



**PLAN COMMISSION MEETING AGENDA**  
**Thursday, December 21, 2023 at 6:00 P.M.**

**A. Call to Order and Roll Call**

**B. Approval of Minutes**

1. Approval of regular meeting of December 7, 2023.

**C. Public Hearing Business Matters**

1. **Administrative review for sign permitting in the Franklin Industrial Park.** Request to amend the sign permitting process for the Franklin Industrial Park (Planned Development District No. 7) by providing for administrative review of sign permits by the Department of City Development staff, without the prerequisite of an additional review and approval by the Economic Development Commission (EDC).
2. **Hiller Ford Special Use Amendment.** Request for an amendment to a Special Use Permit for a proposed building addition of a parts warehouse use at the west end of the existing shop building located at 6455 South 108th Street (TKN 704 1014 000).

**D. Business Matters**

1. **Anhalt, release of plat restriction.** Request to allow for a fence and shed within the 30 foot "Planting Strip" upon Lot 2 in Southwood East Addition No. 2 Subdivision, 4107 W. Barnwood Court (TKN 880 0021 000).
2. **Poths General Certified Survey Map.** Request to combine three existing properties bearing Tax Key Nos. 756 9993 012, 756 9993 016, and 756 9993 021 into a single parcel to accommodate the Poths General development located at approximately 7154 South 76th Street.
3. **Poths General Minor PDD Amendment.** Request to amend Planned Development District No. 42 to revise landscaping requirements for the Poths General development located at approximately 7154 South 76th Street (TKNS 756 9993 012, 756 9993 016, and 756 9993 021).
4. **Poths General Site Plan.** Request for approval of a Site Plan for the mixed use Poths General development located at approximately 7154 South 76th Street (TKNS 756 9993 012, 756 9993 016, and 756 9993 021).

**E. Adjournment**

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The YouTube channel "City of Franklin WI" will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting. <https://www.youtube.com/c/CityofFranklinWIGov>. Any question regarding items on this agenda may be directed to the Department of City Development's office at 414-425-4024, Monday through Friday, 8:30 AM – 5:00 PM.

\*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

**REMINDERS:**

Next Regular Plan Commission Meeting: January 4, 2024.

**City of Franklin**  
**Plan Commission Meeting**  
**December 7, 2023**  
**Minutes**

unapproved

**A. Call to Order and Roll Call**

Mayor John Nelson called the December 7, 2023 Plan Commission meeting to order at 6:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, Alderwoman Courtney Day, City Engineer Glen Morrow and Commissioners Patrick Leon, Kevin Haley and Michael Shawgo. Also present were Director of Administration Kelly Hersh, City Attorney Jesse Wesolowski, Alderman Edward Holpfer, Principal Planner Regulo Martinez-Montilva, Planning Associate Nick Fuchs, Planning Intern Anna Kissel and Nick Johnson, Planner, MD Roffers (remote). Excused was Commissioner Patricia Hogan.

**B. Approval of Minutes – Regular Meeting of November 9, 2023**

Commissioner Leon moved and Alderwoman Day seconded a motion to approve the November 9, 2023 meeting minutes. On voice vote, all voted ‘aye’; motion carried (5-0-1).

**C. Public Hearing Business Matters**

- 1. Conway Area Exception.** Request for lot coverage increase to allow for a detached garage, upon property located at 11933 W. Oakwood Drive (749 0055 00).

Principal Planner Johnson presented the request by Thomas C. Conway, applicant.

The Official Notice of Public Hearing for an Area Exception was read in to the record by Principal Planner Martinez-Montilva and the Public Hearing opened at 6:12 pm and closed at 6:13 pm.

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of an Area Exception to allow for a lot coverage of 17.65% (4,228 square feet) for the installation of a detached garage, exceeding the R-3 maximum lot coverage standard of 15% (3,594 square feet), for property located at 11933 W. Oakwood Drive. On voice vote, all voted ‘aye’; motion carried (5-0-1).

- 2. Master Halco Special Use Amendment/Miscellaneous Application.** Request for approval of a Special Use Amendment and Miscellaneous Application to allow for a fence wholesaler and distributor with indoor and outdoor storage of inventory, light fabrication of gates, and office spaces upon property located at 7407 South 27th Street (761 9994 006).

Planner Associate Fuchs presented the request by Master Halco.

The Public Hearing opened at 6:24 pm and closed at 6:24 pm.



City Engineer Morrow moved and Commissioner Leon seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use Amendment for a fence warehouse, distribution, and fabrication business use with outdoor storage upon property located at 7407 South 27<sup>th</sup> Street (Master Halco, Inc., applicant, Platt Construction, property owner). On roll call vote, 4 voted 'aye' and 1 voted nay; motion carried (4-1-1).

- 3. Glander Family Chiropractic Unified Development Ordinance Text Amendment.** Request to amend Table 15-3.0603 of the Unified Development Ordinance to add Standard Industrial Classification Title No. 8041 "Offices and Clinics of Chiropractors" as a Special Use in the M-1 Limited Industrial District.

Planner Associate Fuchs presented the request by Glander Family Chiropractic.

The Official Notice of Public Hearing for a Unified Development Ordinance Text Amendment was read in to the record by Planner Associate Fuchs and the Public Hearing opened at 6:39 pm and closed at 6:39 pm.

Commissioner Leon moved and Commissioner Shawgo seconded a motion to recommend approval of an Ordinance to amend the Unified Development Ordinance text at table 15-3.0603 Standard Industrial Classification Title No. 8041 "offices and clinics of Chiropractors" to allow such use as a Special Use in the M-1 Limited Industrial District (Eleah Glander, Glander Family Chiropractic, applicant, ACG Acquisitions #10 LLC (d/b/a Anderson Commercial Grp), property owner). On voice vote, all voted 'aye'; motion carried (5-0-1).

- 4. Glander Family Chiropractic Special Use.** Request for approval of a Special Use to allow for a chiropractic office and services business use upon property located at 11217 West Forest Home Avenue (748 9961 001).

Planner Associate Fuchs presented the request by Glander Family Chiropractic.

The Official Notice of Public Hearing for a Special Use was read in to the record by Planner Associate Fuchs and the Public Hearing opened at 6:45 pm and closed at 6:45 pm.

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for a Special Use for a chiropractic office and services business use upon property located at 11217 West Forest Home Avenue (by Eleah Glander, Glander Family Chiropractic, applicant, ACG Acquisitions #10 LLC (d/b/a Anderson Commercial Grp), property owner). On voice vote, all voted 'aye'; motion carried (5-0-1).

- 5. Boomtown Special Use Amendment.** Request to amend a previously approved Special Use permit from 13 two-family homes to 13 single-family homes, upon property located at 12000 W. Loomis Road (891 9011 000).

Principal Planner Martinez-Montilva presented the request by Boomtown, LLC.

The Official Notice of Public Hearing for a Special Use Amendment was read in to the record by Principal Planner Martinez-Montilva and the Public Hearing opened at 6:55 pm and closed at 6:55 pm.

Commissioner Leon moved and Commissioner Shawgo seconded a motion to recommend approval of a Resolution to amend Resolution No. 7873 imposing conditions and restrictions for the approval of a Special Use for a condominium complex development use upon property located at 12000 West Loomis Road (Stephen R. Mills, president of Bear Development, LLC, applicant, Boomtown, LLC, property owner) in the form as provided to the Plan Commission, with the understanding that the development must have one utility service per unit. On voice vote, all voted 'aye'; motion carried (5-0-1).

6. **Mr. Green's BBQ Special Use.** Request for approval of a Special Use to allow for an approximately 440 sq. ft. meat-smoker enclosure and overnight parking for a food truck, located at 7740 South Lovers Lane Road, Suite 400 (794 9001 000).

Planning Intern Kissel presented the request by Thomas Green, Jr., applicant.

The Official Notice of Public Hearing for a Special Use was read in to the record by Planning Intern Kissel and the Public Hearing opened at 7:08 pm and closed at 7:12 pm.

Commissioner Leon moved and Alderwoman Day seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for a Special Use to allow for an approximately 440 sq. ft. meat-smoker enclosure and overnight parking for a food truck, located at 7740 South Lovers Lane Road, Suite 400 (Thomas Green, Jr. Mr. Greens BBQ, applicant; Franklin Wyndham LLC, property owner) with revisions to the hours of operation from 2 p.m. to 6 p.m. On voice vote, all voted 'aye'; motion carried (5-0-1).

7. **AK Developers, LLC Special Use.** Request for approval of a Special Use to allow for an approximately 3,500 sq. ft. liquor, tobacco, & miscellaneous retail sale use, located at 7730 South Lovers Lane Road, Suite 200 (794 9999 007).

Planning Intern Kissel presented the request by AK Developers, applicant.

The Official Notice of Public Hearing for a Special Use was read in to the record by Planning Intern Kissel and the Public Hearing opened at 7:20 pm and closed at 7:20 pm.

Commissioner Leon moved and Alderwoman Day seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for a Special Use to allow for an approximately 3,500 sq. ft. liquor, tobacco, & miscellaneous retail sale use, located at 7730 South Lovers Lane Road, Suite 200 (Dharmesh Ghelani, AK Developers, applicant; Franklin Wyndham LLC, property owner). On voice vote, all voted 'aye'; motion carried (5-0-1).

8. **On Cloud Wine Special Use.** Request for approval of a Special Use to allow for a wine bar in the multi-tenant retail building located in the PDD 26 zoning district, located at 10064 West Loomis Road (841 0073 000).

Planning Intern Kissel presented the request by Randy Larson, On Cloud Wine, applicant.

The Official Notice of Public Hearing for a Special Use was read in to the record by Planning Intern Kissel and the Public Hearing opened at 7:28 pm and closed at 7:28 pm.

Commissioner Leon moved and Commissioner Shawgo seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for a Special Use to allow for a wine bar in the multi-tenant retail building located in the PDD 26 zoning district, located at 10064 West Loomis Road (Randy Larson, On Cloud Wine, applicant; Park Place Holdings, property owner), with hours of operation: no later than 10 p.m. Wednesdays through Saturdays and open for special events on Sundays no later than 9 p.m. On voice vote, all voted 'aye'; motion carried (5-0-1).

#### D. Business Matters

1. **Master Halco Site Plan Amendment.** Request for approval of various site modifications including but not limited to, construction of a 28-stall parking lot, installation of new building and parking lot lighting, adding new landscape plantings, and construction of a storm water management pond upon property located at 7407 South 27th Street (761 9994 006).

Commissioner Leon moved and Commissioner Haley seconded a motion to approve a Resolution approving a Site Plan Amendment for the development of a Master Halco sales branch upon property located at 7407 South 27<sup>th</sup> Street (Master Halco, Inc., applicant, Platt Construction, property owner). On roll call vote, 4 voted 'aye' and 1 voted 'nay'; motion carried (4-1-1).

2. **Department of Public Works Site Plan Amendment.** Request for approval of a Site Plan Amendment to allow for redesign of the existing yard, including development of a new storage building and yard waste drop off area, on property located at 7979 W. Ryan Road (896 9990 001). Additionally, the applicant is requesting a determination from Plan Commission as to whether the proposed storage building may be considered a Principal Structure. *This item was tabled at the November 9, 2023 meeting to provide for a neighborhood meeting.*

Commissioner Leon moved and Commissioner Shawgo seconded a motion to adopt a Resolution approving a Site Plan Amendment for the development a new storage facility and public drop off area, upon property located at 7979 W Ryan Rd (by City of Franklin, John Nelson, Mayor, applicant; City of Franklin, property owner). On voice vote, all voted 'aye'; motion carried (5-0-1).

#### E. Adjournment

Commissioner Leon moved and Commissioner Haley seconded to adjourn the meeting at 7:52 p.m.. On voice vote, all voted 'aye'; motion carried (5-0-1).



CITY OF FRANKLIN  
REPORT TO THE PLAN COMMISSION

Item C.1

Meeting of December 21, 2023

Major Amendment to Planned Development District No. 7

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**RECOMMENDATION:** City Development Staff recommends approval of this Planned Development District amendment to allow for administrative review of sign permitting in the Franklin Industrial Park.

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<b>Project Name:</b>	<b>Administrative review for sign permitting in the Franklin Industrial Park (PDD-7)</b>
Location :	Franklin Industrial Park, Planned Development District (PDD) 7
Zoning:	PDD-7
Applicant:	City of Franklin, Department of City Development
Planner:	Régulo Martínez-Montilva, AICP, CNUa
Submittal Date:	06-02-2023

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In order to streamline the sign permitting process in the Franklin Industrial Park, City Development Department staff is proposing an ordinance to allow for administrative review of sign permits by such department, without the prerequisite of an additional review and approval by the Economic Development Commission (EDC).

Pursuant to Ordinance 85-864, Section 12.10(17), the type, location, and placement of signs shall be approved by the Economic Development Commission (formerly known as the Industrial Development Commission). Therefore, the current review and approval process for the installation or alteration of signs in the Franklin Industrial Park is as follows:

1. Review by City Development staff of a Sign Review application, and approval by the EDC in a regular meeting.
2. Review of a Sign Permit by the Department of City Development and the Inspection Services Department, and issuance by the Department of City Development.

Note that City Development staff currently reviews each sign twice, during the “Sign Review” and the Sign Permit. If this ordinance is approved, the Sign Review application will no longer be necessary and the time frame for sign permitting in the Franklin Industrial Park would be significantly reduced. For example, the Sign Review process may take 30-60 days in addition to the regular Sign Permit process that typically takes 2-3 weeks.

The proposed ordinance will be presented before the Economic Development Commission for recommendation, then to the Plan Commission for public hearing and recommendation, finally to the Common Council for decision.

City Development staff a drafted a similar ordinance for the Franklin Business Park (PDD 18) which allows the administrative review signs without the need of a separate approval by Community Development Authority (CDA). The CDA and Plan Commission recommended approval and the Common Council adopted Ordinance 2022-2512 on June 7, 2022.

This item was scheduled for the December 15, Economic Development Commission meeting for recommendation. Then, it would be presented to the Common Council for decision, meeting date to be determined.

**RECOMMENDATION**

A motion to determine the proposed amendment to Planned Development District No. 7 to be a major amendment.

A motion to recommend approval of this Planned Development District Amendment.

ORDINANCE NO. 2023-\_\_\_\_\_

AN ORDINANCE TO AMEND PLANNED DEVELOPMENT DISTRICT NO. 7  
AS IT PERTAINS TO THE ADMINISTRATION OF SIGN PERMITS

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WHEREAS, §15-3.0412 of the Unified Development Ordinance provides for and regulates Planned Development District No. 7 (Franklin Industrial Park Phase II), same having been created by Ordinance No. 85-864 and later amended by Ordinance No. 2015-2196; and

WHEREAS, said Planned Development District having previously been part of the Zoning Ordinance No. 221, as Section 12.10, same having later been incorporated into the City of Franklin Unified Development Ordinance as Section 15-3.0412, as it is currently codified; and

WHEREAS, Subsection (2) of Planned Development District No. 7 provides that the administration of applicable laws associated with Planned Development District No. 7, including the review and approval of land use, including signs and billboards, shall be carried out by the Economic Development Commission (formerly known as the Industrial Development Commission) of the City of Franklin, Wisconsin ("EDC"); and

WHEREAS, the Municipal Code Section 210-3 requires a sign permit for the installation or alteration of signs in the City of Franklin, and Ordinance No. 85-864 requires an additional approval by the EDC as a prerequisite to sign permits in the Franklin Industrial Park; and

WHEREAS, the Common Council having reviewed the sign approvals administered by the EDC pursuant to Planned Development District No. 7 and the administrative process established by the Municipal Code whereby sign permits are issued as an administrative function of the Building Inspector or the Department of City Development for all signs within the City and having determined that the efficient administration of the Franklin Business Park would be further served by the issuance of sign permits by the Department of City Development in the Franklin Industrial Park; and

WHEREAS, the subject petition was before the Economic Development Commission on \_\_\_\_\_, 20\_\_, the Commission having recommended approval thereof to the Common Council; and

WHEREAS, a public hearing was held before the City of Franklin Plan Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, and the Plan Commission

having reviewed the proposed amendment to Planned Development District No. 7 after hearing the public and having made its recommendations to the Common Council.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: § 15-3.0412(2), entitled "Administration", of the Unified Development Ordinance of the City of Franklin, be and the same is hereby amended to read as follows:

The administration of applicable laws associated with Planned Development District No. 7 including the review and approval of industrial park land use, site and landscape plans, building plans, building setback requirements, architectural control and appearance, landscaping and landscaping maintenance, off-street parking and loading, outdoor storage, waste incineration, security fencing, signs and billboards, utility control, easements and drainage shall be with the Economic Development Commission "EDC"; excepting that the Common Council shall administer the review and approval process (following Plan Commission review as is required for such matters not affecting lands within this District, and following such review and recommendation as the EDC may make thereon), upon any rezoning, land division, land combination and other application as required by law; excepting that the review and approval of a zoning compliance permit for any use by any person or entity other than that as originally approved by the EDC in conjunction with its approval of any new construction, shall be carried out by the City of Franklin Planning Manager or the Planning Manager's designee within the Department of City Development, pursuant to §15-9.0102 of the Unified Development Ordinance; and excepting that the review and approval of sign permits, shall be carried out by the City of Franklin Department of City Development, pursuant to Municipal Code §210-3.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2023, by Alderman \_\_\_\_\_.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

APPROVED:

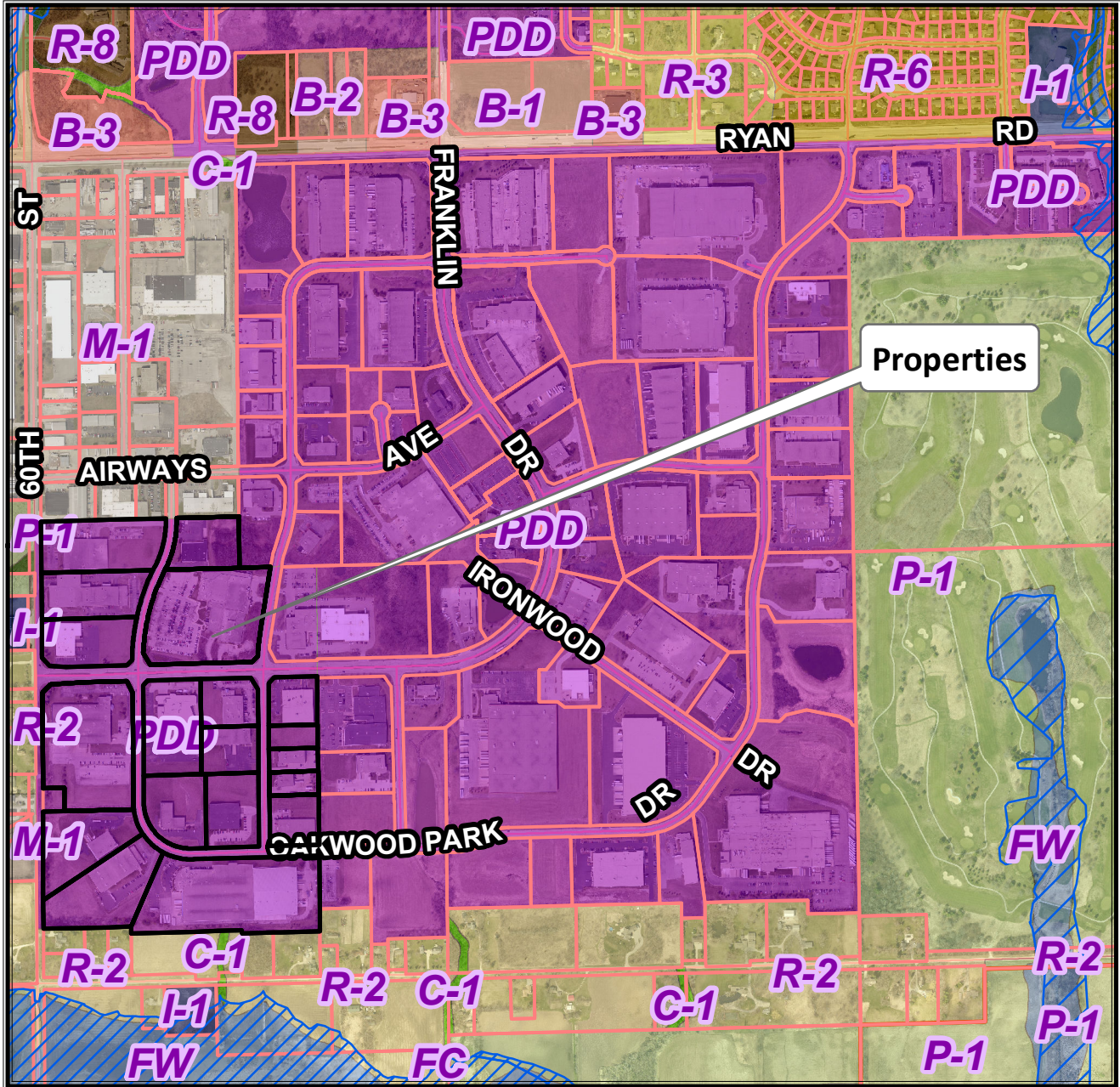
\_\_\_\_\_  
John R. Nelson, Mayor

ATTEST:

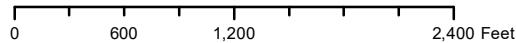
\_\_\_\_\_  
Karen L. Kastenson, City Clerk

AYES \_\_ NOES \_\_ ABSENT \_\_





Planning Department  
(414) 425-4024



2021 Aerial Photo

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Meeting of December 21, 2023

Special Use Amendment

RECOMMENDATION: City Development Staff recommends approval of the proposed Special Use Amendment application, subject to the conditions in the draft resolution.

Table with 2 columns: Field Name and Value. Fields include Project Name, Project Address, Applicant, Property Owner(s), Current Zoning, 2025 Future Land Use, Use of Surrounding Properties, Applicant Action Requested, and Planner.

Introduction:

Please note:

- Staff recommendations are underlined, in italics and are included in the draft resolution.
Staff suggestions are only underlined and are not included in the draft resolution.

On March 27, 2023, the applicant submitted a Special Use Amendment application to allow for a building addition to the Hiller Ford car dealership on S. 108th Street.

This application is similar to a Special Use Permit granted in April 2015 via Resolution 2015-7074, which approved a similar, but smaller, building addition. The property owner, however, did not move forward with those improvements at that time, but would like to now move forward with a larger building addition within the same location of the site. As such, the owner has resubmitted a Special Use Application for Plan Commission and Common Council review.

The 2015 proposed addition was 64' x 100' (6,400 square foot). The currently proposed building addition has an area of 15,360 square feet and would be used for parts warehousing. The addition includes overhead doors on the west and north faades as well as a three-dock semi-truck delivery wall on the west faade. The concrete pavement for the truck well would have an area of 2,800 square feet.

The applicant's submission of site and construction plans and operations plan are attached for review.

### **Project Description/Analysis:**

The subject property has an area of approximately 20 acres. The applicant is proposing a one-story, 15,360 square foot building addition on the west side of the existing 41,562 square foot car dealership building. The building addition has a peak height of 20'-8".

The vast majority of the subject property consists of buildings and impervious surfaces. There is virtually no greenspace onsite, which does not conform to current UDO standards. Note Section 15-3.1008D. of the UDO does not allow for additions or enlargements with respect to yards, floor area ratio, or any other element of bulk that would increase the degree or extent of its nonconformity with respect to those bulk regulations. In this case, the proposed addition is entirely over existing impervious surface. As such, the degree of nonconformity for the site is not changing.

Generally, staff does recommend and encourage further compliance with standards in these situations. As such, staff suggests that the applicant remove existing impervious surface located within the Conservation Easement area on the southwest corner of the site that is outside of the required area for the proposed truck maneuverability. This would not only add additional greenspace to the site, but also remove pavement from the 75' Shore Buffer. The Conservation Easement is discussed further below in this report.

According to the applicant, the proposed hours of operation for the Parts Department are 7:30 a.m. to 5:00 p.m. Monday through Friday and 7:30 a.m. to 12:00 p.m. on Saturdays. It was noted that employees are in the warehouse until 8:00 p.m. Monday through Thursday, but deliveries are not accepted at that time.

*Regarding the site improvements, staff recommends that the development shall be subject to final review and approval by the Engineering Department.*

### **Landscaping**

The applicant is not proposing any additional landscaping with this request.

Section 15-5.0301B.3. of the UDO requires that developments comply with landscaping requirements, except where building additions adding 10% to 50% of building area may be allowed an up to 30% reduction. It can be noted that minimal landscaping exists throughout the property, as a whole, as approved and permitted from previous requests for building expansions over the years.

Staff estimates 22 parking stalls provided for customer parking, and is not aware of employee parking, which may occur on any of the Hiller properties. With that, and considering just the 22 spaces and the allowed reduction, 4 Canopy/Shade Trees, 4 Evergreen Trees, 4 Decorative Trees and 4 Shrubs are required. It is preferred to add these plantings adjacent to Lovers Lane Road,

however, there is limited greenspace and areas for plantings. Alternatively, if pavement is removed within the Conservation Easement area, native plantings could be provided at that location.

Staff recommends that a landscape plan be submitted, for Department of City Development review and approval, that includes a minimum of five canopy/shade trees, five evergreen trees, five decorative trees, and five shrubs.

### Lighting

Besides the relocation of one light pole to allow for the proposed truck turning movement, the applicant is not proposing additional lighting.

### Parking

The applicant has added eight parking spaces to the site based upon previous staff comments. As the use is a car dealership, it appears the number of parking spaces onsite exceeds the parking required by the UDO, even with the loss of parking due to the addition and potential loss if pavement is removed within the Conservation Easement. It is up to the owner/operator of the site to designate sufficient customer and employee parking while leaving the remaining balance of parking for vehicle storage for the sales operations.

For reference, the UDO suggests a minimum parking ratio of 2 per 1,000 square feet of GFA for Auto Sales and 0.5 parking spaces per 1,000 square feet of warehouse space.

### Conservation Easement

Covenant No. 8 of the existing Conservation Easement document for Hiller Ford states, “The Grantor hereby agrees that at such time as redevelopment in any form other than the present use may occur on the subject property, Covenant 7 shall be considered null and void and the full covenants, terms, conditions, and restrictions set forth in this grant shall become binding upon the conservation easement lands”.

Covenant No. 7 was intended to allow existing pavement/parking within the conservation easement area to remain when Hiller Ford was remodeled and expanded in 2015 via Resolution No. 2015-7074.

The Plan Commission should determine whether the proposed warehouse addition constitutes “redevelopment in any form other than the present use” as contemplated in Covenant No. 8 of the Conservation Easement and make a recommendation to the Common Council accordingly.

It can be noted that this is substantially the same project as proposed in 2015, which was not being considered redevelopment as it was approved along with the Conservation Easement at that time.

### Architecture

The proposed building exterior consists primarily of painted smooth face concrete masonry unit (CMU) block. The applicant is proposing continuing the existing building color on the north, south, and west elevations. The applicant is proposing a grey color to match the existing façade color.

According to the applicant, no rooftop mechanicals are proposed that would require screening. Also, no additional dumpsters are proposed that would require enclosures onsite.

### Signs

The applicant is not showing any signage detail on the building façade or any propose signage changes/additions to account for additional warehouse and truck loading dock use. Chapter 210 of the Franklin UDO states that signs are subject to City review and approval.

The applicant will be responsible for obtaining a Sign Permit prior to any signage installation.

### **Staff Recommendation:**

City Development Staff recommends approval of the proposed Special Use Amendment, subject to the conditions contained within this report.



## RESOLUTION NO. 2024-\_\_\_\_\_

A RESOLUTION TO AMEND RESOLUTION NOS. 88-3175, 95-4217, 99-4875, 99-4933, 2004-5733 (NOT RECORDED), 2004-5736, AND 2015-7074 IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE AMENDMENT FOR PROPERTIES LOCATED AT 6381, 6411, 6455 AND 6421 SOUTH 108TH STREET TO ALLOW FOR CONSTRUCTION OF A 15,360 SQUARE FOOT EXPANSION OF THE HILLER FORD PARTS WAREHOUSE BUILDING AND ASSOCIATED SITE PAVING MODIFICATIONS UPON PROPERTY LCOATED AT 6455 SOUTH 108TH STREET  
(HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC., APPLICANTS)

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WHEREAS, Hiller Ford, Inc. and Dealership Properties, Inc. having petitioned the City of Franklin for the approval of an amendment to Resolution Nos. 88-3175, 95-4217, 99-4875, 99-4933, 2004-5733 (not recorded), 2004-5736, and 2015-7074 conditionally approving a Special Use, such prior Resolutions authorizing an automobile display dealership upon properties located at 6381, 6411, 6455 and 6421 South 108th Street, such properties being zoned M-1 Limited Industrial District and C-1 Conservancy District, more particularly described as follows:

Being a part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1134.14 feet to the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 89°30'41" West along the north line Lot 1 of Certified Survey Map No. 7721 and then Outlot A of Certified Survey Map No. 7435, 800.00 feet to the east line of Parcel 2 of Certified Survey Map No. 4056; thence North 00°26'45" West along said east line, 125.02 feet to the northeast corner of said Parcel 2; thence South 89°30'45" West along the north line of said Parcel 2, 2.65 feet; thence North 00°26'45" West, 173.02 feet to the south right of way line of Whitnall Edge Road; thence North 87°52'15" East along said south right of way line, 103.04 feet to the east right of way line (terminus) of said Whitnall Edge Road; thence North 00°26'45" West along said east right of way line, 30.015 feet to the vacate centerline of Whitnall Edge Road; thence North 87°52'15" East along said vacated centerline, 355.79 feet; thence North 01°35'24" West, 200.21 feet; thence South 87°52'15" West, 479.57 feet to the southeast corner of Certified Survey Map No. 3988; thence North 03°41'31"

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. - AMENDMENT TO  
SPECIAL USE  
RESOLUTION NO. 2015-7074

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West along said east line, 299.98 feet; thence North 87°52'15" East, 782.57 feet to aforesaid west right of way line of South 108th Street - South Lovers Land Road - State Trunk Highway "100"; thence South 00°24'39" East, 119.23 feet to point of curvature; thence southeasterly along the arc of said curve to the left and said west right of way line 422.68 feet, whose radius is 2361.83 feet and whose chord bears South 05°32'16" East, 422.12 feet; thence south 00°26'45" East along said westerly right of way line, 185.78 feet; thence North 89°33'15" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 124.04 feet to the point of beginning.

Containing in all 556,172 square feet (12.7678 acres) of land, more or less;  
Tax Key Numbers: 704-9974-000, 704-9975-000, 704-9976-002, 704-9976003,  
704-9976-005, 704-9977-000 and 704-9998-004; and

WHEREAS, such proposed amendment being for the purpose of construction of a 15,360 square foot expansion of the Hiller Ford parts warehouse building and associated site paving modifications upon property located at 6455 South Lovers Lane Road; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 21st day of December, 2023, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Hiller Ford, Inc. and Dealership Properties, Inc. for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. - AMENDMENT TO  
SPECIAL USE  
RESOLUTION NO. 2024-\_\_\_\_\_

Page 3

1. That this amendment to Special Use is approved only for the use of the subject property by Hiller Ford, Inc. and Dealership Properties, Inc., successors and assigns, for the Hiller Ford building expansion, which shall be developed in substantial compliance with and constructed, operated and maintained by Hiller Ford, Inc. and Dealership Properties, Inc., pursuant to those plans City file-stamped December 13, 2023 and annexed hereto and incorporated herein as Exhibit A.
2. Hiller Ford, Inc. and Dealership Properties, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for construction of a 15,360 square foot expansion of the Hiller Ford parts warehouse building and associated site paving modifications project, upon property located at 6455 South Lovers Lane Road, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Hiller Ford, Inc. and Dealership Properties, Inc. and the Hiller Ford 15,360 square foot expansion of the Hiller Ford parts warehouse building and associated site paving modifications project, upon property located at 6455 South Lovers Lane Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Final approval of grading, erosion control, storm water management, and utilities, as may be applicable, shall be granted by the Engineering Department prior to any land disturbance activities.
5. A Landscape Plan shall be submitted, for Department of City Development review and approval, that includes a minimum of five canopy/shade trees, five evergreen trees, five decorative trees, and five shrubs.

**6. TBD**

BE IT FURTHER RESOLVED, that in the event Hiller Ford, Inc. and Dealership Properties, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.



HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. - AMENDMENT TO  
SPECIAL USE  
RESOLUTION NO. 2024-\_\_\_\_\_

Page 4

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution Nos. 883175, 95-4217, 99-4875, 99-4933, 2004-5733 (not recorded), 2004-5736, and 2015-7074 not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the construction of the 15,360 square foot expansion of the Hiller Ford parts warehouse building and associated site paving modifications project, upon property located at 6455 South Lovers Lane Road.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this 3rd day of January, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 3rd day of January, 2024.

APPROVED:

---

John R. Nelson, Chairman

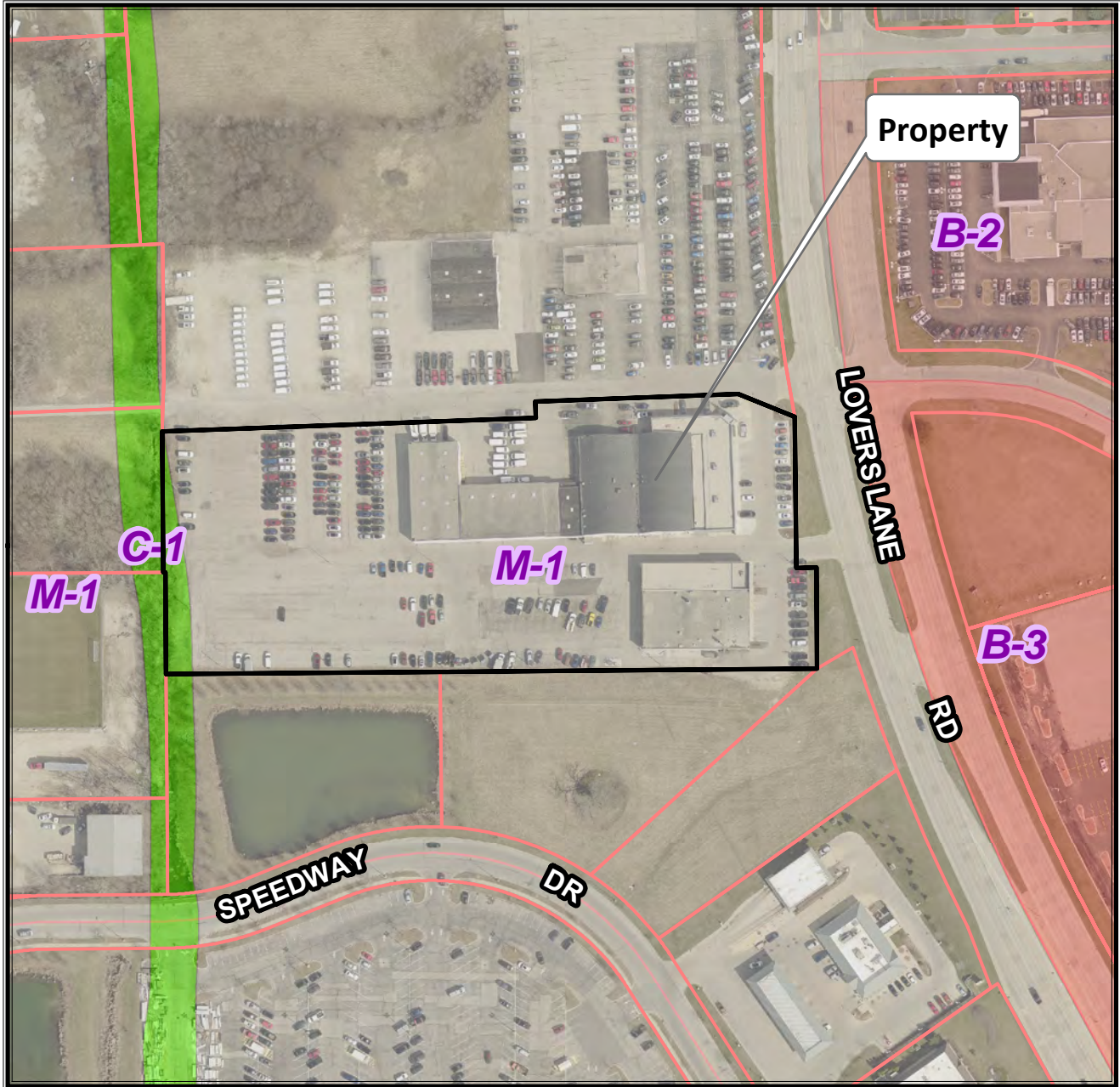
HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. - AMENDMENT TO  
SPECIAL USE  
RESOLUTION NO. 2024-\_\_\_\_\_

Page 5

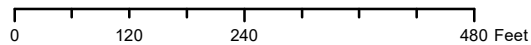
ATTEST:

\_\_\_\_\_  
Karen L. Kastenson, City Clerk  
AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

6455 S. 108th Stret  
TKN: 704 1014 000

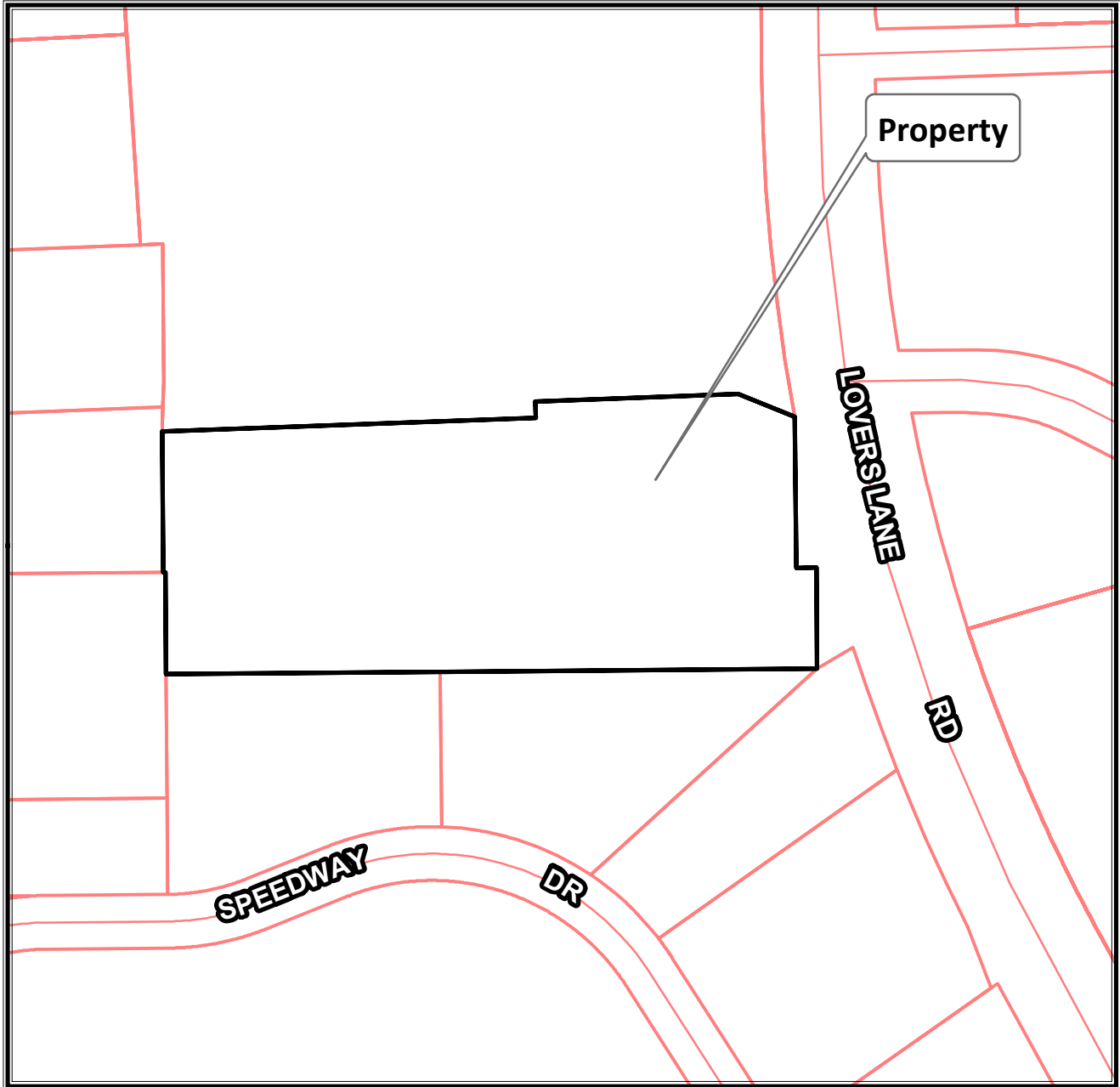


Planning Department  
(414) 425-4024

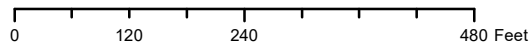


*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

6455 S. 108th Stret  
TKN: 704 1014 000



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





Planning Department  
 9229 West Loomis Road  
 Franklin, Wisconsin 53132  
[generalplanning@franklinwi.gov](mailto:generalplanning@franklinwi.gov)  
 (414) 425-4024  
[franklinwi.gov](http://franklinwi.gov)



APPLICATION DATE: \_\_\_\_\_

STAMP DATE: \_\_\_\_\_ city use only

## COMMON COUNCIL REVIEW APPLICATION

### PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Jay Hiller	NAME: Justin L. Johnson, P.E.
COMPANY: Hiller Ford, Inc. & Dealership Properties, Inc.	COMPANY: JSD Professional Services, Inc.
MAILING ADDRESS: 6455 South 108th Street	MAILING ADDRESS: W238N1610 Busse Road, Suite 100
CITY/STATE: Franklin ZIP: WI	CITY/STATE: Waukesha, WI ZIP: 53188
PHONE: 414-425-1000	PHONE: 262-513-0666
EMAIL ADDRESS: jay@hillerford.com	EMAIL ADDRESS: justin.johnson@jsdinc.com

### PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 6455 South 108th Street	TAX KEY NUMBER: 704 1014 000
PROPERTY OWNER: Hiller Ford, Inc. & Dealership Properties, Inc.	PHONE: 414-425-1000
MAILING ADDRESS: 6455 South 108th Street	EMAIL ADDRESS: jay@hillerford.com
CITY/STATE: Franklin, WI ZIP: 53132	DATE OF COMPLETION: _____ office use only

### APPLICATION TYPE

**Please check the application type that you are applying for**

- Concept Review  
  Comprehensive Master Plan Amendment  
  Planned Development District  
  Rezoning  
 Special Use / Special Use Amendment  
  Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.  
 Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

### SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

- I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE: 
NAME & TITLE: Jay Hiller, President      DATE: 3-24-23	NAME & TITLE: Jay Hiller, President      DATE: 3-24-23
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE: 
NAME & TITLE:      DATE:	NAME & TITLE: Justin L. Johnson, Associate      DATE: 3-24-23

## CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

### CONCEPT REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) copies of the Preliminary Site/Development Plan of the subject property(ies) and immediate surroundings on 8 ½" X 11" or 11" X 17" paper (i.e., a scaled map identifying the subject property and immediate environs, including existing and proposed parcels, existing and proposed structures, existing and proposed land uses, existing and proposed zoning, existing and proposed infrastructure and utilities [approximate locations only], and existing and proposed site conditions/site constraints [i.e. approximate locations of public road access, rights-of-way, natural resources/green space and drainage issues/concerns, etc.])
  - Three (3) colored copies of building elevations on 11" X 17" paper if applicable.
- Email or flash drive with all plans / submittal materials.

### COMPREHENSIVE MASTER PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$125 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) folded copies of a Site Development Plan / Map, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
  - Requires a Class I Public Hearing Notice at least 30 days before the Common Council Meeting

### PLANNED DEVELOPMENT DISTRICT (PDD)

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
  - \$6,000: New PDD
  - \$3,500: PDD Major Amendment
  - \$500: PDD Minor Amendment
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) folded full size, of the Site Plan Package, drawn to scale copies, on 24" x 36" paper, including Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- One (1) copy of the Site Intensity and Capacity Calculations, if applicable (see division 15-3.0500 of the UDO)
- Email or flash drive with all plans / submittal materials.
  - PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
  - Minor PDD Amendment requests require Plan Commission review and Common Council approval.

### REZONING

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
  - \$1,250
  - \$350: one parcel residential.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) folded copies of a Plot Plan or Site Plan, drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
  - Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts
  - Requires a Class II Public Hearing notice at Plan Commission.

**SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION MATERIALS**

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
  - \$1,500: New Special Use > 4000 square feet.
  - \$1,000: Special Use Amendment.
  - \$750: New Special Use < 4000 square feet.
- Word Document legal description of the subject property.
- Word Document legal description of the subject property.
- One copy of a response to the General Standards, Special Standards, and Considerations *found in Section 15-3.0701(A), (B), and (C) of the UDO available at [www.franklinwi.gov](http://www.franklinwi.gov).*
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) folded copies of the Site Plan package, drawn to scale at least 24" X 36", *The submittal should include only those plans/items as set forth in Section 15-7.0101, 15-7.0301 and 15-5.0402 of the UDO that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.*
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
  - Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

**UNIFIED DEVELOPMENT ORDINANCE (UDO) TEXT AMENDMENT APPLICATION MATERIALS**

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Three (3) project narratives, *including description of the proposed text amendment.*
  - Requires a Class II Public Hearing notice at Plan Commission.
  - The City's Unified Development Ordinance (UDO) is available at [www.franklinwi.gov](http://www.franklinwi.gov).



MEMORANDUM

Date: June 1, 2022

To: Department of City Development  
Régulo Martínez-Montilva, AICP, CNUa, Principal Planner

From: Justin L. Johnson, P.E., JSD Professional Services, Inc.

RE: Staff Comments – Special Use Amendment – Hiller Ford, 6455 South 108th Street

1. Please provide a Site Intensity and Capacity Calculations worksheet. The "Site Intensity and Capacity Calculation" worksheets are required under Division 15-3.0500 and are used for determining the maximum site intensity, or development capacity, of the site. Please fill out and document this by utilizing Table 15-3.0505 (see below for numbers to utilize when filling out).

Table 15-3.0309

M-1 Limited Industrial District Development Standards	
Type of Standard	Standard
<b>Landscape Surface Ratio and Floor Area</b>	
Minimum Landscape Surface Ratio (LSR)	0.4
Alternative Minimum Landscape Surface Ratio (LSR) with Required Mitigation (See § 15-5.0302E)	0.3
Maximum Gross Floor Area Ratio (GFAR)	0.42(a)
Maximum Net Floor Area Ratio (NFAR)	0.85(a)

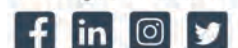
Taking into consideration the multiple properties under Hiller Ford ownership in this location, the proposed project complies with the coverage requirements of the M-1 zoning. See attached Site Intensity and Capacity Calculations worksheet and plan.

**Lighting**

1. Please provide a lighting plan for all exterior lighting (cut sheets, placement, etc.) in accordance with Section 15-5.0402.  
Lighting modifications in this proposed plan will consist only of the relocation of one light pole, which is in conflict with the proposed truck turning movements. Additional lighting is not proposed.

**General Planning Comments**

1. Parking (See 15-5.0203); For proposed parts warehouse use, please demonstrate there would be an achieved a parking space standard of 0.5/1,000 square feet of GFA (0.5/15,360sf = 8 spaces).  
Eight employee parking stalls have been added to the plan, as requested.





2. Suggestion: Best Practice for Landscaping could include softening the view of the proposed new building addition by placing foundation plantings (shrubs, grasses, perennials, ornamental trees, etc.) along the north façade.  
[The north façade receives little sunlight and will see salt and constant vehicle operations. Growing and maintaining plantings in that location will be problematic. That said, the owner is willing to add foundation planting beds along the north wall of the expansion if required to do so.](#)
3. Please submit truck turning movements for anticipated typical semi maneuvers.  
[Truck turning movements have been added to the revised plans.](#)
4. Condition No. 8 of the existing Conservation Easement document for Hiller Ford states, “The Grantor hereby agrees that at such time as redevelopment in any form other than the present use may occur on the subject property, Covenant 7 shall be considered null and void and the full covenants, terms, conditions, and restrictions set forth in this grant shall become binding upon the conservation easement lands”. Based on the orientation of the proposed building addition, truck turning movements will be partially located upon pavement within the existing conservation easement area. Please submit an alternate loading dock location to accommodate truck movements outside of conservation easement areas for consideration per 15-5.0205.  
[The condition referenced in No. 8 of the Conservation Easement document was intended to apply to the site in a situation where the site was being redeveloped for another use. It was not intended to apply to an expansion of the current use. Condition No. 8 specifically and intentionally states “... redevelopment in any form \*other than the present use\*...”. This expansion is merely an extension of it’s current use and is not a new use. In that regard, we respectfully disagree with the premise that the lands within the conservation easement area have to be restored to native condition at the present time. We continue to agree, however, that said lands will be restored if and when the property is redeveloped in the future.](#)
5. Please note that if the Plan Commission determines that this proposal constitutes “redevelopment in any form other than the present use” as contemplated in Covenant No. 8 of the Conservation Easement, the applicant would need to submit a restoration plan of the conservation easement area, including but not limited to the removal of existing pavements and structures and natural resource restoration standards as prescribed in the Unified Development Ordinance (UDO) Section 15-4.0103.  
[Understood.](#)
6. If any mechanicals are proposed on the roof, please provide for adequate screening per 15-3.0355 (A)(7.).  
[There are no roof top mechanicals proposed for the building expansion.](#)



7. If any dumpsters are to be provide on the property, please provide for screening meeting zoning code requirements per 15-3.0355 (A)(7.).  
[Understood. No additional dumpsters are proposed.](#)
8. Please add information to the project narrative specifying delivery frequencies and hours of operation for new parts warehouse use per 15-7.0101.  
[Narrative has been updated. There are no changes to delivery frequencies and hours of operation for new parts warehouse facilities.](#)

### **Engineering Department**

1. See attached letter.  
[See attached responses.](#)

### **Inspection Services Department**

1. Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code.  
[Understood.](#)
2. Project will require separate Building, HVAC, Plumbing and Electrical Permits.  
[Understood.](#)

### **Fire Department**

1. Franklin Fire Department Construction and Alteration Requirements (2021-2022)
  1. Follow all relevant WI DSPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.  
[Understood.](#)
  2. Pre-existing fire alarm and fire sprinkler systems shall be maintained in compliance with relevant code.  
[Understood.](#)

Fire Extinguisher placement as per NFPA 10.  
[Understood.](#)

Fire Department Connection (FDC), and hydrant placement and density must be acceptable to AHJ (applies to new construction).  
[Understood.](#)



3. At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.

Understood.

Master Key set required for placement in Knox Box (if required).

Understood.

Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>

Understood.

**Police Department**

1. The PD has no comment regarding this request.

No response needed.

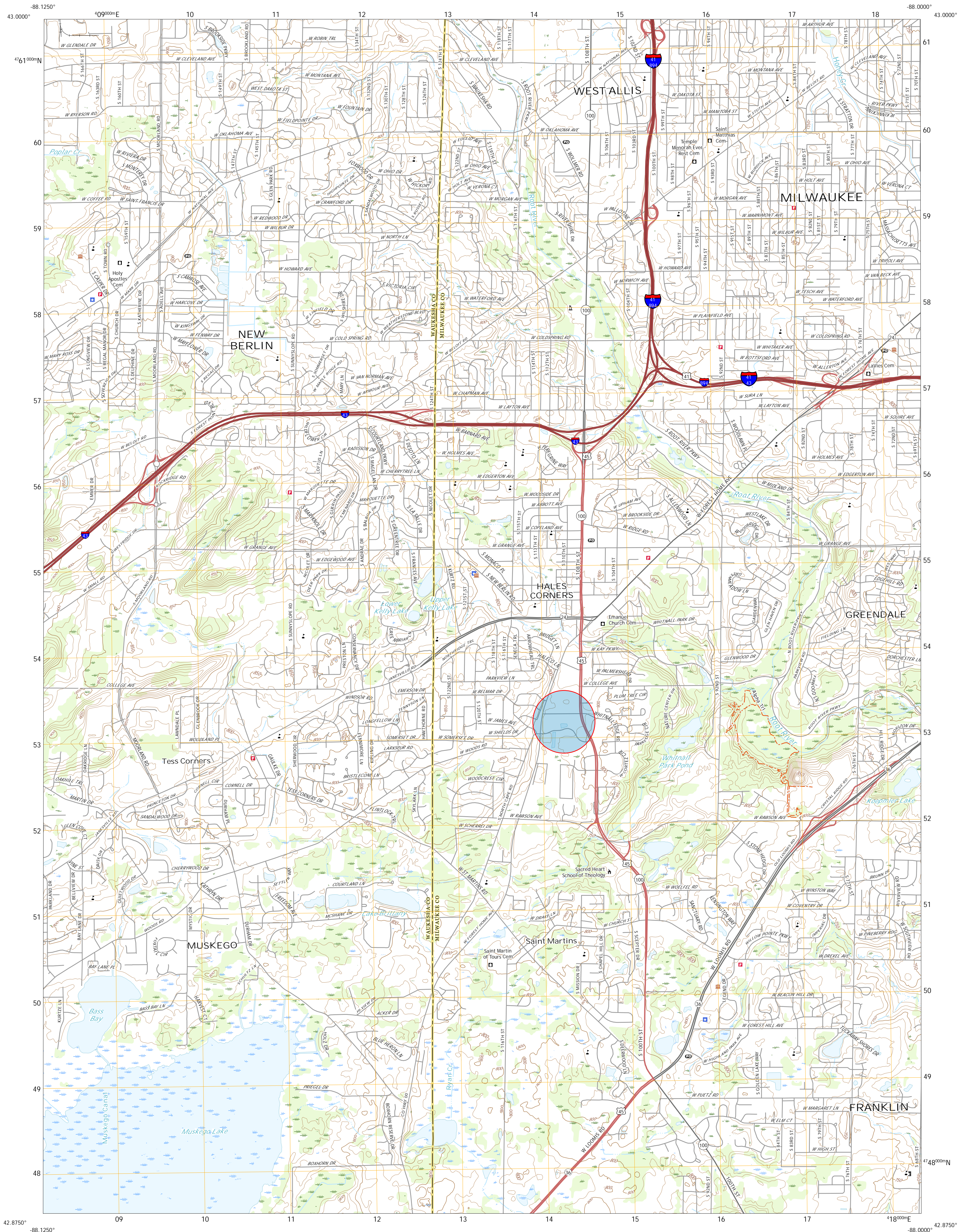
## Engineering Department

- See WDNR regulation (NR 151.125) – the impervious surface is not allowed within 50 feet of a delineated wetland.  
Per the Wetland Delineation Report conducted for the 2015 site improvements (R.A. Smith National, dated August 27, 2015), the subject wetland (designated W-3) should be considered “moderately susceptible”. Under NR 151.125(d, e, and f), “less susceptible” wetlands (those not deemed “highly susceptible”) are subject to a wetland setback of “10 percent of the average wetland width, but no less than 10 feet nor more than 30 feet”. The existing pavement adjacent to the subject wetland is approximately 20 feet from the delineated wetland boundary. Furthermore, under NR 151.125(b) the 50-foot setback requirement from an intermittent stream is only applied if said stream is identified on USGS or County Soil Survey mapping. The subject wetland/stream is not shown on USGS mapping (see attached). All this considered, we respectfully disagree with the premise that the existing pavement is non-compliant with the requirements of NR 151.
  - This may also apply to the existing and proposed storm sewer discharging directly to wetlands from impervious surfaces without being treated.  
The 2015 improvements were exempt from MMSD Chapter 13 and City of Franklin stormwater management regulations because they did not exceed the disturbed area or new imperviousness thresholds which would have triggered those requirements. It was also exempt from NR151 because it had no increased imperviousness.
  - If proposing to put the end wall in a wetland, WDNR approval/coordination is required.  
Understood. We will pull back the end section so that it sits outside the wetland limits.
- The gravel area north of the building addition and the road appears to have been added after 9/24/2001. It appears to be approximately 1 acre of new impervious surface added since that date which requires a stormwater management plan per Milwaukee Metropolitan Sewerage District Chapter 13.
  - Based on aerials, it appears this may also have been gravel in 1980, but from 1990-2017 this was a grassed area. MMSD staff confirmed this is a new impervious surface added and is subject to Chapter 13 rules and regulations. This portion of the property has been gravel since at least 1970, although the grainy aerial photographs from Milwaukee County GIS indicate that the gravel surface may extend as far back as 1963. Through the 195 and 1990 photos, the subject area was still being used for trailer storage. By 2005, vegetation had

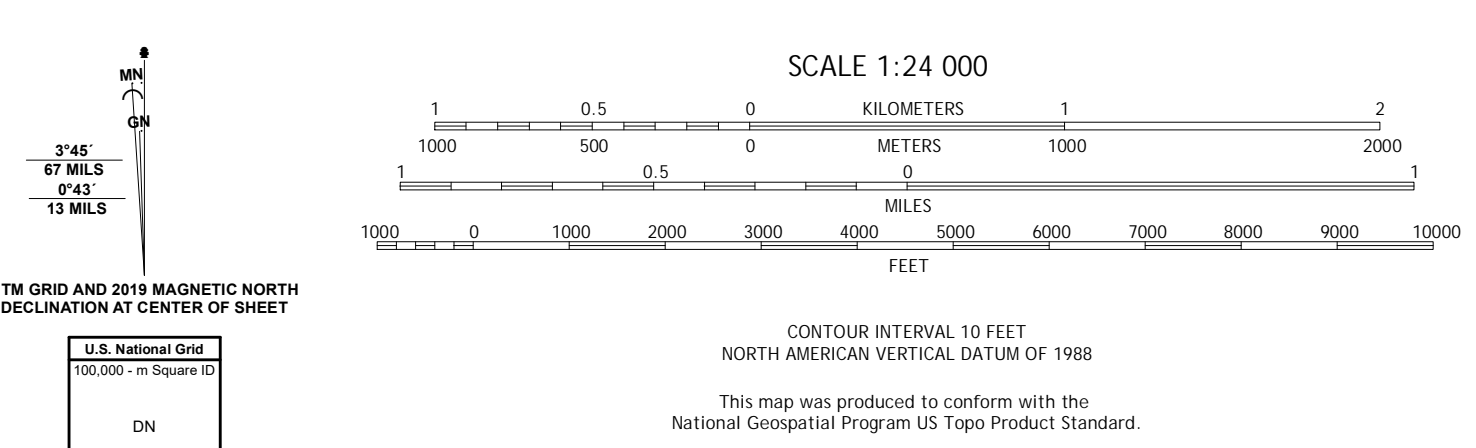
grown up through the gravel and it was being mowed to prevent it from becoming a nuisance. In 2018, the original gravel was refreshed, and in 2022 it was paved over the existing compacted gravel surface. Given that this portion of the site is documented as having been gravel for well over fifty years, we disagree with the application of current MMSD Chapter 13 rules to this area of the property.

- This area is also within 50 feet of a wetland.  
Refer to the response to Engineering Department comment no. 1, above.
- [City Design Standards](#) – retaining walls higher than 3 feet required a licensed professional engineer's approval, stamp, and signature. A guardrail/safety fence shall be installed along any walls 3 feet in height or more.  
A guardrail has been added along the top of the loading dock retaining walls.
- Separate engineering submittal required, application found here  
- <https://www.franklinwi.gov/Files/Engineering/Forms/Engineering--Storm-Water-Management-Plan-Review-Application-2022.pdf>  
Understood.
- Must submit a plat of survey for review and approval before issuing a building permit.  
See required information for the plat of survey submittal-  
<https://www.franklinwi.gov/Files/Engineering/Plats-of-Survey-Informational-Requirements-2022.pdf>  
Understood.





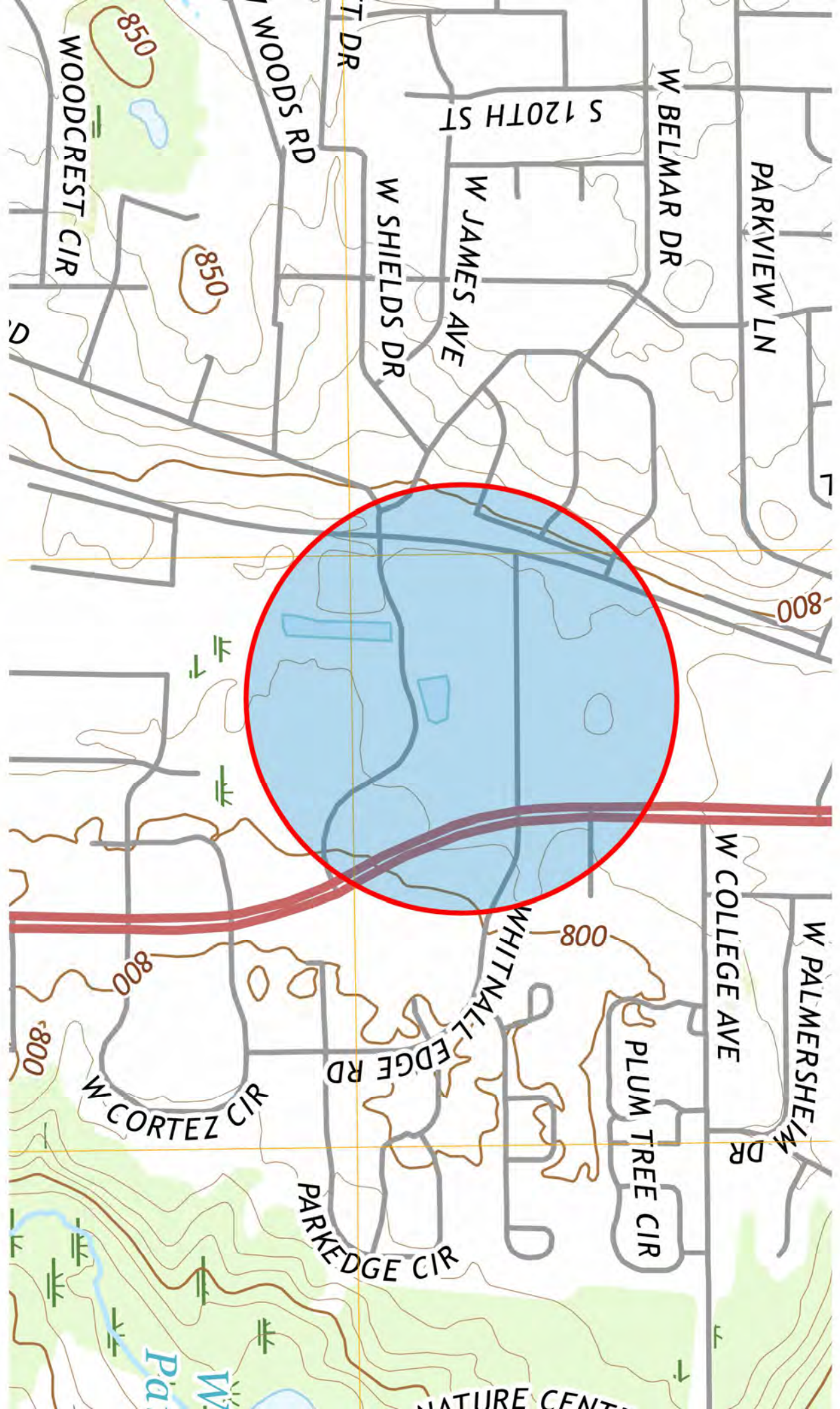
Produced by the United States Geological Survey North American Datum of 1983 (NAD83) World Geodetic System of 1984 (WGS84) and 1:100,000-meter grid/Universal Transverse Mercator, Zone 16T



ROAD CLASSIFICATION legend with symbols for Expressway, Secondary Hwy, Ramp, Interstate Route, US Route, State Route, Local Connector, Local Road, 4WD, and other features.

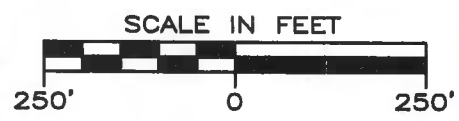






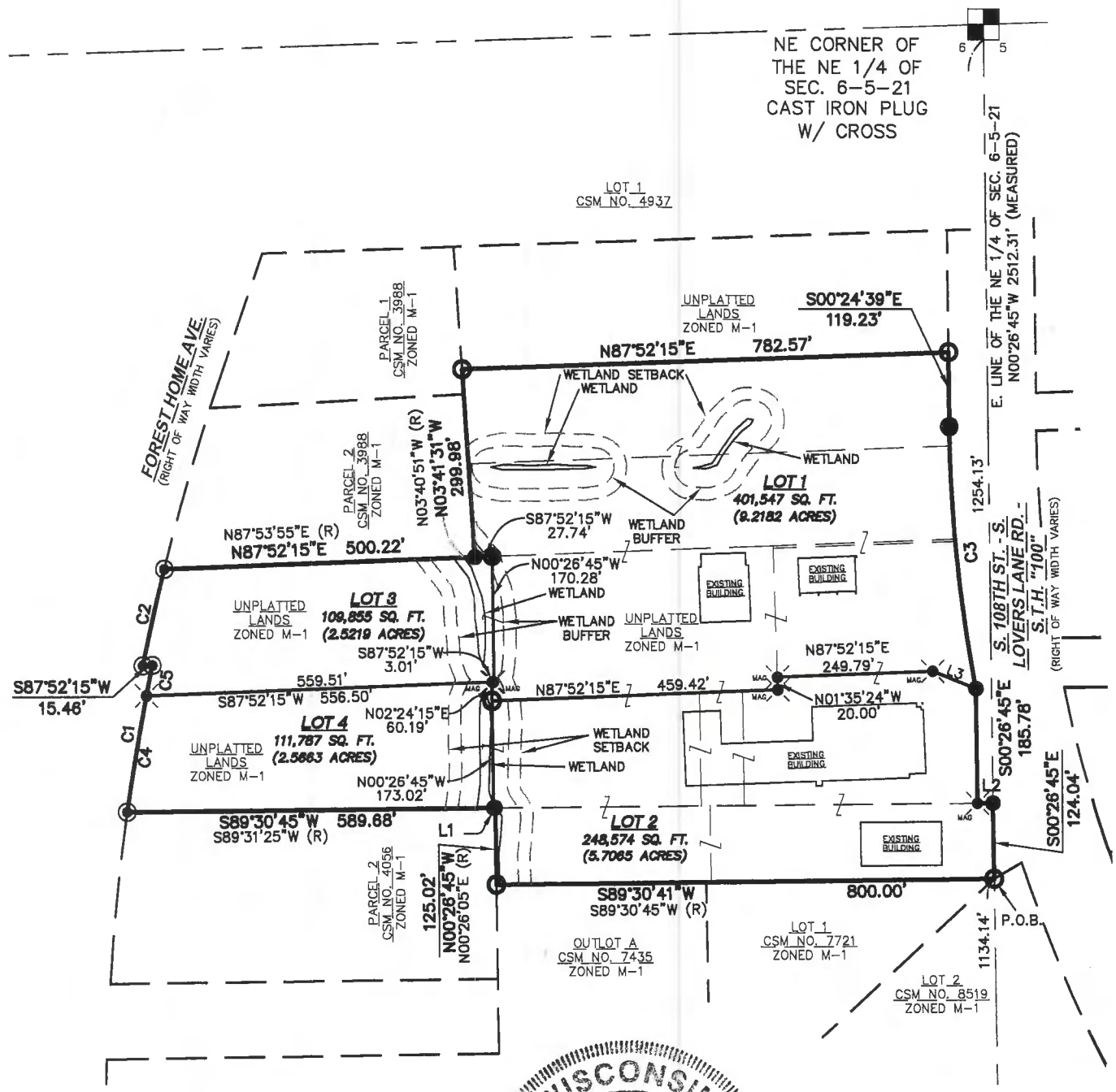
**CERTIFIED SURVEY MAP No. 8705**

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6,  
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



**PREPARED BY:**  
**JSD Professional Services, Inc.**  
Engineers • Surveyors • Planners  
MILWAUKEE REGIONAL OFFICE  
N22 W22931 NANCY'S COURT SUITE 3  
WAUKESHA, WISCONSIN 53186  
262.513.0666 PHONE | 262.513.1232 FAX

**PREPARED FOR:**  
HILLER FORD, INC.  
6381 S. 108TH STREET  
FRANKLIN, WI 53132



- LEGEND:**
- 1" IRON PIPE FOUND & ACCEPTED
  - 3/4" REBAR FOUND AS NOTED
  - ⊙ 3/4" X 18" REBAR SET WEIGHING 1.50 LBS/FT
  - MAG MAG NAIL SET
  - (R) RECORDED AS DIMENSION



SE CORNER OF THE NE 1/4 OF SEC. 6-5-21  
CONC. MON. W/ BRASS CAP  
N: 342,608.50  
E: 2,522,656.35

THE SUBJECT PROPERTIES ARE ZONED M-1, LIMITED INDUSTRIAL DISTRICT AND THE LAND IS SERVED BY SANITARY SEWER AND WATER.

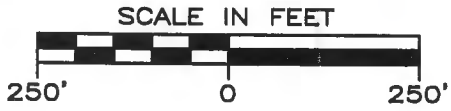
WETLANDS DELINEATED BY HEATHER PATTI OF R.A. SMITH NATIONAL ON APRIL 22, 2015

DATED THIS 30th DAY OF JUNE, 2015  
THIS INSTRUMENT WAS DRAFTED BY CRAIG W. RILEY, S-2264



CERTIFIED SURVEY MAP No. 8705

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



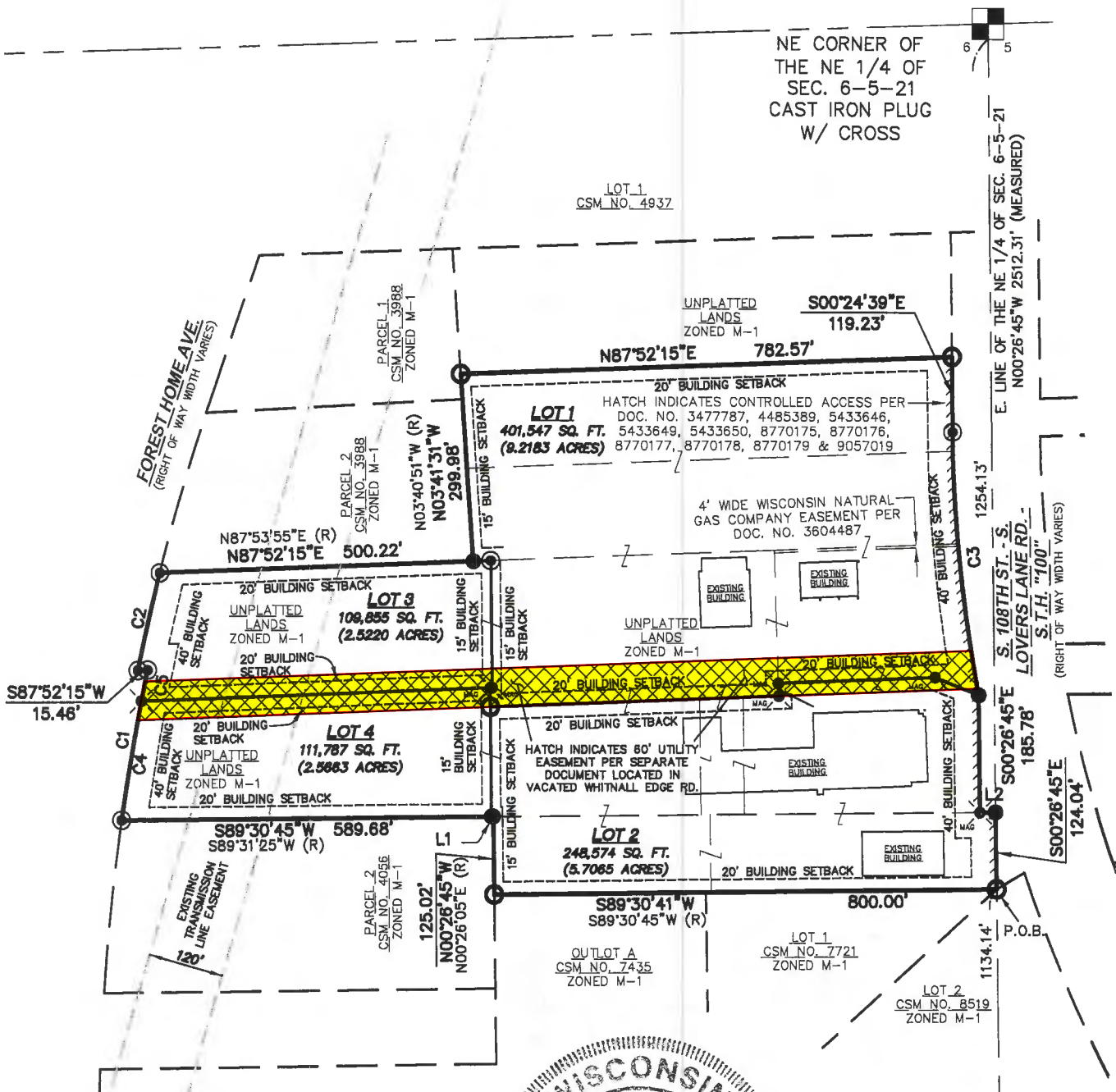
PREPARED BY:

**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners

MILWAUKEE REGIONAL OFFICE  
N22 W22931 NANCY'S COURT SUITE 3  
WALKESHA, WISCONSIN 53186  
262.513.0866 PHONE | 262.513.1232 FAX

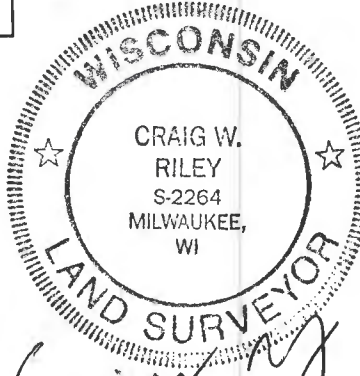
PREPARED FOR:

HILLER FORD, INC.  
6381 S. 108TH STREET  
FRANKLIN, WI 53132



**LEGEND:**

- 1" IRON PIPE FOUND & ACCEPTED
- 3/4" REBAR FOUND AS NOTED
- ⊙ 3/4" X 18" REBAR SET WEIGHING 1.50 LBS/FT
- MAG MAG NAIL SET
- (R) RECORDED AS DIMENSION



SE CORNER OF THE NE 1/4 OF SEC. 6-5-21 CONC. MON. W/ BRASS CAP  
N: 342,608.50  
E: 2,522,656.35

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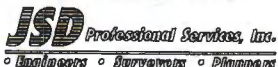
WETLANDS DELINEATED BY HEATHER PATTI OF R.A. SMITH NATIONAL ON APRIL 22, 2015

DATED THIS 30th DAY OF JUNE, 2015  
THIS INSTRUMENT WAS DRAFTED BY CRAIG W. RILEY, S-2264

**CERTIFIED SURVEY MAP No. 8705**

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6,  
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**PREPARED BY:**



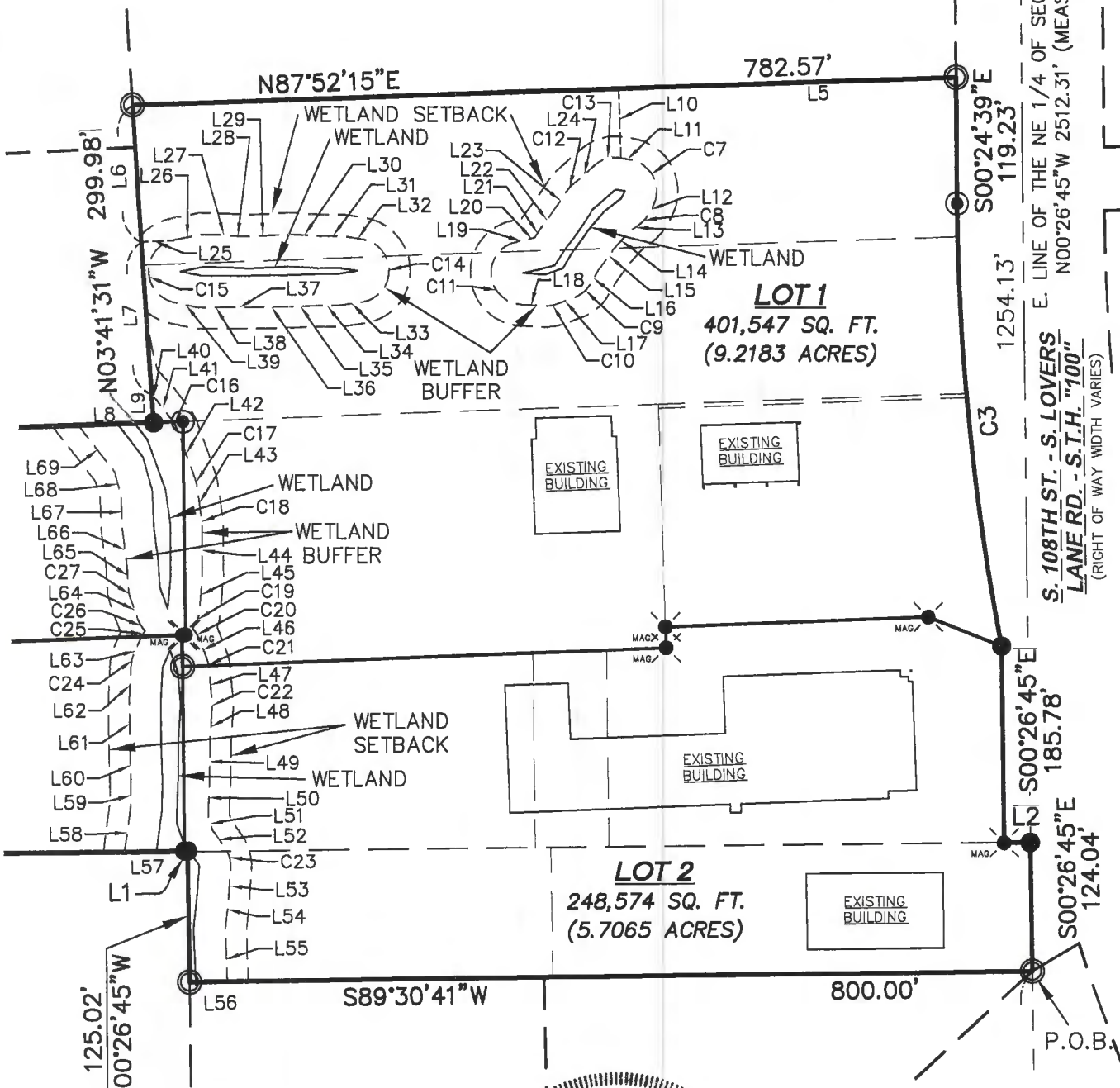
MILWAUKEE REGIONAL OFFICE  
N22 W22831 NANCY'S COURT SUITE 3  
WAUKESHA, WISCONSIN 53186  
262.513.0666 PHONE | 262.513.1232 FAX

**PREPARED FOR:**

HILLER FORD, INC.  
6381 S. 108TH STREET  
FRANKLIN, WI 53132



NE CORNER OF  
THE NE 1/4 OF  
SEC. 6-5-21  
CAST IRON PLUG  
W/ CROSS



- LEGEND:**
- 1" IRON PIPE FOUND & ACCEPTED
  - 3/4" REBAR FOUND AS NOTED
  - ⊙ 3/4" X 18" REBAR SET WEIGHING 1.50 LBS/FT
  - MAG MAG NAIL SET
  - (R) RECORDED AS DIMENSION



SE CORNER OF  
THE NE 1/4 OF  
SEC. 6-5-21  
CONC. MON. W/  
BRASS CAP  
N: 342,608.50  
E: 2,522,656.35



THE SUBJECT PROPERTIES ARE ZONED M-1, LIMITED INDUSTRIAL DISTRICT AND THE LAND IS SERVED BY SANITARY SEWER AND WATER.

DATED THIS 30th DAY OF JUNE, 2015  
THIS INSTRUMENT WAS DRAFTED BY CRAIG W. RILEY, S-2264

**CERTIFIED SURVEY MAP No. 8705**

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6,  
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°30'45"W	2.65'
L2	N89°33'15"E	24.75'
L3	S68°09'08"E	75.00'
L5	N87°52'15"E	320.75'
L6	S03°41'31"E	128.53'
L7	S03°41'31"E	144.86'
L8	N87°52'15"E	71.88'
L9	N03°41'31"W	26.59'
L10	N02°07'45"W	65.64'
L11	S80°04'02"E	9.03'
L12	S29°57'11"W	7.92'
L13	S52°10'25"W	16.59'
L14	S41°46'48"W	19.33'
L15	S35°46'59"W	24.26'
L16	S30°39'50"W	14.79'
L17	S70°20'07"W	18.17'
L18	N86°48'25"W	21.04'
L19	N76°54'14"E	13.09'
L20	N75°10'42"E	5.76'
L21	N33°49'35"E	9.22'
L22	N37°01'33"E	22.45'
L23	N33°40'18"E	20.75'
L24	N48°55'21"E	28.72'
L25	N86°18'29"E	31.12'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L26	N78°36'56"E	26.07'
L27	S88°22'01"E	26.71'
L28	S87°11'42"E	19.29'
L29	N86°52'28"E	39.03'
L30	S86°46'05"E	26.27'
L31	S89°25'23"E	24.43'
L32	S81°04'21"E	18.06'
L33	S81°24'17"W	21.35'
L34	S89°13'09"W	23.55'
L35	S87°49'32"W	25.23'
L36	S88°56'34"W	35.16'
L37	N89°43'34"W	25.35'
L38	S89°02'14"W	24.96'
L38	N78°19'07"W	24.14'
L40	S42°07'56"E	6.81'
L41	S37°34'23"E	24.47'
L42	S19°47'45"E	50.14'
L43	S08°20'58"E	31.95'
L44	S00°01'18"E	51.48'
L45	S05°32'20"W	31.14'
L46	S20°34'04"E	20.62'
L47	S04°42'15"E	31.97'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L48	S03°55'48"W	32.62'
L49	S00°58'13"W	38.31'
L50	S02°16'42"W	32.80'
L51	S18°47'44"E	11.93'
L52	S35°06'12"E	20.51'
L53	S04°22'54"W	28.54'
L54	S06°20'43"W	31.54'
L55	S01°58'33"E	48.53'
L56	S89°30'41"W	35.88'
L57	S89°30'45"W	59.86'
L58	N08°02'53"E	40.71'
L59	N01°37'21"E	24.80'
L60	N01°46'41"W	29.43'
L61	N00°35'20"W	45.84'
L62	N03°03'25"E	33.83'
L63	N24°30'14"E	17.63'
L64	N20°05'07"W	21.95'
L65	N02°59'18"W	22.29'
L66	N07°27'34"W	31.86'
L67	N02°10'55"W	33.07'
L68	N15°49'31"W	22.91'
L69	N38°00'19"W	55.71'



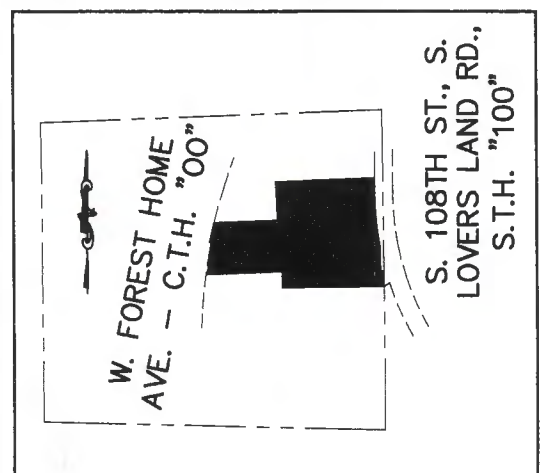
**BEARING BASIS**  
ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST WAS USED AS NORTH 00°26'45" WEST.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**VICINITY MAP**



NE 1/4 SEC. 6, T5N, R21E  
SCALE 1" = 1,500'

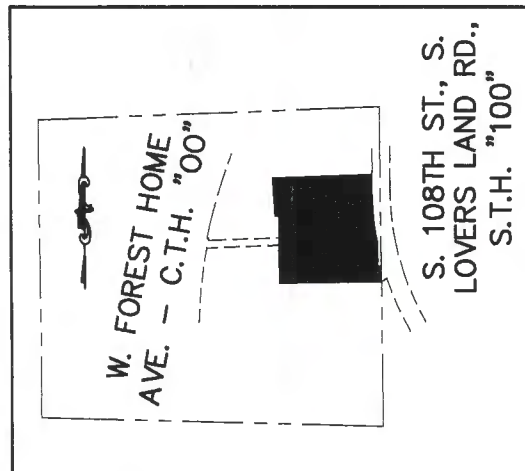


**CERTIFIED SURVEY MAP No. 8705**

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6,  
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

CURVE DATA					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	239.56'	3744.83'	003°39'55"	N10°03'17"E	239.52'
C2	157.63'	3759.83'	002°24'08"	N13°01'53"E	157.62'
C3	422.68'	2361.83'	010°15'14"	S05°32'16"E	422.12'
C4	190.10'	3744.83'	002°54'31"	N09°40'35"E	190.08'
C5	49.46'	3744.83'	000°45'24"	N11°30'32"E	49.46'
C7	57.61'	30.00'	110°01'13"	S25°03'26"E	49.16'
C8	11.63'	30.00'	022°13'15"	S41°03'48"W	11.56'
C9	20.77'	30.00'	039°40'16"	S50°29'59"W	20.36'
C10	11.97'	30.00'	022°51'28"	S81°45'51"W	11.89'
C11	85.72'	30.00'	163°42'39"	N4°57'06"W	59.39'
C12	7.99'	30.00'	015°15'02"	N41°17'49"E	7.96'
C13	26.71'	30.00'	051°00'37"	N74°25'39"E	25.84'
C14	85.07'	30.00'	162°28'38"	S0°09'58"W	59.30'
C15	82.17'	30.00'	156°56'03"	N0°08'55"E	58.79'
C16	9.31'	30.00'	017°46'37"	S28°41'04"E	9.27'
C17	5.99'	30.00'	011°26'47"	S14°04'22"E	5.98'
C18	4.36'	30.00'	008°19'40"	S4°11'08"E	4.36'
C19	17.37'	30.00'	033°11'01"	S22°07'50"W	17.13'
C20	12.48'	30.00'	023°50'02"	S32°29'05"E	12.39'
C21	8.31'	30.00'	015°51'49"	S12°38'09"E	8.28'
C22	4.52'	30.00'	008°38'03"	S0°23'13"E	4.52'
C23	20.67'	30.00'	039°29'06"	S15°21'39"E	20.27'
C24	11.23'	30.00'	021°26'49"	N13°46'50"E	11.16'
C25	7.44'	30.00'	014°13'07"	N31°36'48"E	7.43'
C26	12.73'	30.00'	024°18'59"	N32°14'37"W	12.64'
C27	8.95'	30.00'	017°05'49"	N11°32'12"W	8.92'

**VICINITY MAP**



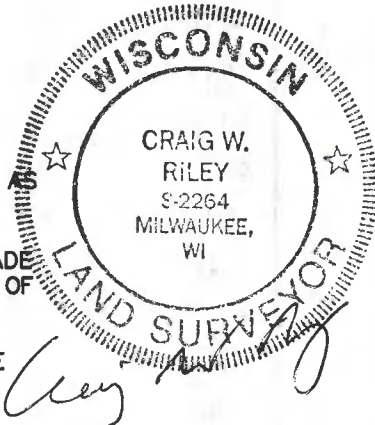
NE 1/4 SEC. 6, T5N, R21E  
SCALE 1" = 1,500'

**BEARING BASIS**  
ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST WAS USED NORTH 00°26'45" WEST.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.





