply and sanitary sewer service. It is noted that access to public water and sewer is a requirement for residential development in the R-8 zoning district per UDO Section 15-3.0209.A “District Intent”.</p>
<p>5. <i>No Traffic Congestion.</i></p>	<p>Since this amendment is to reduce the quantity of dwellings, staff is not requesting a Traffic Impact Analysis.</p>
<p>6. <i>No Destruction of Significant Features.</i></p>	<p>The western portion is designated as Areas of Natural Resource Features in the comprehensive plan, the wetland areas located on this site are protected by a conservation easement required as condition of approval of previous special use and site plan. This request is not amending the previously approved site plan, no further impact to natural resources is being proposed.</p> <p>A Natural Resource Special Exception (NRSE) was granted with conditions on February 1, 2022, to allow for after-the-fact impacts to wetland buffers. This special use amendment is not altering the conditions of approval of this NRSE.</p>
<p>7. <i>Compliance with Standards.</i></p>	<p>The previously approved special use complied with the requirements of the R-8 Multiple-Family Residence District for single-family and two-family residential use, including: building setbacks, building</p>

	<p>height, required parking and landscaping. This amendment is not impacting compliance with these standards.</p> <p>The Board of Zoning and Building Appeals granted a variance on January 19, 2022, for a reduced front setback of 20 feet in this development, while the minimum front setback in the R-8 district is 25 feet.</p>
--	---

Fire Department comments

- 1. Development must include satisfactory water supply infrastructure for firefighting operations.
- 2. Road constructed to accepted standards for fire department access.
- 3. Area not well served by existing fire station locations and staffing. Response times for Effective Response Force for fire and EMS calls-for-service, and emergency incident types will likely exceed accepted industry standards.

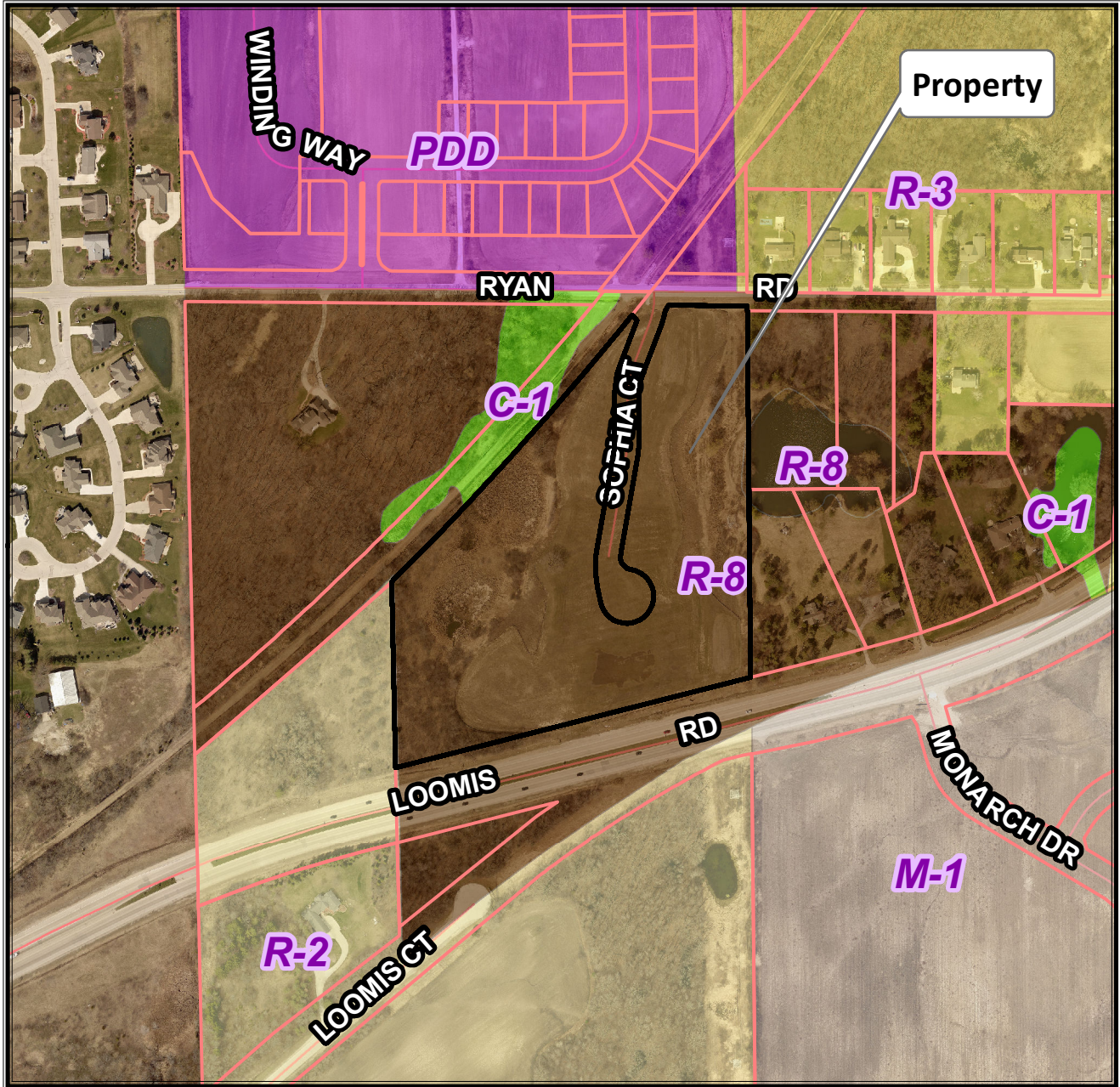
Engineering Department comments

No comment.

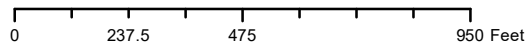
Staff Recommendation:

City Development Staff recommends approval of this Special Use application subject to the conditions set forth in the attached resolution.

12000 W. Loomis Road
TKN: 891 9011 000

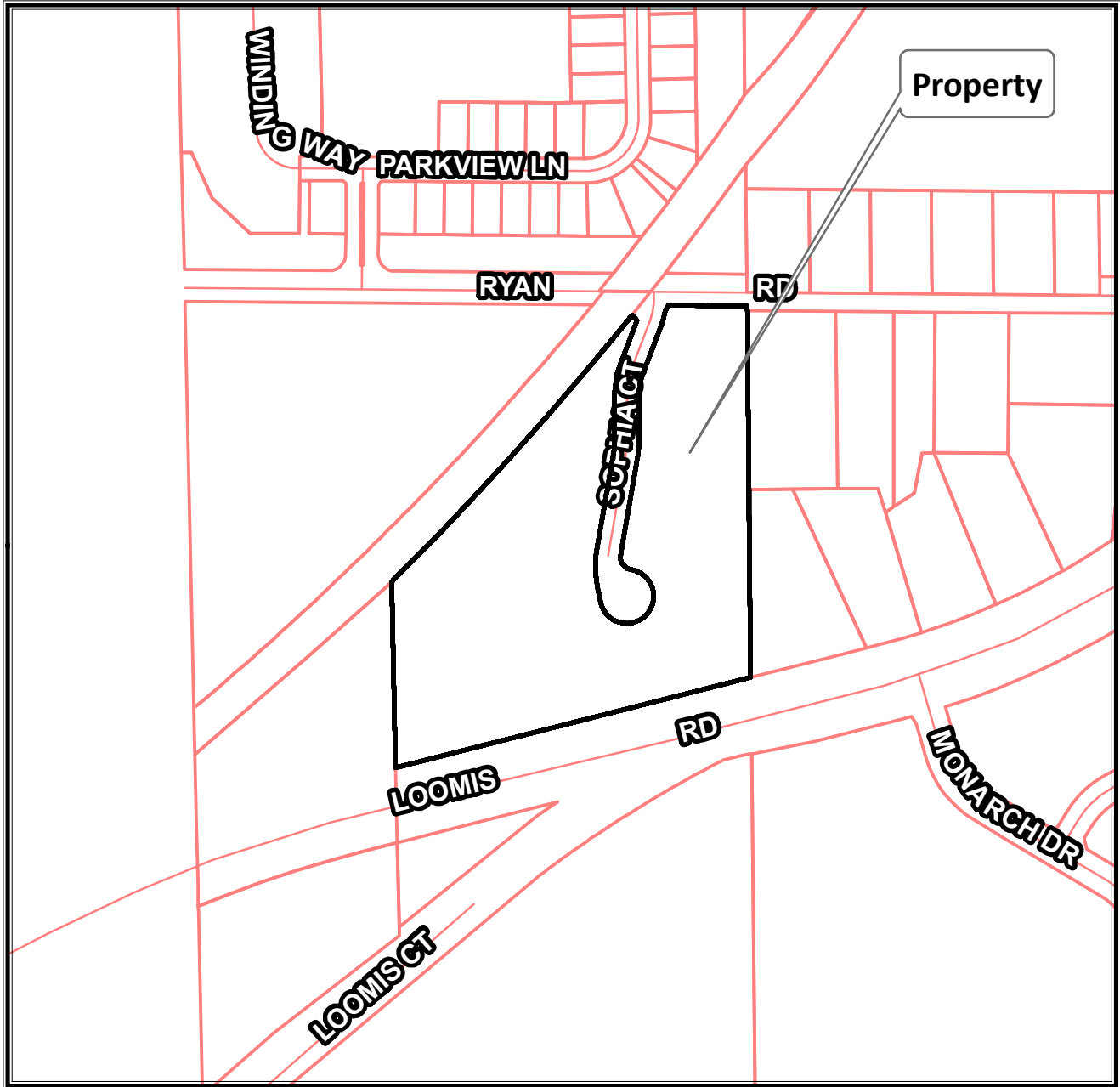


Planning Department
(414) 425-4024

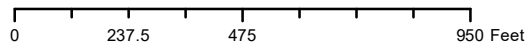


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

12000 W. Loomis Road
TKN: 891 9011 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



RESOLUTION NO. 2023-_____

A RESOLUTION TO AMEND RESOLUTION NO. 7873 IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR A CONDOMINIUM COMPLEX DEVELOPMENT USE UPON PROPERTY LOCATED AT 12000 WEST LOOMIS ROAD (STEPHEN R. MILLS, PRESIDENT OF BEAR DEVELOPMENT, LLC, APPLICANT, BOOMTOWN, LLC, PROPERTY OWNER)

WHEREAS, Stephen R. Mills, President of Bear Development, LLC having petitioned the City of Franklin for the approval of an amendment to Resolution No. 7873, to allow for the development of a condominium complex (“Woodfield Trail”), consisting of 26 dwelling units arranged in 13 side-by-side duplex structures, property located at 12000 West Loomis Road, bearing Tax Key No. 891-9011-000, more particularly described as follows:

Condominium Plat of Woodfield Trail, a Condominium. Being a part of the Southwest ¼ of the Northwest ¼ of the Northwest ¼ of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.; and

WHEREAS, such proposed amendment being from 26 dwelling units arranged in 13 side-by-side duplex structures to 13 single-family detached dwelling units; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Stephen R. Mills, President of Bear

WOODFIELD TRAIL CONDOMINIUMS – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

Page 2

Development, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Stephen R. Mills, President of Bear Development, LLC, successors and assigns, as a condominium complex development use, which shall be developed in substantial compliance with, and operated and maintained by Stephen R. Mills, President of Bear Development, LLC, pursuant to those plans dated March 8, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Stephen R. Mills, President of Bear Development, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Stephen R. Mills, President of Bear Development, LLC condominium complex development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Stephen R. Mills, President of Bear Development, LLC, and the condominium complex development use, for the property located at 12000 West Loomis Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. The pedestrian path on the south side of Ryan Road, between the future Woodfield Court and the east boundary of this development, should be included in the development agreement.

BE IT FURTHER RESOLVED, that in the event Stephen R. Mills, President of Bear Development, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a

WOODFIELD TRAIL CONDOMINIUMS – SPECIAL USE AMENDMENT

RESOLUTION NO. 2023-_____

Page 3

separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

Exhibit "A"

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

DRAFTED: MCC
DESIGNED: MCC
REVIEWED: MAC

PINNACLE ENGINEERING GROUP
 www.pinnacleengr.com
 ENGINEERING. NATURAL. RESOURCES. SOLVING.
 CHICAGO, ILLINOIS 60606-1000
 (773) 294-8888
 (773) 294-8889
 (773) 294-8888

PLAN I DESIGN I DELIVER
 www.pinnacleengr.com

WOODFIELD TRAIL

WEST RYAN ROAD, FRANKLIN, WI 53132

SITE PLAN OVERVIEW



WOODFIELD TRAIL

WEST RYAN ROAD, FRANKLIN, WI 53132

SITE PLAN OVERVIEW

REVISIONS

NO.	DESCRIPTION	DATE
1	CONSTRUCTION BULLETIN 2	12/06/22
2	ISSUE FOR PERMIT	01/07/23

PEG JOB No. 809.60
 PEG PRJ. MAC
 START DATE 01-07-22
 SCALE N.T.S.

SHEET C-3
C-22
 © COPYRIGHT 2018

GRAPHICAL SCALE (FEET)
 0 100
 1" = 80'

NORTH

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
generalplanning@franklinwi.gov
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: _____ city use only _____

COMMON COUNCIL REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: S.R. Mills	NAME: Daniel Szczap
COMPANY: Boomtown, LLC	COMPANY: Bear Development, LLC
MAILING ADDRESS: 4011 80th Street	MAILING ADDRESS: 4011 80th Street
CITY/STATE: Kenosha, WI ZIP: 53142	CITY/STATE: Kenosha, WI ZIP: 53142
PHONE: (262) 949-3788	PHONE: (262) 949-3788
EMAIL ADDRESS: dan@beardevelopment.com	EMAIL ADDRESS: dan@beardevelopment.com

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 12000 W. Loomis Road	TAX KEY NUMBER: 891-9011-000
PROPERTY OWNER: Boomtown, LLC	PHONE: (262) 949-3788
MAILING ADDRESS: 4011 80th Street	EMAIL ADDRESS: dan@beardevelopment.com
CITY/STATE: Kenosha, WI ZIP: 53142	DATE OF COMPLETION: _____ <small>office use only</small>

APPLICATION TYPE

Please check the application type that you are applying for

- Concept Review
 Comprehensive Master Plan Amendment
 Planned Development District
 Rezoning
 Special Use / Special Use Amendment
 Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.
 Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE:	APPLICANT SIGNATURE:
NAME & TITLE: S.R Mills DATE: 08/20/2023	NAME & TITLE: Daniel Szczap DATE: 08/29/2023
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: DATE:

CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

CONCEPT REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) copies of the Preliminary Site/Development Plan of the subject property(ies) and immediate surroundings on 8 1/2" X 11" or 11" X 17" paper (i.e., a scaled map identifying the subject property and immediate environs, including existing and proposed parcels, existing and proposed structures, existing and proposed land uses, existing and proposed zoning, existing and proposed infrastructure and utilities [approximate locations only], and existing and proposed site conditions/site constraints [i.e. approximate locations of public road access, rights-of-way, natural resources/green space and drainage issues/concerns, etc.]
 - Three (3) colored copies of building elevations on 11" X 17" paper if applicable.
- Email or flash drive with all plans / submittal materials.

COMPREHENSIVE MASTER PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$125 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Site Development Plan / Map, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Requires a Class I Public Hearing Notice at least 30 days before the Common Council Meeting

PLANNED DEVELOPMENT DISTRICT (PDD)

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$6,000: New PDD
 - \$3,500: PDD Major Amendment
 - \$500: PDD Minor Amendment
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, of the Site Plan Package, drawn to scale copies, on 24" x 36" paper, including Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- One (1) copy of the Site Intensity and Capacity Calculations, if applicable (see division 15-3.0500 of the UDO)
- Email or flash drive with all plans / submittal materials.
 - PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
 - Minor PDD Amendment requests require Plan Commission review and Common Council approval.

REZONING

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,250
 - \$350: one parcel residential.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Plot Plan or Site Plan, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts
 - Requires a Class II Public Hearing notice at Plan Commission.

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,500: New Special Use > 4000 square feet.
 - \$1,000: Special Use Amendment.
 - \$750: New Special Use < 4000 square feet.
- Word Document legal description of the subject property.
- Word Document legal description of the subject property.
- One copy of a response to the General Standards, Special Standards, and Considerations found in Section 15-3.0701(A), (B), and (C) of the UDO available at www.franklinwi.gov.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of the Site Plan package, drawn to scale at least 24" X 36", The submittal should include only those plans/items as set forth in Section 15-7.0101, 15-7.0301 and 15-5.0402 of the UDO that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

UNIFIED DEVELOPMENT ORDINANCE (UDO) TEXT AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Three (3) project narratives, including description of the proposed text amendment.
 - Requires a Class II Public Hearing notice at Plan Commission.
 - The City's Unified Development Ordinance (UDO) is available at www.franklinwi.gov.

August 28, 2023

Mr. Regulo Martinez-Montilva
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Dear Mr. Martinez-Montilva:

Bear Development is pleased to submit this letter and the enclosed submittal materials as formal application for a Special Use Amendment. Bear Development is acting on behalf the record owner, Boomtown, LLC.

On June 21, 2022 the City of Franklin Common Council passed Resolution 2022-7873 which approved a Special Use for a condominium development consisting of 26 dwelling units arranged in 13 duplex buildings. Based on a variety of factors including site conditions, site restraints and market demand, Boomtown, LLC is requesting that the Special Use be amended to allow a condominium development consisting of 13 single family homes.

Current Entitlements/Approvals

Zoning Classification:	R-8 Multiple Family Residence District
Special Use:	Resolution 2022-7873 (Duplex Condo Development)
Site Plan:	Plan Commission Resolution 2022-016
Landscape Buffer Easement:	Resolution 2022-7880
Conservation Easement:	Recorded Document No. 11296973 (Wetlands)
Final Engineering:	Construction Drawings dated 10/3/2022
Condominium Plat:	Condominium Plat dated 9/29/2022 (not recorded)
NRSE:	Recorded Findings, Document No. 11224509

Project Summary

The property in question, consists of Lot 1 of Certified Survey Map #9338. Certified Survey Map No. 9338 was recorded on August 6, 2021, as Document Number 11148158. Bear Development is respectfully requesting a Special Use Amendment in the R-8 Multiple Family Residence District to allow a condominium neighborhood consisting of thirteen (13) residential dwelling units.

Parcel 1

Tax Key Number: 891-9011-000
Acreage: 15.61 Acres
Current Use: Vacant
Proposed Use: Single-Family Condominiums
Zoning: R-8 Multiple Family Residence District
Special Use Request: Special Use to allow a condominium neighborhood consisting of thirteen (13) residential units.

Responses to General Standards, Special Standards and Considerations, Section 13.3.0701 (A) of the City of Franklin Unified Development Ordinance are enclosed.

We feel the Special Use requests meets the Standards set forth in the Unified Development Ordinance and will allow the site to be developed to the property's highest and best use.

The requested Amendment does not require any revisions to the approved Site Plan or Design Engineering. The Applicant is simply requesting a modification to the existing Special Use to construct thirteen (13) single family dwelling units within the approved project rather than duplex units.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Respectfully,



Daniel Szczap
Bear Development, LLC

General Standards. No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1.

Ordinance and Comprehensive Master Plan Purposes and Intent. The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

The proposed use and development are consistent and compatible with the existing zoning classification of R-8 Multiple Family Residential.

2.

No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

The proposed use and development will have no adverse or detrimental impacts on adjacent lands.

- The project has been designed using the City Engineering Standards and in compliance with the established bulk regulations of the R-8 Zoning District.
- The project includes adequate buffers from adjacent lands and STH 36.

The proposed use and development will have no adverse or detrimental impacts on the character of the area

- The general area is comprised on residential land use on W. Ryan Road from STH 36 to 124th Street
- A significant residential development, Cape Crossing, was recently approved directly across W. Ryan Road.

The proposed use and development will have no adverse or detrimental impacts on the public health, safety, morals, comfort and general welfare.

- The proposed condominium neighborhood will be served with public sanitary sewer and water, which is available at the property lines.
- The proposed use will generate minimal traffic. Per City Engineering, a Traffic Impact Analysis is not warranted.
- The proposed use is consistent with other established uses in the general area.
- The project accommodates pedestrian connectivity and the future City Trail.

The proposed use and development will not diminish and impair property values within the community or neighborhood

- The development will have a positive impact on adjacent property values.

3.

No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

The proposed condominium neighborhood is relatively small, with 13 total units. The development will not dominate the immediate vicinity.

The proposed use and development will not interfere with adjacent lands or impair their ability to develop in the future.

4.

Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

The proposed use and development will be served with public sanitary sewer (existing) and public water (being extended on W. Ryan Road). A new public street will be constructed to serve the neighborhood.

The site location is well served by City Services.

5.

No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The proposed condominium neighborhood will generate very little traffic. The impact to W. Ryan Road traffic operations will be minimal.

The project ingress/egress has been designed with input from City Engineering to ensure safe traffic operations.

6.

No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

The proposed development has been designed in a manner that will not impact any of the natural resources on the site. No wetlands will be impacted, and no tree clearing is proposed.

7.

Compliance with Standards. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed

use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

The proposed neighborhood has been designed using the R-8 Multiple Family Residential bulk regulations and Standards. In fact, it is less dense than what is allowed as a matter of right. Please see approved Site Intensity Calculations which calculate an allowed density of 48 residential dwelling units.



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION
Meeting of December 7, 2023
Special Use

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution with conditions as attached.

Project Name:	Mr. Greens BBQ Special Use
Property Owner:	Franklin Wyndham LLC
Applicant:	Thomas Green, Jr., Mr. Greens BBQ
Property Address/Tax Key Number:	7740 S Lovers Lane Rd, Suite 400 / 794 9001 000
Aldermanic District:	District 2
Agent:	Peter Ogorek, Perspective Design, Inc.
Zoning District:	CC Civic Center
Use of Surrounding Properties:	CC Civic Center (east, south, and west), R-3E Suburban/Estate Single-Family Residence District (south)
Application Request:	To allow for a meat-smoker enclosure and overnight parking for a food truck
Staff Planner:	Anna Kissel, Planning Intern, & Marion Ecks, Associate Planner, AICP

Background

The applicant is seeking a Special Use Permit for an approximately 440 sq. ft. meat-smoker enclosure and overnight parking for a food truck.

This site is part of the Shoppes at Wyndham Village. There is an existing outdoor seating area that the applicant intends to use; the meat-smoker enclosure will be adjacent to the building and outdoor seating area. The applicant plans to operate the smokers from 5am to 2pm, Tuesday through Saturday.

The food truck will serve food at off-site locations.

SPECIAL USE

The lot is zoned CC Civic Center.

- Eating places (without drive-thru facilities) is a permitted use in the CC district and the smoker enclosure is accessory to that use but may impact surrounding properties, and this requires the Special Use approval
- Overnight parking is an accessory use that needs approval from the Plan Commission

The Health Department issues the licenses for the food truck and the Retail Food Establishments. They reviewed this application and note that:

“The Retail Food Establishment is intended to be used as the service base for the food truck. Logistically, this would be the ideal place to park the truck to facilitate the food truck operation.

The outdoor smoker is approved by the Health Department with the condition that it is made of approved materials and no food processing other than smoking/cooking is conducted in this outdoor space.”

The Fire Department did not have any comment on the application.

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

Recommended Conditions of Approval

- The hours of operation for the meat-smokers shall be 5am to 2pm, Tuesday through Saturday.

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE FOR A MEAT SMOKER ENCLOSURE AND
OVERNIGHT FOOD TRUCK PARKING UPON PROPERTY
LOCATED AT 7740 S LOVERS LANE RD, SUITE 400.
(BY THOMAS GREEN, JR., MR. GREENS BBQ, APPLICANT//
FRANKLIN WYNDHAM LLC, PROPERTY OWNER)

WHEREAS, Thomas Green, Jr., Mr Greens BBQ, having petitioned the City of Franklin for the approval of a Special Use for a meat smoker enclosure and overnight food truck parking, upon property located at 7730 S Lovers Lane Rd., zoned CC Civic Center. The property which is the subject of the application bears Tax Key No. 794 9001 000 and is more particularly described as follows:

Certified Survey Map No. 9322, SE 1/4 SEC 8-5-21, Lot 1; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Thomas Green, Jr., Mr. Greens BBQ, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Thomas Green, Jr., Mr. Greens BBQ, successors and assigns, for a meat smoker enclosure and overnight food truck parking use, which shall be developed in substantial compliance

with, and operated and maintained by Thomas Green, Jr., Mr. Greens BBQ, pursuant to those plans City file-stamped August 28, 2023 and annexed hereto and incorporated herein as Exhibit A.