CERTIFIED SURVEY MAP No. 8705

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6,  
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**CORPORATE OWNER'S CERTIFICATE**

Hiller Ford, Inc., a Wisconsin Corporation and existing under and by virtue of the Laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map, to be surveyed, divided, and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin State Statutes and Division 15-7.0700 of the City of Franklin Unified Development Ordinance.

Hiller Ford, Inc. a Wisconsin Corporation:

Jay Hiller  
JAY Hiller President

State of Wisconsin )  
Milwaukee County ) SS

Personally came before me this 30<sup>th</sup> day of June, 2015, the above named Jay Hiller,  
, and Hiller Ford, INC., of the above named corporation, to me  
known to be such PRESIDENT, and \_\_\_\_\_ of said corporation, and acknowledged that they  
executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Notary Public, Rose Wingo County, Milwaukee, Wisconsin

My Commission Expires 5-01-16

**CORPORATE OWNER'S CERTIFICATE**

Dealership Properties, Inc., a Wisconsin Corporation and existing under and by virtue of the Laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map, to be surveyed, divided, and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin State Statutes and Division 15-7.0700 of the City of Franklin Unified Development Ordinance.

Dealership Properties, Inc., a Wisconsin Corporation:

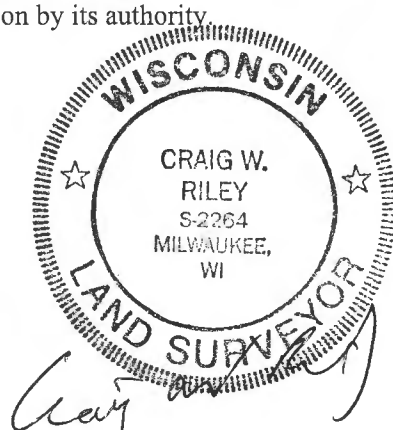
Jay Hiller  
JAY Hiller President

State of Wisconsin )  
Milwaukee County ) SS

Personally came before me this 30<sup>th</sup> day of June, 2015, the above named Jay Hiller,  
, and Dealership Properties, INC., of the above named corporation, to me  
known to be such PRESIDENT, and \_\_\_\_\_ of said corporation, and acknowledged that they  
executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Notary Public, Rose Wingo County, Milwaukee, Wisconsin

My Commission Expires 5-01-16



CERTIFIED SURVEY MAP No. 8705

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6,  
TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**CITY OF FRANKLIN COMMON COUNCIL APPROVAL**

This Certified Survey Map is hereby approved by the Common Council of the City of Franklin, on this 7<sup>th</sup> day of  
APRIL, 2015, Resolution No. 2015-7015.

By: Stephen Olson  
Stephen Olson, Mayor

Date: 6/30/15

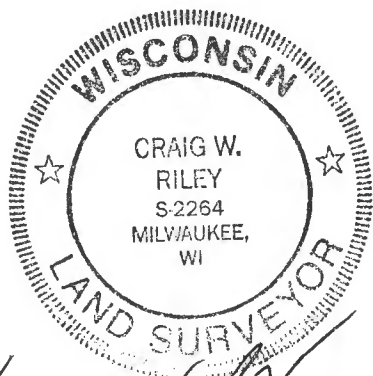
By: Sandra L. Wesolowski  
Sandra L. Wesolowski, City Clerk

Date: 6/30/2015



DOC.# 10475730

RECORDED 07/01/2015 11:11AM  
JOHN LA FAVE  
REGISTER OF DEEDS  
Milwaukee County, WI  
AMOUNT: 30.00  
FEE EXEMPT #:



Craig W. Riley

DATED THIS 30th DAY OF JUNE, 2015  
THIS INSTRUMENT WAS DRAFTED BY CRAIG W. RILEY, S-2264



STATE OF WISCONSIN  
MILWAUKEE COUNTY

I, the undersigned Register of Deeds of Milwaukee County, hereby certify that this document is a true and correct copy of the original on file or record in my office. Witness my hand and official seal this

**JUL 1 2015**

date



JOHN LA FAVE  
Register of Deeds

REGISTER OF DEEDS  
JOHN LA FAVE  
07/01/2015 11:11AM

10475730 CERTIFIED SURVEY MAP40.00

CERTIFIED MISC FEE: \$1.00  
CERTIFIED COPY FEE: \$9.00  
RECORDING FEE: \$30.00

TOTAL: \$40.00

CASH: \$40.00

PHONE # 278-4005  
912123



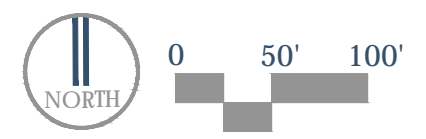
AREAS	
GREEN SPACE	13,612
IMERVIOUS	235,000
TOTAL	248,612
GREEN SPACE RATIO = 5.5%	

22-11572

**HILLER FORD**  
FRANKLIN, WI

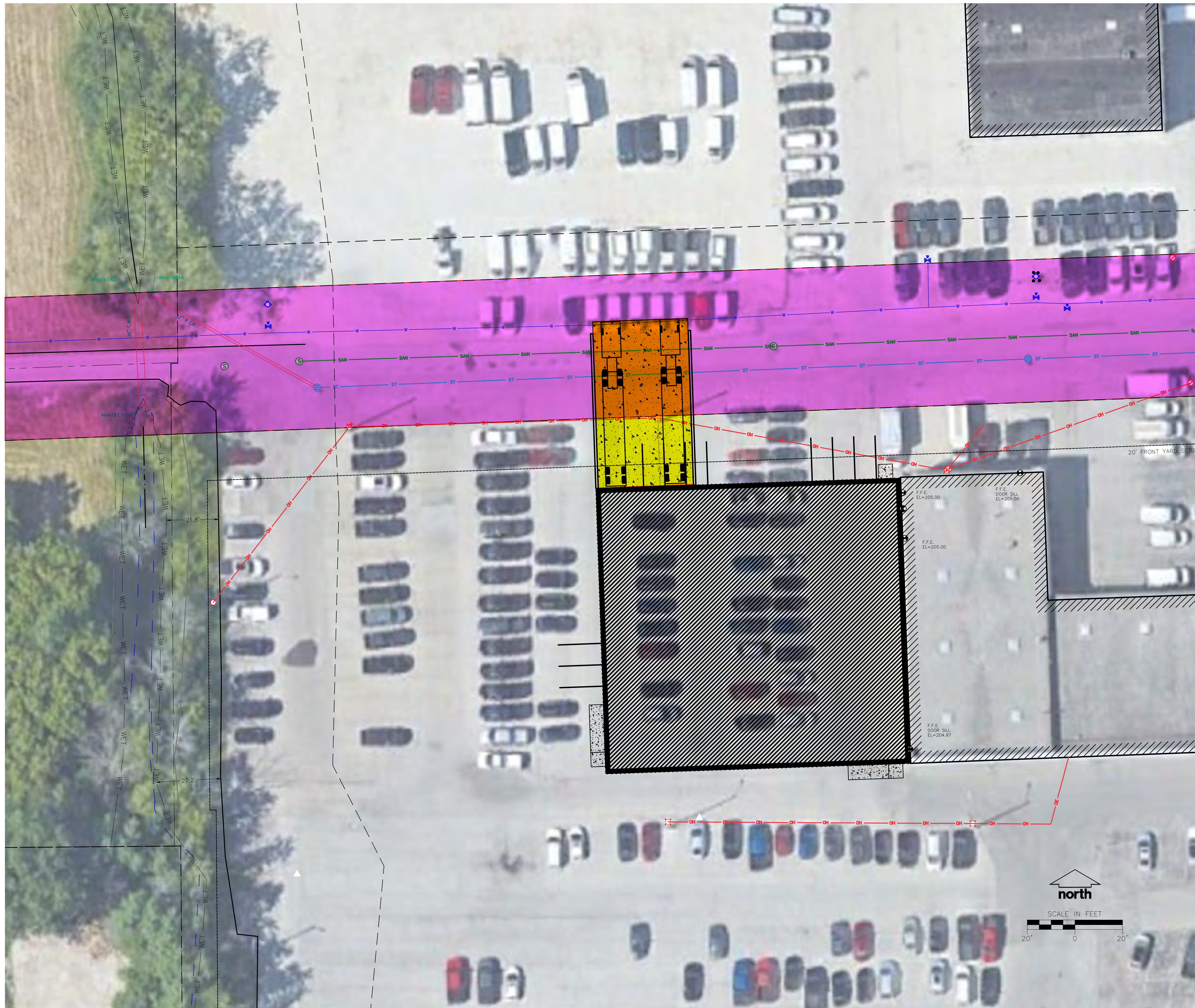
**GREEN SPACE EXHIBIT**

DATE: 06/20/2023



File: R:\022221572\DWG\211572\_Layout.dwg Layout: EXHIBIT (3) User: mlampa Plotted: Jul 05, 2023 - 10:44am Xref's:





CREATE THE VISION TELL THE STORY

jsdinc.com

MILWAUKEE REGIONAL OFFICE  
 W238 N1610 BUSSE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 P. 262.513.0666

CLIENT:



CLIENT ADDRESS:  
 9130 WEST LOOMIS ROAD  
 SUITE 95  
 FRANKLIN, WI 53132

PROJECT:  
 HILLER FORD

PROJECT LOCATION:  
 6455 SOUTH 108TH STREET  
 FRANKLIN, WI 53132

PLAN MODIFICATIONS:

#	Date:	Description:
1	03-24-2023	SUP APPLICATION
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CAP  
 Reviewed By: TJB  
 Approved By: JLI

SHEET TITLE:  
 EXHIBIT  
 ALTERNATE SITE PLAN

SHEET NUMBER:  
**EX1.0**





**Mark Carstensen Developments, LLC**  
9130 Loomis Road  
Franklin, WI 53132

**Hiller Ford Phase II**  
**Legal Description of Lot 2, C.S.M. 8705**

Lot 2 of Certified Survey Map No. 8705, recorded in the Waukesha County Register of Deeds as Document No. 10475730, being part of the Northeast  $\frac{1}{4}$  and Southeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 6, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, more particularly described as follows:

Commencing at the Southeast corner of said  $\frac{1}{4}$  Section, thence  $N00^{\circ}26'45''W$  along the East line of said  $\frac{1}{4}$  Section 1134.23 feet to the Point of Beginning of lands to be described; thence  $S89^{\circ}30'41''W$  800.00 feet; thence  $N00^{\circ}26'45''W$  and parallel with said East line 125.02 feet; thence  $S89^{\circ}30'45''W$  2.65 feet; thence  $N00^{\circ}26'45''W$  and parallel with said line 173.02 feet; thence  $N87^{\circ}52'15''E$  459.42 feet; thence  $N01^{\circ}35'24''W$  20.00 feet; thence  $N87^{\circ}52'15''E$  249.79 feet; thence  $S68^{\circ}09'07''E$  75.00 feet to a point on the West line of South 108<sup>th</sup> Street; thence  $S00^{\circ}26'45''E$  along said Westerly line and parallel with the said East line of said  $\frac{1}{4}$  Section 185.78 feet; thence  $N89^{\circ}33'15''E$  24.75 feet to a point on said East line; thence  $S00^{\circ}26'45''E$  along said east line 124.04 feet to the Point of Beginning.

Lands containing 248,574 square feet or 5.7065 acres.

**DIVISION 15-3.0700      SPECIAL USE STANDARDS AND REGULATIONS**

**SECTION 15-3.0701      GENERAL STANDARDS FOR SPECIAL USES**

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

*Response: The proposed use is identical to the existing use.*

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

*Response: The proposed use and development are consistent with the existing property use. The vacation of a portion of Whitnall Edge Road is essentially the completion of a previous street vacation process. Several years ago, the City of Franklin approved the vacation of this section of Whitnall Edge, however the documents were never recorded. This project completes that process and cleans up title for the properties adjacent to this section of roadway. By virtue of the proposed exterior upgrades and interior remodel being proposed, this project should have a positive effect on surrounding property values*

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

*Response: Existing traffic and access patterns in and around the property are being maintained, and as such no negative impacts are expected to adjacent properties.*

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

*Response: Public street access is provided to the separate interior property by the existing Whitnall Edge Road public right-of-way connection to West Forest Home Avenue. Said property will also be allowed continued access to South 108<sup>th</sup> Street via proposed cross-access easement across the vacated Whitnall Edge Road lands.*

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

*Response: Because the proposal consists of primarily a building remodel, with only minor building expansion, no significant traffic increases are expected.*

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

*Response: The entire project area currently consists of pavement. No natural resource impacts are proposed.*

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

*Response: The proposed improvements comply with all applicable standards.*

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

*Response: Not applicable.*

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

*Response: Not applicable.*

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

*Response: Not applicable.*

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

*Response: Not applicable.*

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

*Response: Not applicable.*





**Milwaukee Regional Office**  
W238 N1610 Busse Road, Suite 100  
Waukesha, WI 53188  
262.513.0666

June 16, 2023

Mr. Regulo Martinez-Montilva  
City of Franklin  
9229 West Loomis Road  
Franklin, WI 53132

Subject     ***Special Use Permit Amendment  
Hiller Ford  
South 108<sup>th</sup> Street  
Franklin, WI  
JSD Project No. 22-11572***

Dear Regulo:

Enclosed please find our submittal application for a Special Use Permit (SUP) Amendment at Hiller Ford on South 108<sup>th</sup> Street in Franklin, Wisconsin. The purpose of the SUP Amendment is to facilitate the addition of a parts warehouse space in the existing inventory parking lot at the west side of the existing shop building. The addition will include overhead doors on the west and north faces of the building, and a three-dock semi-truck delivery well on the west wall. The truck well has been intentionally placed in this west-facing location so as to shield its visibility from South 108<sup>th</sup> Street and customer areas. Building floor plans and elevations are designed to complement the existing building and are enclosed for review.

It should be noted that a smaller version of this addition was included in the approved 2015 project, however, this piece of the project was never built. Hiller Ford has now run out of interior storage space and desperately needs the additional secure parts inventory square footage as soon as they can possibly get it. To that end, we respectfully request consideration of the enclosed submittal materials on the most expedient approval schedule possible.

Should you have any questions or need additional information, please don't hesitate to call me. Thank you!

Sincerely,

***JSD Professional Services, Inc.***

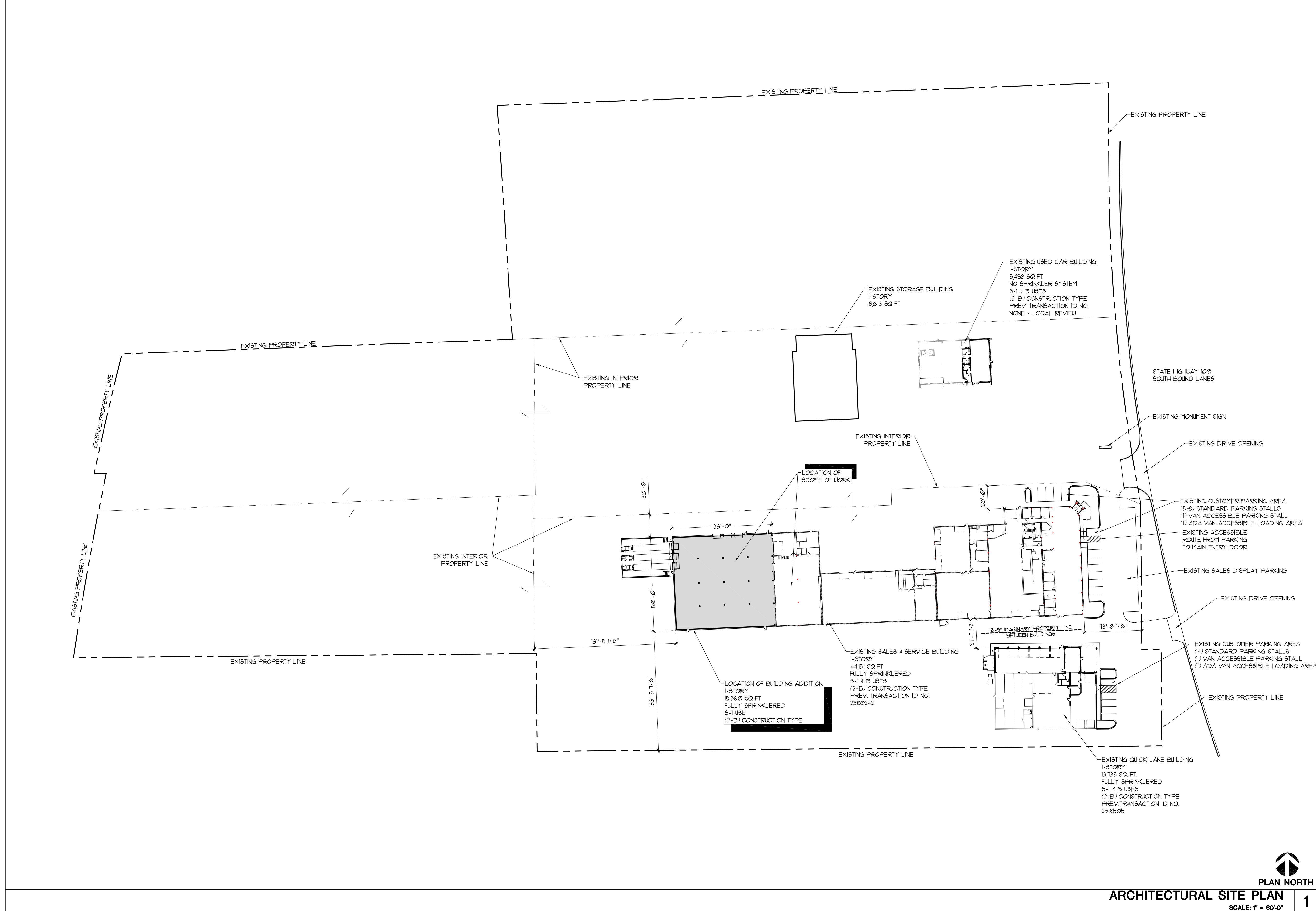
Justin L. Johnson, P.E.  
Associate

Enclosures









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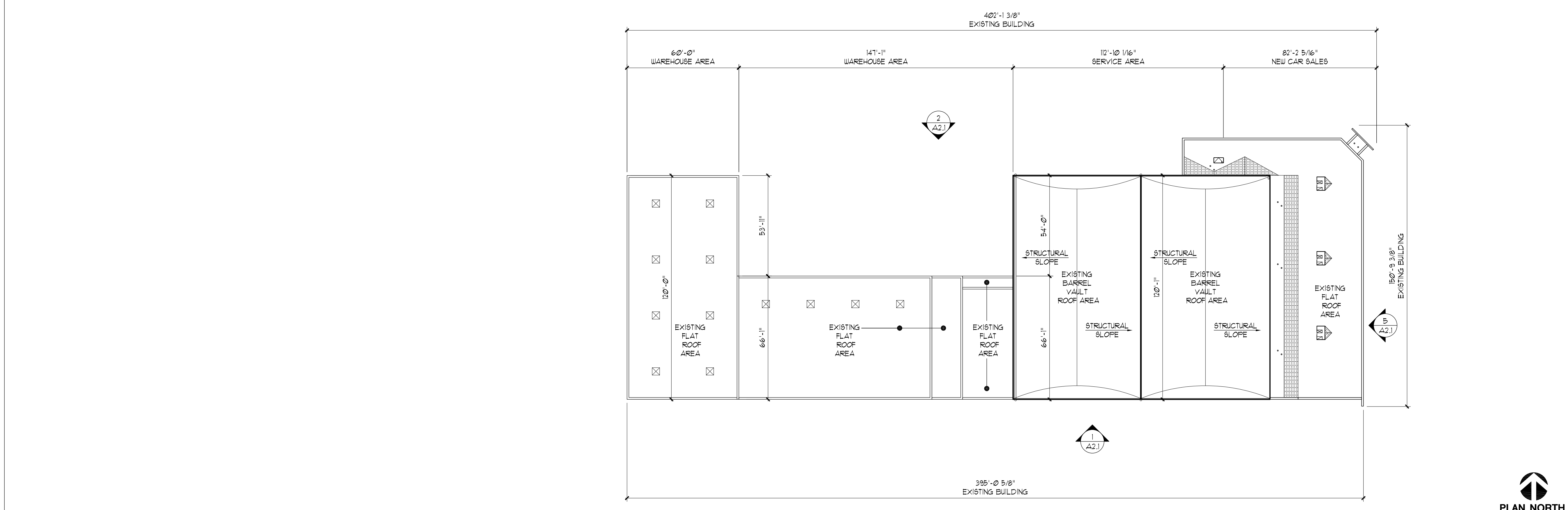
**ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 60'-0"

1

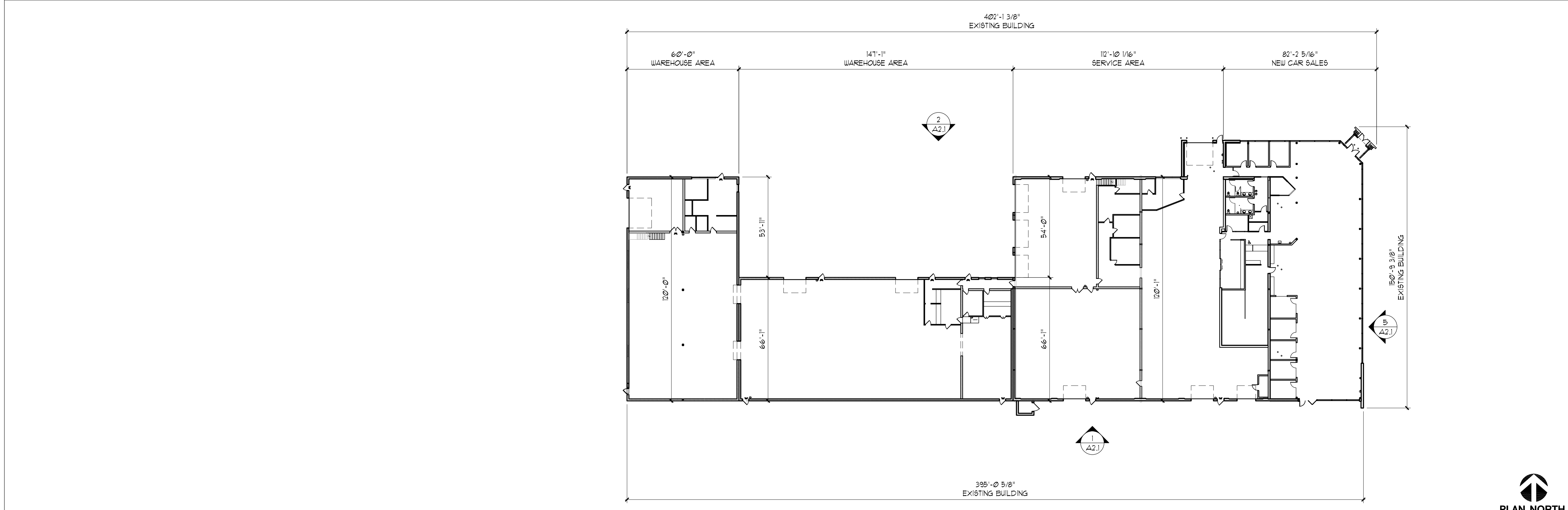
FULL SIZE PRINT = 24" x 36" SHEET

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<b>Project:</b>			
<b>Hiller Ford</b> 6455 South 108th Street Franklin, WI 53132			
<b>PERSPECTIVE DESIGN, INC.</b> 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
			
<b>Drawing Title:</b>			
<b>ARCHITECTURAL SITE PLAN</b>			
THIS BOX IS 1/2" x 1/2"			
<b>Date:</b>	05/24/23		
<b>Scale:</b>	A.N.		
<b>Drawn:</b>	WHC		
<b>Job:</b>	23-032		
<b>Sheet:</b>			
<b>SP1.1</b>			
<b>REV. #</b>	<b>REV. DATE</b>	<b>DESCRIPTION</b>	<b>REV. BY:</b>
-	03/24/23	ENTITLEMENT SUBMITTAL	WHC
-	05/24/23	STATE PLAN REVIEW SUBMISSION	WHC



OVERALL EXISTING ROOF PLAN  
SCALE: T=30' 2



OVERALL EXISTING FIRST FLOOR PLAN  
SCALE: T=30' 1

DO NOT SCALE THESE DRAWINGS

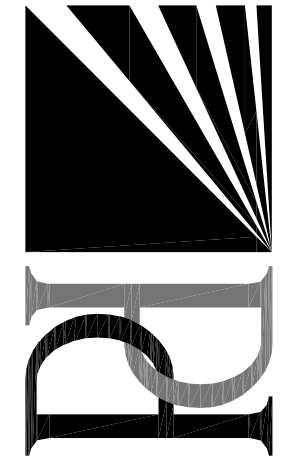
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-	05/24/23	STATE PLAN REVIEW SUBMISSION	WFC

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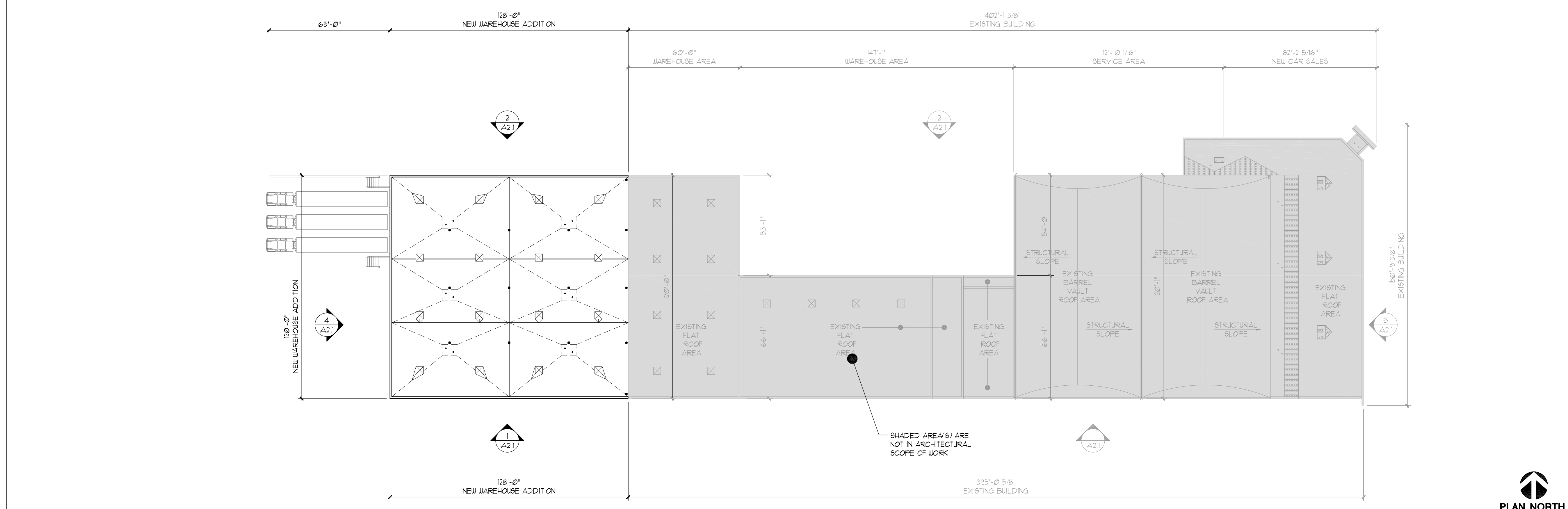


Drawing Title:  
**OVERALL EXISTING PLANS**

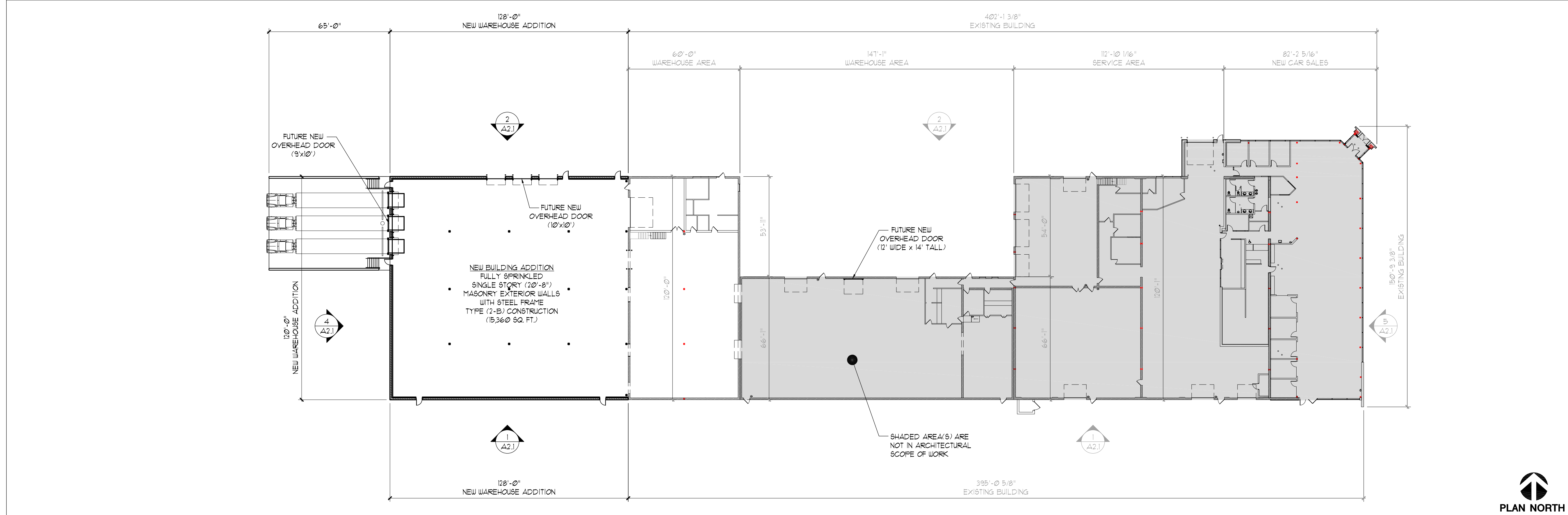
THIS BOX IS 1/2" x 1/2"

Date: 05/24/23  
 Scale: A.N.  
 Drawn: WFC  
 Job: 23-032

Sheet:  
**EX1.0**



OVERALL NEW ROOF PLAN  
SCALE: 1"=30'  
2



OVERALL NEW FIRST FLOOR PLAN  
SCALE: 1"=30'  
1

DO NOT SCALE THESE DRAWINGS

FULL SIZE PRINT = 24" x 36" SHEET

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-	05/24/23	STATE PLAN REVIEW SUBMISSION	WFC

**Project:**

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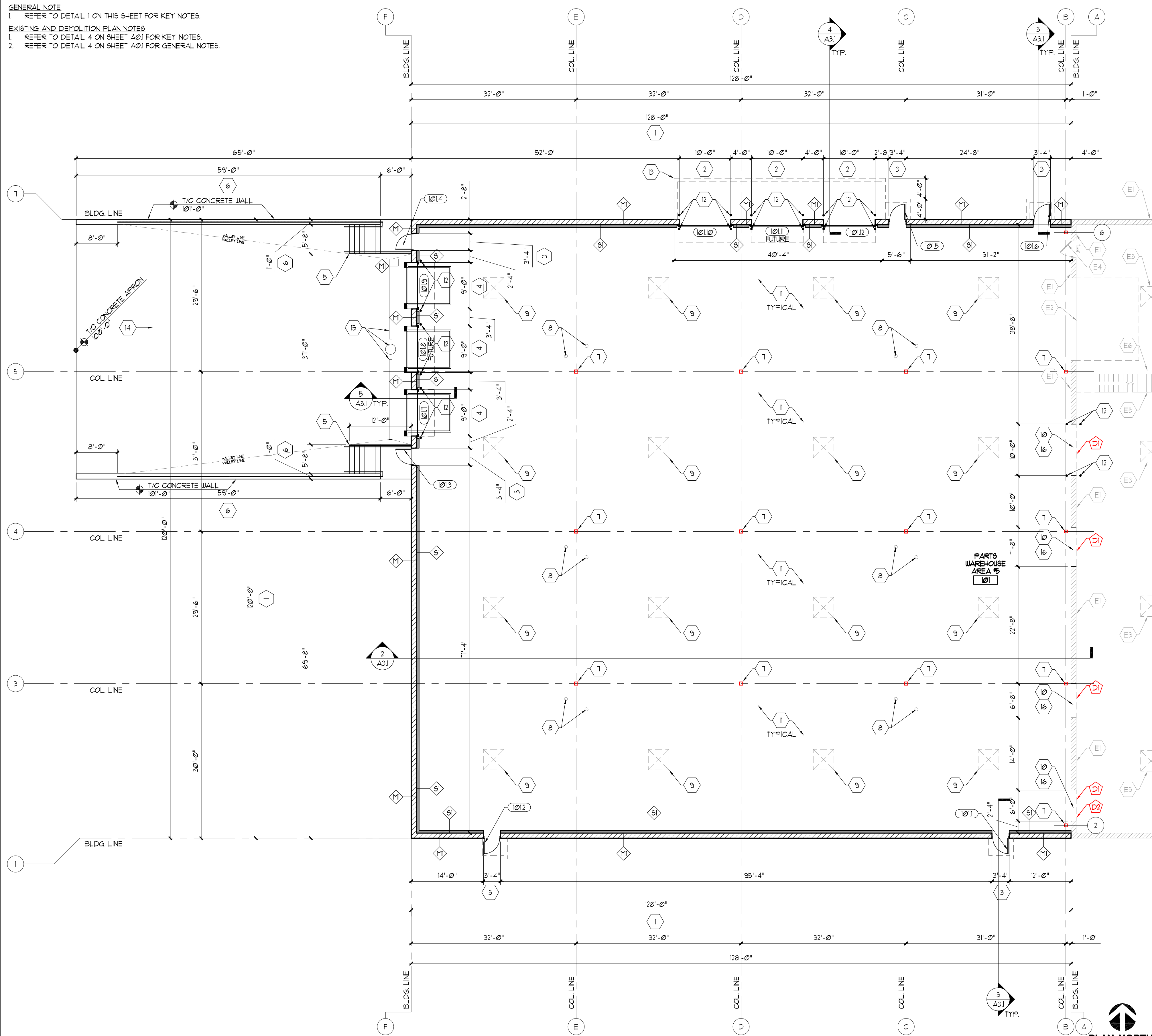
**Drawing Title:**  
OVERALL NEW PLANS

THIS BOX IS 1/2" x 1/2"

Date: 05/24/23  
Scale: AN.  
Drawn: WFC  
Job: 23-032  
Sheet:  
**A1.0**



GENERAL NOTE  
 1. REFER TO DETAIL 1 ON THIS SHEET FOR KEY NOTES.  
 EXISTING AND DEMOLITION PLAN NOTES  
 1. REFER TO DETAIL 4 ON SHEET A01 FOR KEY NOTES.  
 2. REFER TO DETAIL 4 ON SHEET A01 FOR GENERAL NOTES.



PARTIAL DIMENSIONED 1ST FLR FLOOR PLAN  
 SCALE: 3/32" = 1'-0" 2

FLOOR PLAN KEYED NOTES:

- 1 NEW COMPOSITE CMU WALL CONSTRUCTION. SEE WALLS TYPES FOR ADDITIONAL INFORMATION. TYPICAL.
- 2 NEW INSULATED OVERHEAD SECTION DOOR. REFER TO DOOR INFORMATION SHEET FOR DETAILS.
- 3 NEW INSULATED PASSAGE STYLE SWING DOOR. REFER TO DOOR INFORMATION SHEET FOR DETAILS. THESE ARE EXTERIOR EXIT DOORS. AN INSULATED POURED IN PLACE CONCRETE STOOPOOTING & FOUNDATION SYSTEM SHALL BE INSTALLED AT EACH DOOR LOCATION. THESE ARE SHOWN AS 5'-6" WIDE X 4'-0" DEEP WITH 8" WIDE WALLS. THE OUTSIDE FACE OF THE HINGE SIDE FOUNDATION (101) FROM THE MASONRY OPENING. THIS WILL ALLOW FOR AN 18" FROST PROTECTED FULL SIDE CLEARANCE.
- 4 NEW INSULATED OVERHEAD SECTION DOOR WITH IN FLOOR DOCK LEVER SYSTEM, AS SELECTED BY OWNER AND INSULATED PER MANUFACTURER'S WRITTEN DOCUMENTATION AND DETAILS, AND DOCK SEAL SYSTEM AS SELECTED BY OWNER AND INSULATED PER MANUFACTURER'S WRITTEN DOCUMENTATION AND DETAILS. REFER TO DOOR INFORMATION SHEET FOR DETAILS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. USE CUT SHEETS AS SUPPLIED BY OWNER FOR ALL DETAILS. REFER TO DOCK LEVER SYSTEM FOR FIT PROJECTION DIRECTIVES.
- 5 NEW INSULATED POURED IN PLACE CONCRETE STOOPOOTING & FOUNDATION SYSTEM SHALL BE INSTALLED AT EXTERIOR STAIR LOCATION POURED IN PLACE CONCRETE STAIR IS SHOWN WITH (6) TREADS AT 12" EACH AND (7) RIGERS AT 6" EACH. TREADS AND LANDINGS SHALL HAVE A BROOM FINISH. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. EACH STAIR SHALL HAVE 1-1/2" DIAMETER GALVANIZED STEEL HAND RAIL SYSTEM THAT EXTENDS 12" AT THE TOP AND BOTTOM LANDINGS. THE TOP OF THE HAND RAIL SHALL BE 36" AFF. A 1-1/2" DIAMETER GALVANIZED STEEL GUARD RAIL SHALL BE DESIGNED FOR FALL PROTECTION ON THE 'OPEN SIDE' OF THE DEPRESSED DOCK AREA. THE TOP OF THE GUARD RAIL SHALL BE 42" AFF. THE DESIGN OF EACH OF THESE RAIL SYSTEMS SHALL BE FULL DELEGATED TO THE RAIL DESIGNED / FABRICATOR / INSTALLER.
- 6 NEW INSULATED POURED IN PLACE CONCRETE RETAINING WALL. THE TOP OF THE RETAINING WALL SHALL BE 12" ABOVE THE TOP OF THE RAMPED SURFACE AND SHALL CONTINUE STRAIGHT ACROSS TO MAINTAIN A LEVEL SURFACE. PROVIDE A SMOOTH TO THE TOUCH FINISH ON ALL EXPOSED FACES OF THE WALL AND A CHAMFERED EDGE AT THE EXPOSED OUTSIDE CORNERS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. A 1-1/2" DIAMETER GALVANIZED STEEL GUARD RAIL SHALL BE DESIGNED FOR FALL PROTECTION FROM THE DEPRESSED DOCK AREA. THE TOP OF THE GUARD RAIL SHALL BE 42" AFF. THE DESIGN OF THIS RAIL SYSTEM SHALL BE FULL DELEGATED TO THE RAIL DESIGNED / FABRICATOR / INSTALLER.
- 7 NEW STEEL COLUMN. SEE STRUCTURAL PLANS FOR ALL DETAILS.
- 8 NEW ROOF DRAIN(S) AND OVERFLOW ROOF DRAIN(S) SHOWN (ABOVE). SEE APPROPRIATE SUB-CONTRACTOR PLANS FOR ADDITIONAL INFORMATION INCLUDING BUT NOT LIMITED TO DRAINAGE CALCULATIONS, FINAL PLACEMENT, PLUMBING & CIVIL CONNECTIONS, WALL OUTLET FIXTURE TYPE, LOCATIONS, AND IN-WALL MOUNTING HEIGHTS. PLUMBING AND CIVIL DESIGNER TO FORWARD INFORMATION TO ARCHITECT & STRUCTURAL DESIGNER TO COORDINATE ROOF CONDUCTOR LOCATIONS AND REQUIREMENTS OF COLUMN RISE HEIGHTS TO ACCOMMODATE PLUMBING & CIVIL DESIGN.
- 9 NEW ROOF MOUNTED SKYLIGHTS SHOWN (ABOVE) ON APPROPRIATE PRE-MANUFACTURED SKYLIGHTS MUST MEET MINIMUM REQUIREMENTS OF THE CURRENT INTERNATIONAL ENERGY CONSERVATIONAL CODE AS WELL AS THE CURRENT OSHA FALL PROTECTION REQUIREMENTS. ROOF CONTRACTOR TO PROVIDE OPTIONS TO THE OWNER FOR THEIR CONSIDERATION AND FINAL SELECTION. THESE ARE SHOWN AS (4'-0" x 4'-0") IN LOCATED IN THE CENTER OF EACH COLUMN BAY. SIZE, SPACING AND MODEL TO (4) MATCH THE EXISTING UNITS THAT ARE INSTALLED IN OTHER PARTS OF THE BUILDING. THERMAL PERFORMANCE WILL NEED TO BE PER COM-CHECK DOCUMENTATION. SUBCONTRACTOR TO PROVIDE CONFIRMATION DOCUMENTATION PRIOR TO SUBMISSION OF BID.
- 10 PATCH AND REPAIR 'IN-FLOOR' WALL OPENING BELOW THE FINISHED FLOOR AS NEEDED TO PROVIDE A FLUSH CONCRETE FLOOR TRANSITION BETWEEN THE NEW AND EXISTING AREAS OF THE BUILDING.
- 11 SLAB ON GRADE CONCRETE FLOOR SLAB (TYP.) REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS INCLUDING BUT NOT LIMITED TO THICKNESS, TYPE, REINFORCEMENT, AND ALL UNDER SLAB CONDITIONS AND REQUIREMENTS. CONCRETE FLOOR SHALL BE A FINISH SYSTEM THAT IS SIMILAR TO USING A CURING COMPOUND (KUREZ-DR, VORX) THEN FINISHED TO A 1500 GRIT FINISH THAN AN ASPHALT FORMULA AS A DENSIFIER / HARDENER AS THE TOP COAT / FINISH.
- 12 CONCRETE FILLED STEEL BOLLARDS FOR WALL OPENING PROTECTION AT EACH SIDE OF (INTERIOR & EXTERIOR) OF THE WALL AND EACH JAMB. EACH BOLLARD SHALL HAVE A SAFETY YELLOW PVC SLEEVE OVER THE STEEL BOLLARD. THIS IS TYPICAL AT THE INTERIOR SIDE OF ALL OVERHEAD DOORS. THIS IS TYPICAL AT THE EXTERIOR SIDE OF ALL OVERHEAD DOORS WITH AN AT GRADE ENTRY. LOCATION / PLACEMENT SHALL BE CONFIRMED ON SITE WITH G.C. AND OWNER PRIOR TO THE START OF WORK.
- 13 INSULATED POURED IN PLACE CONCRETE STOOPOOTING & FOUNDATION SYSTEM. THIS IS SHOWN AS 4'-0" WIDE X 8'-0" DEEP WITH 8" WIDE WALLS. THIS EXTENDS 12" FROM THE WEST JAMB OF DOOR 1010 AND CONNECTS TO THE DOOR STOOPOOTING AT DOOR 1015.
- 14 APPROXIMATE SLOPE OF DEPRESSED DOCK FROM TOP OF CONCRETE TO ASPHALT TRANSITION TO EDGE OF TRENCH DRAIN IS 6.48%. ADJUST PER CIVIL & DOCK EQUIPMENT SUPPLIER DIRECTIVE AS NEEDED.
- 15 DEPRESSED DOCK DRAINAGE SYSTEM. SEE PLUMBING FOR ALL DETAILS.
- 16 FINISHED WALL OPENING SHALL BE A MINIMUM OF 10'-0" CLEAR FROM THE FINISHED FLOOR TO THE BOTTOM OF THE LINTEL. SEE STRUCTURAL PLAN FOR ADDITIONAL INFORMATION. PROVIDE NEW JAMB SIDING WITH DOUBLE ENDED BULL NOSE / ROUNDED EDGES AT THE OPENING SIDES AND 'TOOTH-IN' NEW CMU INTO EXISTING CMU AS NEEDED.

KEYED FLOOR PLAN NOTES  
 SCALE: N/A 1

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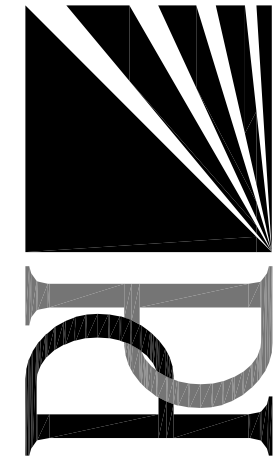
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1	03/24/23	ENTITLEMENT SUBMITTAL	WHC
2	05/24/23	STATE PLAN REVIEW SUBMISSION	WHC

Project:  
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Drawing Title:  
**PARTIAL DIMENSIONED 1ST FLR FLOOR PLAN**

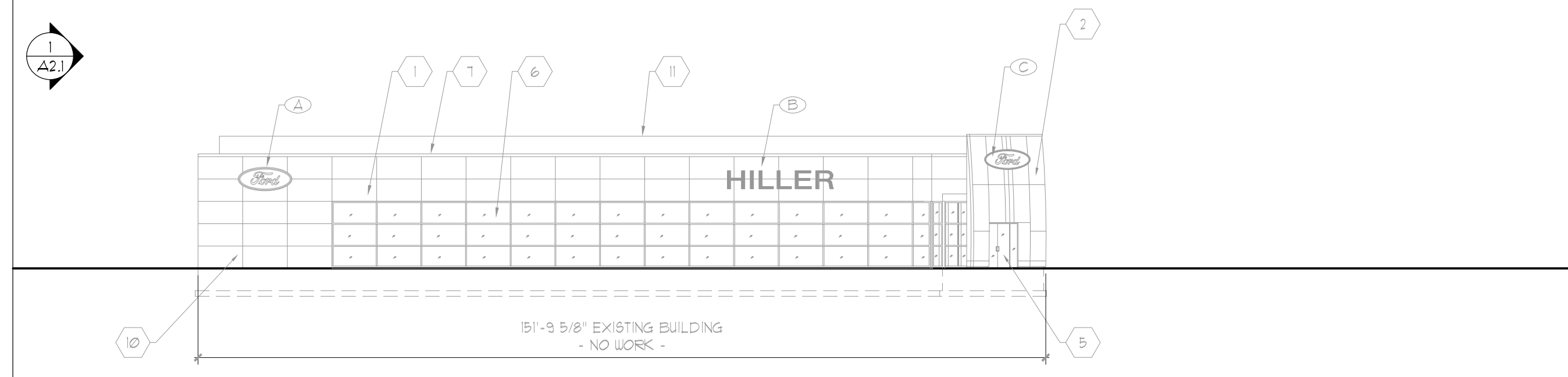
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 Scale: A.N.  
 Drawn: WHC  
 Job: 23-032

Sheet:  
**A1.1**

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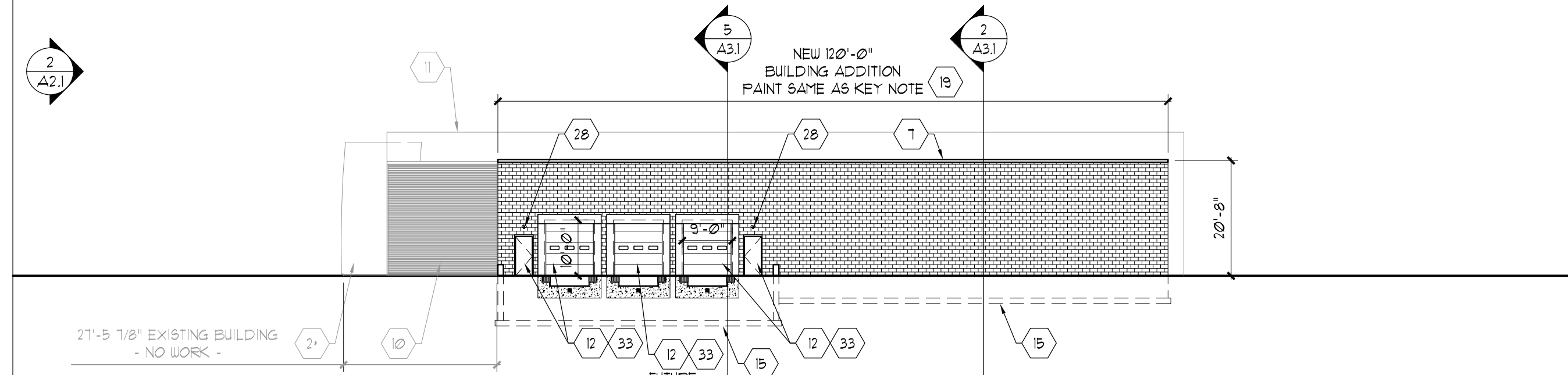


GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



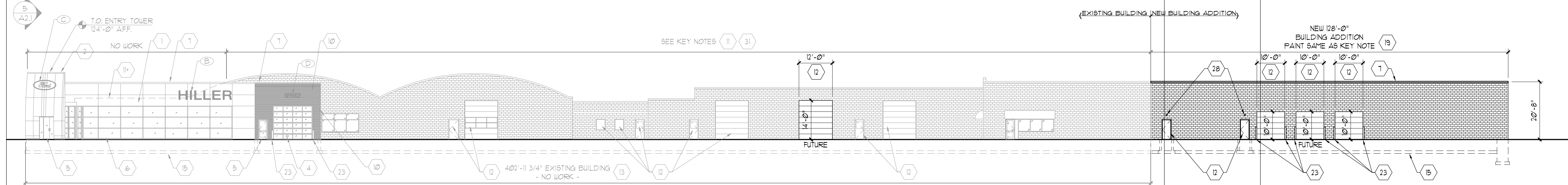
**EAST ELEVATION - NO WORK**  
SCALE: 1" = 20'-0" **5**

GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



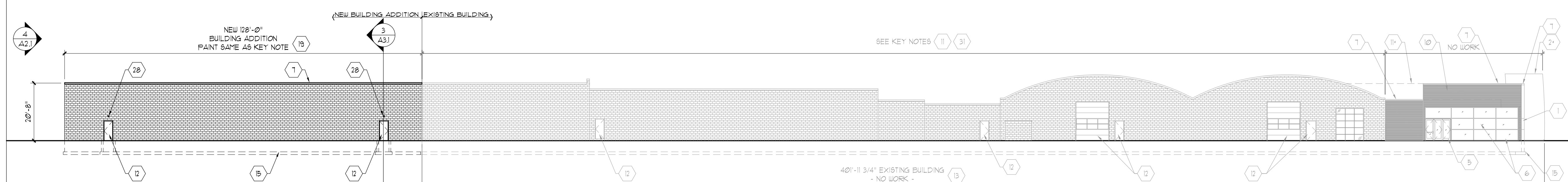
**WEST ELEVATION**  
SCALE: 1" = 20'-0" **4**

GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



**NORTH ELEVATION**  
SCALE: 1" = 20'-0" **2**

GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



**SOUTH ELEVATION**  
SCALE: 1" = 20'-0" **1**

**NEW & EXISTING BUILDING MATERIAL KEY LEGEND:**  
(\*) MATERIAL - BEYOND

- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL:  
• DRY JOINT SYSTEM  
• COLOR: ALPOLIC HAIRLINE ALUMINUM (4"X14"X1/2") OR FORD APPROVED EQUAL
- 2 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL:  
• DRY JOINT SYSTEM  
• COLOR: ALPOLIC HAIRLINE ALUMINUM (4"X14"X1/2") OR FORD APPROVED EQUAL
- 3 NOT USED
- 4 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM:  
• 14' WIDE x 12' TALL  
• DOOR FRAME COLOR: CLEAR ANODIZED ALUMINUM  
• GLASS COLOR: CLEAR GLAZING  
• \*\* PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP)
- 5 PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM:  
• FRAME COLOR: CLEAR ANODIZED ALUMINUM  
• GLASS COLOR: LOW E - CLEAR GLAZING
- 6 PREFINISHED ALUMINUM CURTAIN WALL SYSTEM:  
• FRAME COLOR: CLEAR ANODIZED ALUMINUM  
• GLASS COLOR: LOW E - CLEAR GLAZING
- 7 PREFINISHED METAL COPING SYSTEM:  
• COLOR: MATCHED EITHER  
• \*\* METAL (ACM OR RIBBED) PANEL (BELOW) OR  
• \*\* PAINTED BLOCK (BELOW)  
• \*\* PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 8 NOT USED
- 9 NOT USED
- 10 PREFINISHED METAL WALL PANEL:  
• ALCOA RETYNOLUX  
• COLOR: SLATE GRAY RLSG  
• TYPE: 1/2 RIB SIDING
- 11 BUILDING ELEMENT.
- 12 EXISTING OR NEW WINDOW / DOOR / OVERHEAD DOOR:  
• REPAIR AS NEEDED  
• PREP FOR NEW PAINT  
• COLOR: GRANITE GREY, COGN 31 / 0200  
• ORDER \* A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)  
• CONFIRM WITH OWNER EXTENT OF REPAIR
- 13 EXISTING WALL AREA:  
• REPAIR AS NEEDED  
• PREP FOR NEW PAINT  
• UNIVERSAL GREY, COGN 62 / 0200 ORDER\* A2004  
• MANUFACTURER: GLIDDEN PROFESSIONAL
- 14 NOT USED
- 15 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
- 16 EXISTING WALL AREA:  
• REPAIR AS NEEDED  
• PREP FOR NEW PAINT  
• COLOR: GUANTLET GREY SW-1019  
• MANUFACTURER: SHERWIN WILLIAMS
- 17 EXISTING WALL AREA:  
• REPAIR AS NEEDED  
• PREP FOR NEW PAINT  
• COLOR: MINDFUL GRAY SW-1016  
• MANUFACTURER: SHERWIN WILLIAMS
- 18 NOT USED
- 19 NEW SMOOTH PAINTED CMU BLOCK:  
SIZE: 16" WIDE x 8" TALL x 12" DEEP.  
SEE KEY NOTE #16 FOR PAINT.
- 20 NOT USED
- 21 NOT USED.
- 22 NOT USED.
- 23 STEEL BOLLARD - PAINTED SIMILAR TO SURROUNDING FINISHED WALL AREA
- 24 NOT USED.
- 25 NOT USED.
- 26 NOT USED.
- 27 NOT USED.
- 28 NEW EXTERIOR WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (TYP) AT EXIT DOOR. MUST HAVE A 90 MINUTE BATTERY BACK-UP.
- 29 NOT USED.
- 30 NOT USED.
- 31 NEW PREFINISHED METAL COPING SYSTEM. COLOR & FINISH MATCHED TO KEY NOTE #10  
• PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 32 NOT USED.
- 33 DEPRESSED DOCK SYSTEM & DOCK SEAL.

GENERAL SIGNAGE NOTE:  
REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM AT WWW.FORDTRUTHMARKETING.COM FOR ADDITIONAL INFORMATION. ALL SIGNAGE PROVIDED & INSTALLED BY "AGI" (888) 856-1880

- A 31 SF. FORD "OVAL" SIGN
- B 39" HIGH "HILLER" DEALER NAME LETTERS
- C 21 SF. FORD "OVAL" SIGN
- D 19" HIGH "SERVICE" SIGN LETTERS
- E QL 2230 FASCIA SIGN: 3'-0" HAND SYMBOL ILLUM. QL 2420 FASCIA SIGN: 2'-0" WORDMARK ILLUM. QL 2410 FASCIA SIGN: 6" TIRE & AUTO CENTER NON ILLUM.
- F HOURS SIGN FLAQUE

SIGNAGE NOTE:  
SIGNS WILL NOT BE SHOWN WITH COLOR ON COLORED DRAWINGS

GENERAL NOTE:  
EXISTING METAL ACCESSORIES ELEMENTS, NOT SPECIFICALLY LISTED TO BE: (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)  
• PREP FOR NEW PAINT, AS ALLOWED AND PAINT.  
• COLOR: GRANITE GREY, COGN 31 / 0200  
• ORDER \* A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)  
EXISTING METAL ACCESSORIES ELEMENTS ON THE ROOF, NOT SPECIFICALLY LISTED TO BE: (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)  
TO REMAIN "AS IS"  
NEW HVAC UNITS ON THE ROOF, AND NOT SCREENED BY NEW CONSTRUCTION ELEMENTS.  
• TO HAVE NEW PVC RTU SCREEN ELEMENT MOUNTED TO RTU. PVC COLOR TO MATCH ROOF COLOR

**BUILDING ELEVATION MATERIAL LEGEND**  
SCALE: 1" = 20'-0" **3**

DO NOT SCALE THESE DRAWINGS

FULL SIZE PRINT = 24" x 36" SHEET  
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REV. #	REV. DATE	DESCRIPTION
1	03/24/23	ENTITLEMENT SUBMITTAL
2	05/24/23	STATE PLAN REVIEW SUBMISSION

Project:

**Hiller Ford**  
6455 South 108th Street  
Franklin, WI 53132

**PERSPECTIVE DESIGN, INC.**  
11525 W. North Avenue  
Wauwatosa, WI 53226  
Tel (414) 302-1780 Fax (414) 302-1781

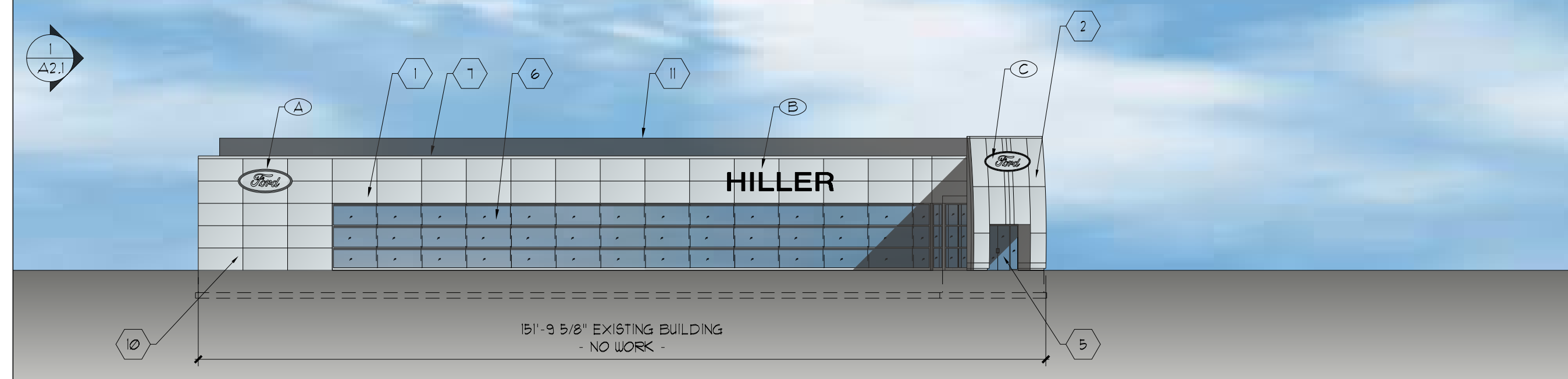
Drawing Title:  
**BUILDING ELEVATION SALES & SERVICE**

Date: 05/24/23  
Scale: AN.  
Drawn: WHC  
Job: 23-032  
Sheet:  
**A2.1**

THIS BOX IS 1/2" x 1/2"

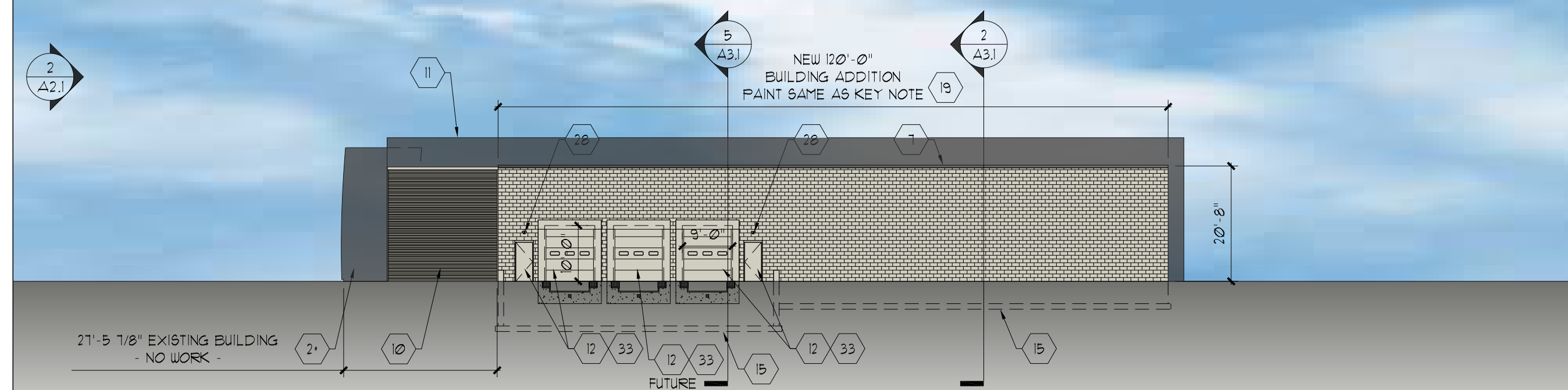


GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



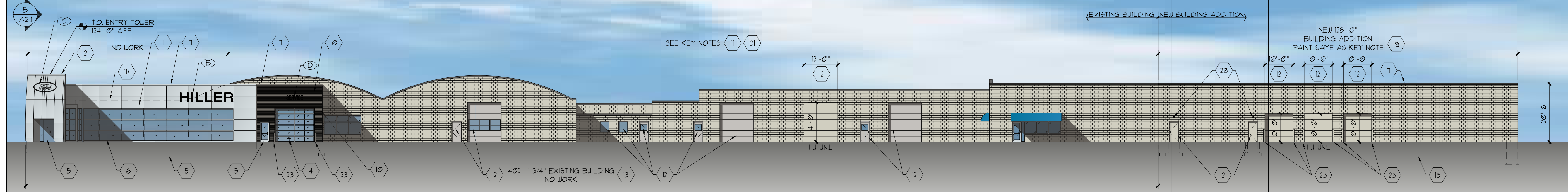
**EAST ELEVATION - NO WORK**  
SCALE: 1" = 20'-0" **5**

GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



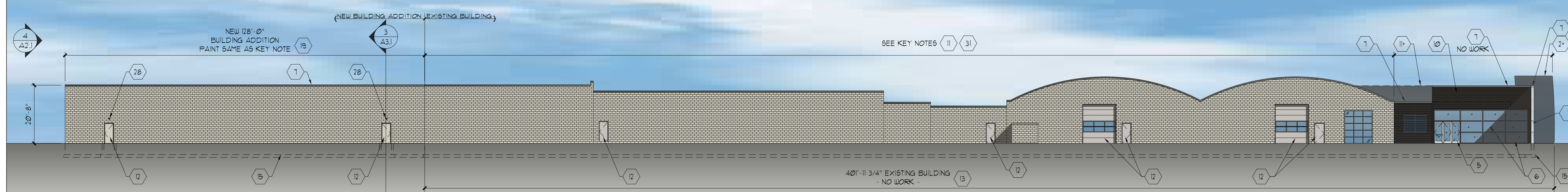
**WEST ELEVATION**  
SCALE: 1" = 20'-0" **4**

GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



**NORTH ELEVATION**  
SCALE: 1" = 20'-0" **2**

GENERAL NOTE  
1. SEE DETAIL 3 ON THIS SHEET FOR BUILDING ELEVATION MATERIAL LEGEND.  
PLEASE NOTE  
EXISTING BUILDING MATERIAL TAGS THAT ARE SHOWN SHALL SHOW "LIGHTER" THAN THE "DARKER" NEW BUILDING MATERIAL TAGS.  
THIS DETAIL SPECIFICALLY FOLLOWS THE PREVIOUS 01/20/15 ENTITLEMENT SUBMISSIONS, BUT ELIMINATES ITEMS NOT USED IN THIS SUBMISSION.



**SOUTH ELEVATION**  
SCALE: 1" = 20'-0" **1**

**NEW & EXISTING BUILDING MATERIAL KEY LEGEND**  
(\*) MATERIAL - BEYOND

- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
  - DRY JOINT SYSTEM
  - COLOR ALPOLIC HAIRLINE ALUMINUM (4M4HLZ) OR FORD APPROVED EQUAL
- 2 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM
  - 14' WIDE x 12' TALL
  - DOOR FRAME COLOR CLEAR ANODIZED ALUMINUM
  - GLASS COLOR CLEAR GLAZING
  - PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 3 NOT USED
- 4 PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM
  - FRAME COLOR CLEAR ANODIZED ALUMINUM
  - GLASS COLOR LOW E - CLEAR GLAZING
- 5 PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
  - FRAME COLOR CLEAR ANODIZED ALUMINUM
  - GLASS COLOR LOW E - CLEAR GLAZING
- 6 PREFINISHED METAL COPING SYSTEM
  - COLOR MATCHED EITHER
    - METAL (ACM OR RIBBED) PANEL (BELOW) OR
    - PAINTED BLOCK (BELOW)
  - PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 7 NOT USED
- 8 NOT USED
- 9 NOT USED
- 10 PREFINISHED METAL WALL PANEL
  - ALCOA RETYNOLUX
  - COLOR SLATE GRAY RLSG
  - TYPE 12 RIB SIDING
- 11 BUILDING ELEMENT
- 12 EXISTING OR NEW WINDOW / DOOR / OVERHEAD DOOR
  - REPAIR AS NEEDED
  - PREP FOR NEW PAINT
  - COLOR GRANITE GREY, OONN 31 / 000
  - ORDER \* A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
  - CONFIRM WITH OWNER EXTENT OF REPAIR
- 13 EXISTING WALL AREA
  - REPAIR AS NEEDED
  - PREP FOR NEW PAINT
  - UNIVERSAL GREY, OONN 62 / 000 ORDER\* A2004
  - MANUFACTURER GLIDDEN PROFESSIONAL
- 14 NOT USED
- 15 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
- 16 EXISTING WALL AREA
  - REPAIR AS NEEDED
  - PREP NEW PAINT
  - COLOR GUANTLET GREY SW-1019
  - MANUFACTURER SHERWIN WILLIAMS
- 17 EXISTING WALL AREA
  - REPAIR AS NEEDED
  - PREP NEW PAINT
  - COLOR MINDFUL GRAY SW-1016
  - MANUFACTURER SHERWIN WILLIAMS
- 18 NOT USED
- 19 NEW SMOOTH PAINTED CMU BLOCK SIZE 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE 16 FOR PAINT.
- 20 NOT USED
- 21 NOT USED
- 22 NOT USED
- 23 STEEL BOLLARD - PAINTED SIMILAR TO SURROUNDING FINISHED WALL AREA
- 24 NOT USED
- 25 NOT USED
- 26 NOT USED
- 27 NOT USED
- 28 NEW EXTERIOR WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (TYP.) AT EXIT DOOR. MUST HAVE A 90 MINUTE BATTERY BACK-UP.
- 29 NOT USED
- 30 NOT USED
- 31 NEW PREFINISHED METAL COPING SYSTEM. COLOR & FINISH MATCHED TO KEY NOTE \*0. PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 32 NOT USED
- 33 DEPRESSED DOCK SYSTEM & DOCK SEAL.

- GENERAL SIGNAGE NOTE  
REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM AT WWW.FORDTRUCKMARKETING.COM FOR ADDITIONAL INFORMATION. ALL SIGNAGE PROVIDED & INSTALLED BY "AGI" (888) 856-1880
- A 31 SF. FORD "OVAL" SIGN
  - B 39" HIGH "HILLER" DEALER NAME LETTERS
  - C 21 SF. FORD "OVAL" SIGN
  - D 19" HIGH "SERVICE" SIGN LETTERS
  - E QL 2230 FASCIA SIGN 3'-0" HAND SYMBOL ILLUM. QL 2420 FASCIA SIGN 2'-0" WORDMARK ILLUM. QL 2410 FASCIA SIGN 6" TIRE & AUTO CENTER NON ILLUM.
  - F HOURS SIGN PLAQUE
- SIGNAGE NOTE  
SIGNS WILL NOT BE SHOWN WITH COLOR ON COLORED DRAWINGS
- GENERAL NOTE  
EXISTING METAL ACCESSORIES ELEMENTS, NOT SPECIFICALLY LISTED TO BE (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)  
• PREP FOR NEW PAINT AS ALLOWED AND PAINT.  
• COLOR GRANITE GREY, OONN 31 / 000  
• ORDER \* A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)  
EXISTING METAL ACCESSORIES ELEMENTS ON THE ROOF, NOT SPECIFICALLY LISTED TO BE (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)  
TO REMAIN "AS IS"  
NEW HVAC UNITS ON THE ROOF, AND NOT SCREENED BY NEW CONSTRUCTION ELEMENTS  
• TO HAVE NEW PVC RTU SCREEN ELEMENT MOUNTED TO RTU. PVC COLOR TO MATCH ROOF COLOR

**BUILDING ELEVATION MATERIAL LEGEND**  
SCALE: 1" = 20'-0" **3**

**DO NOT SCALE THESE DRAWINGS**

REV. #	REV. DATE	DESCRIPTION
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Franklin, WI 53132

**PERSPECTIVE DESIGN, INC.**  
11525 W. North Avenue  
Wauwatosa, WI 53226  
Tel (414) 302-1780 Fax (414) 302-1751

Drawing Title:  
**BUILDING ELEVATION SALES & SERVICE COLOR**

THIS BOX IS 1/2" x 1/2"

Date: 05/24/23  
Scale: AN.  
Drawn: WHC  
Job: 23-032  
Sheet:  
**A2.2**

FULL SIZE PRINT = 24" x 36" SHEET

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DRAWING INDEX	
C1.0	SITE PLAN
C2.0	GRADING AND EROSION CONTROL PLAN
C3.0	DETAILS

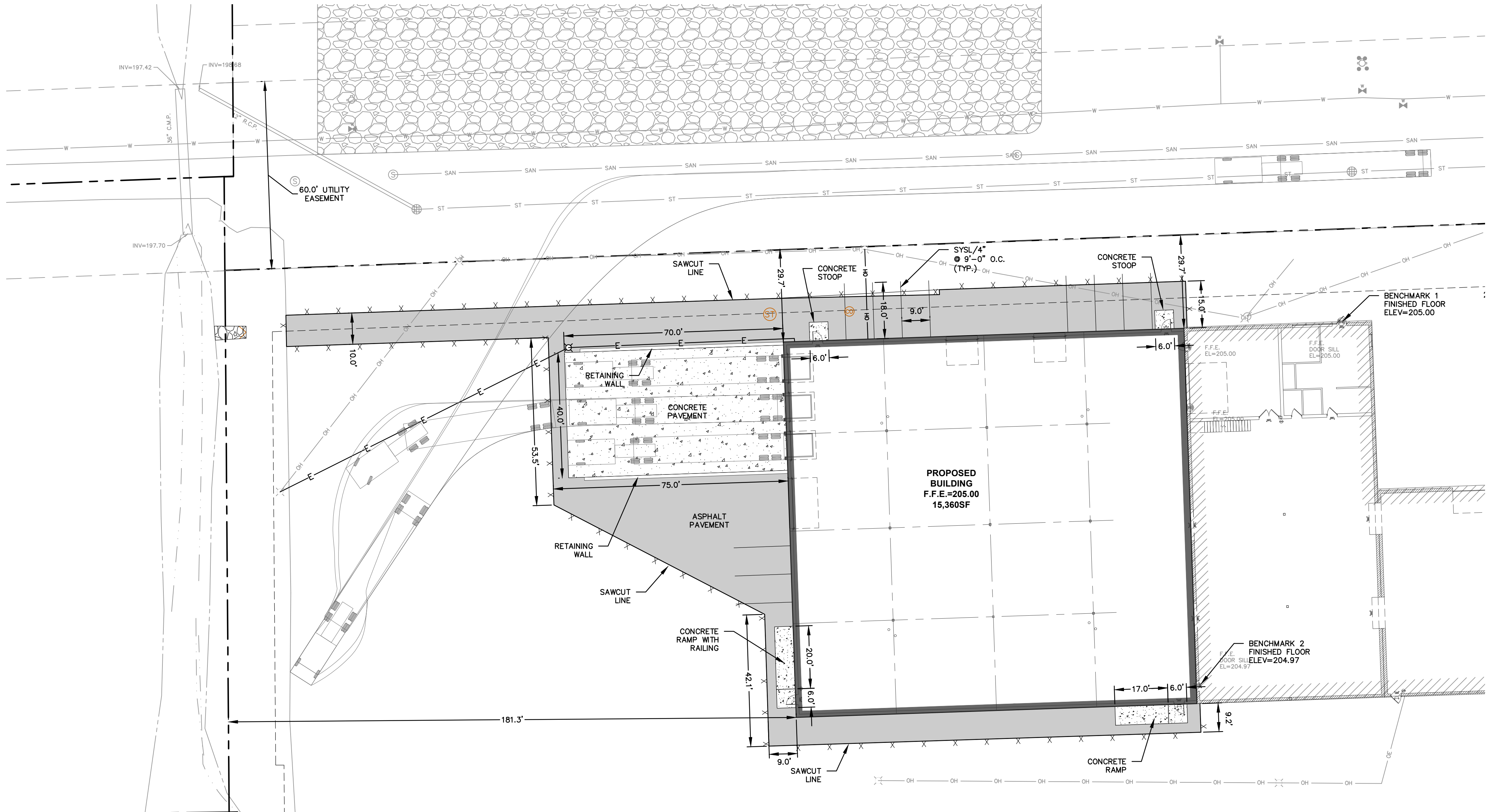
**PAVING NOTES**

- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE MUNICIPAL ORDINANCES.
- CONCRETE PAVING SPECIFICATIONS—  
 CODES AND STANDARDS — THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.  
 REINFORCEMENT — CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVEMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS./CUBIC YARD.  
 CURING COMPOUNDS — CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.  
 FINISHING — CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.  
 CRUSHED AGGREGATE BASE COURSE — THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.  
 SURFACE PREPARATION — NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS—  
 CODES AND STANDARDS — THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.

- WEATHER LIMITATIONS — APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS AMOUNTS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
- GRADE CONTROL — ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
- CRUSHED AGGREGATE BASE COURSE — THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
- BINDER COURSE AGGREGATE — THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
- SURFACE COURSE AGGREGATE — THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
- ASPHALTIC MATERIALS — THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- SURFACE PREPARATION — NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

**GENERAL NOTES AND SPECIFICATIONS**

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC. PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/DRAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.
- ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- REFER TO THE DEMOLITION PLAN FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON MARCH 1-15, 2023.
- EXISTING CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

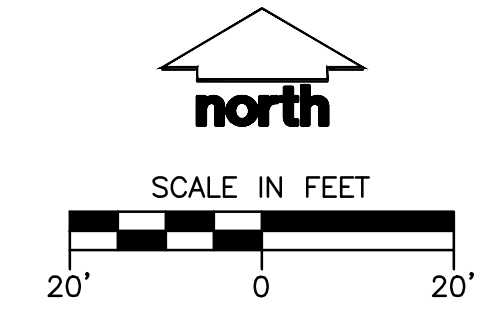


**LEGEND**

---	PROPERTY LINE
- - -	SETBACK LINE
▨	ASPHALT PAVEMENT
▩	CONCRETE PAVEMENT
▧	CONCRETE SIDEWALK/RAMP

**BENCHMARKS**

DESCRIPTION	ELEVATION
BENCHMARK #1: FINISHED FLOOR ELEVATION NORTH DOOR OF EXISTING BUILDING	205.00
BENCHMARK #2: FINISHED FLOOR ELEVATION SOUTHWEST DOOR OF EXISTING BUILDING	204.97



**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

jsdinc.com

**MILWAUKEE REGIONAL OFFICE**  
 W238 N1610 BUSSE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 P. 262.513.0666



CLIENT ADDRESS:  
**6748 S. YALE DRIVE**  
**FRANKLIN, WI 53132**

PROJECT:  
**HILLER FORD**

PROJECT LOCATION:  
**6455 SOUTH 108TH STREET**  
**FRANKLIN, WI 53132**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03-24-2023	SUP APPLICATION
2	06-16-2023	SUP RESUBMITTAL
3		
4		
5		
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12		
13		
14		
15		

Designed By: CAP  
 Reviewed By: TJB  
 Approved By: JLI

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 22-11572



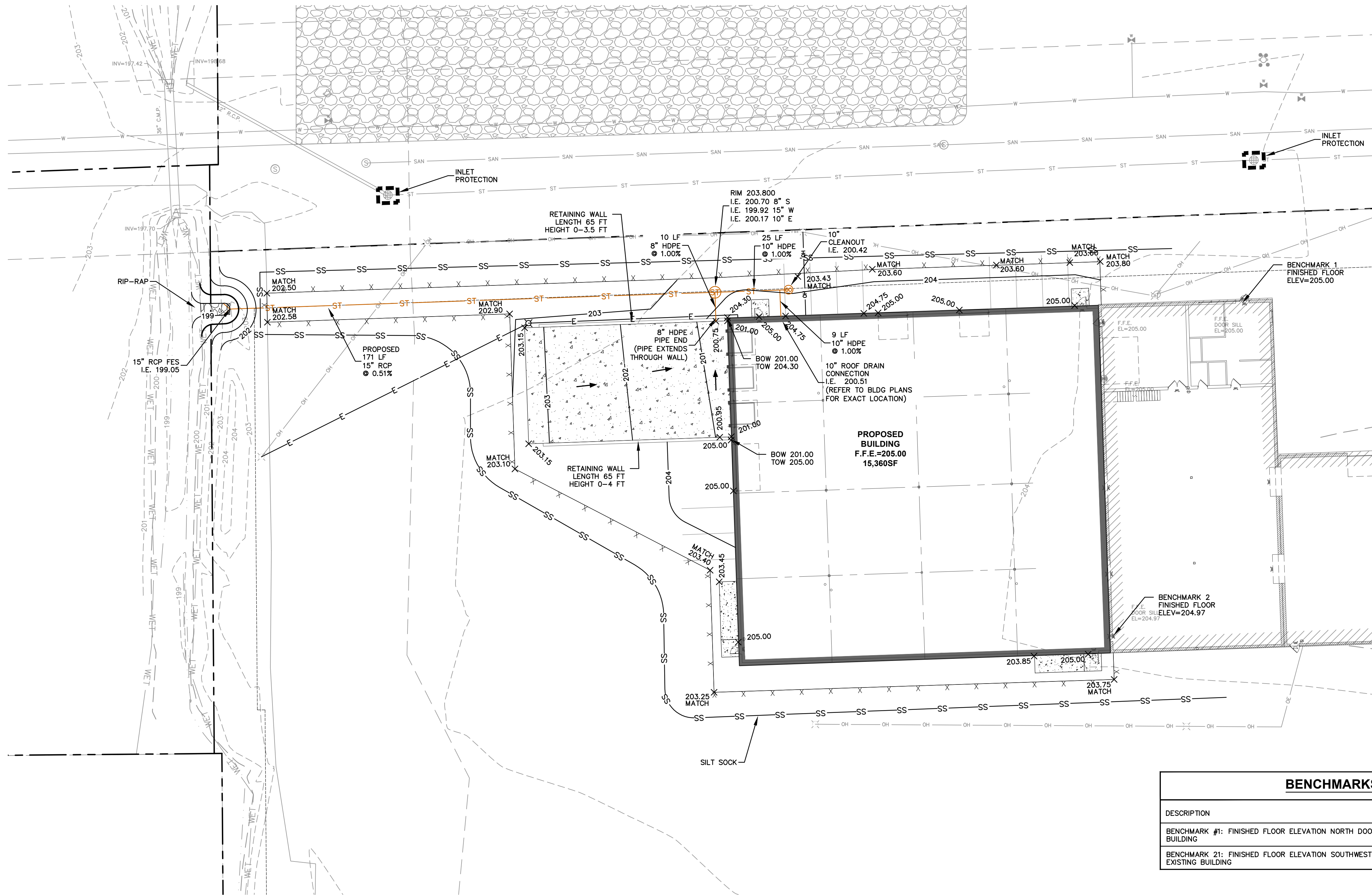
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### GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
8. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF FRANKLIN ORDINANCE.

### UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF FRANKLIN SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS -
  - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
  - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.



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jsdinc.com

MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:  
6748 S. YALE DRIVE  
FRANKLIN, WI 53132

PROJECT:  
HILLER FORD

PROJECT LOCATION:  
6455 SOUTH 108TH STREET  
FRANKLIN, WI 53132

PLAN MODIFICATIONS:

#	Date:	Description:
1	03-24-2023	SUP APPLICATION
2	06-16-2023	SUP RESUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CAP  
Reviewed By: TJB  
Approved By: JLI

SHEET TITLE:  
GRADING AND  
EROSION CONTROL PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO: 22-11572

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



Toll Free (800) 242-8511







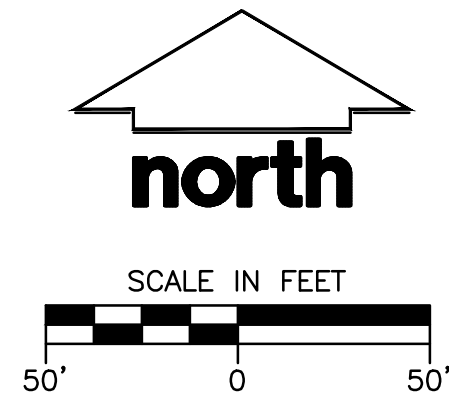
**RESOURCE PROTECTION TABLE**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	Acres of Land Required to be Preserved	Acres of Land to be Impacted	Acres of Land Required to be Mitigated	Acres of Land to be Mitigated*
	Agricultural District	Residential District	Non-Residential District					
Sleep Slopes 10-19%	0	0.6	0.4	X	0.00	0.00	0.00	N/A
20-30%	0.65	0.75	0.7	X	0.00	0.00	0.00	N/A
30% +	0.9	0.85	0.8	X	0.00	0.00	0.00	N/A
Woodlands & Forests								
Mature	0.7	0.7	0.7	X	0.00	0.00	0.00	N/A
Young	0.5	0.5	0.5	X	0.00	0.00	0.00	N/A
Lakes & Ponds	1	1	1	X	0.00	0.00	0.00	N/A
Streams	1	1	1	X	0.00	0.00	0.00	N/A
Shore Buffer	1	1	1	X	1.76	1.76	0.00	N/A
Floodplains/Floodlands	1	1	1	X	0.00	0.00	0.00	N/A
Wetland Buffers	1	1	1	X	0.53	0.53	0.00	N/A
Wetlands & Shoreland Wetlands	1	1	1	X	0.18	0.18	0.00	N/A
Wetland Setback	1	1	1	X	0.46	0.46	0.00	N/A
<b>TOTAL RESOURCE PROTECTION LAND</b>					<b>2.93 Acres</b>	<b>0 Acres</b>		

**LEGEND**

	WETLAND		WETLAND DISTURBANCE
	WETLAND BUFFER		WETLAND BUFFER DISTURBANCE
	WETLAND SETBACK		WETLAND SETBACK DISTURBANCE
	SHORE BUFFER		

1. DEVELOPMENT NAME: HILLER FORD
2. LOCATION: S.T.H. 100 FRANKLIN, WISCONSIN
3. OWNER: HILLER FORD 6455 SOUTH 108TH ST FRANKLIN, WI 53132
4. DEVELOPER: MARK CARSTENSEN DEVELOPMENTS LLC P.O. BOX 320670 FRANKLIN, WI 53132
5. REFER TO CERTIFIED SURVEY MAP FOR PROPOSED EASEMENTS.