2. Thomas Green, Jr., Mr. Greens BBQ, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Thomas Green, Jr., Mr. Greens BBQ, meat smoker enclosure and overnight food truck parking Special Use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Thomas Green, Jr., Mr. Greens BBQ, meat smoker enclosure and overnight food truck parking Special Use for the property located at 7740 S Lovers Lane Rd., Suite 400: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event Thomas Green, Jr., Mr. Greens BBQ, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

THOMAS GREEN, JR., MR. GREENS BBQ – SPECIAL USE
RESOLUTION NO. 2023-_____

Page 3

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:

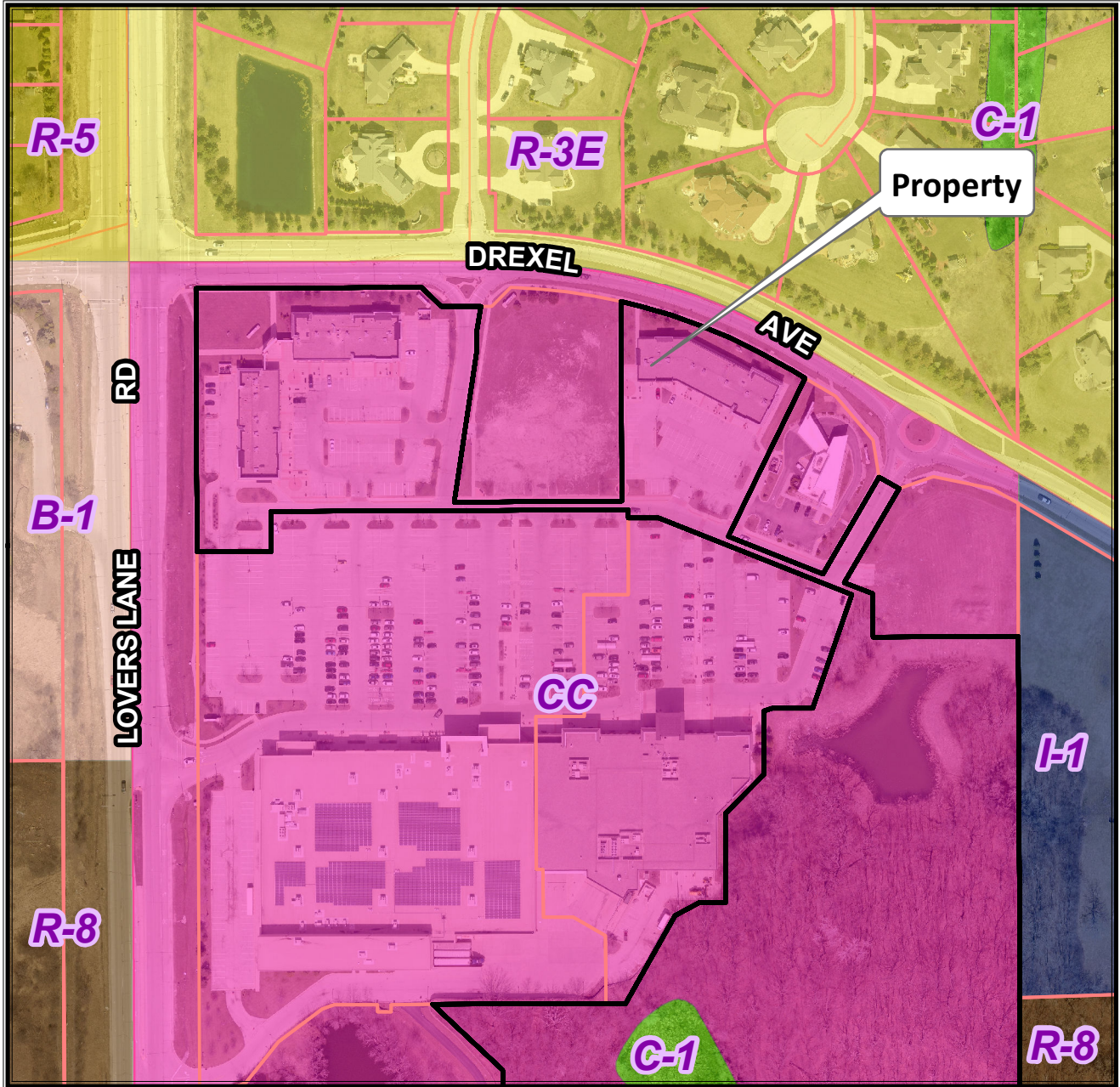
John R. Nelson, Mayor

ATTEST:

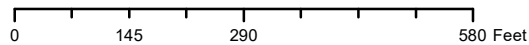
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

7740 S. Lovers Lane Road
TKN: 794 9001 000

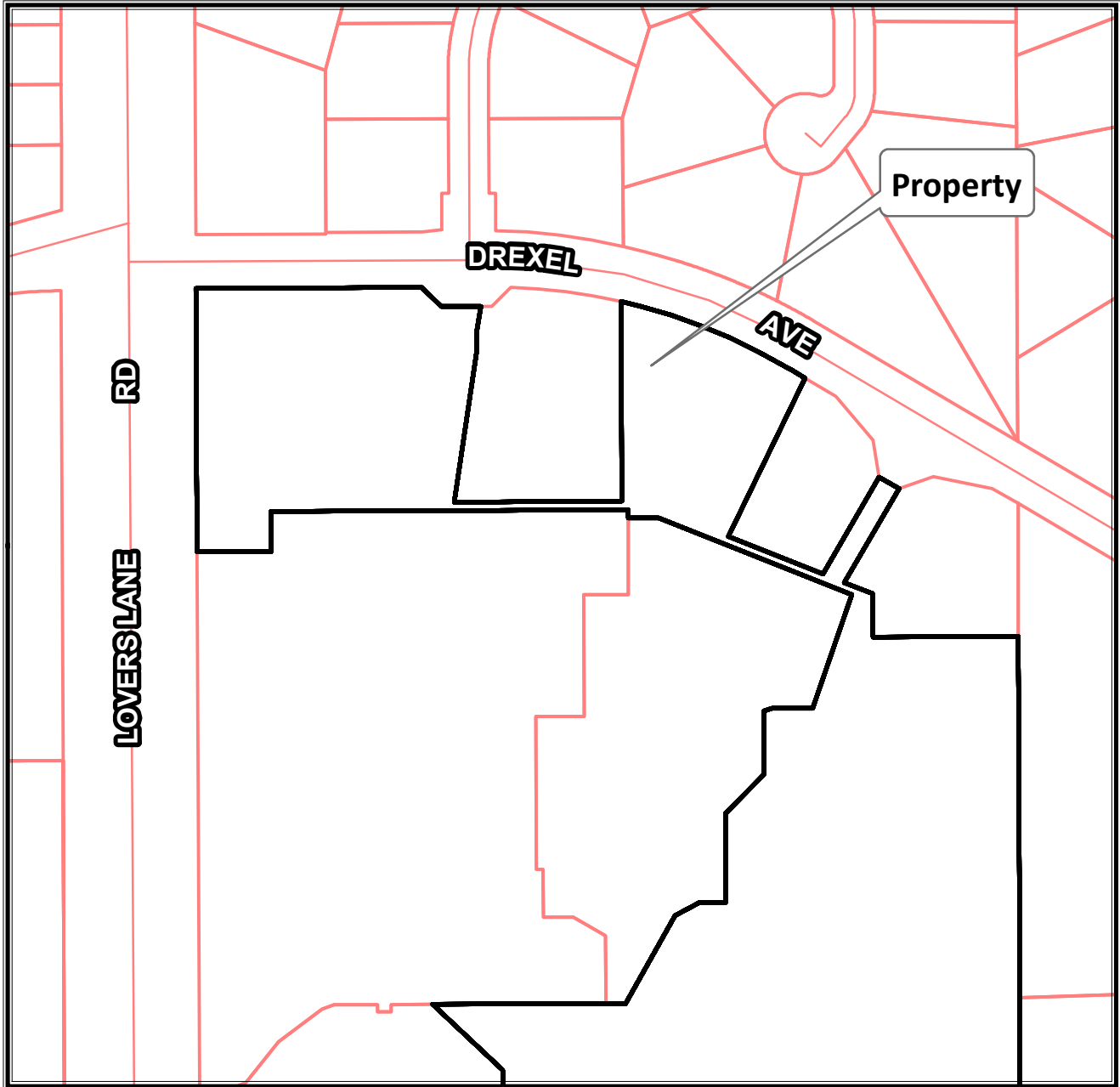


Planning Department
(414) 425-4024

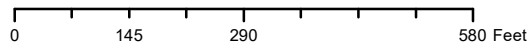


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7740 S. Lovers Lane Road
TKN: 794 9001 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: _____ city use only

COMMON COUNCIL REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Thomas Green Jr.	NAME: Peter Ogorek
COMPANY: MR GREENS BBQ	COMPANY: Perspective Design, Inc.
MAILING ADDRESS: 149 E. Ontario St.	MAILING ADDRESS: 11525 W North Ave
CITY/STATE: Oak Creek/ Wisconsin ZIP: 53154	CITY/STATE: Wauwatosa, WI ZIP: 53226
PHONE: (414) 305-1444	PHONE: 414-302-1780 x203
EMAIL ADDRESS: mrgreens@mrgreenttd.com	EMAIL ADDRESS: pogorek@pdi-arch.com

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 7740 S Lovers Lane Road, Suite 400	TAX KEY NUMBER: 794-9001-000
PROPERTY OWNER: Franklin-Wyndham LLC	PHONE: (847) 272-3300
MAILING ADDRESS: 666 Dundee Road, Suite 901	EMAIL ADDRESS: rec@cleafgroup.com
CITY/STATE: Northbrook / IL ZIP: 60062	DATE OF COMPLETION: office use only

APPLICATION TYPE

Please check the application type that you are applying for

- Concept Review
 Comprehensive Master Plan Amendment
 Planned Development District
 Rezoning
 Special Use / Special Use Amendment
 Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.

Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

- I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: Franklin-Wyndham, LLC By: The Cloverleaf Real Estate Group, Inc., Manager	APPLICANT SIGNATURE:
NAME & TITLE: Ross Cosyns, VP DATE: 8/15/2023	NAME & TITLE: Thomas Green/owner DATE: 8-15-23
PROPERTY OWNER SIGNATURE: 	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: Peter Ogorek, Pres. DATE: 8/15/23

CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

CONCEPT REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) copies of the Preliminary Site/Development Plan of the subject property(ies) and immediate surroundings on 8 1/2" X 11" or 11" X 17" paper (i.e., a scaled map identifying the subject property and immediate environs, including existing and proposed parcels, existing and proposed structures, existing and proposed land uses, existing and proposed zoning, existing and proposed infrastructure and utilities [approximate locations only], and existing and proposed site conditions/site constraints [i.e. approximate locations of public road access, rights-of-way, natural resources/green space and drainage issues/concerns, etc.]
 - Three (3) colored copies of building elevations on 11" X 17" paper if applicable.
- Email or flash drive with all plans / submittal materials.

COMPREHENSIVE MASTER PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$125 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Site Development Plan / Map, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Requires a Class I Public Hearing Notice at least 30 days before the Common Council Meeting

PLANNED DEVELOPMENT DISTRICT (PDD)

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$6,000: New PDD
 - \$3,500: PDD Major Amendment
 - \$500: PDD Minor Amendment
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, of the Site Plan Package, drawn to scale copies, on 24" x 36" paper, including Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- One (1) copy of the Site Intensity and Capacity Calculations, if applicable (see division 15-3.0500 of the UDO)
- Email or flash drive with all plans / submittal materials.
 - PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
 - Minor PDD Amendment requests require Plan Commission review and Common Council approval.

REZONING

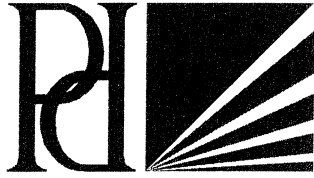
- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,250
 - \$350: one parcel residential.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Plot Plan or Site Plan, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts
 - Requires a Class II Public Hearing notice at Plan Commission.

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,500: New Special Use > 4000 square feet.
 - \$1,000: Special Use Amendment.
 - \$750: New Special Use < 4000 square feet.
- Word Document legal description of the subject property.
- One copy of a response to the General Standards, Special Standards, and Considerations *found in Section 15-3.0701(A), (B), and (C) of the UDO available at www.franklinwi.gov.*
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of the Site Plan package, drawn to scale at least 24" X 36", *The submittal should include only those plans/items as set forth in Section 15-7.0101, 15-7.0301 and 15-5.0402 of the UDO that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.*
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

UNIFIED DEVELOPMENT ORDINANCE (UDO) TEXT AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Three (3) project narratives, *including description of the proposed text amendment.*
 - Requires a Class II Public Hearing notice at Plan Commission.
 - The City's Unified Development Ordinance (UDO) is available at www.franklinwi.gov.



PERSPECTIVE
DESIGN, INC.

11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Project Narrative

Date: 08/15/23
Project Name: Mr. Greens BBQ
Address: 7740 S Lovers Lane Road, Suite 400
Franklin, WI 53132

Project Narrative:

This project includes a special use approval to a previously approved outdoor dining area adjacent to suite 400 (restaurant). We are proposing an exterior fenced-in smoker enclosure for screening and security, with a double barrel and single barrel smoker inside. In addition, we are requesting approval for overnight parking in a designated parking location for the operator's food truck/trailer. The food truck/trailer will serve food at off-site locations.

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The proposed use will be in compliance with the general and specific purposes of the zoning district and the Comprehensive Master Plan. This use will be an outdoor dining with linking indoor/outdoor spaces. The highest ranked preferred commercial businesses in the Comprehensive Master Plan were dining, specialty shops, and small privately owned businesses. These preferred commercial businesses would all be satisfied by this use. The proposed use will be mixed-use and pedestrian orientated, which would provide urban characteristics in a suburban area.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: This use will not cause any undue adverse impacts on adjacent properties or the surrounding area. It will be enclosed and screened.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The construction of the proposed site development will not interfere with surrounding developments.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The proposed use is currently served by adequate public facilities & services, and will continue to have adequate facilities.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: This use will not impact existing traffic. The proposed layout operates using the same existing traffic pattern and ingress/egress that was previously established without any increase in flow / congestion.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed use is located on a previously approved outdoor area and will not affect anything outside of that area. It will also be screened to maintain visual appeal and security.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The proposed use will conform with all other respects of the Zoning Ordinance, as may-be modified by the common council.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: There are no special standards for the specialized use.

C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: There is an unmet need for a BBQ restaurant in this area of the city. Th proposed use is consistent with the public's desire as shown by the Comprehensive Master Plan priorities.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: The proposed location is the best place to achieve the goals of the function due to its location in a large shopping area as well as it being a previous BBQ restaurant.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: This use is being proposed in a previously approved outdoor area where there is existing landscape screening on site. There will also be additional screening provided with an enclosure for the smokers in a fenced area that provides both screening and security.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The proposed use is appropriate at this location and will not promote or encourage incompatible uses in surrounding areas.



**PERSPECTIVE
DESIGN, INC.**

11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Legal Description

Project Name: Mr. Greens BBQ
Address: 7740 S Lovers Lane Road, Suite 400
Franklin, WI 53132

Parcel Number: 794-9001-000

Municipality: City of Franklin

Owner Name: Franklin-Wyndham LLC

Owner Address: 666 Dundee Rd Suite 901

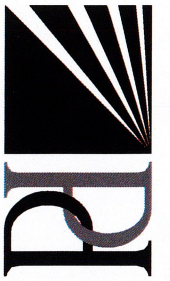
Legal Description: Certified survey map no. 9322, SE 1/4 SEC 8-5-21, Lot 1



PROPOSED FENCE ENCLOSURE RENDERING

1

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Drawing Title:
NEW FENCE
RENDERING

THIS
BOX IS
1/2" x 1/2"

Date: 8/15/23

Scale: NONE

Drawn: MJ

Job: 23-063

Sheet:

R1.0

Mr. Greens BBQ

7740 S Lovers Lane, Suite 400
Franklin, WI 53132



PERSPECTIVE
DESIGN, INC.

11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Mr. Greens BBQ

7740 S Lovers Lane Road, Suite 400
Franklin, WI 53132

Site Development

August 15, 2023

Supporting Documents

View of Existing Site from the North:



Looking towards proposed fenced in smoker location

View of Existing Site from the Northwest:



Looking towards proposed fenced in smoker location

Food Truck:



Mr. Greens food truck where it would be place on-site

Existing Trash Enclosure:



Existing trash enclosure fencing / gate (Proposed fence enclosure to be similar)

New Smoker Enclosure Fencing:



New Trex composite fencing around smokers (Similar to trash enclosure gate)

Single Barrel Smoker:



Single smoker to be located inside the enclosure

Double Barrel Smoker:

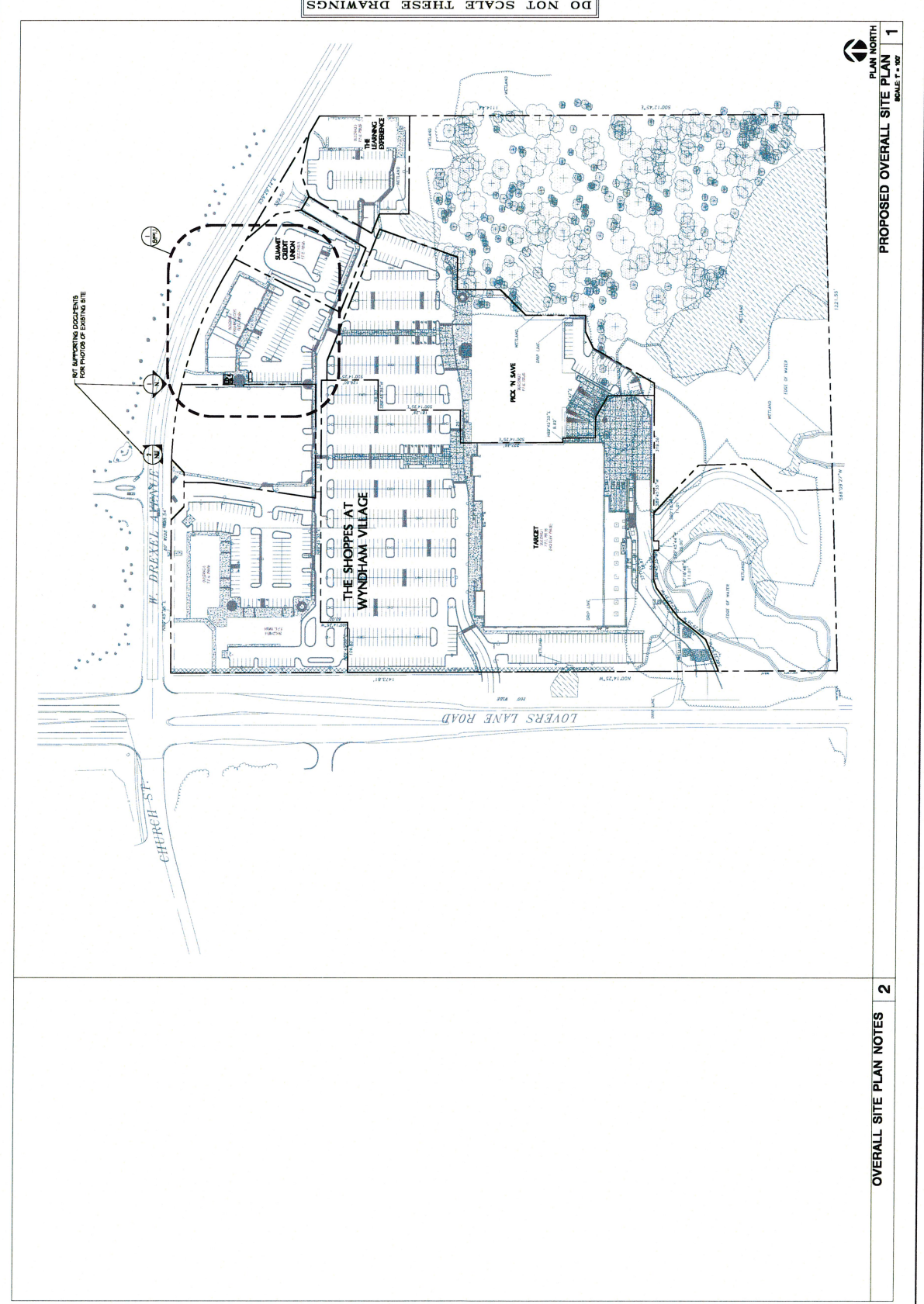


Double smoker to be located inside the enclosure

SP1.0 Sheet:		Date: 06/26/23 Scale: NOTED Drawn: MJJ Job: 23-003	Drawing Title: OVERALL SITE PLAN	PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel: (414) 302-1750 Fax: (414) 302-1791	This Development for: Mr. Greens BBO 7740 S Lovers Lane Rd, Suite 400 Franklin, WI 53132	Project: Description: Rev # Rev Date
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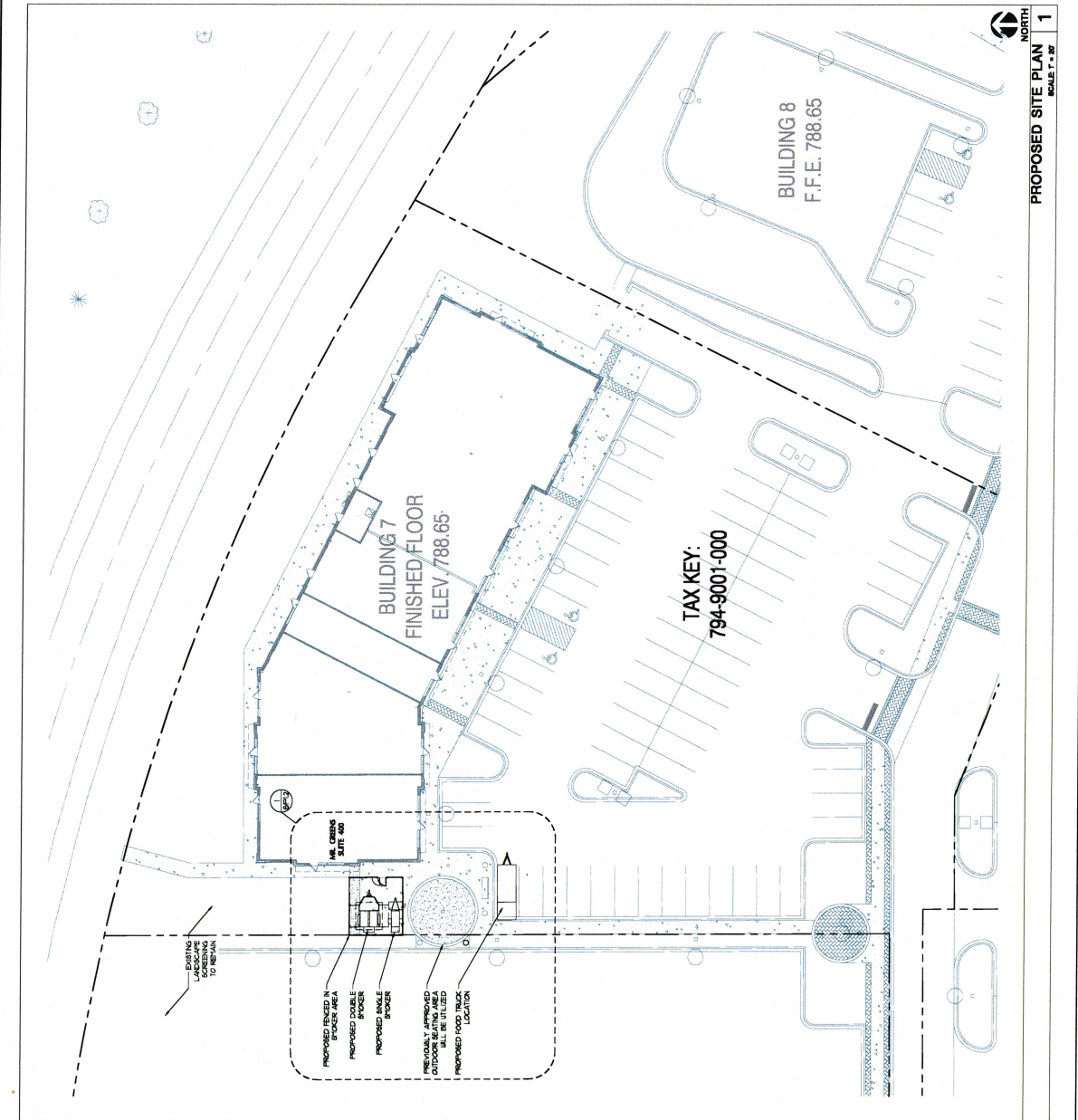
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NOT FOR CONSTRUCTION

ALL SIZE PRINT - 24" x 36" SHEET
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PLAN NORTH
 PROPOSED OVERALL SITE PLAN
 SHEET 1 OF 1

OVERALL SITE PLAN NOTES 2



PROPOSED SITE PLAN
SCALE: 1" = 80'

SITE PLAN NOTES 2

PERPECTIVE DESIGN, INC. 11525 W. North Avenue Milwaukee, WI 53226 TEL: (414) 302-1780 FAX: (414) 302-1781		Drawing Title: SITE PLAN	Date: 08/16/23 Scale: NOTED Drawn: MJ Job: 23-063 Sheet:
Project: Mr. Greens BBQ 7740 S Lovers Lane Rd, Suite 400 Franklin, WI 53132		Site Development for:	Sheet: SP1.1
NEW REV.	DESCRIPTION	NEW DATE	NEW BY

FULL SIZE PRINT = 34" x 58" SHEET
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- PRELIMINARY -
 FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION



CITY OF FRANKLIN

REPORT TO THE PLAN COMMISSION

Meeting of December 7, 2023

Special Use

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution with conditions as attached.

Project Name:	AK Developers Special Use
Property Owner:	Franklin Wyndham LLC
Applicant:	Dharmesh Ghelani, AK Developers LLC
Property Address/Tax Key Number:	7730 S Lovers Lane Rd, Suite 200 / 794 9999 007
Aldermanic District:	District 2
Agent:	Nick Fuchs, Wrayburn Consulting
Zoning District:	CC Civic Center
Use of Surrounding Properties:	CC Civic Center (east, south, and west), R-3E Suburban/Estate Single-Family Residence District (south)
Application Request:	To allow for liquor, tobacco, & misc. retail sales
Staff Planner:	Anna Kissel, Planning Intern, & Marion Ecks, Associate Planner, AICP

Background

The applicant is seeking a Special Use Permit for an approximately 3,500 sq. ft. liquor, tobacco, & miscellaneous retail sale use. This site is part of the Shoppes at Wyndham Village; it is currently vacant. The site plan included in the meeting packet is a conceptual plan for a development with three businesses: a previously approved Dairy Queen and two future tenant spaces. The proposed hours of operation for tenant space(s) and Special Uses are no later than 9:00pm.

SPECIAL USE

The lot is zoned CC Civic Center.

- Liquor stores (SIC code: 5921) is a Special Use in this district.
- Tobacco stores (SIC code: 5993) is a Special Use in this district.
- Miscellaneous retail sales (SIC code: 5999) is a Special Use in this district.

Staff notes the following:

- The applicant has provided required responses to, and complies with, the standards of §15-3.0701: General Standards for Special Uses.
- The development is consistent with the existing zoning requirements, and Future Land Use Comprehensive Master Plan intent for the district (§15-7.0102.M).

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design, and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

Recommended Conditions of Approval

- *The hours of operation for business within the development shall be limited to no later than 9:00 P.M.*

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE FOR LIQUOR, TOBACCO, & MISC. RETAIL
SALES UPON PROPERTY LOCATED AT 7730 S. LOVERS LANE RD.
(BY DHARMESH GHELANI, AK DEVELOPERS LLC, APPLICANT//
FRANKLIN WYNDHAM LLC, PROPERTY OWNER)

WHEREAS, Dharmesh Ghelani, AK Developers, LLC, having petitioned the City of Franklin for the approval of a Special Use for liquor, tobacco, and miscellaneous retail sales, upon property located at 7730 S Lovers Lane Rd., zoned CC Civic Center. The property which is the subject of the application bears Tax Key No. 794 9999 007 and is more particularly described as follows:

Lot 3 of Certified Survey Map No. 8567, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on November 21, 2013. As Document No. 10315111; being a Redivision of Lot 1 of Certified Survey Map No. 8000, being a Redivision of Parcel 1 of Certified Survey Map 5762, Certified Survey Map No. 377, and lands in the Southwest Quarter and the Northwest Quarter of the Southeast Quarter of Section 8, Township 5 North, Range 21 East; said lands being in the City of Franklin, County of Milwaukee, State of Wisconsin; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Dharmesh Ghelani, AK Developers, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Dharmesh Ghelani, AK Developers, LLC, successors and assigns, for a liquor, tobacco, & miscellaneous retail sales use, which shall be developed in substantial compliance with, and operated and maintained by Dharmesh Ghelani, AK Developers, LLC, pursuant to those plans City file-stamped October 27, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Dharmesh Ghelani, AK Developers, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Dharmesh Ghelani, AK Developers, LLC liquor, tobacco, & miscellaneous retail sales Special Use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Dharmesh Ghelani, AK Developers, LLC liquor, tobacco, & miscellaneous retail sales Special Use for the property located at 7730 S Lovers Lane Rd.: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. The hours of operation for business(es) with any of the approved Special Uses shall be limited to no later than 10:00 P.M.