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MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:  
6748 S. YALE DRIVE  
FRANKLIN, WI 53132

PROJECT:  
HILLER FORD

PROJECT LOCATION:  
6455 SOUTH 108TH STREET  
FRANKLIN, WI 53132

PLAN MODIFICATIONS:

#	Date:	Description:
1	03-24-2023	SUP APPLICATION
2	06-16-2023	SUP RESUBMITTAL
3	06-22-2023	REVISED CLASSIFICATION
4		
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12		
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15		

Designed By: CAP  
Reviewed By: TJB  
Approved By: JLL

SHEET TITLE:  
**NATURAL RESOURCE PROTECTION PLAN**

SHEET NUMBER:  
**NR-1**

JSD PROJECT NO: 22-11572



03/24/23 Special Use Application

Existing Building Photographs:

Front Elevation / East Elevation  
Satellite View



Front Elevation / East Elevation  
Street View





Existing Building Photographs:

Side Elevation / North Elevation  
Satellite View



Side Elevation / North Elevation  
Street View





Existing Building Photographs:

Rear Elevation / West Elevation  
Satellite View



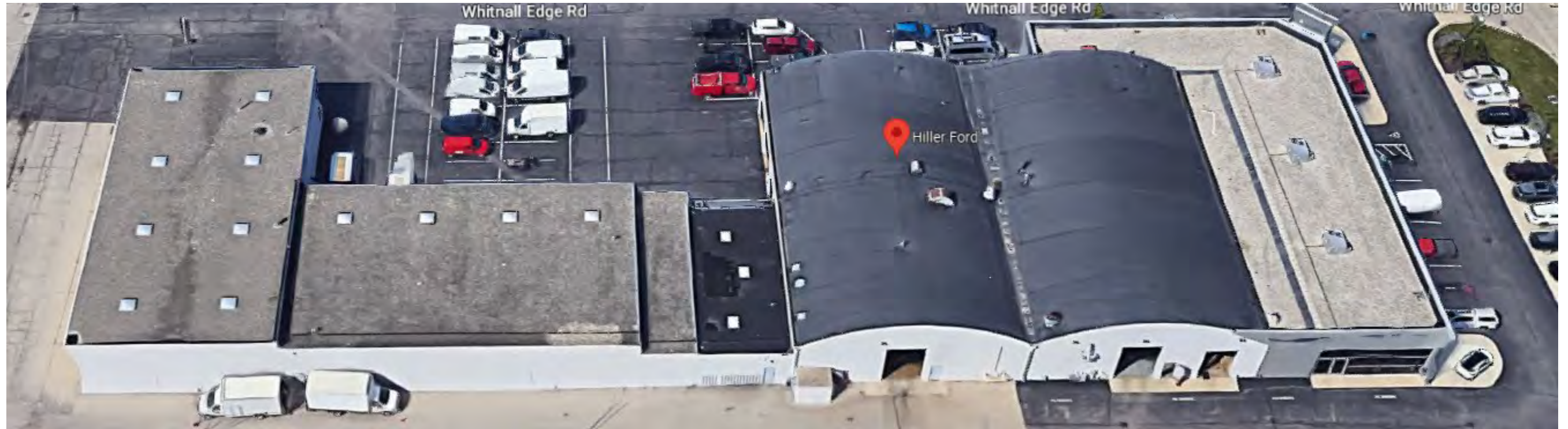
Rear Elevation / West Elevation  
Street View





Existing Building Photographs:

Side Elevation / South Elevation  
Satellite View



Side Elevation / South Elevation  
Street View





REPORT TO THE PLAN COMMISSION

Meeting of December 21, 2023

Fence and shed installation within planting strip

RECOMMENDATION: City Development staff recommends denial of this request to allow for the installation of a fence and a shed within the 30-foot Planting Strip upon Lot 2 of the Southwood East Addition No. 2 Subdivision.

Table with 2 columns: Field Name and Value. Fields include Project name, Property Owner, Applicant, Property Address/TKN, Aldermanic District, Zoning District, and Staff Planner.

Project Description/Analysis

This request is to allow for a fence and shed within the 30 foot "Planting Strip" upon Lot 2 in Southwood East Addition No. 2 Subdivision. The Southwood East Addition No. 2 Subdivision Final Plat was approved by the Common Council on March 3, 1987 by Resolution No. 87-2848 and contains a 30 foot "Planting Strip" for all lots abutting West Ryan Road. The property owner is proposing to install a fence and a shed within this area and would like release of the plat restriction.

The applicant is proposing a 6-foot high wood fence approximately 9 feet from the rear lot line, as well as a shed (10 ft by 10 ft) approximately 17 feet from the rear lot line. Both structures would encroach into the planting strip indicated on the plat. It's worth noting that these structures would also encroach into the required 42-foot building setback from the Ryan Road right-of-way line.

The recorded plat has a note that prohibits structures "between the highway and the setback line" (see below). Wisconsin Administrative Code Hy. 33.08(1) (now Trans 233) states that "provided that the local unit of government shall allow no variances or exceptions for platted areas abutting state trunk highways without prior approval of the commission", the commission is the Wisconsin Department of Transportation (DOT). Therefore, the city cannot authorize the installation of this shed encroaching into the 42-foot building setback without a variance from DOT, this restriction doesn't apply to fences.

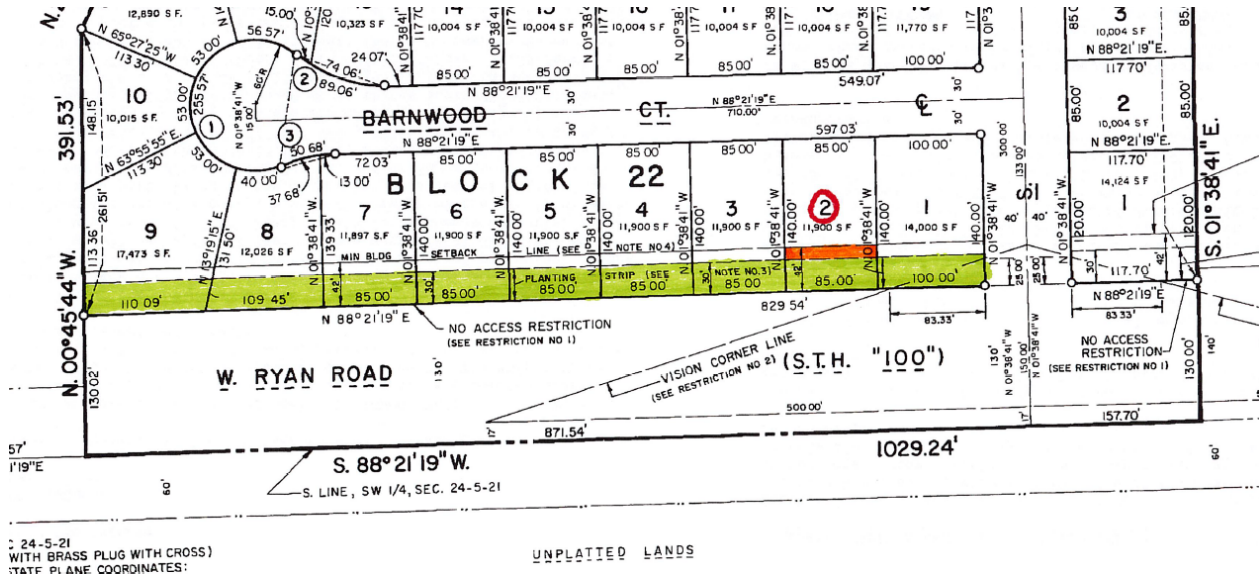
- 4. Minimum building setback requirements as required by Wisconsin Administrative Code Hy 33.08. Said code states: "There shall be no structures placed between the highway and the setback line."

The Subdivision Development Agreement for Southwood East Addition No. 2 required that the City Engineer approve the design of the planting screen.



The applicant has provided a narrative and photos of the area and has indicated that the proposed fence would adjoin pre-existing fences of adjacent lots (4101 and 4113 W Barnwood Court). Staff notes that the majority of the existing encroachments have not been permitted by the City, with the following exceptions:

- Lot 1 (4101 W Barnwood Ct.): Permit P020060985 issued in 2006 for a 6-foot privacy fence.
- Lot 3 (4113): Permit P020071541 issued in 2007 for a 6-foot high wood fence.
- Lot 9 (4219): Resolution 2014-7013 to authorize installation of a fence.



Detail of the Southwood East Add. No. 2 plat.

Planting strip in green, setback line in red.

Note that the planting strip is located on platted lots 1 through 9 while the berm is located on the Ryan Road right-of-way. The white fence in the picture below is located near the right-of-way line. Staff acknowledges that the proposed fence and shed would be slightly visible from Ryan Road.



View of the berm on the north side of Ryan Road, from sidewalk looking west.

Photograph by City Development staff.

**Site compliance**



City Development staff visited the site on November 6 and didn't notice any site compliance issues with the subject lot.

**Staff Recommendation:**

City Development staff recommends denial of this request to allow for the installation of a fence and a shed within the 30-foot Planting Strip upon Lot 2 of the Southwood East Addition No. 2 Subdivision.

Should the Plan Commission wish to recommend approval of this request, the city cannot approve the proposed shed location without a variance from the Department of Transportation (DOT), only the proposed fence could be approved without such variance. The attached resolution is only to authorize the proposed fence, not the shed.

It's worth noting that staff would not object to the installation of the proposed structures outside the planting strip provided compliance with required building setbacks and other provisions of the Unified Development Ordinance (UDO).

RESOLUTION NO. 2024-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE INSTALLATION OF A FENCE  
WITHIN THE 30 FOOT PLANTING STRIP PLAT RESTRICTION, UPON  
LOT 2 IN SOUTHWOOD EAST ADDITION NO. 2 SUBDIVISION  
(4107 WEST BARNWOOD COURT)  
(MARK ANHALT, APPLICANT)

---

WHEREAS, the Southwood East Addition No. 2 Subdivision Plat prohibits the building of structures within the 30 foot “Planting Strip” described thereon; and

WHEREAS, Mark Anhalt having applied for a release of the 30 foot “Planting Strip” easement restriction upon their property to the extent necessary to install a fence along the south line of the property which abuts West Ryan Road and within the restricted area upon the property located at 4107 West Barnwood Court, such property being zoned R-6 Suburban Single-Family Residence District, bearing Tax Key No. 880-0028-000, is more particularly described as follows:

Lot 2, in Block 22, in SOUTHWOOD EAST ADDITION NO. 2, being a subdivision of a part of the Southwest 1/4 and the Southeast 1/4 of the Southwest 1/4 of Section 24, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin; and

WHEREAS, the 30 foot “Planting Strip” easement restriction upon the Final Plat for Southwood East Addition No. 2 Subdivision and its accompanying restriction of the building of structures is a restriction which was imposed by the Franklin Common Council in its approval of the Final Plat; and

WHEREAS, Wis. Stats. § 236.293 provides in part that any restriction placed on platted land by covenant, grant of easement or in any other manner, which was required by a public body vests in the public body the right to enforce the restriction at law or in equity and that the restriction may be released or waived in writing by the public body having the right of enforcement; and

WHEREAS, the Common Council having considered the request for the release of the 30 foot “Planting Strip” easement restriction only so as to allow for the subject fence installation, and having considered the proposed location of and type of fence to be installed upon the subject property in conjunction with existing and required landscaping on the property, and that the proposed fence will not be readily visible from the adjoining highway or create any adverse impact upon the aesthetic or buffering purposes of the landscape bufferyard.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the installation of proposed fence of the type and specifications as described and only upon the location as set forth within the plans accompanying the application of Mark Anhalt filed on August 7, 2023, be and the same is hereby authorized and approved and that the "Planting Strip" easement restriction as it would otherwise apply to such installation upon the subject property only, is hereby waived and released.

BE IT FURTHER RESOLVED, that the applicant shall further obtain all required permit(s) for the installation of the subject fence and that the subject fence shall be installed pursuant to such permit(s) within one year of the date hereof, or all approvals granted hereunder shall be null and void.

BE IT FINALLY RESOLVED, that the City Clerk be and the same are hereby directed to obtain the recording of this Resolution with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

APPROVED:

\_\_\_\_\_  
John R. Nelson, Mayor

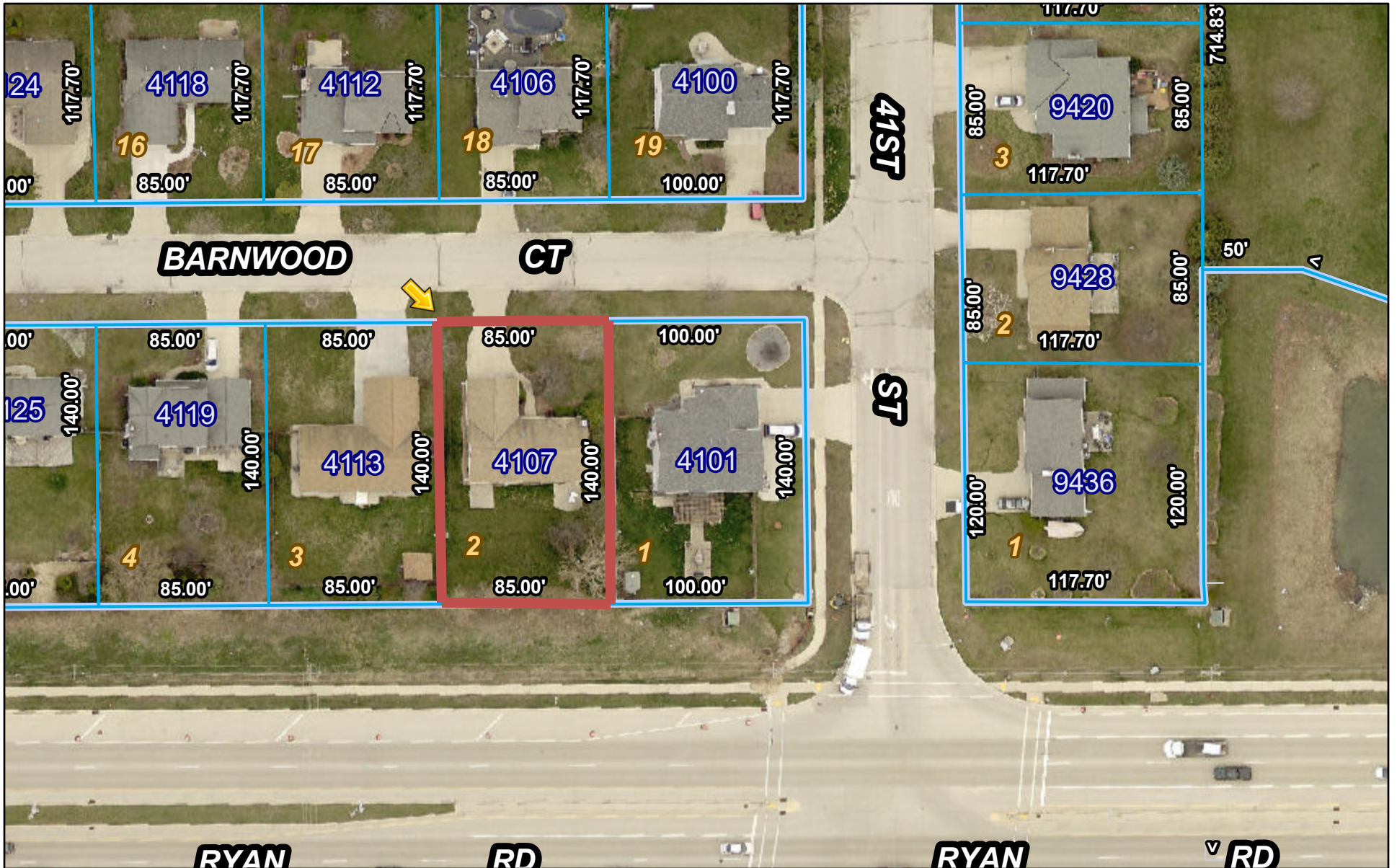
ATTEST:

\_\_\_\_\_  
Karen L. Kastenson, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

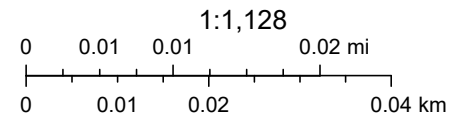


# City of Franklin Property Viewer



12/11/2023, 3:36:16 PM

 Parcel



SEWRPC, Maxar, Microsoft, City of Franklin, WI



Planning Department  
 9229 West Loomis Road  
 Franklin, Wisconsin 53132  
 (414) 425-4024  
 franklinwi.gov



APPLICATION DATE: 08/07/2023

STAMP DATE: city use only

MISCELLANEOUS APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Mark G. Anhalt	NAME:
COMPANY:	COMPANY:
MAILING ADDRESS: 4107 W. Barnwood Court	MAILING ADDRESS:
CITY/STATE: Franklin ZIP: 53132	CITY/STATE: ZIP:
PHONE: 414-423-8108	PHONE:
EMAIL ADDRESS: mganhalt@wi.rr.com	EMAIL ADDRESS:

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 4107 W. Barnwood Court	TAX KEY NUMBER: 880-0021-000
PROPERTY OWNER: Mark and Sheryl Anhalt	PHONE: 414-423-8108
MAILING ADDRESS: 4107 W. Barnwood Court	EMAIL ADDRESS: mganhalt@wi.rr.com
CITY/STATE: Franklin ZIP: 53132	DATE OF COMPLETION: office use only

APPLICATION MATERIALS

The following materials must be submitted with this application form. \*incomplete applications and submittals cannot be reviewed.

- This application form accurately filled out with signature or authorization letters (see below).
- \$125 Application fee payable to the City of Franklin
- Word Document Legal description for the subject property.
- Three (3) Project Narratives
- Other information as may be deemed appropriate for the request
- Email or flash drive with all plans/submittal materials.

Submission of Application for review is not a guarantee of approval.

Plan Commission, Community Development Authority and/or Common Council review and approval may be required.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

*[The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application]*

I, the applicant, certify that I have read the above page detailing the requirements for Miscellaneous approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE: 
NAME & TITLE: Mark G. Anhalt DATE: 08/07/2023	NAME & TITLE: Mark G. Anhalt DATE: 08/07/2023
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: DATE:

## Project Narrative – 4107 W. Barnwood Court, Franklin, WI

### Application for Release

I am applying for a release of the planting strip restriction so I can place a fence at the back of my property at 4107 W. Barnwood Court. This fence would adjoin the pre-existing fences of my neighbors at 4101 and 4113 W. Barnwood Court (both neighbors have already signed release forms allowing me to attach my proposed fence to theirs at the back of my property).

Additionally, I am requesting permission to place a 10' x 10' shed in the southwest corner of my property, to be placed at least 8' from my neighbors (4113) property line to the west of my property, and at least 8' from the rear of my property/the "planting strip".



Key reasons for wanting to place a fence in my backyard include:

- With crime moving out from the city, a fence would at least slow down anyone attempting to access my property from Ryan Road.
- As I also wish to place a shed and a garden in my backyard, a fence would slow down potential vandals as well as wildlife which could damage my garden and/or shed.



Key reasons for wanting to place a shed in my backyard include:

- To make more room in my garage for vehicles by removing equipment (lawn mower, snowblower, rototiller, air compressor, bicycles, etc.), tools (shovels, rakes, lawn roller, etc.) and other miscellaneous non-automotive items (ex., bags of lawn fertilizer, mulch, etc.)
- Once removed from my garage, I will need an enclosed, lockable shed to protect the equipment and tools detailed above.

#### **Specific plans for the fence and shed.**

- Current plans for the fence will be to install a 6' high wood fence, very similar to the fences already installed on the adjacent properties to the East and West of my property. This fence will only be placed at the rear of my property. I have no current plans to construct or adjoin my neighbor's fences near the front of my property.
  - If available at a reasonable price, I may also consider a 6' high wood "like" fence made from weather resistant materials to decrease the need for maintenance.
- Current plans are to have constructed on sight a 10' x 10" wooden sided shed. This shed will be painted to match the front siding of my home at 4107 W. Barnwood Court.

#### **Planting Strip/Berm**

Finally, I would like to mention...the "planting strip"/berm has been in place for approximately 20 years, and there has been absolutely zero (0) maintenance of this strip during this time. (see picture below). In fact, it is currently overgrown with weeds and poplar trees. The City of Franklin initially promised a wall, similar to what was placed on the properties adjacent to Rawson Road when that road was widened, but that obviously never happened.

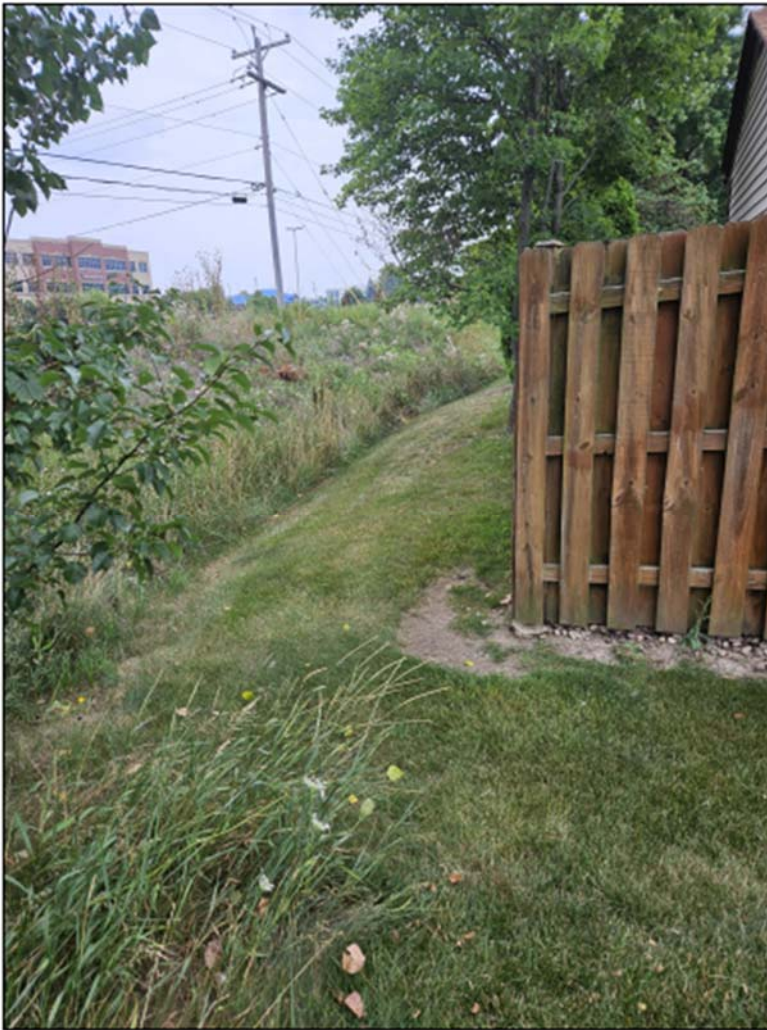


I had originally (prior to the widening of Ryan Road) planted 30+ arborvitae along the back of my property (see pictures below) to act as a fence of sorts, which at the time the berm was constructed were each 4' to 6" high. However, when the berm was constructed, the city saw fit to cut down most of my arborvitae across the back of my lot, which a city representative later admitted was "probably unnecessary". The other picture below shows the two remaining arborvitae which were not cut down. As you can see in relation to my neighbor's fence (to the East), these arborvitae are now between 15' – 20" tall. If all my arborvitae had been left in place, this would have greatly reduced (but not eliminated) any need or desire for a fence at the rear of my property.





Finally, it is clear from the "Plat of Survey" both of my neighbor's fences lie well within the planting strip and building setback line as established in 1989 (long before either fence or shed were constructed). Since both neighbors were given permits to place their fences after the 1989 Plat of Survey, and my neighbor to the West was also given a permit for a wood shed structure, it makes little sense to me to have my request for a release from the planting strip restriction to erect a fence and shed of my own.





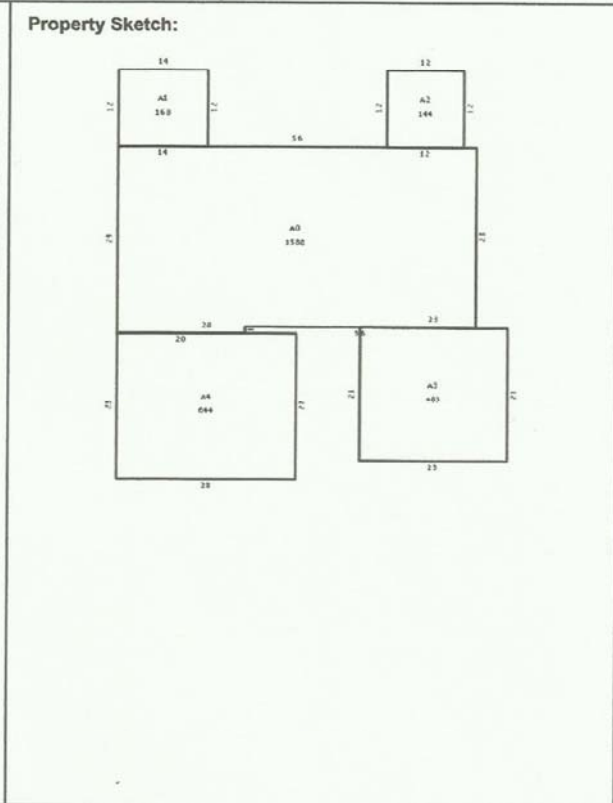
### Property Information



<b>Parcel Number:</b> 880-0021-000	<b>Physical Address:</b> 4107 BARNWOOD CT W	<b>Municipality:</b> Franklin, City of
---------------------------------------	--	---

<b>Owner Name:</b> ANHALT, MARK 4107 W BARNWOOD CT FRANKLIN, WI 53132	<b>Legal Description:</b> SOUTHWOOD EAST ADD NO 2 BLK 22 LOT 2	<b>Land Use:</b> Residential	<b>Date of Inspection:</b>
--	--	---------------------------------	----------------------------

Neighborhood: 2414-Franklin



Parcel Sketch and Site Map obtained from the County GIS

Building Description: 880-0021-000- 1



<b>Year Built:</b> 1989 <b>Building Type/Style:</b> 01-Ranch <b>Story Height:</b> 1 <b>Grade:</b> C+ <b>CDU/Overall Condition:</b> Very Good <b>Interior Condition:</b> Same <b>Kitchen Condition:</b> Average <b>Bath Condition:</b> Average	<b>Exterior Wall:</b> 04-Alum/Vinyl <b>Bedrooms:</b> 3 <b>Full Baths:</b> 2 <b>Half Baths:</b> 0 <b>Room Count:</b> 4 <b>Basement Description:</b> Full Basement <b>Heating:</b> Air Conditioning - Same Ducts <b>Type of Fuel:</b> Gas <b>Type of System:</b> Warm Air				
<b>Square Footage / Attachments:</b>					
<b>Finished Basement Living Area:</b> 0 <b>First Story:</b> 1,588	<b>Total Living Area:</b> 1,588				
<b>Attachment Description(s):</b> 33-Concrete Patio 33-Concrete Patio 13-AFG	<b>Area:</b> 168 144 483				
<b>Feature Description(s):</b> 22-Additional Fixture 05-Metal Fireplace	<b>Area:</b> 1 1				
<b>Permit / Construction History:</b>					
<b>Date of Permit:</b> 5/6/2014	<b>Permit Number:</b> 14-0926	<b>Permit Amount:</b> \$504	<b>Details of Permit:</b> ACREPLACE		
<b>Ownership / Sales History:</b>					
<b>Date of Sale:</b> 6/1/1993 6/1/1998	<b>Sale Document:</b> 	<b>Purchase Amount:</b> \$137,100 \$149,900	<b>Sale Validity:</b> Valid Valid	<b>Conveyance Type:</b> 	<b>Sale Type:</b> Land and Improvements Land and Improvements
<b>Land Data - Land Item: 1</b>					
<b>Land Class:</b> A-Residential <b>Pricing / Unit of Measure:</b> Gross <b>Square Footage:</b> 11,892 <b>Depth:</b> <b>Land Value:</b> \$66,700			<b>Land Sub-Class:</b> A-Residential Primary Site <b>Acreage:</b> 0.273 <b>Frontage:</b> <b>Width:</b>		
<b>Total Improvement Value:</b>					\$279,400
<b>Total Land Value:</b>					\$66,700
<b>Total Assessed Value:</b>					\$346,100







**CITY OF FRANKLIN  
REPORT TO THE PLAN COMMISSION**

**Meeting of December 21, 2023**

**Certified Survey Map, Planned Development District Amendment, and Site Plan**

**RECOMMENDATION:** City Development Staff recommends approval of the Certified Survey Map, Planned Development District Amendment, and Site Plan applications related to the Poths General mixed-use development.

**Project Name:** Poths General Certified Survey Map, Planned Development District Amendment, and Site Plan

**Project Address/Tax Key:** Approximately 7154 South 76<sup>th</sup> Street / 756 9993 012, 756 9993 016, and 756 9993 021

**Property Owner:** INITECH, LLC, A WISCONSIN LIMITED LIABILITY COMPANY

**Applicant:** Emily Cialdini, Land By Label

**Aldermanic District:** District 5

**Zoning District:** Planned Development District No. 42

**Staff Planner:** Nick Fuchs, Planning Associate

**Introduction/Background**

Please note:

- Recommendations are underlined, in italics and are included in the draft resolution.

The applicant has filed a Certified Survey Map, Planned Development District Amendment, and Site Plan applications for the Poths General development for properties located at approximately 7154 South 76<sup>th</sup> Street.

Certified Survey Map (CSM)

The CSM combines the three properties listed below, which comprise of the Poths General development. Currently these properties consist of the existing Orchard View Shopping Center and the two vacant properties to the east.

<b>Address</b>	<b>Tax Key</b>	<b>Approximate Acreage</b>
7154 South 76 <sup>th</sup> Street	756 9993 021	10.10
0 West Rawson Avenue	756 9993 016	3.59
0 West Rawson Avenue	756 9993 012	10.88
		<b>24.57</b>

Planned Development District (PDD) Amendment Rationale

The PDD Amendment has been filed as the proposed quantity of plantings does not meet UDO standards as required by Table 15-5.0302 of the Unified Development Ordinance (UDO).

Staff's interpretation of PDD No. 42 is that it requires compliance with all UDO landscape and site plan requirements; however, the applicant has noted in their narrative that they disagree with this interpretation. With that said, a PDD Amendment Application was submitted by the applicant to move the project forward.

It can be noted that PDD No. 42 requires:

“The applicant shall submit a landscape plan, as defined in the Unified Development Ordinance as part of the Certified Survey Map or Preliminary Plat submittal. Such landscape plan shall depict a 30-foot wide landscape buffer where the site abuts residential zoning districts, specifically R-6 as well as Planned Development Districts nos. 11 and 17, and excluding any natural resource area.”

The UDO defines Landscape as follows:

LANDSCAPE PLAN  
(See Division 15-7.0301 of this Ordinance.)

Section 15-7.0301 of the UDO lists requirements and information to be included as part of a Landscape Plan submittal; however, does not reference specific standards or Division 15-5.0300.

With that said, the PDD also requires that:

“The applicant shall be responsible for filing Site Plans and/or Special Uses consistent with all regulations of the Unified Development Ordinance and Municipal Code, as may be amended, for each individual lot resulting from the eventual Certified Survey Map or subdivision plat.”

Site Plans are regulated by Division 15-7.0100. Below are two sections within this Division of the UDO that reference Division 15-5.0300, which includes the quantity standards of Table 15-5.0302.

Section 15-7.0102H.

Required Landscaping and Landscape Bufferyards. Adverse effects of the proposed development and activities upon adjoining residents or owners are minimized by design and installation of landscape bufferyards to provide for appropriate screening, fencing, or landscaping as required in Division 15-5.0300 of this Ordinance. Where required, a "Landscape Plan" meeting the requirements set forth in Division 15-5.0300 has also been submitted for Plan Commission review and approval.

Section 15-7.0103R.

"Landscape Plan" Required. Where landscaping as required in Division 15-5.0300 of this Ordinance is to be installed on the site, a "Landscape Plan" meeting the requirements set forth in Division 15-5.0300 of this Ordinance shall be submitted for Plan Commission review and approval. An applicant may elect to only file a preliminary landscape plan generally depicting the landscaping for the site at the time of Site Plan Review Application filing, with the later submission of a Landscape Plan to be a condition of any final Application approval, except where Department of City Development staff requires the filing of a Landscape Plan with the Application or the Plan Commission requires the Landscape Plan submission during its review of the Application, upon a determination that same is reasonably necessary in order to properly

review the visual impacts of the proposed development. Landscape Plans must be approved by the Plan Commission.

Based upon these requirements for Site Plans, staff finds that Division 15-5.0300 must be adhered to or the PDD amended to specifically state otherwise.

#### PDD Amendment

The proposed request would amend PDD No. 42 to revise landscaping requirements and to insert language stating that the minimum quantity of plantings to be provided, including in bufferyards, as part of the Landscape Plan for PDD No. 42 shall be in conformance with the quantities shown in the provided Landscape Plan.

The language within PDD No. 42 would also note that except for the minimum number of plantings required within Table 15-5.0302, all other standards of Division 15-5.0300 of the UDO shall be met, unless inconsistent with the quantities of plantings shown within the proposed Landscape Plan.

The exact language can be found in the attached draft ordinance and the quantities of plantings provided is discussed further below under the Landscape Plan section of this report.

Note that this is being proposed as a Minor Amendment. Staff concurs that this should be a minor amendment as it is not a change of use, exterior boundaries, or road network.

#### Site Plan

The proposed site plan generally consists of the following:

- apartments including a clubhouse, swimming pool, and leasing center and management offices;
- a 50-key boutique hotel with commercial tenant space;
- retail, restaurant, and commercial uses;
- the existing Harry's Ace Hardware; and
- a public square that includes a food truck plaza, pavilion, splash pad, ice-skating rink, farmers/winter holiday market, and public restrooms

The site plan also includes associated parking, landscaping, trails/walkways, and a protected conservation area. The applicant has provided a detailed project narrative, site and development plans, a storm water management plan memo, and a Traffic Impact Analysis.

PDD No. 42 specifically permits the multi-family residential buildings, the hotel, and the hardware store. Other commercial uses may be permitted, within the ground floor of Buildings A and B, as allowed within the B-3 Community Business District. Buildings over four stories or 60-feet in height require Special Use approval. The proposed buildings are four stories and under 60-feet, so a Special Use is not needed.

It should also be noted that PDD No. 42 also specifically permits the pavilion, food truck plaza, identity beacon, ice skating rink, restrooms, outdoor dining, splash pad, clubhouse, swimming pool, and grill area as Accessory Uses.

The site plan is described in further detail below.



Note that complete details have not been provided for the Ace Hardware store and hotel. As such, those modifications to the hardware store and development of the hotel are subject to separate review and approval of a Site Plan Application.

## **Project Description/Analysis**

Upon review of the Plan Commission submittal, received on December 11, 2023, the attached plans are in compliance with PDD No. 42 and UDO development standards, with the approval of the amendment regarding landscaping quantities.

### Site Plan

The development includes eight buildings and is accessed from South 76<sup>th</sup> Street and West Rawson Avenue. The plan consists of 426 apartment units and other commercial uses as noted above. The total site has an area of approximately 24.31 acres and is a combination of three existing parcels. One property is currently home to the Orchard View Shopping Center and the other two properties are vacant.

Dwelling unit sizes are listed below. Note that the PDD does not address dwelling unit sizes nor does it reference any UDO requirements, such as the R-8 District. As such, there are no specific minimum and the proposed sizes are permissible.

- One-bedroom units range in size between 588 square feet and 794 square feet
- Two-bedroom units range in size between 1,051 square feet and 1,237 square feet
- Three-bedroom units range in size between 1,380 square feet and 1,457 square feet

The applicant has provided Site Intensity and Capacity Worksheets as well as an exhibit, which demonstrates compliance with PDD No. 42 standards for both the commercial area and residential area of the PDD. The total greenspace throughout the entire development is about 42.4%.

### Traffic Impact Analysis (TIA)

A TIA was completed as recommended by the City in the initial review and adoption of PDD No. 42. The Executive Summary is attached. The TIA includes recommendations that, if followed, would generally provide a Level of Service of D or better.

Staff recommends that the applicant comply with all recommendations of the Traffic Impact Analysis, completed by Ayres, dated August 16, 2023.

The Department of City Development may be contacted to obtain a digital copy of the full TIA report.

### Parking

PDD No. 42 requires parking to comply with Unified Development Ordinance parking standards, with the maximum number of parking spaces not exceeding the amount shown on Exhibit A of the PDD unless otherwise approved by the Plan Commission. Exhibit A of PDD No. 42 listed a total of 1,103 parking spaces anticipated.

The Site Plan includes 386 enclosed parking spaces and 694 surface parking spaces. This is a total of 1,080 parking spaces and includes 16 ADA accessible spaces. With over 694 exterior parking spaces provided, 2% must be ADA accessible, which is a minimum of 14 ADA parking spaces. With 16 ADA spaces provided, this standard is met.

Drive aisles are 24-feet in width and parking spaces are 9' x 20' (180 square feet) in compliance with UDO standards. PDD No. 42 also requires a minimum 30-foot parking setback from residential areas and 10 feet from commercial properties outside PDD No. 42. This standard is met as well.

For comparison purposes, Table 15-5.0203 of the UDO suggests minimum parking ratios. With a total of 236 one-bedroom units, 136 two-bedroom units, and 54 three-bedroom units, the UDO suggests a minimum of 643 parking spaces for the proposed multi-family.

Using the ratio for shopping centers, 5/1,000 square feet of Gross Floor Area, about 225 parking spaces are required for the commercial area. The hotel use is an additional 75 parking spaces suggested. This is a total of 943 parking spaces. It should also be considered that the development will include restaurants, which have a higher parking demand. Moreover, other uses, such as the seasonal market, ice skating ribbon, the nature playscape, and other miscellaneous uses and events would add to the parking demand of the development.

Based on the above, staff finds the parking provided is appropriate and does not object to the quantity proposed.

#### Landscape Plan

PDD No. 42 requires that “The applicant shall submit a landscape plan, as defined in the Unified Development Ordinance as part of the Certified Survey Map or Preliminary Plat submittal. Such landscape plan shall depict a 30-foot wide landscape buffer where the site abuts residential zoning districts, specifically R-6 as well as Planned Development nos. 11 and 17, and excluding any natural resource area.”

The 30-foot wide landscape buffer is shown and provided for on the plans. The applicant is proposing a total of 227 Canopy/Shade trees, 260 Evergreens, 205 Decorative trees, and 1,524 Shrubs.

The Landscape Plan includes tables indicating required and proposed landscaping quantities for the residential area and commercial area of the development. It does not, however, include the 20% increase in plantings for bufferyards.

Based upon the information provided by the applicant, the Landscape Plan is deficient by 481 Canopy/Shade trees, 112 Evergreens, and 287 Decorative trees. The Landscape Plan includes 168 shrubs over the required minimum. Again, this does not include the 20% increase in plantings required for bufferyards. It should also be noted that 53 trees with a caliper of 8” or greater are also being preserved.

Overall, staff finds that the landscape plan provides a significant number of plantings, and there are limited areas to provide additional plantings. Some of the remaining open space areas are intended for that use, such as the open area adjacent to the food truck plaza as well as the central lawn area. These areas are intended to serve as community and gathering type spaces, where landscaping would not necessarily be appropriate.

Staff does not object to the quantity of landscaping proposed.

Regarding the landscaping, staff recommends that:

- *A minimum 2-year plant replacement guaranty for all landscaping shall be provided.*
- *Plantings located within bufferyards shall be maintained and replaced in perpetuity.*

### Lighting Plan

A Lighting Plan including a photometric layout and cut sheets of proposed fixtures has been provided. The lighting is in conformance with UDO standards. Light poles will have a peak height of 12-feet and light levels are 0 footcandles at the property lines.

### Natural Resource Protection Plan (NRPP)

A NRPP is attached. The applicant has revised the site plan to avoid impacts to protected natural resources beyond what is allowed by the UDO. The site contains young woodlands, wetlands and associated wetland buffers and setbacks, and steep slopes.

Young woodlands will be impacted, but again, within the disturbance limits allowed by the UDO. Wetland setbacks will also be disturbed, but restored to their natural state.

A Conservation Easement required, and a draft has been provided for staff review. *Site Plan approval shall be contingent upon the Common Council review and approval of a Conservation Easement.*

### Architecture

Elevations and renderings are attached for Plan Commission review. The buildings consist of a variety of vertical and horizontal metal and fiber cement siding. A masonry veneer is also included. Balconies are included with a transparent railing on the apartment buildings.

### Signage

Sign details have not yet been provided. Signage will require separate sign review and sign permits prior to installation. All signage must comply with the City's sign regulations.

### Storm water Management

*It is recommended that final approval of grading, erosion control, storm water management, and utilities, as may be applicable, be granted by the Engineering Department prior to any land disturbance activities.*

### **Staff Recommendation:**

City Development Staff recommends approval of the Certified Survey Map to combine the three existing parcels bearing Tax Key Nos. 756 9993 021, 756 9993 016, and 756 9993 012.

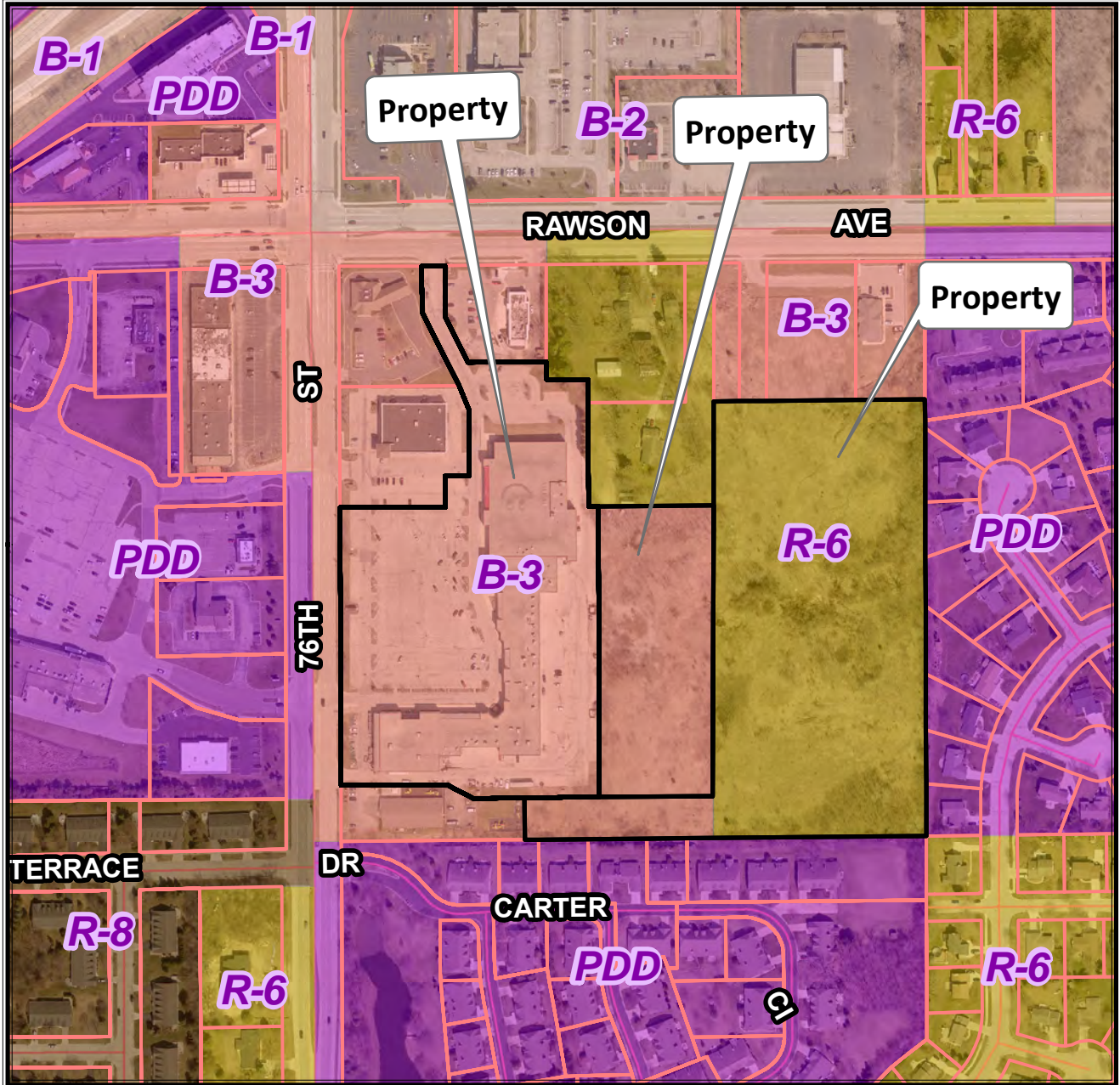
City Development Staff recommends approval of the PDD Amendment as a Minor Amendment.

City Development Staff recommends approval of the PDD Amendment to amend landscaping standards within PDD No. 42.

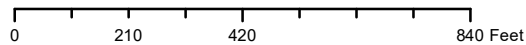
City Development Staff recommends the approval of the Site Plan for the Poths General development, subject to the conditions listed in the draft resolution.



7154 S. 76th Street  
 TKNs 756 9993 021, 756 9993 016 & 756 9993 012



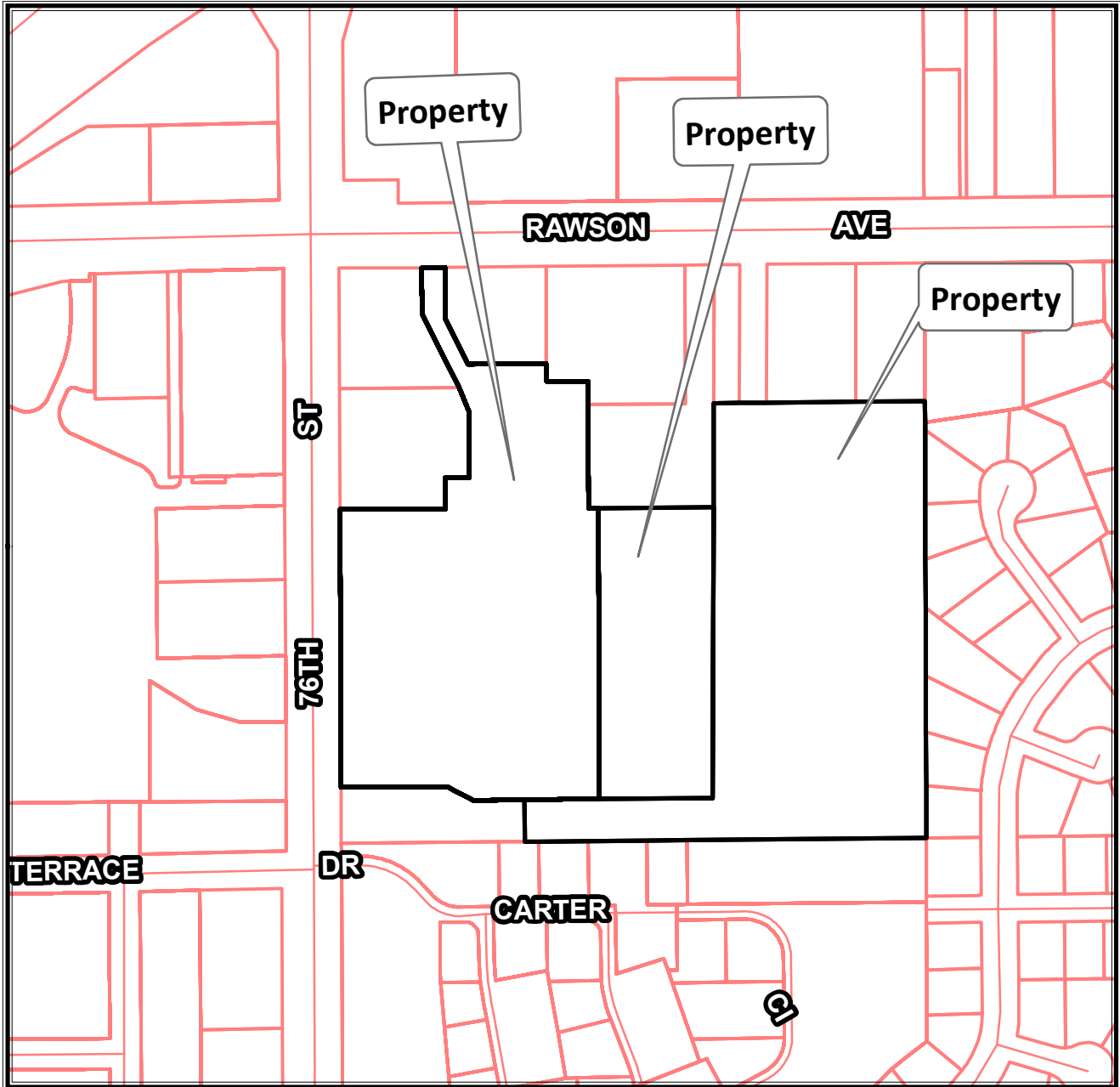
Planning Department  
 (414) 425-4024



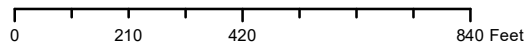
*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

7154 S. 76th Street

TKNs 756 9993 021, 756 9993 016 & 756 9993 012



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

*[Draft 12-13-2023]*

RESOLUTION NO. 2024-\_\_\_\_\_

A RESOLUTION CONDITIONALLY APPROVING A 1 LOT CERTIFIED SURVEY MAP, BEING A REDIVISION OF LOT 2, CERTIFIED SURVEY MAP NO. 8318, OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 6313, AND OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 5401 AND LANDS ALL BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN  
(BY POTHS GENERAL LLC, APPLICANT, INITECH LLC, PROPERTY OWNER)  
(APPROXIMATELY 7154 SOUTH 76TH STREET)

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WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a certified survey map, such map being a redivision of all of Lot 2, Certified Survey Map No. 8318, Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 and lands all being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin, which is bounded and described as follows:

Commencing at Northwest corner of said Northwest 1/4 of said Section 10; thence South 00°15'45" East along the West line of said Northwest 1/4 Section 596.70 feet to a point; thence North 89°59'53" East 60.00 feet to the East line of South 76th Street (C.T.H. U) and the point of beginning of lands described hereinafter; thence North 89°59'53" East along the South line of Lot 1 of Certified Survey Map No. 8318 a distance of 228.57 feet to the East line of said Lot 1; thence North 00°00'07" West along said East line 68.60 feet to a point; thence North 89°59'53" East along said East line 52.02 feet to a point; thence North 00°00'07" West along said East line 144.04 feet to a point; thence North 22°40'40" West along said East line 56.53 feet to the Southeast corner of Parcel 3 of Certified Survey Map No. 4828; thence North 26°53'02" West along the East line of said Parcel 3 a distance of 178.51 feet to a point; thence North 00°15'45" West along said East line 100.00 feet to a point on the South line of West Rawson Avenue (C.T.H. BB); thence North 89°26'54" East along said South line 50.00 feet to the Northwest corner of Parcel 4 of Certified Survey Map No. 4828; thence South 00°15'45" East along the West line of said Parcel 4 a distance of 110.74 feet to a point; thence South 26°53'02" East along said West line 110.74 feet to the South line of said Parcel 4; thence North 89°26'36" East along said South line 169.93 feet to a point on the West line of Parcel 1 of Certified Survey Map No. 5689; thence South 00°08'22" East along said West line 40.00 feet to the South line of said Parcel 4; thence North 89°26'36" East along said South line 90.53 feet to the West line of said Parcel 4; thence South 00°15'45" East along said West line 275.00 feet to the South line of Parcel 2 of Certified Survey Map No. 4483; thence North 89°26'36" East along said South line 270.00 feet to the East line of said Parcel 2; thence North 00°15'45" West along said East line 225.00 feet to the Southwest corner of Certified Survey Map No. 6811; thence North 89°26'54" East along the South line of said Certified Survey Map 458.68 feet to the West line of Phase VII Westminster Condominiums; thence South 00°11'53" East along said West line and the West



POTHS GENERAL LLC – CERTIFIED SURVEY MAP

RESOLUTION NO. 2024-\_\_\_\_\_

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line of Dover Hill Addition No. 1 Subdivision 946.39 feet to the North line of Carter Grove Condominium; thence South 89°28'54" West along said North line 869.44 feet to the Southeast corner of Parcel 1 of Certified Survey Map No. 5401; thence North 00°31'06" West along the East line of said Parcel 1 a distance of 90.00 feet to the North line of said Parcel 1; thence South 89°28'54" West along said North line 111.56 feet to a point; thence North 62°22'32" West along said North line 63.59 feet to a point; thence South 89°28'54" West along said North line 230.00 feet to a point on the East line of South 76th Street (C.T.H. U); thence North 00°15'45" West along said East line 603.29 feet to the point of beginning.

Property located at approximately 7154 South 76th Street, bearing Tax Key Nos. 756 9993 012, 756 9993 016, and 756 9993 021, Poths General LLC, applicant; said certified survey map having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed certified survey map is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Certified Survey Map submitted by Poths General LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant, prior to recording.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9 of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
3. Each and any easement shown on the Certified Survey Map shall be the subject of separate written grant of easement instrument, in such form as provided within the *City of Franklin Design Standards and Construction Specifications* and such form and content as may otherwise be reasonably required by the City Engineer or designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Certified Survey Map.
4. Poths General LLC, successors and assigns, and any developer of the Poths General LLC one (1) lot certified survey map project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development

POTHS GENERAL LLC – CERTIFIED SURVEY MAP

RESOLUTION NO. 2024-\_\_\_\_\_

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Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

5. The approval granted hereunder is conditional upon Poths General LLC and the 1 lot certified survey map project for the property located at approximately 7154 South 76th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
6. The applicant shall provide a Conservation Easement for natural resources to be protected, to be recorded with the CSM.
7. The applicant must resolve any technical corrections required by the Engineering or Planning Department, or the City Attorney's Office prior to the recording of the Certified Survey Map.

BE IT FURTHER RESOLVED, that the Certified Survey Map, certified by owner, Initech LLC, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a certified survey map, the City Clerk is hereby directed to obtain the recording of the Certified Survey Map, certified by owner, Initech LLC, with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this 3rd day of January, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 3rd day of January, 2024.

APPROVED:

\_\_\_\_\_  
John R. Nelson, Mayor

ATTEST:

\_\_\_\_\_

POTHS GENERAL LLC – CERTIFIED SURVEY MAP  
RESOLUTION NO. 2024-\_\_\_\_\_

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Karen L. Kastenson, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



ORDINANCE NO. 2024-\_\_\_\_\_

AN ORDINANCE TO AMEND SECTION 15-3.0447 OF THE UNIFIED  
DEVELOPMENT ORDINANCE PLANNED DEVELOPMENT DISTRICT NO. 42  
(POTHS GENERAL) TO AMEND LANDSACPING REQUIREMENTS AS IT  
PERTAINS TO THE QUANTITY OF PLANTINGS REQUIRED  
(POTHS GENERAL LLC, APPLICANT)  
(AT APPROXIMATELY 7154 SOUTH 76TH STREET)

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WHEREAS, Section 15-3.0447 of the Unified Development Ordinance provides for and regulates Planned Development District No. 42 (Poths General), same having been created by Ordinance No. 2023-2546, with such District primarily being located at approximately 7154 South 76th Street, bearing Tax Key Nos. 756 9993 012, 756 9993 016, and 756 9993 021, and is more particularly described below; and

WHEREAS, Planned Development District No. 42 (Poths General) currently includes those lands legally described as follows:

**PARCEL A:**

Parcel 2 of Certified Survey Map No. 8318, recorded on January 6, 2011, as Document No. 9956357, a division of Parcel 1 of Certified Survey Map No. 6313, being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Property Address: 7154 South 76th Street, Franklin, WI 53132

Tax Key Number: 756-9993-021

**PARCELB:**

Outlot 1 of Certified Survey Map No. 6313, recorded on December 27, 1996, on Reel 3956, Images 849 to 851 inclusive, as Document No. 7307525, being a redivision of Parcel 2 of Certified Survey Map No. 4828, and Outlot 1 of Certified Survey Map No. 5689, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Tax Key Number: 756-9993-016

**PARCELC:**

Outlot 1 of Certified Survey Map No. 5401, recorded on April 2, 1990, on Reel 2434, Images 436 to 439 inclusive, as Document No. 6366765, a redivision of Parcel 1 of Certified Survey Map No. 4828, being a part of the

Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.  
Tax Key Number: 756-9993-012

WHEREAS, Section 15-3.0447K. requires Conditions of Approval, including the submission of a landscape plan and submission of site plans consistent with all regulations of the Unified Development Ordinance; and

WHEREAS, Poths General LLC has requested to insert language to provide quantities of planting less than that required by the Unified Development Ordinance; and

WHEREAS, Poths General has provided a Landscape Plan illustrating a specific number of plantings to be provided; and

WHEREAS, the City of Franklin Plan Commission on the 21st day of December, 2023, having reviewed the proposed amendment to Planned Development District No. 42 and thereafter having recommended to the Common Council that the proposed amendment be approved subject to the conditions and restrictions included herewith; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission, and having determined that the proposed amendment to Planned Development District No. 42 (Poths General) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin, and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Section 15-3.0447 of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended specifically and only with regard to the Planned Development District No. 42 located at approximately 7154 South 76th Street.

SECTION 2: Section 15-3.0447K. be renumbered to L. and a new Section 15-3.0447K. be inserted.

SECTION 3: Section 15-3.0447K. of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows:

**Landscaping.** The minimum quantity of plantings to be provided, including in bufferyards, as part of the Landscape Plan for PDD No. 42 shall be in conformance with the following minimums and in substantial conformance with the Landscape Plans dated December 11, 2023:

- Canopy/Shade Trees: 225
- Evergreen Trees: 260
- Decorative Trees: 205
- Shrubs: 1,500

Except for the minimum number of plantings required within Table 15-5.0302, all other standards of Division 15-5.0300 of the Unified Development Ordinance shall be met, unless inconsistent with the quantities of plantings required above.

Plantings located within bufferyards shall be maintained and replaced in perpetuity.

SECTION 4: All other applicable terms and provisions of §15-3.0447, shall apply to Planned Development District No. 42 (Poths General) mixed-use development located at approximately 7154 South 76th Street, and all terms and provisions of §15-3.0447 as existing immediately prior to the adoption of this Ordinance, except as amended hereunder, shall remain in full force and effect.

SECTION 5: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 6: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 7: This ordinance shall take effect and be in force from and after its passage and publication.



ORDINANCE NO. 2023-\_\_\_\_\_

Page 4

Introduced at a regular meeting of the Common Council of the City of Franklin this 3rd day of January, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this 3rd day of January, 2024.

APPROVED:

\_\_\_\_\_  
John R. Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Karen L. Kastenson, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

## RESOLUTION NO. 2023-\_\_\_\_\_

A RESOLUTION APPROVING A SITE PLAN TO ALLOW FOR A MIXED-USE MULTI-FAMILY RESIDENTIAL AND COMMERCIAL DEVELOPMENT UPON PROPERTY LOCATED AT APPROXIMATELY 7154 SOUTH 76TH STREET (BY POTHS GENERAL LLC, APPLICANT, INITECH LLC, PROPERTY OWNER)

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WHEREAS, Poths General LLC, having applied for approval of a proposed site plan to allow for a mixed-use multi-family residential and commercial development, upon property located at approximately 7154 South 76th Street, within Planned Development District No. 42 (Poths General); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0427 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan to allow for a mixed-use multi-family residential and commercial development, as depicted upon the plans City dated December 11, 2023, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plans for the Poths General LLC mixed-use multi-family residential and commercial development City dated December 11, 2023.
2. Poths General LLC, successors and assigns, and any developer of the Poths General LLC mixed-use multi-family residential and commercial development project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Poths General LLC mixed-use multi-family residential and commercial development project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Poths General LLC mixed-use multi-family residential and commercial development project, located at approximately 7154 South 76th Street, within Planned

POTHS GENERAL LLC – SITE PLAN  
RESOLUTION NO. 2023-\_\_\_\_\_

Page 2

Development District No. 42 (Poths General): (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. That the Poths General LLC mixed-use multi-family residential and commercial development project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. Modifications to the hardware store and development of the hotel are subject to separate review and approval of a Site Plan Application.
6. The development shall comply with all recommendations of the Traffic Impact Analysis, completed by Ayres, dated August 16, 2023.
7. A minimum 2-year plant replacement guaranty for all landscaping shall be provided.
8. Plantings located within bufferyards shall be maintained and replaced in perpetuity.
9. A Conservation Easement shall be reviewed and approved by the Common Council prior to issuance of a Building Permit.
10. Final approval of grading, erosion control, storm water management, and utilities, as may be applicable, shall be granted by the Engineering Department prior to any land disturbance activities.

11. [other conditions, etc.]

Introduced at a regular meeting of the Plan Commission of the City of Franklin this 21st day of December, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this 21st day of December, 2023.

APPROVED:

---

John R. Nelson, Chairman

ATTEST:



POTHS GENERAL LLC – SITE PLAN  
RESOLUTION NO. 2023-\_\_\_\_\_

Page 3

---

Karen L. Kastenson, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

11/12/2023 City Issued  
12/11/2023 LxL Responses

## MEMORANDUM

Date: November 12, 2023

To: Emily Cialdini, Land By Label

From: Department of City Development  
Nick Fuchs, Planning Associate

RE: Staff comments for Certified Survey Map and Site Plan, Poths General  
TKN 756 9993 012, 756 9993 016, 756 9993 021

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Below are comments and recommendations for the proposed Poths General development for properties generally located at the southeast corner of West Rawson Avenue and South 76th Street.

### City Development Department comments

1. General
  - a. Please make certain that all applicable areas of the site plans, Landscape Plan, and CSM include a landscape buffer in compliance with the condition below of PDD No. 42. Please label this buffer/setback "30-foot wide landscape buffer."
  - b. LxL response: Architectural PC-01 and Civil Site Plan C100 have been revised to depict and label the 30-wide landscape buffer.
2. As elevations have not been provided for the hotel or the renovated portion of the strip mall, those buildings will require a separate Plan Commission Review Application.
  - a. LxL response: Understood. Separate Plan Commission review application will be submitted for review of hotel and Ace Hardware.
3. Please include a map that illustrates the Residential and Nonresidential areas of the PDD as it relates to the Site Intensity and Capacity Calculations. This should also include a site data table for each area that demonstrates compliance with minimum LSR, density, open space, and floor area requirements of PDD NO. 42.
  - a. LxL response: Site Intensity and Capacity Calculations related to the Residential and Nonresidential areas of PDD 42 are enclosed.
4. Have areas marked for future parking been counted towards open space/greenspace calculations for the development? Will LSR and OSR be met with construction of these parking areas?
  - a. LxL response: Per comment 8.d. below the parking spaces denoted as future parking have been eliminated. We are still meeting the required operational and PDD 42 parking requirements. As such, these green space areas have been counted toward the open space/greenspace calculations.
5. Please provide a breakdown of the number of studio, one bedroom, two bedroom, and three or more bedroom units provided.
  - a. LxL response: Please see unit matrix enclosed on Architectural Drawings.
6. Please provide the minimum square footage of the proposed dwelling units.
  - a. LxL response: Please see unit matrix enclosed on Architectural Drawings.
7. Site Plan
  - a. Please make sure site plans illustrate the 40-foot setback from arterials. Also, label all building and parking setbacks as such.
    - i. LxL Response: Architectural PC-01 and Civil C100 site plans have been updated to depict the 40-foot setback from arterials.

8. Parking

- a. The civil site plans site information table lists 641 total parking spaces. The Architectural Site Plan, Sheet PC-01, includes a total of 694 surface parking spaces. Please confirm the quantity of parking provided.
  - i. LxL response: The total number of surface parking stalls have been reconciled between the Architectural PC-01 and Civil C100 site plans. There are 694 surface parking stalls.
- b. Please also double check the total parking calculation on PC-01. The total parking should be 1,080.
  - i. LxL Response: Total number of parking stalls is 1,080 and PC-01 has been updated.
- c. Is all parking being constructed within the first phase of development?
  - i. LxL response: A construction phasing plan is still being finalized with our general contractor. All parking will be constructed in the first phase of development except any surface stalls and underground parking stalls associated with the building delivered in phase 2. For instance, it is possible that building E will be delivered as a second phase. In that case, the 20 or so surface stalls located just north of the building would be delivered in phase 2. If building F is delivered as a phase 2, the associated underground parking of building F will be delivered in phase 2.
- d. It is encouraged to show and designate parking that may not be necessary as future parking as to not overpark the development.
  - i. LxL response: All depicted parking is necessary to meet operational needs of the development. Future parking stalls previously depicted have been eliminated as they are not required operationally and are not required to meet the parking requirements of PDD 42.
- e. Related to the above comment, what use does the northernmost large parking area to the east of the drive extending from W. Rawson Avenue serve? Is that parking for the food truck plaza, market and other public and commercial spaces? Is that entire area needed or is there an opportunity for future development? There are no objections if needed, but again, staff would not object to designating areas as future parking.
  - i. LxL response: This parking area is needed to serve the public uses including the food truck plaza, restaurants, ice skating rink, splash pad and potential holiday/summer farmers market.

9. Landscaping

- a. Note that staff will recommend that Site Plan approval be subject to staff review and approval of a final, detailed landscape plan as only a conceptual plan has been provided.
  - i. LxL response: Final detailed landscape plan is included herein.
- b. Please include a note or table on the Landscape Plan detailing the minimum quantity of plantings required and the minimum number of plantings proposed. Plantings should be categorized as Canopy/Shade Trees, Evergreens, Decorative Trees, and Shrubs.
  - i. LxL response: Final detailed landscape plan depicting proposed number of plantings is enclosed. An application for a minor PDD amendment was submitted on 12.2.2023. The PDD amendment clarifies the language in PDD 42 to permit the proposed number of plantings on the landscape plan. The landscape plan is consistent with all prior submittals and design intent of Poths General site plan within PDD 42.
- c. It is recommended to provide irrigation in accordance with Section 15-5.0303D.
  - i. LxL response: Irrigation is depicted on attached landscape plan surrounding the clubhouse. Hose bibs are also depicted and will provide water to irrigate the balance of the site landscaping.
- d. Staff recommends providing a minimum 2-year plant replacement guaranty for all landscaping provided.
  - i. LxL response: Understood.
- e. Staff recommends that bufferyard plantings shall be maintained in perpetuity.
  - i. LxL response: Understood.



- f. Staff recommends adding more evergreen trees within bufferyard areas. Note native plantings may be added within the Conservation Easement.
            - i. LxL response: More evergreens have been added to the bufferyard areas. Elevations and detailed landscape plan enclosed depict bufferyard landscaping.
10. Natural Resources
  - a. A separate written Conservation Easement document is required and must be approved by the Common Council. This document must be recorded with the Milwaukee County Register of Deeds at the time of recording the CSM. A Conservation Easement template is attached for your review.
    - i. LxL response: Enclosed are LxL comments on the conservation easement template. The revisions specifically allow for the installation of landscaping as depicted on landscape plans within the limits of the conservation easement area. There is no mortgage on the property so the Mortgage Holder Consent was struck. Also enclosed is a draft exhibit of the conservation easement area prepared by Chaput and dated December 4, 2023.
11. Architecture
  - a. Are the different types of sidings proposed metal?
    - i. LxL response: Rinka has updated the architectural elevations to depict the proposed exterior materials on sheets PC-12 through PC-18. The materials include a mix of brick masonry, metal siding, cement board siding, and board and batten siding.
12. Signage
  - a. Note that all signage must comply with the City's sign regulations and are subject to separate review and approval of a Sign Permit.
    - i. LxL response: Understood. A separate sign permit application will be submitted.
13. Additional Comments
  - a. It is recommended that a snow storage plan in compliance with 15-5.0210 of the UDO be provided. Note snow storage areas should not interfere with landscaping.
    - i. LxL response: Snow storage locations are shown on the civil site plan.
  - b. Note that site plan approval will be conditioned upon final utility, grading, erosion control, and storm water management plans being reviewed and approved by the Engineering Department.
    - i. LxL response: Understood. An engineering review application was submitted 11/27.
  - c. Please confirm all rooftop mechanicals are being screened. What type of screening/material is being utilized to screen mechanicals?
    - i. LxL response: Elevations and perspectives on sheet PC-19 are included to show that mechanicals on residential rooftops are not visible from grade. Where mechanicals are visible on the top of the commercial spaces, screens will be provided.
  - d. Where is the dumpster/refuse collection location for the commercial spaces? If a dumpster enclosure is planned onsite, please show the location on the site plans and elevations/material details on the architectural plans.
    - i. LxL response: Please see enclosed building floor plans on sheets PC-02 through PC-10. All refuse locations are internal to the building.
  - e. Are dumpsters or trash areas for the apartments kept internally?
    - i. LxL response: Please see enclosed building floor plans on sheets PC-02 through PC-10. All refuse locations are internal to the building.
  - f. Please be aware of City impact fees. The impact fee schedule can be found on the City's website at <https://www.franklinwi.gov/Departments/Inspection-Services/Impact-Fees.htm>. Note this is subject to change.
    - i. LxL response: Understood.
14. Certified Survey Map
  - a. Illustrate all required setbacks in accordance with Section 15-7.0702B. of the Unified Development Ordinance.
    - i. LxL response: All setbacks have been shown.
  - b. Are any easements anticipated that are not yet in place?

- i. LxL response: Easements are anticipated for stormwater, public water loop and sanitary service. Final utility locations will be refined through coordination with engineering. We propose to leave off easements for this infrastructure until final locations are determined.
- c. Is owner name correct or should it be INITECH, LLC?
  - i. LxL response: Owner should be Initech, LLC - 7044 S Ballpark Drive, Franklin, WI
- d. Please note the existing zoning on Sheet 1 of the CSM.
  - i. LxL response: Existing zoning as PDD 42 has been noted.

### **Engineering Department Comments**

15. Below and attached are Certified Survey Map comments.

LxL response: Updated CSM enclosed.

- a. Insert the note "Parcel 1 is served by public sewer and water".
  - i. LxL response: Noted.
- b. Show the section corner coordinates in pages 1,2&3 of 6 (NAD 83).
  - i. LxL response: Shown.
- c. South 76th is a designated arterial road. The 65 feet' right of way is required to comply.
  - i. LxL response: 65' setback shown.
- d. On page 5 of 6:
- e. In the seventh line of the legal description, replace 60 feet to 65 feet to reflect the arterial road type.
  - i. LxL response: Updated.
- f. In the last paragraph, insert "Unified Development Ordinance Division 15" after the City of Franklin.
  - i. LxL response: Updated.
- g. Show the zoning district.
  - i. LxL response: Updated.
- h. Show the existing and proposed contours.
  - i. LxL response: Included.
- i. On page 6 of 6, under the City of Franklin Common Council, insert the word after AND DEDICATION ACCEPTED.
  - i. LxL response: Updated.

# POTHS GENERAL DEVELOPMENT

## 76TH AND RAWSON, FRANKLIN, WI 53132

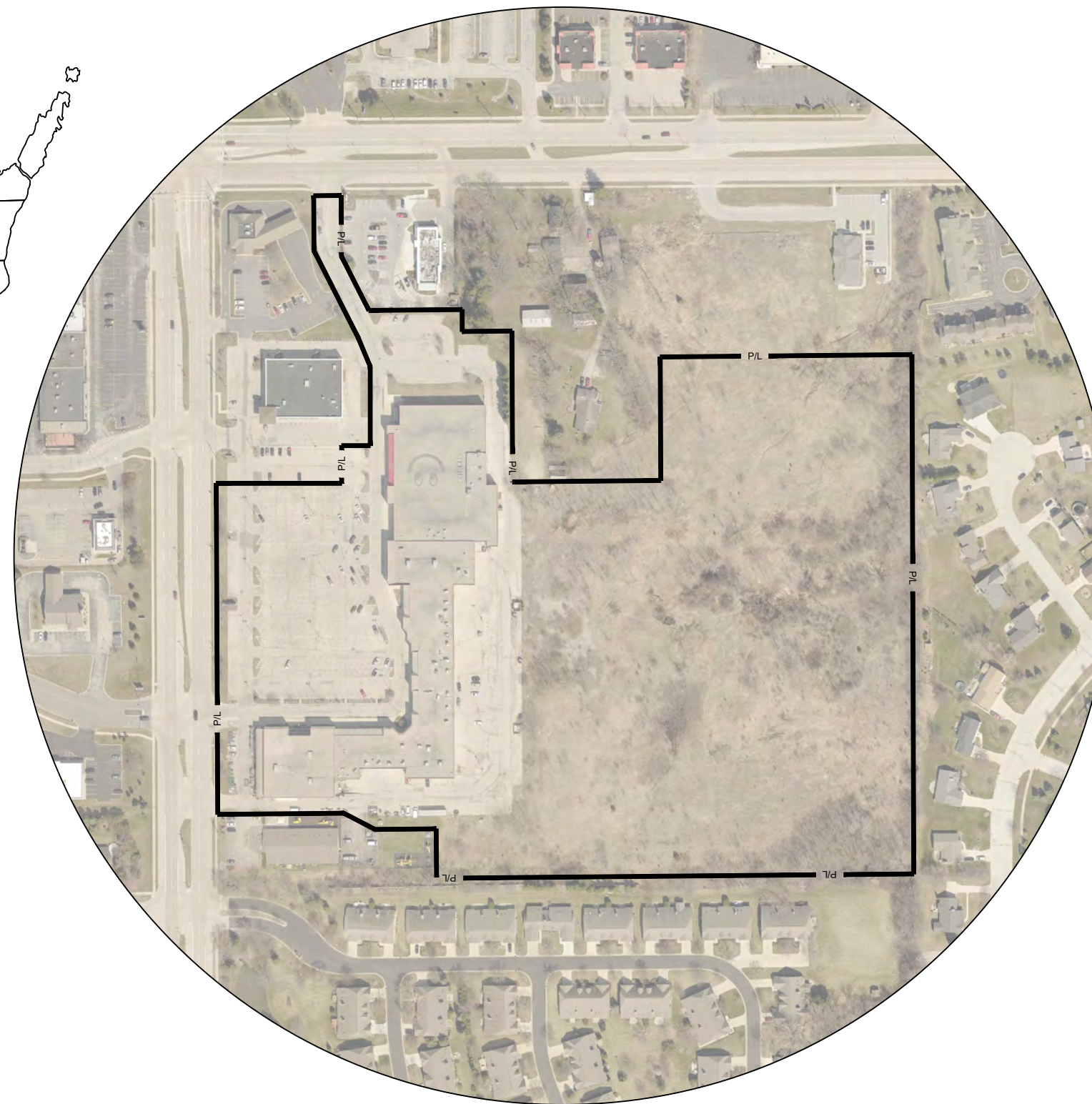
### CIVIL ENGINEERING PLANS

PREPARED BY:

**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210

#### SITE LOCATION MAP:

SCALE: 1" = 250'

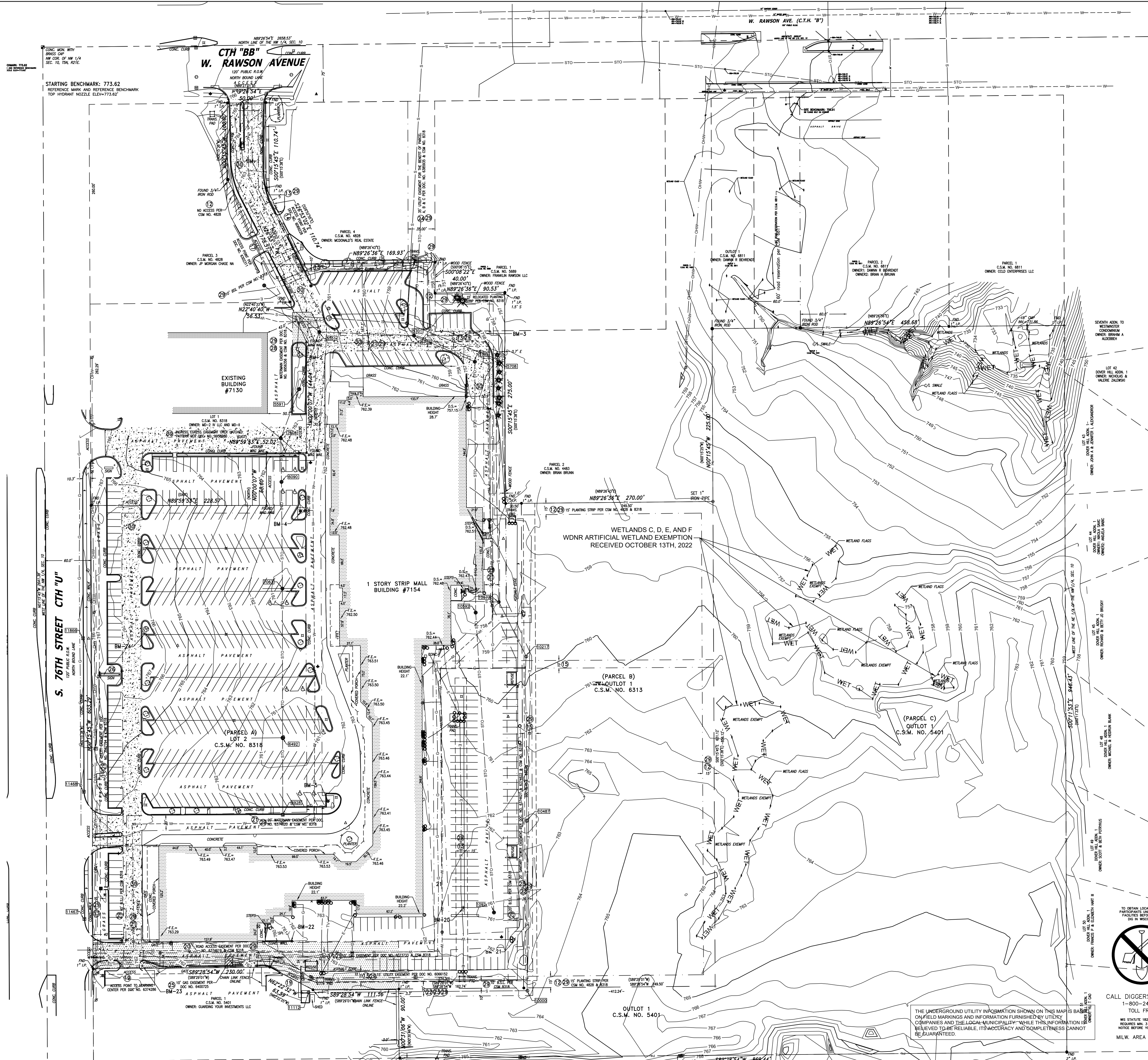


#### SHEET INDEX

Sheet No.	Sheet Name
C000	Cover
C001	Site Survey
C002	Erosion Control Plan
C003	Site Preparation Plan
C100	Overall Site Plan
C101	Site Plan
C102	Site Plan
C103	Site Plan
C104	Site Plan
C200	Overall Grading Plan
C201	Grading Plan
C202	Grading Plan
C203	Grading Plan
C204	Grading Plan
C300	Overall Utility Plan
C301	Utility Plan - STORM SEWER
C302	Utility Plan - STORM SEWER
C303	Utility Plan - STORM SEWER
C304	Utility Plan - STORM SEWER
C305	Utility Plan - WATER AND SANITARY SEWER
C306	Utility Plan - WATER AND SANITARY SEWER
C307	Utility Plan - WATER AND SANITARY SEWER
C308	Utility Plan - WATER AND SANITARY SEWER
C400	Details
C401	Details
C402	Details
C500	Specifications
C501	Specifications
L100	Overall Landscape Plan
L101	Landscape Plan Enlargement
L102	Landscape Plan Enlargement
L103	Landscape Plan Enlargement
L104	Landscape Plan Enlargement
L105	Landscape Plan Enlargement
L106	Landscape Plan Enlargement
L107	Landscape Plan Enlargement
L108	Landscape Plan Enlargement
L109	Landscape Plan Enlargement
L110	Landscape Plan Enlargement
L111	Overall Plant Schedules
L200	LANDSCAPE DETAILS
L201	LANDSCAPE DETAILS
L300	LANDSCAPE SPECIFICATIONS

**PLAN COMMISSION SUBMITTAL: DECEMBER 11, 2023**



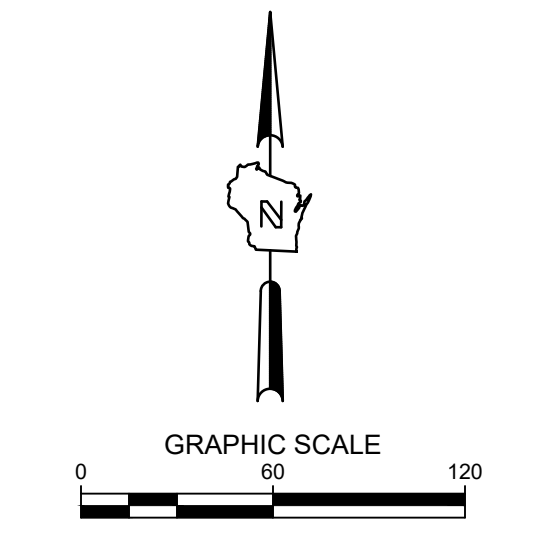


LEGEND:

- INDICATES FOUND 1" IRON PIPE
  - INDICATES SET 1" IRON PIPE
  - ⊕ INDICATES FOUND CHISELED CROSS
  - ⊕ SANITARY MANHOLE
  - ⊕ SANITARY CLEANOUT OR VENT
  - ⊕ SEPTIC TANK ACCESS COVER
  - ⊕ M.I.S. MANHOLE
  - ⊕ UNKNOWN MANHOLE
  - ⊕ STORM MANHOLE
  - ⊕ INLET (ROUND)
  - ⊕ INLET (SQUARE)
  - ⊕ CURB INLET
  - ⊕ STORM SEWER END SECTION
  - ⊕ GAS VALVE
  - ⊕ GAS METER
  - ⊕ WATER VALVE
  - ⊕ HYDRANT
  - ⊕ WATER MANHOLE
  - ⊕ WATER SERVICE CURB STOP
  - ⊕ WELL HEAD
  - ⊕ STAND PIPE
  - ⊕ WALL INDICATOR VALVE
  - ⊕ POST INDICATOR VALVE
  - ⊕ HANDICAP SPACE
  - ★ CONIFEROUS TREE
  - DECIDUOUS TREE
  - ⊕ LIGHT POLE
  - ⊕ SPOT/YARD LIGHT
  - ⊕ UTILITY POLE
  - ⊕ GUY POLE
  - ⊕ GUY WIRE
  - ⊕ ELECTRIC MANHOLE
  - ⊕ ELECTRIC PEDESTAL
  - ⊕ ELECTRIC METER
  - ⊕ TELEPHONE MANHOLE
  - ⊕ TELEPHONE PEDESTAL
  - ⊕ CABLE PEDESTAL
  - ⊕ CONTROL BOX
  - ⊕ FIBER OPTIC PEDESTAL/SIGN
  - ⊕ TRAFFIC LIGHT
  - ⊕ COMMUNICATION MANHOLE
  - ⊕ BOLLARD
  - ⊕ WATER SURFACE
  - ⊕ WETLANDS FLAG
  - ⊕ MARSH
  - ⊕ FLAGPOLE
  - ⊕ PARKING METER
  - ⊕ SIGN
  - ⊕ MAILBOX
  - ⊕ RAILROAD CROSSING SIGNAL
  - SANITARY SEWER
  - STORM SEWER
  - WATERLINE
  - MARKED GAS MAIN
  - MARKED ELECTRIC
  - OVERHEAD WIRES
  - MARKED TELEPHONE
  - MARKED CABLE TV LINE
  - MARKED FIBER OPTIC
  - BURIED ELECTRIC SERVICE
  - BOARD FENCE
  - CHAIN LINK FENCE
  - WIRE FENCE
- F.E. = (FLOOR ELEV)  
D.S. = (DOOR SILL)

**THE SIGMA GROUP**  
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**POTHS GENERAL DEVELOPMENT**  
**76TH AND RAWSON**  
**FRANKLIN, WI 53132**  
**SITE SURVEY**

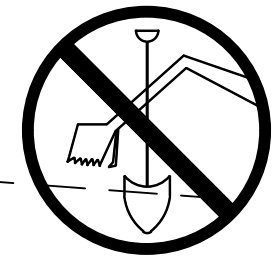
**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=60'
PROJECT NO:	21775
DESIGN DATE:	----
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	C001

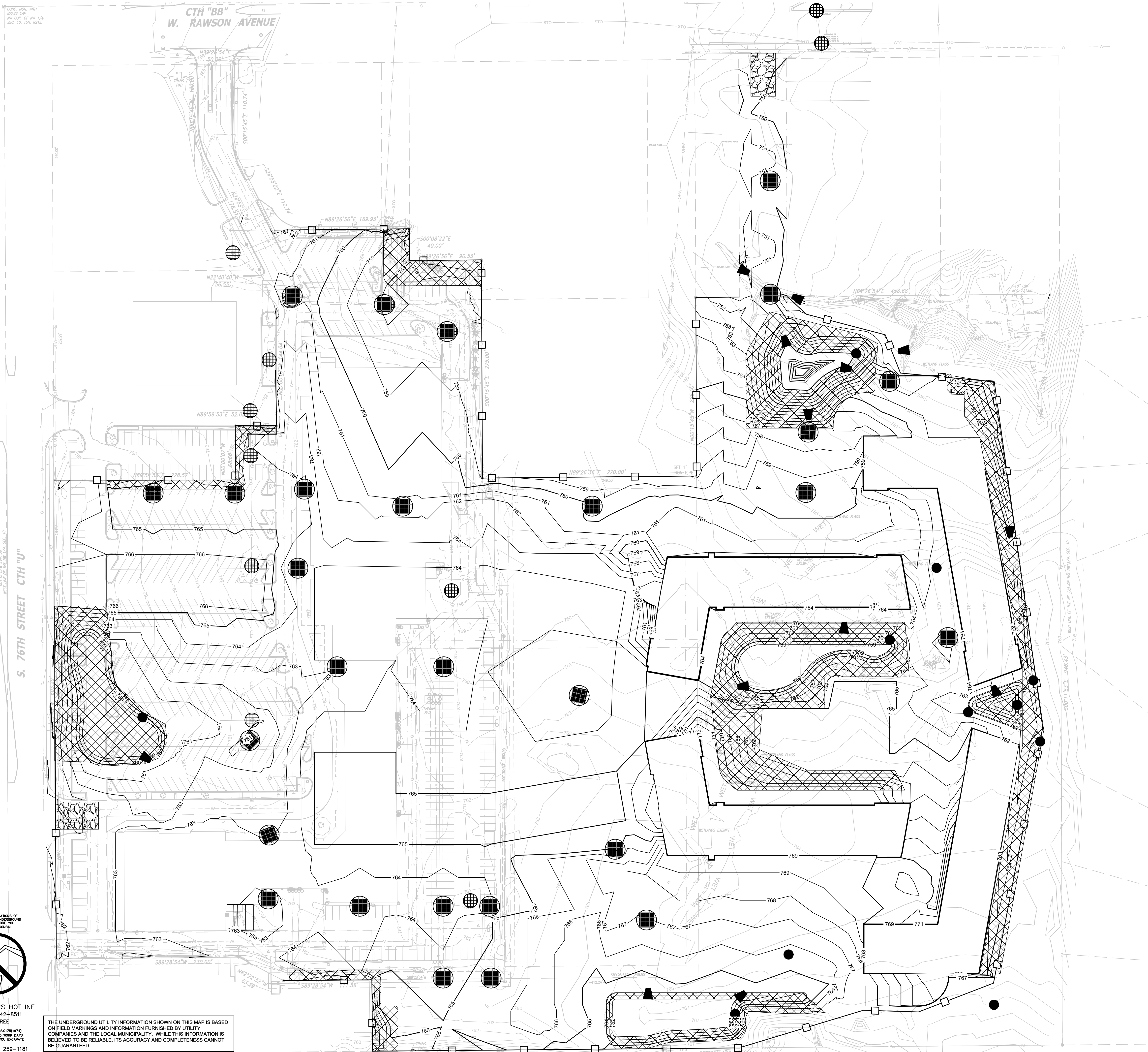
- GENERAL NOTES:
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CHAPUT LAND SURVEYS ON JULY 20, 2022.
  4. DATUM FOR THE PROJECT SURVEY IS NAVD 88. BENCHMARK FOR THE PROJECT SURVEY IS CHISELED BOX ON WEST SIDE OF LIGHT POLE BASE IN MEADIAN ON NORTH EDGE OF PROPERTY.
  5. CONTRACTOR TO VERIFY EXISTING CONDITIONS. CONTACT ENGINEER WITH DISCREPANCIES.



CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WE STATE 182.07(974)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

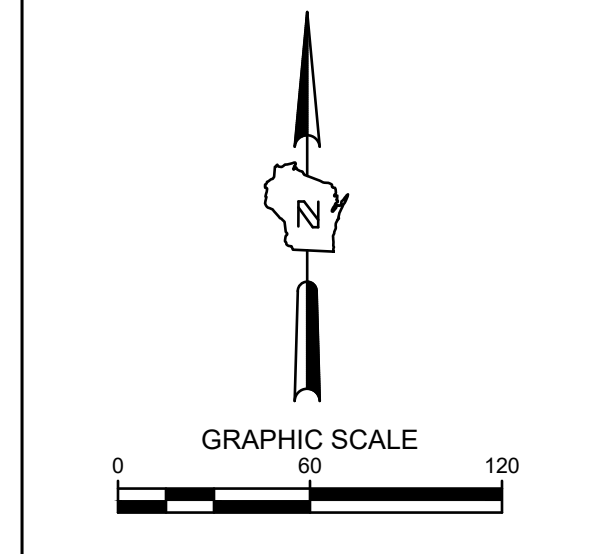




- LEGEND:**
- PROPOSED SILT FENCE
  - PROPOSED INLET PROTECTION
  - PROPOSED TRACKING PAD
  - PROPOSED DIVERSION SWALE WITH DIRECTION OF FLOW INDICATED
  - PROPOSED DITCH CHECK EROSION BALES
  - PROPOSED EROSION MATTING WISDOT APPROVED CLASS 1 TYPE B
  - PROPOSED RIP-RAP SWALE BOTTOM
  - EXISTING CONTOUR
  - PROPOSED CONTOUR

**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
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 Phone: 414-643-4200  
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**MANDEL GROUP**  
 330 East Kilbourn Avenue  
 Milwaukee, WI 53202  
 Phone: 414-347-3600  
 mandelgroup.com



**POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 EROSION CONTROL PLAN**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE DATE  
 PLAN COMMISSION SUBMITTAL 12/11/23

NO. REVISION DATE

- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
  4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
  5. SEE SHEET C401 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
  6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

SCALE:	1"=60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	C002

TO OBTAIN LOCATIONS OF  
 ADJACENT LANDSCAPING  
 FACILITIES BEFORE YOU  
 DO ANY WORKING

CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE

MS STATUTE 182.07(2)(b)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.







W. RAWSON AVENUE

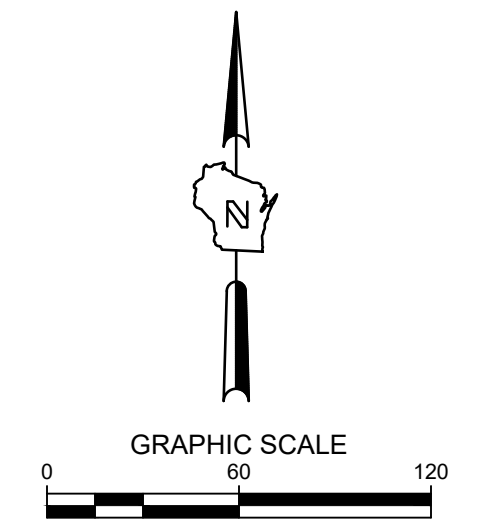
S. 76TH STREET CTH "U"

SITE INFORMATION			
SITE AREA	105897	24.311 AC	
SITE DISTURBED AREA	97553	22.395 AC	
EXISTING IMPERVIOUS AREA	495470	11.374 AC	46.8 %
PROPOSED IMPERVIOUS AREA	609796	13.999 AC	57.6 %
PROPOSED GREENSPACE AREA	449201	10.312 AC	42.4 %
TOTAL PARKING SPACES	694		
ADA PARKING SPACES REQUIRED	16		
ADA PARKING SPACES PROVIDED	16		

NOTE: ALL ROADWAYS WITHIN PROPOSED SITE ARE PRIVATE.

**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210

**LAND BY LABEL**  
 7044 South Ballpark Drive Suite 305  
 Franklin, WI 53132  
 Phone: 414-285-3470



**LEGEND:**

	5' THICK CONCRETE WALK
	CONCRETE PAVEMENT
	ASPHALT SURFACE
	HEAVY-DUTY ASPHALT SURFACE
	MILL/PULVERIZE AND OVERLAY
	CURB & GUTTER (ACCEPT)
	CURB & GUTTER (REJECT)

- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
  4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
  5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
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  7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

TO OBTAIN LOCATIONS OF PARTIALS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE

WE STATUTE 182.07(2)(F) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 OVERALL SITE PLAN

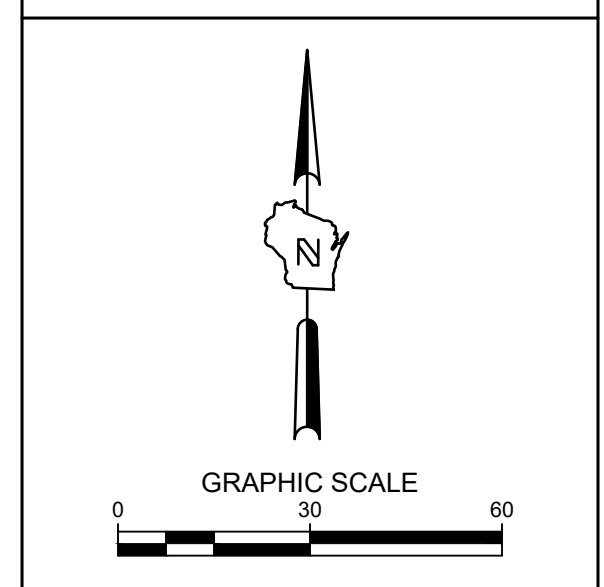
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	C100





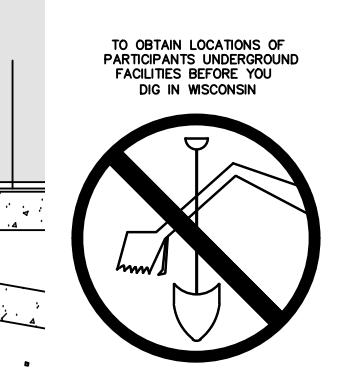
SITE INFORMATION			
SITE AREA	1058997	24.311 AC	
SITE DISTURBED AREA	975533	22.395 AC	
EXISTING IMPERVIOUS AREA	495470	11.374 AC	46.8 %
PROPOSED IMPERVIOUS AREA	609796	13.999 AC	57.6 %
PROPOSED GREENSPACE AREA	449201	10.312 AC	42.4 %
TOTAL PARKING SPACES	694		
ADA PARKING SPACES REQUIRED	16		
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**NOTE: ALL ROADWAYS WITHIN PROPOSED SITE ARE PRIVATE.**

**LEGEND:**

	5' THICK CONCRETE WALK
	CONCRETE PAVEMENT
	ASPHALT SURFACE
	HEAVY-DUTY ASPHALT SURFACE
	MILL/PULVERIZE AND OVERLAY
	CURB & GUTTER (ACCEPT)
	CURB & GUTTER (REJECT)

- GENERAL NOTES:**
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CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WIS. STATUTE 182.07(2)(b)74  
 REQUIRES 90 MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU DIG  
 MILW. AREA 259-1181

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POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 SITE PLAN

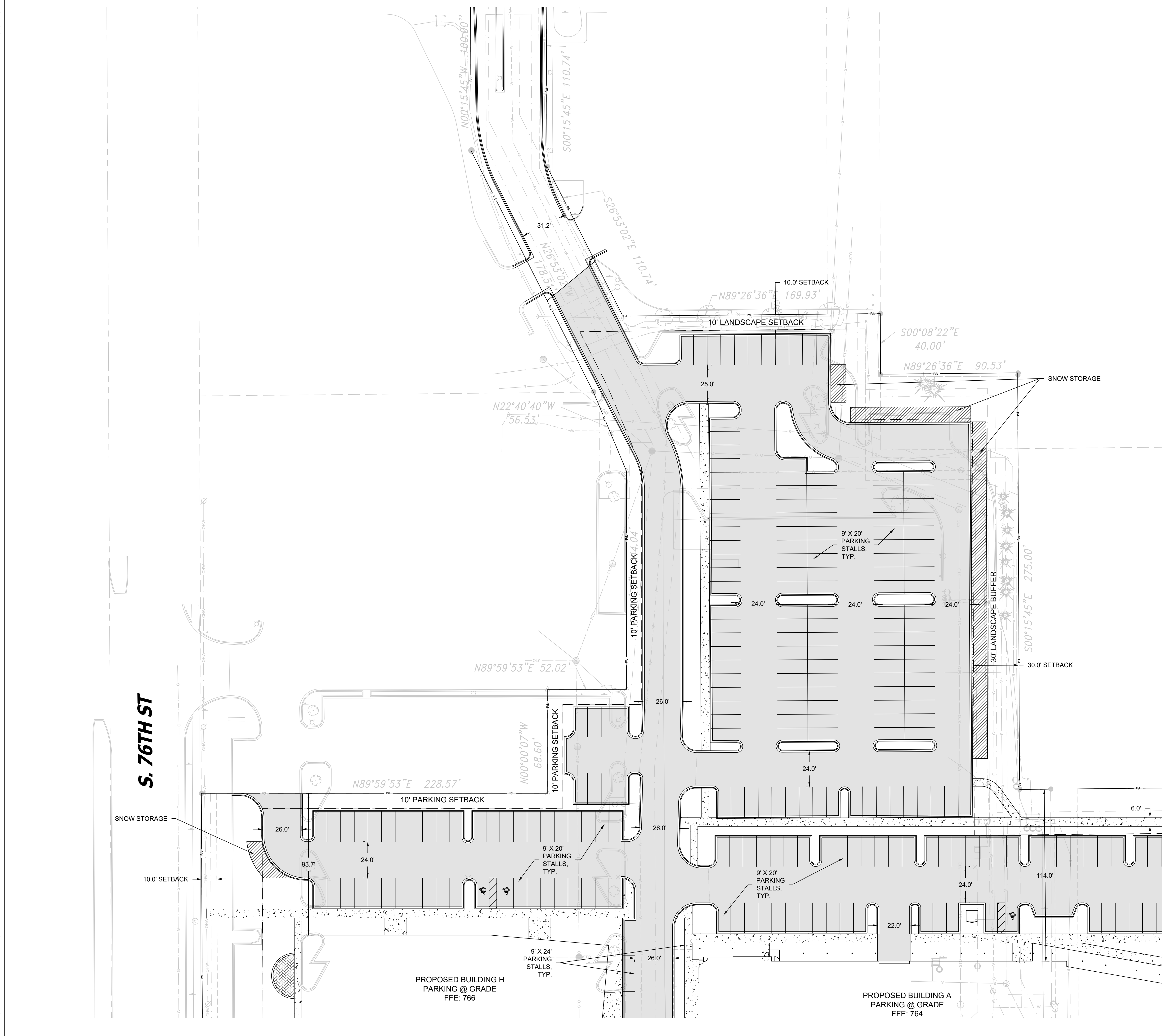
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C101**



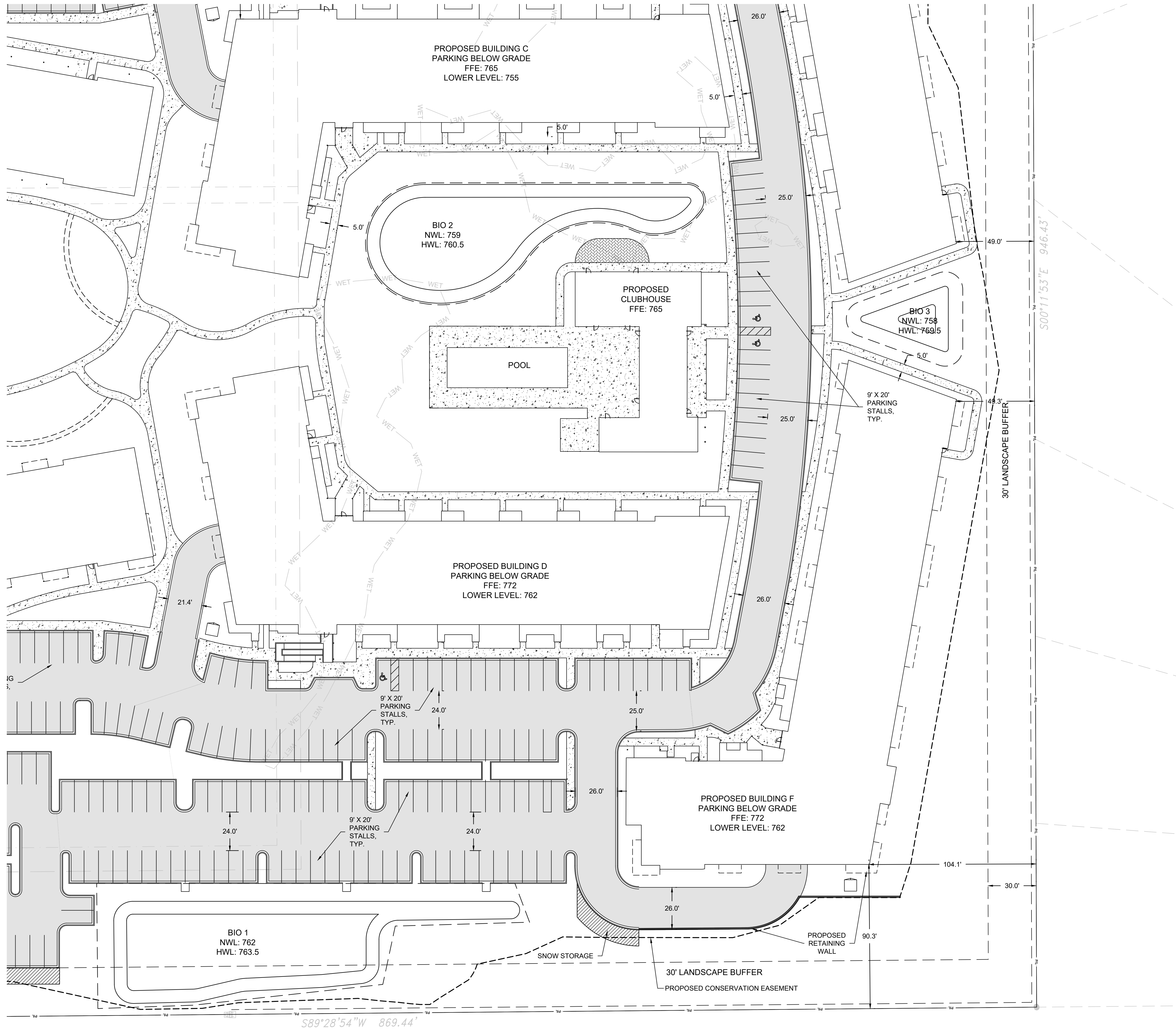










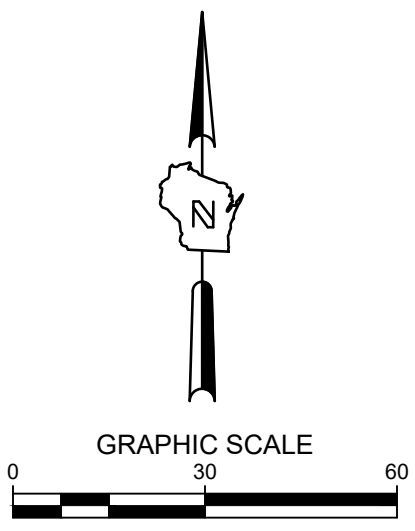


SITE INFORMATION			
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 Franklin, WI 53132  
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**LEGEND:**

	5' THICK CONCRETE WALK
	CONCRETE PAVEMENT
	ASPHALT SURFACE
	HEAVY-DUTY ASPHALT SURFACE
	MILL/PULVERIZE AND OVERLAY
	CURB & GUTTER (ACCEPT)
	CURB & GUTTER (REJECT)

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  7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WI STATUTE 182.0175(174)  
 REQUIRES MFL 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

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POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 SITE PLAN

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

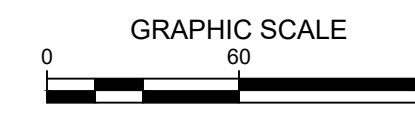
ISSUANCE DATE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

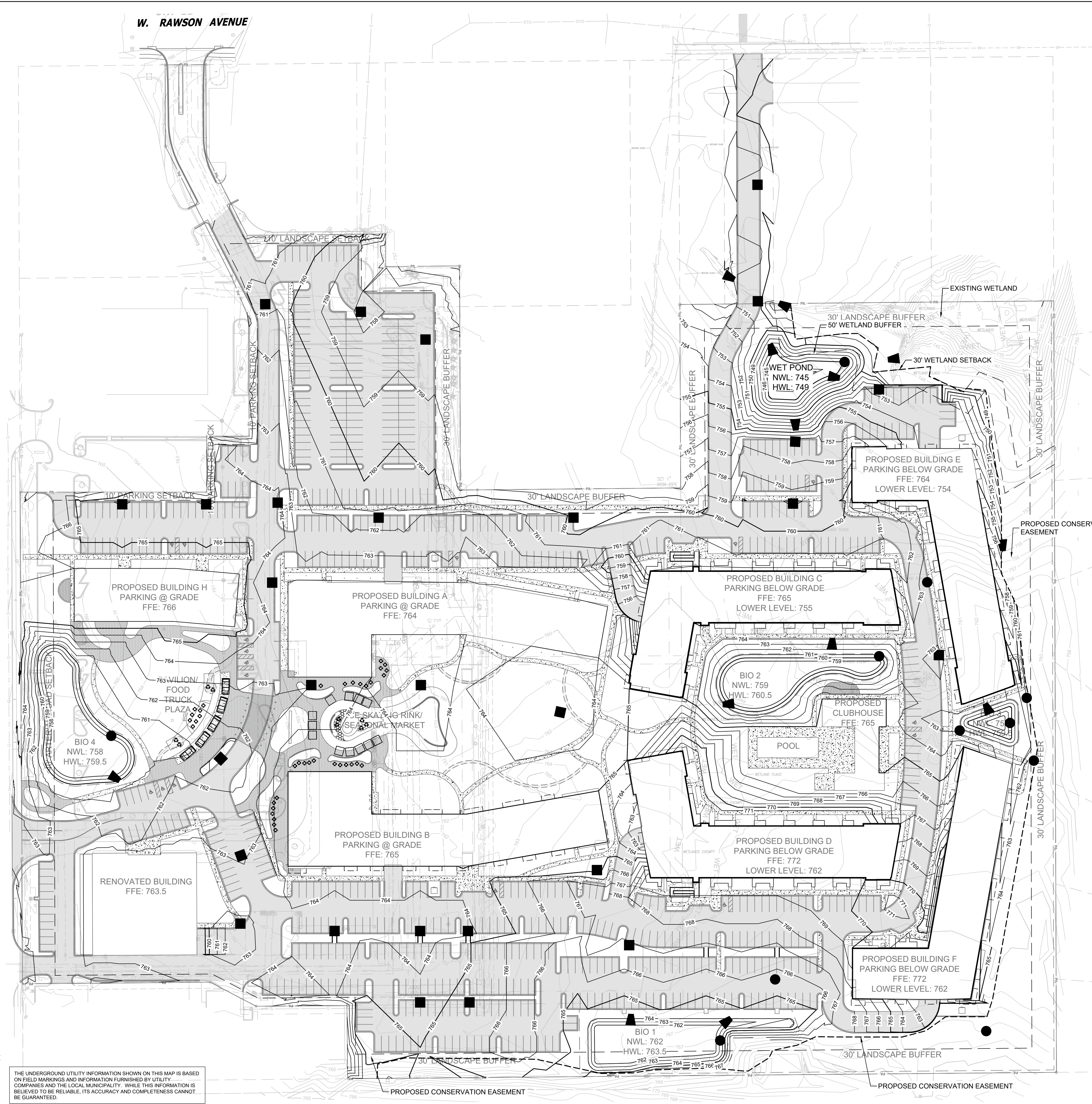
SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C104**





S. 76TH STREET CTH "U"



**LEGEND:**

	5" THICK CONCRETE WALK
	CONCRETE PAVEMENT
	ASPHALT SURFACE
	HEAVY-DUTY ASPHALT SURFACE
	MILL/PULVERIZE AND OVERLAY
	CURB & GUTTER (ACCEPT)
	CURB & GUTTER (REJECT)
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED CURB & GUTTER SPOT GRADE T/C: TOP OF CURB GRADE F/L: FLOW LINE CURB GRADE
	PROPOSED ASPHALT SPOT GRADE
	EXISTING SURFACE SPOT GRADE (MATCH)

- GENERAL NOTES:**
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  7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
OVERALL GRADING PLAN

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

ISSUANCE DATE	PLAN COMMISSION SUBMITTAL 12/11/23
---------------	------------------------------------

NO. REVISION	DATE
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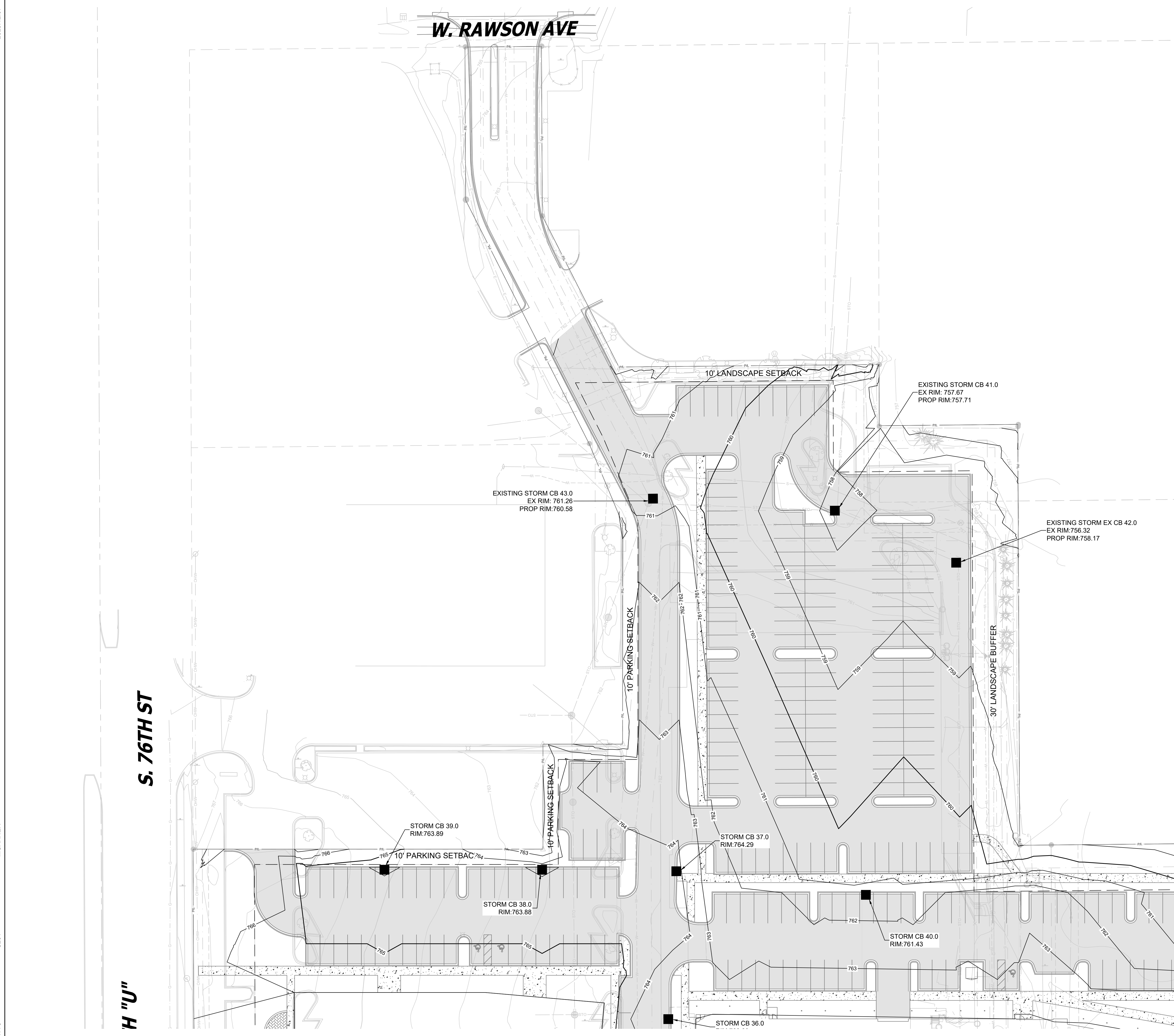
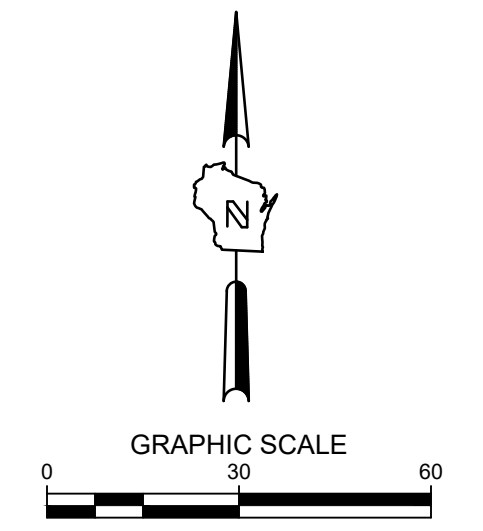
SCALE:	1"=60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	C200



CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
MS STATUTE 182.07(2)(97A)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE  
MILW. AREA 259-1181

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- LEGEND:**
- 5" THICK CONCRETE WALK
  - CONCRETE PAVEMENT
  - ASPHALT SURFACE
  - HEAVY-DUTY ASPHALT SURFACE
  - MILL/PULVERIZE AND OVERLAY
  - CURB & GUTTER (ACCEPT)
  - CURB & GUTTER (REJECT)
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED CURB & GUTTER SPOT GRADE  
T/C: TOP OF CURB GRADE  
FL: FLOW LINE CURB GRADE
  - PROPOSED ASPHALT SPOT GRADE
  - EXISTING SURFACE SPOT GRADE (MATCH)

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TO OBTAIN LOCATIONS OF PARTIAL UNDERGROUND FACILITIES BEFORE YOU EXCAVATE

CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE

WI STATUTE 182.07(5)(b)7(d)  
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE  
 MLW AREA 259-1181

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POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 GRADING PLAN

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

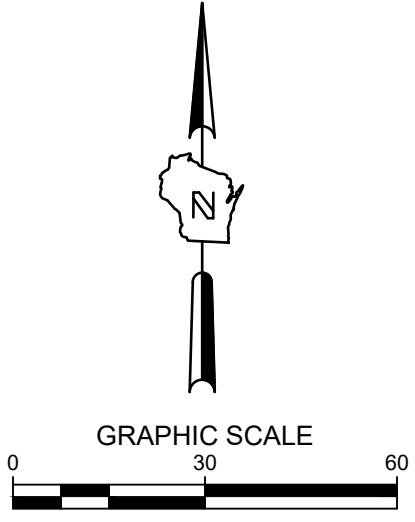
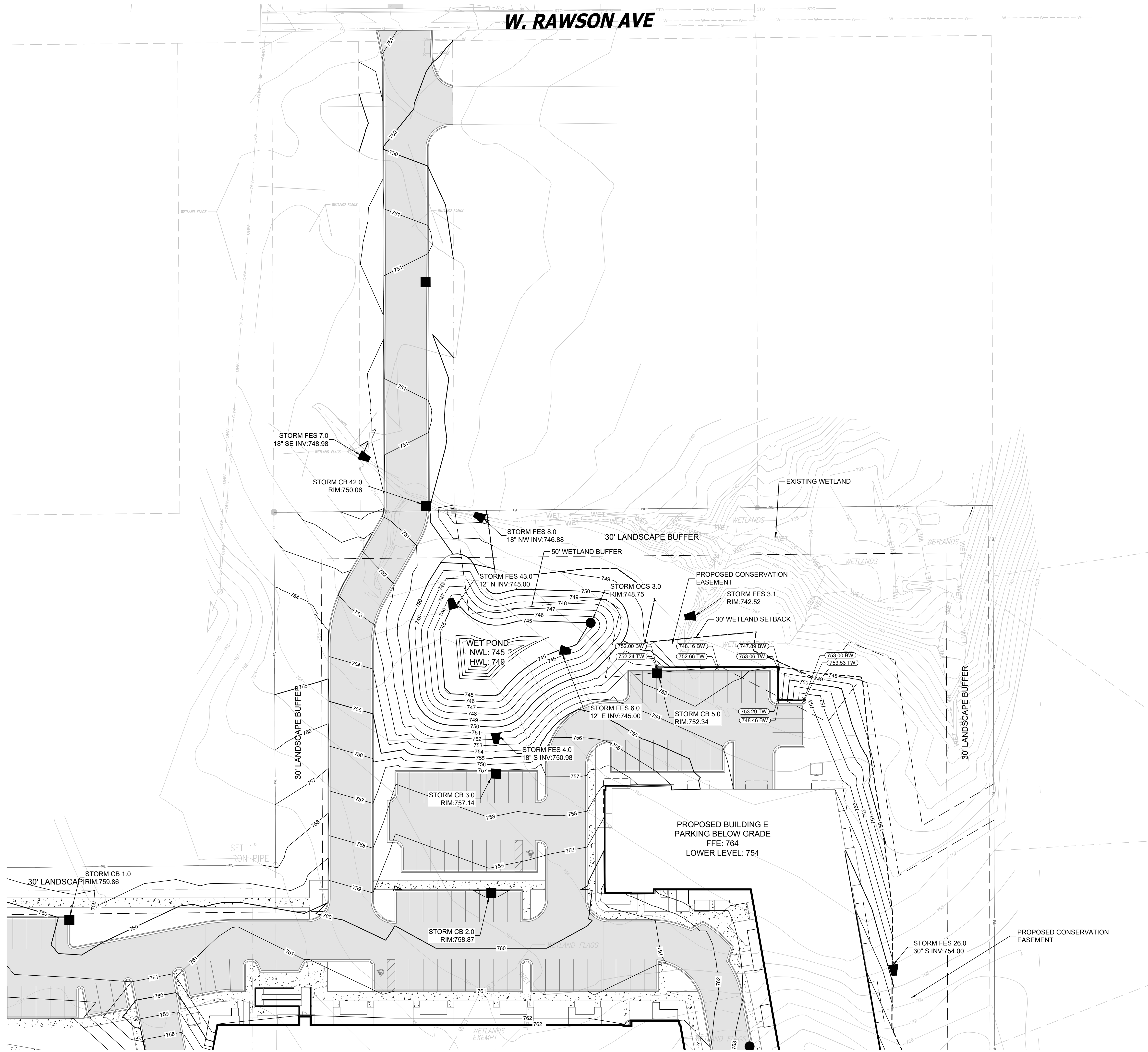
NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C201**



# W. RAWSON AVE



- LEGEND:**
- 5" THICK CONCRETE WALK
  - CONCRETE PAVEMENT
  - ASPHALT SURFACE
  - HEAVY-DUTY ASPHALT SURFACE
  - MILL/PULVERIZE AND OVERLAY
  - CURB & GUTTER (ACCEPT)
  - CURB & GUTTER (REJECT)
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED CURB & GUTTER SPOT GRADE  
T/C: TOP OF CURB GRADE  
F/L: FLOW LINE CURB GRADE
  - PROPOSED ASPHALT SPOT GRADE
  - EXISTING SURFACE SPOT GRADE (MATCH)

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CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WIS. STATUTE 94.07(2)(b) REQUIRES 3 WORK DAYS NOTICE BEFORE YOU DIG ANYWHERE  
 MIL. AREA 259-1181

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**POTHS GENERAL DEVELOPMENT**  
**76TH AND RAWSON**  
**FRANKLIN, WI 53132**  
**GRADING PLAN**

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

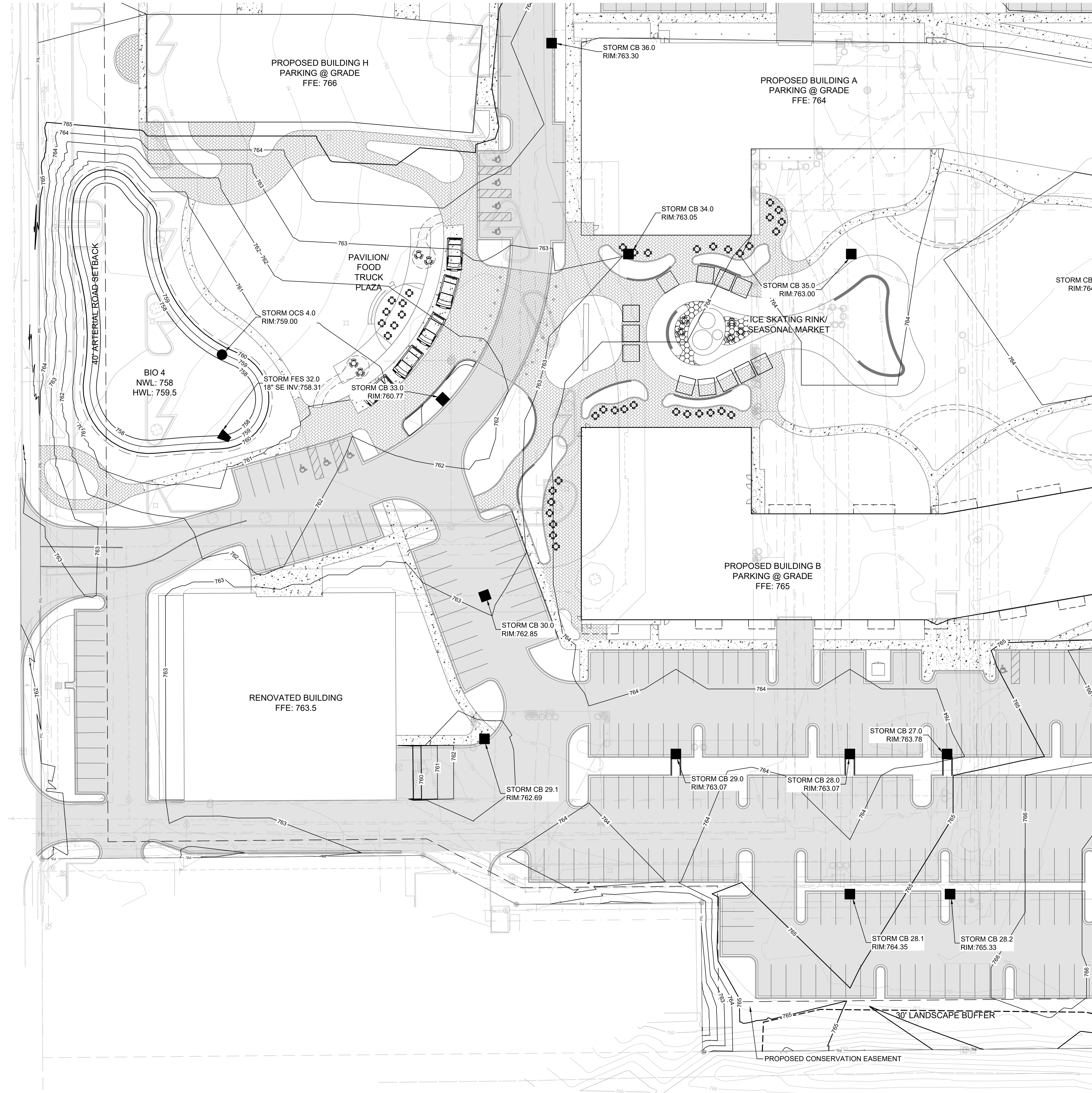
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	C202

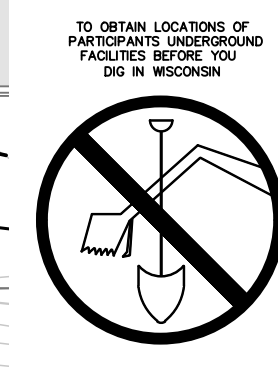


S. 76TH STREET CTH "U"



- LEGEND:**
- 5" THICK CONCRETE WALK
  - CONCRETE PAVEMENT
  - ASPHALT SURFACE
  - HEAVY-DUTY ASPHALT SURFACE
  - MILL/PULVERIZE AND OVERLAY
  - CURB & GUTTER (ACCEPT)
  - CURB & GUTTER (REJECT)
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED CURB & GUTTER SPOT GRADE  
T/C: TOP OF CURB GRADE  
F/L: FLOW LINE CURB GRADE
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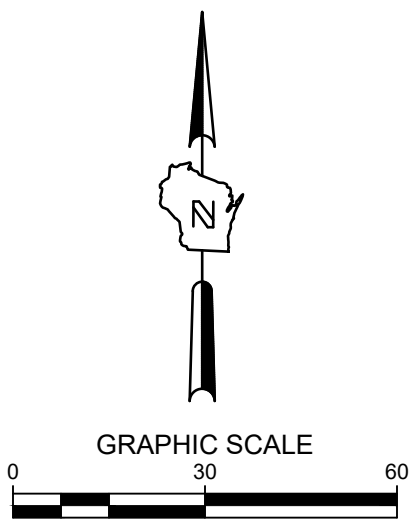
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WS STATUTE 182.0175(194)  
REQUIRES MR. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE  
MILW. AREA 259-1181

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**THE SIGMA GROUP**  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

**LAND by LABEL**  
7044 South Ballpark Drive Suite 305  
Franklin, WI 53132  
Phone: 414-285-3470



POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
GRADING PLAN

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

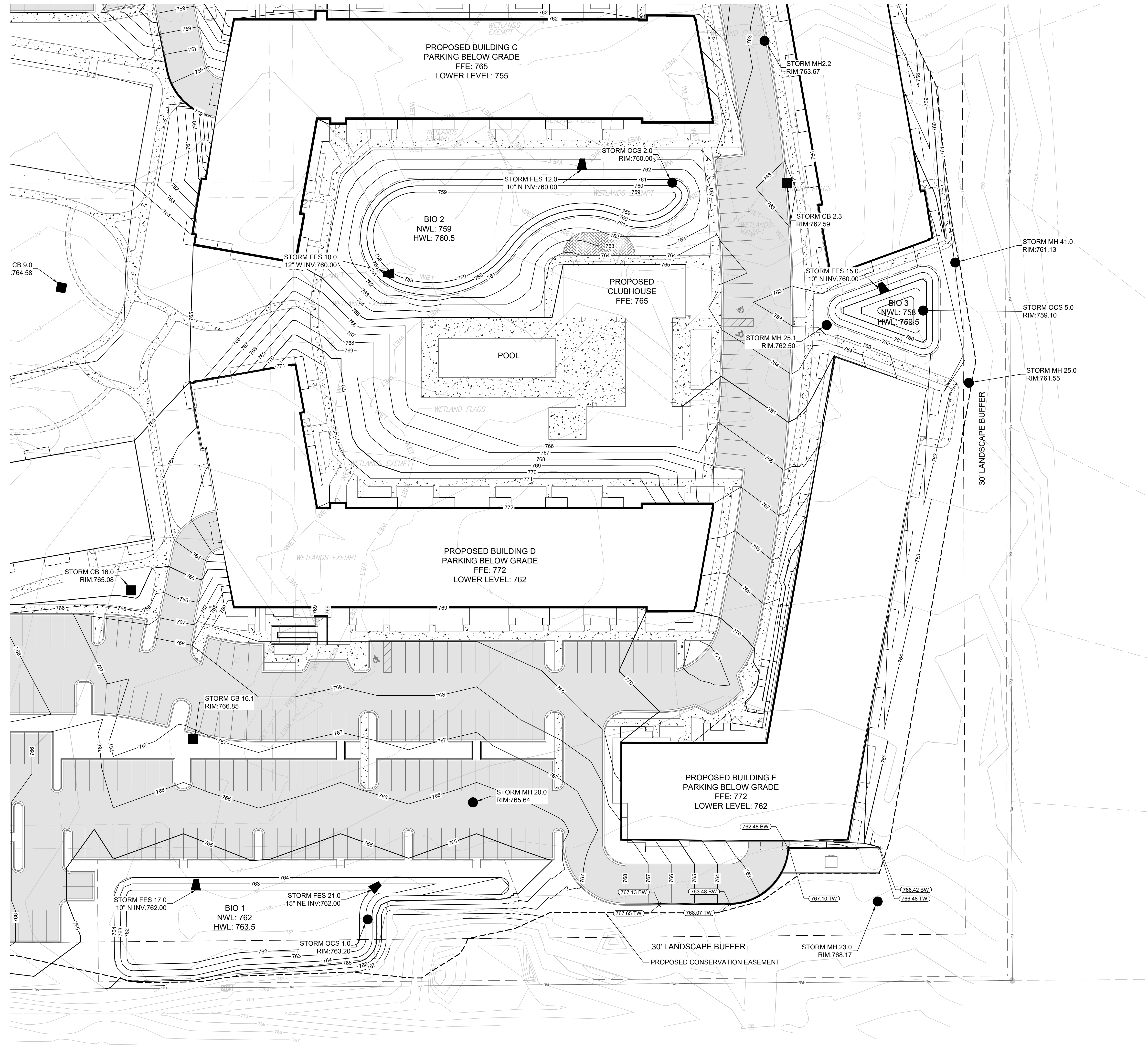
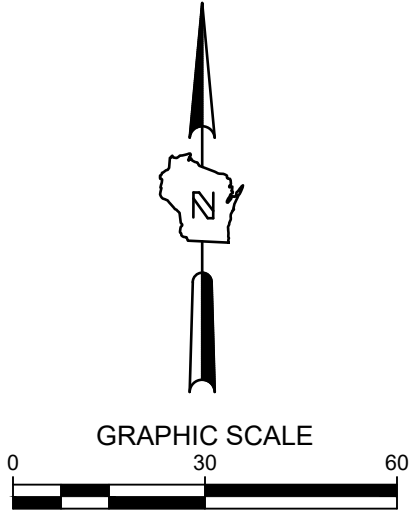
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C203**





- LEGEND:**
- 5" THICK CONCRETE WALK
  - CONCRETE PAVEMENT
  - ASPHALT SURFACE
  - HEAVY-DUTY ASPHALT SURFACE
  - MILL/PULVERIZE AND OVERLAY
  - CURB & GUTTER (ACCEPT)
  - CURB & GUTTER (REJECT)
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED CURB & GUTTER SPOT GRADE  
T/C: TOP OF CURB GRADE  
F/L: FLOW LINE GRADE
  - PROPOSED ASPHALT SPOT GRADE
  - EXISTING SURFACE SPOT GRADE (MATCH)

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  - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
  - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
  - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



CALL DIGGERS' HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WE STATUTE 183.07(2)(187A)  
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 MILW. AREA 259-1181

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**POTHS GENERAL DEVELOPMENT**  
**76TH AND RAWSON**  
**FRANKLIN, WI 53132**  
**GRADING PLAN**

**PRELIMINARY**  
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**CONSTRUCTION**

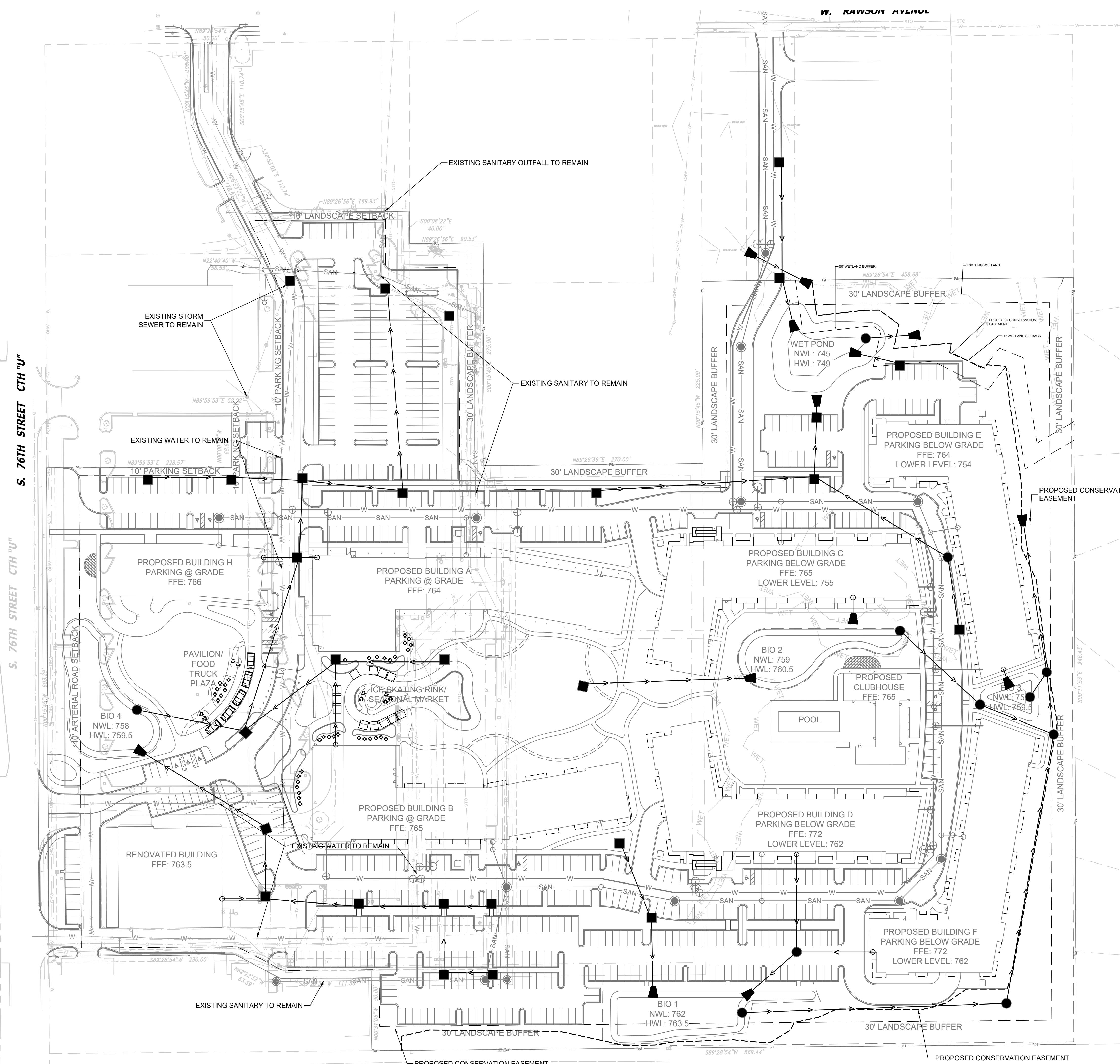
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
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DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO: **C204**





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**LEGEND:**

- W — PROPOSED WATER SERVICE
- SAN — PROPOSED SANITARY SERVICE
- PROPOSED STORM SEWER
- W — EXISTING WATER SERVICE
- SAN — EXISTING SANITARY SERVICE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- ▲ PROPOSED FLARED END SECTION
- PROPOSED SANITARY MANHOLE

**GRAPHIC SCALE**  
 0 50 100

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**TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES REFER TO DIS IN WISCONSIN**

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 TOLL FREE  
 WS STATUTE 182.0176(1974)  
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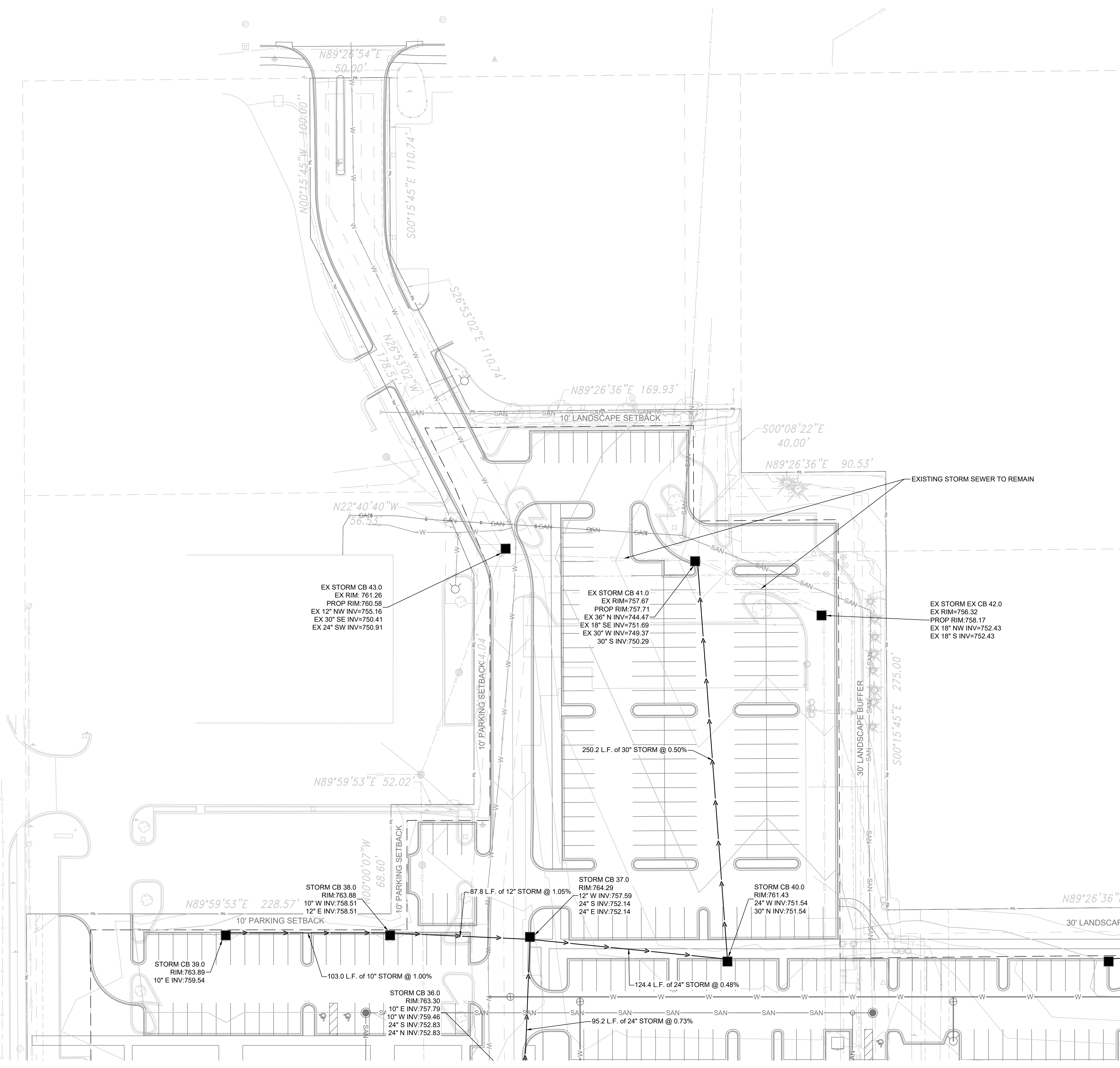
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23
NO. REVISION	DATE
SCALE:	1"=60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	<b>C300</b>

**POTHS GENERAL DEVELOPMENT**  
**76TH AND RAWSON**  
**FRANKLIN, WI 53132**  
**OVERALL UTILITY PLAN**

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

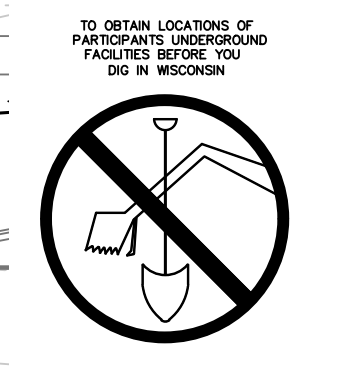


S. 76TH STREET CTH "U"



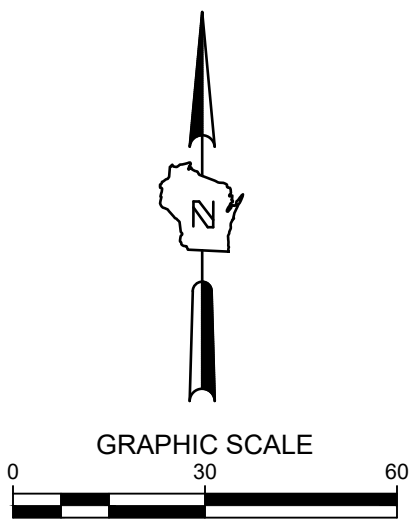
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WI STATUTE 182.017(5)(1974)  
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POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 UTILITY PLAN - STORM SEWER

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

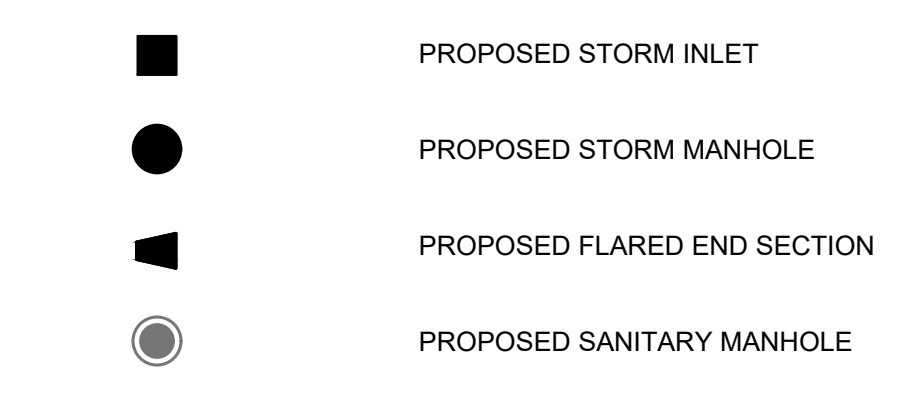
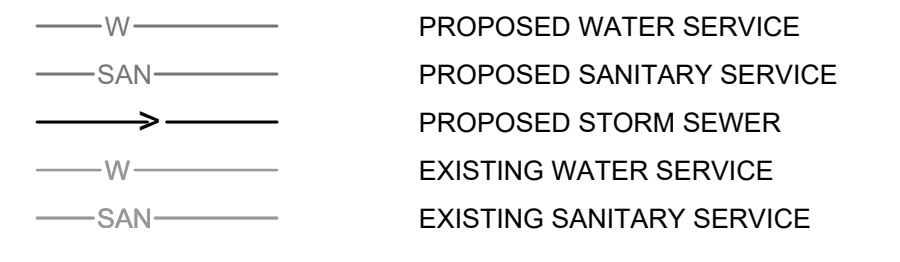
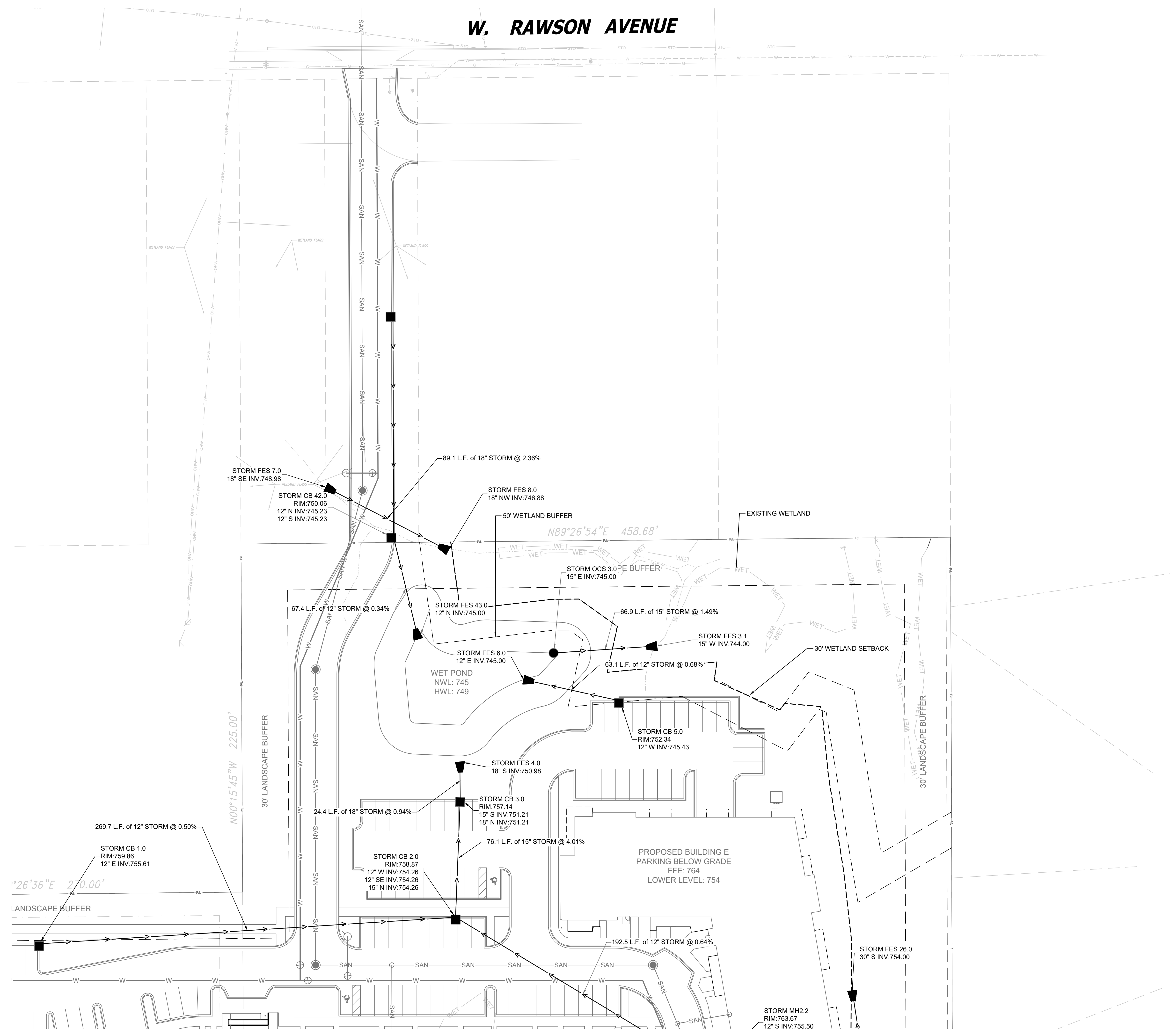
NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C301**



# W. RAWSON AVENUE



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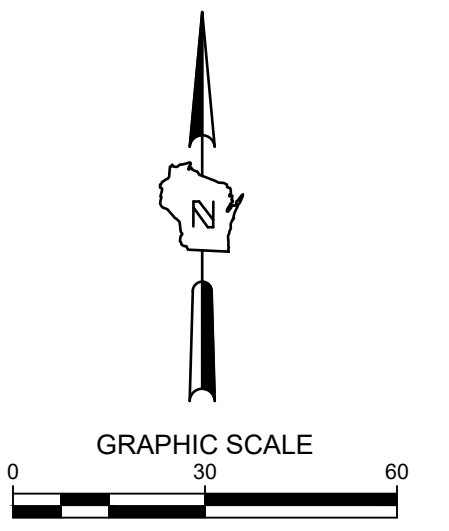


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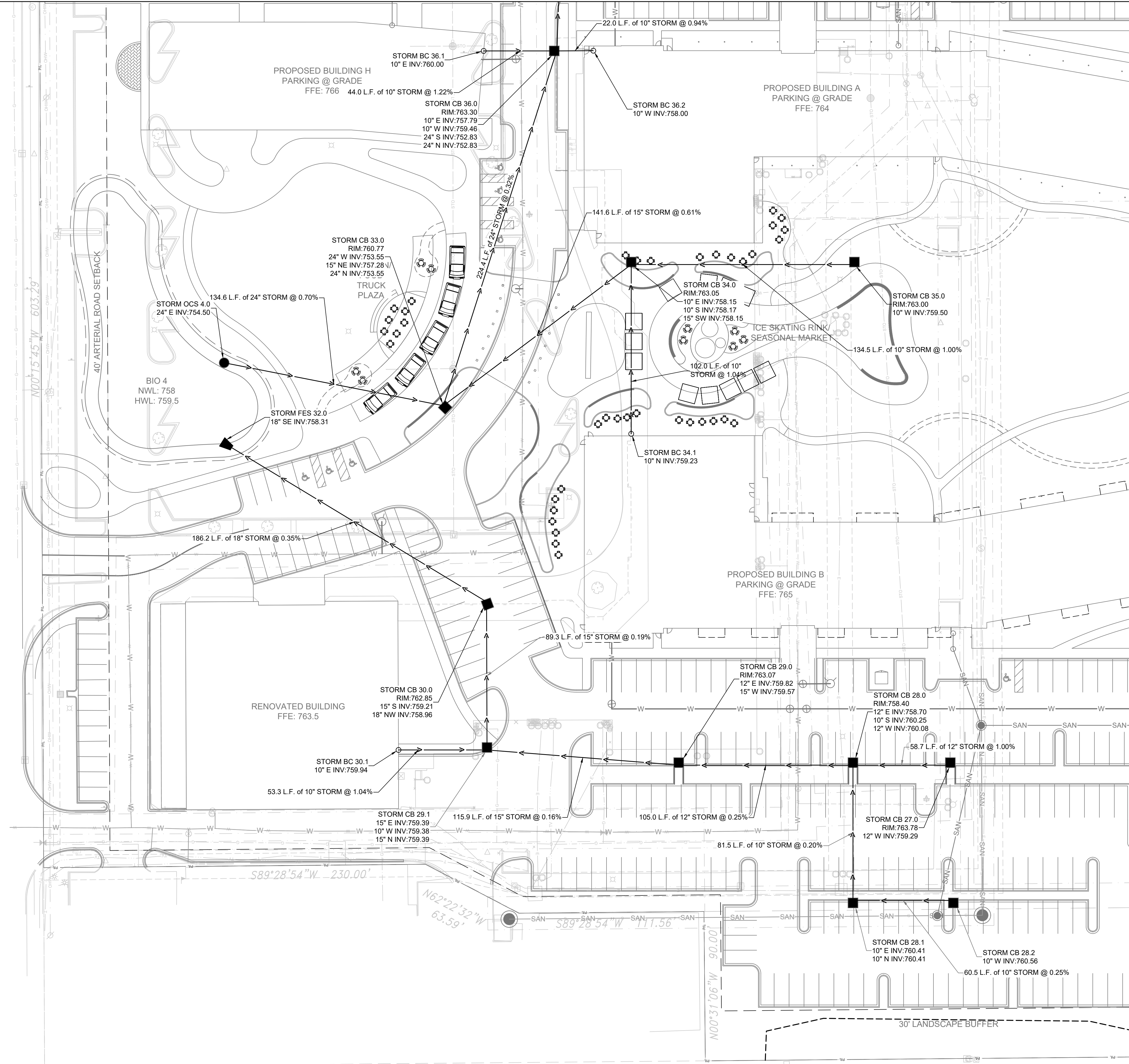
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DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C302**



S. 76TH STREET CTH "U"



**LEGEND:**

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- SAN — PROPOSED SANITARY SERVICE
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TOLL FREE

WE STATUTE 182.01(9)(b)7(d)  
REQUIRES 3 WORK DAYS  
NOTICE BEFORE YOU DIG ANY  
MIL.W. AREA 259-1181

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7044 South Ballpark Drive Suite 305  
Franklin, WI 53132  
Phone: 414-285-3470

GRAPHIC SCALE  
0 30 60

POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
UTILITY PLAN - STORM SEWER

PRELIMINARY  
NOT FOR  
CONSTRUCTION

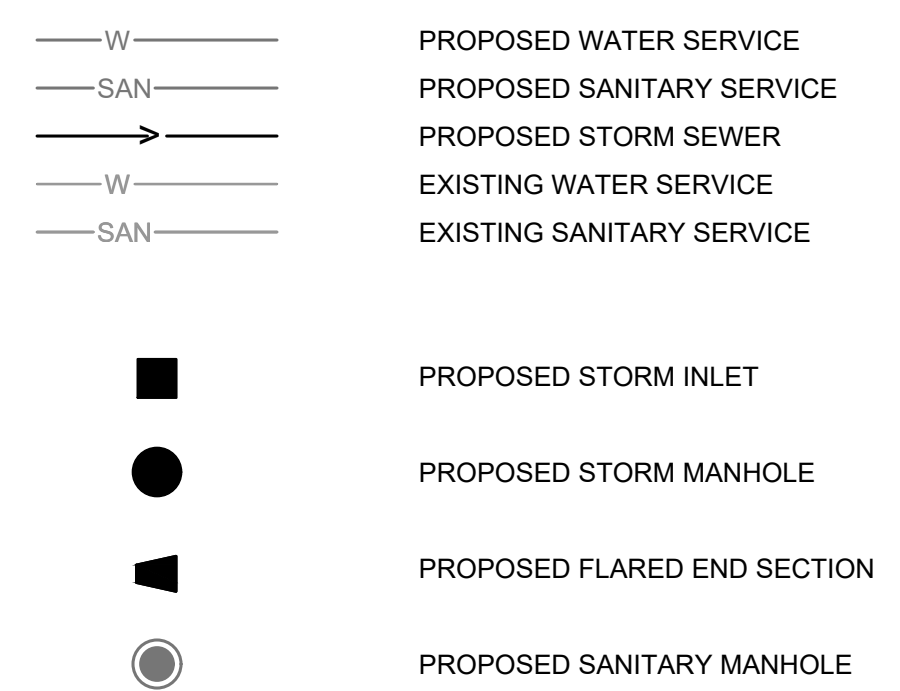
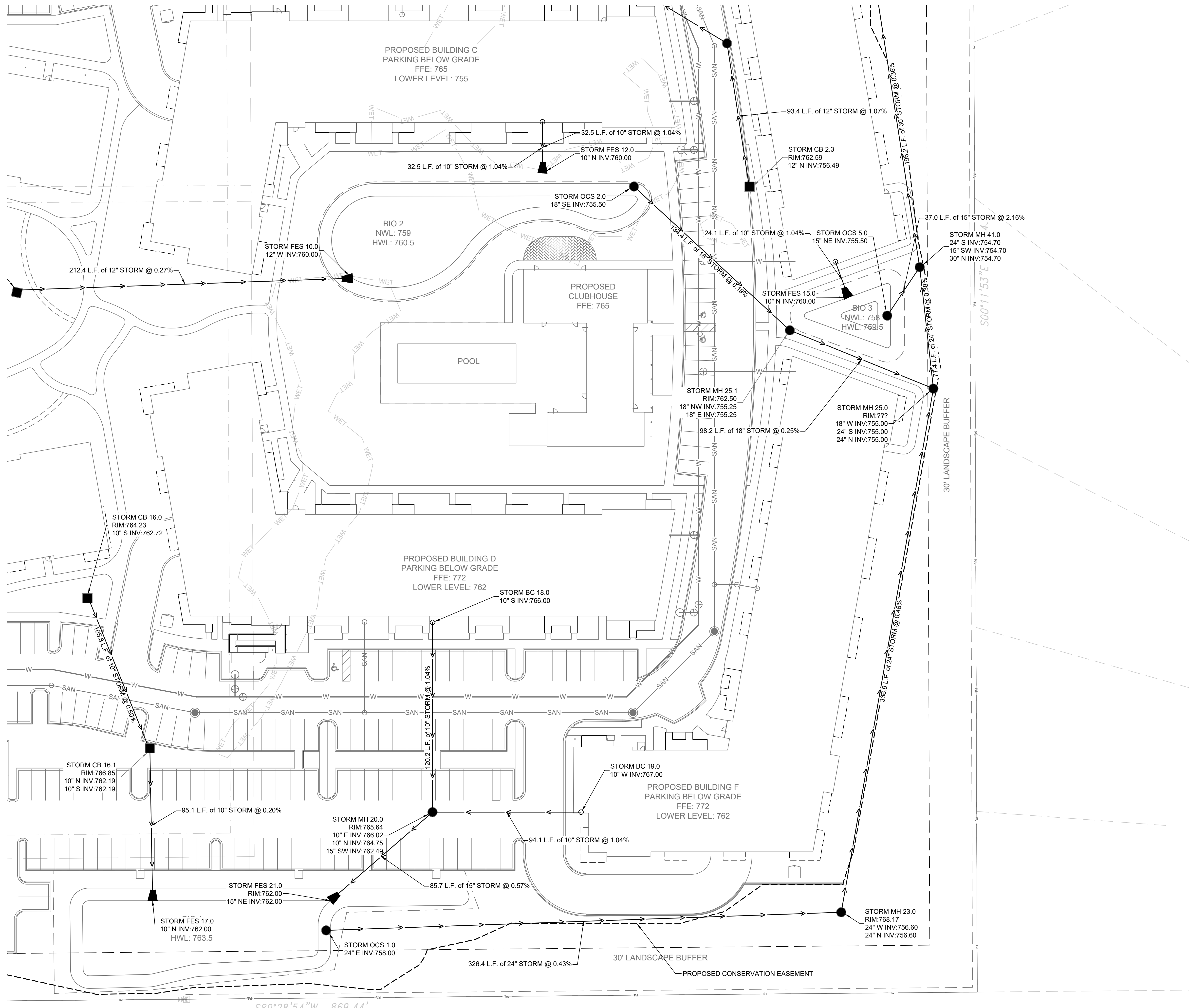
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**C303**



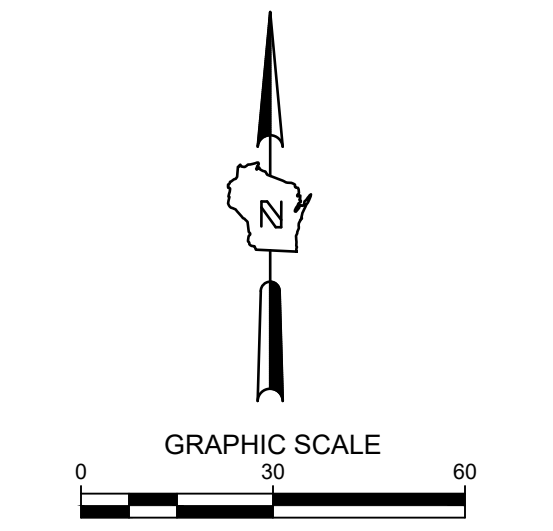


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**FRANKLIN, WI 53132**  
**UTILITY PLAN - STORM SEWER**

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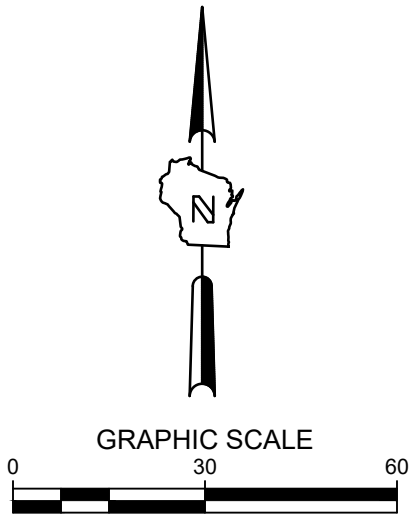
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APPROVED BY:	CTC

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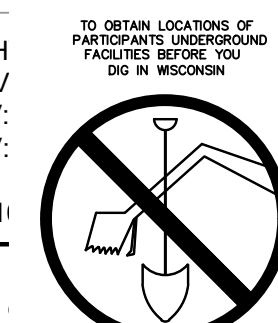
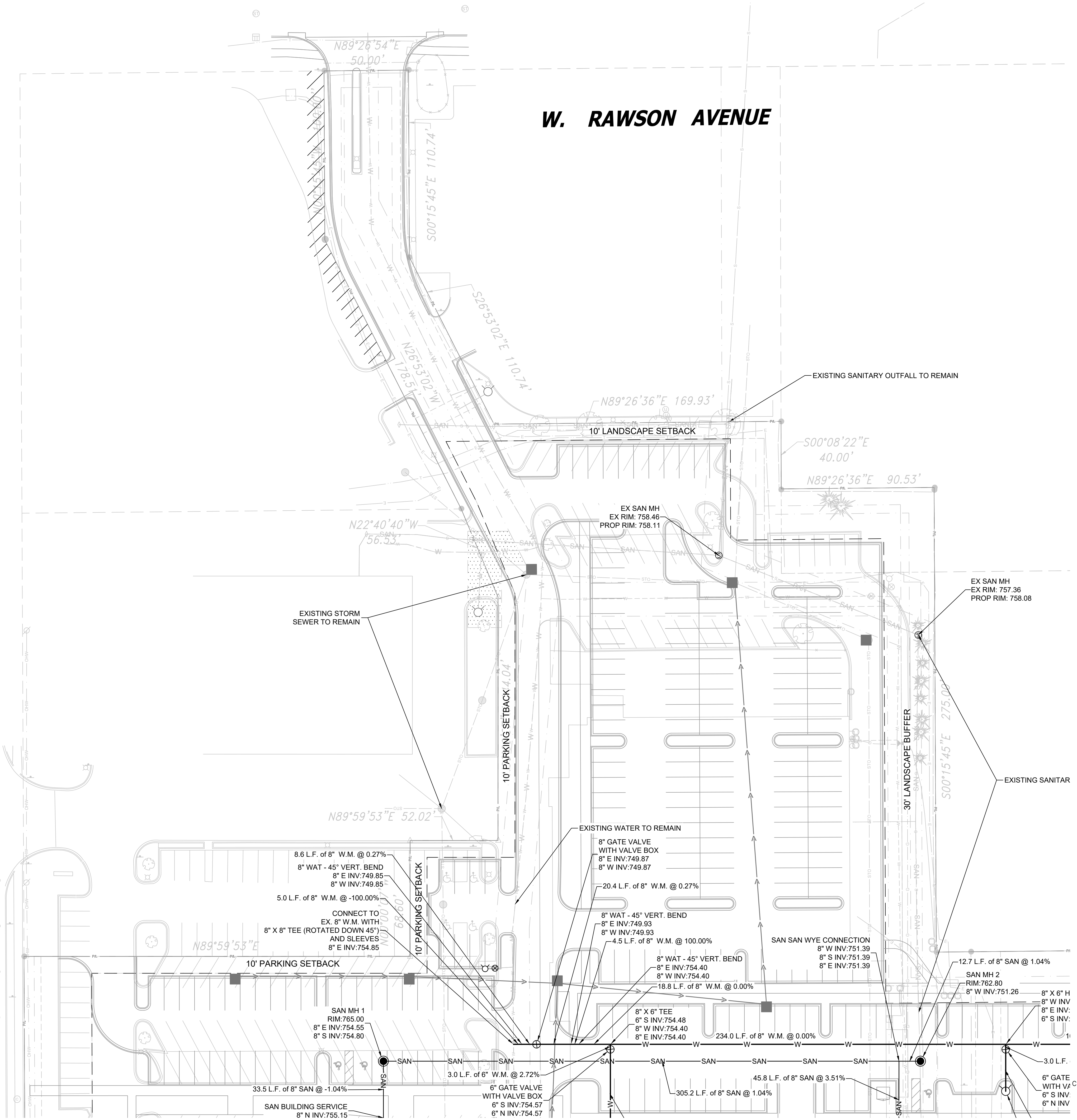


**S. 76TH STREET CTH "U"**

**W. RAWSON AVENUE**

- LEGEND:**
- W — PROPOSED WATER SERVICE
  - SAN — PROPOSED SANITARY SERVICE
  - S — PROPOSED STORM SEWER
  - - W - - - EXISTING WATER SERVICE
  - - SAN - - - EXISTING SANITARY SERVICE
  - PROPOSED STORM INLET
  - PROPOSED STORM MANHOLE
  - ▲ PROPOSED FLARED END SECTION
  - PROPOSED SANITARY MANHOLE

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REQUIRES MIN. 3 WORK DAYS  
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MIL.W. AREA 259-1181

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CHECKED BY:	JL
APPROVED BY:	CTC

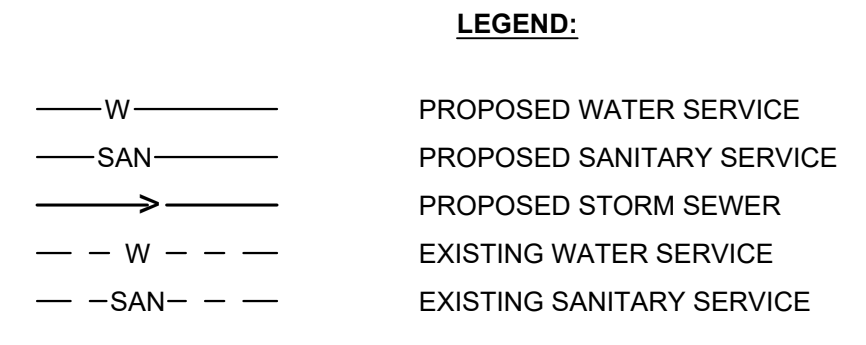
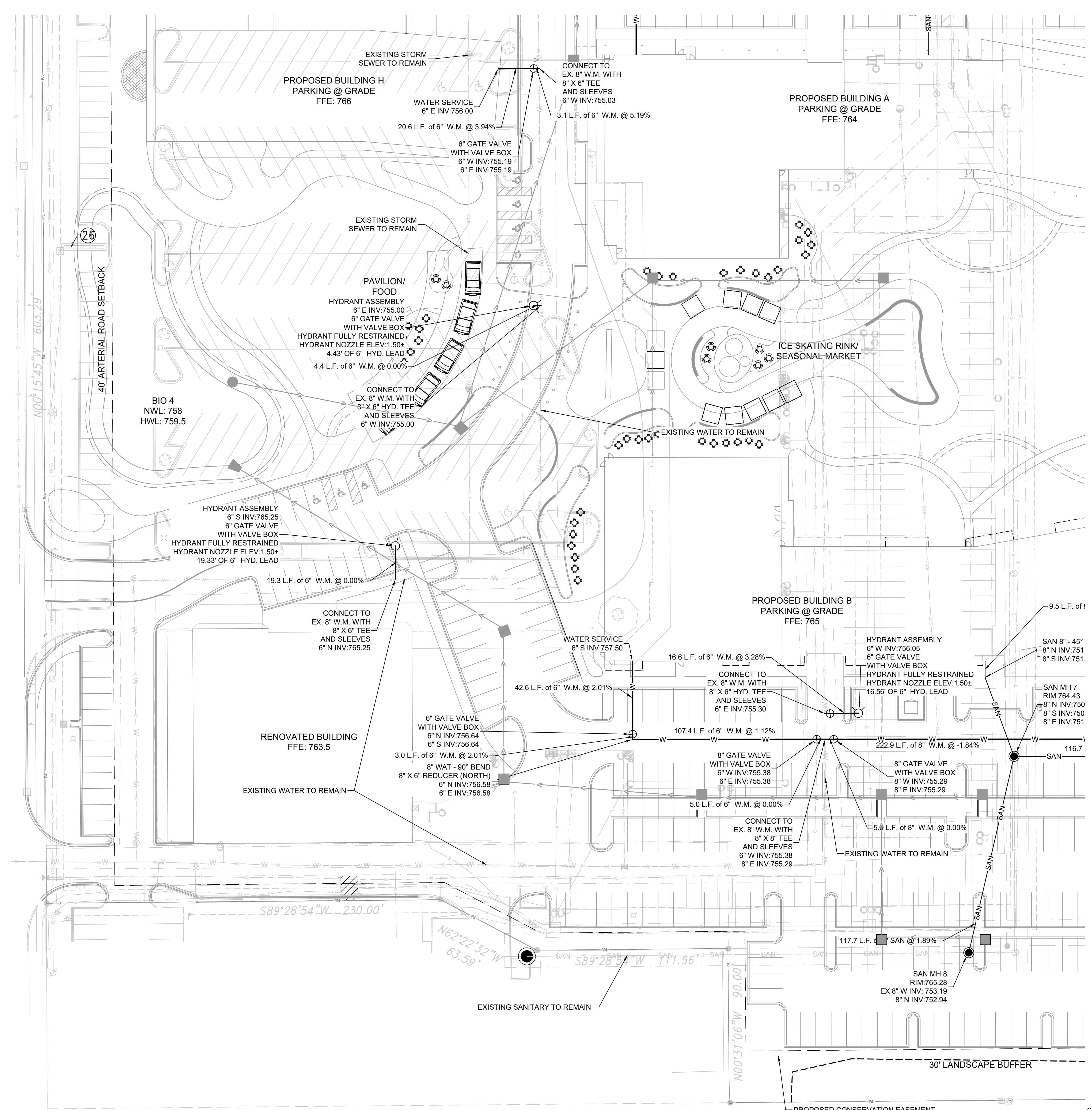
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S. 76TH STREET CTH "U"



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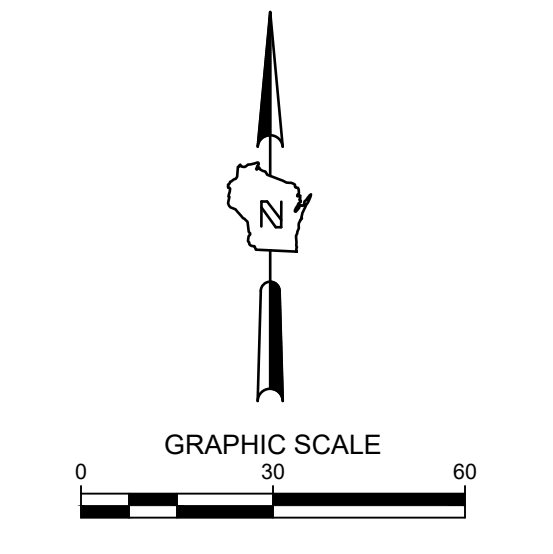
WI STATUTE 182.017(9)(174)  
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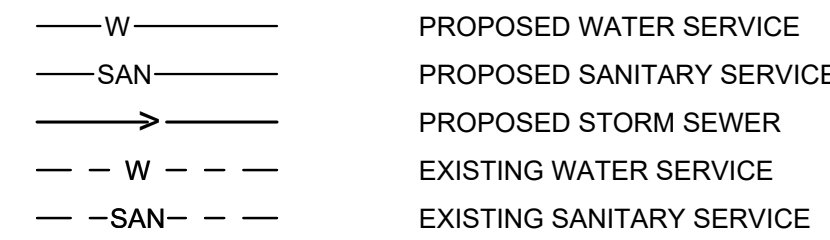
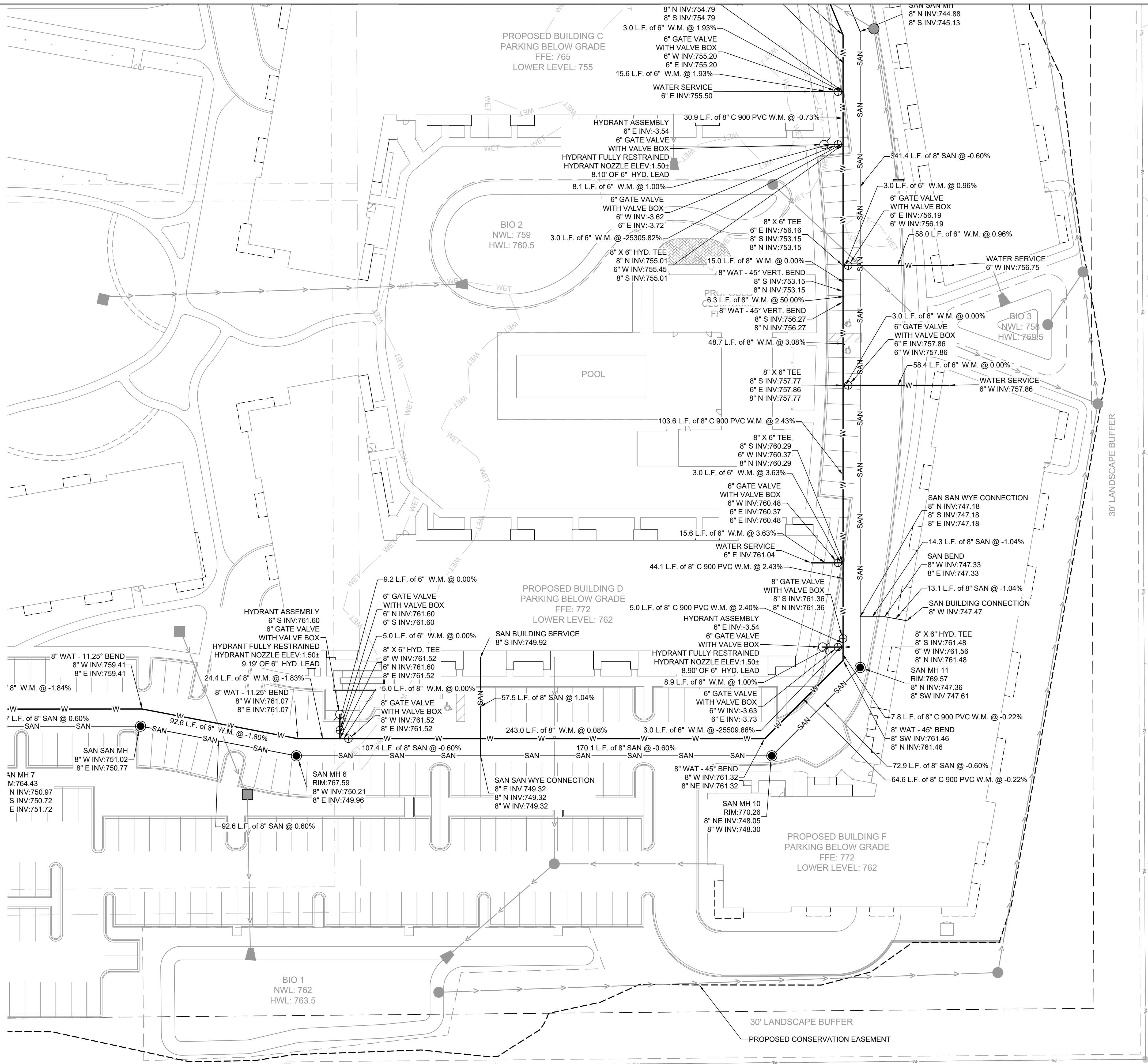
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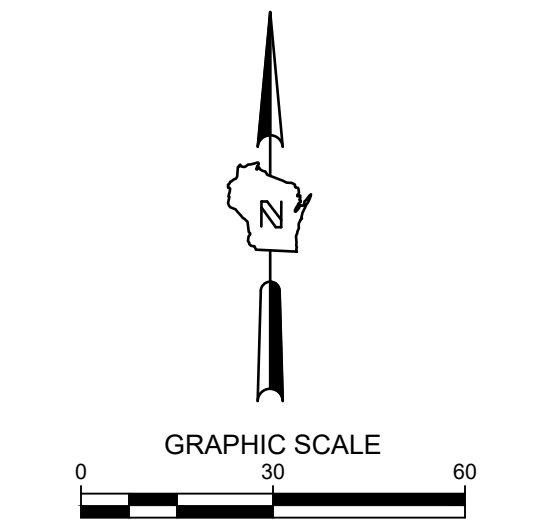