BE IT FURTHER RESOLVED, that in the event Dharmesh Ghelani, AK Developers, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the

Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:

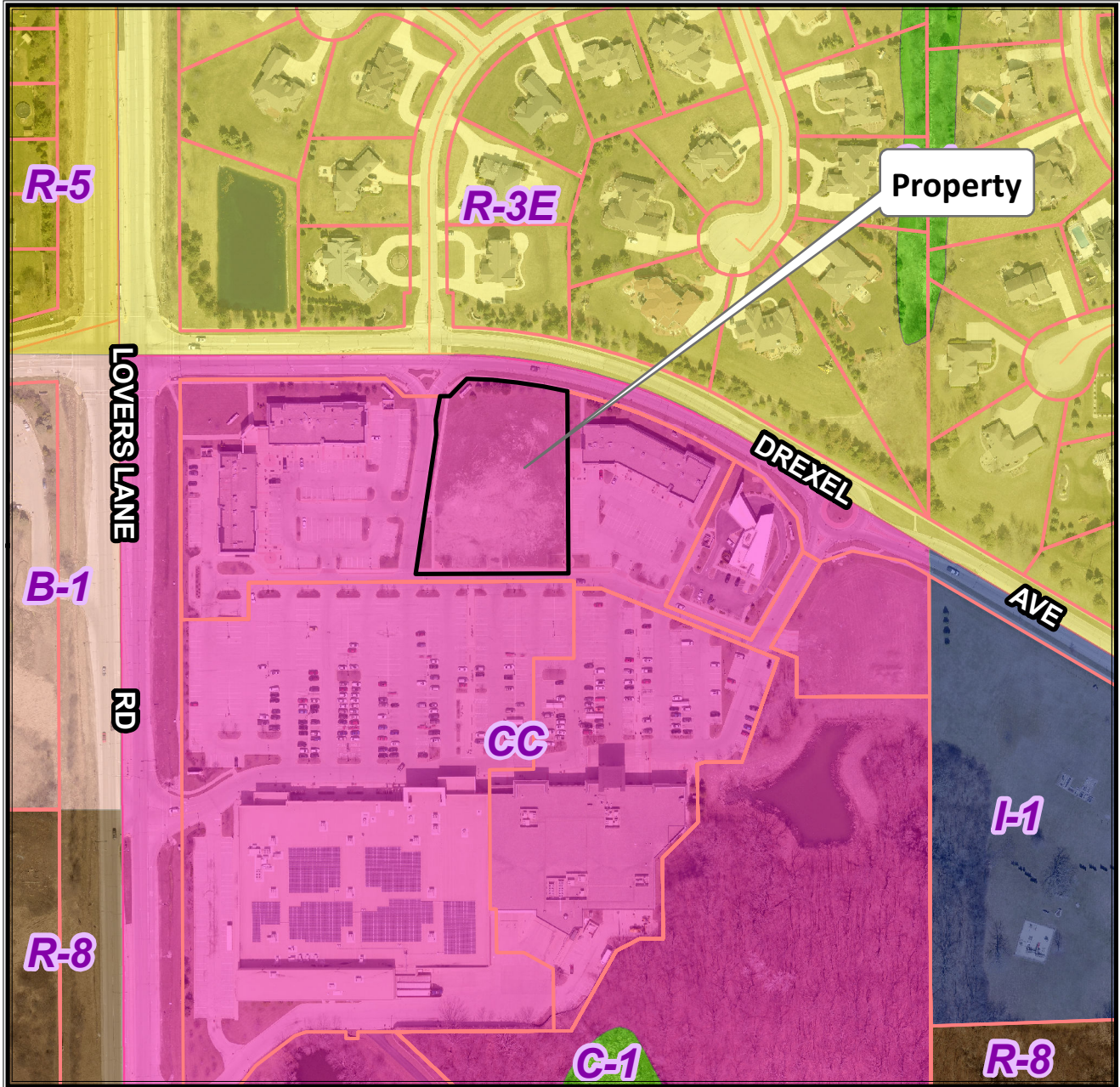
John R. Nelson, Mayor

ATTEST:

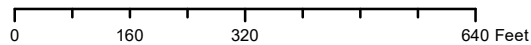
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

7730 S. Lovers Lane Road
TKN: 794 9999 007

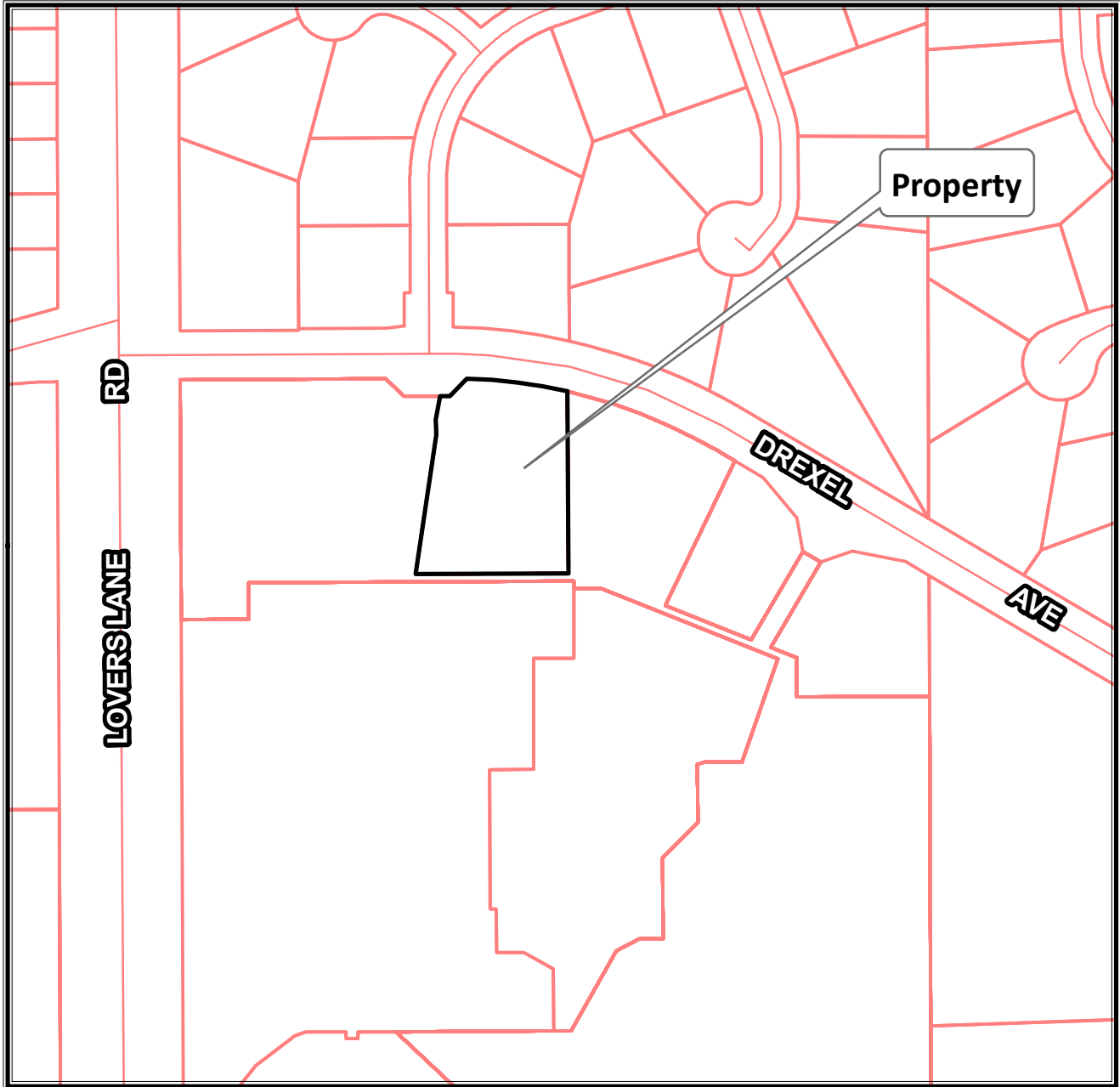


Planning Department
(414) 425-4024

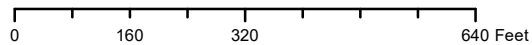


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7730 S. Lovers Lane Road
TKN: 794 9999 007



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: _____

STAMP DATE: _____ city use only

COMMON COUNCIL REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: DHARMESH GHELANI	NAME: NICHOLAS FUCHS
COMPANY: AK DEVELOPERS LLC	COMPANY: WRAYBURN CONSULTING
MAILING ADDRESS: 5514 W RIVER PARK CT	MAILING ADDRESS: 2000 Fairhaven Boulevard
CITY/STATE: FRANKLIN, WI ZIP: 53132	CITY/STATE: Elm Grove, WI ZIP: 53122
PHONE: 6306243545	PHONE: 262-442-4327
EMAIL ADDRESS: DGHELANI@YAHOO.COM	EMAIL ADDRESS: nfuchs@wrayburnconsulting.com

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 7730 S Lovers Ln Rd, Ste 200	TAX KEY NUMBER: 794-9999-007
PROPERTY OWNER: AK Developers LLC	PHONE: 6306243545
MAILING ADDRESS: 5514 W River Park Ct	EMAIL ADDRESS: dghelani@yahoo.com
CITY/STATE: Franklin, WI ZIP: 53132	DATE OF COMPLETION: _____ office use only

APPLICATION TYPE

Please check the application type that you are applying for

- Concept Review
 Comprehensive Master Plan Amendment
 Planned Development District
 Rezoning
 Special Use / Special Use Amendment
 Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.
 Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

- I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE: 9-7-23
NAME & TITLE: Dharmesh Ghelani, President DATE: 9/07/23	NAME & TITLE: Nicholas Fuchs, Consultant DATE: 09/07/23
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: DATE:

CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

CONCEPT REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) copies of the Preliminary Site/Development Plan of the subject property(ies) and immediate surroundings on 8 ½" X 11" or 11" X 17" paper (i.e., a scaled map identifying the subject property and immediate environs, including existing and proposed parcels, existing and proposed structures, existing and proposed land uses, existing and proposed zoning, existing and proposed infrastructure and utilities [approximate locations only], and existing and proposed site conditions/site constraints [i.e. approximate locations of public road access, rights-of-way, natural resources/green space and drainage issues/concerns, etc.])
 - Three (3) colored copies of building elevations on 11" X 17" paper if applicable.
- Email or flash drive with all plans / submittal materials.

COMPREHENSIVE MASTER PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$125 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Site Development Plan / Map, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Requires a Class I Public Hearing Notice at least 30 days before the Common Council Meeting

PLANNED DEVELOPMENT DISTRICT (PDD)

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$6,000: New PDD
 - \$3,500: PDD Major Amendment
 - \$500: PDD Minor Amendment
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, of the Site Plan Package, drawn to scale copies, on 24" x 36" paper, including Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- One (1) copy of the Site Intensity and Capacity Calculations, if applicable (see division 15-3.0500 of the UDO)
- Email or flash drive with all plans / submittal materials.
 - PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
 - Minor PDD Amendment requests require Plan Commission review and Common Council approval.

REZONING

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,250
 - \$350: one parcel residential.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Plot Plan or Site Plan, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts
 - Requires a Class II Public Hearing notice at Plan Commission.

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,500: New Special Use > 4000 square feet.
 - \$1,000: Special Use Amendment.
 - \$750: New Special Use < 4000 square feet.
- Word Document legal description of the subject property.
- One copy of a response to the General Standards, Special Standards, and Considerations *found in Section 15-3.0701(A), (B), and (C) of the UDO available at www.franklinwi.gov.*
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of the Site Plan package, drawn to scale at least 24" X 36", *The submittal should include only those plans/items as set forth in Section 15-7.0101, 15-7.0301 and 15-5.0402 of the UDO that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.*
 - One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

UNIFIED DEVELOPMENT ORDINANCE (UDO) TEXT AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Three (3) project narratives, *including description of the proposed text amendment.*
 - Requires a Class II Public Hearing notice at Plan Commission.
 - The City's Unified Development Ordinance (UDO) is available at www.franklinwi.gov.



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

2000 Fairhaven Boulevard

Elm Grove, WI 53122

262-442-4327

October 27, 2023

Project Narrative: Special Use Application for a proposed retail use

We are proposing to construct an approximately 8,298 square foot multi-tenant retail building upon property located at 7730 S. Lovers Lane Road within the Shoppes at Wyndham Village development.

Two specific tenants are currently anticipated, and a third tenant is yet to be determined. One tenant is a Dairy Queen Grill and Chill. A Special Use Permit was submitted for the proposed drive-through associated with the restaurant. The drive-through use received a recommendation of approval at the September 7, 2023 Plan Commission meeting and final approval by the Common Council at their September 19, 2023 meeting.

The second use, which is the subject of this application, is a retail store, primarily selling liquor and tobacco products. Below is a table of Standard Industrial Classification Codes that this use falls under, which are allowed as a Special Use within the City Civic Center District.

SIC Code Classification	Allowance within the CC District
SIC Code No. 5921 Liquor Stores	Special Use
SIC Code No. 5993 Tobacco Stores	Special Use
SIC Code No. 5999 Miscellaneous Retail	Special Use

The proposed business is expected to have 3 employees and hours of operations from 9:00 a.m. to 9:00 p.m. It is also anticipated that about 70% of sales will be from the liquor store operation, about 25% from tobacco, and about 5% from miscellaneous items.

The owner intends to apply for a Class A Liquor License, which is the same license acquired by Pick 'N Save for liquor and tobacco sales and Target for liquor sales. The proposed retail use fits in and is consistent with the other retail uses within the Shoppes at Wyndham Village development.

Responses to Section 15-3.0701, General Standards for Special Uses, have been provided as well as a conceptual site and floor plans.



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

2000 Fairhaven Boulevard

Elm Grove, WI 53122

262-442-4327

It should be noted that it is our intent to maintain and preserve the existing landscape buffer along the north property line. Moreover, hours of operations will be limited to 9:00 p.m. for this retail use, which is earlier than concurrently proposed restaurant and drive-through use. Furthermore, any illumination and illuminated signage will be shut off within the same timeframe as the other tenants within the development.

Sufficient parking will be provided as demonstrated on the site plan, and lighting will be designed and consistent with the existing lighting at the shopping center. As such, there are no adverse impacts to the surrounding area. Detailed site and building plans will be submitted following approval of the Special Use.

We have also provided information and addressed all comments contained within the City's comment letter dated October 25, 2023. This includes the Fire Department comments which are understood and will be met.

Sincerely,

Nick Fuchs

Nick Fuchs

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The subject property is zoned CC City Civic Center District, which is intended to serve as the new “downtown” of the City. The district promotes mixed-use development, including retail uses. The proposed use fits in and is consistent with existing uses located within the Shoppes at Wyndham Village development. Furthermore, the site design and building architecture will be consistent with the characteristics of the developed areas of the shopping center as well as the intent of the CC District.

The zoning and this proposed use is consistent with the City’s Comprehensive Master Plan and future land use designation of Mixed Use. There are many goals and objectives of the Comprehensive Master Plan met by this development including #1, #2, #5, #6, #7, #8, #9, #10, #11, #12, #14, #15, #19, and #22 of Chapter 2 of said plan.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The proposed use will be located within a multi-tenant retail building. The proposed site plan and architecture of the building will be consistent with the existing developments within the shopping center. Furthermore, bufferyards have already been established and will be maintained and improved as part of this development.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The proposed use will be located within a multi-tenant retail building, which is designed to match and be consistent with the existing buildings and sites within the Shoppes at Wyndham Village shopping center.

The subject property is planned for retail uses, similar to that of the surrounding properties within the development. As such, the proposed use

and development will not interfere with surrounding developments, but rather fill a vacant outlot within an existing development.

Furthermore, all zoning district regulations will be met, and the use and development will not impact the use and development of any adjacent properties, which are currently fully developed and improved.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The Shoppes at Wyndham Village is a fully developed and serviced shopping center, except for this last outlot. The development already has all the amenities and public facilities listed above, including public sewer and water.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: There will be a minimum of two points of ingress and egress to the outlot, which allows customers and traffic to safely and adequately enter and exit the site. The access to the site is within the development itself. There is no direct access to a public street.

The site plan illustrates sufficient queuing for the other restaurant use, which is located around the building and in a manner not to block parking stalls or cause any congestion onsite for this use or any other future tenants.

The Shoppes at Wyndham Village is accessible from major roadways, S. Lovers Lane Road (HWY 100) and West Drexel Avenue. No traffic is required to enter or exit through residential streets.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed use and development is located within an outlot of the Shoppes at Wyndham Village development. This is a ready to build site within this existing development. The site has been planned for development since the shopping center was originally constructed. As such, there is no destruction or loss or damage to any protected natural resources.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional

standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The proposed use and development of the site will comply with all City Civic Center District standards as well as all other applicable standards of the Unified Development Ordinance.

- B. Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response No special standards are listed within Section 15-3.0702 as these are for uses located within Residential Districts.

The proposed retail use is not a specifically listed special use within Section 15-3.0703. As such, there are no additional standards to address. With that said, the proposed use and development will comply with all applicable standards of the Unified Development Ordinance.

- C. Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

- 1. Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The proposed use is a retail use that is compatible with the other retail uses within the shopping center. Moreover, the additional customer base and traffic will benefit the other uses within the development.

It is also a benefit to the community and this development to improve the subject vacant outlot and to add to the mix of tenants and uses within the existing shopping center. The use provides additional options for residents to purchase liquor, tobacco, and other products sold at this location.

The development also adds to the Community's tax base and positively contributes to the City's 70/30 tax goal.

- 2. Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: There may be other possible retail locations; however, this site lends itself to this proposed use as it is a retail use locating within a well-established retail shopping center. There is no reason to believe that a similar retail

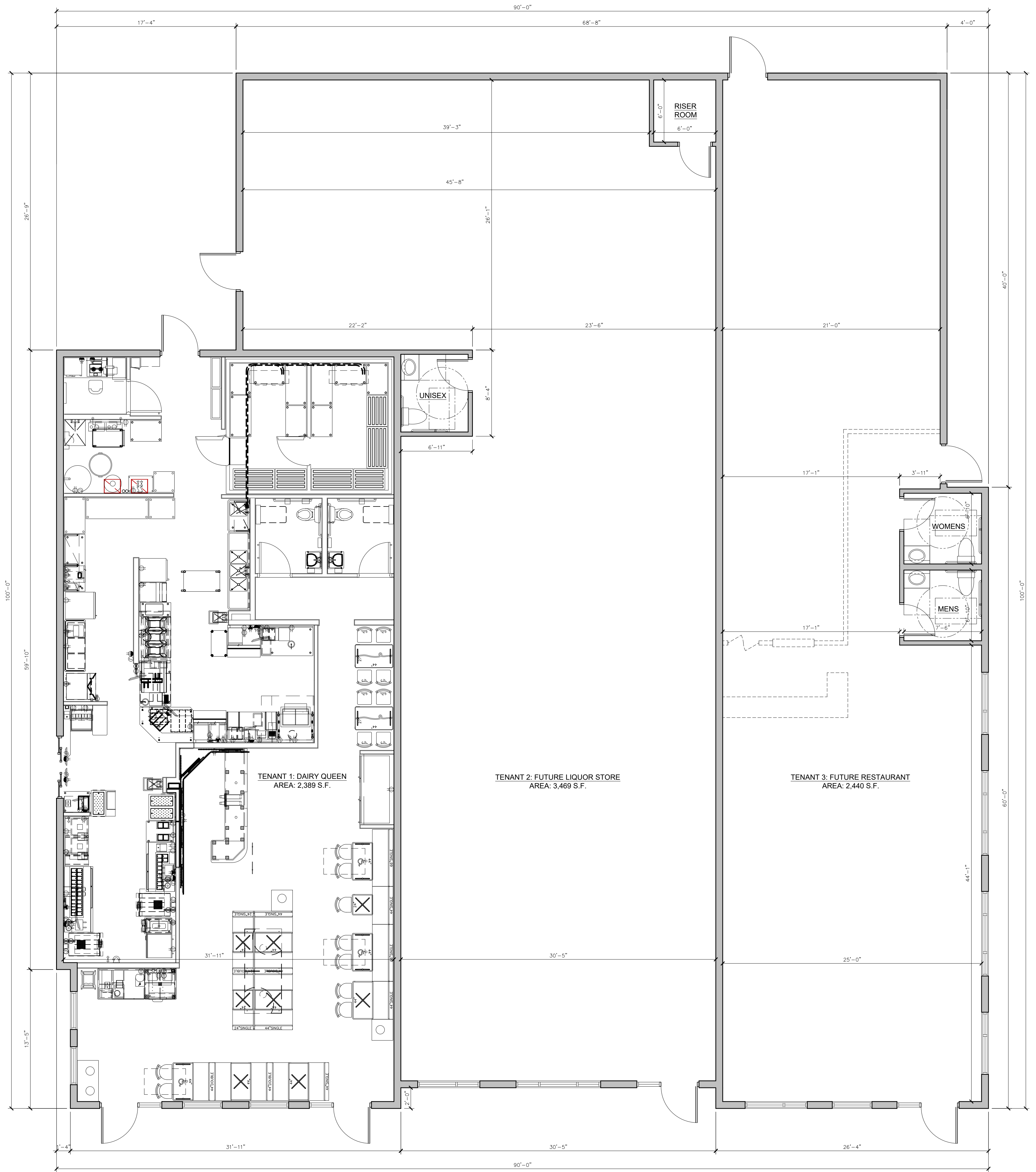
development would provide any more or less benefits than the subject property. This development and, in part the proposed use, will finally complete and result in the full development of the Shoppes at Wyndham Village.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The proposed development will maintain and improve upon the existing landscape buffer by adding landscaping to the site. Site lighting will be designed in a manner consistent with the existing lighting of the development and will consider the residential uses to the north. Hours of operations will be kept within a timeframe that will not adversely impact any surrounding uses, including the residential subdivision to the north. Ingress and egress to the site is internal to the development with no direct access to public streets. Moreover, the adjacent arterial streets are more than adequate to support any additional traffic to the site.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The proposed use is a retail use within an existing retail development. It is consistent and compatible with all uses within this development. It is not a use that is more intense than other uses. The proposed use will rather have a positive impact to the shopping center by bringing more people and customers the development and other businesses.



TENANT 1: DAIRY QUEEN
AREA: 2,389 S.F.

TENANT 2: FUTURE LIQUOR STORE
AREA: 3,469 S.F.

TENANT 3: FUTURE RESTAURANT
AREA: 2,440 S.F.

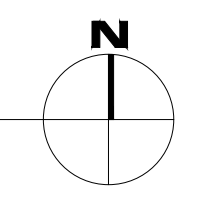
UNISEX

RISER ROOM

WOMENS

MENS

1 FLOOR PLAN
SCALE: 3/16" = 1'-0"
GROSS BUILDING AREA: 6,298 S.F.



envision design
ARCHITECTURE

FRANKLIN TENANT BUILDING
W. DREXEL AVE
FRANKLIN, WI

SHEET TITLE
FIRST FLOOR PLAN

REVISIONS	
XX.XX.XXXX	XX.XX.XXXX
XX.XX.XXXX	XX.XX.XXXX
XX.XX.XXXX	XX.XX.XXXX
XX.XX.XXXX	XX.XX.XXXX
XX.XX.XXXX	XX.XX.XXXX

PROJECT NUMBER	...
SET USE	SCHEMATIC
DATE	09.08.2023
SHEET	

A2.1



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION
Meeting of December 7, 2023
Special Use

Item C.8.

RECOMMENDATION: City Development Staff recommends approval of this Special Use application subject to the conditions set forth in this staff report and the attached resolution.

Project name: On Cloud Wine – Special Use
Property Owner: Park Place Holdings
Applicant: Randy Larson, On Cloud Wine
Property Address/TKN: 10064 W. Loomis Rd. / 841 0073 000
Aldermanic District: District 6
Zoning District: PDD 26 – Deerwood Woodlake Towering Oaks
Staff Planner: Anna Kissel, Planning Intern

Project Description/Analysis

Special Use request to allow for a wine bar in the multi-tenant building located in the PDD 26 zoning district. Wine bars are classified as “drinking places (without drive-through facilities)” under Standard Industrial Classification (SIC) Title No. 5813, which requires a special use permit in the PDD 26 zoning district.

The proposed use would be located in one of the central tenant spaces in the building. According to the project narrative, the applicant is not proposing any exterior improvements at this time.

The applicant has submitted a substantially complete application for a special use permit, allowing for Section § 15-3.0701 of the Unified Development Ordinance sets out the General Standards for Special Uses.

City Development staff does not anticipate adverse impacts to adjacent properties.

Staff Recommendation:

City Development Staff recommends approval of this Special Use application subject to the following conditions:

- The hours of operation be limited to no later than 10:00 p.m. Wednesdays through Saturdays.

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR A DRINKING PLACE (WITHOUT
DRIVE-THROUGH FACILITIES) USE UPON PROPERTY LOCATED
AT 10064 W. LOOMIS ROAD,
(RANDY LARSON, ON CLOUD WINE; APPLICANT)

WHEREAS, Randy Larson, On Cloud Wine, having petitioned the City of Franklin for the approval of a Special Use within the Planned Development District 26 – Deerwood Woodlake Towering Oaks, under Standard Industrial Classification Title No. 5813 “Drinking Place (without drive-through facilities)”, to operate an wine bar facility with proposed hours of operation Wednesday through Friday, from 3:00 p.m. to 9:00 p.m. and Saturdays 3:00 p.m. to 10:00 p.m., located at 10064 W. Loomis Rd., bearing Tax Key No. 841-0073-000, more particularly described as follows:

Lot 1, Deerwood Preserve Addition No. 1, being a redivision of Lot 1 and Outlots 1, 2, 3, and 5 of Deerwood Preserve, also being a redivision of Parcels 1 and 2 and Outlot 1 of Certified Survey Map No. 5228, all lands being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4, and Northwest 1/4 of the Southwest 1/4 of Section 17 and in part of the Northeast 1/4 of the Northwest 1/4 of Section 20, Town 5 North, Range 21 East. Said land being in the City of Franklin, County of Milwaukee, and State of Wisconsin.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

RANDY LARSON, ON CLOUD WINE – SPECIAL USE
RESOLUTION NO. 2023-_____

Page 2

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Randy Larson, On Cloud Wine, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property On Cloud Wine, successors and assigns, as a drinking place (without drive-through facilities) use, which shall be developed in substantial compliance with, and operated and maintained by On Cloud Wine, pursuant to the application materials City file-stamped October 20, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Randy Larson, On Cloud Wine, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the On Cloud Wine drinking place (without drive-through facilities) use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon On Cloud Wine and the drinking place (without drive-through facilities) use for the property located at 10064 W. Loomis Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. All signage shall comply with the requirements of Chapter 210 of the Municipal Code and must receive a Sign Permit from the City Development Department prior to installation.