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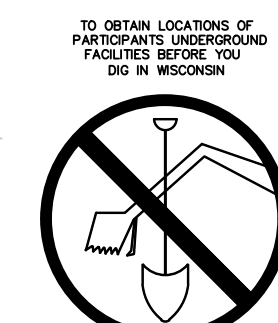
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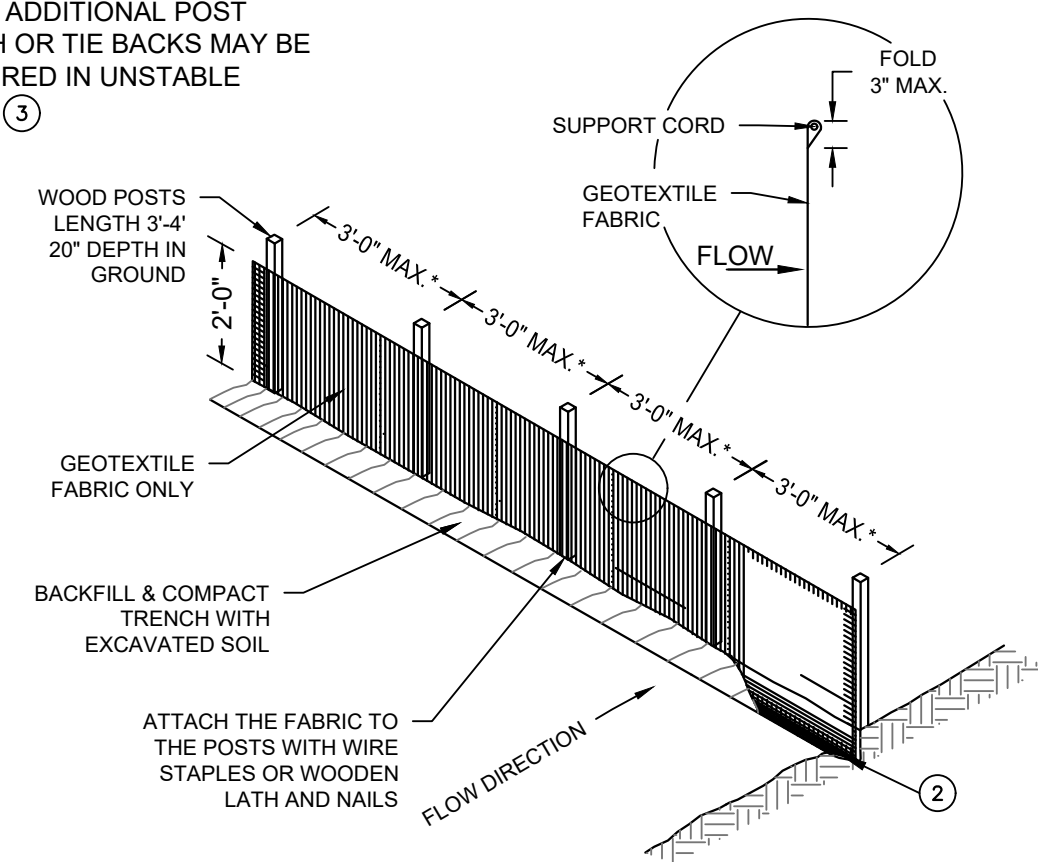


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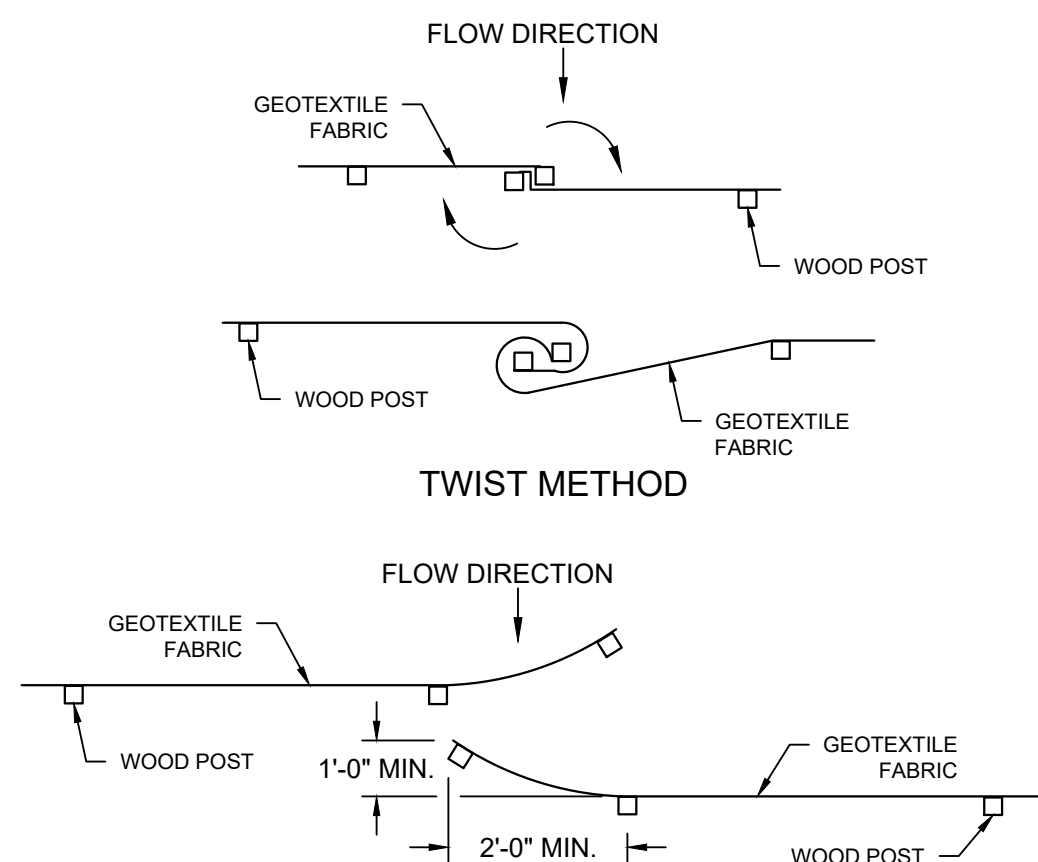
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NOTE: ADDITIONAL POST DEPTH OR THE BACKS MAY BE REQUIRED IN UNSTABLE SOILS (3)

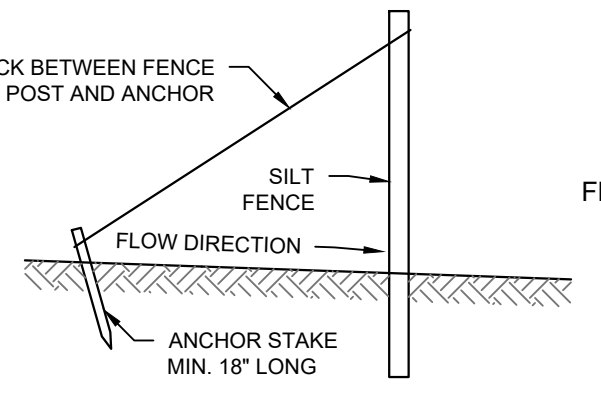


SILT FENCE

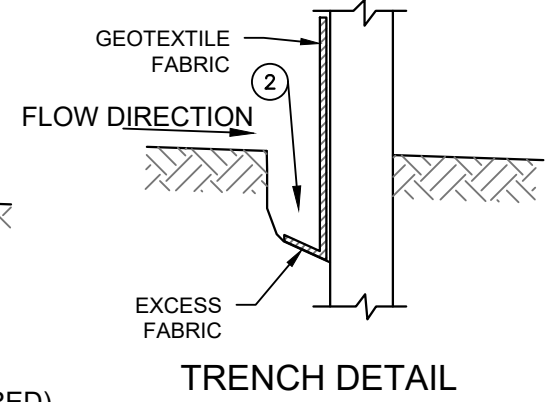


HOOK METHOD JOINING TWO LENGTHS OF SILT FENCE (5)

\* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



TRENCH DETAIL

GENERAL NOTES

- 1. HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/32" X 1-1/32" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
6. SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

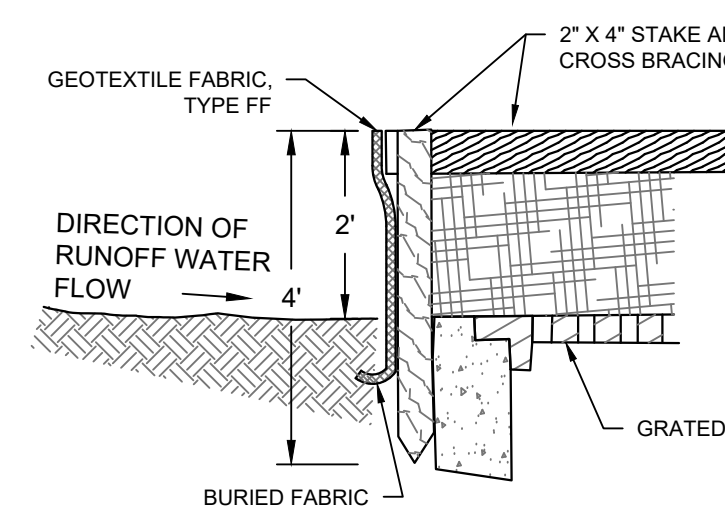
A SILT FENCE - WDNR TS-1056 SCALE: NTS

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

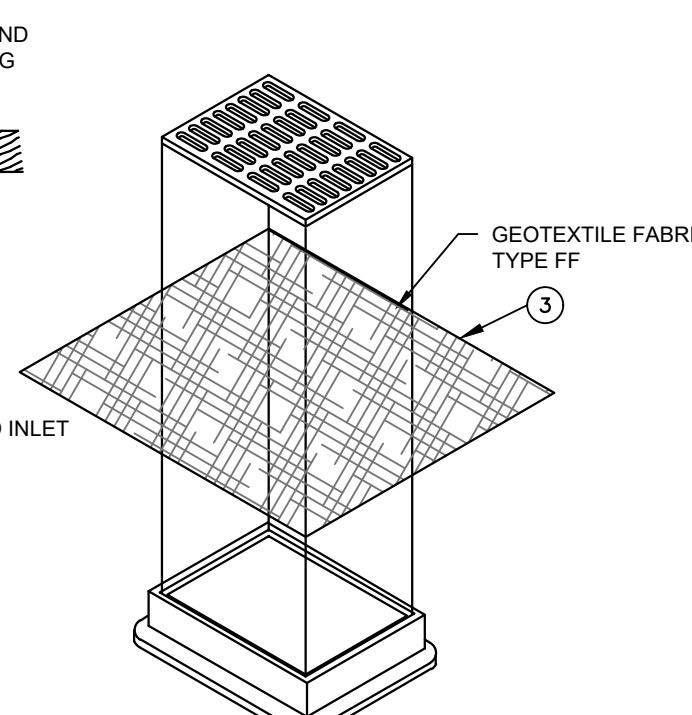
- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCING AND INLET PROTECTION.
3. INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
4. STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
5. CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
6. CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
7. INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
8. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
9. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
10. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
11. INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
12. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
13. STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
14. REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
15. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

EROSION CONTROL NOTES:

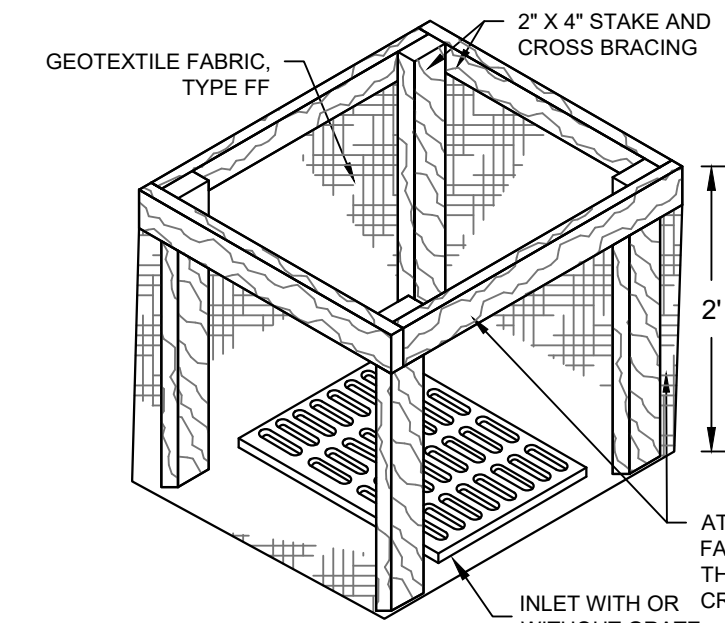
- 1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
8. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
9. SITE DEWATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
10. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY OF FRANKLIN, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
12. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
13. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
14. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
15. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
16. NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
17. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
18. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
19. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
20. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
21. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
22. WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
23. CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
24. PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
25. IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY



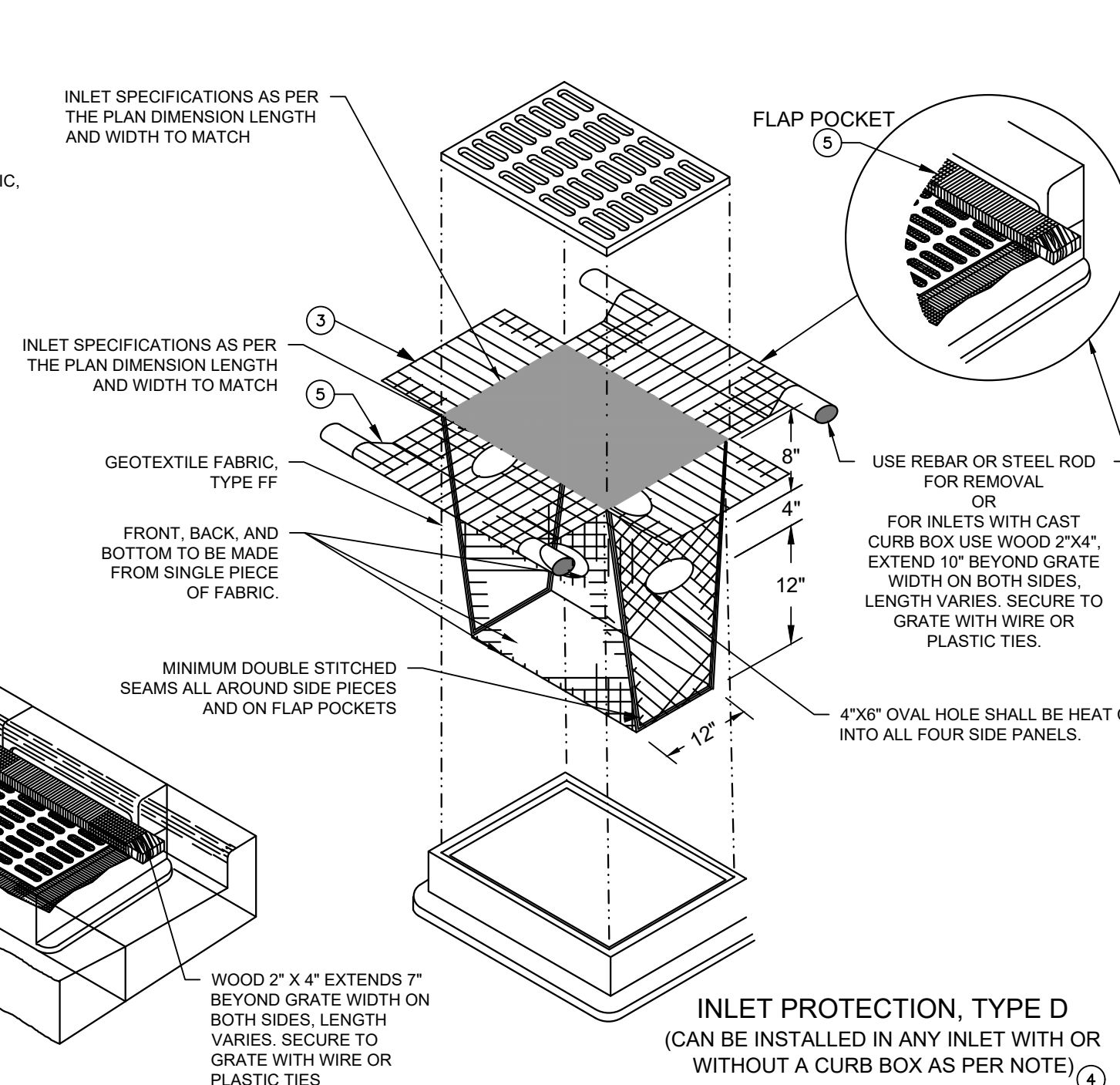
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B (WITHOUT CURB BOX) (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE D (CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE) (4)

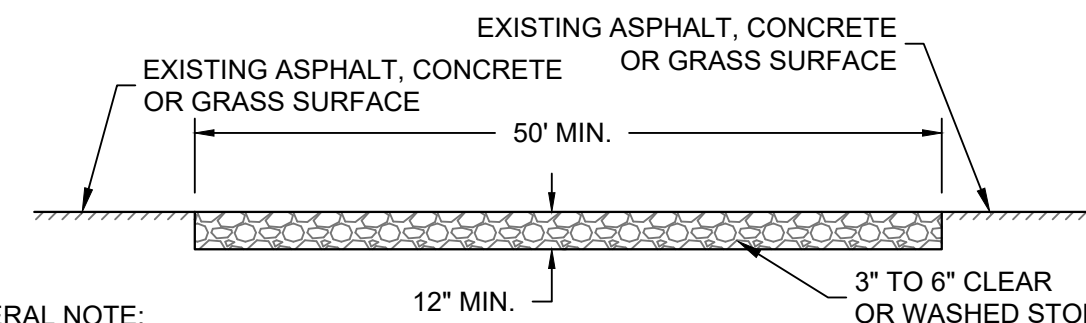
GENERAL NOTES:

- 1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
6. INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060
7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

INSTALLATION NOTES:

- TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

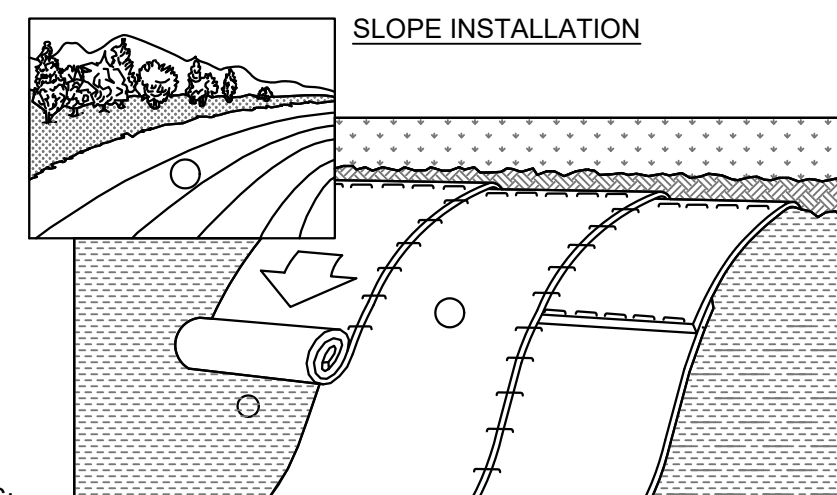
B INLET PROTECTION - WDNR TS-1060 SCALE: NTS



GENERAL NOTE:

- 1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

C CONSTRUCTION ENTRANCE - WDNR TS-1057 SCALE: NTS



NOTES:

- 1. ECRMs (EROSION CONTROL REVEGETATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
2. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
3. TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
4. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.
5. EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
6. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7. WHERE A TRM IS INSTALLED, THE TRM LOCATION SHALL BE AS-BUILT PRIOR TO PLACEMENT OF TOPSOIL AND ECRM PLACEMENT. PROVIDE AS-BUILT LOCATION TO THE ENGINEER.

D EROSION MATTING - WDNR TS-1052 SCALE: NTS

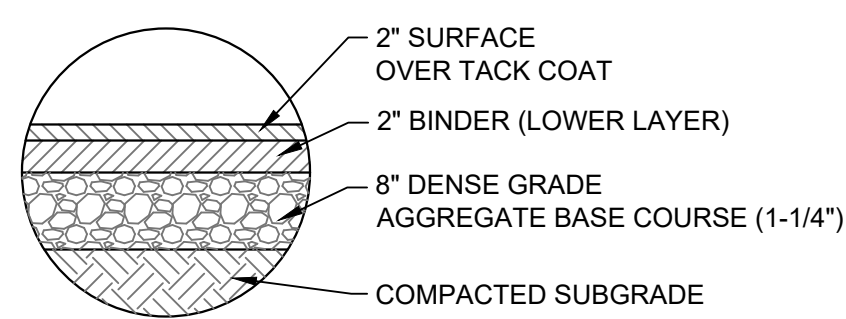
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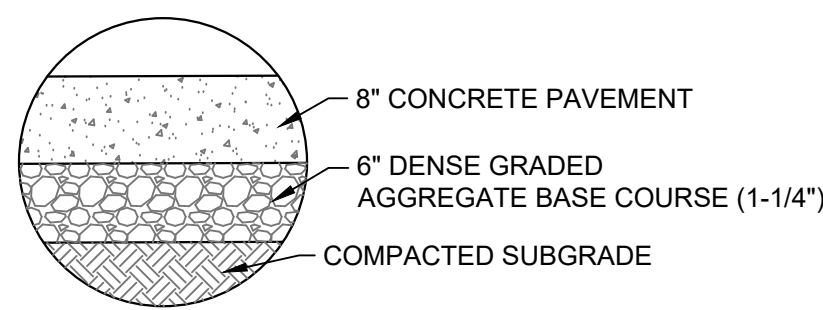
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Table with 2 columns: SCALE, PROJECT NO., DESIGN DATE, PLOT DATE, DRAWN BY, CHECKED BY, APPROVED BY, SHEET NO.

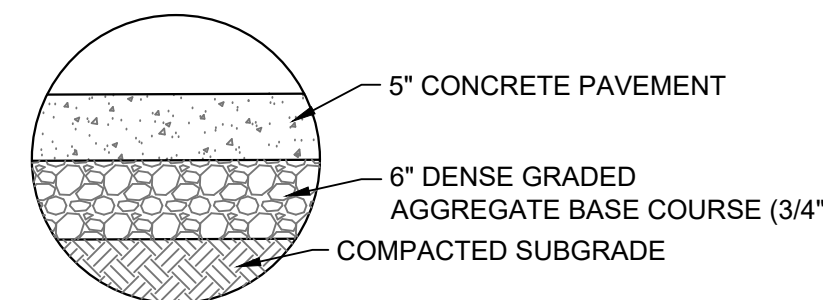




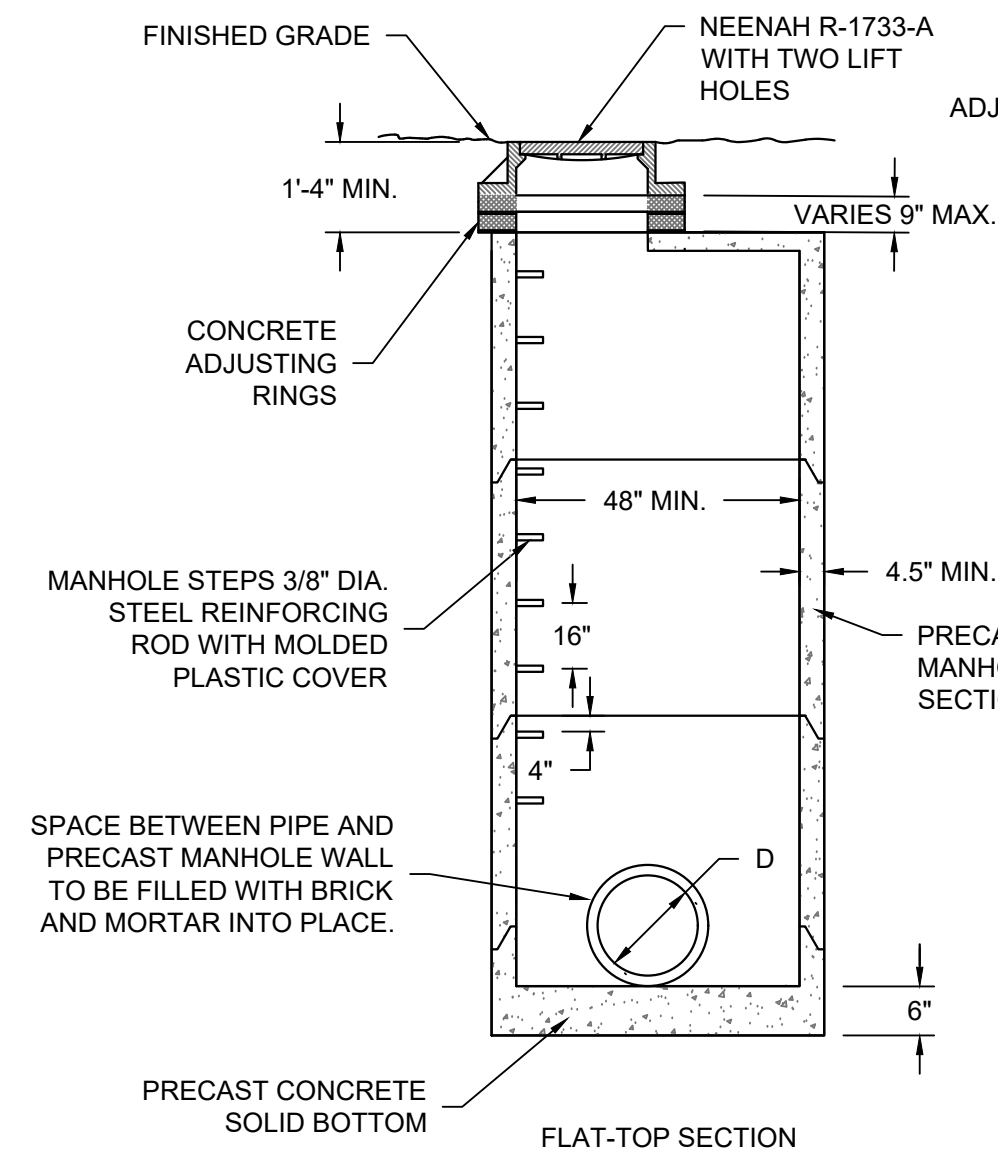
**A ASPHALT PAVEMENT SECTION**  
SCALE:NTS



**B CONCRETE PAVEMENT SECTION**  
SCALE:NTS



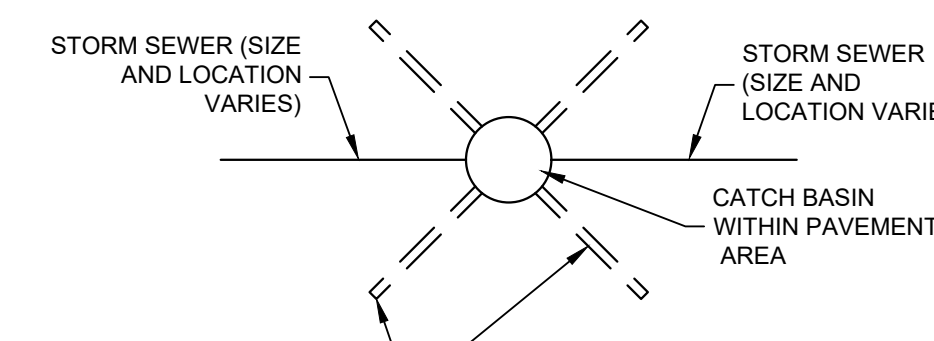
**C CONCRETE SIDEWALK SECTION**  
SCALE:NTS



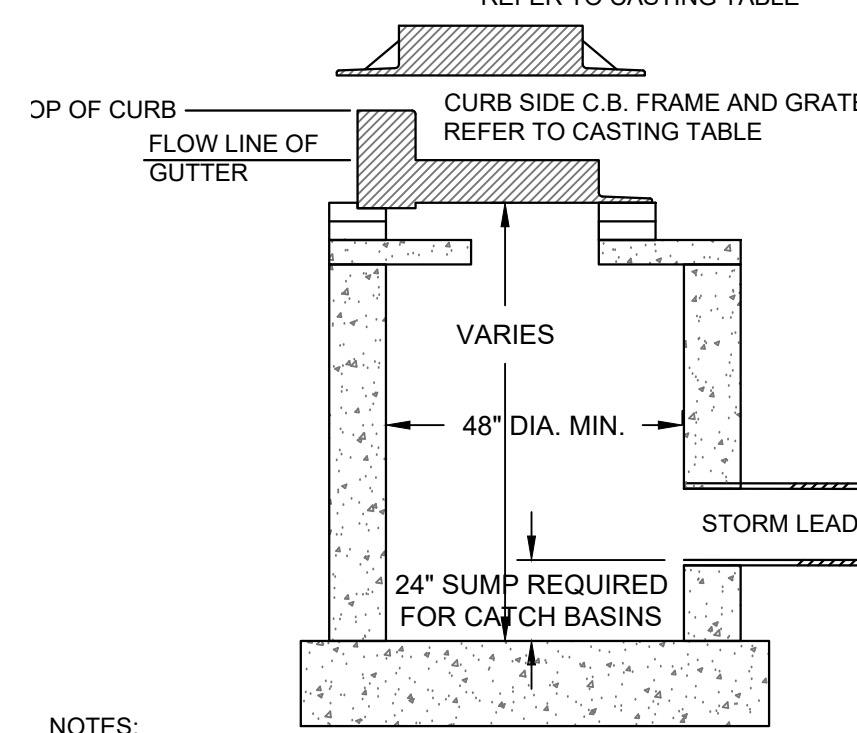
**D PRECAST STORM MANHOLE**  
SCALE:NTS

- NOTES:**
1. CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
  2. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
  3. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
  4. JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR, OR FLEXIBLE RUBBER TYPE GASKETS FOR STORM MANHOLES.
  5. AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
  6. 3" OF BEDDING STONE UNDER BASE.
  7. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

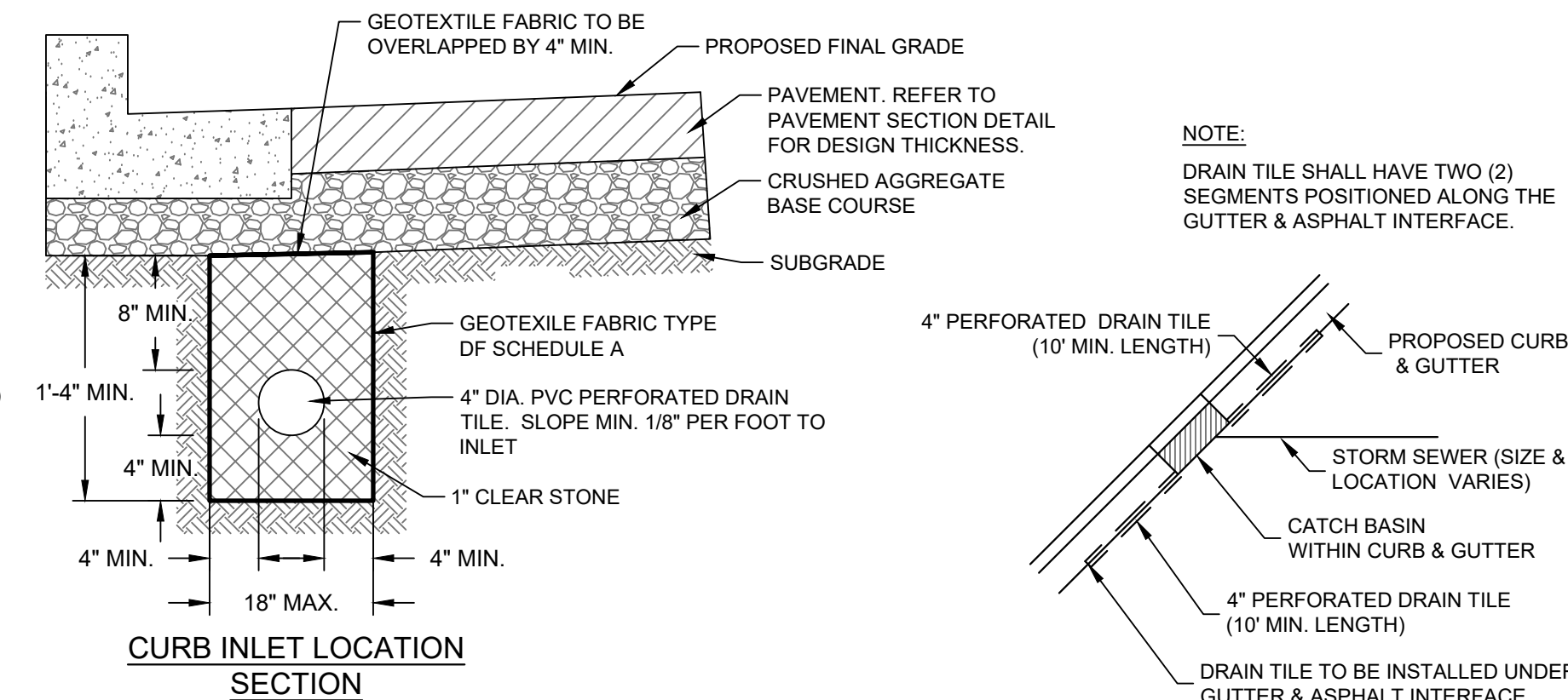
**CATCH BASIN WITHIN LOW POINT OF PAVEMENT AREA**



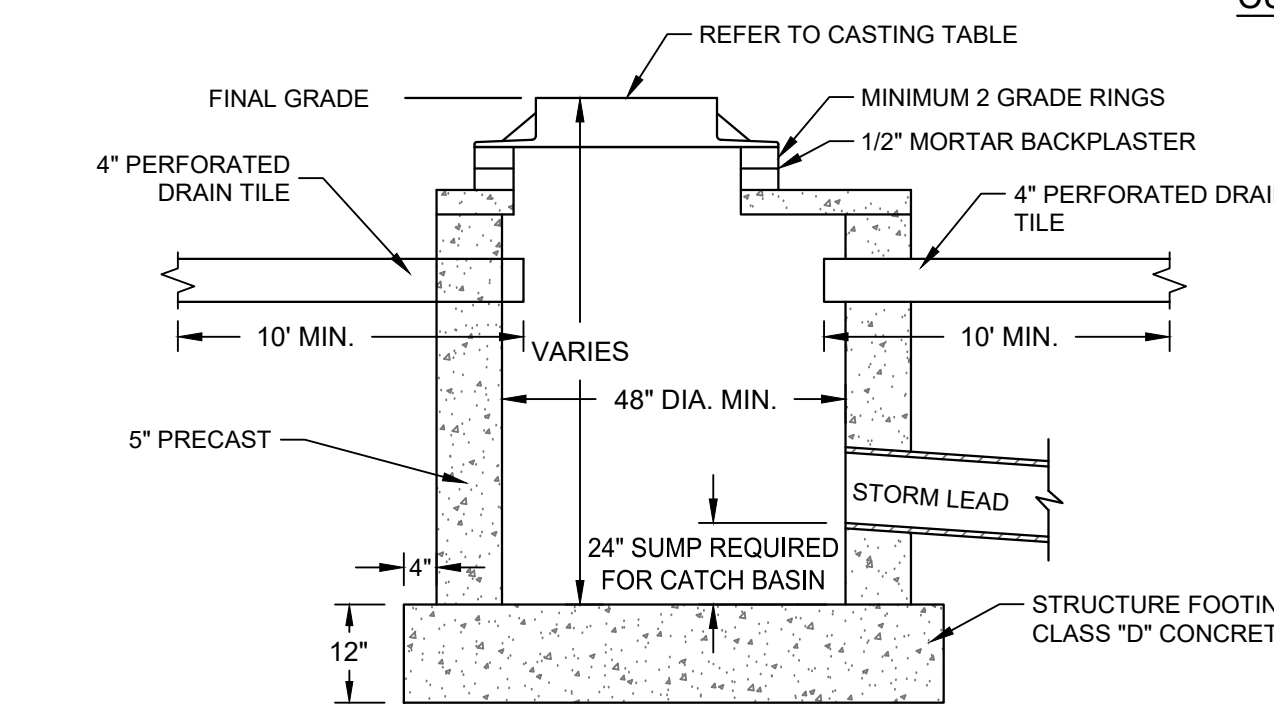
**CURB INLET LOCATION SECTION**



- NOTES:**
1. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
  2. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
  3. 3" MIN. BEDDING OF STONE UNDER BASE REQUIRED. ADDITIONAL BEDDING STONE MAY BE REQUIRED ON WET SUB-GRADE.
  4. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

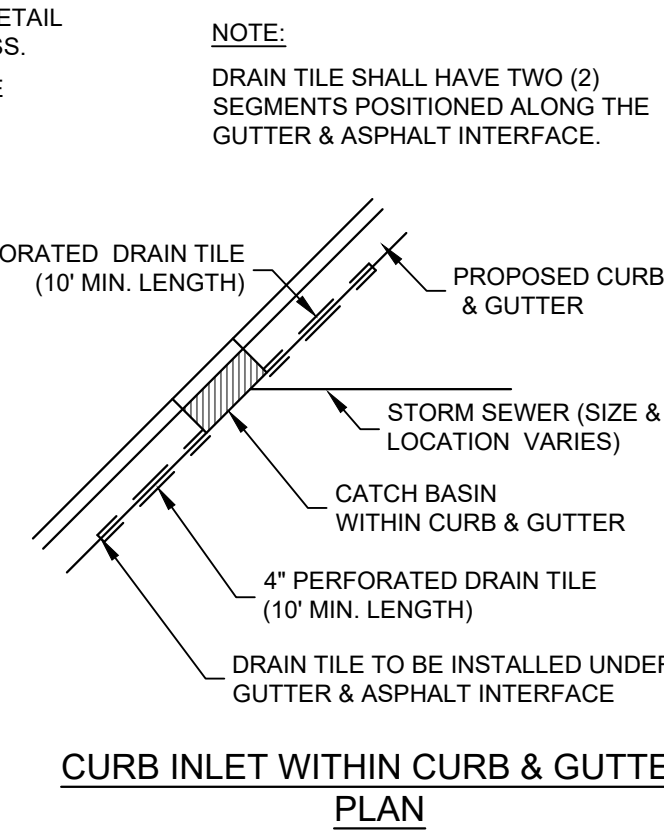


**CURB INLET LOCATION SECTION**

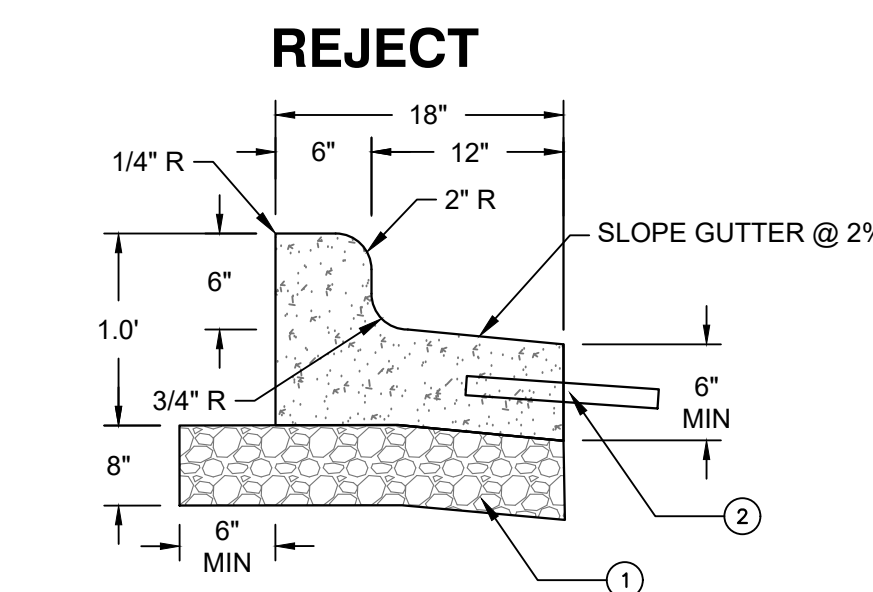
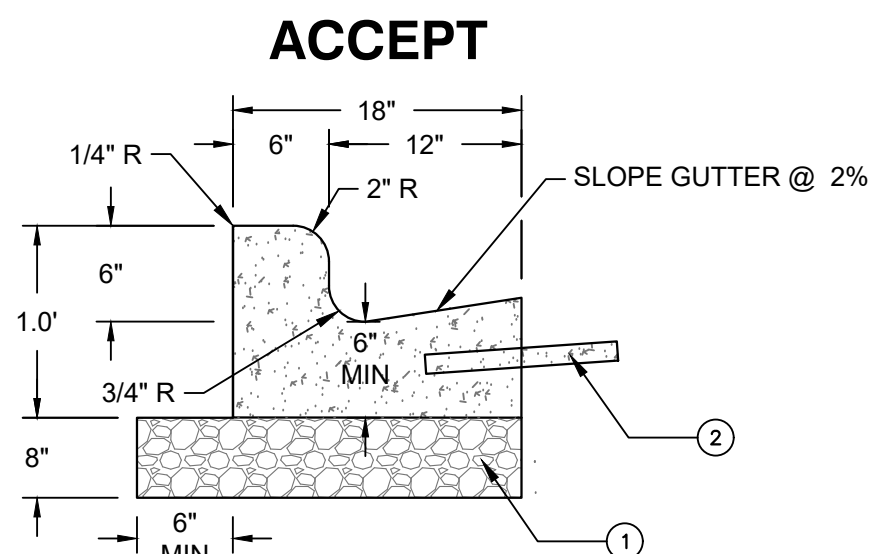


**CATCH BASIN / INLET CASTING TABLE**

	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3057	A	NEENAH R-3057	A	NEENAH R-3228H	C
AREA INLET	NEENAH R-2050	C				



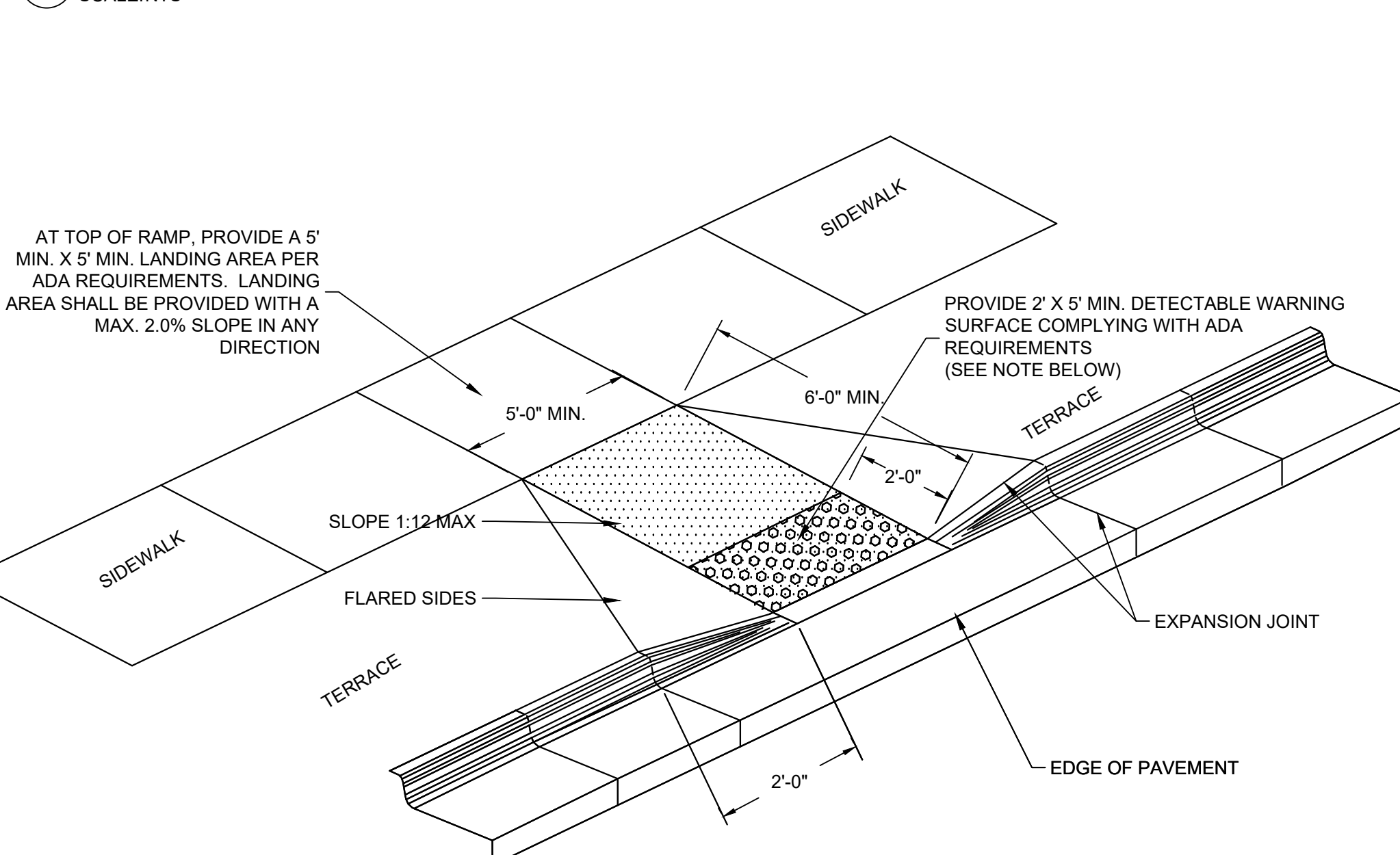
**CURB INLET WITHIN CURB & GUTTER PLAN**



- NOTES:**
1. 1-1/4" DENSE GRADED AGGREGATE BASE COURSE.
  2. TIE-BAR IF ADJACENT TO CONCRETE (NO.4 X 2'-0" DEFORMED TIE BARS SPACED AT 3'-0" C-C).
  3. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

**F 18 INCH CONCRETE CURB AND GUTTER**  
SCALE:NTS

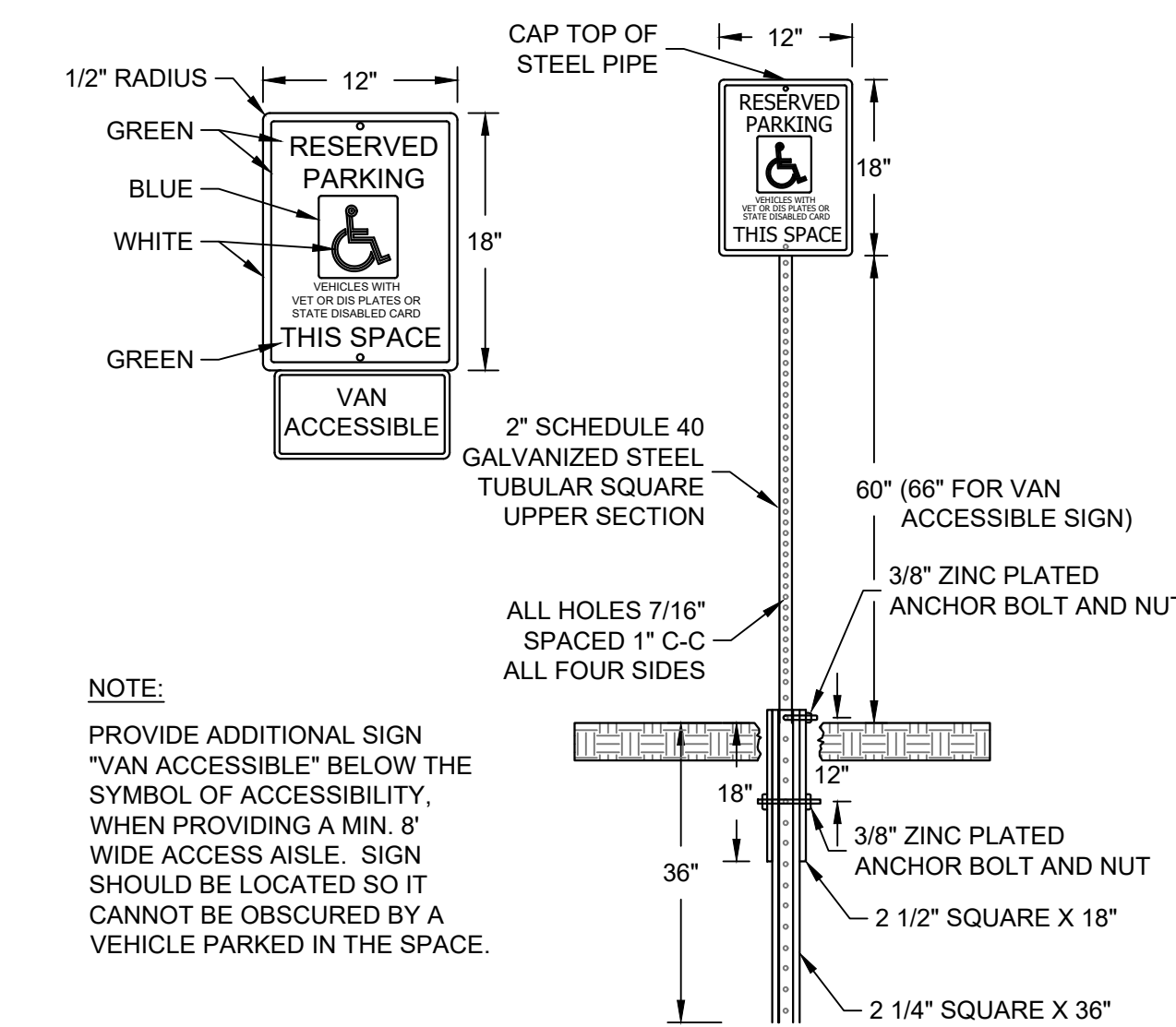
**G CONCRETE WALK - INTEGRAL CURB**  
SCALE:NTS



- NOTES:**
1. CONTRACTOR TO VERIFY ADA RAMP DETAIL WITH CITY AND ADJUST AS NEEDED.
  2. PROVIDE DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES OF SIZE, SPACING AND CONTRAST REQUIRED BY ADA GUIDELINES.
  3. DETECTABLE WARNINGS SHALL BE PER CITY STANDARDS.

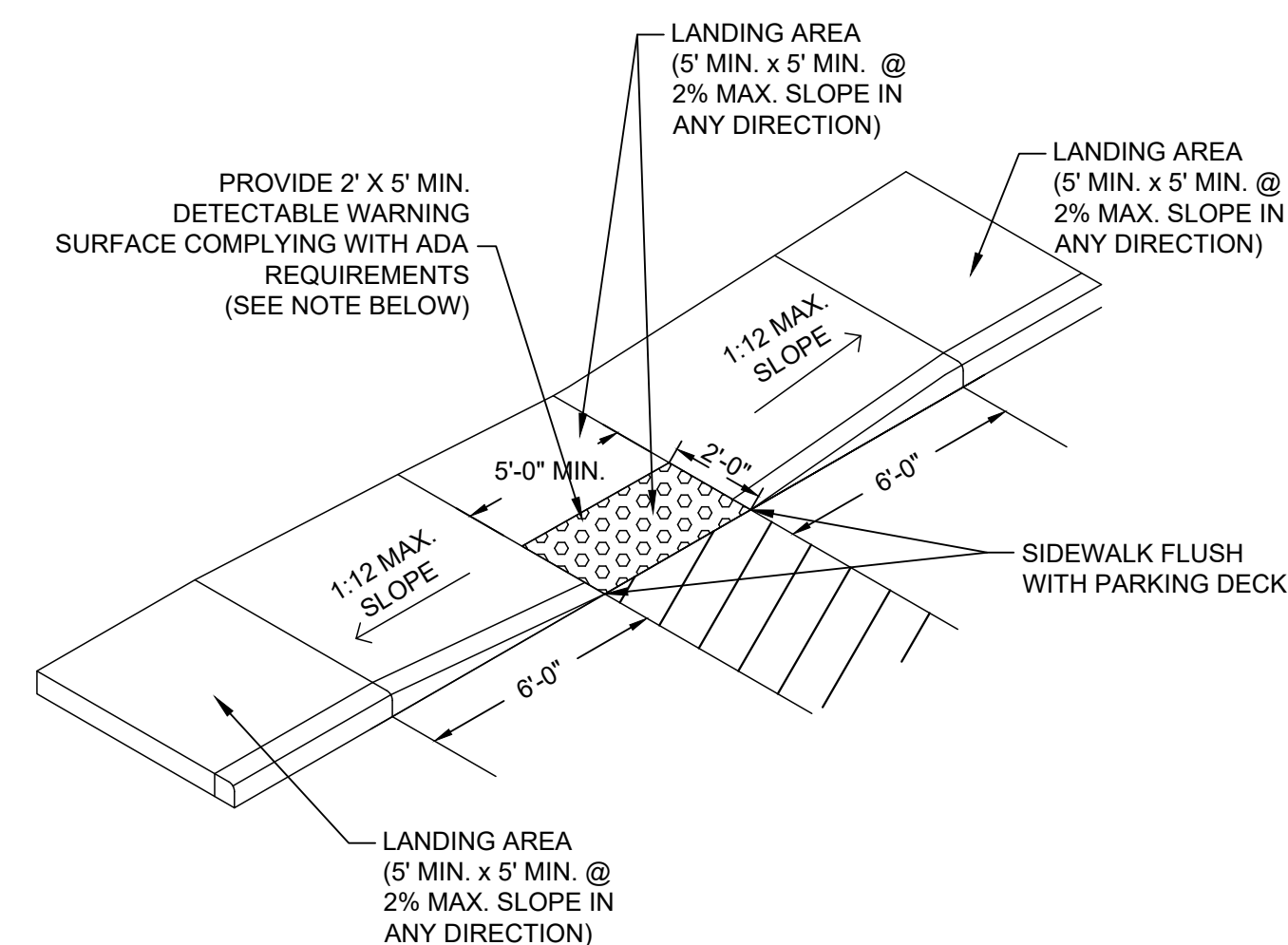
**J ADA RAMP - TYPE 2**  
SCALE:NTS

**E STORM INLET AND CATCH BASIN**  
SCALE:NTS



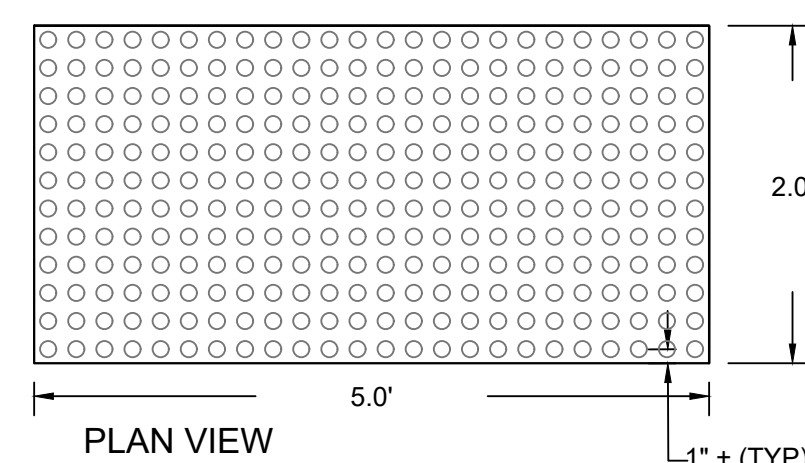
- NOTE:**
- PROVIDE ADDITIONAL SIGN "VAN ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY, WHEN PROVIDING A MIN. 8' WIDE ACCESS AISLE. SIGN SHOULD BE LOCATED SO IT CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

**H ADA SIGN AND POST**  
SCALE:NTS

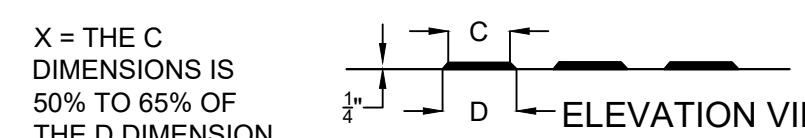


- NOTES:**
1. CONTRACTOR TO VERIFY ADA RAMP DETAIL WITH CITY AND ADJUST AS NEEDED.
  2. PROVIDE DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES OF SIZE, SPACING AND CONTRAST REQUIRED BY ADA GUIDELINES.
  3. DETECTABLE WARNINGS SHALL BE PER CITY STANDARDS.

**I ADA RAMP - TYPE 1**  
SCALE:NTS



	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	X	X
D	0.9"	1.4"



**K TRUNCATED DOMES**  
SCALE:NTS

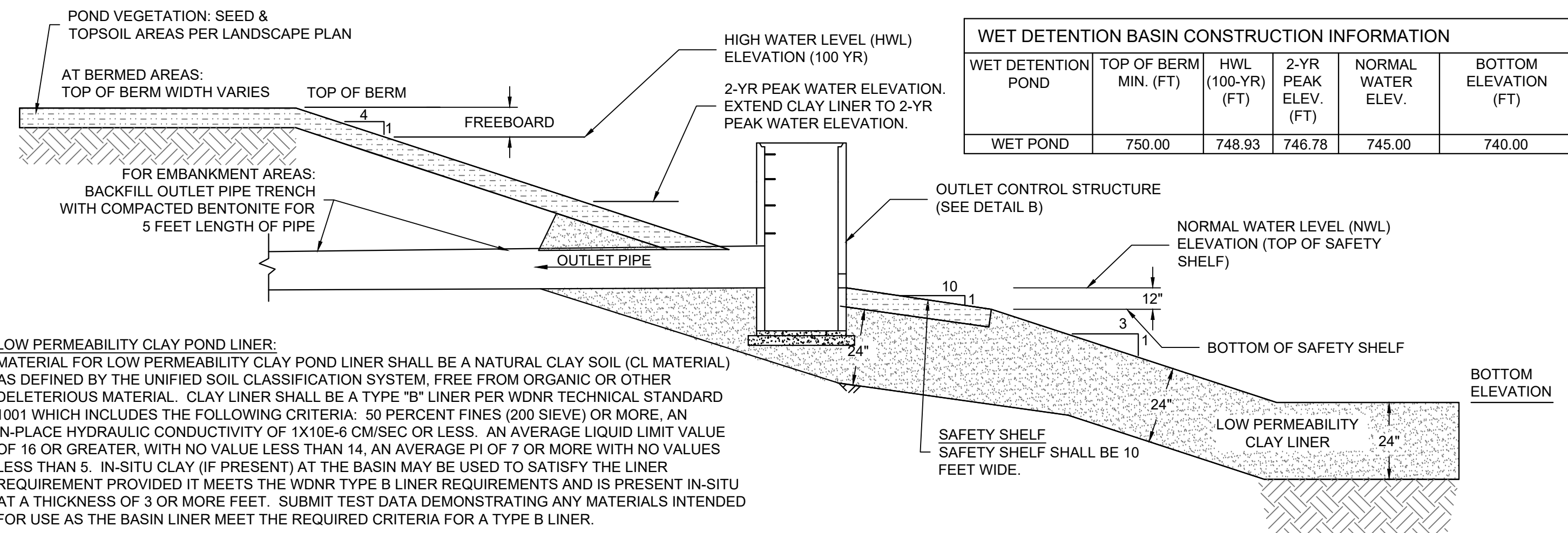
**PRELIMINARY NOT FOR CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	NTS
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	C401





**LOW PERMEABILITY CLAY POND LINER:**  
MATERIAL FOR LOW PERMEABILITY CLAY POND LINER SHALL BE A NATURAL CLAY SOIL (CL MATERIAL) AS DEFINED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. FREE FROM ORGANIC OR OTHER DELETERIOUS MATERIAL. CLAY LINER SHALL BE A TYPE "B" LINER PER WDNR TECHNICAL STANDARD 1001 WHICH INCLUDES THE FOLLOWING CRITERIA: 50 PERCENT FINES (200 SIEVE) OR MORE, AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1X10E-6 CM/SEC OR LESS. AN AVERAGE LIQUID LIMIT VALUE OF 16 OR GREATER, WITH NO VALUE LESS THAN 14, AN AVERAGE PL OF 7 OR MORE WITH NO VALUES LESS THAN 5. IN-SITU CLAY (IF PRESENT) AT THE BASIN MAY BE USED TO SATISFY THE LINER REQUIREMENT PROVIDED IT MEETS THE WDNR TYPE B LINER REQUIREMENTS AND IS PRESENT IN-SITU AT A THICKNESS OF 3 OR MORE FEET. SUBMIT TEST DATA DEMONSTRATING ANY MATERIALS INTENDED FOR USE AS THE BASIN LINER MEET THE REQUIRED CRITERIA FOR A TYPE B LINER.

CLAY SOURCE SHALL BE APPROVED PRIOR TO INITIATING PLACEMENT OF THE CLAY MATERIAL. SUBMIT REPRESENTATIVE MOISTURE-DENSITY DATA FOR PROPOSED CLAY MATERIAL PRIOR TO START OF WORK. IF REQUESTED, FURNISH ENGINEER WITH REPRESENTATIVE CLAY MATERIAL SAMPLES FOR TESTING.

FIELD THICKNESS AND FIELD COMPACTION OF CLAY TO BE TESTED BY OWNER'S INDEPENDENT TESTING AGENCY.

LOW PERMEABILITY CLAY/POND LINER SHALL BE PLACED USING STANDARD COMPACTION TECHNIQUES, AS PER THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 207.3.6. PERCENT COMPACTION SHALL BE GREATER THAN 95% OF STANDARD PROCTOR. MATERIAL SHALL BE COMPACTED WITH MOISTURE CONTENT WET OF OPTIMUM DENSITY MOISTURE. MATERIAL SHALL BE PLACED IN LAYERS GENERALLY NOT EXCEEDING 8 INCHES IN THICKNESS BEFORE COMPACTION.

**CLEARING AND SUBGRADE PREPARATION:**  
ALL EXISTING TOPSOIL, ROOTMAT, AND ANY OTHER SOFT OR UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE CLEARING AND STRIPPING LIMITS.

PRIOR TO INITIATION OF FILL PLACEMENT, THE STRIPPED AREA SHALL BE OBSERVED BY AN EXPERIENCED GEOTECHNICAL ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO AID IN LOCATING UNSUITABLE AND/OR HIGHLY PLASTIC MATERIALS WHICH REQUIRE COMPLETE AND/OR PARTIAL REMOVAL.

THE PREPARATION OF FILL SUBGRADES OF EMBANKMENTS SHALL BE OBSERVED ON A FULL-TIME BASIS BY AN EXPERIENCED GEOTECHNICAL ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO ENSURE THAT ALL UNSUITABLE MATERIALS HAVE BEEN COMPLETELY REMOVED.

**FILL PLACEMENT:**  
FILL MATERIALS SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL RECOMMENDATIONS.

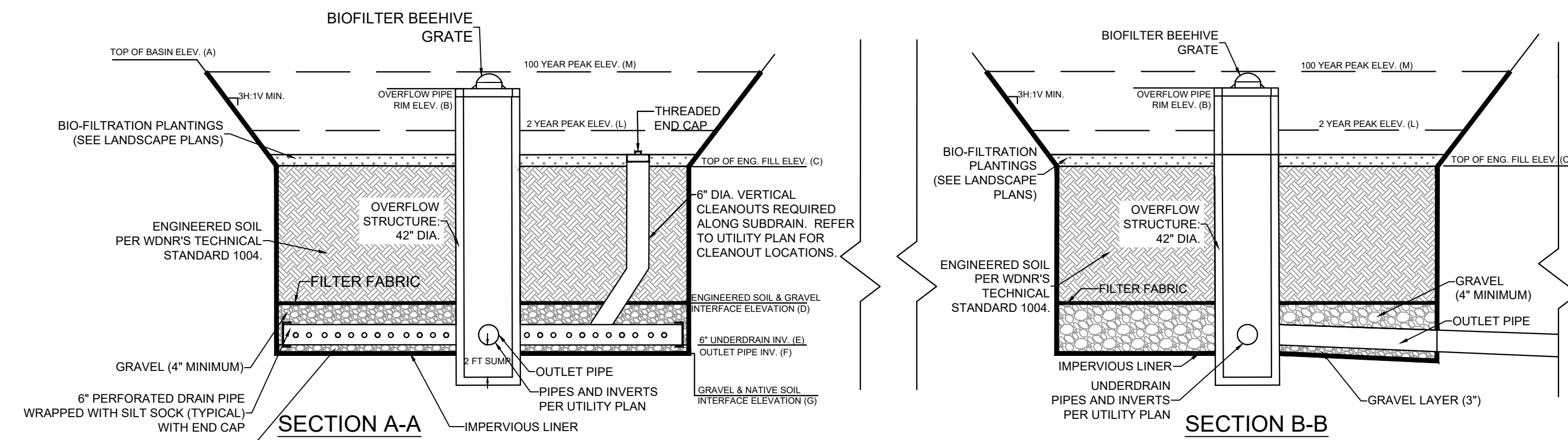
THE FOOTPRINT OF THE EMBANKMENT AREAS SHALL BE WELL DEFINED, INCLUDING THE LIMITS OF THE FILL ZONES, AT THE TIME OF FILL PLACEMENT, WITH GRADE CONTROL MAINTAINED THROUGHOUT THE FILL PLACEMENT OPERATIONS.

FILL OPERATIONS SHALL BE OBSERVED ON A FULL-TIME BASIS BY A QUALIFIED SOIL TECHNICIAN, WHO SHALL PERFORM IN PLACE DENSITY TESTS TO DETERMINE IF MINIMUM COMPACTION REQUIREMENTS ARE BEING MET.

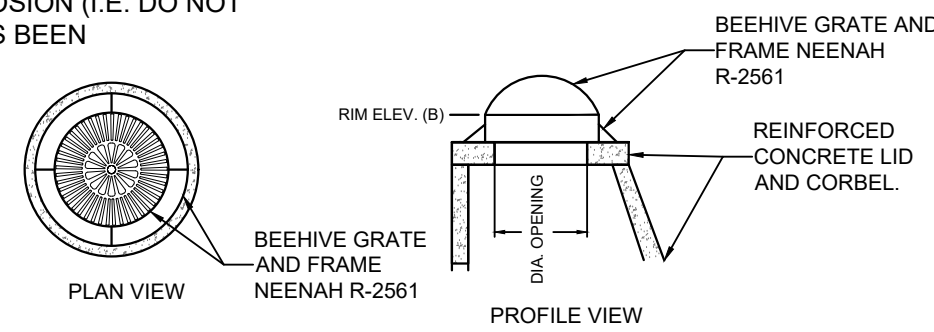
FILL MATERIALS SHALL NOT BE PLACED ON FROZEN SOILS. SIMILARLY, BORROW FILL MATERIALS SHALL NOT CONTAIN FROZEN MATERIALS AT THE TIME PLACEMENT. FROZEN SOILS, FROM BOTH SUBGRADE AND FILL, SHALL BE REMOVED PRIOR TO CONTINUATION OF FILL OPERATIONS.

AREAS RECEIVING FILL SHALL BE GRADED TO FACILITATE POSITIVE DRAINAGE OF ANY FREE WATER ASSOCIATED WITH PRECIPITATION AND SURFACE RUNOFF.

**A WET BASIN CROSS SECTION**  
SCALE: NTS



**NOTE:**  
BIO-FILTRATION BASIN SHALL NOT BE BROUGHT ONLINE UNTIL AREA DRAINING TO THE BASIN HAS ACHIEVED 90% STABILIZATION FROM EROSION (I.E. DO NOT PLACE ENGINEERED SOIL UNTIL SITE HAS BEEN STABILIZED).

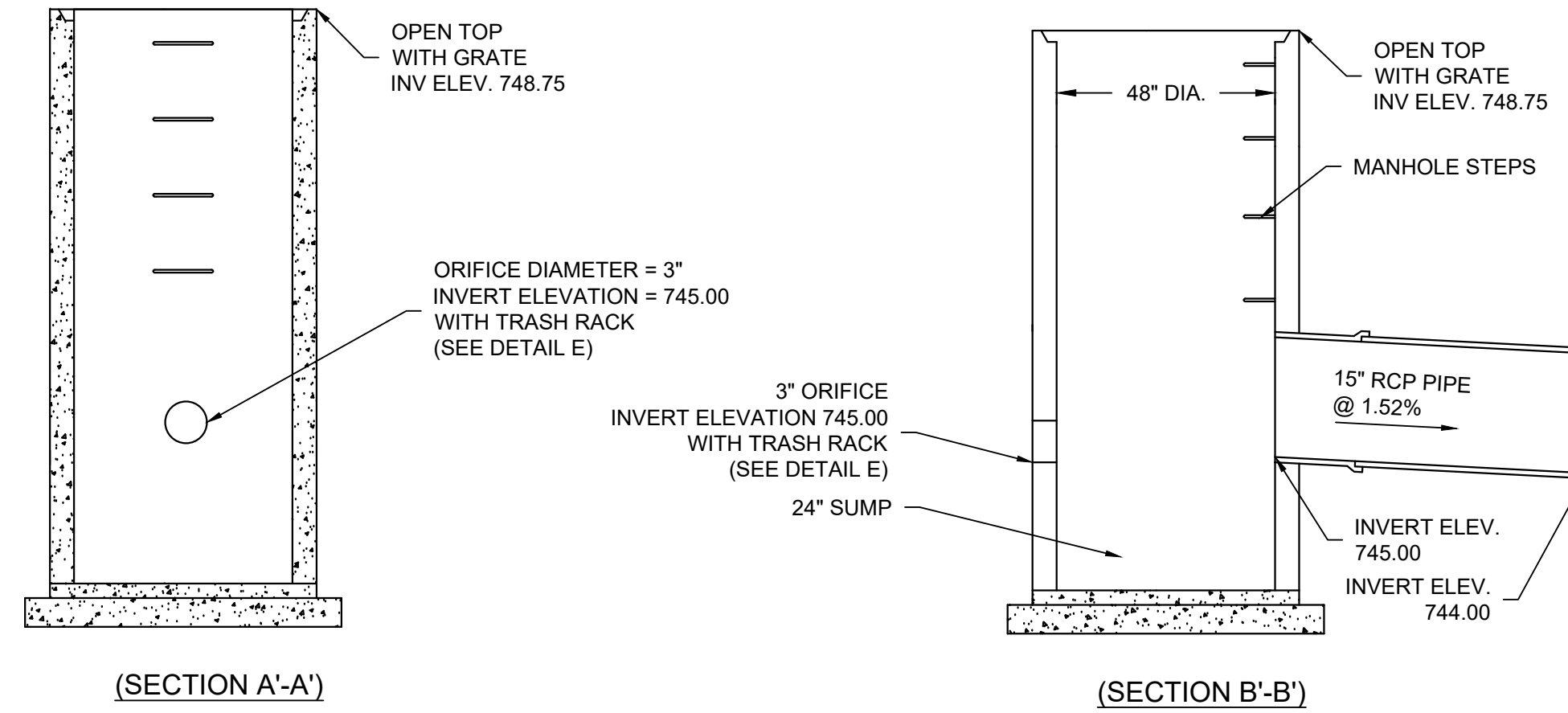
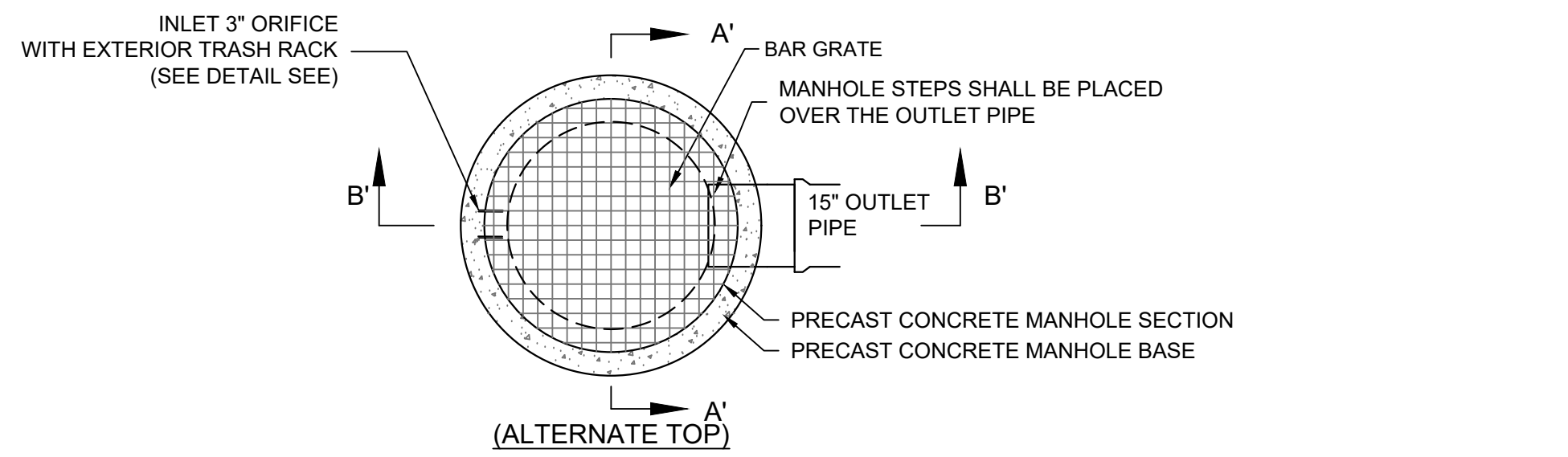


- NOTE:**
- BIO-FILTRATION BASINS THAT HAVE MULTIPLE VERTICAL ORIFICES SHALL BE INSTALLED AT THE SAME ELEVATION AS IDENTIFIED IN THE TABLE.
  - MULTIPLE VERTICAL ORIFICES SHALL HAVE A MINIMUM OF 12 INCHES HORIZONTAL SEPARATION.

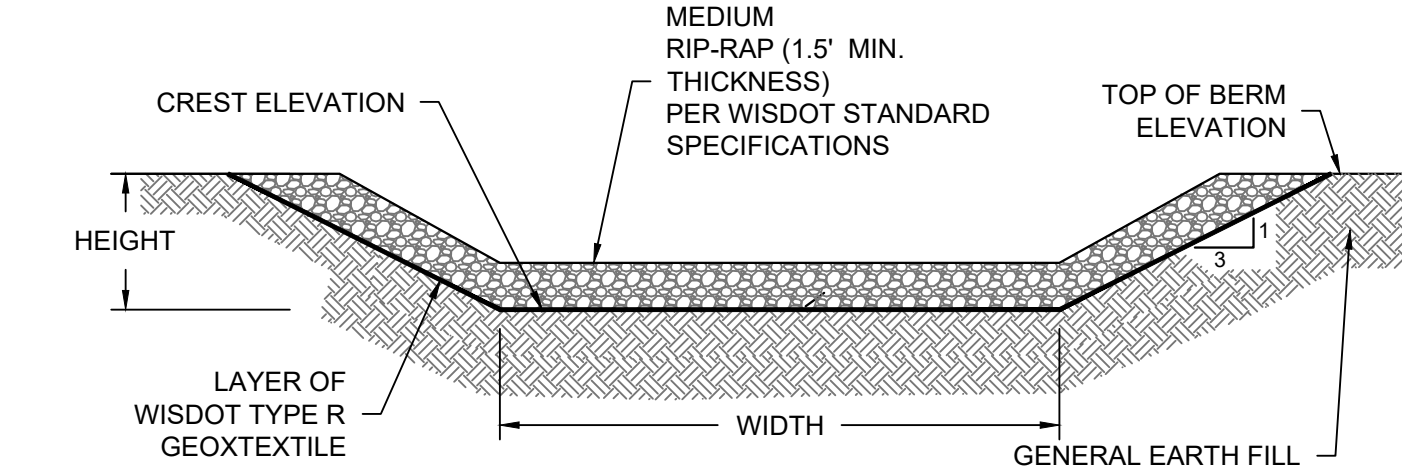
BIO-FILTRATION SUMMARY TABLE

	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	
BIO-FILTRATION AREA	TOP OF POND (CURB FLOW LINE)	OVERFLOW RIM ELEVATION	TOP OF ENGINEERED FILL ELEVATION	ENGINEERED SOIL AND GRAVEL INTERFACE ELEVATION	6" DIAMETER UNDERDRAIN ELEVATION	OUTLET PIPE SIZE	OUTLET PIPE ELEVATION	GRAVEL AND NATIVE SOIL INTERFACE ELEVATION	VERTICAL ORIFICE DIAMETER (INCH)	VERTICAL ORIFICE ELEVATION	# OF VERTICAL ORIFICES	SPILLWAY CREST ELEVATION	2 YR WATER ELEVATION	100 YR WATER ELEVATION
BIO 1	764.00	763.20	762.00	760.50	758.00	24"	758.00	758.00	4	758.00	1	764.00	760.68	763.50
BIO 2	762.00	761.00	760.00	758.50	755.50	18"	755.50	755.50	3	755.50	1	762.00	759.02	761.48
BIO 3	762.00	761.10	760.00	758.50	755.50	15"	755.50	755.50	2	755.50	1	762.00	760.82	761.47
BIO 4	760.00	759.00	758.00	756.50	754.50	24"	754.50	754.50	3	754.50	1	760.00	758.91	759.71

**D BIOFILTRATION BASIN**  
SCALE: NTS



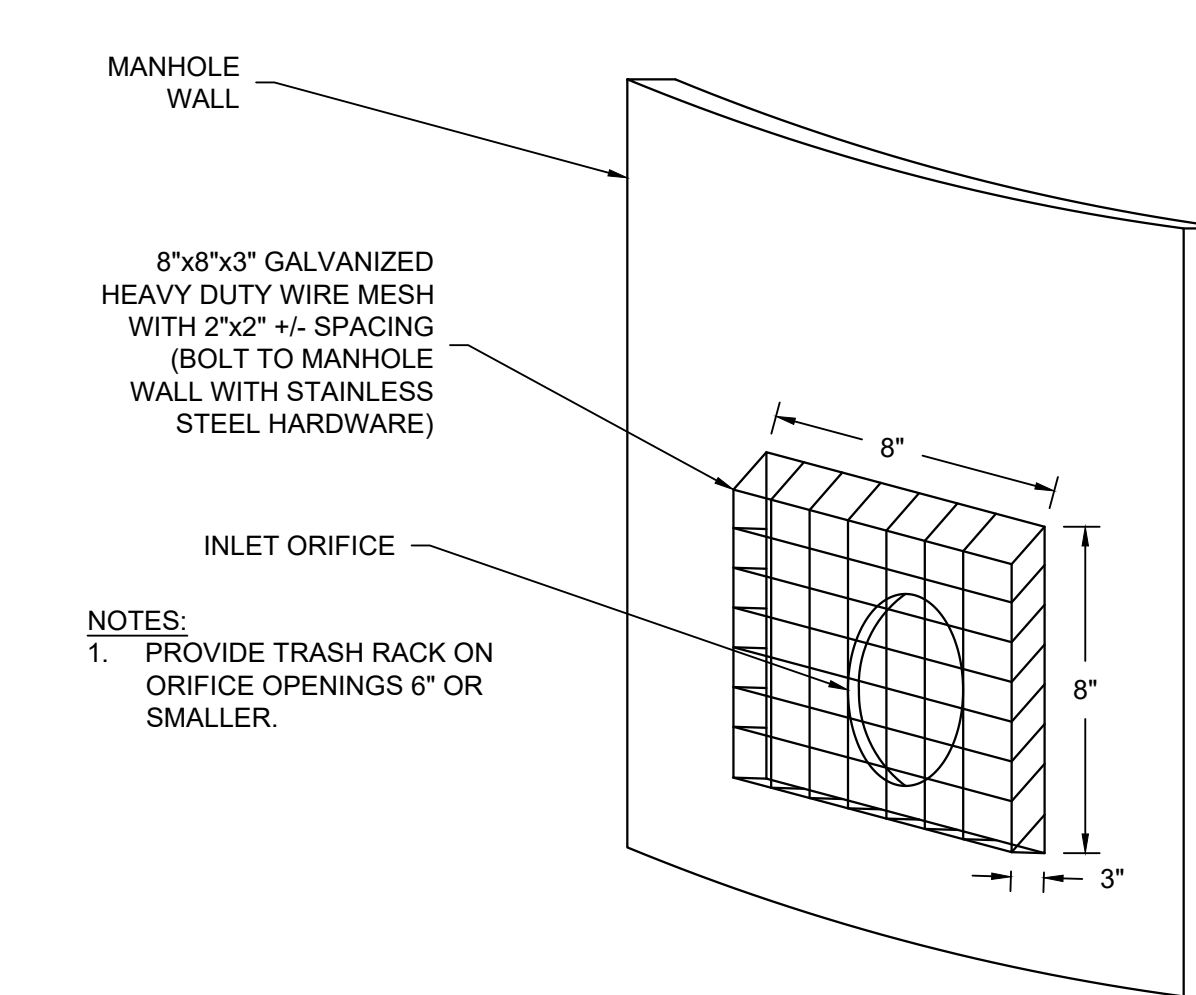
**B OUTLET CONTROL**  
SCALE: NTS



**EMERGENCY SPILLWAY CONSTRUCTION INFORMATION**

WET DETENTION POND	TOP OF BERM (FT)	CREST ELEVATION (FT)	WIDTH (FT)	HEIGHT (FT)(min.)	100-YEAR HWL (FT)
POND 3	750.00	749.00	30.0	1.0	748.98

**C EMERGENCY SPILLWAY WITH RIP RAP**  
SCALE: NTS



**E TRASH RACK**  
SCALE: NTS

**NOTES:**  
1. PROVIDE TRASH RACK ON ORIFICE OPENINGS 6" OR SMALLER.

**PRELIMINARY NOT FOR CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE
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SCALE:	NTS
PROJECT NO.:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO.:	C402



**GENERAL:**

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
- CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

**SITE CLEARING:**

- EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
- MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
- SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
- UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
- DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
- PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
- LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
- PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
- EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
- FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
- REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
- REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

**SITE WATER SERVICE:**

- COMPLY WITH STANDARDS OF STATE PLUMBING CODE (SPS CH. 382, 384), LOCAL WATER UTILITY REQUIREMENTS AND STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR FIRE-SUPPRESSION AND WATER SERVICE PIPING INCLUDING MATERIALS, FITTINGS, APPURTENANCES, INSTALLATION, TESTING, SERVICE TAPS, ETC. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND STATE PLUMBING CODE OR LOCAL JURISDICTIONAL AUTHORITY, STATE PLUMBING CODE AND LOCAL JURISDICTIONAL AUTHORITY REQUIREMENTS GOVERN.
- DO NOT INTERRUPT SERVICE TO FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY OWNERS OF SUCH FACILITIES AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY WATER-DISTRIBUTION SERVICE.
- WATER SERVICE PIPING MAY BE EITHER DUCTILE IRON WATER PIPE OR PVC WATER PIPE AS ALLOWED BY THE LOCAL WATER UTILITY.
- DUCTILE IRON WATER PIPE CONFORMING TO THE REQUIREMENTS OF THE AMERICAN NATIONAL STANDARD FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST, AWWA C151/A21.51 - LATEST REVISION AND REQUIREMENTS OF CHAPTER 8.18.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
  - CLASS 52
  - CEMENT MORTAR LINING AND INTERNAL AND EXTERNAL BITUMINOUS COATS IN ACCORDANCE WITH SECTION 51.8 OF AWWA C151.
  - PUSH-ON GASKET PIPE
  - PLAIN RUBBER GASKETS
  - BONDING STRAPS TO PROVIDE ELECTRICAL CONDUCTIVITY WITHOUT FIELD TESTING
- JOINTS FOR DUCTILE IRON PIPE: JOINTS SHALL BE RUBBER GASKET JOINTS; CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR RUBBER GASKET JOINTS FOR DUCTILE IRON PRESSURE PIPE AND FITTINGS (ANSI/AWWA C111/A21.11, LATEST EDITION)
- FITTINGS FOR DUCTILE IRON PIPE: CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR DUCTILE IRON AND GRAY IRON FITTINGS, 3" THROUGH 48" FOR WATER ANSI/AWWA C110/A21.10, LATEST EDITION); CLASS 250 MECHANICAL JOINT PIPE FITTINGS: CEMENT LINED; ALL BELLS; ENTIRE FITTING TAPPED; CONDUCTIVE MECHANICAL JOINT (NO LEAD) RUBBER GASKETS, FLANGES, AND BOLTS.
- PVC AWWA PIPE: AWWA C900, CLASS 235 WITH BELL END WITH GASKET AND WITH SPIGOT END AND MEETING REQUIREMENTS OF CHAPTER 8.20.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. FITTINGS SHALL BE IN ACCORDANCE WITH CHAPTER 8.22.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. MECHANICAL -JOINT, DUCTILE IRON FITTINGS: AWWA C153, DUCTILE-IRON COMPACT PATTERN. GLANDS, GASKETS AND BOLTS: AWWA C111, DUCTILE IRON GLANDS, RUBBER GASKETS AND STEEL BOLTS.
- GATE VALVES: CONFORM TO AWWA C-500 AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN SUITABLE FOR DIRECT BURY.
- VALVE BOXES: CAST IRON CONFORMING TO ASTM DESIGNATION A-48, CLASS 20 AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- FIRE HYDRANTS: TO MEET LOCAL STANDARDS.
- WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS
- GENERAL WATER PIPE INSTALLATION: IN ACCORDANCE WITH CHAPTER 4.3.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- INSTALL DUCTILE-IRON, WATER-SERVICE PIPING ACCORDING TO AWWA C600 AND CHAPTER 4.4.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL DUCTILE IRON PIPE SHALL BE ENCASED IN POLYETHYLENE PER AWWA C105, LATEST EDITION AND IN ACCORDANCE WITH CHAPTER 4.4.4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. ALL JOINTS AND FITTINGS SHALL HAVE POLYETHYLENE ENCASEMENT INSTALLED PER MANUFACTURER'S REQUIREMENTS AND PROCEDURES.
- INSTALL PVC AWWA PIPE ACCORDING TO ASTM F645 AND AWWA M23 AND CHAPTER 4.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NOS:44,45,46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.INSTALL WATER SERVICE PIPING SUCH THAT THERE IS A MINIMUM OF 6" OF COVER OVER THE TOP OF THE WATER SERVICE PIPING.

**SITE WATER SERVICE CONT.:**

- BEDDING AND COVER FOR WATER SERVICE PIPING SHALL BE IN ACCORDANCE WITH SECTION 4.3.3 AND FILE NO. 36 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. TRENCH BACKFILL SHALL BE GRANULAR B BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION ON-SITE.
- INSTALL TRACER WIRE FOR NON-METALLIC WATER SERVICES IN ACCORDANCE WITH SPS SECTION 382.40(8)(K). TRACER WIRE INSULATION COLOR SHALL BE BLUE FOR POTABLE WATER SERVICE PIPING.
- DUCTILE-IRON PIPING, RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 4.4.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- PVC PIPING GASKETED JOINTS: USING JOINING MATERIALS ACCORDING TO AWWA C900. CONSTRUCT JOINTS WITH ELASTOMERIC SEALS AND LUBRICANTS ACCORDING TO ASTM D2774 OR ASTM D3139 AND PIPE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- CONDUCT HYDROSTATIC TESTS IN ACCORDANCE WITH CHAPTER 4.15.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- CLEAN AND DISINFECT WATER SERVICE PIPING IN ACCORDANCE WITH SPS CHAPTER 82.40(8)(I) AND AWWA C651.

**SANITARY SEWERAGE:**

- ALL PRIVATE SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
- ALL PUBLIC SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
- PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
- MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- MANHOLES DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
- SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
- PIPE JOINT CONSTRUCTION: FOLLOW PIPING MANUFACTURER'S RECOMMENDATIONS; JOIN PVC SEWER PIPE ACCORDING TO ASTM D2321 AND ASTM D 3212 FOR ELASTOMERIC GASKET JOINTS. JOIN DISSIMILAR PIPE MATERIALS WITH NONPRESSURE-TYPE, FLEXIBLE COUPLINGS
- PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
- CLASS B COMPACTED TRENCH SECTION (FILE NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
- AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)(H) OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS. TEST NEW BUILDING SEWER IN ACCORDANCE WITH SECTION 5.4.0 OF THE STANDARD SPECIFICATIONS. REPLACE LEAKING PIPE USING NEW PIPE MATERIALS AAND REPEAT TESTING UNTIL LEAKAGE IS WITHIN ALLOWANCES SPECIFIED.

**STORM DRAINAGE:**

- ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
- ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
- PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
- REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
- CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.
- MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
- SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
- PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
- CLASS B COMPACTED TRENCH SECTION (FILE NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
- CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.
- AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)(J) OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

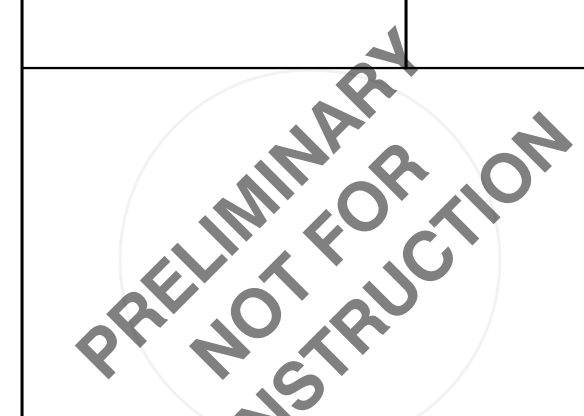
**EARTH MOVING:**

- ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
- CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
- CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
- OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
- FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.
- SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER.
- UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.
- ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.
- BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448, COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
- SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.
- PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER Tired VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.
- DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINILES SHALL BE 0.5%.
- CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.
- ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.
- WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)
- UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.
- UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557).
- COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
- TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.
- BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.
- PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.
- FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.
- WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.

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**POTHS GENERAL DEVELOPMENT**  
**76TH AND RAWSON**  
**FRANKLIN, WI 53132**  
**SPECIFICATIONS**



ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23
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NO. REVISION	DATE
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SCALE:	NTS
PROJECT NO.:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.07
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO.:	

**C500**



CONCRETE PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES, JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

ASPHALTIC PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES, JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
5. AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
6. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
7. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
8. HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED.
9. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/2 INCH FOR BINDER COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE, NO MINUS.
18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS: BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST, REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/MILE FOR A CONTINUOUS 4" LINE.
22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SEGMENTAL RETAINING WALL:

- 1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT AND SUPERVISION TO INSTALL A SEGMENTAL RETAINING WALL SYSTEM IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN AND DIMENSIONS SHOWN ON PLANS.
2. MATERIALS SUBMITTALS: THE CONTRACTOR SHALL SUBMIT MANUFACTURERS' CERTIFICATIONS TWO WEEKS PRIOR TO START OF WORK STATING THAT THE SRW UNITS AND GEOSYNTHETIC REINFORCEMENT MEET THE REQUIREMENTS OF THE DESIGN.
3. DESIGN SUBMITTAL: THE CONTRACTOR SHALL SUBMIT TWO SETS OF DETAILED DESIGN CALCULATIONS AND FINAL RETAINING WALL PLANS FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE BEGINNING OF WALL CONSTRUCTION. ALL CALCULATIONS AND DRAWINGS SHALL BE PREPARED AND SEALED BY A PROFESSIONAL CIVIL ENGINEER (P.E.) - (WALL DESIGN ENGINEER) EXPERIENCED IN SRW DESIGN AND LICENSED IN THE STATE WHERE THE WALL IS TO BE BUILT.
4. SEGMENTAL RETAINING WALL (SRW) UNITS SHALL BE MACHINE FORMED, PORTLAND CEMENT CONCRETE BLOCKS SPECIFICALLY DESIGNED FOR RETAINING WALL APPLICATIONS. SRW UNITS SHALL BE VERSA-LOK STANDARD RETAINING WALL UNITS, KEystone RETAINING WALL UNITS, ROCKWOOD RETAINING WALL UNITS OR APPROVED EQUAL.
5. COLOR AND STYLE OF SRW UNITS SHALL BE AS SELECTED BY ARCHITECT AND OWNER FROM MANUFACTURER'S FULL RANGE.
6. SRW UNITS SHALL BE CAPABLE OF BEING ERECTED WITH THE HORIZONTAL GAP BETWEEN ADJACENT UNITS NOT EXCEEDING 1/8 INCH.
7. SRW UNITS SHALL BE SOUND AND FREE OF CRACKS OR OTHER DEFECTS THAT WOULD INTERFERE WITH THE PROPER PLACING OF THE UNIT OR SIGNIFICANTLY IMPAIR THE STRENGTH OR PERMANENCE OF THE STRUCTURE. ANY CRACKS OR CHIPS OBSERVED DURING CONSTRUCTION SHALL FALL WITHIN THE GUIDELINES OUTLINED IN ASTM C 1372.
8. CONCRETE SRW UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM 1372 AND HAVE A MINIMUM NET AVERAGE 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI. COMPRESSIVE STRENGTH TEST SPECIMENS SHALL CONFORM TO THE SAW-CUT COUPON PROVISIONS OF ASTM C140.
9. SRW UNITS' MOLDED DIMENSIONS SHALL NOT DIFFER MORE THAN + 1/8 INCH FROM THAT SPECIFIED, AS MEASURED IN ACCORDANCE WITH ASTM C 140. THIS TOLERANCE DOES NOT APPLY TO ARCHITECTURAL SURFACES, SUCH AS SPLIT FACES.
10. SRW UNITS SHALL BE INTERLOCKED WITH CONNECTION PINS. THE PINS SHALL CONSIST OF GLASS-REINFORCED NYLON MADE FOR THE EXPRESSED USE WITH THE SRW UNITS SUPPLIED.
11. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF HIGH-TENACITY PET GEOGRIDS, HDPE GEOGRIDS, OR GEOTEXTILES MANUFACTURED FOR SOIL REINFORCEMENT APPLICATIONS. THE TYPE, STRENGTH AND PLACEMENT OF THE GEOSYNTHETIC REINFORCEMENT SHALL BE DETERMINED BY PROCEDURES OUTLINED IN THIS SPECIFICATION AND THE NCMA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (3RD EDITION 2009) AND MATERIALS SHALL BE SPECIFIED BY WALL DESIGN ENGINEER IN THEIR FINAL WALL PLANS AND SPECIFICATIONS. THE MANUFACTURER/SUPPLIERS OF THE GEOSYNTHETIC REINFORCEMENT SHALL HAVE DEMONSTRATED CONSTRUCTION OF SIMILAR SIZE AND TYPES OF SEGMENTAL RETAINING WALLS ON PREVIOUS PROJECTS.
12. THE TYPE, STRENGTH AND PLACEMENT OF THE REINFORCING GEOSYNTHETIC SHALL BE AS DETERMINED BY THE WALL DESIGN ENGINEER, AS SHOWN ON THE FINAL, P.E.-STAMPED RETAINING WALL PLANS.
13. MATERIAL FOR LEVELING PAD SHALL CONSIST OF COMPACTED SAND, GRAVEL, OR COMBINATION THEREOF (USCS SOIL TYPES GP, GW, SP, S & SW) AND SHALL BE A MINIMUM OF 6 INCHES IN DEPTH. LEAN CONCRETE WITH A STRENGTH OF 2000-300 PSI AND 3 INCHES THICK MAXIMUM MAY ALSO BE USED AS A LEVELING PAD MATERIAL. THE LEVELING PAD SHOULD EXTEND LATERALLY AT LEAST A DISTANCE OF 6 INCHES FROM THE TOE AND HEEL OF THE LOWERMOST SRW UNIT.
14. DRAINAGE AGGREGATE SHALL BE ANGULAR, CLEAN STONE OR GRANULAR FILL MEETING THE FOLLOWING GRADATION AS DETERMINED IN ACCORDANCE WITH ASTM D422:
SIEVE SIZE PERCENT PASSING
1 INCH 100
3/4 INCH 75-100
NO. 4 0-60
NO. 40 0-50
NO. 200 0-5
15. THE DRAINAGE COLLECTION PIPE SHALL BE A PERFORATED OR SLOTTED PVC, OR CORRUGATED HDPE PIPE. THE DRAINAGE PIPE MAY BE WRAPPED WITH A GEOTEXTILE TO FUNCTION AS A FILTER. DRAINAGE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM F 405 OR ASTM F 758.
16. THE REINFORCED SOIL MATERIAL SHALL BE FREE OF DEBRIS, UNLESS OTHERWISE NOTED ON THE FINAL, P.E.-SEALED, RETAINING WALL PLANS PREPARED BY THE WALL DESIGN ENGINEER, THE REINFORCED MATERIAL SHALL CONSIST OF THE INORGANIC USCS SOIL TYPES GP, GW, SW, SP, SM, MEETING THE FOLLOWING GRADATION, AS DETERMINED IN ACCORDANCE WITH ASTM D422:
SIEVE SIZE PERCENT PASSING
1 INCH 100
NO. 4 20-100
NO. 40 0-60
NO. 200 0-35
17. THE MAXIMUM PARTICLE SIZE OF POORLY-GRADED GRAVELS (GP) (NO FINES) SHOULD NOT EXCEED 3/4 INCH UNLESS EXPRESSLY APPROVED BY THE WALL DESIGN ENGINEER AND THE LONG-TERM DESIGN STRENGTH (LTD5) OF THE GEOSYNTHETIC IS REDUCED TO ACCOUNT FOR ADDITIONAL INSTALLATION DAMAGE FROM PARTICLES LARGER THAN THIS MAXIMUM.
18. THE PLASTICITY OF THE FINE FRACTION SHALL BE LESS THAN 20.
19. THE PH OF THE BACKFILL MATERIAL SHALL BE BETWEEN 3 AND 9 WHEN TESTED IN ACCORDANCE WITH ASTM G 51.
20. DRAINAGE GEOTEXTILE SHALL CONSIST OF GEOSYNTHETIC SPECIFICALLY MANUFACTURED FOR USE AS A PERMEABLE SOIL FILTER THAT RETAINS SOIL WHILE STILL ALLOWING WATER TO PASS THROUGHOUT THE LIFE OF THE STRUCTURE. THE TYPE AND PLACEMENT OF THE GEOTEXTILE FILTER MATERIAL SHALL BE AS REQUIRED BY THE WALL DESIGN ENGINEER IN THEIR FINAL WALL PLANS AND SPECIFICATIONS.
21. THE DESIGN ANALYSIS FOR THE FINAL, P.E.-STAMPED RETAINING WALL PLANS PREPARED BY THE WALL DESIGN ENGINEER SHALL CONSIDER THE EXTERNAL STABILITY AGAINST SLIDING AND OVERTURNING, INTERNAL STABILITY AND FACIAL STABILITY OF THE REINFORCED SOIL MASS, AND SHALL BE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICE AND THESE SPECIFICATIONS. THE INTERNAL AND EXTERNAL STABILITY ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH THE 'NCMA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION' USING THE RECOMMENDED MINIMUM FACTORS OF SAFETY IN THIS MANUAL.
22. EXTERNAL STABILITY ANALYSIS FOR BEARING CAPACITY, GLOBAL STABILITY, AND TOTAL AND DIFFERENTIAL SETTLEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE OWNER'S GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL PERFORM BEARING CAPACITY, SETTLEMENT ESTIMATES, AND GLOBAL STABILITY ANALYSIS BASED ON THE FINAL WALL DESIGN PROVIDED BY THE WALL DESIGN ENGINEER AND COORDINATE ANY REQUIRED CHANGES WITH THE WALL DESIGN ENGINEER.
23. THE GEOSYNTHETIC PLACEMENT IN THE WALL DESIGN SHALL HAVE 100% CONTINUOUS COVERAGE PARALLEL TO THE WALL FACE. GAPPING BETWEEN HORIZONTALLY ADJACENT LAYERS OF GEOSYNTHETIC (PARTIAL COVERAGE) WILL NOT BE ALLOWED.
24. CONTRACTOR'S FIELD CONSTRUCTION SUPERVISOR SHALL HAVE DEMONSTRATED EXPERIENCE AND BE QUALIFIED TO DIRECT ALL WORK AT THE SITE.
25. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE PROJECT GRADING PLANS. CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMIZE OVER-EXCAVATION. OVER-EXCAVATION SHALL BE FILLED WITH COMPACTED INFILL MATERIAL, OR AS DIRECTED BY THE WALL DESIGN ENGINEER, AT THE CONTRACTOR'S EXPENSE.
26. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING STRUCTURES AND UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL ENSURE ALL SURROUNDING STRUCTURES ARE PROTECTED FROM THE EFFECTS OF WALL EXCAVATION. EXCAVATION SUPPORT, IF REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR.
27. FOLLOWING THE EXCAVATION, THE FOUNDATION SOIL SHALL BE EXAMINED BY THE OWNER'S ENGINEER TO ASSURE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS THE ASSUMED DESIGN BEARING STRENGTH. SOILS NOT MEETING THE REQUIRED STRENGTH SHALL BE REMOVED AND REPLACED WITH INFILL SOILS, AS DIRECTED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER.
28. FOUNDATION SOIL SHALL BE PROOF-ROLLED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY AND INSPECTED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF LEVELING PAD MATERIALS.
29. LEVELING PAD SHALL BE PLACED AS SHOWN ON THE FINAL, P.E.-SEALED RETAINING WALL PLANS WITH A MINIMUM THICKNESS OF 6 INCHES. THE LEVELING PAD SHOULD EXTEND LATERALLY AT LEAST A DISTANCE OF 6 INCHES FROM THE TOE AND HEEL OF THE LOWERMOST SRW UNIT.
30. GRANULAR LEVELING PAD MATERIAL SHALL BE COMPACTED TO PROVIDE A FIRM, LEVEL BEARING SURFACE ON WHICH TO PLACE THE FIRST COURSE OF UNITS. WELL-GRADED SAND CAN BE USED TO SMOOTH THE TOP 1/4 INCH TO 1/2 INCH OF THE LEVELING PAD. COMPACTION WILL BE WITH MECHANICAL PLATE COMPACTORS TO ACHIEVE 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D 698).
31. ALL SRW UNITS SHALL BE INSTALLED AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE FINAL, P.E.-SEALED WALL PLANS AND DETAILS OR AS DIRECTED BY THE WALL DESIGN ENGINEER. THE SRW UNITS SHALL BE INSTALLED IN GENERAL ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE SPECIFICATIONS AND DRAWINGS SHALL GOVERN IN ANY CONFLICT BETWEEN THE TWO REQUIREMENTS.
32. FIRST COURSE OF SRW UNITS SHALL BE PLACED ON THE LEVELING PAD. THE UNITS SHALL BE LEVELLED SIDE-TO-SIDE, FRONT-TO-REAR AND WITH ADJACENT UNITS, AND ALIGNED TO ENSURE INTIMATE CONTACT WITH THE LEVELING PAD. THE FIRST COURSE IS THE MOST IMPORTANT TO ENSURE ACCURATE AND ACCEPTABLE RESULTS. NO GAPS SHALL BE LEFT BETWEEN THE FRONT OF ADJACENT UNITS. ALIGNMENT MAY BE DONE BY MEANS OF A STRING LINE OR OFFSET FROM BASE LINE TO THE BACK OF THE UNITS.
33. ALL EXCESS DEBRIS SHALL BE CLEANED FROM TOP OF UNITS AND THE NEXT COURSE OF UNITS INSTALLED ON TOP OF THE UNITS BELOW.

SEGMENTAL RETAINING WALL CONT.:

- 34. CONNECTION PINS SHALL BE INSERTED THROUGH THE PIN HOLES OF EACH UPPER-COURSE UNIT INTO RECEIVING SLOTS IN LOWER-COURSE UNITS. PINS SHALL BE FULLY SEATED IN THE PIN SLOT BELOW. UNITS SHALL BE PUSHED FORWARD TO REMOVE ANY LOOSENESS IN THE UNIT-TO-UNIT CONNECTION.
35. PRIOR TO PLACEMENT OF NEXT COURSE, THE LEVEL AND ALIGNMENT OF THE UNITS SHALL BE CHECKED AND CORRECTED WHERE NEEDED.
36. LAYOUT OF CURVES AND CORNERS SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL PLAN DETAILS OR IN GENERAL ACCORDANCE WITH SRW MANUFACTURER'S INSTALLATION GUIDELINES. WALLS MEETING AT CORNERS SHALL BE INTERLOCKED BY OVERLAPPING SUCCESSIVE COURSES.
37. PROCEDURES ABOVE SHALL BE REPEATED UNTIL REACHING TOP OF WALL UNITS, JUST BELOW THE HEIGHT OF THE CAP UNITS. GEOSYNTHETIC REINFORCEMENT, DRAINAGE MATERIALS, AND REINFORCED BACKFILL SHALL BE PLACED IN SEQUENCE WITH UNIT INSTALLATION.
38. ALL GEOSYNTHETIC REINFORCEMENT SHALL BE INSTALLED AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE FINAL P.E.-SEALED RETAINING WALL PLAN PROFILES AND DETAILS, OR AS DIRECTED BY THE WALL DESIGN ENGINEER.
39. AT THE ELEVATIONS SHOWN ON THE FINAL PLANS, (AFTER THE UNITS, DRAINAGE MATERIAL AND BACKFILL HAVE BEEN PLACED TO THIS ELEVATION) THE GEOSYNTHETIC REINFORCEMENT SHALL BE LAID HORIZONTALLY ON COMPACTED INFILL AND ON TOP OF THE CONCRETE SRW UNITS, TO WITHIN 1 INCH OF THE FRONT FACE OF THE UNIT BELOW. EMBEDMENT OF THE GEOSYNTHETIC IN THE SRW UNITS SHALL BE CONSISTENT WITH SRW MANUFACTURER'S RECOMMENDATIONS. CORRECT ORIENTATION OF THE GEOSYNTHETIC REINFORCEMENT SHALL BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH THE GEOSYNTHETIC MANUFACTURER'S RECOMMENDATIONS. THE HIGHEST-STRENGTH DIRECTION OF THE GEOSYNTHETIC MUST BE PERPENDICULAR TO THE WALL FACE.
40. GEOSYNTHETIC REINFORCEMENT LAYERS SHALL BE ONE CONTINUOUS PIECE FOR THEIR ENTIRE EMBEDMENT LENGTH. SPLICING OF THE GEOSYNTHETIC IN THE DESIGN-STRENGTH DIRECTION (PERPENDICULAR TO THE WALL FACE) SHALL NOT BE PERMITTED. ALONG THE LENGTH OF THE WALL, HORIZONTALLY ADJACENT SECTIONS OF GEOSYNTHETIC REINFORCEMENT SHALL BE BUTTED IN A MANNER TO ASSURE 100% COVERAGE PARALLEL TO THE WALL FACE.
41. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOSYNTHETIC REINFORCEMENT. A MINIMUM OF 6 INCHES OF BACKFILL IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOSYNTHETIC. TURNING SHOULD BE KEPT TO A MINIMUM. RUBBER-TIRED EQUIPMENT MAY PASS OVER THE GEOSYNTHETIC REINFORCEMENT AT SLOW SPEEDS (LESS THAN 5 MPH).
42. THE GEOSYNTHETIC REINFORCEMENT SHALL BE FREE OF WRINKLES PRIOR TO PLACEMENT OF SOIL FILL. THE NOMINAL TENSION SHALL BE APPLIED TO THE REINFORCEMENT AND SECURED IN PLACE WITH STAPLES, STAKES OR BY HAND TENSIONING UNTIL REINFORCEMENT IS COVERED BY 6 INCHES OF FILL.
43. DRAINAGE AGGREGATE SHALL BE INSTALLED TO THE LINE, GRADES AND SECTIONS SHOWN ON THE FINAL P.E.-SEALED RETAINING WALL PLANS. DRAINAGE AGGREGATE SHALL BE PLACED TO THE MINIMUM THICKNESS SHOWN ON THE CONSTRUCTION PLANS BETWEEN AND BEHIND UNITS (A MINIMUM OF 1 CUBIC FOOT FOR EACH EXPOSED SQUARE FOOT OF WALL FACE UNLESS OTHERWISE NOTED ON THE FINAL WALL PLANS).
44. DRAINAGE COLLECTION PIPES SHALL BE INSTALLED TO MAINTAIN GRAVITY FLOW OF WATER OUTSIDE THE REINFORCED-SOIL ZONE. THE DRAINAGE COLLECTION PIPE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE FINAL CONSTRUCTION DRAWINGS. THE DRAINAGE COLLECTION PIPE SHALL DAYLIGHT INTO A STORM SEWER OR ALONG A SLOPE, AT AN ELEVATION BELOW THE LOWEST POINT OF THE PIPE WITHIN THE AGGREGATE DRAIN. DRAINAGE LATERALS SHALL BE SPACED AT A MAXIMUM 50-FOOT SPACING ALONG THE WALL FACE.
45. THE REINFORCED BACKFILL SHALL BE PLACED AS SHOWN IN THE FINAL WALL PLANS IN THE MAXIMUM COMPACTED LIFT THICKNESS OF 8 INCHES AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D 698) AT A MOISTURE CONTENT WITHIN -1% POINT TO +3% POINTS OF OPTIMUM. THE BACKFILL SHALL BE PLACED AND SPREAD IN SUCH A MANNER AS TO ELIMINATE WRINKLES OR MOVEMENT OF THE GEOSYNTHETIC REINFORCEMENT AND THE SRW UNITS.
46. ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET OF THE BACK OF THE WALL UNITS. COMPACTION WITHIN THE 3 FEET BEHIND THE WALL UNITS SHALL BE ACHIEVED BY AT LEAST THREE PASSES OF A LIGHTWEIGHT MECHANICAL TAMPER, PLATE, OR ROLLER.
47. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LEVEL OF BACKFILL AWAY FROM THE WALL FACING AND REINFORCED BACKFILL TO DIRECT WATER RUNOFF AWAY FROM THE WALL FACE.
48. AT COMPLETION OF WALL CONSTRUCTION, BACKFILL SHALL BE PLACED LEVEL WITH FINAL TOP OF WALL ELEVATION. IF FINAL GRADING, PAVING, LANDSCAPING AND/OR STORM DRAINAGE INSTALLATION ADJACENT TO THE WALL IS NOT PLACED IMMEDIATELY AFTER WALL COMPLETION, TEMPORARY GRADING AND DRAINAGE SHALL BE PROVIDED TO ENSURE WATER RUNOFF IS NOT DIRECTED AT THE WALL NOR ALLOWED TO COLLECT OR POND BEHIND THE WALL UNTIL FINAL CONSTRUCTION ADJACENT TO THE WALL IS COMPLETED.
49. SRW CAPS SHALL BE PROPERLY ALIGNED AND GLUED TO UNDERLYING UNITS WITH VERSA-LOK ADHESIVE, A FLEXIBLE, HIGH-STRENGTH CONCRETE ADHESIVE. RIGID ADHESIVE OR MORTAR ARE NOT ACCEPTABLE.
50. CAPS SHALL OVERHANG THE TOP COURSE OF UNITS BY 3/4 INCH TO 1 INCH. SLIGHT VARIATION IN OVERHANG IS ALLOWED TO CORRECT ALIGNMENT AT THE TOP OF THE WALL.
51. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION BY OTHERS ADJACENT TO THE WALL DOES NOT DISTURB THE WALL OR PLACE TEMPORARY CONSTRUCTION LOADS ON THE WALL THAT EXCEED DESIGN LOADS. INCLUDING LOADS SUCH AS WATER PRESSURE, TEMPORARY GRADES, OR EQUIPMENT LOADING. HEAVY PAVING OR GRADING EQUIPMENT SHALL BE KEPT A MINIMUM OF 3 FEET BEHIND THE BACK OF THE WALL FACE. EQUIPMENT WITH WHEEL LOADS IN EXCESS OF 150 PSF LIVE LOAD SHALL NOT BE OPERATED WITHIN 10 FEET OF THE FACE OF THE RETAINING WALL DURING CONSTRUCTION ADJACENT TO THE WALL. CARE SHOULD BE TAKEN BY THE GENERAL CONTRACTOR TO ENSURE WATER RUNOFF IS DIRECTED AWAY FROM THE WALL STRUCTURE UNTIL FINAL GRADING AND SURFACE DRAINAGE COLLECTION SYSTEMS ARE COMPLETED.

BIOFILTRATION BASIN:

- 1. BIOFILTRATION BASIN SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH WDNr TECHNICAL STANDARD 1004: BIORETENTION FOR INFILTRATION AND THESE SPECIFICATIONS.
2. ENGINEERED SOIL MIX SHALL CONSIST OF A MIX OF 70 TO 85% SAND AND 15 TO 30% COMPOST BASED ON VOLUME. SAND SHALL MEET THE REQUIREMENTS FOR FINE AGGREGATE SAND SPECIFIED SECTION 501.2.5.3.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION OR MEET ASTM C33 (FINE AGGREGATE CONCRETE SAND).
3. PRIOR TO PLACEMENT IN THE BIOFILTRATION BASIN, THE ENGINEERED SOIL SHALL BE PREMIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.
4. THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.
5. ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER ONE INCH IN DIAMETER. NO OTHER MATERIALS SHALL BE MIXED WITH THEE PLANTING SOIL THAT MAY BE HARMFUL TO PLANT GROWTH OR BE A HINDRANCE TO PLANTING OR MAINTENANCE.
6. ENGINEERED SOIL AND GRAVEL SHALL BE IN ACCORDANCE WITH THE LATEST WDNr TECHNICAL STANDARD 1004.
7. PEa GRAVEL SHALL BE GRADED SUCH THAT MINIMUM PARTICLE SIZE IS LARGE ENOUGH TO PREVENT FALLING THROUGH PERFORATIONS OF THE UNDERDRAIN PIPE.
8. BIOFILTRATION BASIN DRAIN PIPE: 6-INCH SCHEDULE 40 PVC PIPE MEETING PERFORATION REQUIREMENTS OF AASHTO M278 HIGHWAY UNDERDRAIN SPECIFICATIONS WITH 3/8" PERFORATIONS ON 6" CENTERS WITH 4 HOLES PER ROW.
9. BEEHIVE INLET: NEENAH R-256I, OR EQUAL.
10. RISER STRUCTURE: 36" DIAMETER PRECAST CATCH BASIN STRUCTURE WITH 24" TOP OPENING TO ACCOMMODATE BEEHIVE INLET. IN GENERAL ACCORDANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
11. GRAVEL STORAGE LAYER (IF INDICATED ON PLANS): COURSE AGGREGATE #2 IN ACCORDANCE WITH SECTION 501.2.5.4.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
12. FILTER FABRIC: GEOTEXTILE FABRIC IN ACCORDANCE WITH SECTION 645.2.2.4 OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
13. EXCAVATE TO GRADES AS INDICATED ON PLANS.
14. CONSTRUCT TEMPORARY DIVERSION SWALES OR PROVIDE OTHER MEANS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS, AND RUNOFF FROM PERVIOUS AREAS WHICH HAVE NOT YET BEEN STABILIZED, FROM ENTERING THE BIORETENTION AREA.
15. CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.
16. COMPACTION AND SMEARING OF THE ENGINEERED SOIL AND TOP SOIL BENEATH THE FLOORS, IN THE SOIL PLANTING BED, AND THE SIDE SLOPES OF THE BASIN, AND COMPACTION OF THE ENGINEERED SOILS IN THE BASIN SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIOFILTRATION BASIN SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIOFILTRATION BASIN INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TYPE TIRES, MARSH EQUIPMENT OR WIDE-TRACK LOADERS.
17. IF COMPACTION OCCURS AT THE BASE OF THE BIOFILTRATION BASIN, THE SOIL SHALL BE REFRRACTURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
18. STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDING DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE UTILIZED.
19. ANY SEDIMENT ACCUMULATED IN THE BASIN DUE TO CONSTRUCTION ACTIVITIES SHOULD BE REMOVED AND THE ENGINEERED SOIL SHALL BE DEEP TILLED PRIOR TO PLANTING.
20. IMPERVIOUS LINER SHALL BE 45 MIL FIRESTONE EPDM (GSI PRODUCTS), OR 30 MIL PVC (GSI PRODUCTS), OR EQUAL.

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SPECIFICATIONS

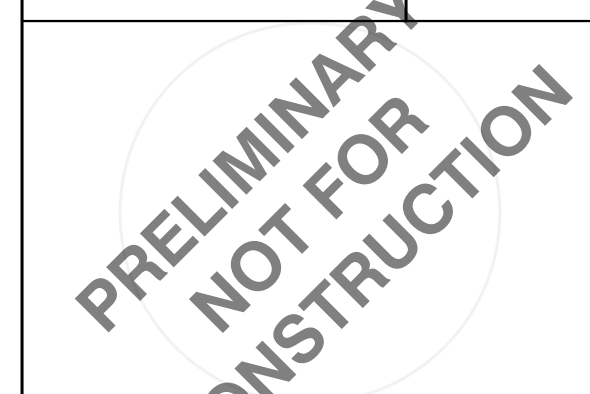
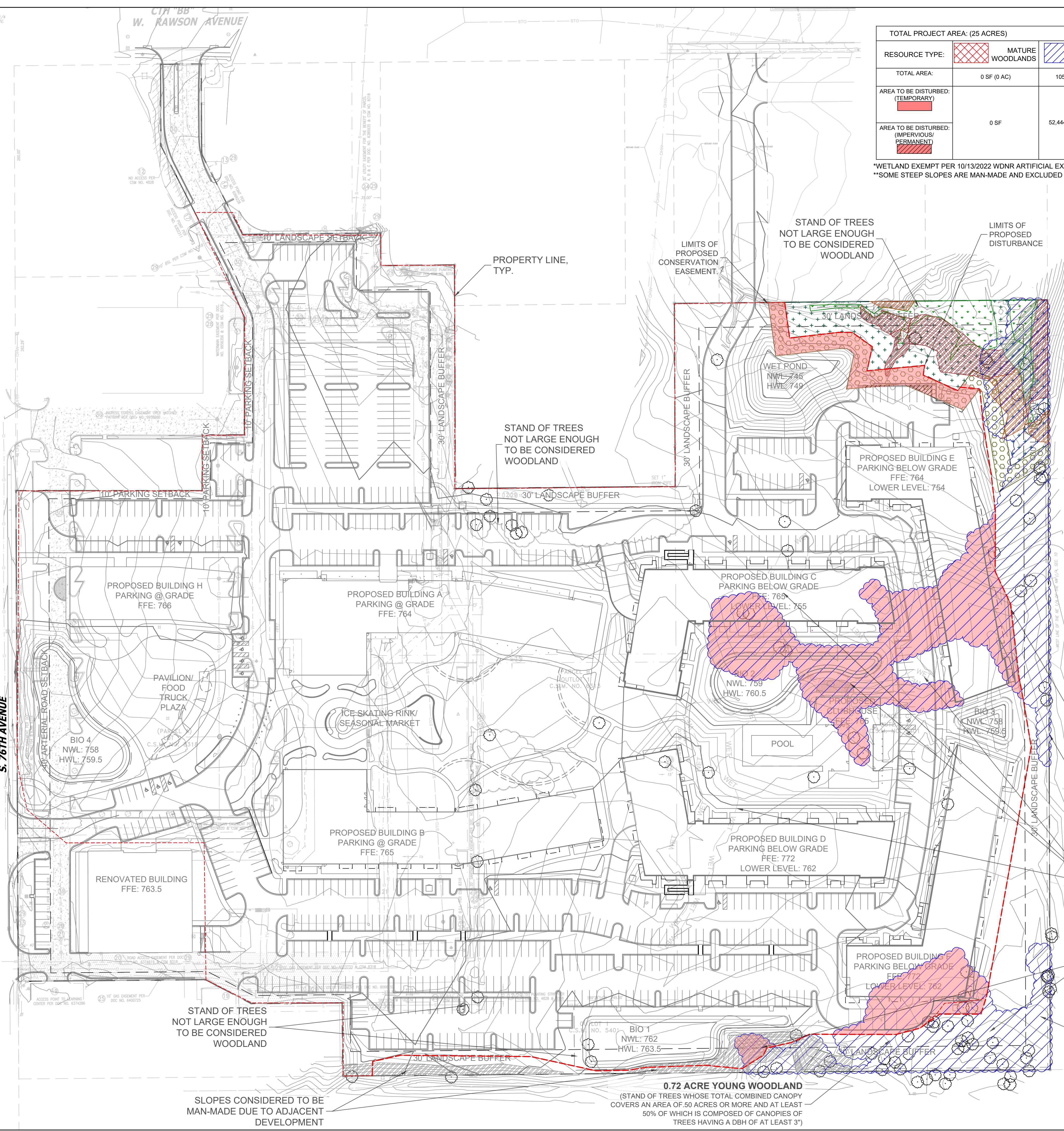


Table with 2 columns: ISSUANCE DATE, PLAN COMMISSION SUBMITTAL DATE. Row 1: 12/11/23

Table with 2 columns: NO. REVISION, DATE. Multiple empty rows.

Table with 2 columns: SCALE, PROJECT NO, DESIGN DATE, PLOT DATE, DRAWN BY, CHECKED BY, APPROVED BY, SHEET NO. Values: NTS, 21775, ---, 2023.12.07, MJK, JLC, CTC, C501





TOTAL PROJECT AREA: (25 ACRES)		NATURAL RESOURCE FEATURE AREAS							
RESOURCE TYPE:		MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER	WETLAND SETBACK	**STEEP SLOPES: 10-19%	**STEEP SLOPES: 20-30%	**STEEP SLOPES: 30+%
TOTAL AREA:		0 SF (0 AC)	105,373 SF (2.39 AC)	28,692 SF (0.66 AC)	24,516 SF (.56 AC)	15,035 SF (.35 AC)	4,940 SF (0.11 AC)	3,352 SF (.08 AC)	9,536 SF (.22 AC)
AREA TO BE DISTURBED: (TEMPORARY)		0 SF		0 SF (.00 AC) (0%)	0 SF (.00 AC) (0%)	6,941 SF (.15 AC) (46%)	0 SF	0 SF	0 SF
AREA TO BE DISTURBED: (IMPERVIOUS/PERMANENT)		0 SF	52,444 SF (1.20 AC) (50%)	0 SF (.00 AC) (0%)	0 SF (.00 AC) (0%)	283 SF (.01 AC) (0.01%)	0 SF (.00 AC) (0%)	0 SF (.00 AC) (0%)	0 SF (.00 AC) (0%)

\*WETLAND EXEMPT PER 10/13/2022 WDNR ARTIFICIAL EXEMPTION DETERMINATION LETTER  
 \*\*SOME STEEP SLOPES ARE MAN-MADE AND EXCLUDED FROM THE CALCULATIONS

NATURAL RESOURCE MITIGATION AREAS				
RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER
AREA DISTURBED	0 SF (0 AC) (0%)	51,596 SF (1.18 AC) (49%)	0 SF (0.00 AC) (0%)	0 SF (0.00 AC) (0%)
MITIGATION RATIO	1.25 : 1.00	1.25 : 1.00	1.50 : 1.00	1.50 : 1.00
MITIGATION AREA REQUIRED		0 SF (.00 AC)	0 SF (.00 AC)	.00 SF (0.00 AC)
MITIGATION AREA PROVIDED	0 SF	0 SF (.00 AC)	0 SF (.00 AC)	0 SF (0.00 AC)

CITY OF FRANKLIN - NATURAL RESOURCE FEATURES - STANDARDS						
	AGRICULTURAL DISTRICT	RESIDENTIAL DISTRICT	NON RESIDENTIAL DISTRICT	ACRES OF LAND IN RESOURCE FEATURE AREA	ACRES OF LAND TO BE IMPACTED BY DEVELOPMENT	ACRES OF LAND TO BE MITIGATED (REQUIRED/PROPOSED)
STEEP SLOPES: 10-19% 20-30% 30%+	0% 65% 90%	60% 75% 85%	40% 70% 80%	4,940 SF (0.11 AC) 3,352 SF (.08 AC) 9,536 SF (.22 AC)	0.000 SF (0.00 AC) 0.000 SF (0.00 AC) 0.000 SF (0.00 AC)	(0.00 AC / 0.00 AC)
WOODLANDS & FORESTS MATURE YOUNG	70% 50%	70% 50%	70% 50%	2.39 ACRES	1.18 ACRES	(0.00 AC / 0.00 AC)
WETLANDS	100%	100%	100%	28,692 SF (.66 AC)	0.00 ACRES	(0.00 AC / 0.00 AC)
WETLAND BUFFERS	100%	100%	100%	24,516 SF (.56 AC)	0.00 ACRES	(0.00 AC / 0.00 AC)
SHORELAND WETLANDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
LAKES & PONDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
STREAMS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
SHORE BUFFER	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
FLOOD-PLAINS/FLOOD-WAYS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)

\*\* STEEP SLOPES ARE MAN-MADE AND EXCLUDED FROM THE CALCULATIONS

DISTURBED WOODLAND AREA: 40,883 S.F.

**1.62 ACRE YOUNG WOODLAND**  
 (STAND OF TREES WHOSE TOTAL COMBINED CANOPY COVERS AN AREA OF .50 ACRES OR MORE AND AT LEAST 50% OF WHICH IS COMPOSED OF CANOPIES OF TREES HAVING A DBH OF AT LEAST 3")

ARTIFICIAL WETLAND TO BE FILLED, WETLANDS C,D,E,F EXEMPT PER 10/13/2022 WDNR ARTIFICIAL EXEMPTION DETERMINATION LETTER

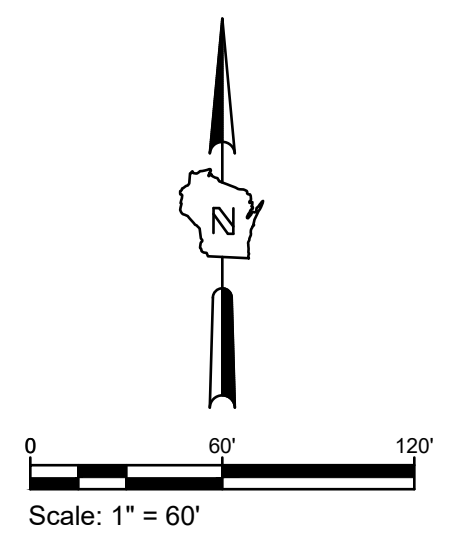
DISTURBED WOODLAND AREA: 10,713 S.F.

LIMITS OF PROPOSED CONSERVATION EASEMENT.

**0.72 ACRE YOUNG WOODLAND**  
 (STAND OF TREES WHOSE TOTAL COMBINED CANOPY COVERS AN AREA OF .50 ACRES OR MORE AND AT LEAST 50% OF WHICH IS COMPOSED OF CANOPIES OF TREES HAVING A DBH OF AT LEAST 3")

STAND OF TREES NOT LARGE ENOUGH TO BE CONSIDERED WOODLAND

SLOPES CONSIDERED TO BE MAN-MADE DUE TO ADJACENT DEVELOPMENT



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 NATURAL RESOURCE PROTECTION PLAN

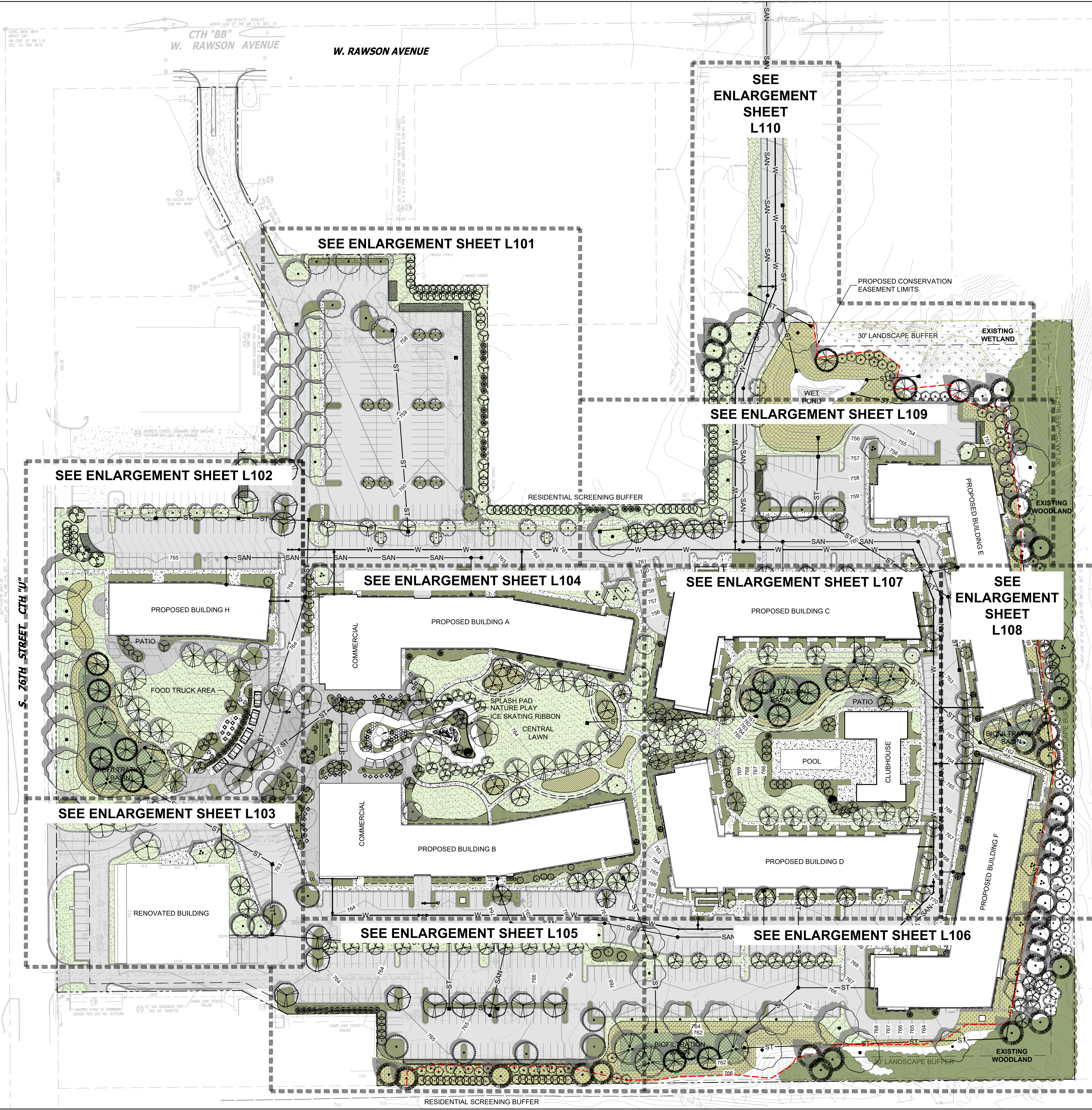
**PRELIMINARY NOT FOR CONSTRUCTION**

ISSUANCE:	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE
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SCALE:	1" = 60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	EX2





**LANDSCAPE LEGEND:**

	TURFGRASS SEED		EXISTING WETLAND (TO BE PRESERVED)
	HARDWOOD BARK MULCH PLANT BED		EXISTING WETLAND BUFFER (TO BE PRESERVED)
	STONE MULCH		MARKET TENT EXISTING TREE (TO BE PRESERVED)
	NATIVE SEED MIX		
	BIOINFILTRATION PERENNIAL PLUGS		
	SNOW STORAGE AREA		
	EXISTING WOODLANDS (TO BE PRESERVED)		
	PROPERTY LINE		
	METAL PLANT EDGING		
	SHOVEL CUT PLANT EDGING		
	SHEET MATCHLINE		
	CONSERVATION EASEMENT LINE		

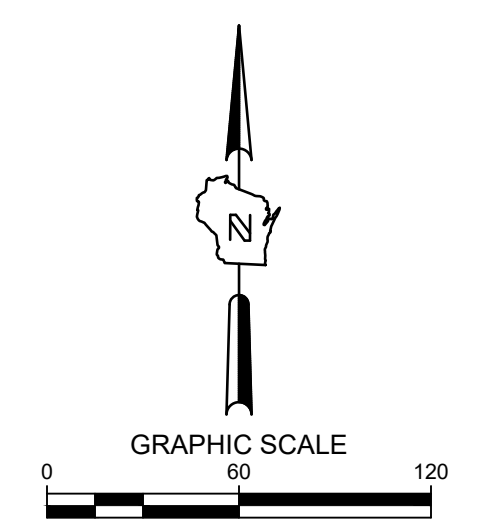
**City of Franklin RESIDENTIAL Landscape Requirements:**

Total Dwelling Units (D.U.) = 432			
Open Space Ratio (OSR) = 0.40			
Overall Type	Minimum (City Standards)	Required	Proposed
Trees Preserved (>8" Cal.)	N/A	N/A	53
Canopy/Shade Trees	1.5 / DU	648	105
Evergreen Trees	1 / DU	432	125
Decorative Trees	1 / DU	432	131
Shrubs	3 / DU	1,296	890
Ornamental Grasses	N/A	N/A	1,128

**City of Franklin NONRESIDENTIAL Landscape Requirements:**

Total Parking Stalls = 300			
Landscape Surface Ratio (LSR) = 0.45			
Overall Type	Minimum (City Standards)	Required	Proposed
Canopy/Shade Trees	1 / 5 Stalls	60	122
Evergreen Trees	1 / 5 Stalls	60	135
Decorative Trees	1 / 5 Stalls	60	74
Shrubs	1 / 5 Stalls	60	634
Ornamental Grasses	N/A	N/A	625

- LANDSCAPE GENERAL NOTES:**
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  2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
  3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
  4. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  5. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
  6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.



**POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 OVERALL LANDSCAPE PLAN**

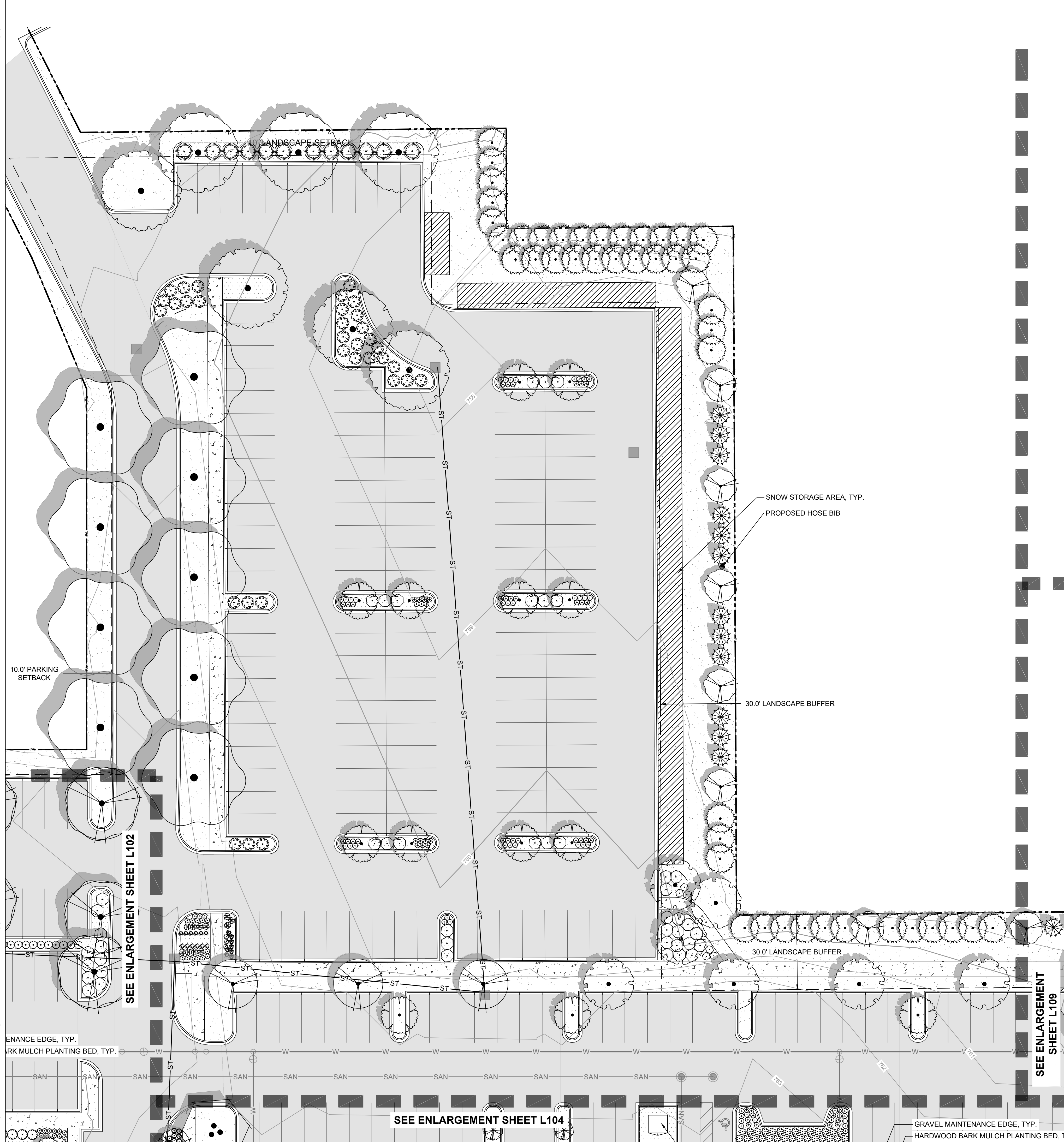
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE
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SCALE:	1" = 60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLJ
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	L100





LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH
- NATIVE SEED MIX
- BIOINFILTRATION PERENNIAL PLUGS
- SNOW STORAGE AREA
- EXISTING WOODLANDS (TO BE PRESERVED)
- PROPERTY LINE
- METAL PLANT EDGING
- SHOVEL CUT PLANT EDGING
- SHEET MATCHLINE
- CONSERVATION EASEMENT LINE
- EXISTING WETLAND (TO BE PRESERVED)
- EXISTING WETLAND BUFFER (TO BE PRESERVED)
- MARKET TENT
- EXISTING TREE (TO BE PRESERVED)

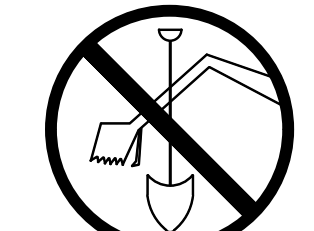
PLANT KEY

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	MP	Malus x 'Purple Prince' / Purple Prince Crabapple
	MS	Malus x 'Spring Snow' / Spring Snow Crabapple
	SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
<b>CANOPY TREE</b>		
	GS2	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust
	QC	Quercus bicolor 'Bonnie and Mike' / Beacon® Oak
	UA	Ulmus americana 'Princeton' / Princeton American Elm
<b>EVERGREEN TREES</b>		
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper
	TD3	Thuja occidentalis 'Dark Green' / Dark American Arborvitae
<b>DECIDUOUS SHRUBS</b>		
	HB	Hydrangea paniculata 'LVOBO' / Bobo® Panicle Hydrangea
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
<b>EVERGREEN SHRUBS</b>		
	JP	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfizer Juniper
	JF2	Juniperus chinensis 'Sea Green' / Sea Green Juniper
<b>ORNAMENTAL GRASSES</b>		
	ES	Eragrostis spectabilis / Purple Lovegrass
<b>PERENNIALS</b>		
	AF3	Agastache x 'Blue Fortune' / Blue Fortune Anise Hyssop
	EK2	Echinacea purpurea 'Kim's Knee High' / Kim's Knee High Coneflower
	NC	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint
	SP	Symphotrichum novae-angliae 'Purple Dome' / Purple Dome New England Aster

LANDSCAPE GENERAL NOTES:

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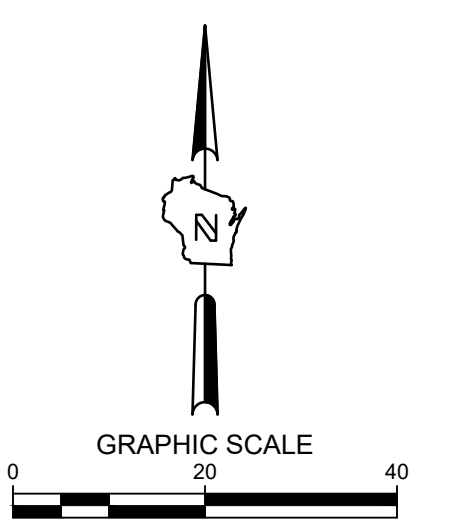
TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

WE STRONGLY RECOMMEND YOU OBTAIN A COPY OF THE M.L.W. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 LANDSCAPE PLAN ENLARGEMENT

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

ISSUANCE DATE  
 PLAN COMMISSION SUBMITTAL 12/11/23

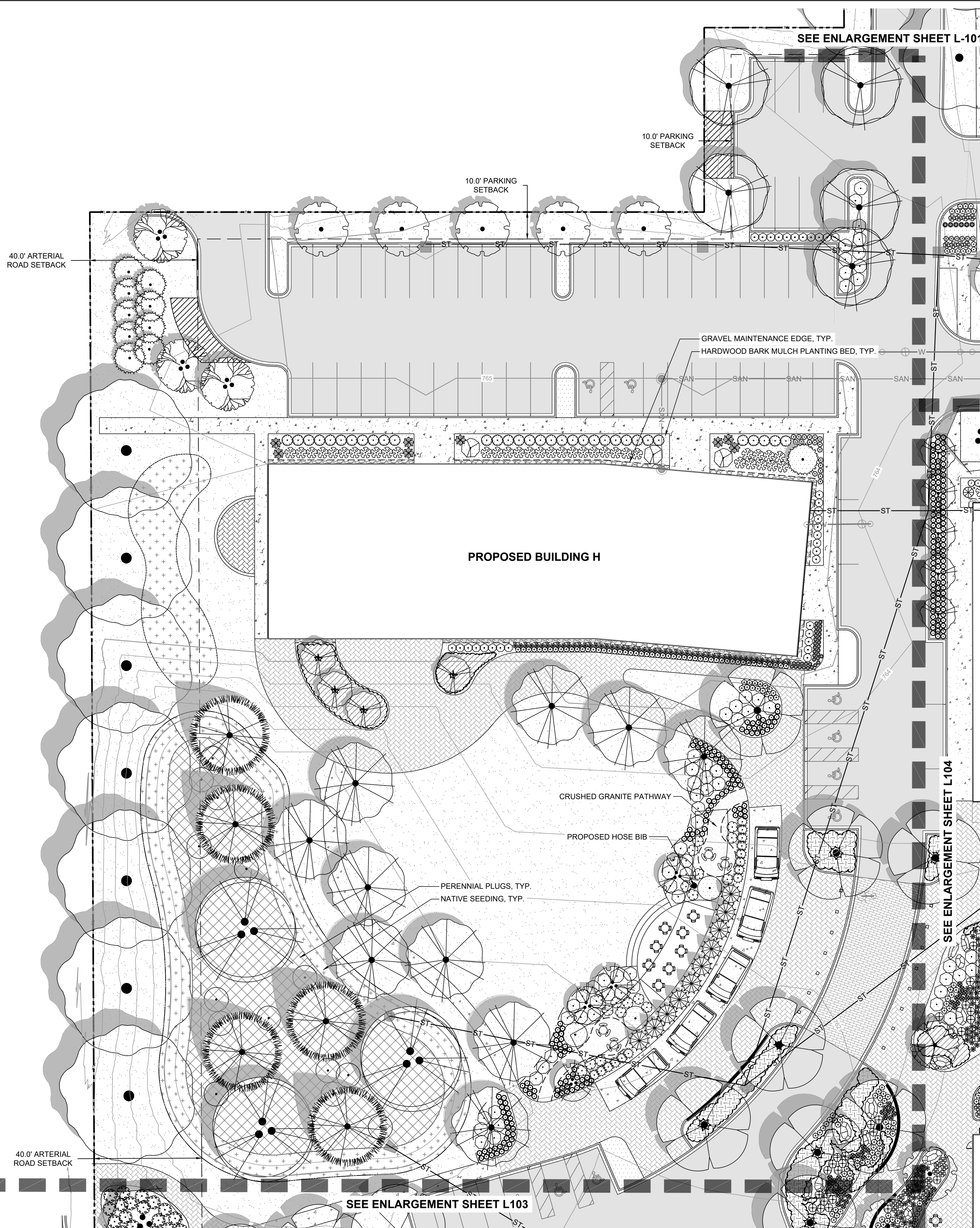
NO. REVISION DATE

SCALE: 1" = 20'  
 PROJECT NO: 21775  
 DESIGN DATE: ---  
 PLOT DATE: 2023.12.11  
 DRAWN BY: HLY  
 CHECKED BY: JLL  
 APPROVED BY: CTC  
 SHEET NO:

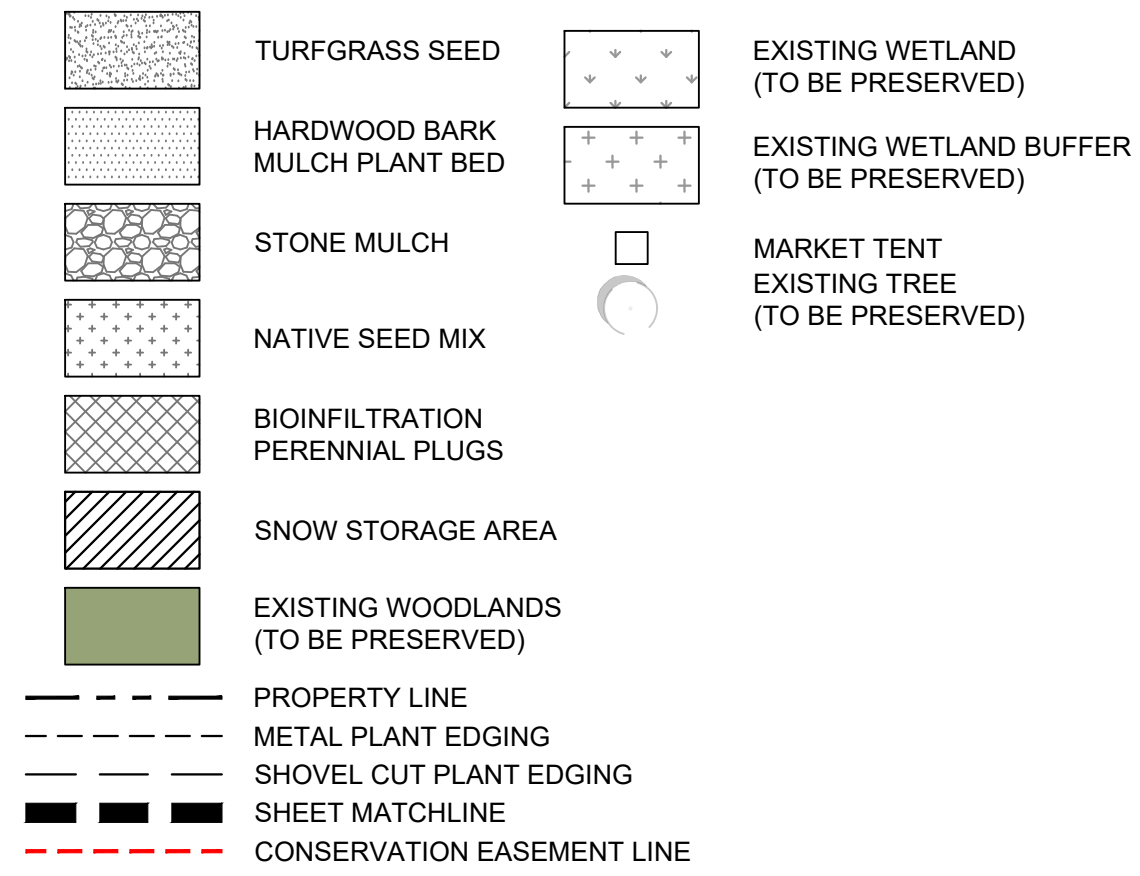
L101



S. 76TH STREET CTH "U"



LANDSCAPE LEGEND:



PLANT KEY

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	BW	Betula populifolia 'Whitespire' / Whitespire Gray Birch
	CI	Crataegus crus-galli inermis / Thornless Cockspur Hawthorn
	MP	Malus x 'Purple Prince' / Purple Prince Crabapple
<b>CANOPY TREE</b>		
	AM	Acer miyabei 'Morton' / State Street™ Miyabe Maple
	BR	Betula nigra / River Birch
	GA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree
	LL	Larix laricina / Tamarack
	PB2	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree
	QB	Quercus bicolor / Swamp White Oak
	QC	Quercus bicolor 'Bonnie and Mike' / Beacon® Oak
<b>EVERGREEN TREES</b>		
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper
	TD3	Thuja occidentalis 'Dark Green' / Dark American Arborvitae
	TS	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae

<b>DECIDUOUS SHRUBS</b>		
	CS4	Cornus sericea 'Cardinal' / Cardinal Red Twig Dogwood
	CF	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood
	PD2	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark
	SO	Sambucus racemosa 'SMNSRD4' / Lemony Lace® Elderberry
<b>EVERGREEN SHRUBS</b>		
	JP	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper
	TE	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew
<b>ORNAMENTAL GRASSES</b>		
	CO	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass
	SH	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed
<b>PERENNIALS</b>		
	AM4	Allium x 'Millenium' / Millenium Ornamental Onion
	AB4	Amsonia x 'Blue Ice' / Blue Ice Bluestar
	AV	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
	BA2	Baptisia australis / Blue Wild Indigo
	EK2	Echinacea purpurea 'Kim's Knee High' / Kim's Knee High Coneflower
	EW	Echinacea purpurea 'White Swan' / White Swan Coneflower
	HH	Hosta x 'Halcyon' / Halcyon Hosta
	MP2	Matteuccia pennsylvanica / Ostrich Fern
<b>GROUND COVERS</b>		
	CI2	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge
	GM2	Geranium x 'Gerwat' / Rozanne Geranium

LANDSCAPE GENERAL NOTES:

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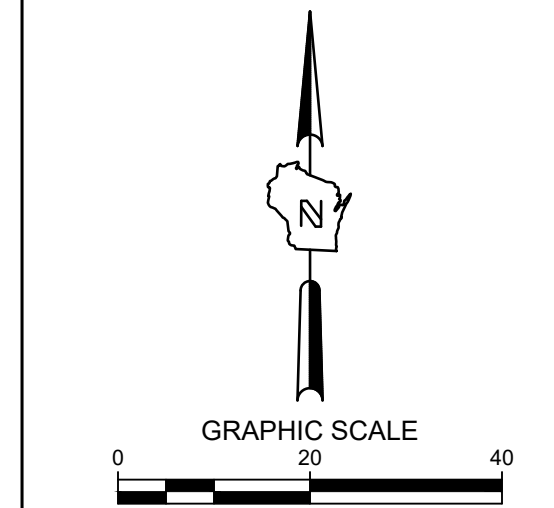
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

WIS STATUTE 182.07(1)(1974)  
REQUIRES A MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

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POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
LANDSCAPE PLAN ENLARGEMENT

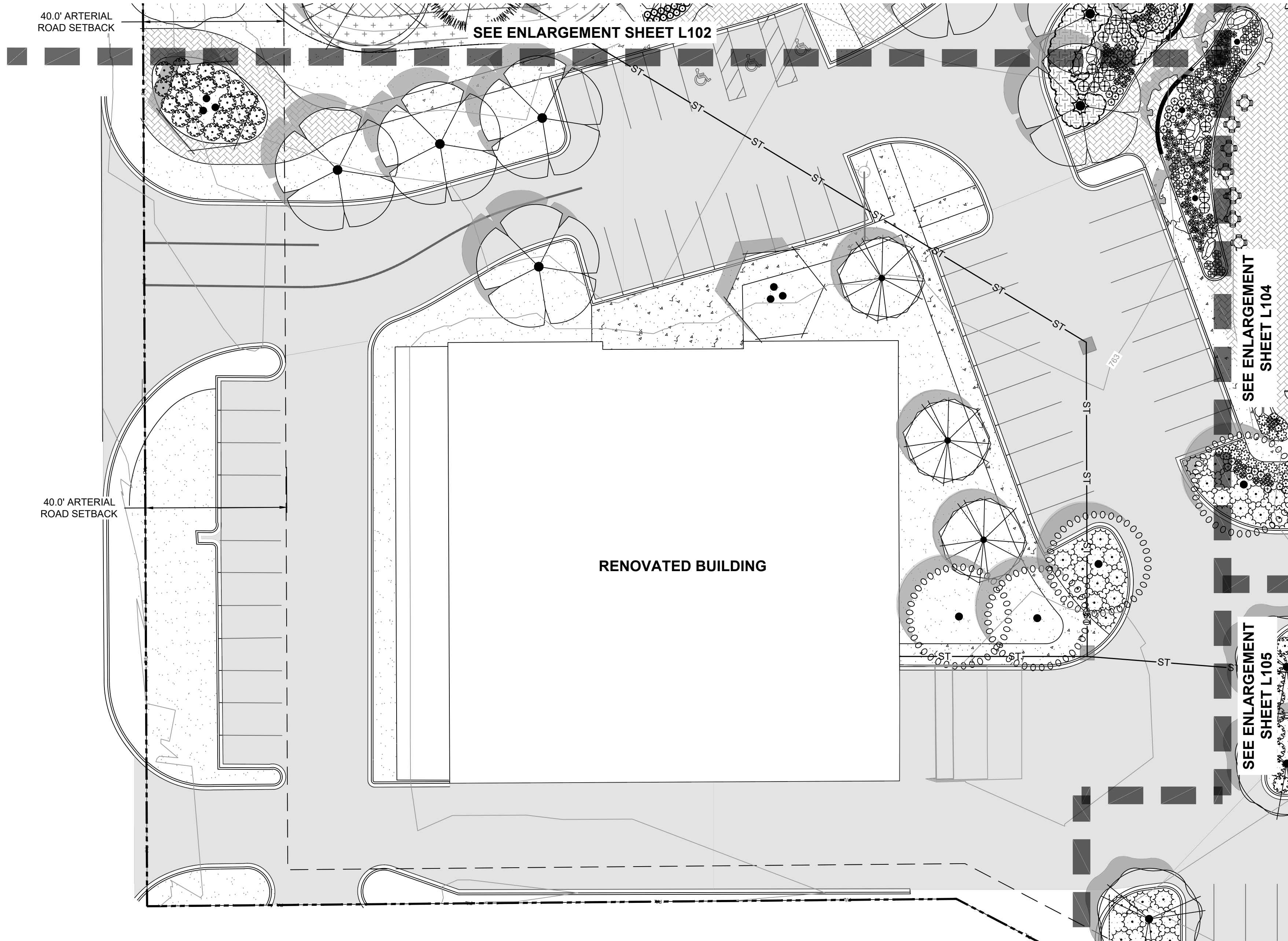
PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1" = 20'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLY
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	L102





LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH
- NATIVE SEED MIX
- BIOFILTRATION PERENNIAL PLUGS
- SNOW STORAGE AREA
- EXISTING WOODLANDS (TO BE PRESERVED)
- PROPERTY LINE
- METAL PLANT EDGING
- SHOVEL CUT PLANT EDGING
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- CONSERVATION EASEMENT LINE
- EXISTING WETLAND (TO BE PRESERVED)
- EXISTING WETLAND BUFFER (TO BE PRESERVED)
- MARKET TENT
- EXISTING TREE (TO BE PRESERVED)

PLANT KEY

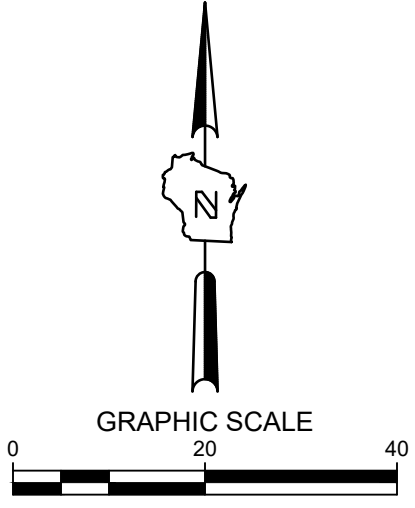
SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	CC	Carpinus caroliniana 'J.N. Strain' TM / J.N. Strain American Hornbeam
	MP	Malus x 'Purple Prince' / Purple Prince Crabapple
	OV	Ostrya virginiana / American Hophornbeam
<b>CANOPY TREE</b>		
	CC2	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry
	GA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree
<b>DECIDUOUS SHRUBS</b>		
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
<b>EVERGREEN SHRUBS</b>		
	JY	Juniperus horizontalis 'Youngstown' / Creeping Juniper
<b>ORNAMENTAL GRASSES</b>		
	CO	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass
<b>PERENNIALS</b>		
	AM4	Allium x 'Millenium' / Millenium Ornamental Onion
	BA2	Baptisia australis / Blue Wild Indigo
	EK2	Echinacea purpurea 'Kim's Knee High' / Kim's Knee High Coneflower
	EW	Echinacea purpurea 'White Swan' / White Swan Coneflower
	NC	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint
	SP	Symphotrichum novae-angliae 'Purple Dome' / Purple Dome New England Aster

LANDSCAPE GENERAL NOTES:

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**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210

7044 South Ballpark Drive Suite 305  
 Franklin, WI 53132  
 Phone: 414-285-3470



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 LANDSCAPE PLAN ENLARGEMENT

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE
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SCALE:	1" = 20'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLV
CHECKED BY:	JL
APPROVED BY:	CTC

SHEET NO:  
**L103**



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
 CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WIS STATUTE 182.0176(1974)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU DIG ANYWHERE  
 MILW. AREA 259-1181

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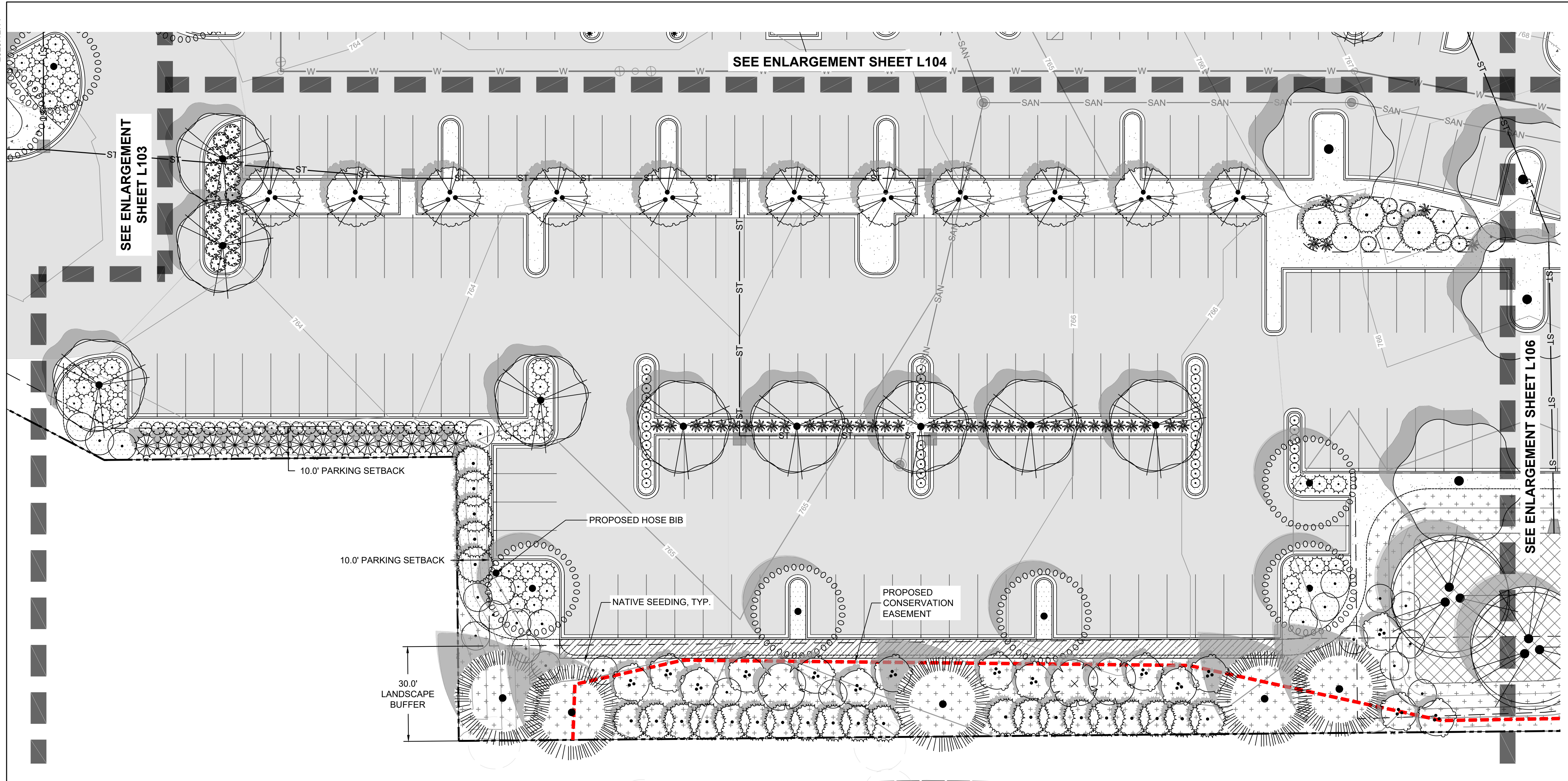


2023.12.11

H:JOHN

L:105

21775

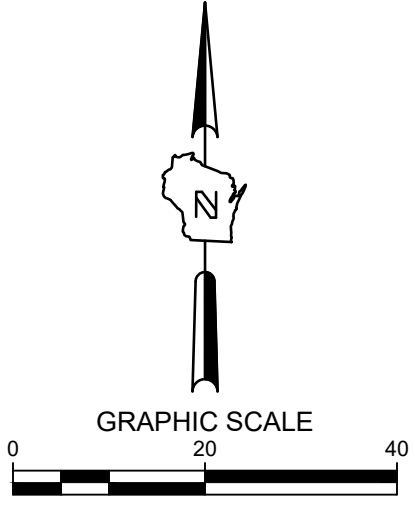


LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH
- NATIVE SEED MIX
- BIOFILTRATION PERENNIAL PLUGS
- SNOW STORAGE AREA
- EXISTING WOODLANDS (TO BE PRESERVED)
- PROPERTY LINE
- METAL PLANT EDGING
- SHOVEL CUT PLANT EDGING
- SHEET MATCHLINE
- CONSERVATION EASEMENT LINE
- EXISTING WETLAND (TO BE PRESERVED)
- EXISTING WETLAND BUFFER (TO BE PRESERVED)
- MARKET TENT
- EXISTING TREE (TO BE PRESERVED)

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 www.thesigmagroup.com  
 1300 West Canal Street  
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 Fax: 414-643-4210

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 Franklin, WI 53132  
 Phone: 414-285-3470



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 LANDSCAPE PLAN ENLARGEMENT

PLANT KEY		
SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
	HV	Hamamelis virginiana / Common Witch Hazel
<b>CANOPY TREE</b>		
	AM	Acer miyabei 'Morton' / State Street™ Miyabe Maple
	BR	Betula nigra / River Birch
	CC2	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry
	PT2	Populus tremuloides / Quaking Aspen
	UA	Ulmus americana 'Princeton' / Princeton American Elm

<b>EVERGREEN TREES</b>		
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper
	PS	Pinus strobus / White Pine
	TD3	Thuja occidentalis 'Dark Green' / Dark American Arborvitae
<b>DECIDUOUS SHRUBS</b>		
	CS4	Cornus sericea 'Cardinal' / Cardinal Red Twig Dogwood
	CF	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood
	HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea
	PD2	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark
	PO2	Physocarpus opulifolius 'SMNPOBLR' / Ginger Wine® Ninebark
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
<b>EVERGREEN SHRUBS</b>		
	JY	Juniperus horizontalis 'Youngstown' / Creeping Juniper
<b>ORNAMENTAL GRASSES</b>		
	MG	Miscanthus sinensis 'Gracillimus' / Eulalia Grass



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 1-800-242-8511  
 TOLL FREE  
 SEE DIVISION 18.02(2)(9)(10)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

LANDSCAPE GENERAL NOTES:

- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
- INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
- RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23
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---	---

NO. REVISION	DATE
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---	---
---	---

SCALE:	1" = 20'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLJ
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	L105

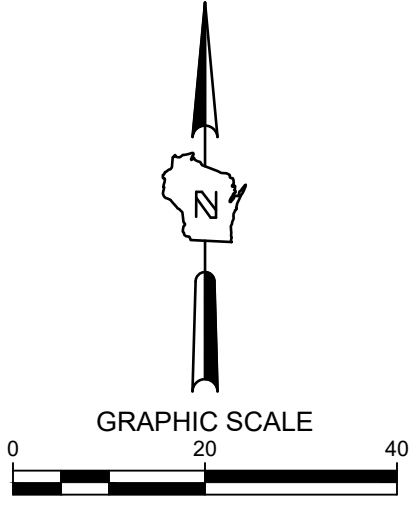
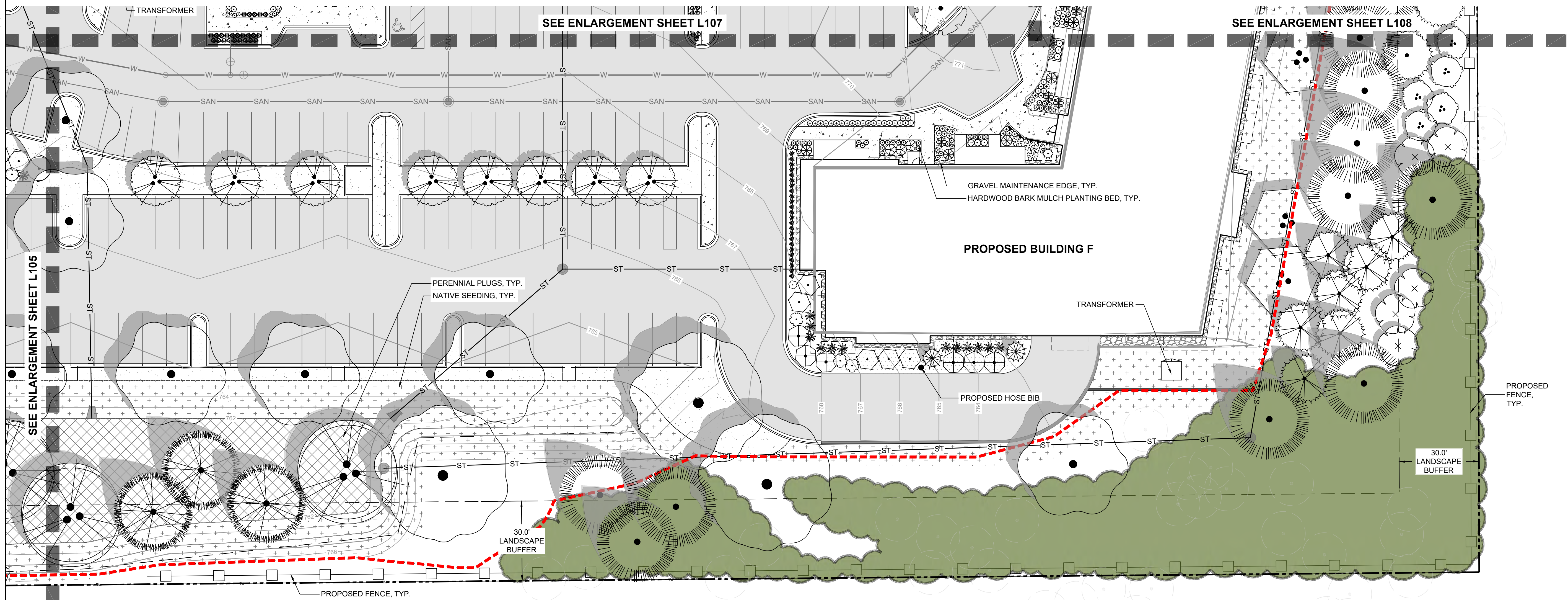


2023.12.11

SEE ENLARGEMENT SHEET L105

SEE ENLARGEMENT SHEET L107

SEE ENLARGEMENT SHEET L108



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 LANDSCAPE PLAN ENLARGEMENT

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
	CC	Carpinus caroliniana 'J.N. Strain' TM / J.N. Strain American Hornbeam
	HV	Hamamelis virginiana / Common Witch Hazel
<b>CANOPY TREE</b>		
	BR	Betula nigra / River Birch
	LL	Larix laricina / Tamarack
	PT2	Populus tremuloides / Quaking Aspen
	QB	Quercus bicolor / Swamp White Oak
	UA	Ulmus americana 'Princeton' / Princeton American Elm

<b>EVERGREEN TREES</b>		
	JE	Juniperus virginiana / Eastern Redcedar
	JX	Juniperus x 'J.N. Select Blue' / Star Power® Juniper
	PG	Picea glauca / White Spruce
	PS	Pinus strobus / White Pine
	TS	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae
<b>DECIDUOUS SHRUBS</b>		
	CW	Cotinus coggygria 'NCC01' / Winecraft Black® Smoke Tree
	HB	Hydrangea paniculata 'ILVOBO' / Bobo® Panicle Hydrangea
	HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea
<b>EVERGREEN SHRUBS</b>		
	BG	Buxus x 'Glencoe' / Chicagoland Green® Boxwood
	BG2	Buxus x 'Green Mound' / Green Mound Boxwood
	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood
	JB	Juniperus horizontalis 'Blue Chip' / Blue Chip Creeping Juniper