BE IT FURTHER RESOLVED, that in the event Randy Larson, On Cloud Wine, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a

separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:

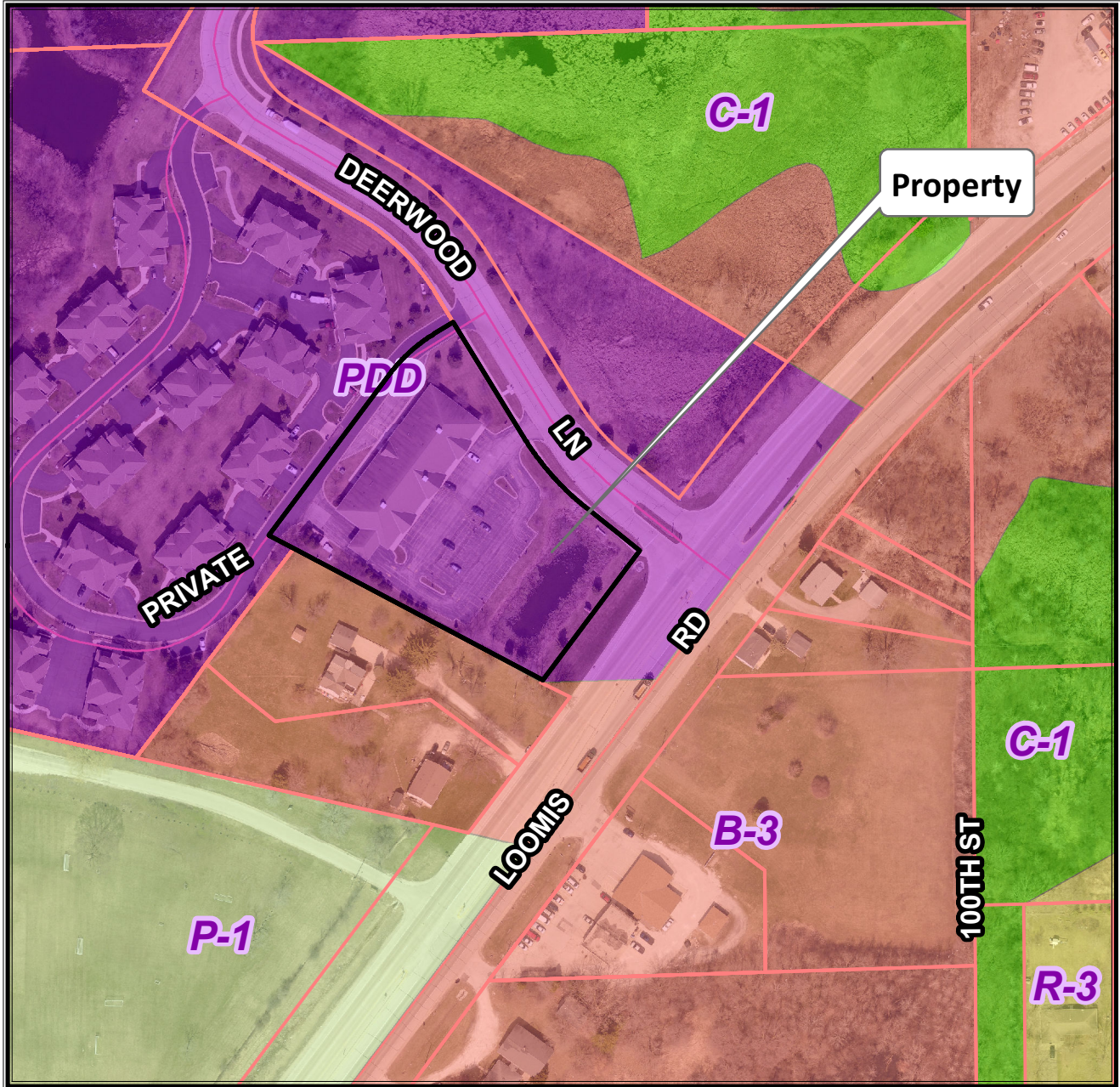
John R. Nelson, Mayor

ATTEST:

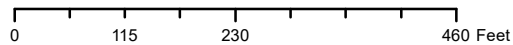
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

10064 W. Loomis Road
TKN: 841 0073 000

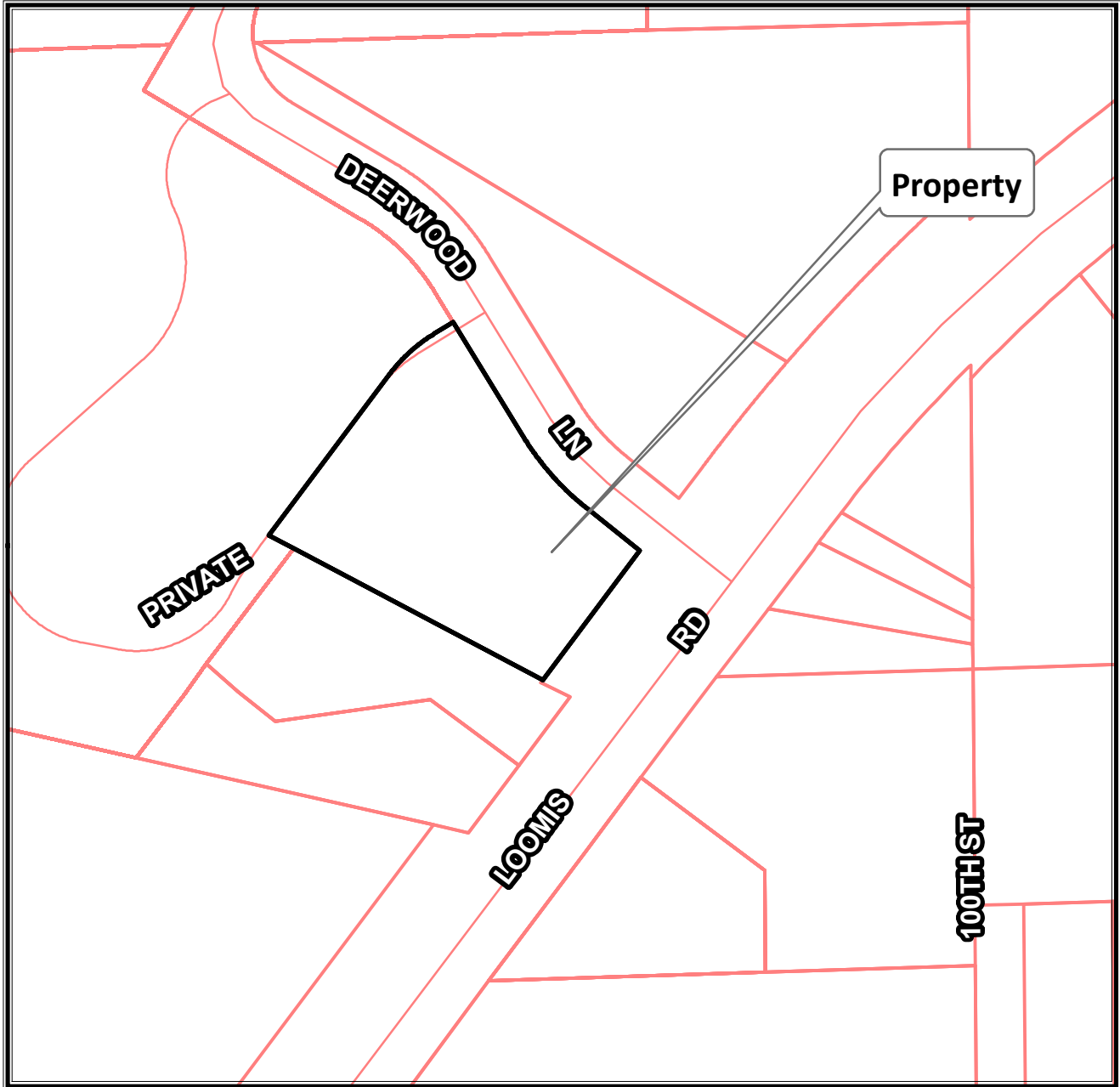


Planning Department
(414) 425-4024

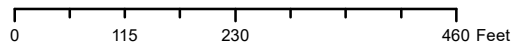


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

10064 W. Loomis Road
TKN: 841 0073 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Executive Narrative

Introduction: This narrative is a correlation between our existing business and new business.

Business Overview

Spirits of Norway Vineyard & Winery is a boutique style winery, offering high-quality, all natural, locally produced wine from locally grown grapes. Spirits of Norway Vineyard farmstead is located in the Town of Norway, Wisconsin on 13.9 acres of land zoned agricultural. The agricultural crop is cold climate hybrid wine grapes. The winery has a reputation as an upscale destination with a down to earth attitude and has been in business for 13 years

Product Offerings

Whether you're a wine connoisseur or a novice alike, Spirits of Norway currently offers 124 different wines to appeal to every wine palate. We also offer our ever so admired signature cheeses which are the perfect pairing with our wide selection of wines. Spirits of Norway is the ultimate choice for their popular Tour N Taste Experience where guests are guided for a quick tour of the vineyard, a brief stop inside the winery is next, providing an explanation of the wine making process, and then it's off to the tasting room where guests are treated to samples of their award winning wines.

Success Factors

Spirits of Norway Vineyard & Winery has been recognized as the Top Ten Winery in Wisconsin by Choice Wineries and has achieved great success by offering the following competitive advantages:

- Highly qualified team of winemakers, wine tasters, who are experts on wine selection and food pairings suggestions.
- Friendly, knowledgeable sales and tasting room staff to ensure each guest receives personalized and attentive service which will enhance their experience.
- Spirits of Norway sells its wine, cheese products, and wine accessories in-store and online, giving their customers more flexibility in the way they can shop.
- The winery works with 5 local vineyards that grow exclusively for Spirits of Norway, and we source strawberries, cherries and apples from local growers for our fruit wines.

On Cloud Wine

Due to weather related limitations, the tasting room is only open May through August. To ensure continued economic growth, we feel the need to be open all year round. This is the conception for **On Cloud Wine**. **On Cloud Wine** will be an upscale wine bar offering a relaxed

atmosphere for our guests. Our intended hours of operation are: open Wednesday thru Friday 3 pm to 9 pm and Saturdays 3 pm to 10 pm. Sundays are reserved for private gatherings. We will serve appetizers, charcuterie boards, heat & eat sandwiches, and personal pizzas. We plan to have occasional entertainment in the form of an acoustic set.

Guest Experience

On Cloud Wine has a strong focus on hospitality, communication, and providing educational and positive tasting experience for guests and VIP Wine Club members. The wine bar will offer a tasting room as well as a spacious seating area to meet up with friends or relax with a glass of wine. Additional special events include Sip N Paint, Sip N Clay, Sip N Cookie Decorating, and Sip N Carve pumpkin carving.

Marketing Plan

On Cloud Wine will offer a unique value proposition to their guests with friendly and knowledgeable staff that ensures each guest has an exceptional experience. This ensures word of mouth and referral business. Social media campaigns have been very successful.

Economic Impact

The U.S. Wine Industry boosts the American economy by \$276.07 Billion in 2022. The Wisconsin Wine Industry creates a \$3.6 Billion total economic impact in Wisconsin.

Trade Associations

Spirits of Norway and **On Cloud Wine** are proud to be advocating members of the following trade associations.

- Wisconsin Agricultural Tourism Association
- Wisconsin Grape Growers Association WGGA
- Wisconsin Winery Association WWA
- Wine America
- Craft Wine Association
- Wisconsin Vintners Association WVA
- Prairie Home Vintners
- Racine County Farm Bureau
- Tichigan Lake Lions Club
- South Milwaukee Lions Club
- South Milwaukee Humane Concerns
- Union Grove Chamber of Commerce

SCHEDULE C

File No.: EA-21-0438-P

Policy No.: 273064800-224464780

The land referred to in this Policy is described as follows:

Lot 1, Deerwood Preserve Addition No. 1, being a redivision of Lot 1 and Outlots 1, 2, 3, and 5 of Deerwood Preserve, also being a redivision of Parcels 1 and 2 and Outlot 1 of Certified Survey Map No. 5228, all lands being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4, and Northwest 1/4 of the Southwest 1/4 of Section 17 and in part of the Northeast 1/4 of the Northwest 1/4 of Section 20, Town 5 North, Range 21 East. Said land being in the City of Franklin, County of Milwaukee, and State of Wisconsin.

Tax Key No. 841-0073-000

Address: 10058-10068 W. Loomis Rd.

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AMERICAN
LAND TITLE
ASSOCIATION



ALTA Owner's Policy (06-17-06)
Schedule C

EA-21-0438-P

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: I Agree with This STATEMENT

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: I Agree with This STATEMENT

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: I Agree with this STATEMENT

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: I Agree with This STATEMENT

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: I Agree with This STATEMENT

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: I Agree with this STATEMENT

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: I Agree with this STATEMENT

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: I Agree with this STATEMENT

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: I Agree with this STATEMENT

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: I Agree with this STATEMENT

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: I Agree with this STATEMENT

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: I Agree with this STATEMENT

Randy Larson 10-20-23

City of Franklin
Department of City Development

Date: November 15, 2023

To: Randy Larson, On Cloud Wine

From: Department of City Development
Anna Kissel, Planning Intern

RE: Application for Special Use – On Cloud Wine – 10064 W. Loomis Rd.

Below are staff comments regarding your Special Use application submitted on October 20, 2023:

Department of City Development comments

How many employees will work at this location?

We will start with (4) employees

Health Department comments

This establishment will require a retail food license to be issued by the Health Dept. Franklin Health Department will require a full menu, equipment list and specs as well as a set of plans to be submitted. A full plan review and pre-inspection will be conducted prior to licensing.

I have met with Angela Bayer and completed the application for license. Angela was very helpful in explaining all requirements, which were forwarded to my architect and incorporated into the floor plan. I will provide her with all equipment specifications when that time comes.

Respectfully,

Randy Larson



Franklin Health Department
 9229 W. Loomis Rd
 Franklin, WI 53132

- (414) 425-9101
- Fax (414) 427-7539
- www.franklinwi.gov

Licensing Year: _____

APPLICATION FOR LICENSE

INSTRUCTIONS: please complete and return it to the above address with your remittance Payable to the CITY OF FRANKLIN.

NAME AND ADDRESS OF ESTABLISHMENT

NAME OF ESTABLISHMENT/ BUSINESS/ (DBA): <i>On Cloud Wine LLC</i>		
STREET <i>10064 W. Loomis Rd</i>		
CITY <i>FRANKLIN</i>	STATE <i>WI</i>	ZIP CODE <i>53132</i>
PHONE NUMBER OF ESTABLISHMENT <i>414-430-5020</i>		
EMAIL/WEB SITE <i>RandySONV6@gmail.com</i>		

In making this application, I understand this business is subject to the provisions of CH. 138 of the Franklin Municipal Code.

If Partnership, list all Partners. OR If Corporation, list Corporation Name & Registered Agent

BUSINESS/LEGAL LICENSEE NAME <i>ON CLOUD WINE LLC</i>			
CONTACT LAST NAME <i>RANDY</i>	FIRST NAME <i>LARSON</i>	MIDDLE INITIAL	PHONE NUMBER <i>414-430-5020</i>
ADDRESS <i>22200 W. 6 mile Rd</i>			
CITY <i>FRANKSVILLE</i>	STATE <i>WI</i>	ZIP CODE <i>53126</i>	
EMAIL			
FOOD MANAGER'S NAME <i>Julie Schramm</i>		FOOD MANAGER'S CERTIFICATION #	EXPIRATION DATE
EMAIL <i>Julie.Schramm@Ahh.org</i>			

NAME OF FORMER BUSINESS	INTENDED DATE OF OPENING BUSINESS
YEARLY GROSS SALES	TOTAL FEES DUE FROM PAGE 2

SIGNATURE OF APPLICANT: *Randy Larson* DATE: *8-23-23*

In making this application, I understand this business is subject to the provisions of CHAPTER 40 of the Franklin Municipal Code. Effective January 9, 2018. The City of Franklin will be charging a \$25.00 fee for checks which are returned to us as uncollectible by our bank.

NOTE: A **48 HOUR NOTICE** is required to make an appointment for a **FINAL INSPECTION**.

Permit Expires on June 30 of the licensing year.

PLEASE INFORM THE FRANKLIN HEALTH DEPARTMENT OF ANY CHANGES.



Wisconsin Department of Agriculture, Trade and Consumer Protection
 Division of Food and Recreational Safety
 P.O. Box 93586, Milwaukee, WI 53293-0586
datcpfrbssupport@wisconsin.gov

How to Determine Retail Food Establishment - Serving Meals: License Complexity Category

Establishment Name:

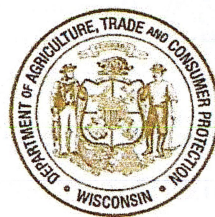
Retail food establishments serving meals are placed into four categories based on food safety risks. A retail food establishment serving meals that are prepackaged and TCS only prepares individually wrapped, single food servings, which are packaged off-premises by a licensed processor, with the on premise activity limited to heating and serving. EXAMPLE—whole frozen pizzas. The other three categories (simple, moderate and complex) use a point system to determine the license complexity category. Use the chart below to calculate your license complexity category..

<input type="checkbox"/>	Establishment has a self-service salad bar or food bar. Does not include condiments, bakery or toppings.	1
<input type="checkbox"/>	Establishment processes fresh or frozen raw poultry, meat, seafood, or eggs.	1
<input type="checkbox"/>	Establishment operates using a variance or HACCP plan.	1
<input type="checkbox"/>	Establishment operates using a Bare Hand Contact or Time as a Public Health Control Plan.	1
<input type="checkbox"/>	Establishment offers catering or preordered meals in bulk quantity for events.	1
<input checked="" type="checkbox"/>	Establishment cold holds, hot holds, or reheats time/temperature control for safety (TCS) foods.	1
<input checked="" type="checkbox"/>	Establishment does cooling of cooked or reheated time/temperature control for safety (TCS) foods.	1
<input type="checkbox"/>	Establishment wholesales foods that requires refrigeration.	1
<input checked="" type="checkbox"/>	Establishment chops, dices, mixes, slices, blanches, boils, cooks, packages, or assembles product.	1
<input type="checkbox"/>	Establishment has an additional area(s), other than the main kitchen, where food preparation activities occur.	1
<input type="checkbox"/>	Establishment prepares food specifically for a highly susceptible population, such as a nursing home or day care.	1
<input type="checkbox"/>	Establishment has a customer seating capacity greater than 75, or has a drive-through window.	1
Total Points: (0 – 2.5, simple), (2.75 – 4.5, moderate), (Greater than 4.5, complex)		

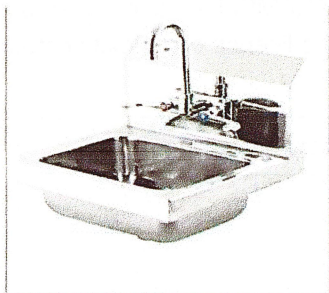
<input type="checkbox"/> 0 – 2.5, simple	<input checked="" type="checkbox"/> 2.75 – 4.5, moderate	<input type="checkbox"/> Greater than 4.5, complex
--	--	--

Please review Wis. Admin. Code § ATCP 75.08 for specific rule language regarding category assignment.

Retail Food Establishment Construction Guidance



Handwashing Sinks



Must be conveniently located for employees in the following areas:

- Preparation and dispensing areas.
- Warewashing areas.
- In or immediately adjacent to toilet rooms.

Faucets must be non-hand operated; wrist/elbow paddles, foot/knee pedals, photo-eye, or a self-closing metered faucet that provides water for at least 15 seconds. May require splashguards to limit cross contamination on clean surfaces and equipment.

Kitchen AND BAR AREAS

Warewashing Facilities *(only one method required)*



Three-Compartment Sink

- All compartments must be interconnected and large enough to allow adequate immersion of the largest piece of equipment.
- Self-draining drain boards are required at each end to accommodate soiled and clean items. Drain/drying racks may also be used.

Warewashing Machine

- Must be certified for sanitation by an American National Standards Institute (ANSI)-accredited certification program.
- May use heat or chemical sanitizing.
- Without a three-compartment sink, your facility may need to stop food service if the warewashing machine fails.

Ice machine / Air gap / Drain

Utility or Mop Sink Area



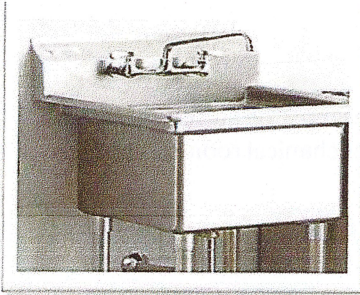
One mop sink or curbed cleaning facility with a floor drain is required to clean mops and for the disposal of liquid wastes.

A designated area for the storage of cleaning equipment and air-drying of mops is required.

*Floor plan
menu*

Equipment Spec sheets

Food Preparation Sink

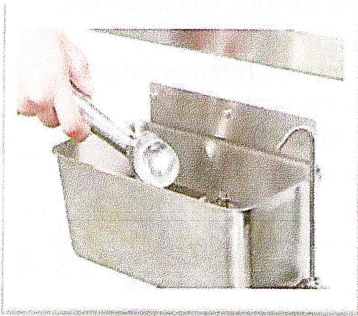


A designated food preparation sink is required if food must be placed below the flood rim for washing or thawing.

Food preparation sinks must be certified for sanitation by an ANSI-accredited certification program.

*Need
in Kitchen*

Other Sinks/Basins



Other common sinks used in a food establishment may include:

- **Dump Sink/Fourth Compartment:** For pre-washing/scraping or as an area to empty drink glasses.
- **Dipper well:** for in-use utensils such as ice cream scoops.

Equipment

Certifying Group	Mark
NSF International (NSF)	
Intertek Marked "ETL Sanitation."	
Underwriters Laboratory (UL) Marked "Classified UL EPH."	
Canadian Standards Association (CSA) Marked "CSA Sanitation to NSF/ANSI."	
Baking Industry Sanitation Standards Committee (BISSC) Marked "Certified BISSC."	

Equipment must be certified for sanitation by an ANSI-accredited program. This requirement applies to: sinks, refrigeration, hot-holding units, ice machines and cooking equipment. It does not apply to small appliances, such as microwave ovens and toasters.

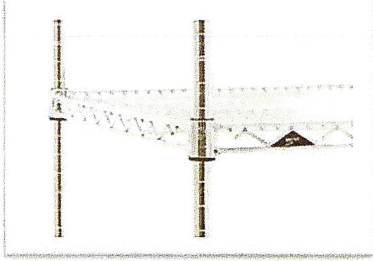
Refrigeration

- Units must be capable of maintaining cold food at an internal temperature of 41°F or below when used for time/temperature control for safety foods.
- Includes salad bars, prep top cooler, and reach-in refrigeration.
- Units can only be used for the purpose for which they were built and must be certified for sanitation by an ANSI-accredited certification program.

Freezers

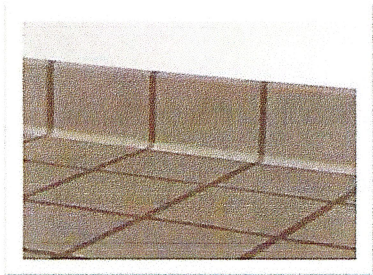
- Units used to receive food from ambient or hot temperatures must be certified for sanitation by an ANSI-accredited program.
- Units that only hold commercial frozen product until use may be a domestic type.

Storage



Food, clean utensils, linens and single-service articles must be stored at least 6 inches above the floor. They may not be stored in mechanical rooms, restrooms, or other areas in which contamination may occur.

Floors, Walls and Ceilings

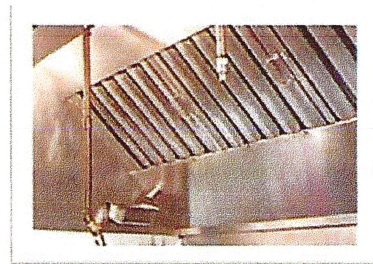


All floors, walls and ceilings in processing areas shall be smooth, nonabsorbent, durable and easily cleanable:

- **Floors:** quarry tile, terrazzo, ceramic tile, sealed concrete, commercial grade sheet vinyl. Floors must have coving where they meet the walls.
- **Wall:** stainless steel, fiberglass reinforced plastic (FRP), ceramic tile, gloss or semi-gloss enamel painted drywall. Painted drywall is not durable in high-moisture areas such as behind sinks.
- **Ceiling:** washable vinyl tiles, FRP, gloss or semi-gloss painted drywall.

Smooth Finish

Ventilation, Hoods and Ducts

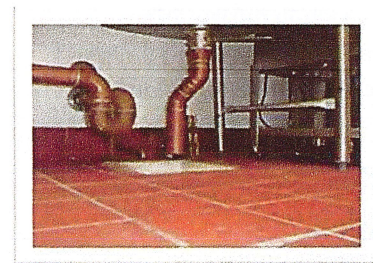


Adequate ventilation and make-up air is required to remove steam, condensation, vapors, obnoxious odors, smoke and fumes.

Information on installation requirements and inspections can be obtained by contacting the Wisconsin Department of Safety and Professional Services (DPS) at dps@wisconsin.gov or your local fire code enforcement agency.

*NO Grease Producing
* Specs of oven
Food Prep
prep table*

Backflow Prevention by Air Gaps or Preventive Devices



Air gaps installed in wastewater lines of food preparation sinks, dipper wells, ice bins and warewash machines.

Backflow or backsiphonage prevention devices installed on a water supply system per DPS requirements. Email DpsSbPlbgTech@wi.gov for more info.

For complete requirements, please review the [Wisconsin Food Code](#)

Untitled Map

Write a description for your map.

Legend

- 📍 10064 W Loomis Rd
- 📍 Feature 1

10064 W Loomis Rd

Colleen E. Connor, DDS, MS

Deerwood Orthodontics Franklin





CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Meeting of December 7, 2023
Special Use Amendment, Miscellaneous Application, and Site Plan Amendment

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based upon the recommended draft Resolution and approve the Site Plan Amendment Application.

Project Name:	Master Halco
Property Owner:	Platt Construction Inc.
Applicant:	Mike Uhl, Master Halco
Property Address/Tax Key Number:	7407 S 27 th St./ 761 9994 006
Aldermanic District:	District 4
Agent:	Luke Sebald, Keller Inc.
Zoning District:	B-4 South 27 th St Mixed Use Commercial District
Use of Surrounding Properties:	B-4 S. 27 th St Mixed Use Commercial District (north), BP Business Park and OL-1 Office Overlay (south), R-6 Suburban Single-Family Residence and OL-1 Office Overlay (west), City of Oak Creek (east)
Application Request:	To allow for a fence wholesale and distribution use with light fabrication and outdoor storage and associated site changes.
Staff Planner:	Nick Fuchs, Planning Associate

Background

The applicant, Master Halco, is seeking Special Use Amendment/Miscellaneous Application and Site Plan Amendment approval to operate a fence wholesale and distribution use with light fabrication and outdoor storage. The Special Use and Site Plan Amendment are described in detail further below.

The site is currently being utilized by Platt Construction, which first obtained Special Use approval in 1992 via Resolution No. 92-3753. This Special Use allowed for an “outdoor construction yard and storage in conjunction with an office building and indoor storage building.”

The proposed use is similar in nature and will utilize the site and building in manner consistent with the original special use approval.

SPECIAL USE

The subject property is zoned B-4 South 27th Street Mixed Use Commercial District. Master Halco anticipates approximately 12 to 15 employees and hours of operation between 7:00 a.m. and 4:30 p.m. Monday through Friday.

The applicant has indicated that the business is not generally open to the public and sales are business to business. The majority of the product is stored outside within the storage yard located to the west of the

main building. This building will contain space for light fabrication of gates, racked storage, and office space.

The applicant has provided responses to the Special Use standards listed within Section 15-3.0701 of the UDO for Plan Commission and Common Council review.

SITE PLAN

The applicant is proposing a variety of site modifications. The building is also proposed to be painted as illustrated on the attached elevations.

The site changes include, but are not limited to:

- Relocating light poles, removing a walkway, and removing trees to construct a new 27-stall parking lot in front of the principal building adjacent to South 27th Street.
 - Parking spaces are 9' wide and 19' in length (171 square feet). It appears a 20' long parking space could be achieved with adjustments to the design, in part by reducing the drive aisle to 24-feet. Staff recommends parking spaces be a minimum of 9' wide and 180 square feet in compliance with Section 15-5.0202 of the UDO. It can be noted that allowance for slightly shorter parking spaces has been allowed in past developments with the consideration of an overhang when parking spaces are abutting a curb.
- Removing parking lot landscape islands that are located to the north of the building.
- Adding 18 deciduous trees, 8 evergreen trees, and 127 shrubs, which is in conformance with landscaping quantity requirements of the UDO.
- Adding building lighting, including lighting on the multiple sheds located to the west of the main building and to the rear of the main building.
- Adding parking lot lighting for the new parking lot.
- Construction of a storm water pond at the southwest corner of the property.
- Proposing to add crushed gravel and concrete on the west side of the property.
 - The site plan indicates an existing impervious area of 6.168 acres and greenspace of 2.186 acres. The proposed improvements will result in a total impervious area of 5.753 acres and greenspace of 2.601 acres. Staff finds that the increase in greenspace is due to the proposed storm water pond. With a site size of 8.354 acres, about 2.51 acres of greenspace is required per the 0.30 minimum LSR standard of the B-4 District.
 - It can be noted that, in review of historical aerial photography, it is difficult to determine the extent of the existing graveled areas over the years. It does appear the existing fence location was in place and defined at the time of development. All proposed improvements are within this area.