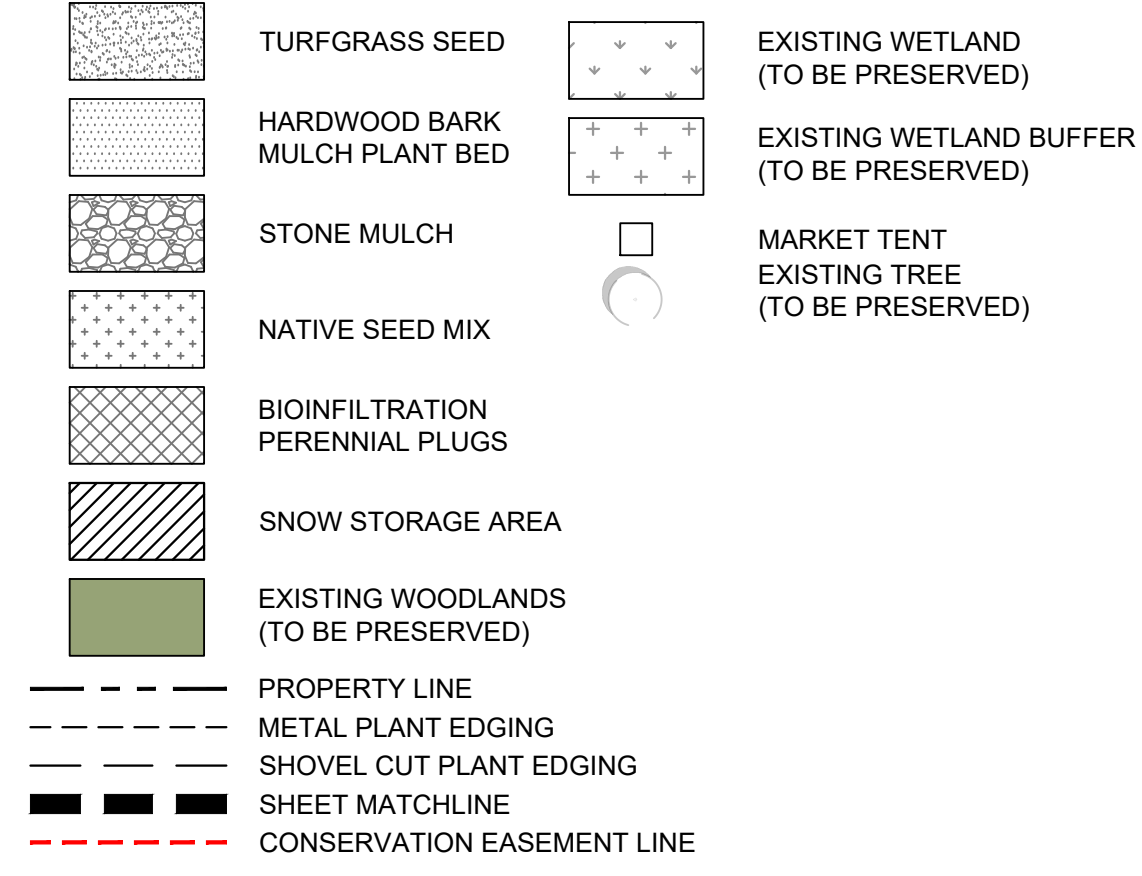
<b>ORNAMENTAL GRASSES</b>		
	CO	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass
	MG	Miscanthus sinensis 'Gracillimus' / Eulalia Grass
<b>PERENNIALS</b>		
	AV	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
	BW2	Bergenia cordifolia 'Winterglut' / Winterglow Heartleaf Bergenia
	HH	Hosta x 'Halcyon' / Halcyon Hosta
	MP2	Matteuccia pennsylvanica / Ostrich Fern
<b>VINE/ESPALIER</b>		
	FA	Fallopia aubertii 'Lemon Lace' / Lemon Lace Vine



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 1-800-242-8511  
 TOLL FREE  
 MS STATUTE 182.07(1)(2)  
 REQUIRES MIN. 10 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MIL.W. AREA 259-1181

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**LANDSCAPE LEGEND:**



**LANDSCAPE GENERAL NOTES:**

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**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

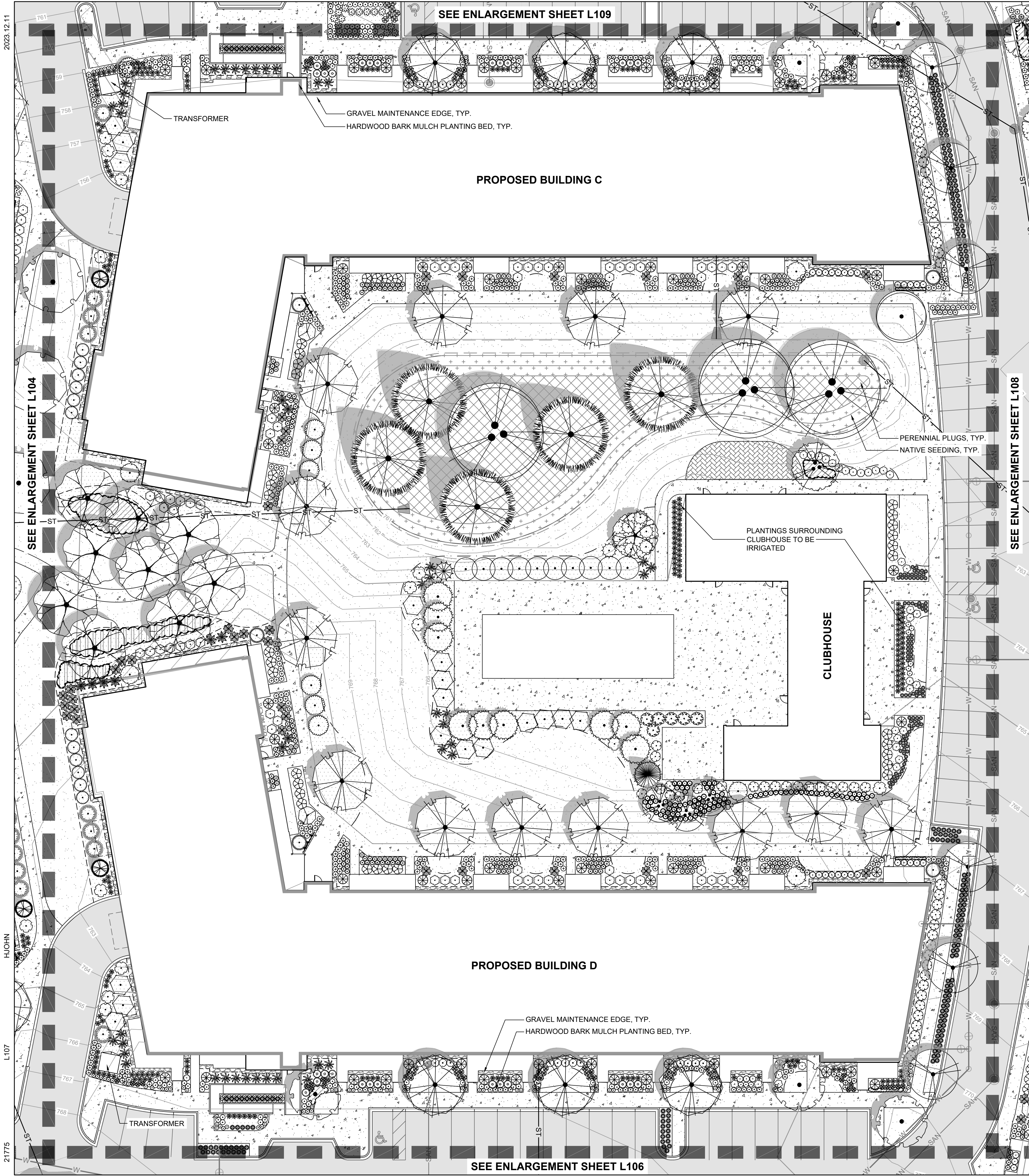
ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1" = 20'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLJ
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	L106

21775





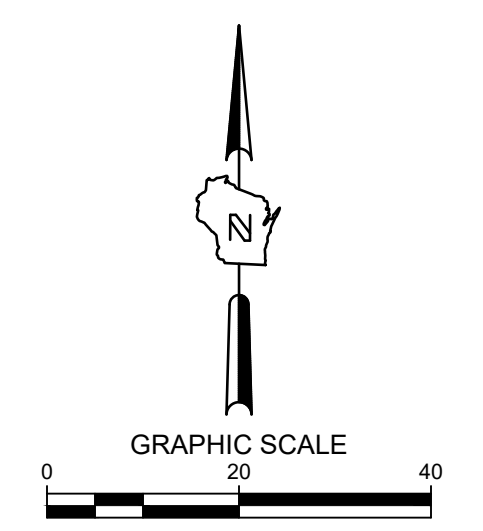
**LANDSCAPE LEGEND:**

	TURFGRASS SEED		EXISTING WETLAND (TO BE PRESERVED)
	HARDWOOD BARK MULCH PLANT BED		EXISTING WETLAND BUFFER (TO BE PRESERVED)
	STONE MULCH		MARKET TENT (TO BE PRESERVED)
	NATIVE SEED MIX		EXISTING TREE (TO BE PRESERVED)
	BIOINFILTRATION PERENNIAL PLUGS		
	SNOW STORAGE AREA		
	EXISTING WOODLANDS (TO BE PRESERVED)		
	PROPERTY LINE		
	METAL PLANT EDGING		
	SHOVEL CUT PLANT EDGING		
	SHEET MATCHLINE		
	CONSERVATION EASEMENT LINE		

**PLANT KEY**

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	AG3	Acer griseum / Paperbark Maple
	AB3	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
	BW	Betula populifolia 'Whitespire' / Whitespire Gray Birch
	CA	Cornus alternifolia / Pagoda Dogwood
	MA2	Malus x 'Adirondack' / Adirondack Crabapple
	MP	Malus x 'Purple Prince' / Purple Prince Crabapple
	MS	Malus x 'Spring Snow' / Spring Snow Crabapple
	OV	Ostrya virginiana / American Hophornbeam

CANOPY TREE		
	BR	Betula nigra / River Birch
	LI	Larix laricina / Tamarack
	LE	Liriodendron tulipifera 'JFS-Oz' / Emerald City® Tulip Poplar
EVERGREEN TREES		
	CP	Chamaecyparis nootkatensis 'Pendula' / Weeping Nootka Cypress
	JC2	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper
	TD3	Thuja occidentalis 'Dark Green' / Dark American Arborvitae



**POTHS GENERAL DEVELOPMENT**  
**76TH AND RAWSON**  
**FRANKLIN, WI 53132**  
**LANDSCAPE PLAN ENLARGEMENT**

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1" = 20'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLV
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	L107

- LANDSCAPE GENERAL NOTES:**
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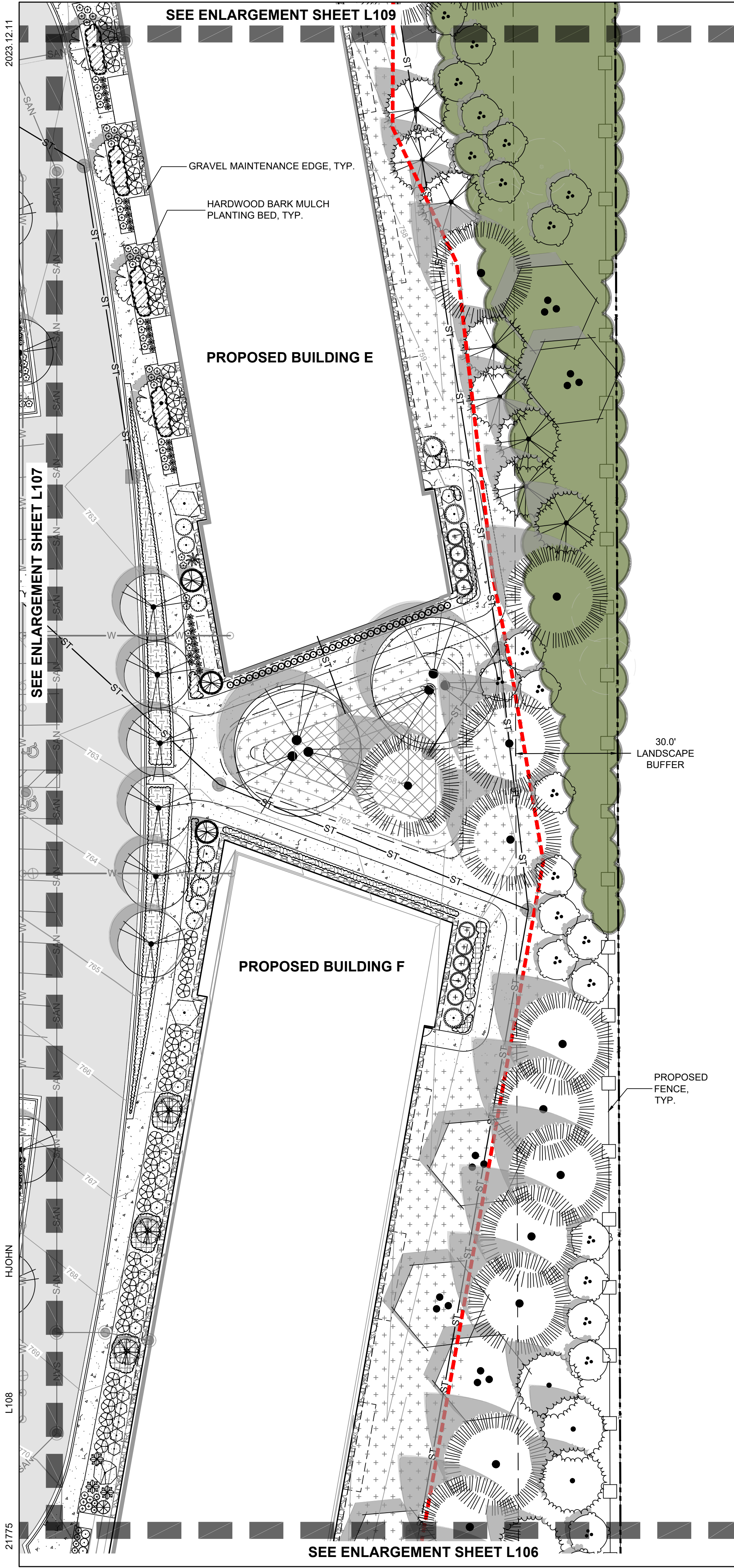
TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
  
 CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WE STATUTE 183.07(7)(2)(4) REQUIRES YOU 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

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2023.12.11  
L108  
21775

SEE ENLARGEMENT SHEET L109



GRAVEL MAINTENANCE EDGE, TYP.  
HARDWOOD BARK MULCH PLANTING BED, TYP.

PROPOSED BUILDING E

PROPOSED BUILDING F

30.0' LANDSCAPE BUFFER

PROPOSED FENCE, TYP.

SEE ENLARGEMENT SHEET L106

**LANDSCAPE LEGEND:**

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH
- NATIVE SEED MIX
- BIOFILTRATION PERENNIAL PLUGS
- SNOW STORAGE AREA
- EXISTING WOODLANDS (TO BE PRESERVED)
- PROPERTY LINE
- METAL PLANT EDGING
- SHOVEL CUT PLANT EDGING
- SHEET MATCHLINE
- CONSERVATION EASEMENT LINE
- EXISTING WETLAND (TO BE PRESERVED)
- EXISTING WETLAND BUFFER (TO BE PRESERVED)
- MARKET TENT
- EXISTING TREE (TO BE PRESERVED)



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**PLANT KEY**

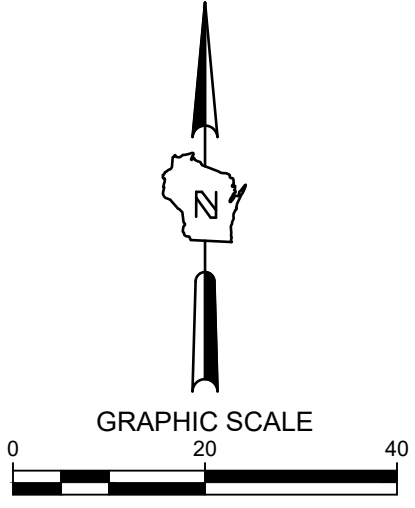
SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	CC	Carpinus caroliniana 'J.N. Strain' TM / J.N. Strain American Hornbeam
	CJ2	Carpinus caroliniana 'J.N. Upright' / Firespire® American Hornbeam
	MS	Malus x 'Spring Snow' / Spring Snow Crabapple
	SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
<b>CANOPY TREE</b>		
	BR	Betula nigra / River Birch
	PT2	Populus tremuloides / Quaking Aspen
<b>EVERGREEN TREES</b>		
	JC2	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper
	JE	Juniperus virginiana / Eastern Redcedar
	PG	Picea glauca / White Spruce
	PS	Pinus strobus / White Pine
<b>DECIDUOUS SHRUBS</b>		
	HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea
	HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea
	PO2	Physocarpus opulifolius 'SMNPOBLR' / Ginger Wine® Ninebark
	SO	Sambucus racemosa 'SMNSRD4' / Lemony Lace® Elderberry
<b>EVERGREEN SHRUBS</b>		
	BG	Buxus x 'Glencoe' / Chicagoland Green® Boxwood
	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood
	TD	Taxus x media 'Densiformis' / Dense Anglo-Japanese Yew
	TH	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew
<b>ORNAMENTAL GRASSES</b>		
	CO	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass
	MG	Miscanthus sinensis 'Gracillimus' / Eulalia Grass
	SH	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed
<b>PERENNIALS</b>		
	AM4	Allium x 'Millenium' / Millenium Ornamental Onion
	AS3	Aralia cordata 'Sun King' / Sun King Japanese Spikenard
	AV	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
	BW2	Bergenia cordifolia 'Winterglut' / Winterglow Heartleaf Bergenia
	HH	Hosta x 'Halcyon' / Halcyon Hosta
	NC	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint
<b>GROUND COVERS</b>		
	CB2	Carex flacca 'Blue Zinger' / Blue Zinger Sedge
	CI2	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge
	GM2	Geranium x 'Gerwat' / Rozanne Geranium
	HU	Heuchera x 'Palace Purple' / Palace Purple Coralbells

**LANDSCAPE GENERAL NOTES:**

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**THE SIGMA GROUP**  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

7044 South Ballpark Drive Suite 305  
Franklin, WI 53132  
Phone: 414-285-3470



POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
LANDSCAPE PLAN ENLARGEMENT

**PRELIMINARY  
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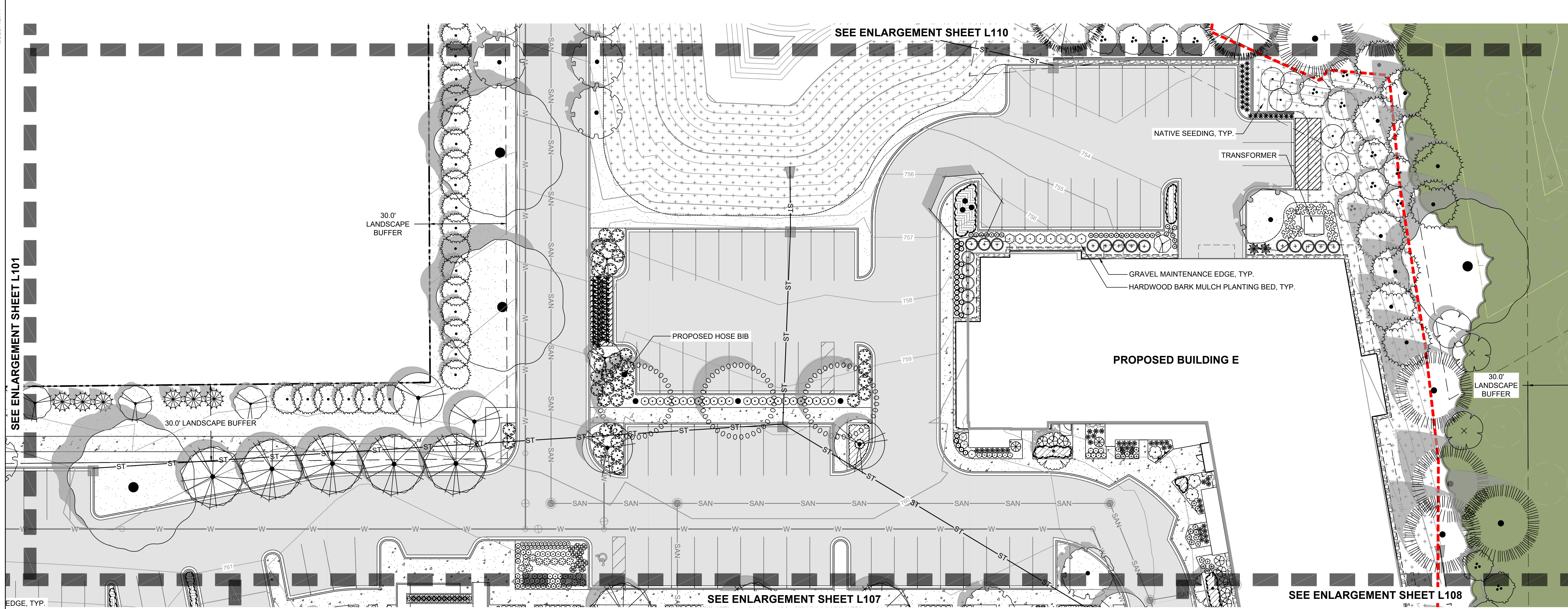
ISSUANCE DATE  
PLAN COMMISSION SUBMITTAL 12/11/23

NO. REVISION DATE

SCALE: 1" = 20'  
PROJECT NO: 21775  
DESIGN DATE: ---  
PLOT DATE: 2023.12.11  
DRAWN BY: HLY  
CHECKED BY: JL  
APPROVED BY: CTC

SHEET NO:  
**L108**

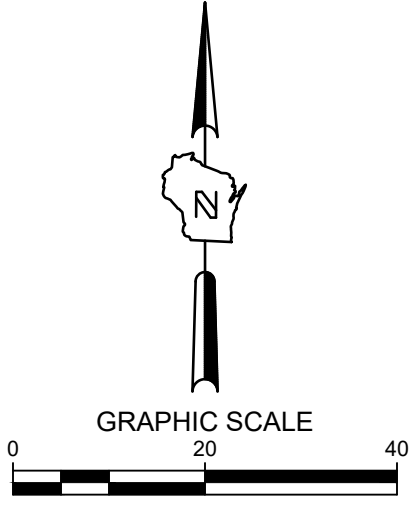




SEE ENLARGEMENT SHEET L110

SEE ENLARGEMENT SHEET L107

SEE ENLARGEMENT SHEET L108



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 LANDSCAPE PLAN ENLARGEMENT

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	CC	Carpinus caroliniana 'J.N. Strain' TM / J.N. Strain American Hornbeam
	CA	Cornus alternifolia / Pagoda Dogwood
	HV	Hamamelis virginiana / Common Witch Hazel
	MP	Malus x 'Purple Prince' / Purple Prince Crabapple
	MS	Malus x 'Spring Snow' / Spring Snow Crabapple
	OV	Ostrya virginiana / American Hophornbeam
	SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
<b>CANOPY TREE</b>		
	CC2	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry
	PT2	Populus tremuloides / Quaking Aspen
	QB	Quercus bicolor / Swamp White Oak
	QC	Quercus bicolor 'Bonnie and Mike' / Beacon® Oak

<b>EVERGREEN TREES</b>		
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper
	PG	Picea glauca / White Spruce
	PS	Pinus strobus / White Pine
	TD3	Thuja occidentalis 'Dark Green' / Dark American Arborvitae
<b>DECIDUOUS SHRUBS</b>		
	CS4	Cornus sericea 'Cardinal' / Cardinal Red Twig Dogwood
	CW	Cotinus coggygria 'NCC01' / Winecraft Black® Smoke Tree
	HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea
	HB	Hydrangea paniculata 'LVOBO' / Bobo® Panicle Hydrangea
	PD2	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark
	PO2	Physocarpus opulifolius 'SMNPOBLR' / Ginger Wine® Ninebark
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
	SO	Sambucus racemosa 'SMNSRD4' / Lemony Lace® Elderberry
	WS	Weigela florida 'Bokraspiwi' / Spilled Wine® Weigela
<b>EVERGREEN SHRUBS</b>		
	BG	Buxus x 'Glenceo' / Chicagoland Green® Boxwood
	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood
	TD	Taxus x media 'Densiformis' / Dense Anglo-Japanese Yew
<b>ORNAMENTAL GRASSES</b>		
	CO	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass
	PB	Pennisetum alopecuroides 'Burgundy Bunny' / Burgundy Bunny Dwarf Fountain Grass
	ST2	Schizachyrium scoparium 'Twilight Zone' / Twilight Zone Little Bluestem
	SH	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed

<b>PERENNIALS</b>		
	AM4	Allium x 'Millenium' / Millenium Ornamental Onion
	AS	Artemisia schmidtiana 'Silver Mound' / Silver Mound Artemisia
	AV	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
	EK2	Echinacea purpurea 'Kim's Knee High' / Kim's Knee High Coneflower
	EW	Echinacea purpurea 'White Swan' / White Swan Coneflower
	HB3	Hemerocallis x 'Bela Lugosi' / Bela Lugosi Daylily
	HS2	Hosta x 'Sum and Substance' / Sum and Substance Hosta
	MP2	Matteuccia pennsylvanica / Ostrich Fern
	NC	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint
	SM	Salvia x sylvestris 'May Night' / May Night Sage
	SP	Symphyotrichum novae-angliae 'Purple Dome' / Purple Dome New England Aster
<b>VINE/ESPALIER</b>		
	FA	Fallopia aubertii 'Lemon Lace' / Lemon Lace Vine
<b>GROUND COVERS</b>		
	GM2	Geranium x 'Gerwat' / Rozanne Geranium
	HU	Heuchera x 'Palace Purple' / Palace Purple Coralbells
	PG2	Pachysandra terminalis 'Green Carpet' / Green Carpet Japanese Pachysandra



CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WE STATUTE (182.0718(174))  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

LANDSCAPE LEGEND:	
	TURFGRASS SEED
	HARDWOOD BARK MULCH PLANT BED
	STONE MULCH
	NATIVE SEED MIX
	BIOINFILTRATION PERENNIAL PLUGS
	SNOW STORAGE AREA
	EXISTING WOODLANDS (TO BE PRESERVED)
	PROPERTY LINE
	METAL PLANT EDGING
	SHOVEL CUT PLANT EDGING
	SHEET MATCHLINE
	CONSERVATION EASEMENT LINE
	EXISTING WETLAND (TO BE PRESERVED)
	EXISTING WETLAND BUFFER (TO BE PRESERVED)
	MARKET TENT EXISTING TREE (TO BE PRESERVED)

- LANDSCAPE GENERAL NOTES:**
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
  - INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
  - COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
  - RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  - CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
  - PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

ISSUANCE DATE  
 PLAN COMMISSION SUBMITTAL 12/11/23

NO. REVISION DATE

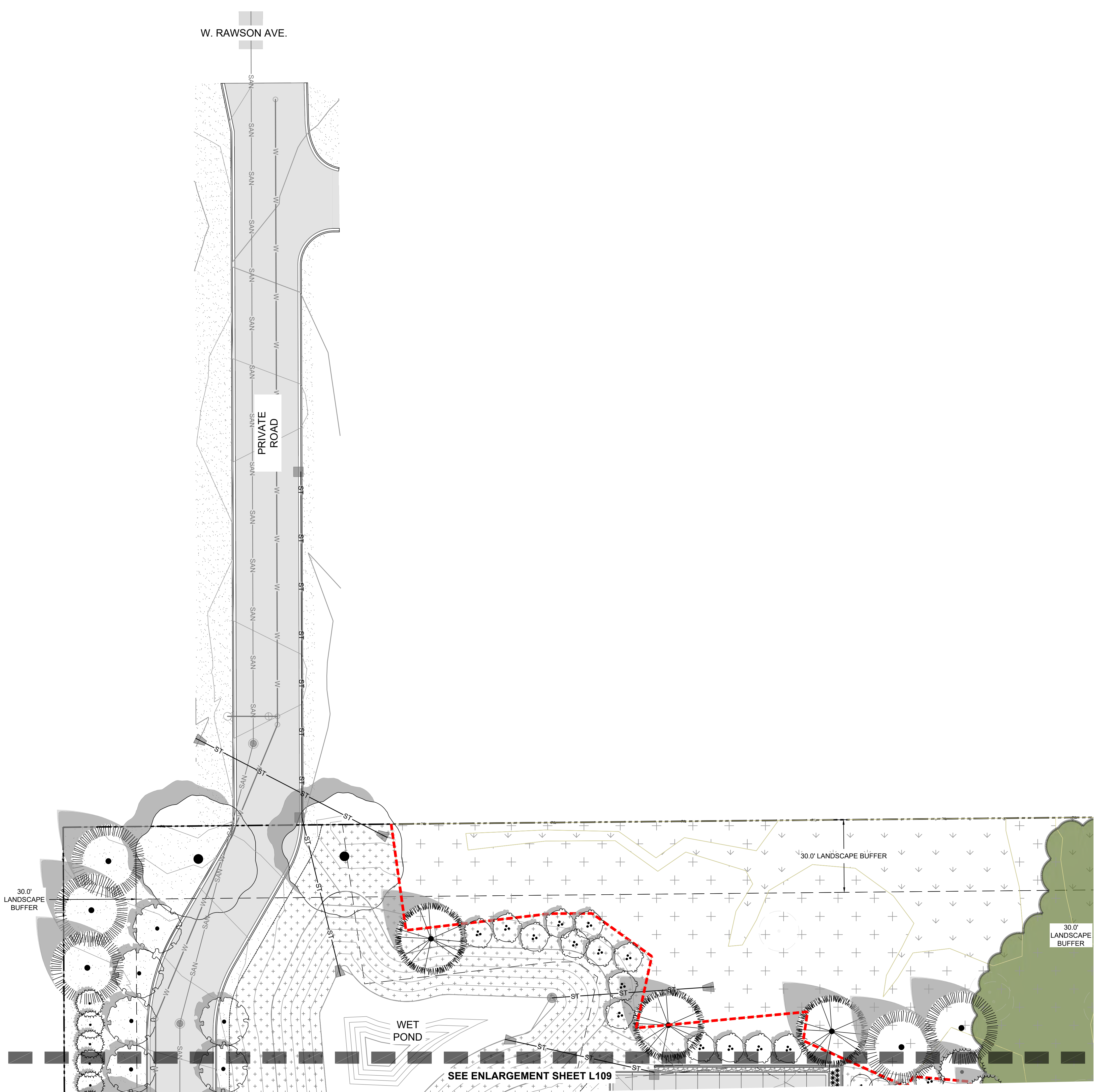
SCALE: 1" = 20'  
 PROJECT NO: 21775  
 DESIGN DATE: ---  
 PLOT DATE: 2023.12.11  
 DRAWN BY: HLY  
 CHECKED BY: JL  
 APPROVED BY: CTC  
 SHEET NO:

**L109**



W. RAWSON AVE.

PRIVATE ROAD



LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH
- NATIVE SEED MIX
- BIOINFILTRATION PERENNIAL PLUGS
- SNOW STORAGE AREA
- EXISTING WOODLANDS (TO BE PRESERVED)
- PROPERTY LINE
- METAL PLANT EDGING
- SHOVEL CUT PLANT EDGING
- SHEET MATCHLINE
- CONSERVATION EASEMENT LINE
- EXISTING WETLAND (TO BE PRESERVED)
- EXISTING WETLAND BUFFER (TO BE PRESERVED)
- MARKET TENT EXISTING TREE (TO BE PRESERVED)

PLANT KEY

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>DECORATIVE TREE</b>		
	MP	Malus x 'Purple Prince' / Purple Prince Crabapple
<b>CANOPY TREE</b>		
	LL	Larix laricina / Tamarack
	PT2	Populus tremuloides / Quaking Aspen
	QB	Quercus bicolor / Swamp White Oak
<b>EVERGREEN TREES</b>		
	PS	Pinus strobus / White Pine
	TD3	Thuja occidentalis 'Dark Green' / Dark American Arborvitae

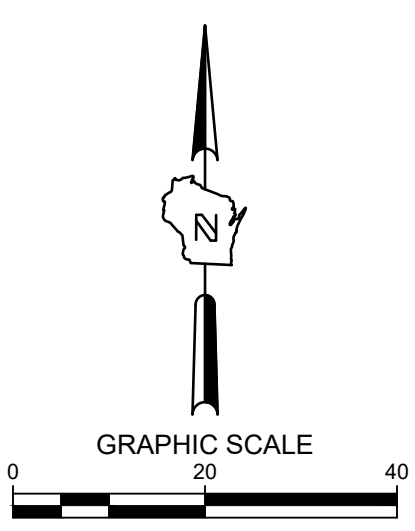


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WE STRIKE 182.075(1874)  
REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE  
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

LANDSCAPE GENERAL NOTES:

- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
- INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
- RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.



POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
LANDSCAPE PLAN ENLARGEMENT

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

ISSUANCE	DATE
PLAN COMMISSION SUBMITTAL	12/11/23

NO. REVISION	DATE

SCALE:	1" = 20'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	2023.12.11
DRAWN BY:	HLV
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	L110



PLANT SCHEDULE

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, SIZE, CONTAINER, QTY. Includes sections for DECORATIVE TREE and CANOPY TREE.

TOTAL DECORATIVE TREES: 205

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, SIZE, CONTAINER, QTY. Includes sections for CANOPY TREE and SHADE TREE.

TOTAL CANOPY/SHADE TREES: 227

EVERGREEN TREES

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, SIZE, CONTAINER, QTY. Lists various evergreen tree species.

TOTAL EVERGREEN TREES: 260

DECIDUOUS SHRUBS

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, SIZE, CONTAINER, QTY. Lists various deciduous shrub species.

TOTAL DECIDUOUS SHRUBS: 904

EVERGREEN SHRUBS

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, SIZE, CONTAINER, QTY. Lists various evergreen shrub species.

TOTAL EVERGREEN SHRUBS: 620

ORNAMENTAL GRASSES

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, SIZE, CONTAINER, QTY. Lists various ornamental grass species.

TOTAL ORNAMENTAL GRASSES: 1,753

PERENNIALS

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, CONTAINER, SPACING, QTY. Lists various perennial plant species.

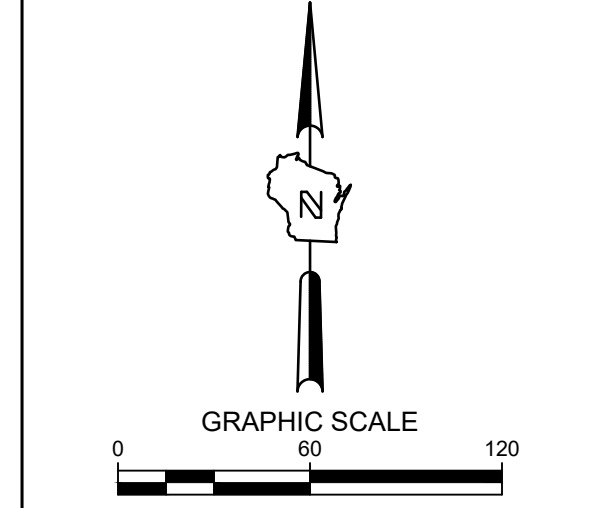
TOTAL PERENNIALS: 2,387

VINE/ESPALIER

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, CONTAINER, SPACING, QTY. Lists vine and espalier plant species.

GROUND COVERS

Table with columns: SYMBOL, CODE, BOTANICAL / COMMON NAME, CONTAINER, SPACING, QTY. Lists various ground cover species.



POTHS GENERAL DEVELOPMENT 76TH AND RAWSON FRANKLIN, WI 53132 OVERALL PLANT SCHEDULES

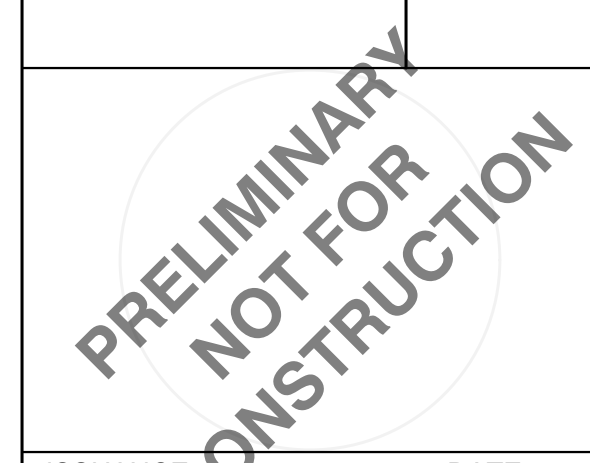


Table with columns: ISSUANCE, DATE, PLAN COMMISSION SUBMITTAL. 12/11/23

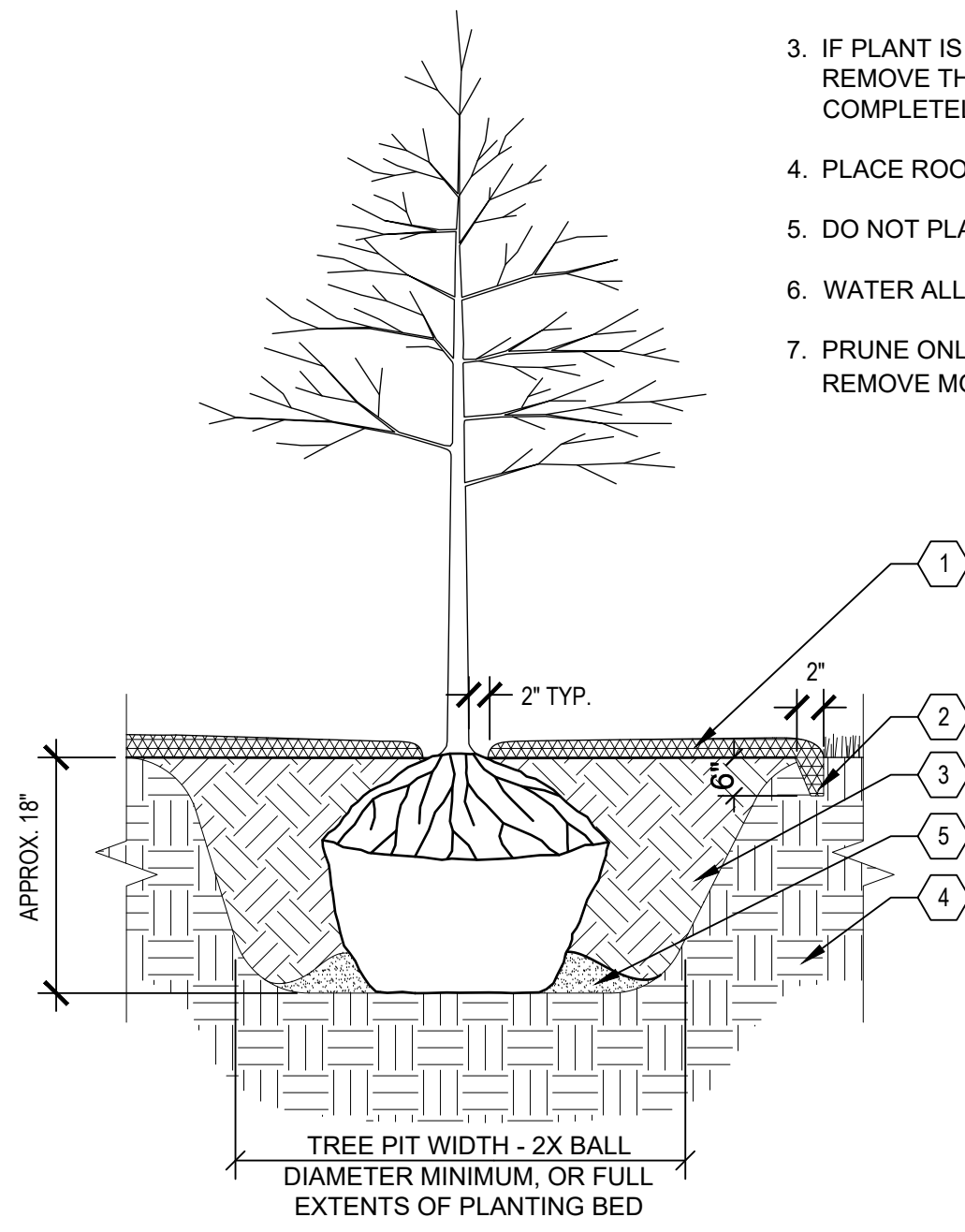
Table with columns: NO. REVISION, DATE.

Table with columns: SCALE (1" = 60'), PROJECT NO. (21775), DESIGN DATE, PLOT DATE (2023.12.11), DRAWN BY (HLY), CHECKED BY (JL), APPROVED BY (CTC).

SHEET NO: L111



**A TYPICAL TREE PLANTING**  
 SCALE:NTS

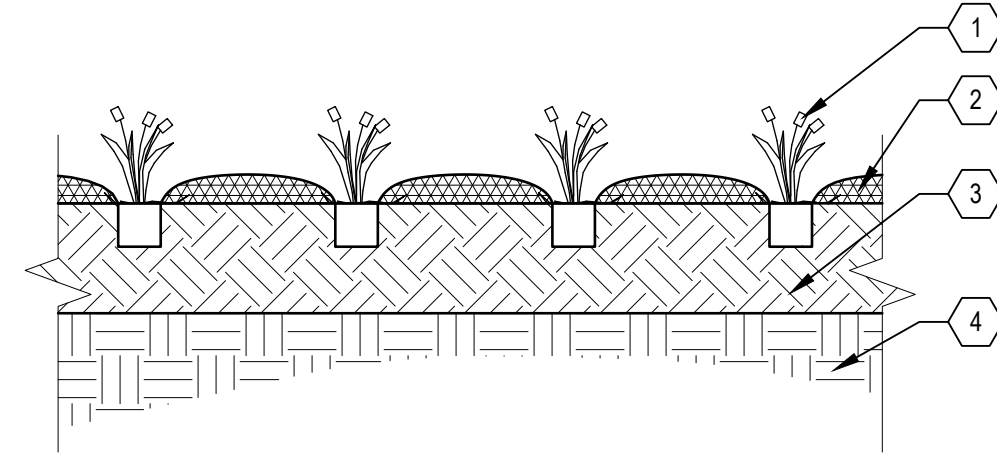


**KEYED LEGEND**

- 1 3" DEPTH SHREDDED HARDWOOD BARK MULCH. PROVIDE 4'-0" DIAMETER MULCH RINGS AT THE BASE OF ANY TREES PLANTED IN LAWN.
- 2 PROVIDE SPADED EDGE, 2" WIDE, 6" DEEP FOR ENTIRE PERIMETER OF BARK MULCH RINGS AT BASE OF TREES PLANTED IN LAWNS
- 3 PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED.
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

- NOTES:
- PLANT EACH TREE SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
  - DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
  - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE THE WIRE BASKET ENTIRELY. REMOVE ALL TWINE, ROPE, AND BURLAP COMPLETELY FROM ALL ROOT BALLS.
  - PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
  - DO NOT PLACE MULCH IN CONTACT WITH STEMS.
  - WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
  - PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/2 OF THE ORIGINAL PLANT MASS.

**C TYPICAL PERENNIAL PLANTING**  
 SCALE:NTS



**KEYED LEGEND**

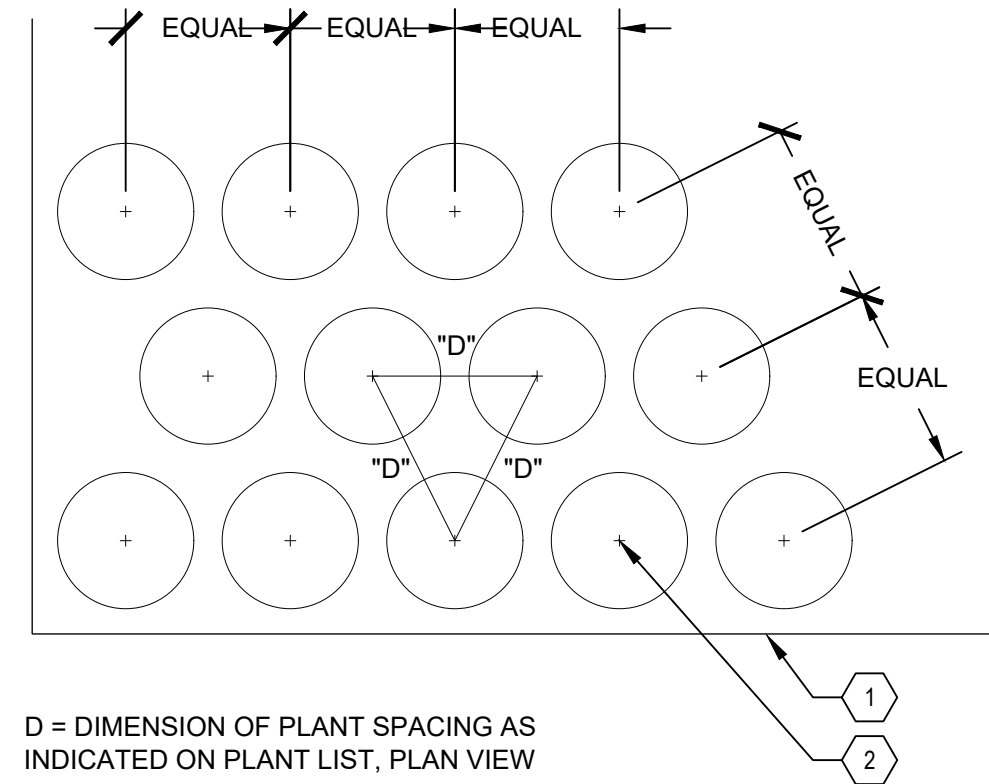
- 1 PERENNIAL, ORNAMENTAL GRASS, OR GROUNDCOVER PLUG, SEE LANDSCAPE PLAN SHEETS L100-L103
- 2 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 3" CLEAR OF STEMS
- 3 PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 4 PREPARED SUBGRADE

- NOTES:
- SET FINISH GRADE OF PLANTING AREA 2" BELOW FINISH SURFACE OF PAVING, CURB, OR HEADER
  - SEE PLANTING SCHEDULE FOR SPACING OF ALL SHRUBS AND GROUNDCOVERS
  - ALL SHRUBS / GROUNDCOVER TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON PLANS.
  - TO DETERMINE APPROPRIATE PLANT QUANTITIES REFER TO THE PLANTING SCHEDULE OR PLAN.

**KEYED LEGEND**

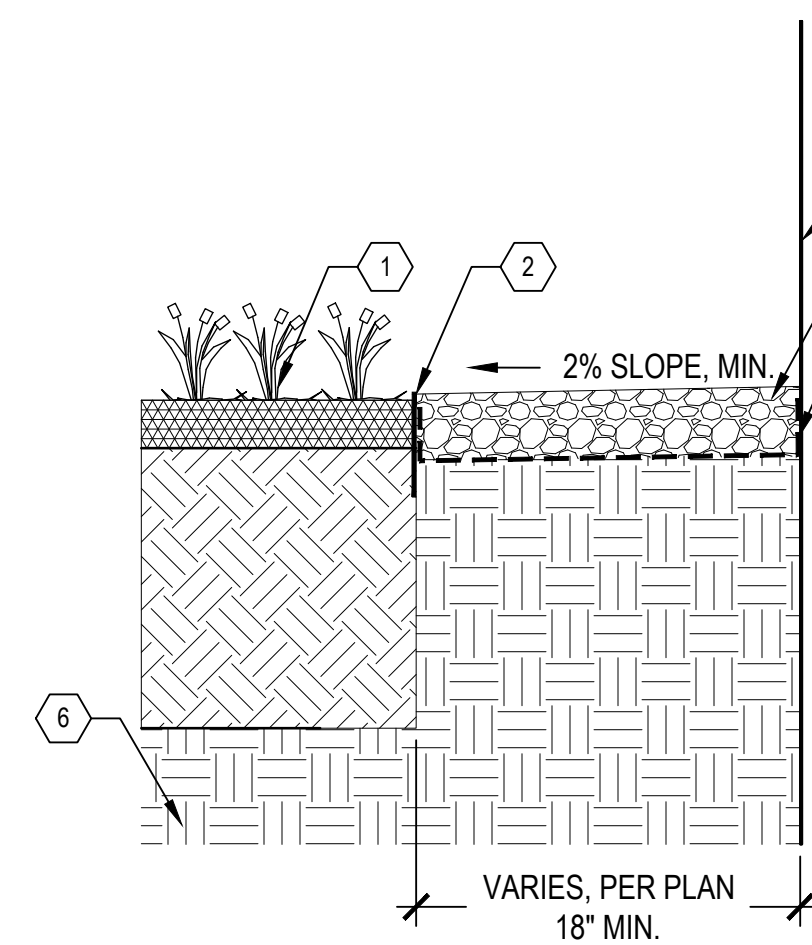
- 1 EDGE OF ADJACENT PAVEMENT
- 2 SHRUB, PERENNIAL OR ORNAMENTAL GRASS PLANT CENTER LOCATION

**D TYPICAL PLANT SPACING**  
 SCALE:NTS



D = DIMENSION OF PLANT SPACING AS INDICATED ON PLANT LIST, PLAN VIEW

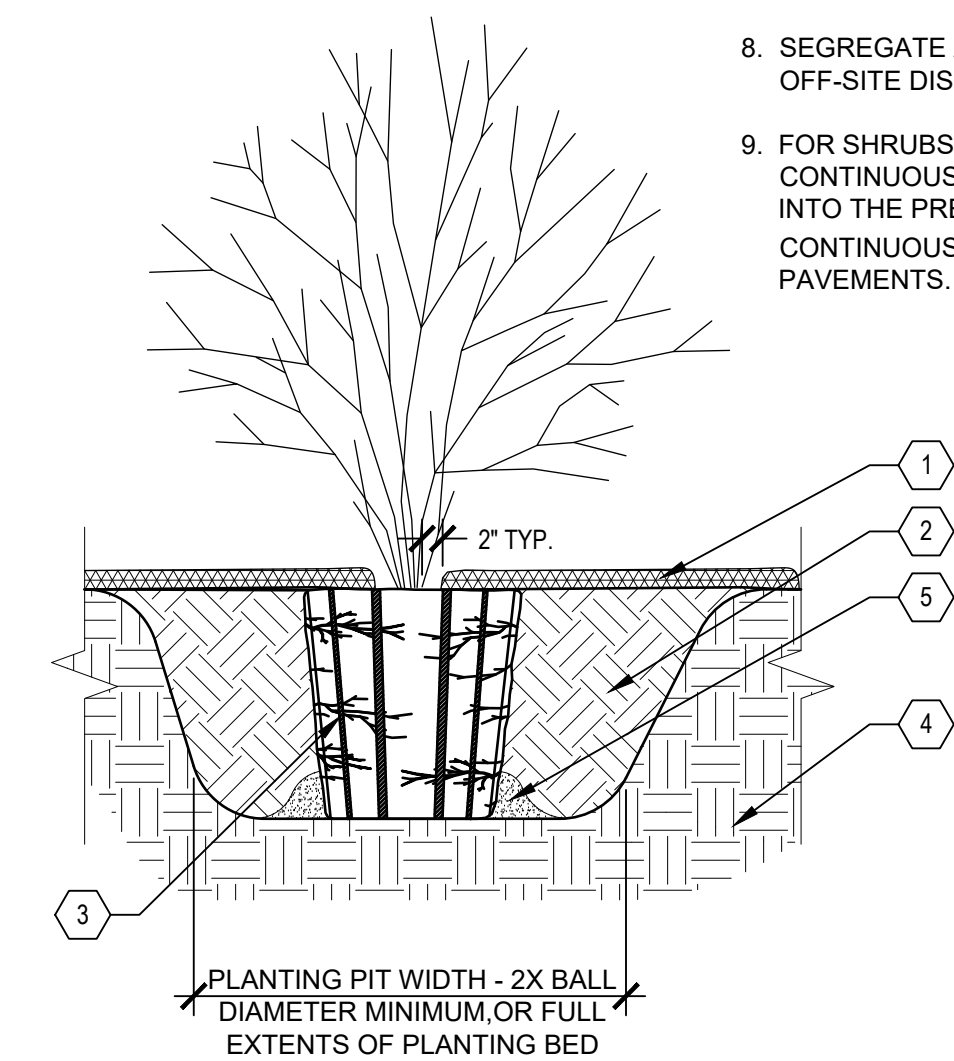
**E STONE MAINTENANCE EDGE**  
 SCALE:NTS



**KEYED LEGEND**

- 1 ADJACENT PLANTING BED
- 2 BLACK ANODIZED ALUMINUM EDGING
- 3 BUILDING FACE
- 4 3" DEPTH STONE MULCH
- 5 WOVEN GEOTEXTILE FILTER FABRIC, WRAP UP SIDES OF BUILDING AND EDGING
- 6 PREPARED SUBGRADE

**B TYPICAL SHRUB PLANTING**  
 SCALE:NTS

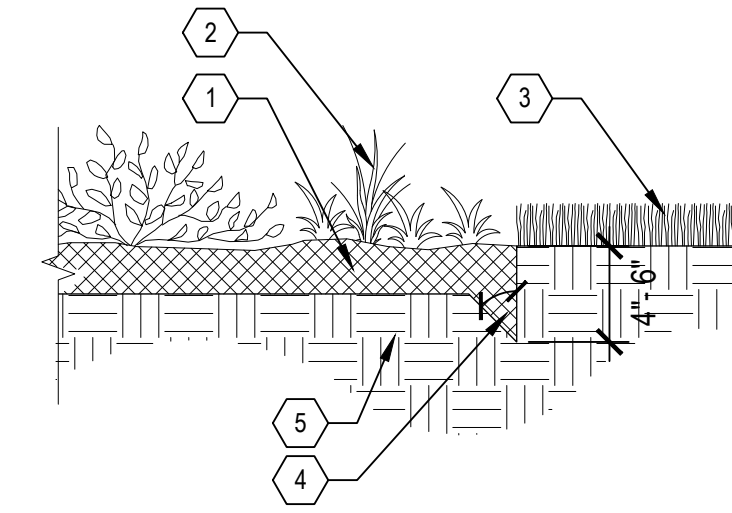


**KEYED LEGEND**

- 1 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 2" CLEAR OF STEMS
- 2 PLANTING SOIL AS SPECIFIED, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 3 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

- NOTES:
- MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING TO LOOSEN POT-BOUND ROOTS.
  - PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
  - PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
  - DO NOT PLACE MULCH IN CONTACT WITH STEMS.
  - PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
  - WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
  - PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/2 OF THE ORIGINAL PLANT MASS.
  - SEGREGATE ANY SOIL FROM BELOW WARNING LAYER EXCAVATED DURING PLANTING FOR OFF-SITE DISPOSAL. COORDINATE DISPOSAL WITH ENVIRONMENTAL CONSULTANT.
  - FOR SHRUBS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.

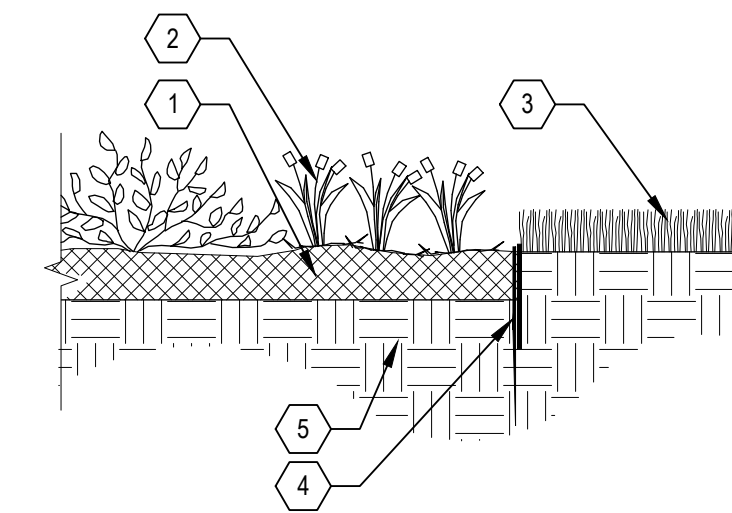
**F SHOVEL CUT EDGE**  
 SCALE:NTS



**KEYED LEGEND**

- 1 3" DEPTH OF MULCH LAYER
- 2 SHRUB PLANTING BED
- 3 LAWN ADJACENT TO PLANTING BED
- 4 45 DEGREE ANGLE SHOVEL CUT EDGE TOWARD PLANTING BED
- 5 COMPACTED SUBGRADE

**G TURF METAL EDGE**  
 SCALE:NTS



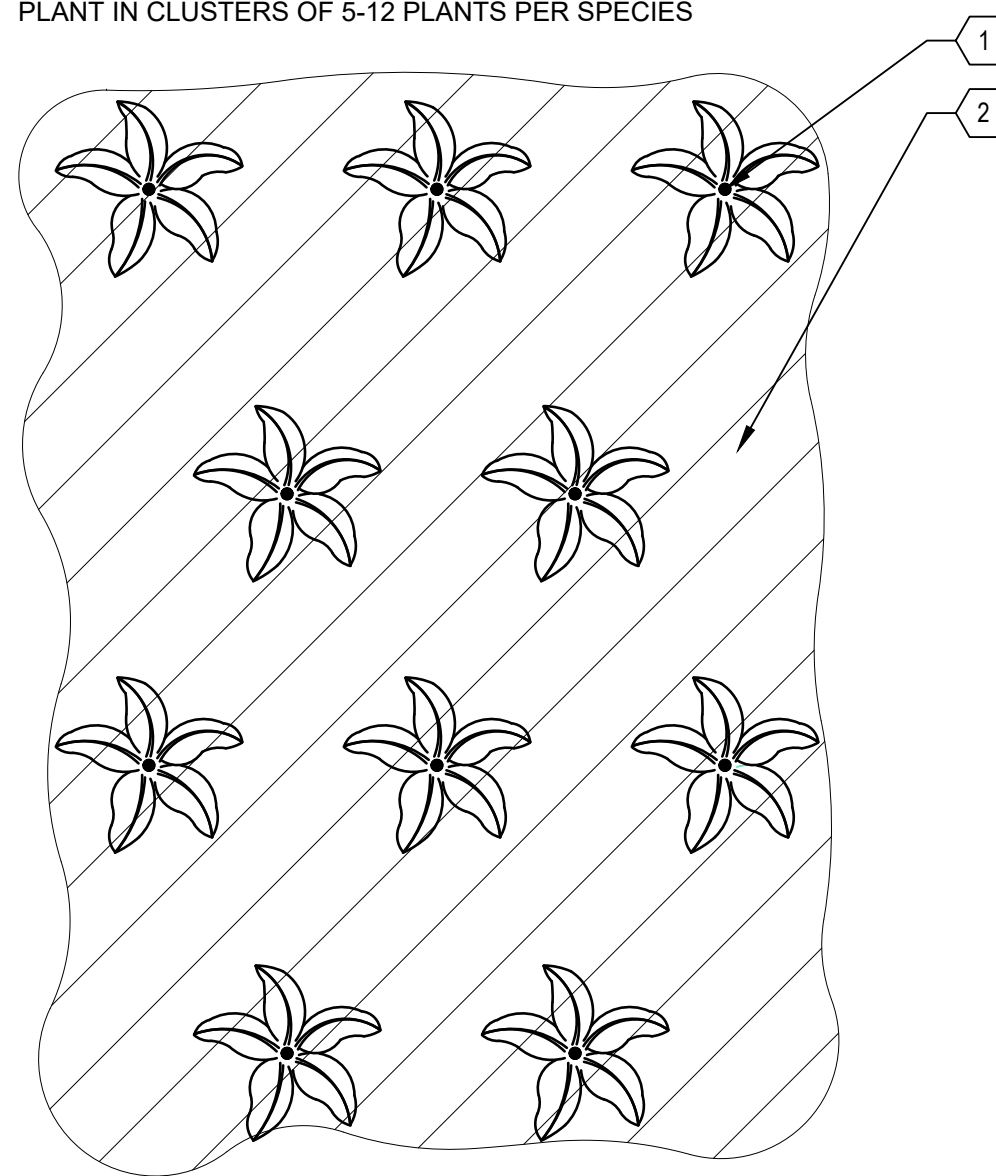
**KEYED LEGEND**

- 1 3" DEPTH OF MULCH LAYER
- 2 SHRUB PLANTING BED
- 3 LAWN ADJACENT TO PLANTING BED
- 4 BLACK ANODIZED ALUMINUM EDGING
- 5 COMPACTED SUBGRADE



- 1 BIOFILTRATION BASIN PERENNIAL PLUGS (SEE PERENNIAL PLUGS PLANT LIST)
- 2 STRAW MULCH

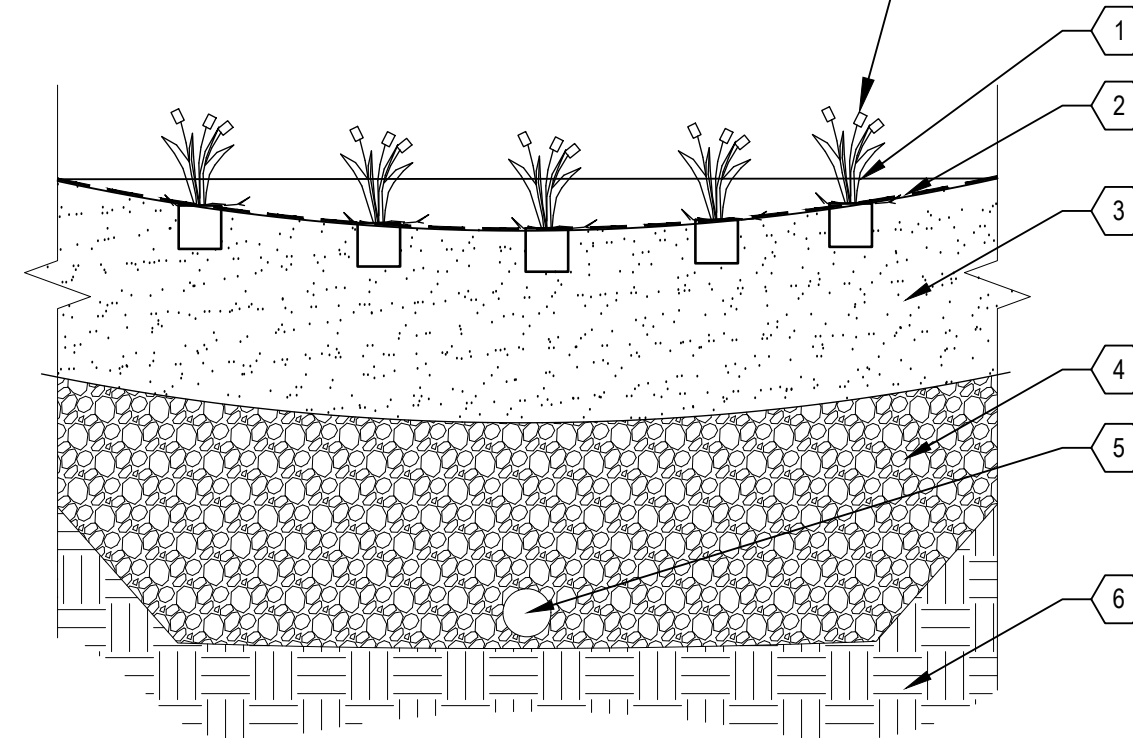
PERENNIAL PLUG SPACING  
1 PLUG PER 2.25 SQUARE FEET  
(18" SPACING O.C.)  
PLANT IN CLUSTERS OF 5-12 PLANTS PER SPECIES



PLAN VIEW

PLANT BIOFILTRATION BASIN PLUGS  
SCALE: NTS

INSTALL PERENNIALS AND GRASSES PER PLAN. AFTER INSTALLING EROSION CONTROL FABRIC, CUT A SMALL OPENING THE SIZE OF THE ROOT BALL, MASS IN THE EROSION CONTROL FABRIC TO PLANT EACH INDIVIDUAL PLANT.



SECTION VIEW

- 1 BIOFILTRATION BASIN PLANTING (SEE PERENNIAL PLUGS PLANT LIST)
- 2 BIODEGRADABLE EROSION CONTROL MATTING ON BOTTOM AND SLOPES OF BASIN
- 3 ENGINEERED SOIL MIX - SEE CIVIL FOR DEPTH
- 4 STONE STORAGE LAYER - SEE CIVIL FOR DEPTH
- 5 PVC DRAIN TILE, SEE CIVIL PLAN.
- 6 PREPARED SUBGRADE

PERENNIAL PLUGS PLANT LIST

Botanical Name	Common Name	Quantity	Size	Comments
<i>Asclepias incarnata</i>	Marsh Milkweed	160.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Aster Novae-angliae</i>	New England Aster	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Carex stipitata</i>	Common Fox Sedge	160.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Carex vulpinoidea</i>	Brown Fox Sedge	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Helenium autumnale</i>	Sneezeweed	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Liatris spicata</i>	Marsh Blazingstar	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Lobelia cardinalis</i>	Cardinal Flower	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Monarda fistulosa</i>	Wild Bergamot	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Panicum virgatum</i>	Switchgrass	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Ratibida pinnata</i>	Yellow Coneflower	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Rudbeckia hirta</i>	Black-Eyed Susan	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Scirpus atrovirens</i>	Dark-Green Bulrush	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Scirpus cyperinus</i>	Wool Grass	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Spartina pectinata</i>	Prairie Cordgrass	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Tradescantia ohioensis</i>	Ohio Spiderwort	224.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Verbena hastata</i>	Blue Vervain	160.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species
<i>Vernonia fasciculata</i>	Ironweed	160.00	Round Tapered Plug	18" O.C. in clusters of 5-12 plants per species

RAINWATER RENEWAL SEED MIX  
(SIDE SLOPES OF BIOFILTRATION BASINS)

Botanical Name	Common Name	PLS Ounces/Acre
<b>Wildflower Forbs:</b>		
<i>Asclepias incarnata</i>	Marsh (Red) Milkweed	3.00
<i>Aster ericoides</i>	Heath Aster	0.10
<i>Aster novae-angliae</i>	New England Aster	1.50
<i>Baptisia leucantha (alba)</i>	White Wild Indigo	4.00
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed	0.80
<i>Eupatorium perfoliatum</i>	Boneset	0.50
<i>Liatris pycnostachya</i>	Prairie Blazing Star	2.50
<i>Liatris spicata</i>	Marsh Blazing Star	5.00
<i>Lobelia cardinalis</i>	Cardinal Flower	0.25
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.50
<i>Monarda fistulosa</i>	Wild Bergamot	1.50
<i>Physostegia virginiana</i>	Obedient Plant	1.50
<i>Pycnanthemum virginianum</i>	Mountain Mint	0.30
<i>Ratibida pinnata</i>	Yellow Coneflower	2.25
<i>Rudbeckia hirta</i>	Black-Eyed Susan	2.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	2.00
<i>Solidago ohioensis</i>	Ohio Goldenrod	0.50
<i>Tradescantia ohioensis</i>	Ohio Spiderwort	1.25
<i>Verbena hastata</i>	Blue Vervain	1.00
<i>Vernonia fasciculata</i>	Ironweed	1.00
		Totals = 31.45
<b>Perennial Grasses, Sedges &amp; Rushes:</b>		
<i>Bromus ciliatus</i>	Fringed Brome	20.00
<i>Calamagrostis canadensis</i>	Blue Joint Grass	1.00
<i>Carex bebbii</i>	Bebb's Oval Sedge	2.00
<i>Carex crawfordii</i>	Crawford's Sedge	1.00
<i>Carex crinita</i>	Fringed Sedge	0.75
<i>Carex stipitata</i>	Common Fox Sedge	1.50
<i>Carex vulpinoidea</i>	Brown Fox Sedge	1.00
<i>Elymus canadensis</i>	Canada Wild Rye	24.00
<i>Elymus virginicus</i>	Virginia Wild Rye	32.00
<i>Glyceria grandis</i>	Reed Manna Grass	1.00
<i>Panicum virgatum</i>	Switchgrass	3.50
<i>Scirpus atrovirens</i>	Dark-Green Bulrush	0.50
<i>Scirpus cyperinus</i>	Wool Grass	0.30
<i>Sorghastrum nutans</i>	Indian Grass	5.00
<i>Spartina pectinata</i>	Prairie Cordgrass	3.00
		Totals = 96.55

UPLAND MEADOW SEED MIX

Botanical Name	Common Name	PLS Ounces/Acre
<b>Wildflower Forbs:</b>		
<i>Achillea millefolium</i>	Native Yarrow	0.75
<i>Agastache foeniculum</i>	Lavender Hyssop	0.50
<i>Amorpha canescens</i>	Leadplant	2.00
<i>Asclepias syriaca</i>	Common Milkweed	2.00
<i>Chamaecrista fasciculata</i>	Partridge Pea	8.00
<i>Careopsis palmata</i>	Prairie Coreopsis	2.00
<i>Dalea candida</i>	White Prairie Clover	2.50
<i>Dalea purpurea</i>	Purple Prairie Clover	2.00
<i>Echinacea purpurea</i>	Purple Coneflower	8.00
<i>Heliopsis helianthoides</i>	Early Sunflower	4.00
<i>Liatris pycnostachya</i>	Prairie Blazing Star	1.50
<i>Monarda fistulosa</i>	Wild Bergamot	0.50
<i>Monarda punctata</i>	Dotted Mint	1.00
<i>Ratibida pinnata</i>	Yellow Coneflower	6.00
<i>Rosa arkansana</i>	Prairie Wild Rose	2.00
<i>Rudbeckia hirta</i>	Black-Eyed Susan	2.00
<i>Solidago speciosa</i>	Showy Goldenrod	0.50
<i>Tradescantia ohioensis</i>	Ohio Spiderwort	4.00
<i>Verbena stricta</i>	Hoary Vervain	1.50
<i>Zizia aptera</i>	Heart-Leaved Golden Alexanders	1.00
		Totals = 51.75
<b>Perennial Grasses, Sedges &amp; Rushes:</b>		
<i>Bouteloua curtipendula</i>	Side Oats Grama	40.00
<i>Bouteloua gracilis</i>	Blue Grama	4.00
<i>Elymus canadensis</i>	Canada Wild Rye	16.00
<i>Juncus tenuis</i>	Path Rush	0.25
<i>Koeleria cristata</i>	June Grass	4.00
<i>Schizachyrium scoparium</i>	Little Bluestem	16.00
<i>Sorghastrum nutans</i>	Indian Grass	4.00
<i>Sporobolus heterolepis</i>	Prairie Dropseed	8.00
		Totals = 92.25

TURF SEED MIX

Reinder's Deluxe 50 Seed Mix	Seed at rate of 150-200 lbs/acre
20% Kentucky Bluegrass	
15% Newport Kentucky Bluegrass	
15% Ken Blue Kentucky Bluegrass	
25% Creeping Red Fescue	
15% Quebec Perennial Ryegrass	
10% Fiesta III Perennial Ryegrass	

NO MOW SEED MIX

Reinder's No Mow/Low Grow Mix	Seed at rate of 175-250 lbs/acre
45% Spartan II Hard Fescue	
40% Quatro Sheep Fescue	
15% Turf Type Annual Ryegrass	

POTHS GENERAL DEVELOPMENT  
76TH AND RAWSON  
FRANKLIN, WI 53132  
LANDSCAPE DETAILS

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUANCE DATE  
PLAN COMMISSION SUBMITTAL 12/11/23

NO. REVISION DATE

SCALE: 1" = 60'  
PROJECT NO: 21775  
DESIGN DATE: ---  
PLOT DATE: 2023.12.11  
DRAWN BY: HLY  
CHECKED BY: JL  
APPROVED BY: CTC

SHEET NO:

L200



**PLANTING QUALITY ASSURANCE**

- 1. PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES...
3. TREES:
3.1. SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY...
3.2. WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS INCLUDING EGGS AND LARVAE OR INSECT DAMAGE...
3.3. SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDERANCES TO HEALTHY GROWTH...
3.4. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK...
4. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

**PLANTING PROJECT CONDITIONS:**

- 1. VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
2. INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:
2.1. NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
2.2. DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
3. PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:
3.1. DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.
3.2. NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15
4. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED.
5. CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES...
6. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE...
6.1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE, DRYING WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE...
6.2. DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

**PLANTING DELIVERY, STORAGE, & HANDLING:**

- 1. BULK MATERIALS;
1.1. DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
2. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUNSCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE...
3. HANDLE PLANTING STOCK BY ROOT BALL.
4. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY...
4.1. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
4.2. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY...
5. EXCAVATION FOR TREES & SHRUBS
5.1. EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS...
5.2. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL...
5.3. IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP...
5.4. MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS...
5.5. MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS...
5.6. KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
6. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL...
7. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED...
8. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

**TREE & SHRUB PLANTING**

- 1. BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL...
2. PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED...
3. REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
4. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE.
5. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT...
5.1. USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.
5.2. CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS...
5.3. BACKFILL AROUND ROOT BALL IN LAYERS...
5.4. CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

**TREE & SHRUB MATERIAL:**

- 1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES...
1.1. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS...
1.2. CROOKED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD...
1.3. PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE...
2. FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL...
3. SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

**PLANTING SOIL:**

- PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME...
1. INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS...
2. DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
3. PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST...
3.1. THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL...
3.2. STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON...
4. STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING...

**METAL EDGING**

- 1. STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING...
1.1. BASIS OF DESIGN: CLEANLINE XL BY PERMALOC OR APPROVED EQUAL.
1.2. EDGING SIZE: 3/16-INCH-WIDE BY 5 INCHES DEEP.
1.3. STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.
1.4. FINISH: MILL (NATURAL ALUMINUM)
1.5. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS...
2. INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
3. ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED...

**STONE MULCH MATERIAL & INSTALLATION:**

- 1. SHALL BE HARD, DURABLE, STONE, WASHED FREE OF LOAM, SAND, CLAY...
1.1. MATERIAL: ANGULAR WASHED STONE.
1.2. SIZE: 1-1/2" DIAMETER
1.3. DEPTH: 3" MINIMUM DEPTH PLACED IN ONE LIFT
1.4. COLOR RANGE: BLEND OF DARK GREY & BLUE TONES
1.5. BASIS OF DESIGN: 1-1/2" 'AMERICAN HERITAGE' AGGREGATE...
2. LIGHTLY COMPACT AREAS TO RECEIVE STONE MULCH
3. INSTALL WEED BARRIER FABRIC IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS...
4. PLACE AND FINISH STONE MULCH AS INDICATED IN DRAWINGS...

**BARK MULCH MATERIAL & INSTALLATION**

- 1. TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING...
1.1. SIZE RANGE: MAXIMUM 2.5" TO 3"
1.2. COLOR: NATURAL, UN-DYED
1.3. PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS...
2. KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

**TURF SEEDING:**

- 1. DELIVERY:
1.1. DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS...
2. PROJECT CONDITIONS:
2.1. SEED DURING ONE OF THE FOLLOWING PERIODS.
2.1.1. SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.
2.1.2. FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1.
3. PRODUCTS
3.0.1. PROVIDE THE FOLLOWING FOR TURFGRASS SEED BASIS OF DESIGN...
3.0.2. TURFGRASS SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER'...
4. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET...
5.1. DO NOT APPLY SEED UNTIL FIVE TO SEVEN DAYS AFTER LAST HERBICIDE TREATMENT.
6. FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE...
7. MOISTEN PREPARED AREA BEFORE SEEDING...
8. NO SEEDING SHALL OCCUR ON FROZEN GROUND...
9. SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

**NATIVE SEEDING:**

- 1. PROVIDE THE FOLLOWING SEED TYPES FROM: AGRECOL LLC 10101 N. CASEY ROAD EVANSVILLE, WISCONSIN 53536:
1.1. AGRECOL'S 'XXXXXX' MIX FOR AREAS SHOWN AS 'XXXXXXXX SEED MIX'
1.2. AGRECOL'S 'XXXXXX' SEED MIX FOR AREAS SHOWN AS 'XXXXXXXXXX SEED MIX'
1.3. REFER TO DETAIL XXXXXX ON SHEET L2XX, FOR SEED MIX COMPOSITION.
2. REFER TO CIVIL PLANS FOR LOCATIONS AND EXTENTS OF EROSION CONTROL MAT...
3. WITHIN 4 WEEKS FOLLOWING THE ISSUANCE OF THE NOTICE TO PROCEED...
4. ALL SEED MATERIAL SHALL ORIGINATE FROM LOCAL SOURCES...
5. ALL SEEDING ZONE BOUNDARIES SHALL BE SURVEYED AND STAKED...
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST SEED LIMITS...
7. COORDINATION IS REQUIRED TO ENSURE RAINFALL/GROUNDWATER SEEPAGE DOES NOT RESULT IN SOIL MOISTURE CONDITIONS THAT WILL CAUSE EXCESSIVE RUTTING...
8. WHERE SEEDING OCCURS IN CLOSE PROXIMITY TO OTHER SITE IMPROVEMENTS...
9. FOLLOWING NATIVE SEED MIX INSTALLATION, THE LANDSCAPE ARCHITECT AND CONTRACTOR SHALL CONDUCT A SUBSTANTIAL COMPLETION INSPECTION...
10. GENERAL INSTALLATION:
10.1. SEEDING OF NATIVE SEED MIXES SHALL OCCUR IN THE EARLY SPRING:
10.1.1. APRIL 15 THROUGH MAY 31.
10.2. DO NOT SOW SEED DURING ADVERSE WEATHER...
10.3. DO NOT SOW SEED IN AREAS WHERE STANDING WATER IS PRESENT.
11. GRADE PREPARATION:
11.1. SUBGRADE AND FINISH GRADE PREPARATION SHALL BE IN ACCORDANCE...
11.2. PRIOR TO SEEDING, REPAIR ANY RUTS, RILLS, OR GULLIES...
11.3. IF THE PREPARED GRADE IS ERODED OR COMPACTED...
11.4. IMMEDIATELY BEFORE SEEDING, SCARIFY, LOOSEN, FLOAT, AND DRAG TOPSOIL...
11.5. NO FURTHER GRADE PREPARATION IS REQUIRED.
12. IF REQUIRED DUE TO CONSTRUCTION SEQUENCING, SEED THE SITE WITH A TEMPORARY COVER CROP...
12.1. IF SEEDING MAY 15 THROUGH SEPTEMBER 1: MIX OF 32 POUNDS PER ACRE...
12.2. IF SEEDING SEPTEMBER 1 THROUGH OCTOBER 15: 20 POUNDS PER ACRE...
13. BROADCASTING:
13.1. FOR SPRING SEEDING OF NATIVE SEED, SOW SEED DIRECTLY ONTO BARE GROUND...
13.2. INCREASE THE VOLUME OF THE BROADCASTED SEED MIX...
13.2.1. USE HALF OF THE TOTAL SEED QUANTITY AND CROSS THE ENTIRE AREA...
13.2.2. LIGHT SEEDS, AWNED SEEDS, OR BEARDED SEEDS TEND TO RISE TO THE TOP...
13.2.3. RAKE OR DRAG THE SEED INTO THE SOIL...
14. DRILL SEEDER OR DROP SEEDER/SPREADER:
14.1. FOR SPRING DRILL SEEDING, SOW SEED DIRECTLY ONTO BARE GROUND...
14.2. CHECK THE EQUIPMENT FREQUENTLY TO ENSURE THE SEED IS DISPERSING...
14.3. IF THE EQUIPMENT IS NOT EQUIPPED WITH A ROLLER...
14.3.1. DO NOT MIX THE NATIVE SEED WITH ANY CARRIER MATERIAL.
14.3.2. EVENLY DISTRIBUTE THE SEED ACROSS THE ENTIRE SITE...
14.4. KEEP THE TOPSOIL MOIST (TO A DEPTH OF 3 INCHES) FOR 3-6 WEEKS...

- 15. ALL AREAS OVER WHICH HAULING OPERATIONS HAVE BEEN CONDUCTED SHALL BE KEPT CLEAN ON A DAILY BASIS...
16. UPON COMPLETION OF SEED INSTALLATION, REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL TRASH AND DEBRIS...
17. RESTORE ANY EXISTING AREAS DAMAGED BY OPERATIONS UNDER THE CONTRACT...
18. ANY DAMAGE BY THE CONTRACTOR TO ESTABLISHED OR NEWLY SEEDED AREAS NOT WITHIN THE PROJECT SCOPE OF WORK SHALL BE REPAIRED AND RESEED AT NO COST TO THE OWNER.

**CLEAN-UP AND PROTECTION**

- 1. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
2. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS...
3. AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL...

**VEGETATION MONITORING AND MANAGEMENT**

**MANAGEMENT AND MONITORING:** THE MANAGEMENT AND MONITORING OF NATIVE PLANTINGS (INCLUDING SEED MIXES, FORBS AND PLUGS) SHOULD BE DIRECTED TOWARD THE GOAL OF CREATING A STABLE, NATIVE PLANT COMMUNITY...
**UNDESIRABLE PLANT CONTROL:** OVERALL MANAGEMENT OF VEGETATED AREAS MAY INCLUDE, BUT ARE NOT LIMITED TO: RESEEDING OR REPLANTING DAMAGED OR NON-ACTIVE GROWTH AREAS...

**SHORT-TERM VEGETATION MANAGEMENT:** SHORT-TERM VEGETATION MANAGEMENT (MAINTENANCE PERIOD AFTER SEEDING/PLUG INSTALLATION) OCCURS WHILE THE LANDSCAPE CONTRACTOR OR SPECIALTY SEEDING/RESTORATION CONTRACTOR IS RESPONSIBLE TO THE PROJECT OWNER...
**INSPECTIONS SHOULD BE MADE FREQUENTLY DURING THE GROWING SEASON TO PROPERLY DOCUMENT ANY INVASIVE SPECIES, WEEDS, DEHYDRATION, DAMAGE, EROSION, DISEASES, BARE AREAS, AND PESTS...**

**LONG TERM VEGETATION MANAGEMENT:** LONG-TERM MANAGEMENT (AFTER MAINTENANCE AGREEMENT ENDS) WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER/MANAGEMENT ASSOCIATION...
**MOWING FREQUENCIES:** MOWING FREQUENCIES WILL DEPEND ON FIELD CONDITIONS. THE NATIVE SEEDLING/GRASS AREAS SHOULD NEVER BE MOWED SHORTER THAN SIX (6) INCHES...

MOWING SHOULD BE DONE THREE (3) TIMES DURING THE ESTABLISHMENT PERIOD:

Table with 4 columns: ACTIVITY, TIMING, SUGGESTED MOWING HEIGHTS, REASON. Rows include First Mowing, Second Mowing, and Third Mowing with specific timing and height requirements.

MOWING TIMES ARE APPROXIMATE: ACTUAL MOWING TIMES SHOULD BE BASED ON THE GROWTH OF NATURAL GRASSES AND UNDESIRABLE WEEDS. AFTER THE DESIRED VEGETATION HAS BECOME ESTABLISHED THE FIRST AND SECOND MOWINGS (MAY, AUGUST) MAY NOT BE NECESSARY...