The applicant also provided a Natural Resource Protection Plan indicating that no protected natural resources exist onsite. WDNR mapping was also reviewed and did not show any mapped wetlands onsite.

All B-4 District Development Standards are met. Note South 27th Street Design Overlay District Standards do not apply as no new buildings are proposed and no building addition that increases floor area by 50% is proposed.

Staff also finds the proposed modifications are in conformance with Part 5 Design Standards of the UDO, except for the parking space size as noted above.

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

The Department of City Development staff recommends the Plan Commission approve the Site Plan Amendment application for the proposed site modifications as depicted on the attached plans.

Recommended Conditions of Approval

- Special Use
 - Outdoor storage shall be limited to the fenced-in concrete and gravel area located to the west of the principal building and shall be kept in an orderly manner as determined by the Zoning Administrator or Plan Commission.
 - No overnight parking of commercial vehicles shall be allowed outside of the storage yard located behind or to the west of the principal building.
- Site Plan
 - Final grading, erosion control, and stormwater management plans shall be approved by the Engineering Department prior to any land disturbance activities.
 - Parking spaces shall be a minimum of 9' wide and 180 square feet in compliance with Section 15-5.0202 of the UDO. [This condition must be added to the attached draft resolution]

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE AMENDMENT FOR A FENCE
WAREHOUSE, DISTRIBUTION, AND FABRICATION BUSINESS USE WITH
OUTDOOR STORAGE UPON PROPERTY LOCATED AT 7407 SOUTH 27TH
STREET

(BY MASTER-HALCO, INC. APPLICANT,
PLATT CONSTRUCTION INC., PROPERTY
OWNER)

WHEREAS, Master-Halco, Inc., having petitioned the City of Franklin for the approval of a Special Use Amendment for a fence warehouse, distribution, and fabrication business use with outdoor storage upon property located at 7407 S 27th Street, such Special Use having been previously approved on February 4, 1992 by Resolution No. 92-3753, zoned B-4 South 27th St Mixed Use Commercial District. The property which is the subject of the application bears Tax Key No. 761 9994 006 and is more particularly described as follows:

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5794, RECORDED ON JANUARY 14, 1993 ON REEL 2948, IMAGE 745 TO 749 AS DOCUMENT NO. 6715343, BEING A DIVISION OF LANDS IN THE SOUTHEAST ¼ AND SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 12, TOWN 5 NORTH, RANGE 21 EAST, EXCEPTING THEREFROM LANDS CONVEYED IN WARRANTY DEED RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 10387598, SAID LAND BEING IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15- 9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 9th day of November, 2023 and 7th day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use Amendment be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use Amendment upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use Amendment, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Master-Halco, Inc. for the approval of a Special Use Amendment for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use Amendment is approved only for the use of the subject property by Master-Halco, Inc., successors and assigns, for a fence warehouse and distribution use with light fabrication and outdoor storage, which shall be developed in substantial compliance with, and owned and operated and maintained by Master-Halco, Inc., pursuant to those plans City dated October 23, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Master-Halco, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Master-Halco, Inc. Special Use Amendment, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Master-Halco, Inc. Special Use Amendment for the property located at 7407 S 27th St.: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Outdoor storage shall be limited to the concrete and gravel area located to the west of the principal building and shall be kept in an orderly manner.
5. No overnight parking of commercial vehicles shall be allowed outside of the storage yard located behind or to the west of the principal building.

BE IT FURTHER RESOLVED, that in the event Master-Halco, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Amendment Resolution, following a ten (10)

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use Amendment permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Amendment Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use Amendment permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use Amendment has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 19th day of December, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

AYES _____NOES _____ABSENT _____

MASTER-HALCO, INC. – SPECIAL USE AMENDMENT
RESOLUTION NO. 2023-_____

EXHIBIT A

PLANS DATED OCTOBER 23, 2023

ATTACHED HERETO

RESOLUTION NO. 2023-_____

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR
THE DEVELOPMENT OF A MASTER-HALCO SALES BRANCH
UPON PROPERTY LOCATED AT 7407 SOUTH 27TH STREET
(BY MASTER-HALCO, INC., APPLICANT, PLATT
CONSTRUCTION, INC., PROPERTY OWNER)

WHEREAS, Master-Halco, Inc., having petitioned the City of Franklin for the approval of a Site Plan Amendment for the development of a Master-Halco Sales Branch upon Master-Halco, Inc.'s acquisition of title of said property by conveyance from the Property Owner referenced above, upon property located at 7407 South 27th Street, such Site Plan and Special Use having been previously approved on February 4, 1992 by Resolution No. 92-3753, zoned B-4 South 27th Street Mixed Use Commercial District. The property which is the subject of the application bears Tax Key No. 761 9994 006.

WHEREAS, the development proposes a new parking area and storm water management pond as well as modifications to landscaping and lighting onsite, and the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0304 B-4 South 27th Street Mixed Use Commercial District of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan Amendment for Master-Halco, Inc. dated October 23, 2023, as submitted by Master-Halco, Inc., as described above, be and the same is hereby approved, subject to the following conditions:

1. Master-Halco, Inc., successors and assigns and any developer of the Master Halco project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Master-Halco, Inc. project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon Master-Halco, Inc. and the Master-Halco project for the property located at 7407 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

MASTER-HALCO - SITE PLAN AMENDMENT

RESOLUTION NO. 2023-_____

Page 2

3. The Master-Halco, Inc. project shall be developed in substantial compliance with the plans dated October 23, 2023.
4. Final grading, erosion control, and stormwater management plans shall be approved by the Engineering Department prior to any land disturbance activities.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Master-Halco, Inc. development as depicted upon the plans dated October 23, 2023, attached hereto as Exhibit A and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan Amendment for the property located at 7404 South 27th Street, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this 9th day of November, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this 7th day of December, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

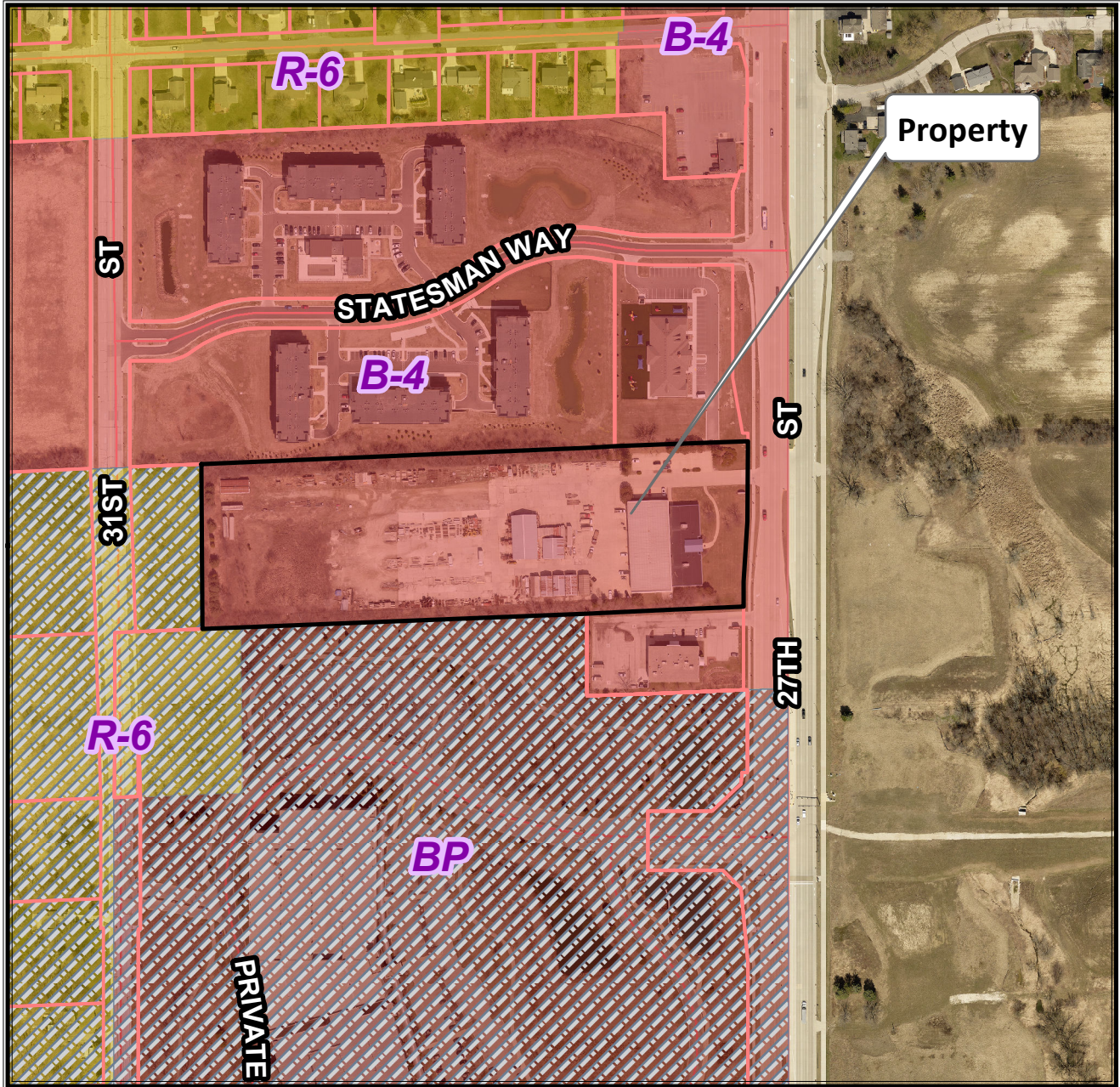
AYES _____ NOES _____ ABSENT _____

EXHIBIT A

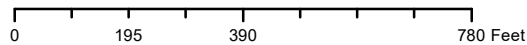
PLANS DATED OCTOBER 23, 2023

ATTACHED HERETO

7407 S. 27th Street
TKN: 761 9994 006



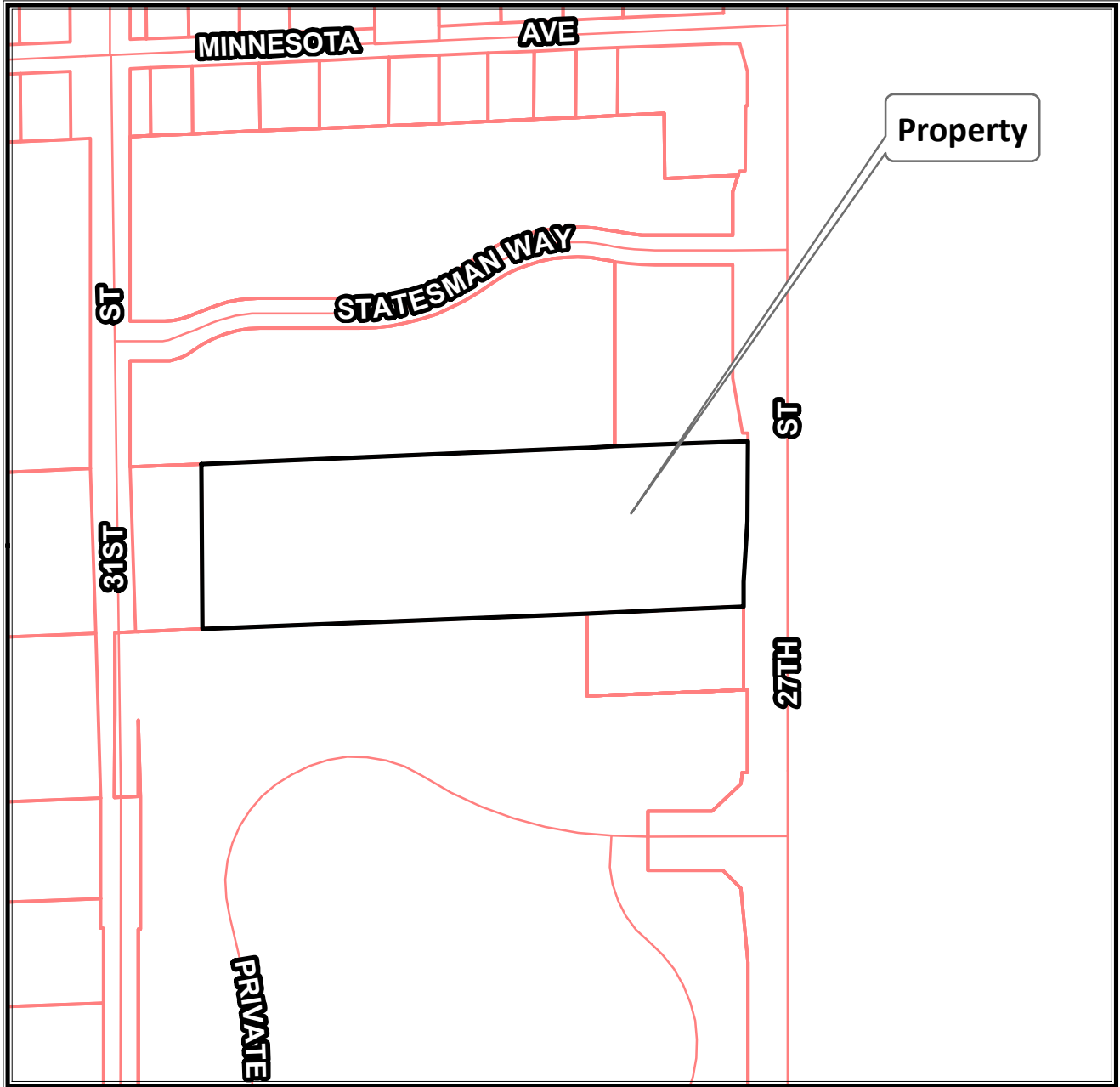
Planning Department
(414) 425-4024



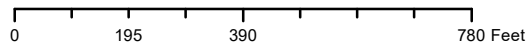
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



7407 S. 27th Street
TKN: 761 9994 006



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



CITY OF FRANKLIN

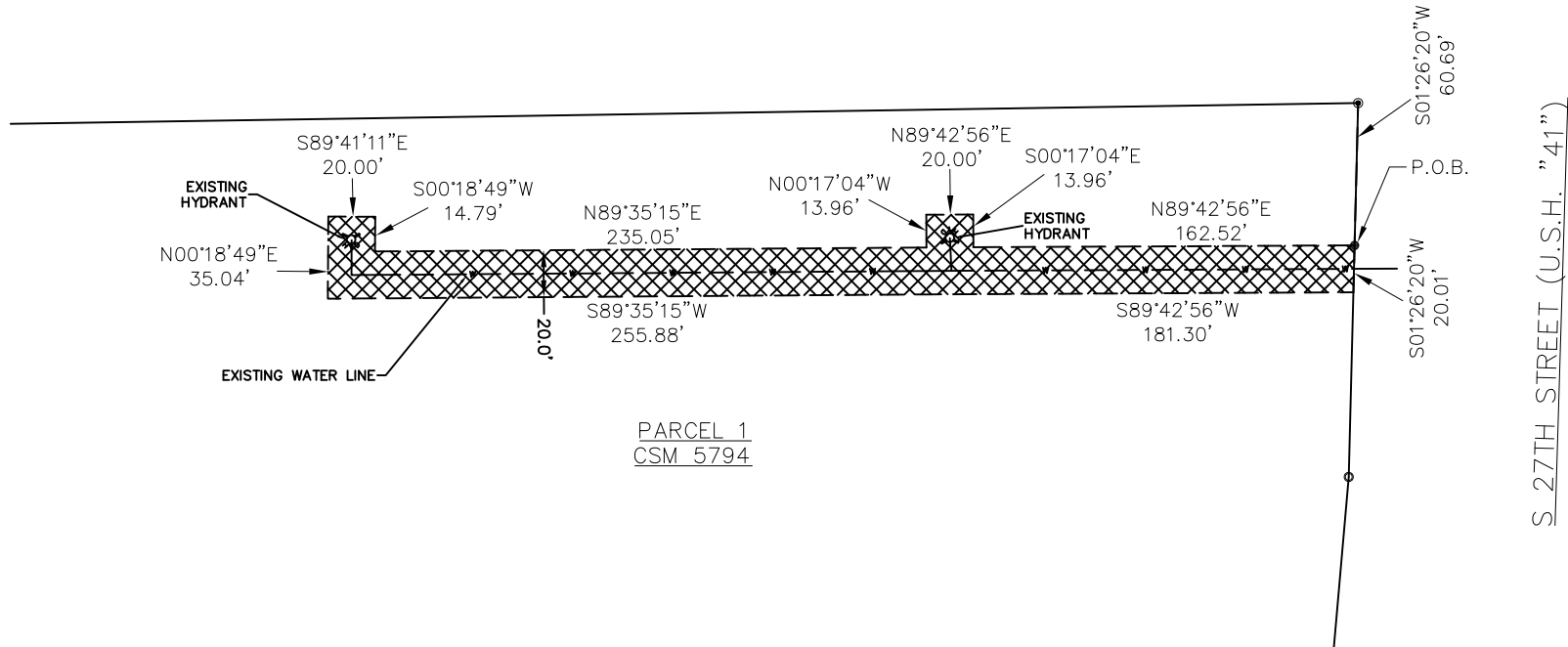
WATER MAIN EASEMENT



PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5794, RECORDED ON JANUARY 14, 1993 ON REEL 2948, IMAGE 745 TO 749 AS DOCUMENT NO. 6715343, BEING A DIVISION OF LANDS IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 5 NORTH, RANGE 21 EAST, EXCEPTING THEREFROM LANDS CONVEYED IN WARRANTY DEED RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 10387598, SAID LAND BEING IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

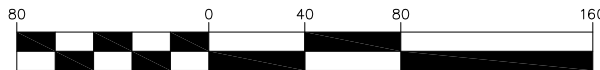
EASEMENT DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PARCEL 1 CSM 5794; THENCE S 01°26'20" W, 60.69 FEET TO THE POINT OF BEGINNING; THENCE S 01°26'20" W, 20.01 FEET; THENCE S 89°42'56" W, 181.30 FEET; THENCE S 89°35'15" W, 255.88 FEET; THENCE N 00°18'49" E, 35.04 FEET; THENCE S 89°41'11" E, 20.00 FEET; THENCE S 00°18'49" W, 14.79 FEET; THENCE N 89°35'15" E, 235.05 FEET; THENCE N 00°17'04" W, 13.96 FEET; THENCE N 89°42'56" E, 20.00 FEET; THENCE S 00°17'04" E, 13.96 FEET; THENCE N 89°42'56" E, 162.52 FEET TO THE POINT OF BEGINNING.



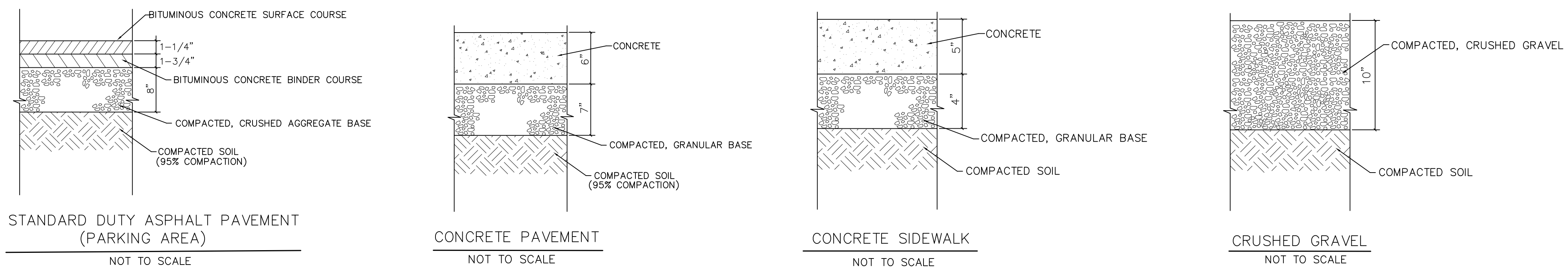

civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com

GRAPHIC SCALE



1 inch = 80 ft

CJE NO.: 2238R2
OCTOBER 23, 2023

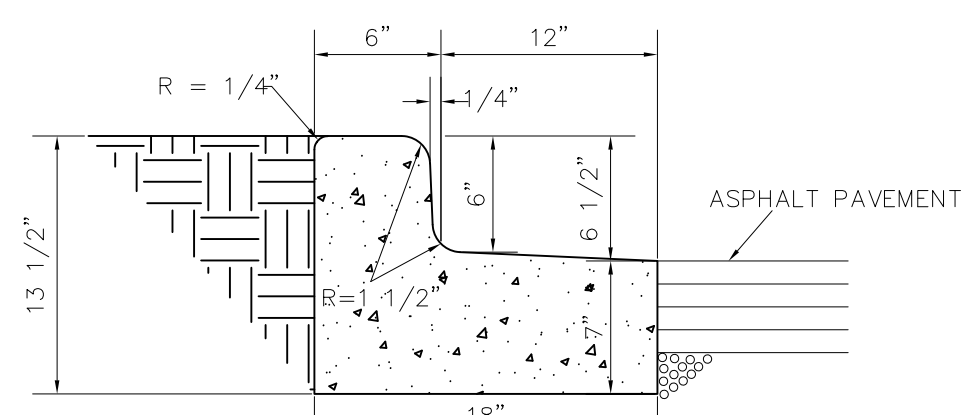
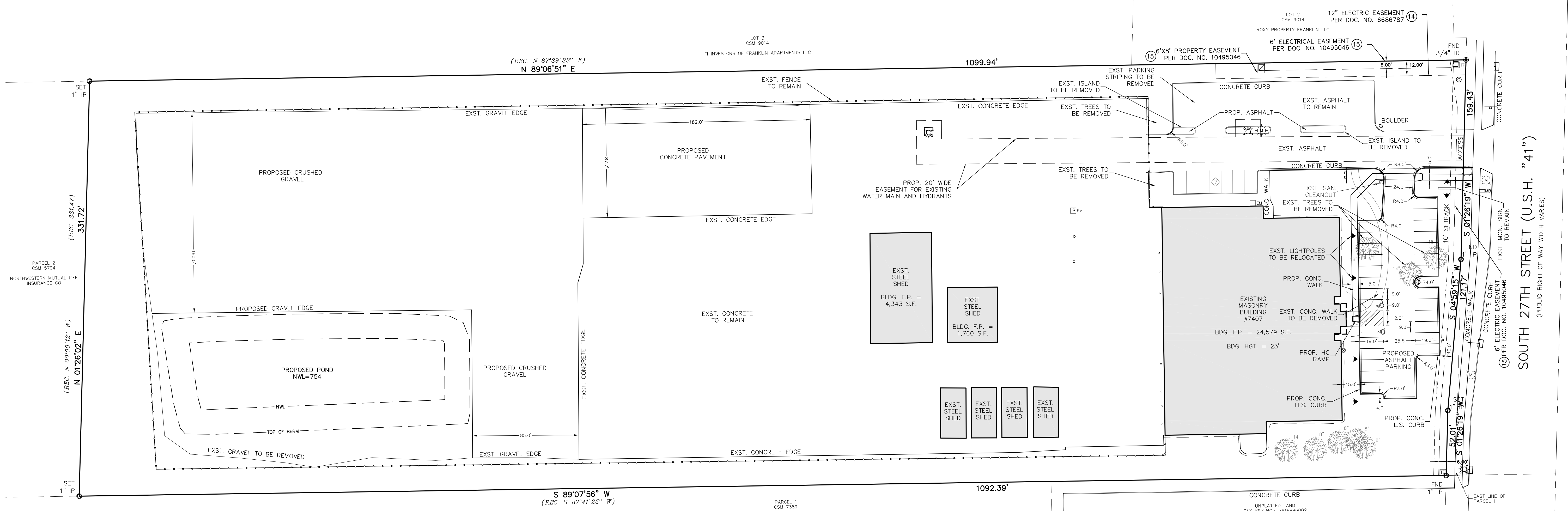


STANDARD DUTY ASPHALT PAVEMENT
 (PARKING AREA)
 NOT TO SCALE

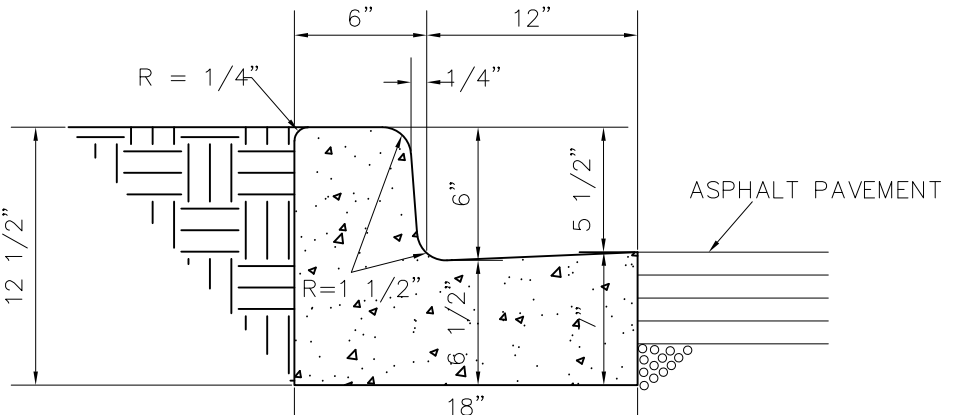
CONCRETE PAVEMENT
 NOT TO SCALE

CONCRETE SIDEWALK
 NOT TO SCALE

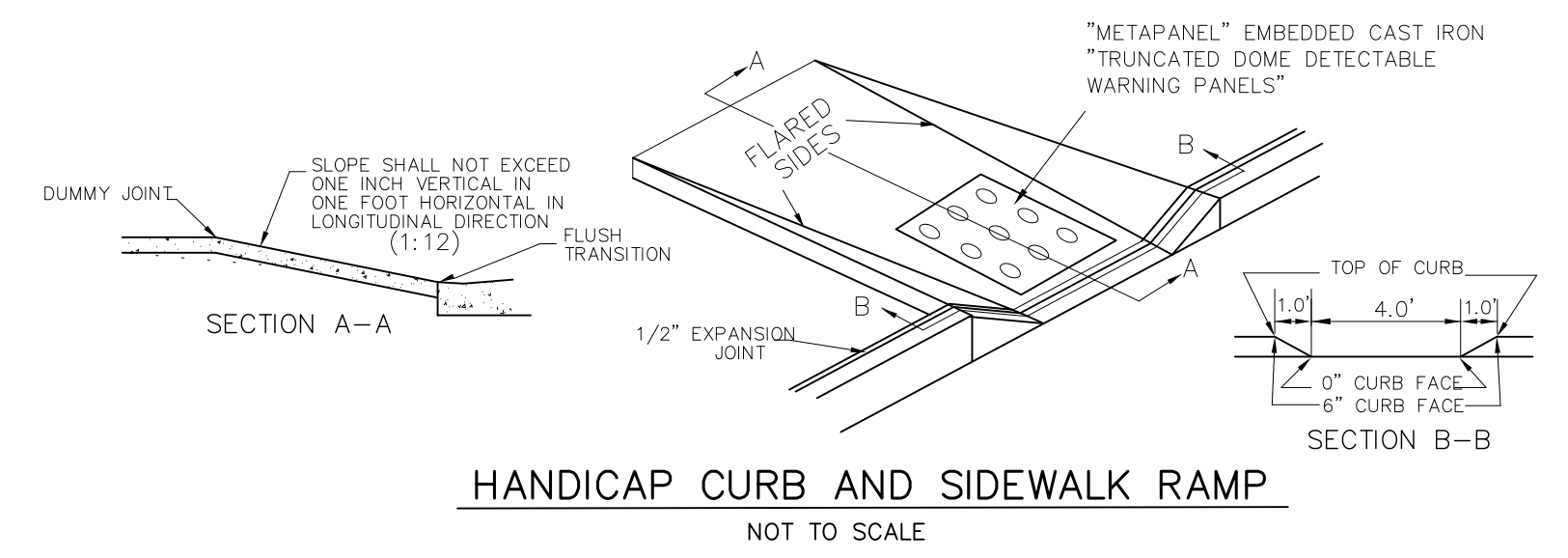
CRUSHED GRAVEL
 NOT TO SCALE



HIGH SIDE CONCRETE CURB (H.S. C&G) DETAIL
 NOT TO SCALE



LOW SIDE CONCRETE CURB (L.S. C&G) DETAIL
 NOT TO SCALE

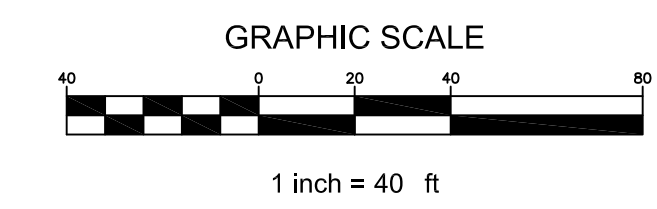


HANDICAP CURB AND SIDEWALK RAMP
 NOT TO SCALE

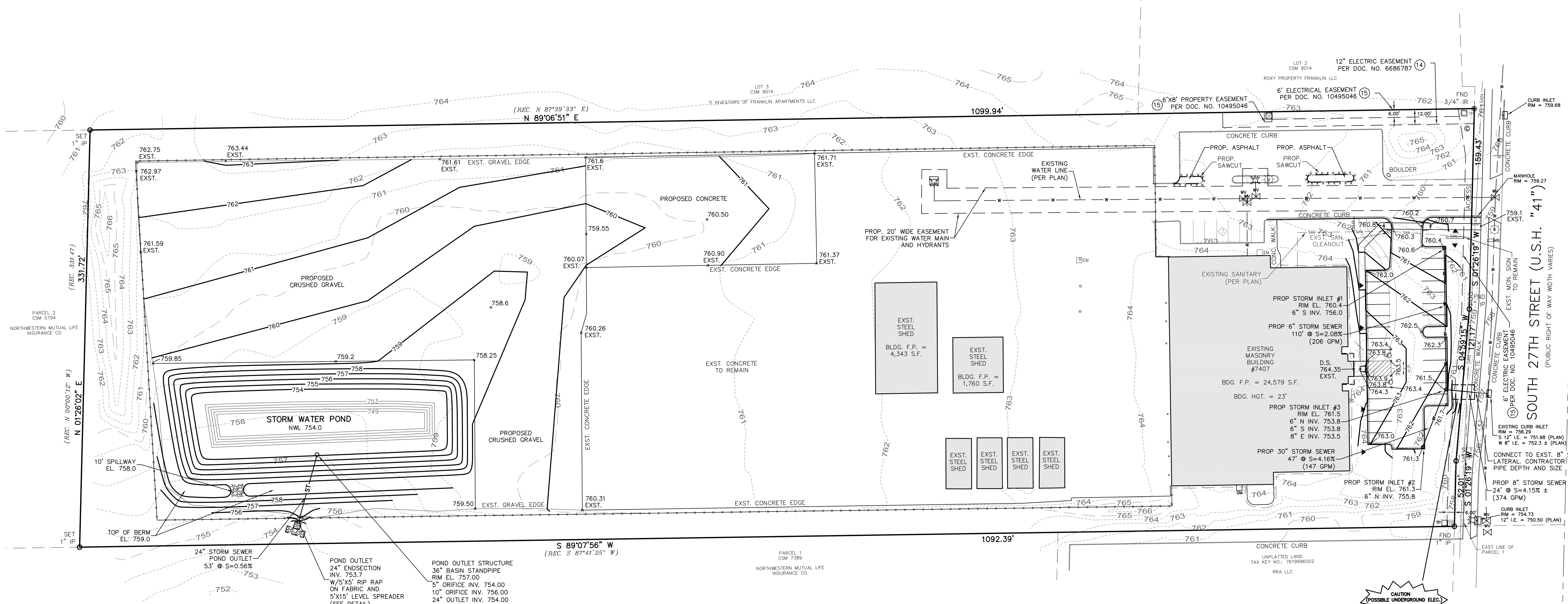
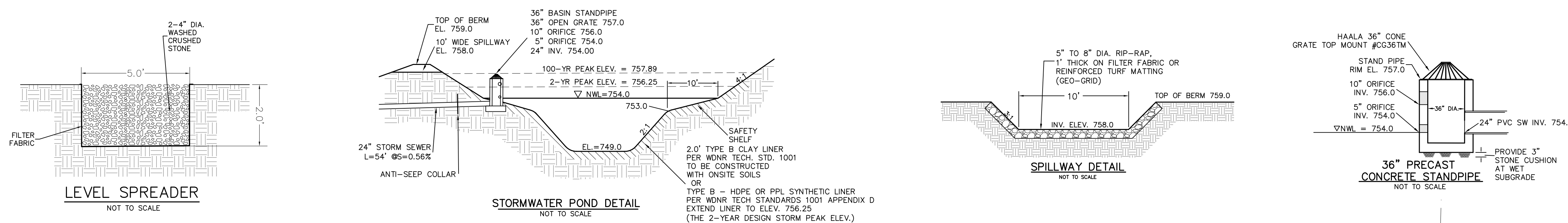
SITE AREAS

EXISTING GRAVEL	= 113,144 S.F. (2.597 ACRES)
EXISTING PAVEMENT	= 121,611 S.F. (2.792 ACRES)
EXISTING BUILDING	= 33,933 S.F. (0.779 ACRES)
EXISTING IMPERVIOUS	= 268,688 S.F. (6.168 ACRES)
EXISTING OPEN	= 95,228 S.F. (2.186 ACRES)
PROPOSED GRAVEL	= 67,919 S.F. (1.559 ACRES)
PROPOSED PAVEMENT	= 148,748 S.F. (3.415 ACRES)
PROPOSED BUILDING	= 33,933 S.F. (0.779 ACRES)
PROPOSED IMPERVIOUS	= 250,600 S.F. (5.753 ACRES)
PROPOSED OPEN	= 113,316 S.F. (2.601 ACRES)
TOTAL SITE AREA	= 363,916 S.F. (8.354 ACRES)

- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 - DISTURBED AREA = 2.986 ACRES
 - STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY.



MASTER HALCO
 7407 S. 27TH ST. FRANKLIN, WI

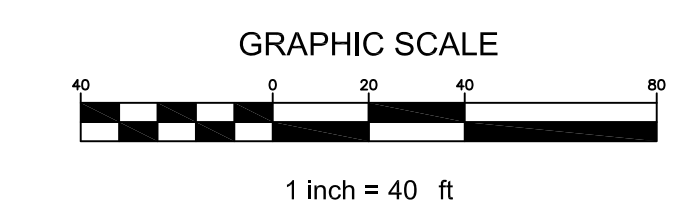


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DIGGERS HOTLINE
 DIAL 811 OR (800) 242-8511

LEGEND

--- 760 ---	EXISTING CONTOUR
---	EXISTING FENCE
---	EXISTING SANITARY
---	EXISTING WATER
---	PROPOSED CONTOUR
x 761.5	PROPOSED ELEVATION
---	PROPOSED STORM SEWER

- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 - DISTURBED AREA = 2.986 ACRES
 - STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY.
 - UNLESS OTHERWISE LABELED ON THE PLAN, STORM SEWER PIPE SHALL BE PVC ASTM D3034 OR ADS HDPE.
 - THE CONTRACTOR SHALL VERIFY STORM SEWER CONNECTION PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 - ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8.4.3.4 AND PER FILE NO.4 COMPACTED SECTION (CLASS "B" BEDDING).
 - EXISTING FENCE OVER POND OUTLET SHALL BE REMOVED AND REPLACED ONCE OUTLET PIPE HAS BEEN INSTALLED.



MASTER HALCO
 7407 S. 27TH ST. FRANKLIN, WI
SITE GRADING AND UTILITY PLAN C2.0

CJE NO.: 2238R2
 OCTOBER 23, 2023

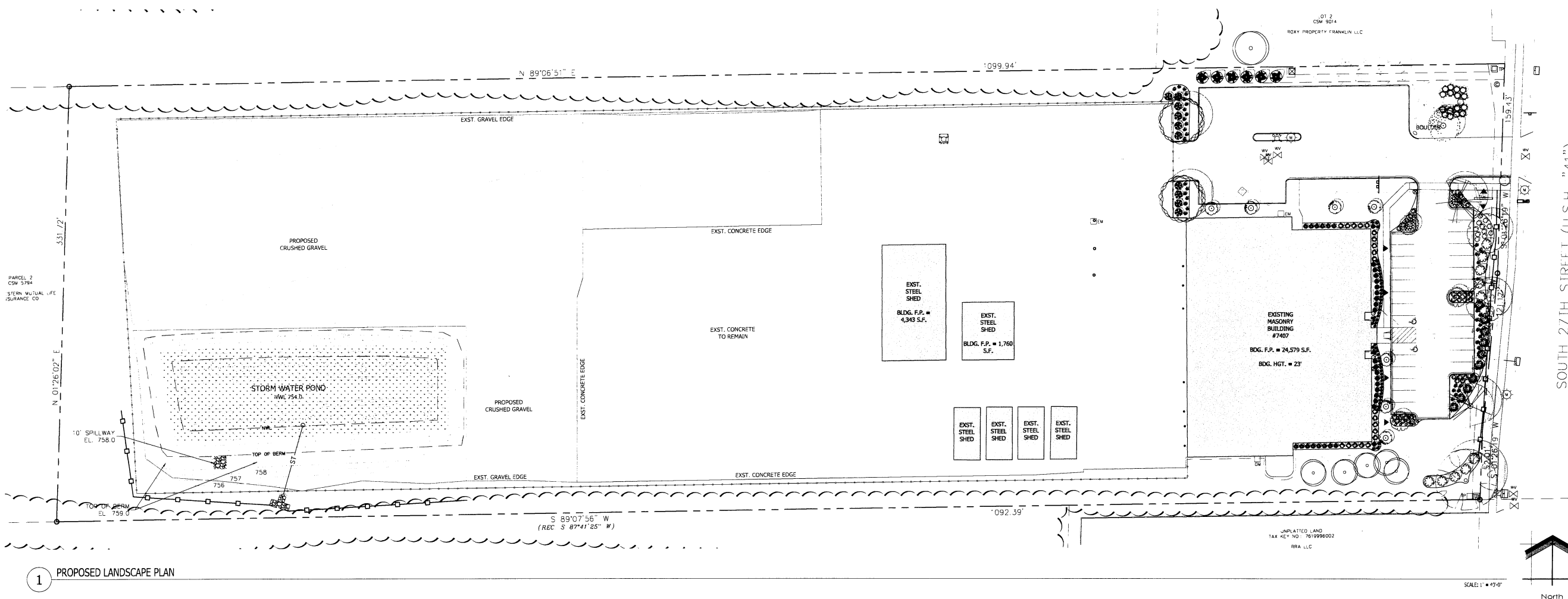
Project:

MASTER HALCO

7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
01/05/23		Plan Commission Re-Submittal
10/27/23		Revisions Based on Staff Comments



SITE INFORMATION

USDA PLANT HARDINESS ZONE	5b (-15 to -10 Degrees F)
LOT ZONING	
LOT AREA	363,916 SQ. FT. (8.35 Acres)
SITE BUILDING AREA	22,245 SQ. FT.
TOTAL IMPERVIOUS	250,400 SQ. FT. (5.75 Acres)
TOTAL GREENSPACE	113,316 SQ. FT. (2.60 Acres)
SITE LANDSCAPE PERCENTAGE	31.1%
TOTAL PARKING STALLS	35 STALLS

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 524-9592 www.diggershotline.com

811
Know what's below. Call before you dig.

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVER-HEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE CITY OF FRANKLIN LANDSCAPE REQUIREMENTS SET FORTH IN SECTION 15-5.0302 MINIMUM LANDSCAPE STANDARDS

- 15-5.0304 Minimum Landscaping Standards for Off-Street Parking Areas and Lots.
- Required Trees for Parking Lot Perimeter and Interior Applications.
 - Minimum Landscaping Requirements for Residential and Nonresidential Off-Street Parking Areas and Lots.
 - Shade or decorative trees are required within the vehicular use area at a ratio of one tree for every 10 parking spaces or fraction thereof
 - On-site perimeter greenbelts at least 10 feet in width shall be installed along any street side and along all interior lot lines when parking is located on that side of any building on the site.
 - Interior Landscaping for Off-Street Parking Areas.
 - On-site perimeter greenbelts at least 10 feet in width shall be installed along any street side and along all interior lot lines when parking is located on that side of any building on the site.
- 15-5.0353 Landscape and Site Design General Standards.
- Landscaping, On-site landscaping shall be provided per the landscaping requirements found in § 15-5.0302. In addition, the project shall provide:
- Extensive building foundation landscaping for all building frontages facing public streets, parking lots, or residential districts.

Commercial, Office, Institutional and Similar Uses			
Type	Planting Size	Minimum Quantity	
Canopy/Shade Tree	2.5 inch caliper	1 per 5 provided parking spaces	
Evergreens	4 feet tall	1 per 5 provided parking spaces	
Decorative Trees	1.5 inch caliper	1 per 5 provided parking spaces	
Shrubs	3 feet tall	1 per 5 provided parking spaces	
Manufacturing (Industrial)			
Type	Planting Size	Minimum Quantity	
Canopy/Shade Tree	2.5 inch caliper	1 per 10 provided parking spaces	
Evergreens	4 feet tall	1 per 10 provided parking spaces	
Decorative Trees	1.5 inch caliper	1 per 10 provided parking spaces	
Shrubs	3 feet tall	1 per 10 provided parking spaces	

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND SIGN OFF WITH THE CITY OF FRANKLIN. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE CITY OF FRANKLIN.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S 'MARK SETS' OF ALL THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE MASTER HALCO PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED MASTER HALCO PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.4 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. ALL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.4 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.4 FOR FURTHER INFORMATION.

- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL. AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.4 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.4 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.4 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% NEWPORT BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Receptor Perennial Ryegrass
10% Fiesta 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIER'S SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO "TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWN SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
• NECESSARY IRRIGATION (IF REQUIRED)
• INTEGRATED PEST MANAGEMENT,
• PROPER FERTILIZATION
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
• REPLACEMENT OF LOST VEGETATION AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
• WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPARATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ABROVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

Sheet Title:

PROPOSED LANDSCAPE PLAN,
GENERAL NOTES,
AND PLANT MATERIAL TABLE

Date of Drawing: 10/27/23
Scale: 1" = 40'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

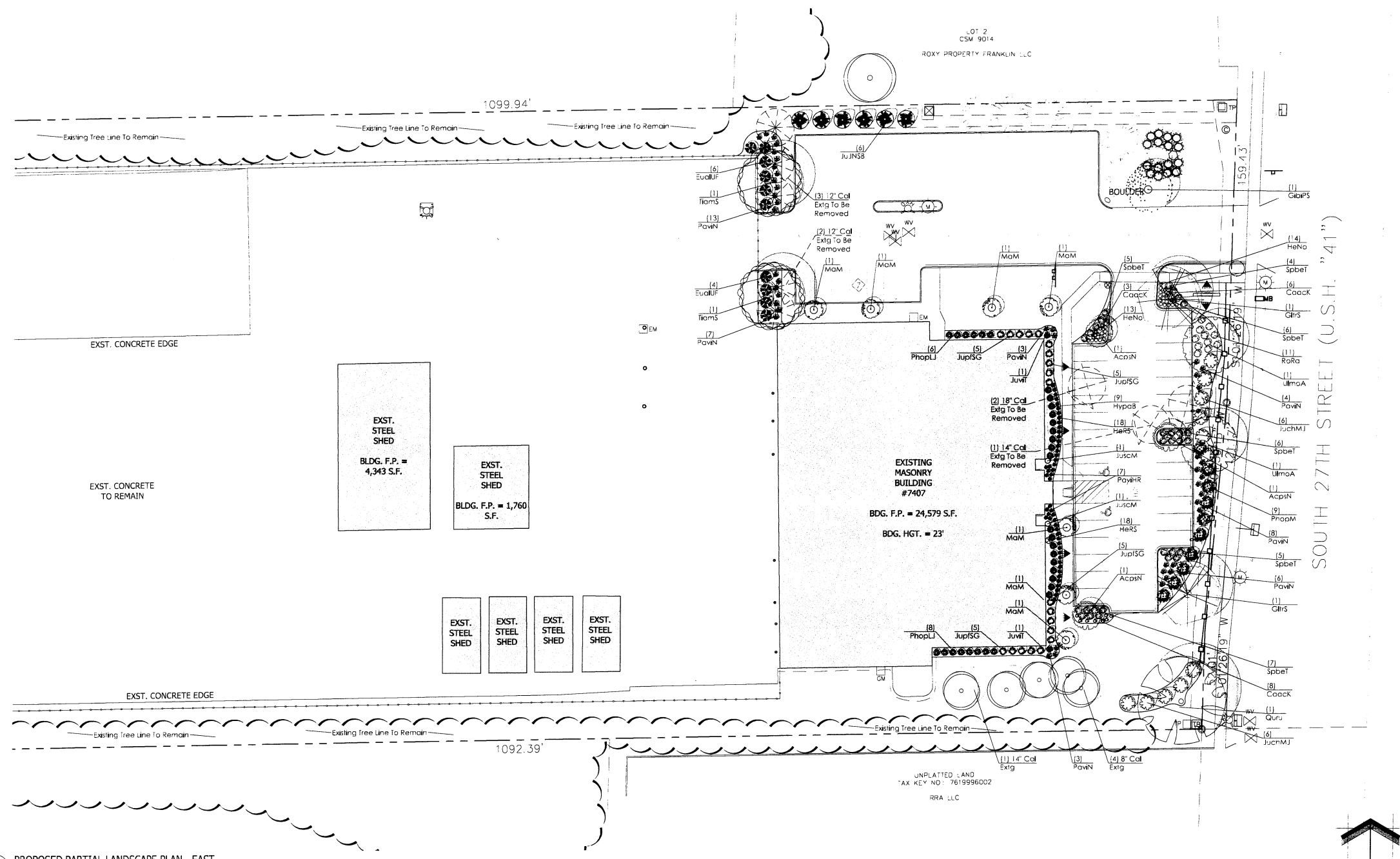
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Project:
MASTER HALCO
7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
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1 PROPOSED PARTIAL LANDSCAPE PLAN - EAST

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	AcpsN		<i>Acer pseudobaldanum</i> 'Northwind'	Northwind Korean Maple	1 1/2' Cal - B&B	1
1	GtPS		<i>Ginkgo biloba</i> Princeton Sentry	Princeton Sentry Maidenhair Tree	2 1/2' Cal - B&B	1, 7
2	GtRS		<i>Gleichenia macrantha</i> f. <i>inermis</i> 'Skygate'	Skygate Thornless Honeylocust	2 1/2' Cal - B&B	1
7	MoM		<i>Malus malbaie</i>	Malbaie Flowering Crab	1 1/2' Cal - B&B	1
1	Quru		<i>Quercus rubra</i>	Northern Red oak	2 1/2' Cal - B&B	1
2	TamS		<i>Taxus americana</i> Sentry	Sentry Linden	2 1/2' Cal - B&B	1
2	UlmA		<i>Ulmus americana</i> Accolade	Accolade Elm	2 1/2' Cal - B&B	1
4	Exig		Existing to Remain	Existing 8" Cal		2
1	Exig		Existing to Remain	Existing 14" Cal		2
1	Exig		Existing to be Removed	Existing 14" Cal Demo		3
2	Exig		Existing to be Removed	Existing 18" Cal Demo		3

- Comments:
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and visibility for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil and sow turf grass seed as required.
 - Evenly shaped upright tree/shrub with full branching to the ground.
 - Full, well-rooted plant, evenly shaped.
 - Full, well-rooted plant.
 - Made only.

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	EuaUF		<i>Eurythmus alatus</i> Unforgettable Fire	Unforgettable Fire Burning Bush	30" - 36" - B&B	5
18	HypaB		<i>Hydrangea paniculata</i> Boba'	Boba Hardy Hydrangea	18" - Cont.	5
14	PhopL		<i>Physocarpus opulifolius</i> Hoop2!	Little Joker Ninebark	18" - 24" - Cont.	5
10	PhopM		<i>Physocarpus opulifolius</i> Monlo'	Diabolo Ninebark	18" - 24" - Cont.	5
11	RoRa		<i>Rosa x radtko</i>	Double Knock Out Rose	18" - 24" - Cont.	5
29	Sobe1		<i>Sorbus betulaefolia</i> Tor'	Tor Birchleaf Sorbus	18" - Cont.	5
1	EudL		<i>Eurythmus alatus</i>	Winged eurythmus (Burning Bush)	Existing	2

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
11	JucnM		<i>Juniperus chinensis</i> Mint Julep'	Mint Julep Juniper	18" - 24" - B&B	5
2	JucnM		<i>Juniperus scopulorum</i> Meadora	Meadora Juniper	3' - 4' - B&B	4
2	Juvit		<i>Juniperus virginiana</i> Taylor	Taylor Redcedar	5' - 6' - B&B	5
20	JupISG		<i>Juniperus x plectrantha</i> MonSan'	Sea of Gold Juniper	18" - 24" - Cont.	5
17	Exig		Existing to Remain	Existing to Remain	Existing	2

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
20	Coack		<i>Calamagrostis acutiflora</i> Karl Forester	Karl Forester Feather Reed Grass	1-Gal - Cont.	6
14	PawHR		<i>Panicum virgatum</i> Hot Rod	Hot Rod Switch Grass	1-Gal - Cont.	6
44	PawN		<i>Panicum virgatum</i> Northwind	Northwind Switch Grass	1-Gal - Cont.	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
27	HeNo		<i>Hemerocallis x nosferatu</i>	Troopstoker Nosferatu Daylily	4 1/2" pot	6
36	HeRS		<i>Hemerocallis x ruby spider</i>	Ruby Spider Daylily	4 1/2" pot	6

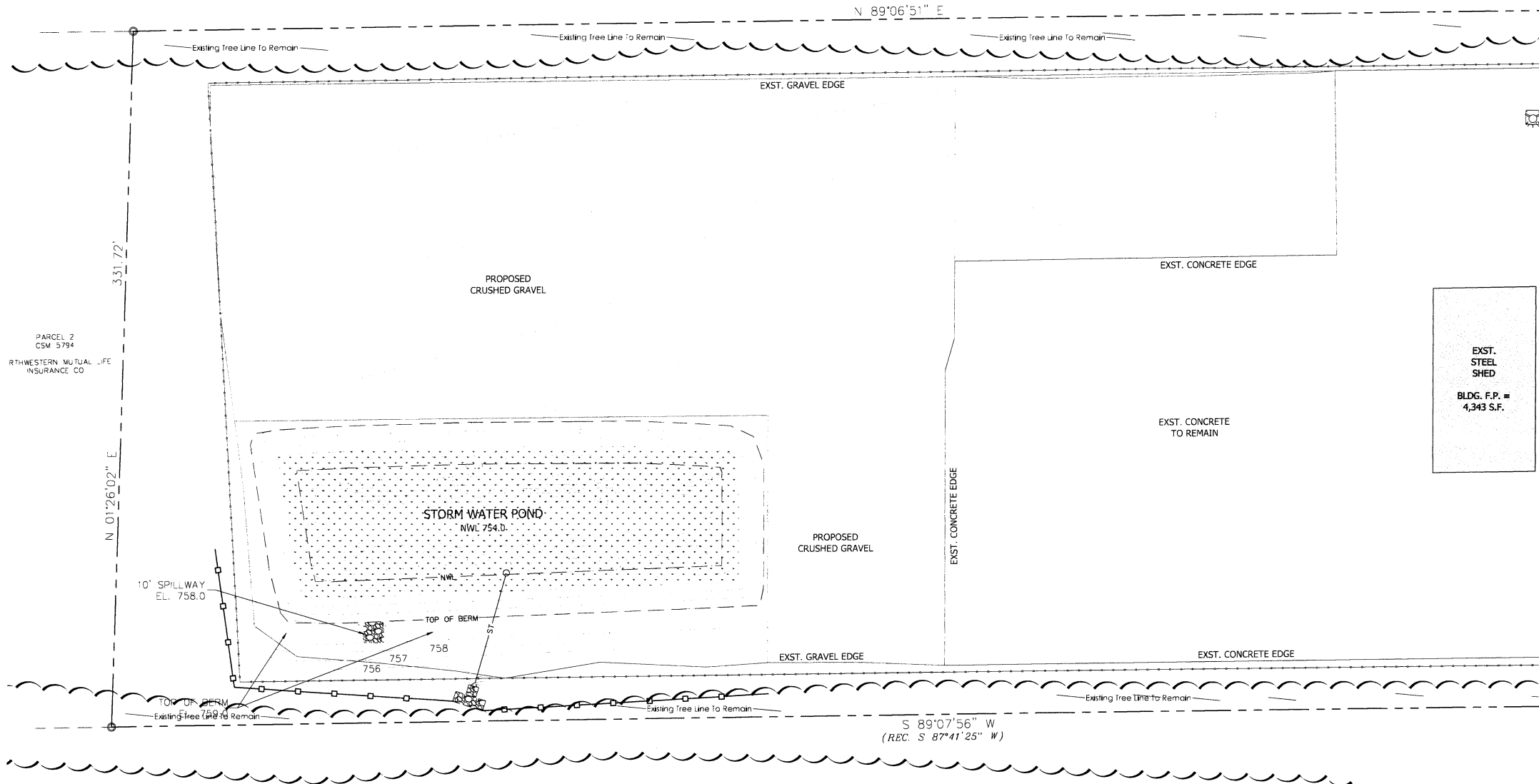
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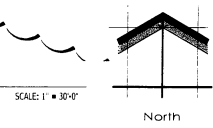
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1 PROPOSED PARTIAL LANDSCAPE PLAN - WEST

Quantity	Symbol	Supplier	Type
Upper Third of the Bowl - Economy Prairie Seed Mix Storm Water Management Pond area from Cardno			
OVERALL 10,200 sq. ft. VERIFY	[Symbol]	Cardno	Economy Prairie Seed Mix - mixture contains 6 of 7 native permanent grass/ sedge species and 10 of 13 native forb species. Apply at 40-95 lbs. pounds per acre. Refer to cut sheets for mix specifics and installation instructions.
Lower Two-Thirds of the Bowl - Stormwater Prairie Seed Mix @ Storm Water Management Pond area from Cardno			
14,800 sq. ft. VERIFY	[Symbol]	Cardno	Stormwater Prairie Seed Mix - mixture contains 10 of 12 native permanent grass/ sedge species and 12 of 16 native forb species. Refer to cut sheets for mix specifics and installation instructions.



Project:

MASTER HALCO

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L22-079 - MASTER HALCO - 10/27/2023

Project:

MASTER HALCO

7407 South 27th Street
Franklin, WI 53132

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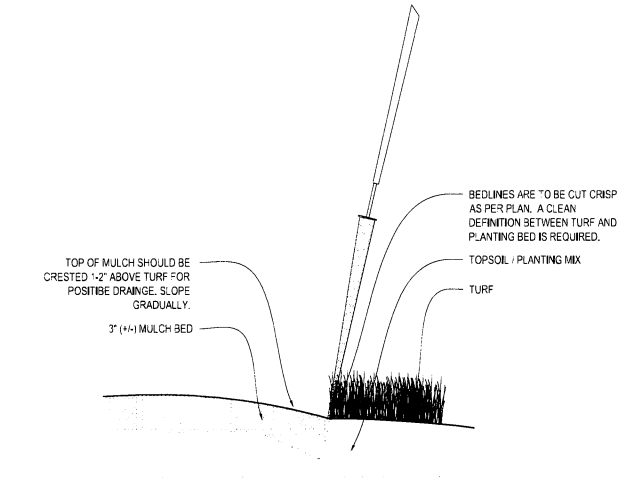
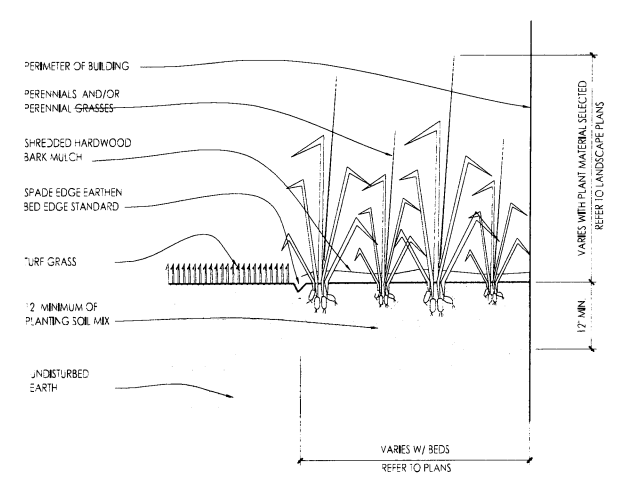
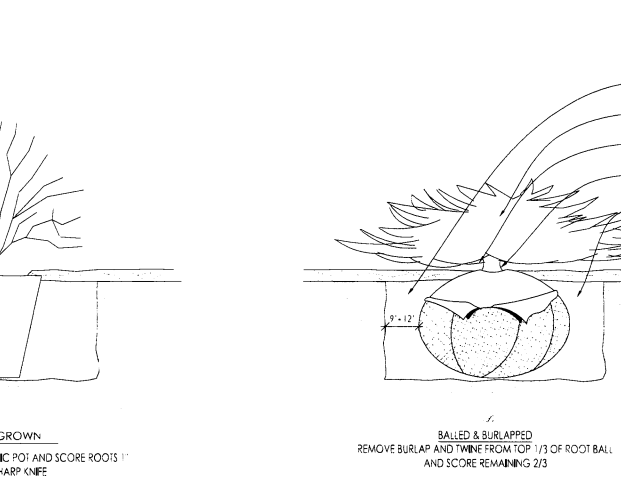
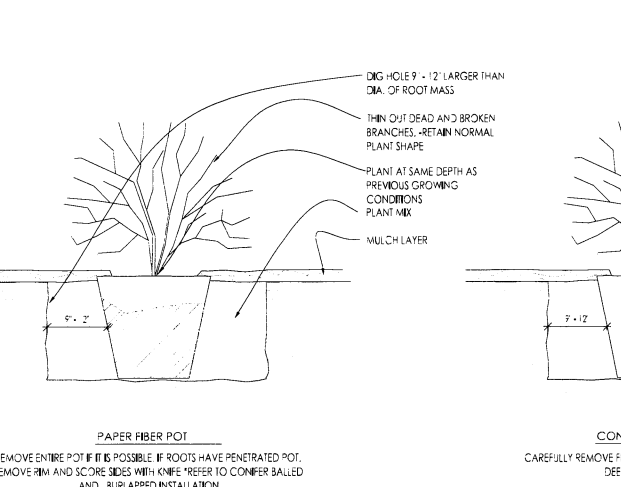
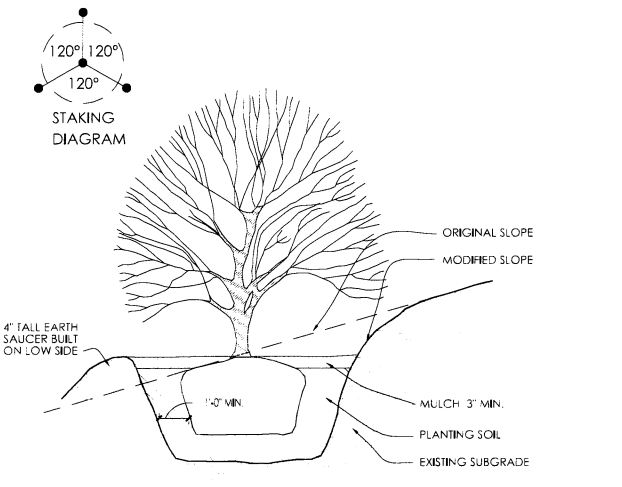
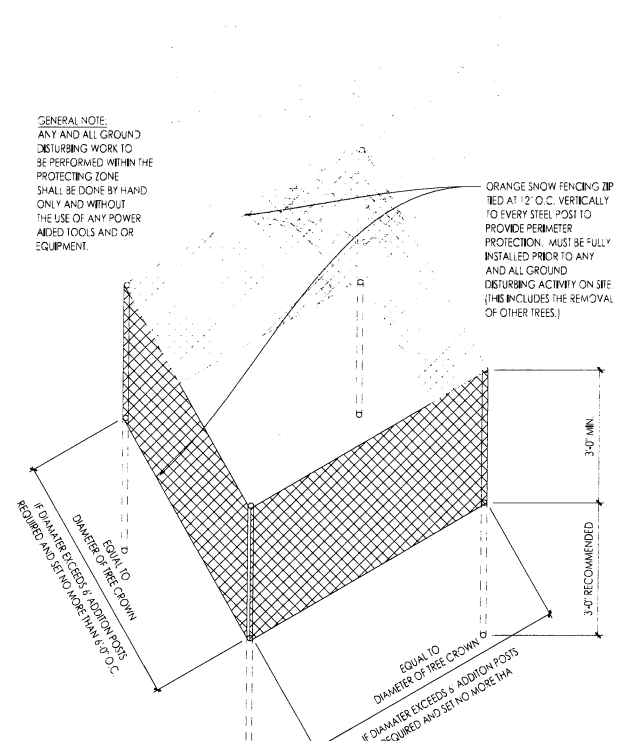
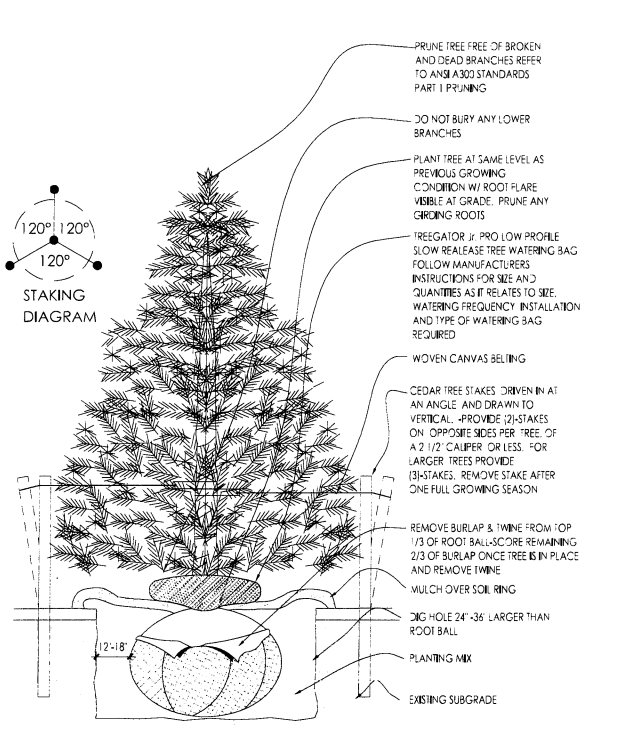
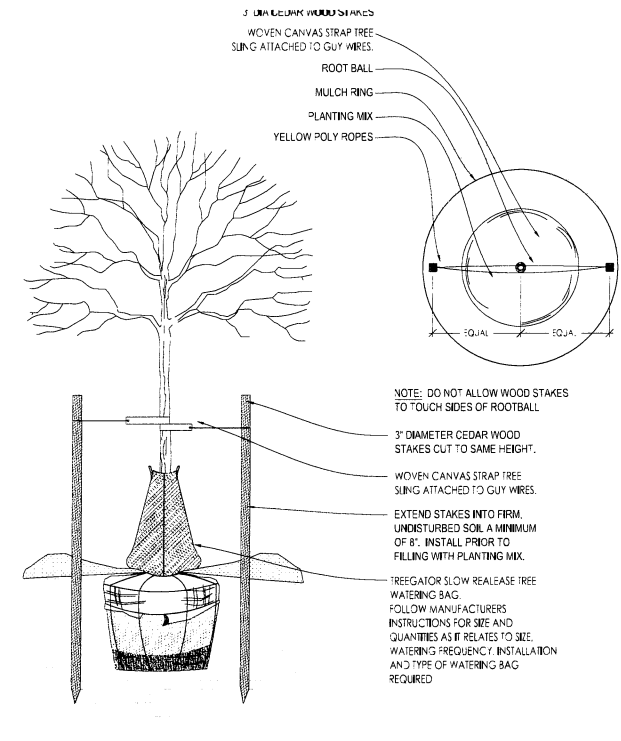
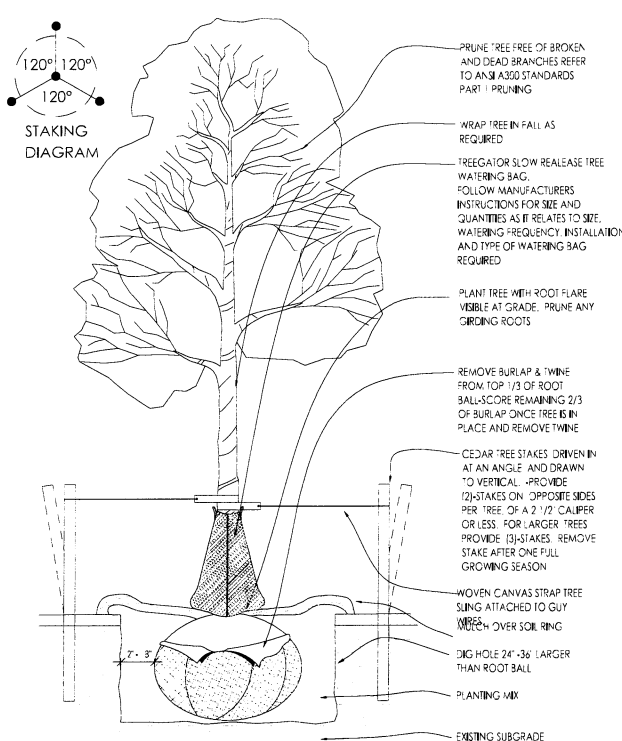
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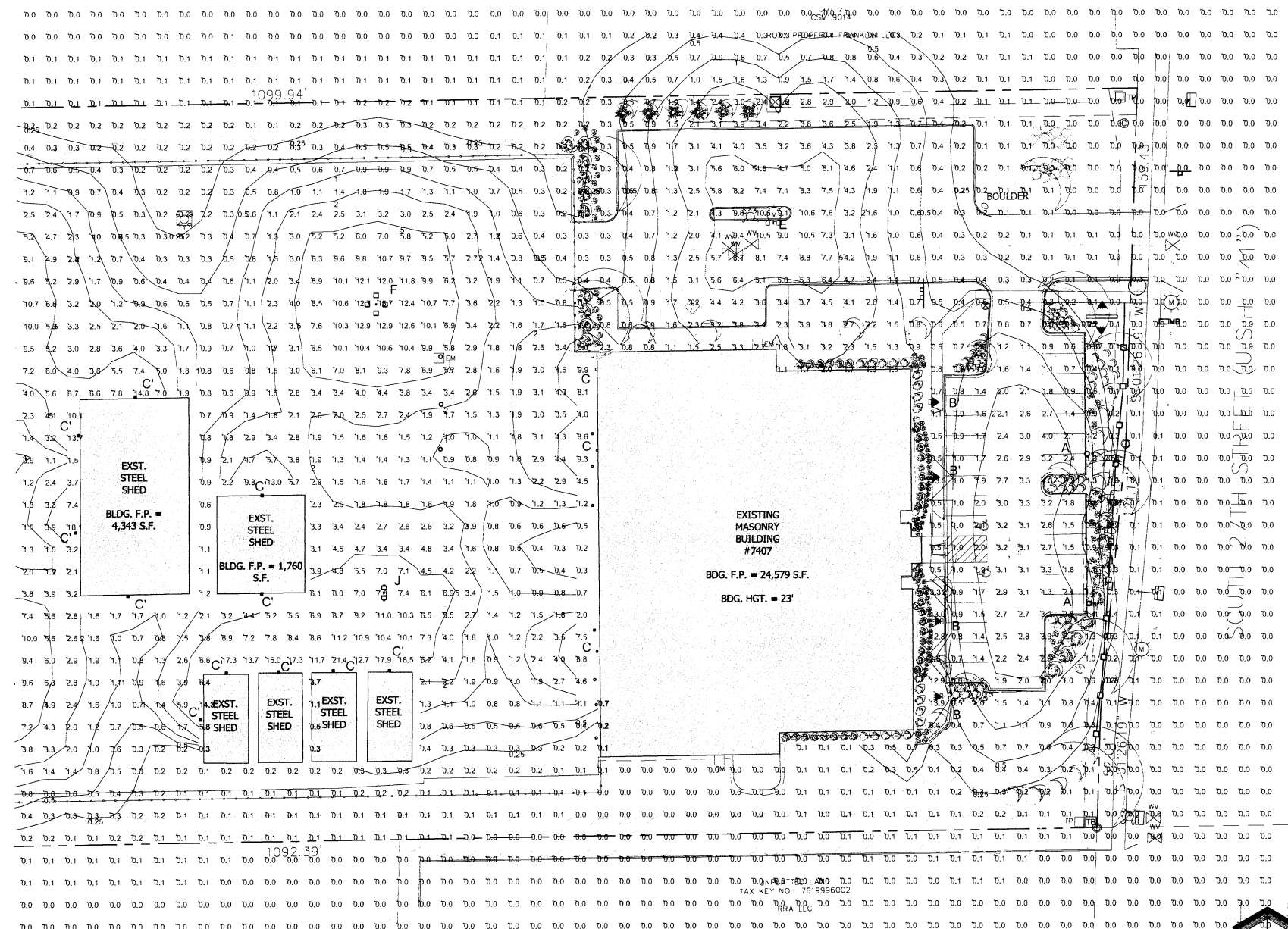
PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

Date of Drawing: 10/27/23
Scale: As Noted
Drawn By: MCD
Job Number: L22-079
Sheet Number:

LSP1.4



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1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - EAST

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	A	2	OSQ-A-xxx-4ME-U-40K-ULxxxxx w/OSQ-BLSMF CONFIGURED	Creo OSQ Series Area Luminaire Type II Medium w/ Backlight Shield, U Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire Type III Medium w/ Backlight Shield, U Input Power Designator, 4000K	MDA	OSQ-A-xxx-4ME-U-40K-ULxxxxx_PL07 690-001A-IES	Absolite	1.00	214.51
□	B	2	PR640	EXISTING FLOOD OPTIC	EXISTING HORIZONTAL POSITION FLOOD	PR640-250.ies	40000	1.00	450
□	C	3	LAC417SBL	16" x 9" AREA WALL PACK W/BACK LT. SHIELD	EXISTING BUILDING MOUNTED WALL PACK FLOOD	LAC417SBL.ies	14000	1.00	185
□	E	1	VPR694	22" VERTICAL PARKING/ROADWAY TYPE IV	EXISTING PARKING/ROADWAY HORIZONTAL POSITION FLOOD	VPR694.ies	44000	1.00	970

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	UG	CV	Avg/Max
Calc Zone #6	+	2.1 fc	21.4 fc	0.0 fc	N/A	N/A	-1.0	2.2	0.0:1

PHOTOMETRIC PLAN GENERAL NOTES

- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
- THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
- ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
- VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

Project:
MASTER HALCO
7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
01/05/23		Plan Commission Re-Submittal
10/27/23		Revisions Based on Staff Comments

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Sheet Title:
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 10/27/23
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

PHO1.1

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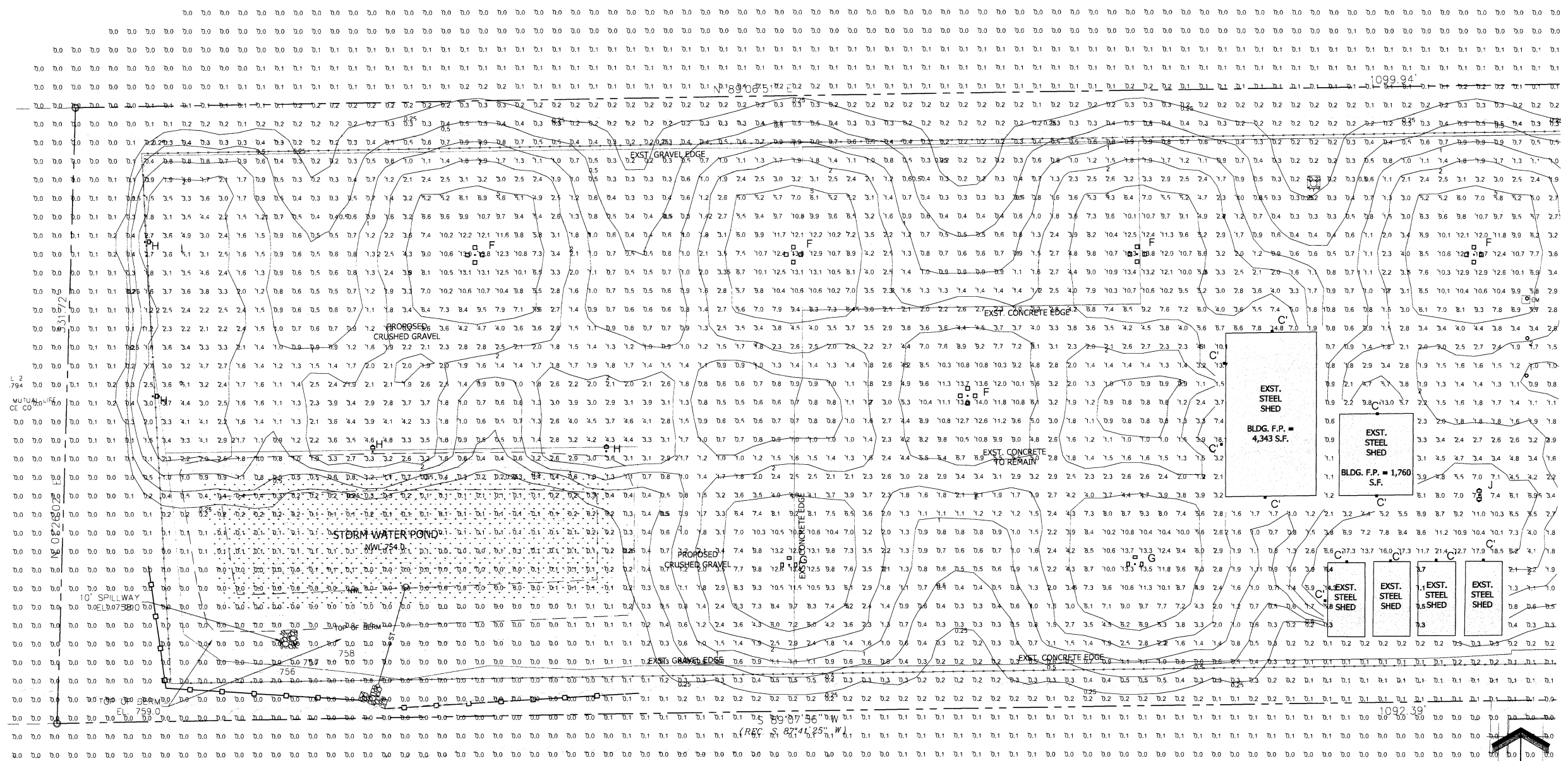
Project:

**MASTER
HALCO**

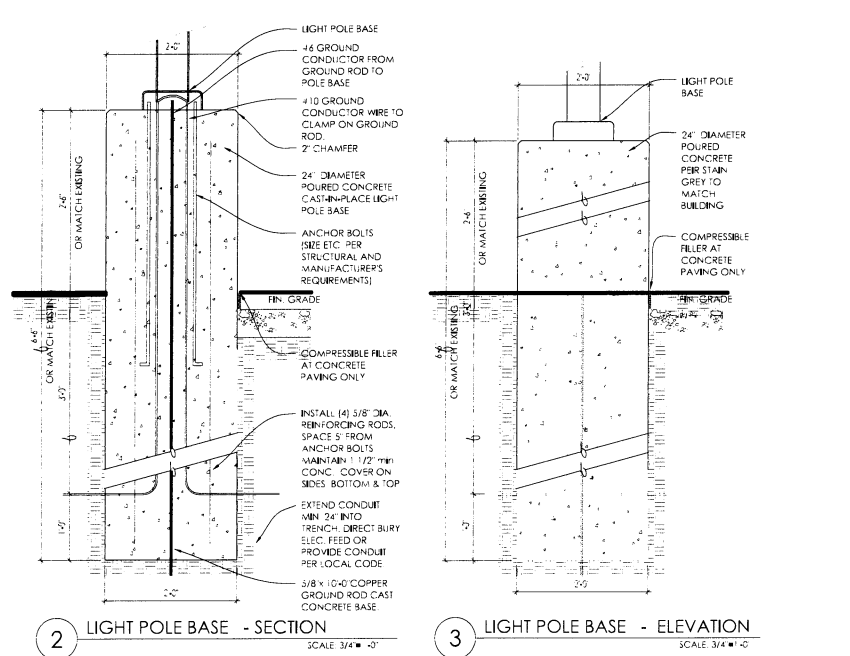
7407 South 27th Street
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1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - WEST



2 LIGHT POLE BASE - SECTION

3 LIGHT POLE BASE - ELEVATION

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
F		5	OSQ-A-xx-4ME-K-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium Input Power Designator, 4000K CONFIGURED FROM OSQ-A-xx-4ME-B-30K-ULxxxxx	CONFIGURED FROM Eight Cree MDA LEDs	OSQ-A-XX-4ME-T-40K-ULXXXXX_CON FIGURED.ies	Absolute	1,000	520
G		2	OSQ-A-xx-4ME-T-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium Input Power Designator, 4000K CONFIGURED FROM OSQ-A-xx-4ME-U-40K-ULxxxxx	CONFIGURED FROM MDA	OSQ-A-XX-4ME-T-40K-ULXXXXX_CON FIGURED.ies	Absolute	1,000	498
H		4	OSQ-A-xx-4ME-T-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 4000K CONFIGURED FROM OSQ-A-xx-4ME-U-57K-ULxxxxx w/OSQ-BLSLF	CONFIGURED FROM MDA	OSQ-A-XX-4ME-T-40K-ULXXXXX_W_OSQ-BLSLF_CONFI GURED.ies	Absolute	1,000	166
J		1	OSQ-A-xx-4ME-T-40K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 4000K CONFIGURED FROM OSQ-A-xx-4ME-U-40K-ULxxxxx w/OSQ-BLSLF	CONFIGURED FROM MDA	OSQ-A-XX-4ME-T-40K-ULXXXXX_W_OSQ_CONFI GURED.ies	Absolute	1,000	332

LUMINAIRE NOTES

- TEXTURE 'A' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING. FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'E' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (TWIN HEAD AND TENON) IS AN EXISTING POLE LOCATION. SHOWN FOR REFERENCE ONLY.
- TEXTURE 'F' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'G' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'H' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING. FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- TEXTURE 'I' IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (TWIN HEAD AND TENON). FIXTURES ARE TO BE INSTALLED ON A NEW 2-1/2" TALL REINFORCED POLYMER CONCRETE FOUNDATION AND NEW 20'-0" SQUARE POLE. FIXTURE HEAD TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING. FIELD VERY TO MATCH EXISTING. VERIFY WITH CITY OF FRANKLIN HEIGHT FIXTURE ORDINANCE.
- ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH A FULL CUT-OFF HOUSING SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) FINISH TO MATCH EXISTING w/ OPTIONAL P-TOCELL CONTROL.
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND-TROWELED MASONRY FINISH COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG-LASTING AESTHETIC.
- ALL NEW PROPOSED LIGHT POLES SHALL BE LOCATED 30" FROM BACK OF CURB TO THE EDGE OF THE REINFORCED LIGHT POLE BASE (UNLESS NOTED OTHERWISE).
- INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SERVICE LIGHTING CONTROL AND WIRING.
- CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
- PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A SILVER FINISH w/ OPTIONAL PHOTOCELL CONTROL.
- ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS. FOR PURPOSES OF CALCULATING THE LIGHTING AND PHOTOCELL CONTROL, ALL BUILDING MOUNTED LIGHT FIXTURES WERE PLACED AT 22'-0" ABOVE FINISHED FLOOR ELEVATION.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INDIRECT LIGHTING COMPONENTS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINANCE SOCIETY BEST PRACTICES. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, CLEARANCE IN LAMP SPACES AND OTHER FACTORS THAT MAY CAUSE CHANGES IN ELECTRICAL VOLTAGE, TO BRANCHED LAMP SPACES AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDING CURBS, LANDSCAPING OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

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Date of Drawing: 10/27/23
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L22-079
Sheet Number:

PHO1.2

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Project:

**MASTER
HALCO**

7407 South 27th Street
Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
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Sheet Title:

PROPOSED LIGHT FIXTURES

Date of Drawing: 10/27/23
Scale: NONE
Drawn By: MCD
Job Number: L22-079
Sheet Number:

PHO1.3

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750" LED Area/Flood Luminaire - Medium

Product Specifications

CONSTRUCTION & MATERIALS

- 750" LED Area/Flood Luminaire - Medium
- Construction: Die-cast aluminum housing with a powder coated finish.
- Optics: Clear polycarbonate lens with a clear polycarbonate diffuser.
- Mounting: Mounting holes are spaced 18" apart.
- Weight: Weight is 18.5 lbs.
- Dimensions: Dimensions are 18" x 18" x 18".

ELECTRICAL SYSTEM

- Power Factor: Power Factor is 0.95.
- Total Harmonic Distortion: Total Harmonic Distortion is 5%.
- Input Voltage: Input Voltage is 120V.
- Input Current: Input Current is 1.5A.
- Input Frequency: Input Frequency is 60Hz.

REGULATORY & VOLUNTARY QUALIFICATIONS

- UL Listed: UL Listed for use in damp or wet locations.
- ETL Listed: ETL Listed for use in damp or wet locations.
- RoHS Compliant: RoHS Compliant.

Accessories

- Hand-hole cover
- Two-piece die-cast base plate cover
- Shifted interior base hole

Ordering Information

Product	Mounting	Optic	Color Options
750"	Asymmetric	Clear	Black, White, Silver, Bronze

CREE

OSQ Series OSQ" LED Area/Flood Luminaire - Medium

Product Description

OSQ Series LED Area/Flood Luminaire - Medium is a high-performance, energy-efficient lighting fixture designed for outdoor use. It features a die-cast aluminum housing with a powder coated finish and a clear polycarbonate lens with a clear polycarbonate diffuser. The fixture is available in multiple mounting configurations and is suitable for use in damp or wet locations.

Performance Summary

- Rated Power: Rated Power is 150W.
- Rated Voltage: Rated Voltage is 120V.
- Rated Current: Rated Current is 1.25A.
- Rated Frequency: Rated Frequency is 60Hz.

Accessories

- Hand-hole cover
- Two-piece die-cast base plate cover
- Shifted interior base hole

Ordering Information

Product	Mounting	Optic	Color Options
OSQ"	Asymmetric	Clear	Black, White, Silver, Bronze

CREE

OSQ" LED Area/Flood Luminaire - Medium

Photometry

Photometric data for OSQ" LED Area/Flood Luminaire - Medium. The fixture is available in multiple mounting configurations and is suitable for use in damp or wet locations.

Accessories

- Hand-hole cover
- Two-piece die-cast base plate cover
- Shifted interior base hole

Ordering Information

Product	Mounting	Optic	Color Options
OSQ"	Asymmetric	Clear	Black, White, Silver, Bronze

CREE

OSQ" LED Area/Flood Luminaire - Medium

Photometry

Photometric data for OSQ" LED Area/Flood Luminaire - Medium. The fixture is available in multiple mounting configurations and is suitable for use in damp or wet locations.

Accessories

- Hand-hole cover
- Two-piece die-cast base plate cover
- Shifted interior base hole

Ordering Information

Product	Mounting	Optic	Color Options
OSQ"	Asymmetric	Clear	Black, White, Silver, Bronze

CREE

PS Series PS Series Square Steel Pole

Product Description

PS Series Square Steel Pole is a high-strength, square steel pole designed for outdoor use. It features a square cross-section and is available in multiple heights and diameters. The pole is suitable for use in damp or wet locations.

CONSTRUCTION & MATERIALS

- Material: Material is square steel.
- Finish: Finish is powder coated.
- Dimensions: Dimensions are 2" x 2" x 10'.

REGULATORY & VOLUNTARY QUALIFICATIONS

- UL Listed: UL Listed for use in damp or wet locations.
- ETL Listed: ETL Listed for use in damp or wet locations.
- RoHS Compliant: RoHS Compliant.

Accessories

- Hand-hole cover
- Two-piece die-cast base plate cover
- Shifted interior base hole

Ordering Information

Product	Mounting	Optic	Color Options
PS Series	Asymmetric	Clear	Black, White, Silver, Bronze

CREE

Brackets and Tenons PB Series Square Steel Pole Bracket

Product Specifications

Brackets and Tenons are used to secure lighting fixtures to square steel poles. They are available in multiple configurations and are suitable for use in damp or wet locations.

CONSTRUCTION & MATERIALS

- Material: Material is square steel.
- Finish: Finish is powder coated.
- Dimensions: Dimensions are 2" x 2" x 10'.

REGULATORY & VOLUNTARY QUALIFICATIONS

- UL Listed: UL Listed for use in damp or wet locations.
- ETL Listed: ETL Listed for use in damp or wet locations.
- RoHS Compliant: RoHS Compliant.

Accessories

- Hand-hole cover
- Two-piece die-cast base plate cover
- Shifted interior base hole

Ordering Information

Product	Mounting	Optic	Color Options
PB Series	Asymmetric	Clear	Black, White, Silver, Bronze

CREE

PS SERIES SQUARE STEEL POLE

CREE

PB SERIES SQUARE STEEL POLE BRACKET

CREE

City of Franklin Department of City Development

Date: December 7, 2023

To: Mayor John Nelson, City of Franklin
Plan Commission

From: City Development Staff – Associate Planner Marion Ecks, AICP

RE: 7979 W Ryan Rd Department of Public Works Site Plan Amendment

Plan Commission heard this item at the November 9, 2023 meeting. At that meeting, commission members expressed concerns about the impact on adjoining residential development, and requested that the City provide for a neighborhood meeting to allow for resident input.

As a result, the Commission adopted a motion to table this item to the December 7, 2023 meeting so staff and Alderperson can get feedback from the neighborhood regarding visual and sound deflection.

A neighborhood meeting was held on Monday, November 27, 2023. A summary of the meeting provided by City Engineer Morrow is appended here.

Staff has also provided a revised Resolution reflecting the City Attorney's comment that the Resolution should clarify that this is "City Application" and not a request of the Mayor.

STATE OF WISCONSIN

CITY OF FRANKLIN
PLAN COMMISSION

MILWAUKEE COUNTY

[Draft 11/28/2023]

RESOLUTION NO. 2023-____

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR THE
DEVELOPMENT A NEW STORAGE FACILITY AND PUBLIC DROP OFF AREA, UPON
PROPERTY LOCATED AT 7979 W RYAN RD
(CITY OF FRANKLIN (JOHN NELSON, MAYOR) APPLICANT;
CITY OF FRANKLIN, PROPERTY OWNER)

WHEREAS, the City of Franklin (John Nelson, Mayor) having petitioned the City of Franklin for the approval of a Site Plan Amendment to allow for development of a new storage facility and public drop off area, such Site Plan having been previously approved as part of a Zoning Permit approval for the City of Franklin Department of Public Works Facility and Storage Yard, on January 25, 1996; subsequently amended by RES 2017-005 on June 22, 2017; and RES 2019-7468 on February 19, 2019; upon property located at 7979 W Ryan Road, zoned I-1 Institutional District. The property which is the subject of the application bears Tax Key No. 896 9990 001.

WHEREAS, the development proposes a new storage facility and public drop off area and the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0312: I-1 Institutional District of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan amendment review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan Amendment for Department of Public Works, dated October 30, 2023 as submitted by John Nelson, Mayor, City of Franklin, as described above, is hereby approved subject to the following conditions:

1. The City of Franklin (John Nelson, Mayor), successors and assigns and any developer of the Department of Public Works project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Department of Public Works project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified

DEPARTMENT OF PUBLIC WORKS - SITE PLAN

RESOLUTION NO. 2023-____

Page 2

Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon the City of Franklin (John Nelson, Mayor), the Department of Public Works project for the property located at 7979 W Ryan Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The Department of Public Works project shall be developed in substantial compliance with the plans City file-stamped October 30, 2023.
4. The Plan Commission determines that the proposed storage building is part of the principal use of the development, and is therefore a principal structure subject to the requirements of I-1 Institutional District (§15-3.0312.C).
5. The applicant shall provide a Natural Resource Protection Plan or letter of no resource (§15-7.0102.G, §15-7.0103.J) prior to the issuance of a building permit.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Department of Public Works development as depicted upon the plans City file-stamped October 30, 2023 attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan Amendment for the property located at 7979 W Ryan Road, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2023.

DEPARTMENT OF PUBLIC WORKS - SITE PLAN

RESOLUTION NO. 2023-____

Page 3

APPROVED:

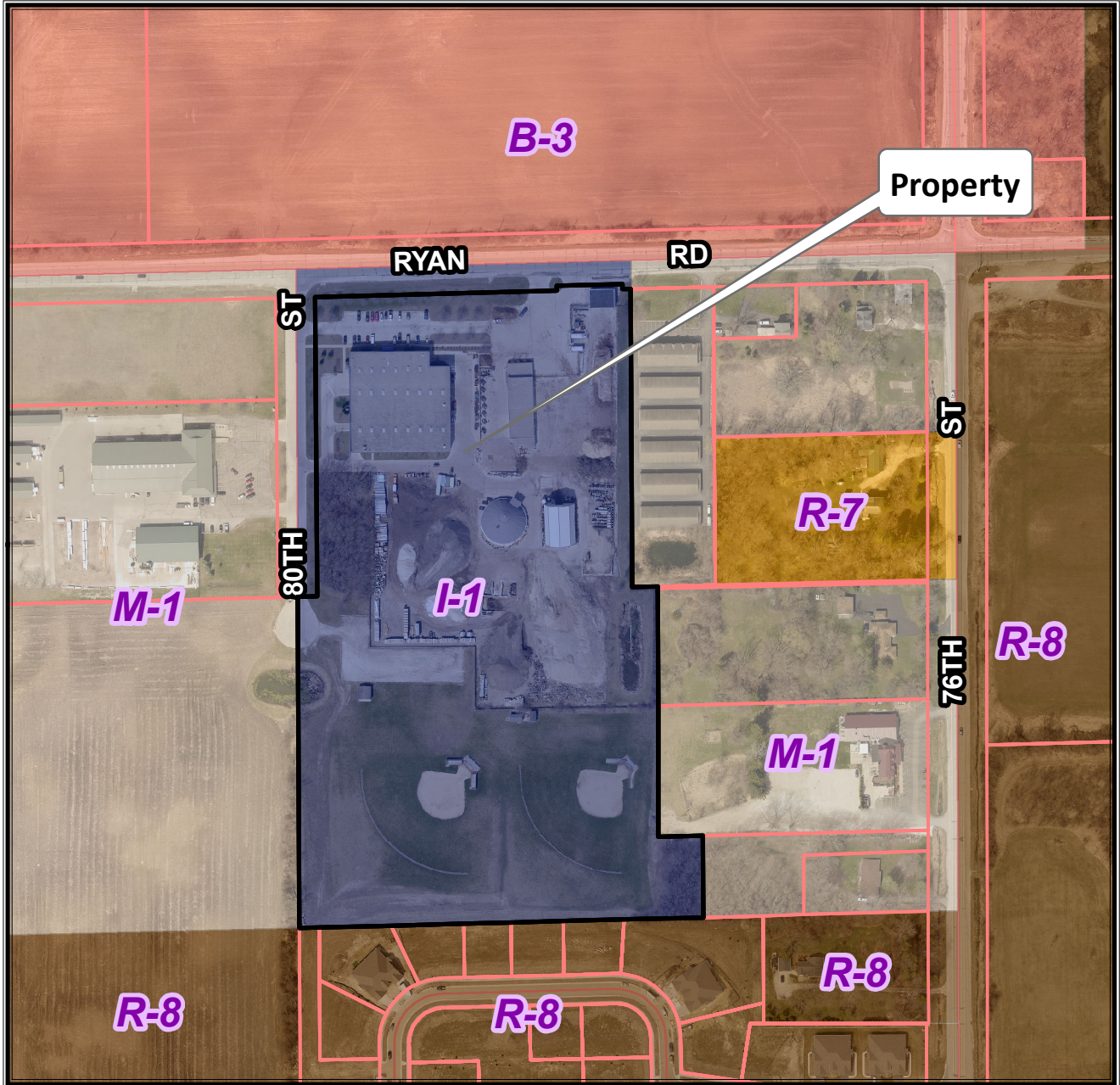
ATTEST:

John R. Nelson, Mayor

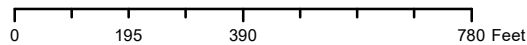
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

7979 W. Ryan Road
TKN 896 9990 001

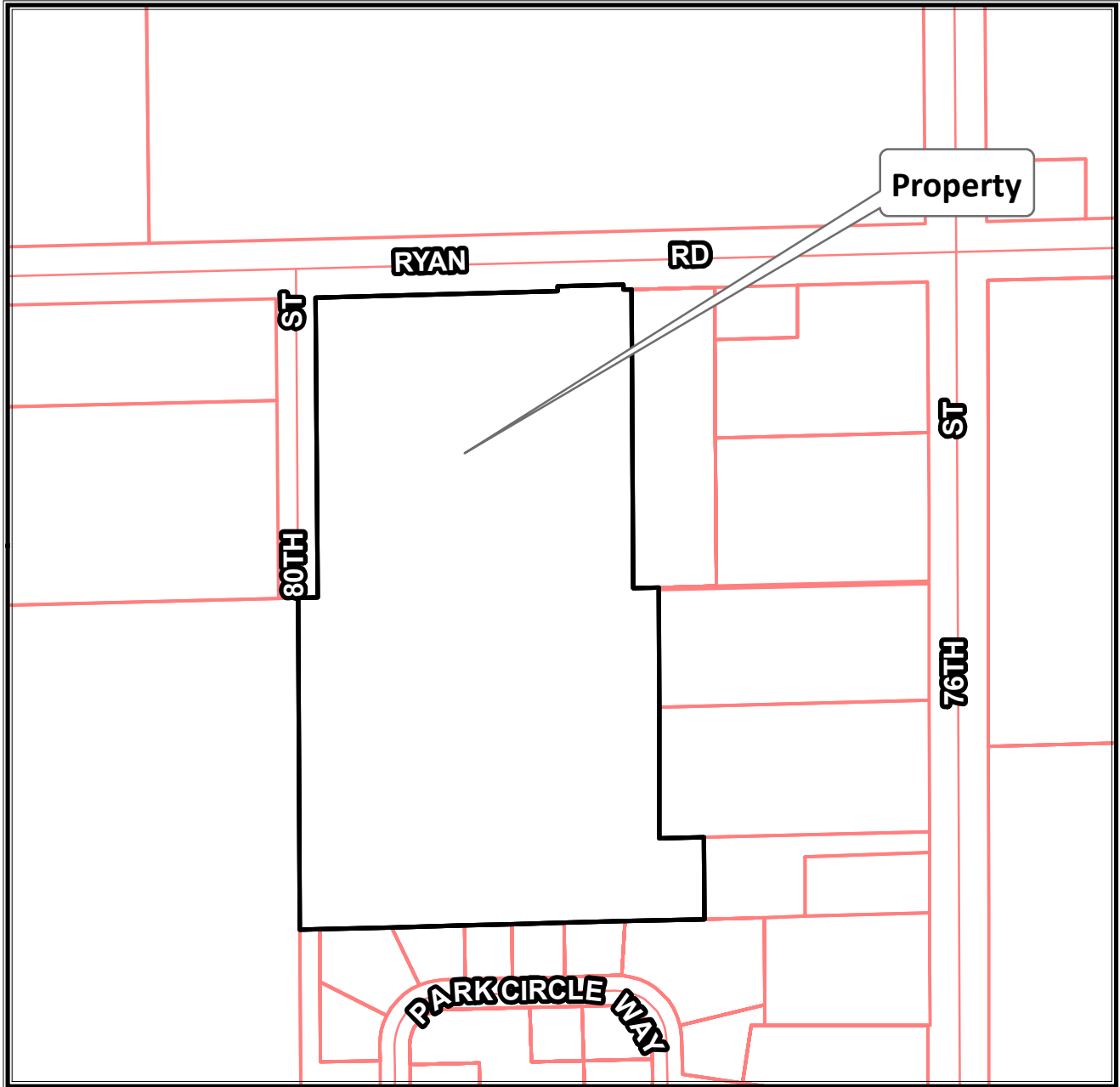


Planning Department
(414) 425-4024

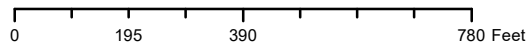


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7979 W. Ryan Road
TKN 896 9990 001



Planning Department
(414) 425-4024



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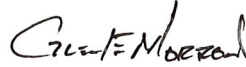
NORTH
2021 Aerial Photo

DATE: November 28, 2023

TO: Franklin Plan Commission

FROM: Glen E. Morrow, PE- City Engineer, Director of Public Works, Utility Manager

SUBJECT: Department of Public Works Site Plan Amendment
DPW Storage Facility- 7979 W. Ryan Road



At the November 9, 2023 Plan Commission meeting, the referenced item was tabled to provide Staff an opportunity to have a meeting with the neighbors and discuss the project. The attached invitation was mailed to all properties in the Park Circle subdivision to the south, all residents adjacent to the DPW site along S. 76th Street, and Zuern Building Products to the west. In addition, the invitation was emailed to the Franklin Public Schools who owns property to the west.

The meeting was held on November 27, 2023 at the DPW facility and there were a total of 5 residents from three Park Circle households in attendance. Myself, Alderman Holpfer, and Assistant City Engineer Tyler Beinlich discussed the project with the residents. Of note:

1. It is uncertain how long the City has owned this parcel but it has been a long time. The softball league did not own the land but was using the site until the City DPW needed the expansion.
2. The City DPW is currently in need of additional storage to keep equipment under roof. There are future plans of expanding the main DPW building, demolishing older City buildings, and relocating a fire station to this campus in the future.
3. It was discussed that the Park Circle developer knew about the DPW plans for expansion but apparently did not convey this information to the home buyers.
4. The City will make efforts to shield the expanded area and new building(s) with a berm and landscaping. If the landscaping is inadequate, the City will attempt more plantings in the future up to the overcrowding point.
5. The new building and storage yard expansion to the south should not have any late-night impacts to the residents. DPW will not be there operating equipment beyond what would happen on the site under current conditions.
6. The fencing was discussed as a chain link with slats. The residents requested that the fence be placed away from the property line. We will try to move the fence to the top of the berm with the landscaping on the Park Circle side. This may negate the need for man gates. It was noted that the fence will need to be at the property line around the proposed pond in the southeast part of the parcel.
7. The residential drop off site was discussed. Continual lighting is not desirable at night. otherwise, no concerns about the setup. 7 am to 7 pm is the maximum hours that the residents would support.
8. There was a concern about the Park Circle Drive extension to an eventual S. 80th Street / School parking areas. It was noted to the residents that the Park Circle Drive extension was constructed for that purpose.

9. It was noted that the bids for the building were received and above the budget. Staff isn't sure how the project will proceed but some changes are likely.
10. DPW may still start construction of the pond, berm, and fencing. Temporary fencing or snow fencing would be needed to protect the site until the permanent fence could be installed.
11. Extension of the sanitary sewer from the southeast corner was discussed to serve the new storage building and other parcels along S. 76th Street.
12. The residents asked that before any activity occurs, an email to Don Wlodarski the HOA president as communication to the neighbors. Don.wlodanski11@gmail.com. Don will get the word out to the Park Circle community.



City of Franklin
Engineering Department

November 10, 2023

Adjacent Property Owners

Re: **Invitation to Neighborhood Meeting**
Monday- November 27, 2023 6:00 pm
DPW Office- 7979 W. Ryan Road

Dear Property Owner:

You are invited to a neighborhood meeting to discuss a new DPW storage building on our site at 7979 W. Ryan Road. We believe that we have positioned the building to minimize impacts to our neighbors, but would like you to fully understand the project before the Plan Commission makes a final approval of the site plan on December 7, 2023 (6:00 pm).

The attached exhibits show the location of the building, the details for the screening, and some schematics of the proposed building. You should note that the new building will not result in increased noises beyond what is there now- ie activity is seldom beyond 4:00 pm. This is simply a much-needed storage facility to assist in storage of vehicles and equipment.

Note that there is also a proposed recycling center (shown as "drop site") on S. 80th Street that would be relocated from the center of the site and available to residents for expanded hours.

Sincerely,

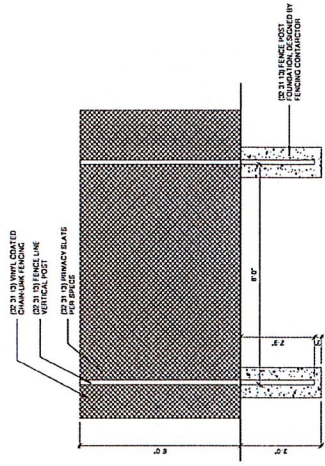
A handwritten signature in black ink that reads "Glen E. Morrow".

Glen E. Morrow, PE, City Engineer / Director of Public Works

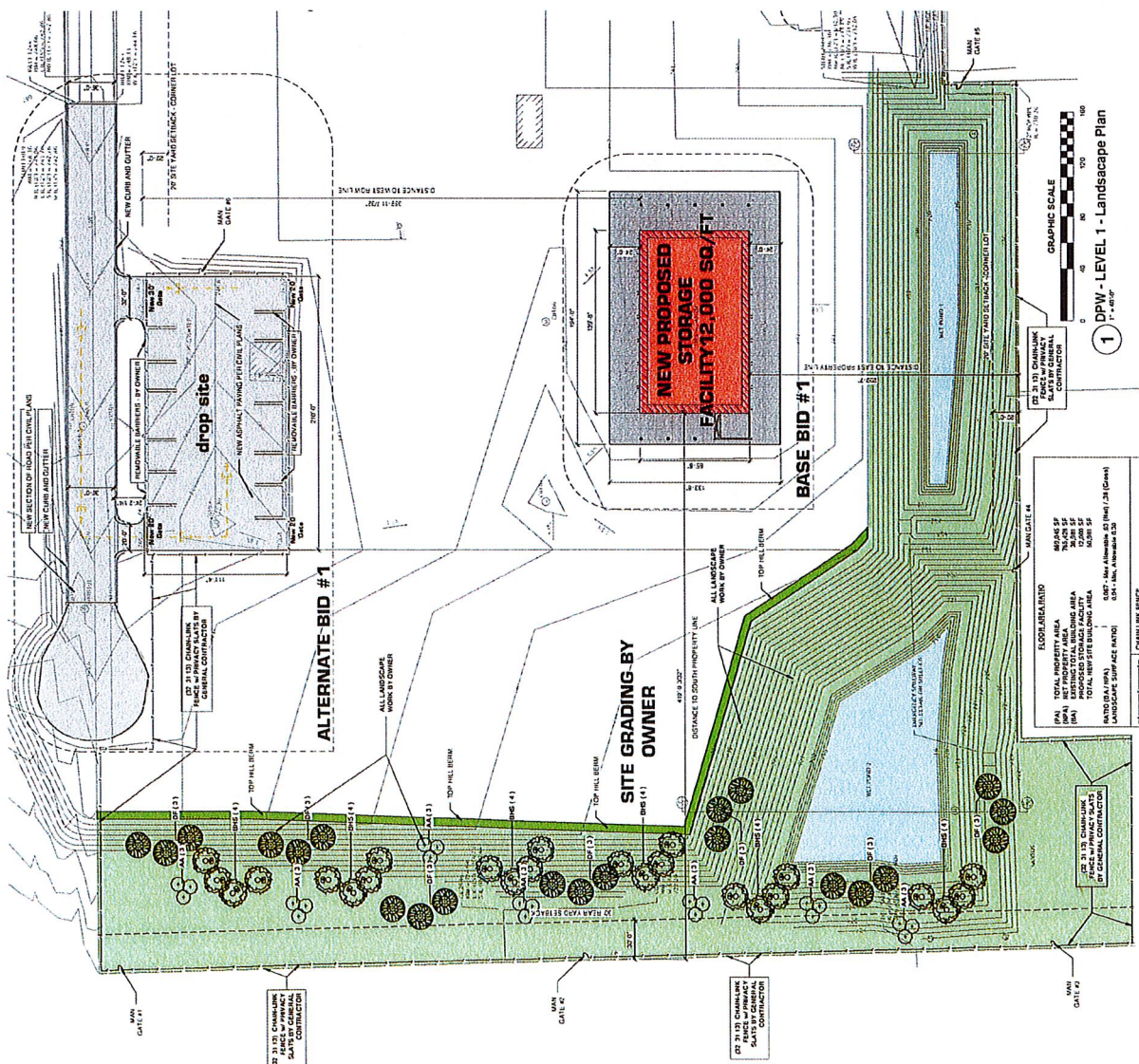
Copy: Mayor John R. Nelson
Ed Holpfer, Alderman District 1

LANDSCAPE SCHEDULE

Key	Botanical Name	Common Name	Planting Size	Planting Distance	Comments	IN USE
BKS	Pisona Glauca var. Divinaba	Black Hills Spruce	3-1/2" Cal.	Per Plan	5'-0" x 6'-0" 1/8"	Yes
AA	Thuja Occidentalis	American Arborvitae	3-1/2" Cal.	Per Plan	5'-0" x 6'-0" 1/8"	Yes
DP	Prinoschlothea menziesii	Douglas Fir	3-1/2" Cal.	Per Plan	5'-0" x 6'-0" 1/8"	Yes

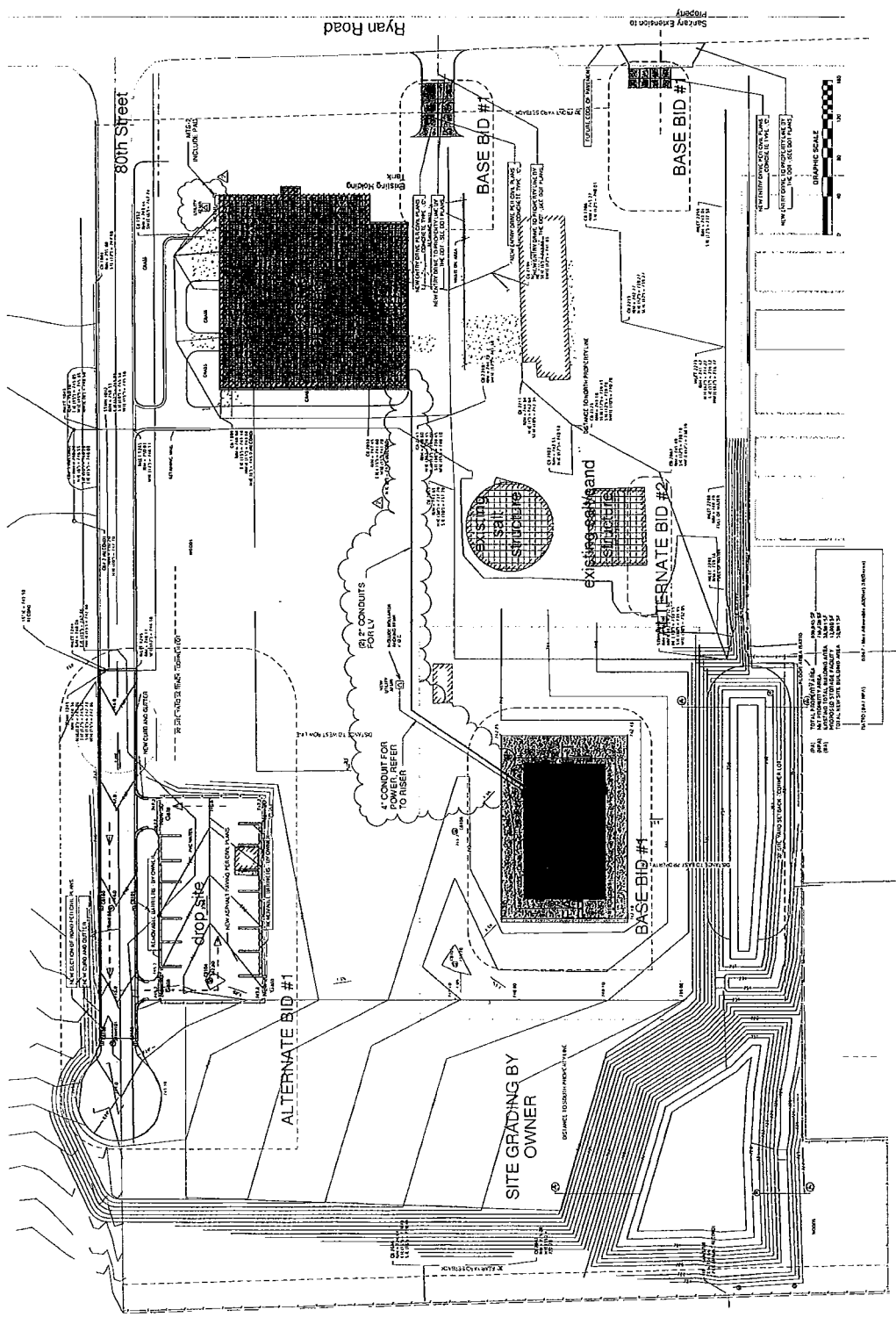


2 Standard Fence Detail
1/2" x 1/2"

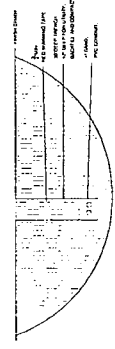


PLAN QUOTE
 SCALE: AS NOTED
1A102

Address: #2 November 1, 2023
Landscape Plan
 Location: 6000 W. 12th Ave., Denver, CO 80202
 City of Front Range Planning, Design and Construction
 City of Front Range Planning, Design and Construction
 October 12, 2023



1 Site Plan
1" = 30' 0"



2 12" DIA. ELECTRICAL CONDUIT TRENCHING DETAIL
1/8" = 1'-0"