**BURNING (IF APPROPRIATE FOR SITE):** PRIOR TO BURNING, CONTACT WITH THE LOCAL MUNICIPALITY / FIRE DEPARTMENT IS REQUIRED. SOME MUNICIPALITIES MAY HAVE RESTRICTIONS ON OPEN BURNING...
**IF ALLOWED BY LOCAL CODE AND ORDINANCES, ONLY BURN WHEN THE DEAD VEGETATION MATTER CAN SUSTAIN FIRE. WET OR DAMP PLANT MATTER IS NOT EFFECTIVE IN A CONTROL BURN SETTING...**



POTHS GENERAL DEVELOPMENT
76TH AND RAWSON
FRANKLIN, WI 53132
LANDSCAPE SPECIFICATIONS

PRELIMINARY
NOT FOR
CONSTRUCTION

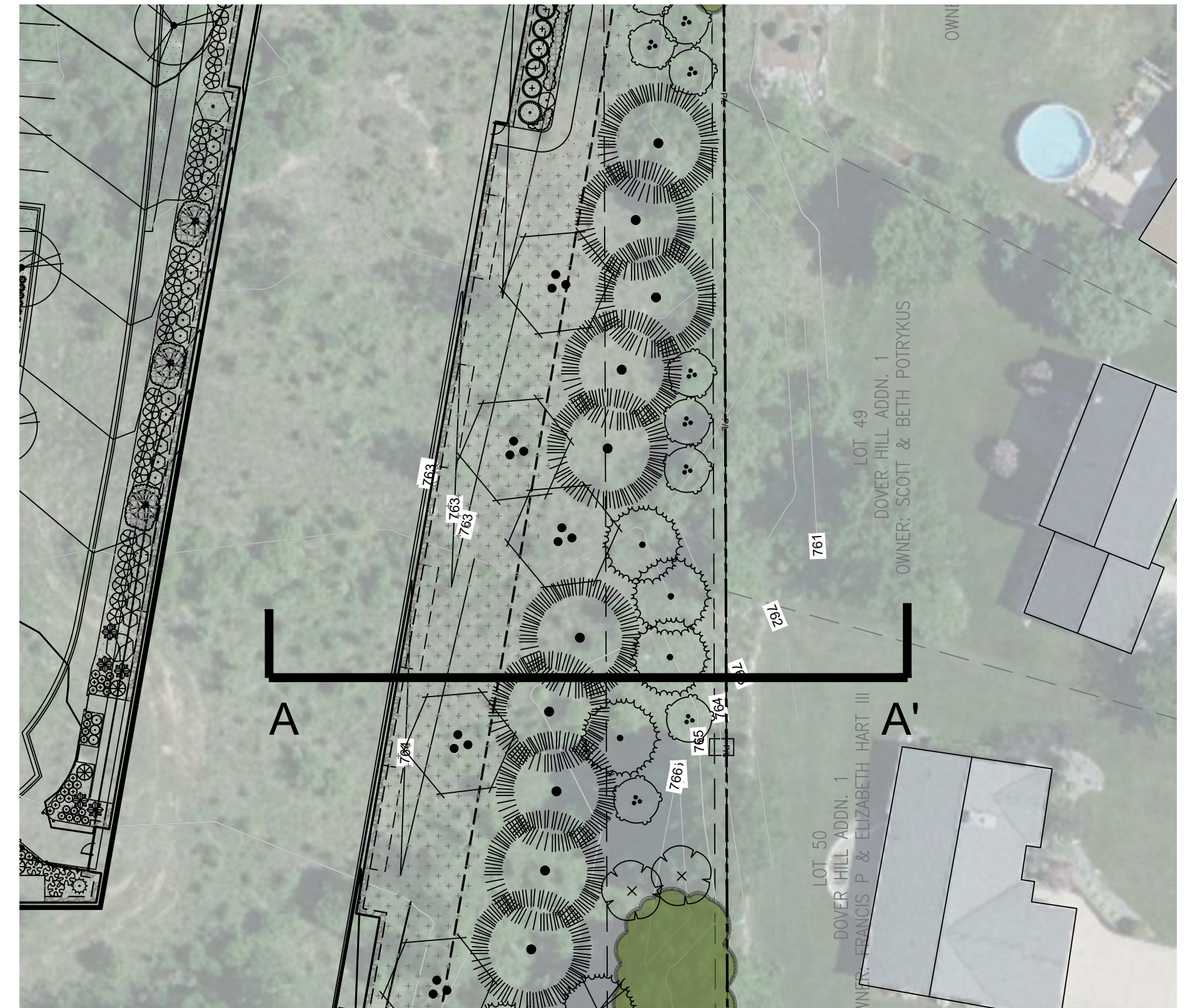
Table with project details: SCALE, PROJECT NO: 21775, DESIGN DATE: ---, PLOT DATE: 12/11/2023, DRAWN BY: HLY, CHECKED BY: JL, APPROVED BY: CTC, SHEET NO: L300



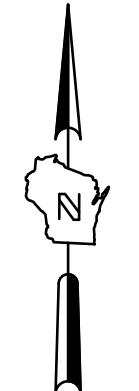


**A** CONCEPT SECTION ELEVATION - A

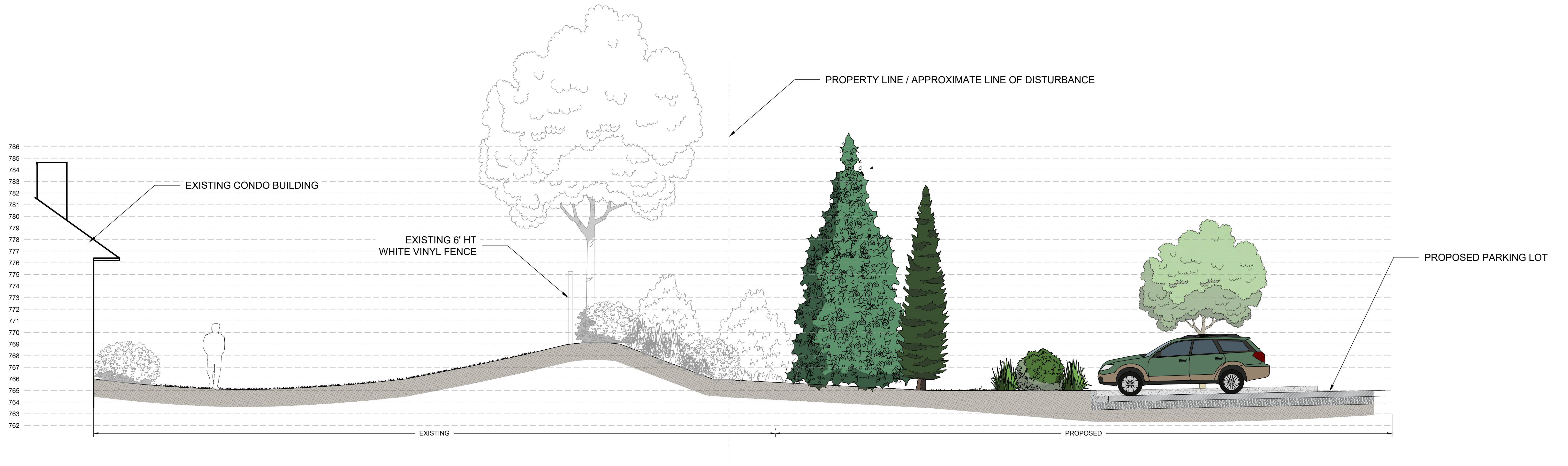
SITE BASE - KEY PLAN



**B** EXISTING CONDITION PHOTOS





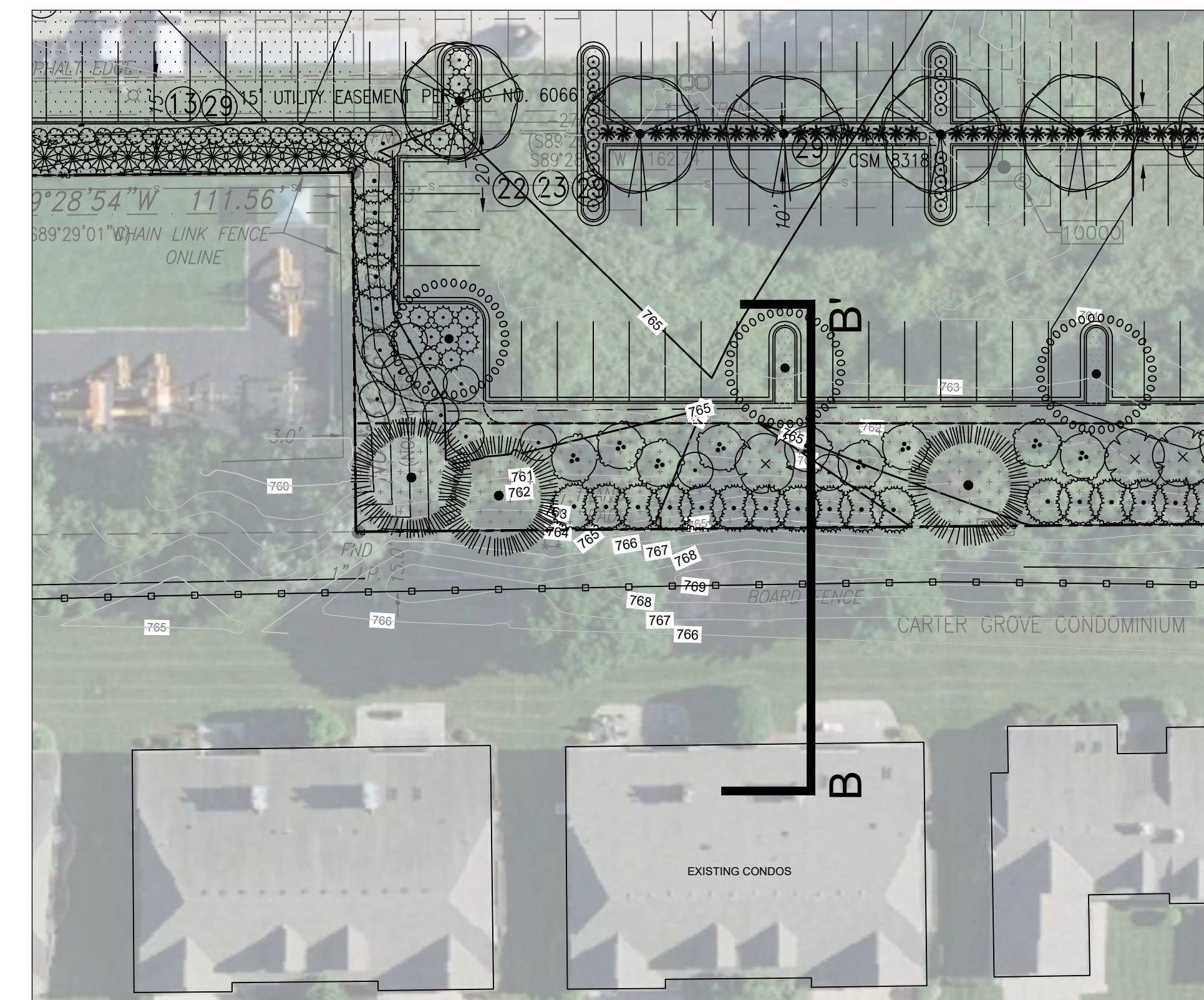


**A** CONCEPT SECTION ELEVATION - B



**B** EXISTING CONDITION PHOTOS

SITE BASE - KEY PLAN





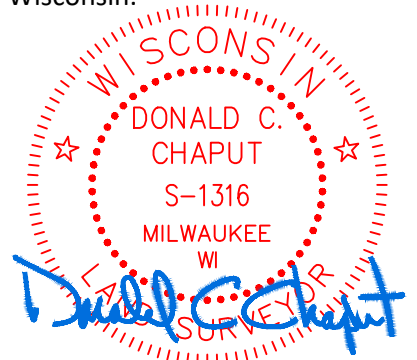
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2, Certified Survey Map No. 8318, Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 and lands all being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

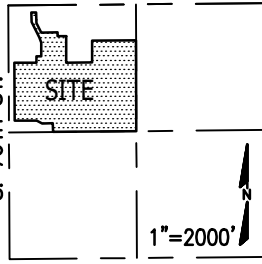
All bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) NAD83, in which the North line of the NW 1/4, Section 10, Township 5 North, Range 21 East bears N89°26'54"E.

Owner: Initech, LLC  
 7044 South Ballpark Drive Suite 305  
 Franklin, WI 53132

Note: Parcel 1 is served by public sewer and water



VICINITY MAP  
 NW 1/4 OF SEC. 10  
 T 5 N, R 21 E.  
 W. RAWSON AVE.



CONC. MON. WITH BRASS CAP  
 NE COR. OF NW 1/4 SEC. 10, T5N, R21E.

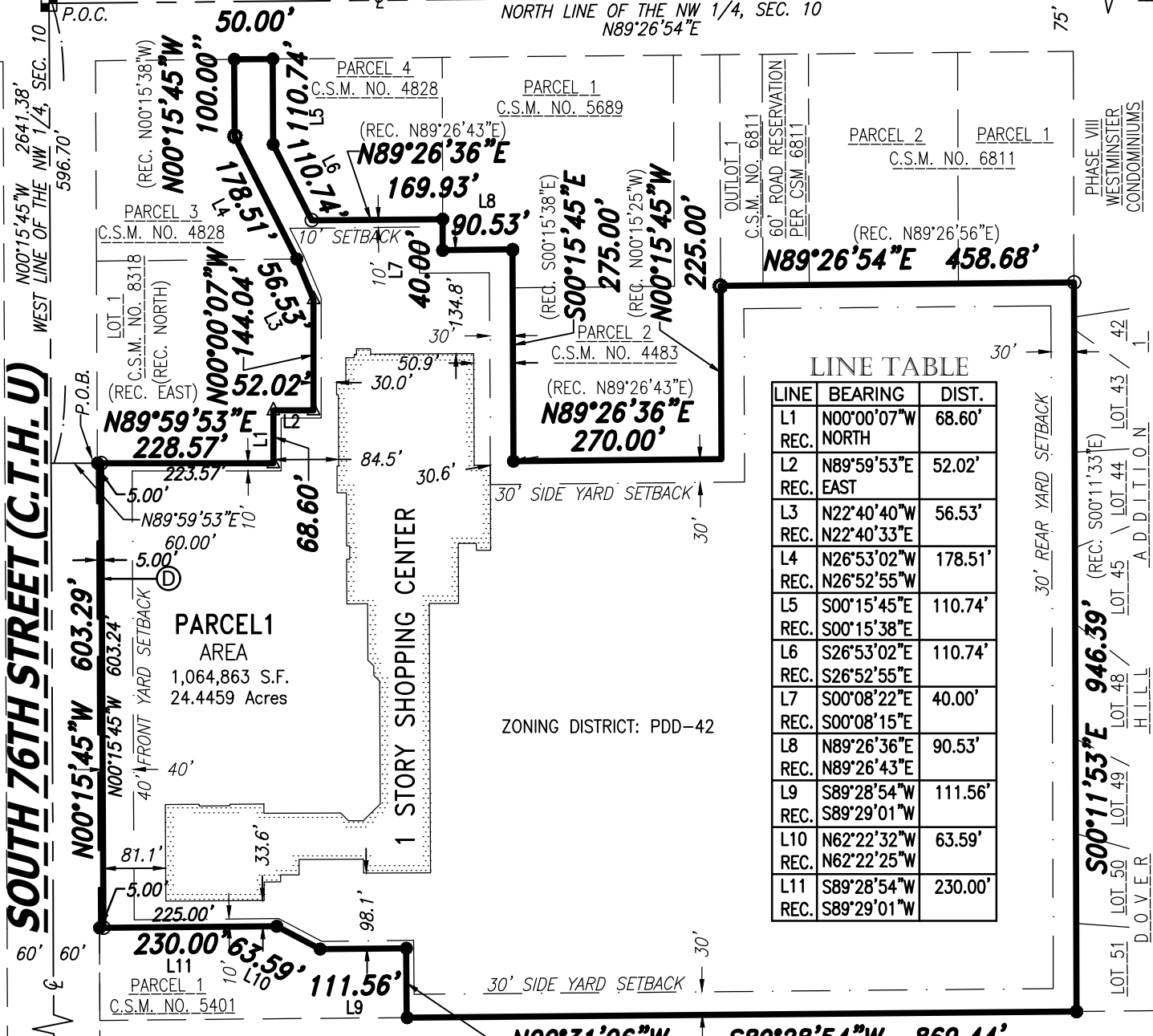
- LEGEND**
- Ⓧ Indicates land dedicated to the City of Franklin for Public Road Purposes.
  - Indicates found 1" iron pipe
  - Indicates set 1" iron pipe, 18" in length, 1.13 lbs. per lineal foot.
  - ⦿ Indicates found 3/4" iron rod
  - △ Indicates found PK nail

CONC. MON. WITH BRASS CAP  
 NW COR. OF NW 1/4 SEC. 10, T5N, R21E.

N: 340,262.83 (REC. N89°27'01"E)  
 E: 2,501,748.93

**W. RAWSON AVENUE (C.T.H. BB)**

NORTH LINE OF THE NW 1/4, SEC. 10  
 N89°26'54"E



LINE	BEARING	DIST.
L1	N00°00'07"W	68.60'
REC.	NORTH	
L2	N89°59'53"E	52.02'
REC.	EAST	
L3	N22°40'40"W	56.53'
REC.	N22°40'33"W	
L4	N26°53'02"W	178.51'
REC.	N26°52'55"W	
L5	S00°15'45"E	110.74'
REC.	S00°15'38"E	
L6	S26°53'02"E	110.74'
REC.	S26°52'55"E	
L7	S00°08'22"E	40.00'
REC.	S00°08'15"E	
L8	N89°26'36"E	90.53'
REC.	N89°26'43"E	
L9	S89°28'54"W	111.56'
REC.	S89°29'01"W	
L10	N62°22'32"W	63.59'
REC.	N62°22'25"W	
L11	S89°28'54"W	230.00'
REC.	S89°29'01"W	

CONC. MON. WITH BRASS CAP  
 SW COR. OF NW 1/4 SEC. 10, T5N, R21E.  
 N: 337,621.67  
 E: 2,501,760.99

**CHAPUT**  
**LAND SURVEYS**

234 W. Florida Street  
 Milwaukee, WI 53204  
 414-224-8068  
 www.chaputlandsurveys.com

(REC. N00°30'46"W) CARTER GROVE CONDOMINIUM  
 This instrument was drafted  
 by Donald C. Chaput  
 Professional Land Surveyor S-1316

Date: June 15, 2023  
 Revised: December 4, 2023  
 Sheet 1 of 8 Sheets  
 Survey No. 4192.02-lpm

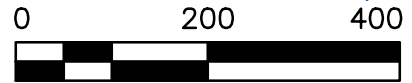
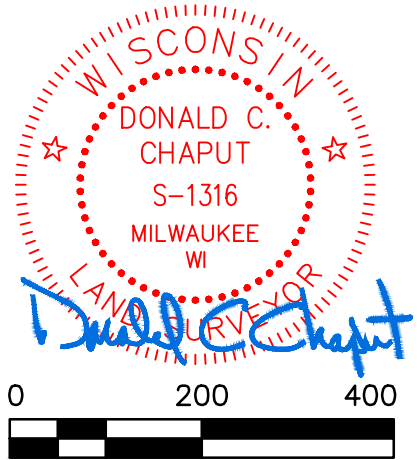


# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2, Certified Survey Map No. 8318, Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 and lands all being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

## RECORDED EASEMENTS FOR REFERENCE ONLY

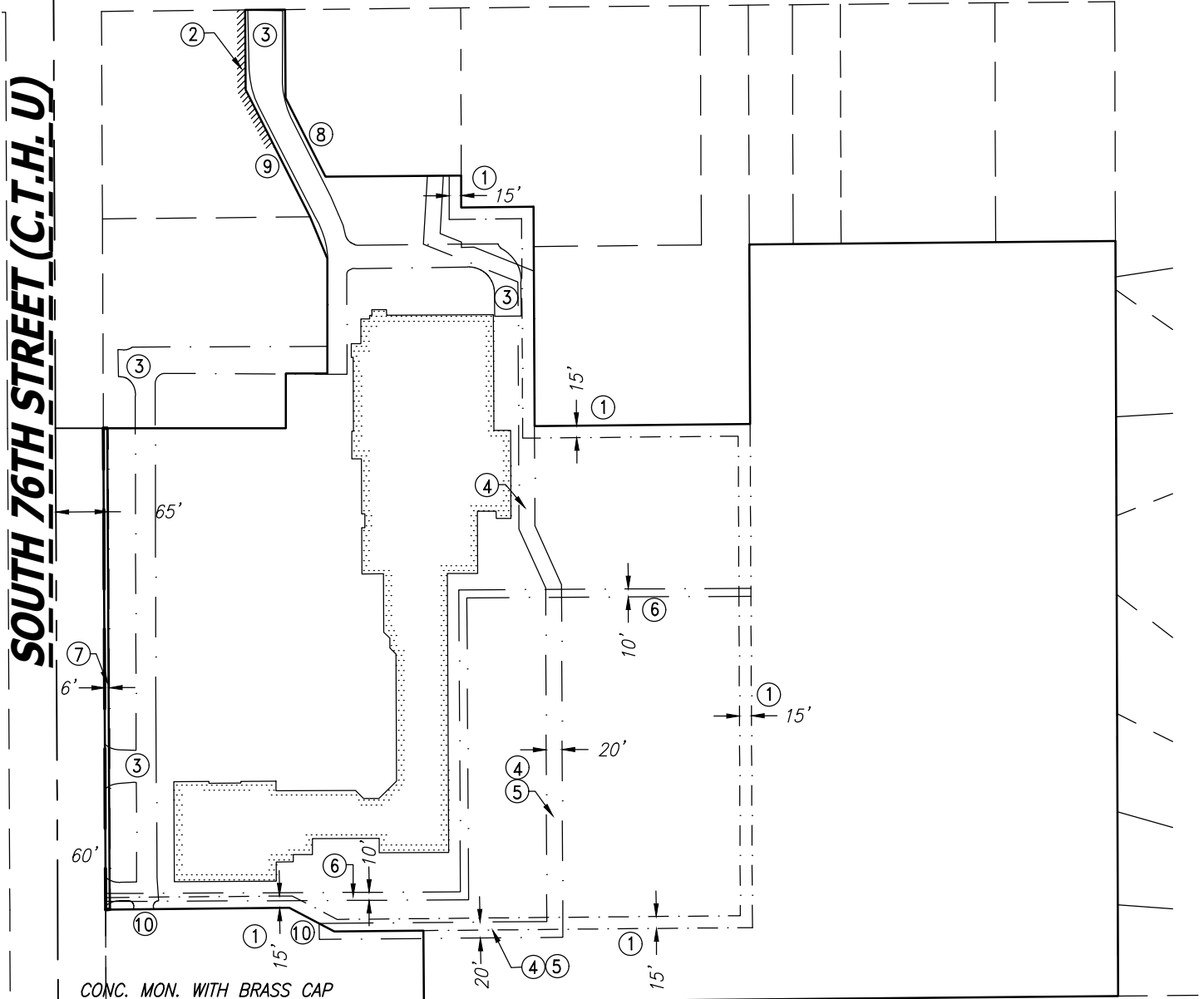
- 1: 15' PLANTING STRIP PER CSM NO. 4828 AND 8318
- 2: NO ACCESS PER C.S.M. NO. 4828
- 3: INGRESS EGRESS EASEMENT PER DOC. NO. 9958980
- 4: PERMANENT SANITARY SEWER EASEMENT PER DOC. NO. 6374621
- 5: PERMANENT SANITARY SEWER EASEMENT PER DOC. NO. 6374622
- 6: 10' GAS EASEMENT PER DOC. NO. 6073733
- 7: 6' UTILITY EASEMENT PER DOC. NO. 3567794
- 8: ACCESS POINT PER DOC. NO. 6069228
- 9: ACCESS POINT PER DOC. NO. 6302311
- 10: ACCESS POINT TO LEARNING CENTER PER DOC. NO. 6374286



Graphic Scale 1" = 200'

CONC. MON. WITH BRASS CAP  
NW COR. OF NW 1/4 SEC. 10, T5N, R21E.  
N:340,262.83  
E:2,501,748.93

CONC. MON. WITH BRASS CAP  
NE COR. OF NW 1/4 SEC. 10, T5N, R21E.



**SOUTH 76TH STREET (C.T.H. U)**

CONC. MON. WITH BRASS CAP  
SW COR. OF NW 1/4 SEC.  
10, T5N, R21E.  
N:337,621.67  
E:2,501,760.99

**CHAPUT**  
LAND SURVEYS

234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com

This instrument was drafted  
by Donald C. Chaput  
Professional Land Surveyor S-1316

Date: June 7, 2023  
Revised: December 4, 2023  
Sheet 2 of 8 Sheets  
Survey No. 4192.02-lpm

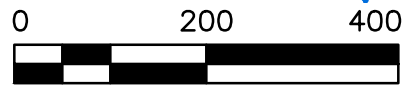
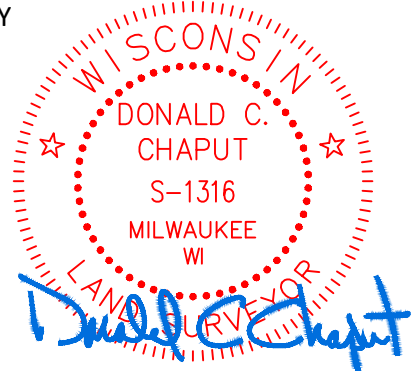


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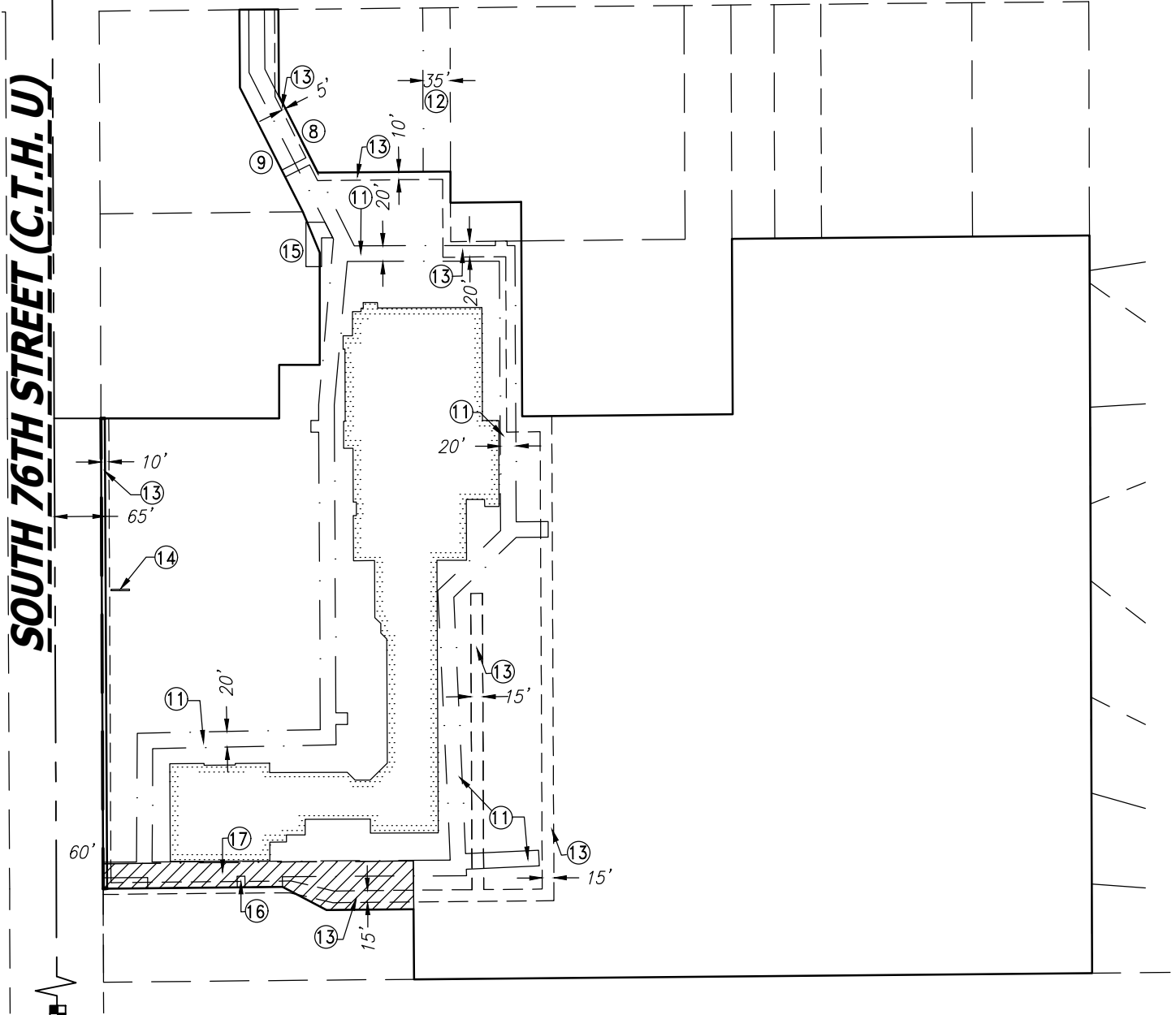
- 11: PERMANENT WATER MAIN EASEMENT PER DOC. NO. 6374620
- 12: 35' UTILITY EASEMENT PER DOC. NO. 6385935
- 13: UTILITY EASEMENT PER DOC. NO. 6066152
- 14: SIGN EASEMENT PER DOC. NO. 7298632
- 15: WATER MAIN EASEMENT PER DOC. NO. 9956356
- 16: 10' GAS EASEMENT PER DOC. NO. 6400725
- 17: ROAD ACCESS EASEMENT PER DOC. NO. 6374619 (HATCH)



Graphic Scale 1" = 200'

CONC. MON. WITH BRASS CAP  
 NW COR. OF NW 1/4 SEC. 10, T5N, R21E.  
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 E:2,501,748.93

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 NE COR. OF NW 1/4 SEC. 10, T5N, R21E.



CONC. MON. WITH BRASS CAP,  
 SW COR. OF NW 1/4 SEC. 10, T5N, R21E.  
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**CHAPUT**  
**LAND SURVEYS**

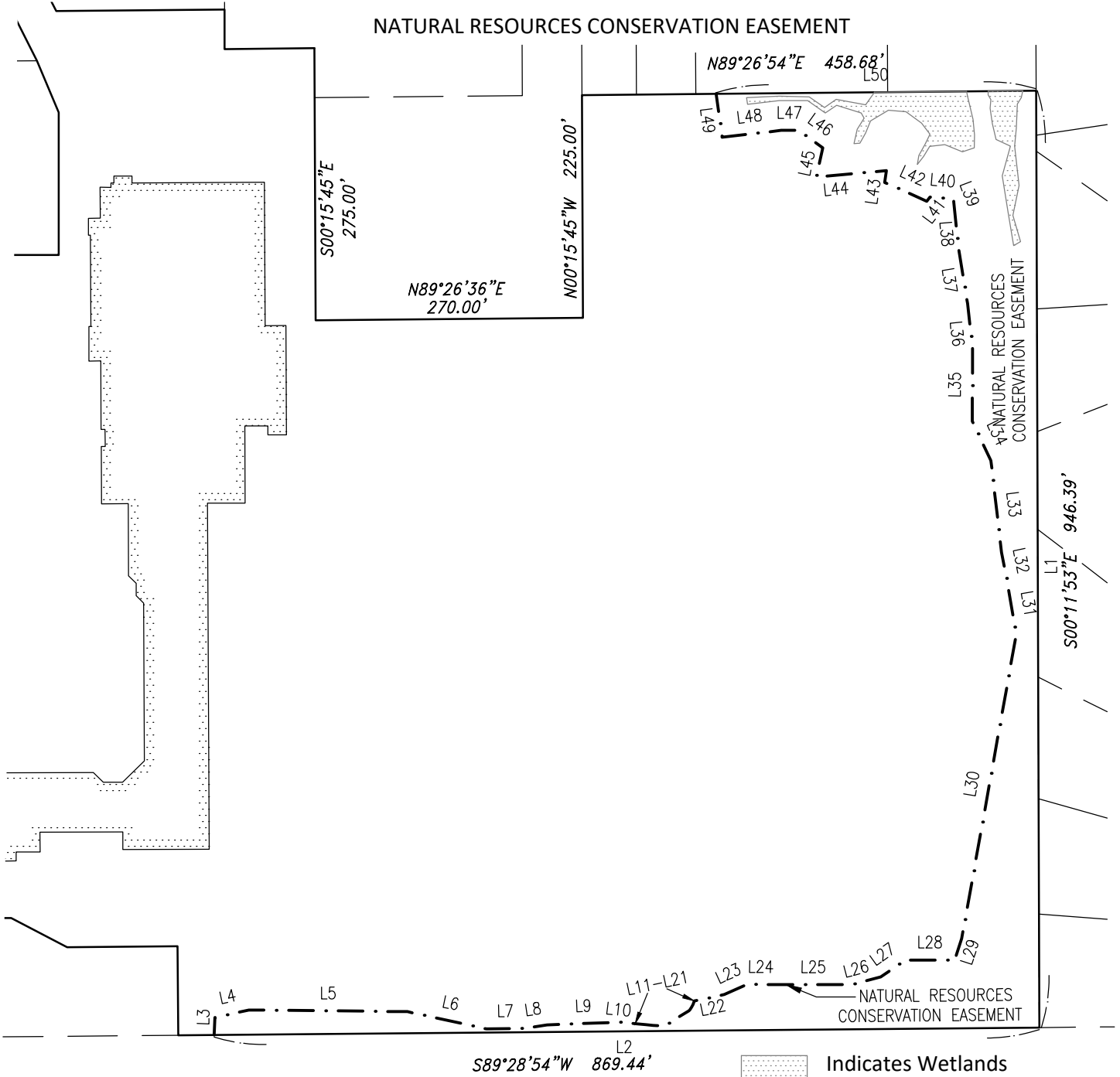
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com


This instrument was drafted by Donald C. Chaput Professional Land Surveyor S-1316  
 Date: June 7, 2023  
 Revised: December 4, 2023  
 Sheet 3 of 8 Sheets  
 Survey No. 4192.02-lpm



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A redivision of Lot 2, Certified Survey Map No. 8318, Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 and lands all being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.



 Indicates Wetlands Delineated by Helainthus, LLC, August 22, 2022

LINE TABLE

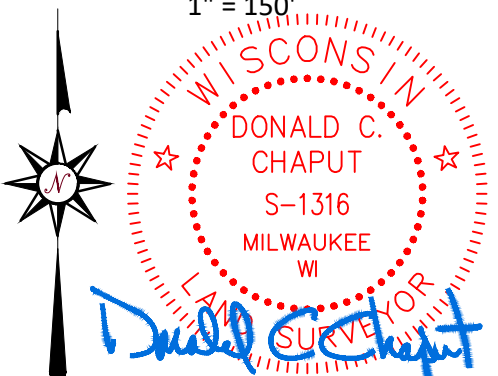
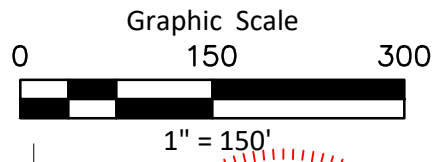
LINE	BEARING	DISTANCE
L1	S00°11'53"E	946.39'
L2	S89°28'54"W	833.29'
L3	N02°06'55"E	17.61'
L4	N77°24'55"E	35.19'
L5	S89°23'44"E	160.28'
L6	S77°41'28"E	81.87'
L7	N89°00'23"E	38.37'
L8	N81°11'19"E	22.84'
L9	N87°56'01"E	74.48'
L10	S83°51'54"E	14.67'
L11	S85°17'38"E	10.99'
L12	S83°27'42"E	6.94'
L13	S85°08'25"E	6.16'
L14	S89°55'06"E	6.19'
L15	N56°18'20"E	8.12'
L16	N58°00'42"E	20.48'
L17	N40°53'32"E	1.30'

LINE TABLE

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L21	N19°03'31"E	1.99'
L22	N77°49'29"E	31.08'
L23	N65°32'46"E	25.11'
L24	S89°16'35"E	28.16'
L25	S89°55'53"E	77.76'
L26	N75°09'04"E	30.15'
L27	N54°44'34"E	29.83'
L28	N90°00'00"E	50.76'
L29	N17°59'07"E	21.59'
L30	N10°08'45"E	311.74'
L31	N09°28'36"W	60.14'
L32	N11°25'41"W	24.43'
L33	N06°35'44"W	93.43'
L34	N25°23'13"W	43.95'

LINE TABLE

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L35	N00°15'27"E	73.99'
L36	N06°30'54"W	45.23'
L37	N09°06'02"W	61.77'
L38	N05°34'33"W	42.06'
L39	N21°22'55"W	2.91'
L40	N84°53'09"W	23.11'
L41	S36°53'59"W	5.25'
L42	N65°54'40"W	46.57'
L43	N08°31'03"E	12.10'
L44	S84°35'25"W	71.16'
L45	N12°19'58"E	30.31'
L46	N54°20'44"W	30.42'
L47	S89°41'12"W	17.32'
L48	S83°23'52"W	59.94'
L49	N07°55'27"W	44.32'
L50	N89°26'54"E	323.10'



Date: June 7, 2023  
 Revised: December 4, 2023  
 Sheet 4 of 8 Sheets  
 Survey No. 4192.02-lpm

This instrument was drafted by Donald C. Chaput  
 Professional Land Surveyor S-1316



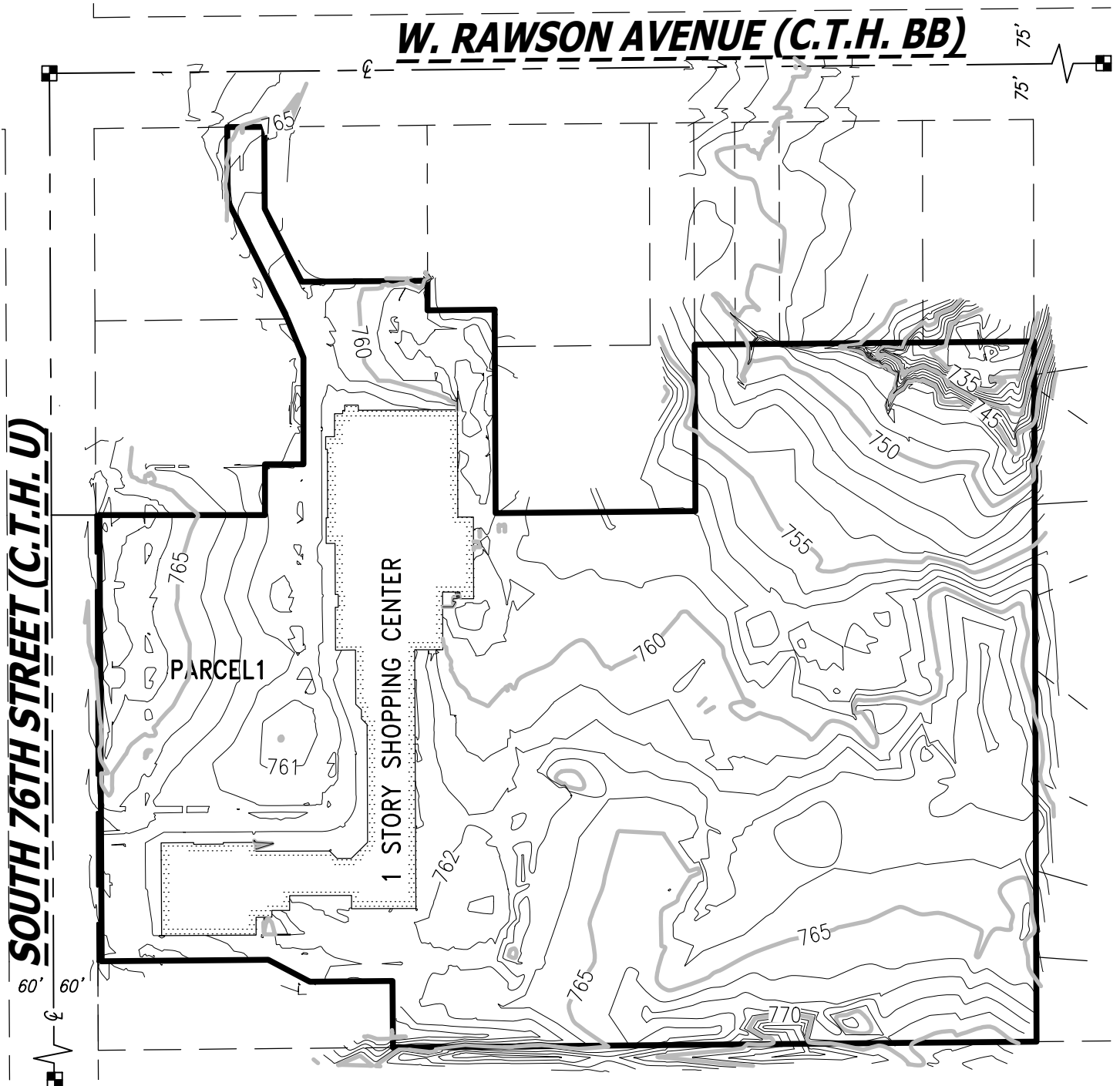
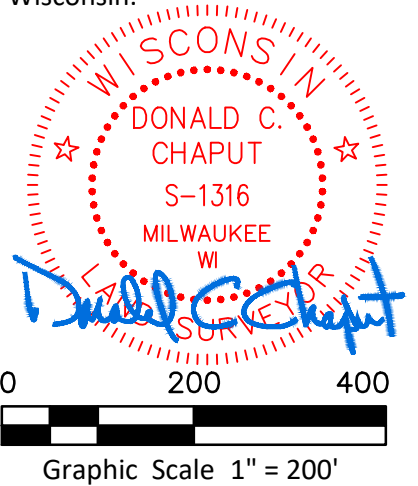
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2, Certified Survey Map No. 8318, Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 and lands all being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

All bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) NAD83, in which the North line of the NW 1/4, Section 10, Township 5 North, Range 21 East bears N89°26'54"E.

Vertical datum is based on North American Vertical Datum of 1988 (12)

Note: Existing contours are shown.



**CHAPUT**  
**LAND SURVEYS**

234 W. Florida Street  
Milwaukee, WI 53204

414-224-8068  
www.chaputlandsurveys.com

This instrument was drafted  
by Donald C. Chaput  
Professional Land Surveyor S-1316

Date: June 15, 2023  
Revised: December 4, 2023  
Sheet 5 of 8 Sheets  
Survey No. 4192.02-lpm



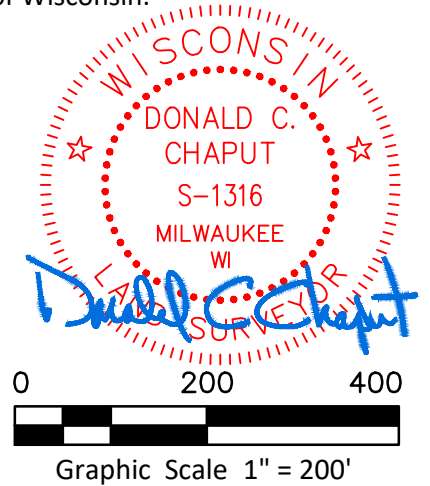
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All bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) NAD83, in which the North line of the NW 1/4, Section 10, Township 5 North, Range 21 East bears N89°26'54"E.

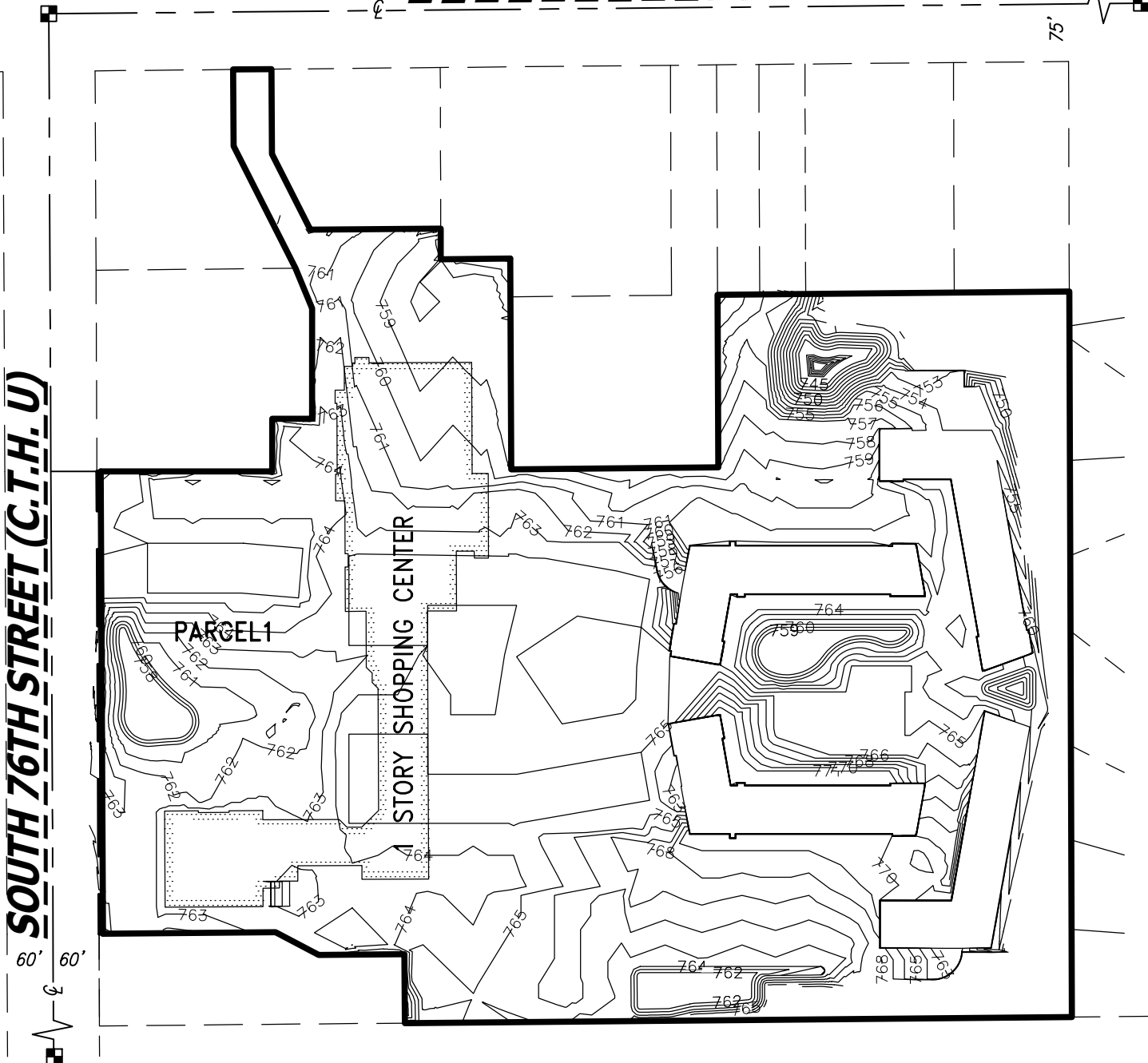
Vertical datum is based on North American Vertical Datum of 1988 (12)

Note: Proposed contours shown were provided by The Sigma Group Inc.  
Received: November 27, 2023.



**W. RAWSON AVENUE (C.T.H. BB)**

**SOUTH 76TH STREET (C.T.H. U)**



**CHAPUT**  
**LAND SURVEYS**

234 W. Florida Street  
Milwaukee, WI 53204

414-224-8068  
www.chaputlandsurveys.com

This instrument was drafted  
by Donald C. Chaput  
Professional Land Surveyor S-1316

Date: June 15, 2023  
Revised: December 4, 2023  
Sheet 6 of 8 Sheets  
Survey No. 4192.02-lpm



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## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
MILWAUKEE COUNTY}

I, DONALD C. CHAPUT, Professional Land Surveyor, do hereby certify:

THAT I have surveyed and mapped a redivision of Lot 2, Certified Survey Map No. 8318, Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 and lands all being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin, which is bounded and described as follows:

Commencing at Northwest corner of said Northwest 1/4 of said Section 10; thence South 00°15'45" East along the West line of said Northwest 1/4 Section 596.70 feet to a point; thence North 89°59'53" East 60.00 feet to the East line of South 76th Street (C.T.H. U) and the point of beginning of lands described hereinafter; thence North 89°59'53" East along the South line of Lot 1 of Certified Survey Map No. 8318 a distance of 228.57 feet to the East line of said Lot 1; thence North 00°00'07" West along said East line 68.60 feet to a point; thence North 89°59'53" East along said East line 52.02 feet to a point; thence North 00°00'07" West along said East line 144.04 feet to a point; thence North 22°40'40" West along said East line 56.53 feet to the Southeast corner of Parcel 3 of Certified Survey Map No. 4828; thence North 26°53'02" West along the East line of said Parcel 3 a distance of 178.51 feet to a point; thence North 00°15'45" West along said East line 100.00 feet to a point on the South line of West Rawson Avenue (C.T.H. BB); thence North 89°26'54" East along said South line 50.00 feet to the Northwest corner of Parcel 4 of Certified Survey Map No. 4828; thence South 00°15'45" East along the West line of said Parcel 4 a distance of 110.74 feet to a point; thence South 26°53'02" East along said West line 110.74 feet to the South line of said Parcel 4; thence North 89°26'36" East along said South line 169.93 feet to a point on the West line of Parcel 1 of Certified Survey Map No. 5689; thence South 00°08'22" East along said West line 40.00 feet to the South line of said Parcel 4; thence North 89°26'36" East along said South line 90.53 feet to the West line of said Parcel 4; thence South 00°15'45" East along said West line 275.00 feet to the South line of Parcel 2 of Certified Survey Map No. 4483; thence North 89°26'36" East along said South line 270.00 feet to the East line of said Parcel 2; thence North 00°15'45" West along said East line 225.00 feet to the Southwest corner of Certified Survey Map No. 6811; thence North 89°26'54" East along the South line of said Certified Survey Map 458.68 feet to the West line of Phase VII Westminster Condominiums; thence South 00°11'53" East along said West line and the West line of Dover Hill Addition No. 1 Subdivision 946.39 feet to the North line of Carter Grove Condominium; thence South 89°28'54" West along said North line 869.44 feet to the Southeast corner of Parcel 1 of Certified Survey Map No. 5401; thence North 00°31'06" West along the East line of said Parcel 1 a distance of 90.00 feet to the North line of said Parcel 1; thence South 89°28'54" West along said North line 111.56 feet to a point; thence North 62°22'32" West along said North line 63.59 feet to a point; thence South 89°28'54" West along said North line 230.00 feet to a point on the East line of South 76th Street (C.T.H. U); thence North 00°15'45" West along said East line 603.29 feet to the point of beginning.

Said lands as described contains 1,067,878 square feet or 24.5151 Acres.

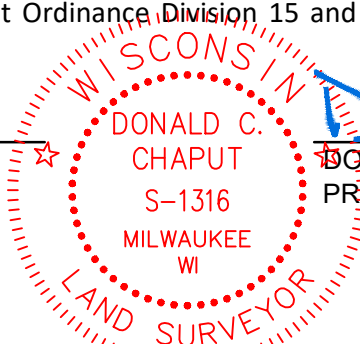
THAT I have made the survey, land division and map by the direction of Initech LLC, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the City of Franklin Unified Development Ordinance Division 15 and Milwaukee County in surveying, dividing and mapping the same.

June 7, 2023

DATE



Handwritten signature of Donald C. Chaput in blue ink.

DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

CHAPUT
LAND SURVEYS

234 W. Florida Street Milwaukee, WI 53204
414-224-8068 www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Date: June 7, 2023
Revised: December 4, 2023
Sheet 7 of 8 Sheets
Survey No. 4192.02-lpm







**CONSERVATION EASEMENT**

~~[Development name, if applicable; Property Owner]~~ Poths General  
Initech LLC  
7044 S Ballpark Drive, Ste 305  
Franklin, WI 53132

This Conservation Easement is made by and between the City of Franklin, a municipal corporation of the State of Wisconsin, hereinafter referred to as "Grantee," and ~~\_\_\_\_\_ [Property Owner] \_\_\_\_\_~~, Initech LLC a ~~\_\_\_\_\_ [entity type, e.g., Wisconsin Limited Liability Company] \_\_\_\_\_~~, hereinafter referred to as "Grantor," and shall become effective upon the recording of this Grant of Conservation Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to § 700.40(2)(b) of the Wisconsin Statutes.

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within the City of Franklin, Milwaukee County, Wisconsin, described in Exhibit A attached hereto and hereby made a part hereof (protected property); and

WHEREAS, the Grantor desires and intends that the natural elements and the ecological and aesthetic values of the protected property including, without limitation, ~~[list the specific resources on the protected property]~~ the wetlands and woodlands ~~and depicted on the the Natural Resource Protection Plan date dated 10.13.2023 and prepared by The Sigma Group and preparer and any revisions thereto~~, which Plan is on file in the office of the City of Franklin Department of City Development, be preserved ~~and~~ maintained by the continuation of land use that will not interfere with or substantially disrupt the natural elements or the workings of natural systems; and

WHEREAS, Grantee is a "holder", as contemplated by § 700.40(1)(b)1. of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under § 62.23 and § 236.45 of the Wisconsin Statutes, the conservation of land, natural areas, open space and water areas; and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the conservation easement on, over and across the protected property, desire to conserve the natural values thereof and prevent the use or development of the protected property for any purpose or in any manner inconsistent with the terms of this conservation easement; and

WHEREAS, the Grantee is willing to accept this conservation easement subject to the reservations and to the covenants, terms, conditions and restrictions set out herein and imposed hereby;

WHEREAS, ~~\_\_\_\_\_ [Mortgage Holder] \_\_\_\_\_, mortgagee of the protected property ("Mortgagee"), consents to the grant of this conservation easement by Grantor to Grantee and Mortgagee's consent is attached hereto and identified as "Mortgage Holder Consent".~~

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a conservation easement in perpetuity on, over and across the protected property.

Grantee's rights hereunder shall consist solely of the following:

1. To view the protected property in its natural, scenic, and open condition;
2. To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act; and
3. To enter the protected property at all reasonable times for the purpose of inspecting the protected property to determine if the Grantor is complying with the covenants and conditions of this grant.







My commission expires \_\_\_\_\_

**Acceptance**

The undersigned does hereby consent to and accepts the Conservation Easement granted and conveyed to it under and pursuant to the foregoing Grant of Conservation Easement. In consideration of the making of such Grant Of Conservation Easement, the undersigned agrees that this acceptance shall be binding upon the undersigned and its successors and assigns and that the restrictions imposed upon the protected property may only be released or waived in writing by the Common Council of the City of Franklin, as contemplated by § 236.293 of the Wisconsin Statutes.

In witness whereof, the undersigned has executed and delivered this acceptance on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

CITY OF FRANKLIN

By: \_\_\_\_\_  
John R. Nelson, Mayor

By: \_\_\_\_\_  
Karen L. Kastenson, City Clerk

STATE OF WISCONSIN        )  
  ) ss  
COUNTY OF MILWAUKEE    )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named John R. Nelson, Mayor and Karen L. Kastenson, City Clerk, of the above named municipal corporation, City of Franklin, to me known to be such Mayor and City Clerk of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the Deed of said municipal corporation by its authority and pursuant to Resolution No. \_\_\_\_\_, adopted by its Common Council on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public

My commission expires \_\_\_\_\_

This instrument was drafted by the City of Franklin.

Approved as to contents:

\_\_\_\_\_  
[Planner Name]  
[Planner Title]  
Department of City Development

\_\_\_\_\_  
Date

Approved as to form only:

\_\_\_\_\_  
Jesse A. Wesolowski  
City Attorney

\_\_\_\_\_  
Date







Exhibit A



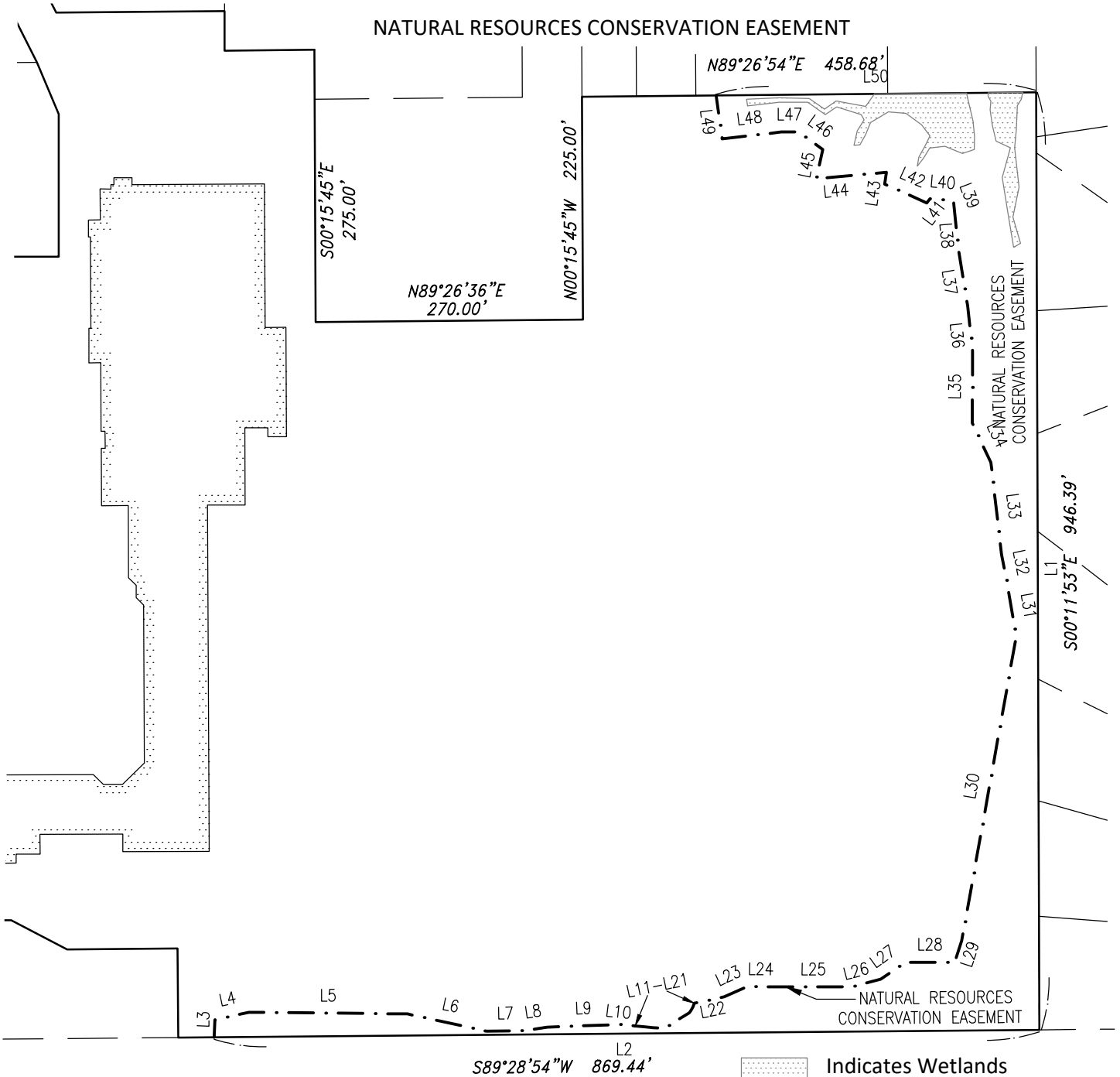
Exhibit B  
Landscape Plans

Formatted: Centered



# EXHIBIT A

That part of Outlot 1 of Certified Survey Map No. 6313, and Outlot 1 of Certified Survey Map No. 5401 being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.



LINE TABLE

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L48	S83°23'52"W	59.94'
L49	N07°55'27"W	44.32'
L50	N89°26'54"E	323.10'

Date: December 4, 2023  
Survey No. 4192.02-lpm







**Table 15-3.0502  
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA  
FOR ~~BOTH RESIDENTIAL AND~~ NONRESIDENTIAL DEVELOPMENT**

<b>STEP 1:</b>	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	24.52 Acres
<b>STEP 2:</b>	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0          acres
<b>STEP 3:</b>	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0          acres
<b>STEP 4:</b>	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed residential use, subtract ( ) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed nonresidential use, subtract ( 14.79 acres) the land proposed for residential uses.	14.79 acres
<b>STEP 5:</b>	Equals "Base Site Area"	= 9.73    acres (nonresidential)

14.79 acres residential



## NATURAL RESOURCE PROTECTION LAND WITHIN NONRESIDENTIAL AREA

**Table 15-3.0503  
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non- Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u>  0  </u> =	0
20-30%	0.65	0.75	0.70	X <u>  0  </u> =	0
+ 30%	0.90	0.85	0.80	X <u>  0  </u> =	0
					<u>  0  </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>  0  </u> =	0
Young	0.50	0.50	0.50	X <u>  0  </u> =	0
Lakes & Ponds	1	1	1	X <u>  0  </u> =	0
Streams	1	1	1	X <u>  0  </u> =	0
Shore Buffer	1	1	1	X <u>  0  </u> =	0
Floodplains/Floodlands	1	1	1	X <u>  0  </u> =	0
Wetland Buffers	1	1	1	X <u>  0  </u> =	0
Wetland Setback	--	--	--	X <u>  0  </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u>  0  </u> =	0
<b>TOTAL RESOURCE PROTECTION LAND</b> (Total of Acres of Land in Resource Feature to be Protected)					<b>0</b>

*Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.*



**Table 15-3.0505**

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND  
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

<p><b>STEP 1:</b></p>	<p><b>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</b></p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502):    <u>  9.73  </u></p> <p>Multiply by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard):        X   <u>  0.45  </u></p> <p>Equals <b>MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE</b>        =</p>	<p align="right">4.38   acres</p>
<p><b>STEP 2:</b></p>	<p><b>CALCULATE NET BUILDABLE SITE AREA:</b></p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502):    <u>  9.73  </u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: -   <u>  4.38  </u></p> <p>Equals <b>NET BUILDABLE SITE AREA</b>                                =</p>	<p align="right">5.35   acres</p>
<p><b>STEP 3:</b></p>	<p><b>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</b></p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above):        <u>  5.35  </u></p> <p>Multiply by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X   <u>  0.57  </u></p> <p>Equals <b>MAXIMUM NET FLOOR AREA YIELD OF SITE</b>               =</p>	<p align="right">3.05   acres</p>
<p><b>STEP 4:</b></p>	<p><b>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</b></p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502):    <u>  9.73  </u></p> <p>Multiply by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X   <u>  0.31  </u></p> <p>Equals <b>MAXIMUM GROSS FLOOR AREA YIELD OF SITE</b>               =</p>	<p align="right">3.02   acres</p>
<p><b>STEP 5:</b></p>	<p><b>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</b></p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p align="right">3.02   acres 131,551 SF</p>



**Table 15-3.0502**  
**WORKSHEET FOR THE CALCULATION OF BASE SITE AREA**  
**FOR ~~BOTH RESIDENTIAL AND NONRESIDENTIAL~~ DEVELOPMENT**

<b>STEP 1:</b>	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	24.52 Acres
<b>STEP 2:</b>	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0            acres
<b>STEP 3:</b>	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0            acres
<b>STEP 4:</b>	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract ( 9.73 acres ) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract ( - ) the land proposed for residential uses.	9.73 acres
<b>STEP 5:</b>	Equals "Base Site Area"	= 14.79 acres (residential)

9.73 acres nonresidential



# NATURAL RESOURCE PROTECTION LAND WITHIN RESIDENTIAL AREA

**Table 15-3.0503  
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non- Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u>  0  </u> =	0
20-30%	0.65	0.75	0.70	X <u>  0  </u> =	0
+ 30%	0.90	0.85	0.80	X <u>  0  </u> =	0
					<u>  0  </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>  0  </u> =	0
Young	0.50	0.50	0.50	X <u> 2.39 </u> =	1.195
Lakes & Ponds	1	1	1	X <u>  0  </u> =	0
Streams	1	1	1	X <u>  0  </u> =	0
Shore Buffer	1	1	1	X <u>  0  </u> =	0
Floodplains/Floodlands	1	1	1	X <u>  0  </u> =	0
Wetland Buffers	1	1	1	X <u> 0.56 </u> =	0.56
Wetland Setback	--	--	--	X <u> 0.35 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0.66 </u> =	0.66
<b>TOTAL RESOURCE PROTECTION LAND</b> (Total of Acres of Land in Resource Feature to be Protected)					<b>2.415</b>

*Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.*



Table 15-3.0504

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND  
CAPACITY FOR RESIDENTIAL DEVELOPMENT**

<p><b>STEP 1:</b></p>	<p><b>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</b></p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>14.79</u></p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u></p> <p>Equals <b>MINIMUM REQUIRED ON-SITE OPEN SPACE</b> =</p>	<p align="right">5.18 acres</p>
<p><b>STEP 2:</b></p>	<p><b>CALCULATE NET BUILDABLE SITE AREA:</b></p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>14.79</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: <u>5.18</u></p> <p>Equals <b>NET BUILDABLE SITE AREA</b> =</p>	<p align="right">9.61 acres</p>
<p><b>STEP 3:</b></p>	<p><b>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</b></p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>9.61</u></p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>45</u></p> <p>Equals <b>MAXIMUM NET DENSITY YIELD OF SITE</b> =</p>	<p align="right">432 D.U.s</p>
<p><b>STEP 4:</b></p>	<p><b>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</b></p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>14.79</u></p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>30</u></p> <p>Equals <b>MAXIMUM GROSS DENSITY YIELD OF SITE</b> =</p>	<p align="right">443 D.U.s</p>
<p><b>STEP 5:</b></p>	<p><b>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</b></p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p align="right">432 D.U.s</p>



October 16, 2023

Planning Department  
City of Franklin  
9229 West Loomis Road  
Franklin, WI 53132

Re: Poths General Detailed Site Plan Review & Certified Survey Map

To Whom It May Concern,

We are pleased to deliver our applications for a Detailed Site Plan Review and Certified Survey Map related to the Poths General mixed-use development. You will find under cover of this letter the following documents:

1. Applications and Property Authorization
  - a. Plan Commission Review Application for Site Plan Review (20 copies)
  - b. Land Division Application for a Certified Survey Map (20 copies)
  - c. Property Owner Authorization Letter (20 copies)
2. Poths General Design Package (20 copies) which include the following:
  - a. Architectural Site Plan, Elevations and Renderings prepared by Rinka and dated 10.13.2023
  - b. Civil Engineering plans including, site, grading, utility, and landscape plans prepared by Sigma and dated 10.13.2023
  - c. Natural Resource Protection Plan prepared by Sigma and dated 10.13.2023
  - d. Site Lighting and Photometric Plan prepared by Leedy Petzold and dated 10.13.2023
3. Draft Stormwater Management Memo prepared by Sigma and dated 10.13.2023 (20 copies)
4. Certified Survey Map prepared by Chaput and dated June 7, 2023 (3 copies)
5. ALTA Survey prepared by Chaput and dated June 20, 2022 (20 copies)
6. Site Intensity and Capacity Calculations prepared by Sigma and dated 9.22.2023 (20 copies)
7. Geotechnical Investigation Report prepared by PSI and dated December 5, 2023 along with Reliance Letter to Land By Label LLC dated February 17, 2023 (1 copy)
8. Traffic Impact Analysis prepared by Ayres & Associates and dated August 16, 2023 (1 copy)
9. Poths General Sanitary Sewer and Water Memo prepared by Sigma and dated 9.21.2023 (20 copies)

In addition to and simultaneously with the foregoing hard copies, we are providing an electronic copy of the information via dropbox.com link. If there are any questions regarding our application or materials, please do not hesitate to contact me. We look forward to advancing our efforts on this exciting redevelopment.

Sincerely,



Emily Cialdini  
Vice President of Development  
Land By Label



## **The Development Team**

### **Land By Label**

Land By Label is an integrated multifamily and mixed-use real estate company. We have over 50 years of combined real estate experience, including development, finance, legal, construction oversight, asset management and disposition strategy. While our primary focus is southeastern Wisconsin, our team has significant experience developing multifamily assets across the country. Our cultivated network of brokers and consultants, including architects, engineers and property management experts, allows Land By Label to identify and execute the best development opportunities in our backyard and beyond.

Methodical risk management guides Land By Label's development process. Market and site identification is driven by empirical supply-demand factors, including detailed demographics and multifamily performance. Site conceptualization and design is a hands-on experience informed by market/site conditions and the best branding, architectural and engineering minds in the business. The site concept must accomplish two goals—satisfying the real time demand of our customers and creating a positive impact on the local community. Land By Label conducts outreach with elected officials and surrounding property owners as the best ideas are incorporated into our thinking. Our due diligence is exhaustive. We understand development risks ranging from geotechnical and environmental conditions to title and survey challenges. Our Managing Principal's legal experience combined with outside development counsel ensures all the issues are identified, considered and solved.

Poets General will be led by Ian Martin, Founder and Managing Principal of Land by Label and Brian Strandt, Vice President of Construction and Emily Cialdini, Vice President of Development.

### **ROC Ventures**

ROC Ventures manages a collection of brands in the sports, entertainment, and real estate sectors. These include the Milwaukee Wave, the Milwaukee Milkmen, The Rock Sports Complex, a collegiate baseball franchise located in Indiana, the Ballpark Commons development, and more.

ROC stands for "Return on Community," a goal which informs each and every endeavor undertaken by the organization. ROC Ventures is led by Michael Zimmerman, Owner and Executive Officer. Since 2004, Zimmerman has owned and operated 30 businesses in the healthcare, sports and entertainment industries.

ROC Ventures is a financial partner of Poets General and participates creatively in concept and design. They will also be lead in programming and hospitality.



### **The Design Team**

#### **RINKA +**

Founded in 2006, RINKA is an award-winning design collective specializing in creative problem-solving and innovative place-making to create meaningful experiences for people. They maintain a broad-based architectural practice that connects inspiring designs with practical and functional solutions. Collaborating to ensure success, their team builds long-term relationships with progressive and visionary clients.

#### **Spotlight Projects:**

- Tribute Apartments, Milwaukee
- The Yards, Milwaukee
- The Quin, Milwaukee
- Greenlink Residences, Brown Deer
- Parterre at Emerald Row, Oak Creek
- RIVER Development, Milwaukee
- Milwaukee Bucks Deer District, Milwaukee
- The Couture, Milwaukee
- Lakeshore Commons, Oak Creek

### **The Sigma Group**

The Sigma Group, Inc. (Sigma) is a full-service consulting and civil engineering firm. Our Milwaukee-based staff includes registered professional engineers in civil, environmental, and chemical disciplines; registered land surveyors; construction inspectors; certified asbestos supervisors / inspectors; certified lead inspectors / risk assessors; Certified Hazardous Materials Managers, professional geologists, and hydrogeologists, as well as additional engineering technicians, scientists and compliance specialists.

#### Spotlight Projects

- The Seasons, Franklin
- The Reef, Wauwatosa
- State Street Station, Wauwatosa
- Stitchweld, Milwaukee
- 22 Slate, Madison



## **Development Considerations**

### **Project Vision**

The historic Poths General Store served Franklin families for 40 years as the neighborhood emporium at the redevelopment site. Tailored brick by brick to elevate the town center with newfound urban energy and vintage-inspired local charm, the refined Poths General concept presents an original, bustling scene to connect the community at this iconic corner of the City.

A collection of retailers, restaurants, residences, amenities, and rotating activations designed to endure and evolve. A modern heirloom destination, the reimagined Poths General gathering place offers a wholly unique visitor and resident experience with balanced style and substance.

The comprehensive redevelopment with its public presence on 76<sup>th</sup> Street is designed to transform this gateway corridor to the City of Franklin into a thriving, vibrant community center. The existing shopping center is deteriorating and mostly vacant. The City has contemplated the site for mixed-use redevelopment in their long-term planning goals. Poths General realizes the City's long-term vision for the site.

The main public elements of Poths General including the boutique hotel, public amenities and commercial storefronts are immediately visible from 76th Street. Identity beacons, wayfinding signage and landscaped features are designed to guide pedestrian and vehicular traffic safely and seamlessly into the site. The main entry roadway divides the pavilion green and food truck plaza on the west side from the commercial space, splash pad, ice rink and open green space on the east side. A curbless, paved system between the two zones is designed to slow traffic and tether the public spaces together, creating a pedestrian friendly, engaging public center. A "Poths General" gateway sign marks and celebrates the community. The public square continues to evolve as you move east through the site into a residential realm woven together with pedestrian trails and open green space and a resident clubhouse. Incorporated within our proposal are architectural renderings detailing the design drivers and historical context for the architectural design that demonstrate the vitality and pedestrian scale of our fully developed site plan.

The housing component is a carefully considered real estate response to demographic changes that reflect on housing preferences and strong, demonstrated demand for luxury rental housing in the Franklin submarket. The residential housing will include a wide variety of unit styles and mixes ranging from studio units to three bedrooms, intended to meet the needs of a wide cross section of the City's population. The development appeals to those preferring the flexibility and maintenance-free lifestyle that rental housing offers to those aspiring to home ownership.

### **Program Statement**

#### ***Public Square***

The development team has adopted new terminology for the public spaces to better reflect the intended use and differentiate our development from other "town centers" in the area. We are now referring to the public spaces as a "public square". The public square includes a variety of



passive and programmed public amenities informed by the community of Franklin through a series of neighborhood meetings and discussions.

#### *Food Truck Plaza*

A permanent food truck plaza offers a rotating variety of food purveyors bringing a new mix of dining options to the City of Franklin. The food truck offers dining options in addition to the 20,000 square feet of brick-and-mortar restaurant space.

#### *Pavilion and Green Space*

Immediately west of the food truck plaza lies a large open green space adorned with natural landscaped features including boulders and concrete blocks. The green space creates an opportunity for play and exploring and serves as seating for the small-scale pavilion along 76<sup>th</sup> Street. The pavilion was relocated to this commercial, active zone of the site to reduce any sound concerns. Our vision is that it serves as a place for community bands, high school bands or children's choir concerts. It is not intended to host large scale concert series like those in other municipalities.

#### *Splash Pad*

On the east side of the food truck plaza and across the internal road, a summer splash pad delivers a highly desired family-oriented feature.

#### *Ice-skating Loop and Farmers/Winter Holiday Market*

An ice-skating loop creates a unique four-season destination in the winter and converts to an open ring pathway to make room for summer farmers markets. Adjacent open space to the east allows for a logical expansion of the summer farmers market and leaves space for a winter holiday market adjacent to the skating rink.

#### *Public Restrooms*

Permanent restrooms are found adjacent to the commercial space in Building B, the southern mixed-use building. They are located within 300 feet of the splash pad and food truck plaza for convenience and to meet code requirements.

#### *Pedestrian Connectivity*

Pedestrian connectivity within the site and the community at large is a critical component of Poets General. A series of pedestrian walking trails connecting not only the uses within our proposed redevelopment, but also the neighborhood and street frontage is thoughtful and well considered. This network of pedestrian walks tethers the site together, encouraging visitors to explore and experience this urban lifestyle community.

#### *Restaurants & Retail*

Roughly 25,000 square feet of commercial and retail space is located on the first floors of the apartment buildings and hotel. Discussions are on-going with high-quality local restaurants,



including a steakhouse, sushi, and café/tavern restaurant. We've also discussed the site with breweries and coffee shops. A woman's fashion boutique has also expressed interest.

### ***Enhancements to Harry's Ace Hardware***

Harry's Ace Hardware will remain in its current location, but will receive enhancements to the exterior architecture and landscaping. Harry's has been a staple to the City of Franklin and is a wonderful, complementary use to the new proposed redevelopment.

### ***Boutique Hotel***

A roughly 50-key, three-to-four-story boutique hotel will be developed by separate but related development partners. The hotel includes roughly 12,500 square feet of commercial space, plus outdoor dining space for restaurant use.

### ***Luxury Apartments***

The Poths General residential component includes 426 units ranging from studios to three-bedrooms that offer Class A finishes and amenities, including quartz countertops, stainless steel appliances, and hard surface plank flooring. Units are contained in three to four story buildings with enclosed parking at a roughly 1:1 parking ratio. The interior and exterior design and finish of Poths General will be one of the finest in the Franklin submarket.

### ***Resident Amenities***

With a development of such scale, we have an opportunity to deliver exceptional resident amenities. A roughly 6,000 square foot clubhouse is positioned opposite the town center uses, creating a dynamic but permeable division of public and private zones. The clubhouse includes our leasing center and management offices along with an expansive clubroom with ample patio space, outdoor kitchen, and private pool. A central common is designed to the east of the clubhouse as a residential 'backyard'. It is separated from the high activity public plaza and provides access to ample open space and several thousand linear feet of walking trails.

### ***Natural Resource Protection***

Throughout the due diligence process, we have identified three wetlands on the site. Two of the wetlands in the middle of the site are filled with gravel and were determined to be artificial, emergent wetlands by the WDNR. The third wetland is located at the northeast corner of the site and is a native wetland. Our site planning currently contemplates building around and preserving the majority of the wetlands. Included herein is a our Natural Resource Protection Plan.

### ***Parking***

While our vision was focused on creating an exciting redevelopment, we have not lost sight of practical considerations like parking. The site plan includes roughly 300 surface stalls to serve the public and commercial uses. The residential uses include nearly one-to-one enclosed parking spaces and roughly .75 space per unit in surface parking for supplementary residential and guest parking distributed throughout the site for convenience. The abundance of parking is designed to accommodate active programming of the public space thereby ensuring safety and convenience.



With over 1,000 overall parking stalls, there is more than sufficient parking to meet the needs generated by our development.

### **Collaborative Design Approach & Neighborhood Meetings**

Pothes General reflects a highly considered design solution that incorporates good design principles. It is responsive to the actionable feedback we received from neighbors, Staff, and elected officials. Throughout the development process we hosted two, large-scale neighborhood meetings on March 2, 2023, and June 12, 2023. Based on that information, we were able to incorporate several material modifications to the site plan:

1. ***Increased setbacks and buffers to adjacent residential.*** We reorganized the residential buildings and parking to allow for increased landscaped buffers and distances to adjacent homes. For instance, Buildings E and F at the east side of the site were moved to create buffers of roughly 60 feet from the property line. All parking was eliminated adjacent to neighbors to the east. Positioning the buildings in this manner allowed us to maintain the dense, mature trees and landscaping at this location, further mitigating an impact to adjacent neighbors. Additionally, a section of parking was eliminated on the south side of the site and replaced with stormwater management areas. All parking areas still lie 35 feet away from any adjacent residential use; 5 feet more than suggested by City planning staff.
2. ***Hotel moved away from condos to the south.*** The hotel was relocated further from the residential condos along the southern property line, per neighbor request. The hotel is now located along 76<sup>th</sup> Street at the most active, visible quadrant of the site plan and furthest away from the residents along the south property line.
3. ***Enhanced stormwater management efforts.*** We identified additional areas to install stormwater management and green infrastructure in excess of legal requirements to mitigate perceived existing stormwater issues.
4. ***Buildings relocated out of the 40-foot building setback from arterial roadways.*** All buildings now fall outside the 40-foot building setback of 76<sup>th</sup> Street.

### **Development Operations**

Land By Label will hire a third-party property management company to oversee the development operations including leasing, maintenance, and operation of the public spaces. The residential leasing offices will be open 9 am to 6pm Monday through Friday and 9 am to 4 pm Saturday and Sunday. These hours are subject to change with input from our management team. The maintenance and leasing team will response to maintenance emergencies 24/7. The clubhouse will be open and accessible to residents 24/7 with secure, fobbed access. The pool will be open in the summer months, typically Memorial Day to Labor Day from 9am to 7pm.



### **Development Schedule**

It is anticipated that construction activities will begin in fall of 2024. The project will be delivered in two phases, the first phase consisting of the hotel (Building H), mixed-use buildings (Buildings A and B), residential buildings (Building C and D) and the clubhouse. The second phase will include Buildings E and F. A construction phasing plan will be submitted to the City for review as part of our building permit approvals.

### **Estimated Project Value & Improvement Costs**

Our detailed plans have been submitted to a general contractor for construction pricing. Our current estimated project value for the development is roughly \$100,000,000.

The redevelopment effort generates significant and long-term economic impact, an estimated \$182 million dollars over the next 10 years. The economic impact of the construction activities alone generates roughly \$188 million of output and labor income and creates over 1,000 jobs. Maybe most importantly, Poths General will deploy roughly \$2 million of disposable income in the area to existing businesses within the City annually. Additional information regarding the economic impact was prepared by Baker Tilly and can be found on page 12.

### **Development Ownership, Controls and Regulations**

Land By Label is the lead developer and will control, manage, and execute the design, development and construction of the apartments, commercial space, public square and infrastructure of Poths General. The hotel parcel may be developed, designed, and managed by a third party, but will still be subject to multiple layers of Land By Label and City control, including design and operational guidelines.

Land By Label will record against the entire property a restrictive covenant agreement (the “Restrictive Covenant”) that provides cross-access easements among all the varied uses. The Restrictive Covenant will also give Land By Label control over the architecture, site planning and landscaping on the entire redevelopment including the hotel parcel. The City retains final approval rights of the hotel. The Restrictive Covenant will also impose on-going maintenance standards and requirements to ensure the overall site is kept in good condition and repair. It is likely that Land By Label, as manager of the apartments, will be responsible for maintaining general common areas, like stormwater management, and the commercial and hotel users will pay their share of such maintenance costs.

Land By Label and the City will encumber the entire site with a mutually agreeable development agreement pursuant to the conditions of the PDD 42 ordinance which will impose an on-going maintenance obligations to ensure the development remains in good condition and repair.

The public square is designed and programmed to be a public space that is highly visible, engaging, and accessible. There are multiple options to ensure that this space remains public including deeding the land to the City or recording public access easements against the property.

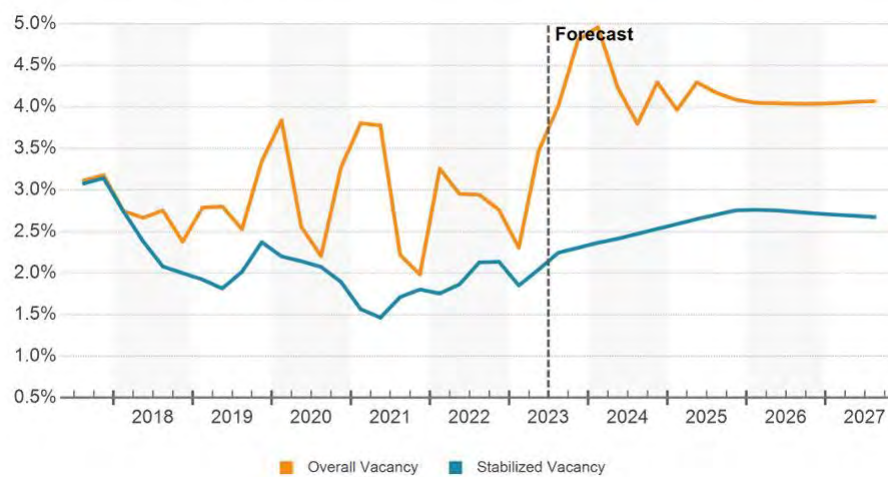


We will continue to advance discussions with City staff to ensure we reach an agreement and approach with which the City is comfortable.

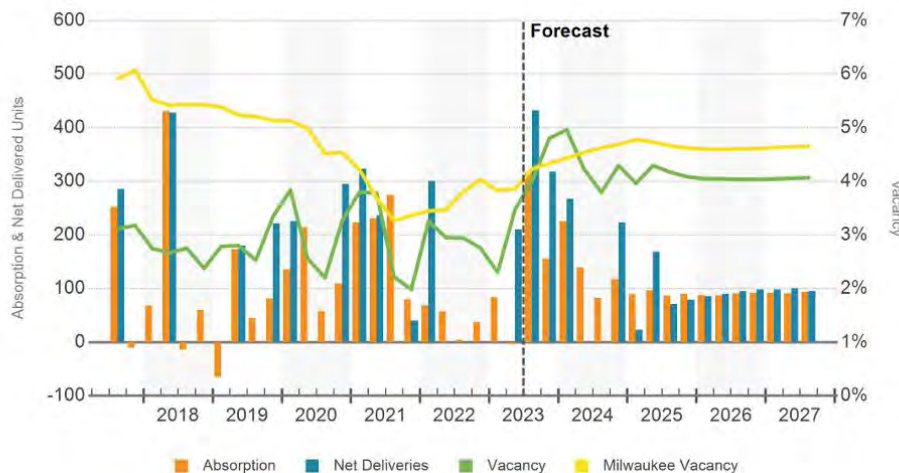
**Market Analysis & Apartment Demand Drivers**

A strong, demonstrated demand for multifamily apartments is evident in the southwestern submarket. Overall vacancy in the submarket currently sits at 3.9% and stabilized occupancy is projected to remain below 3% with absorption keeping pace with supply. Rent growth over the past four quarters has averaged 4.3% and is projected to remain between 2% and 4% the next four quarters. The success of Velo Village and its record setting lease-up at 30 units per month demonstrates strong demand in the immediate area. The property continues to see strong rent growth and high occupancy.

**OVERALL & STABILIZED VACANCY**

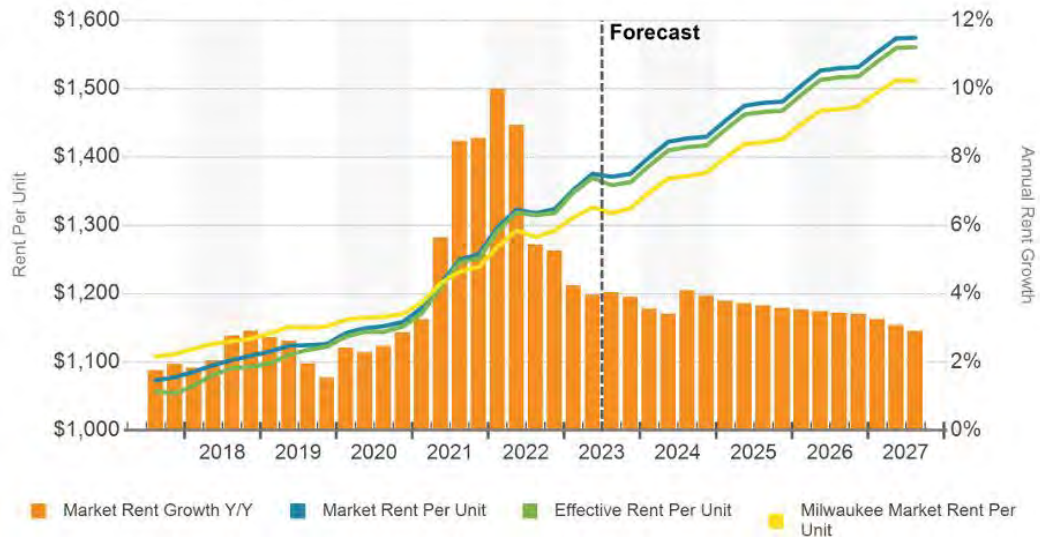


**ABSORPTION, NET DELIVERIES & VACANCY**





**MARKET RENT PER UNIT & RENT GROWTH**



Additionally, a combination of certain demographic and economic tailwinds are continuing to drive demand for apartments nationally and locally including:

1. Homeownership rates are at 40-year historic lows.
2. Millennials are delaying household formation and homeownership.
3. Millennials burdened with student debt that has limited their saving for a down payment.
4. The average sales price for homes continues to rise.
5. Interest rates on home mortgages continue to rise.
6. Largest growing renter demographic over the last ten years has been the baby boomer cohort.
7. Generation Z is demonstrating a strong propensity to rent.
8. Life cycle housing creates healthy, viable communities. Apartments offer a housing solution that allows younger families looking to buy in the community the opportunity to rent. Apartments offer empty nesters the opportunity to remain the communities they are rooted, but with added flexibility and no maintenance.
9. Franklin submarket apartment fundamentals are strong – 97% + occupancy and continued strong rent growth. (See graph below)
10. Marginal demand analysis of income qualified renter growth vs. units in pipeline demonstrates a surplus demand of 200 units. (See tables below)

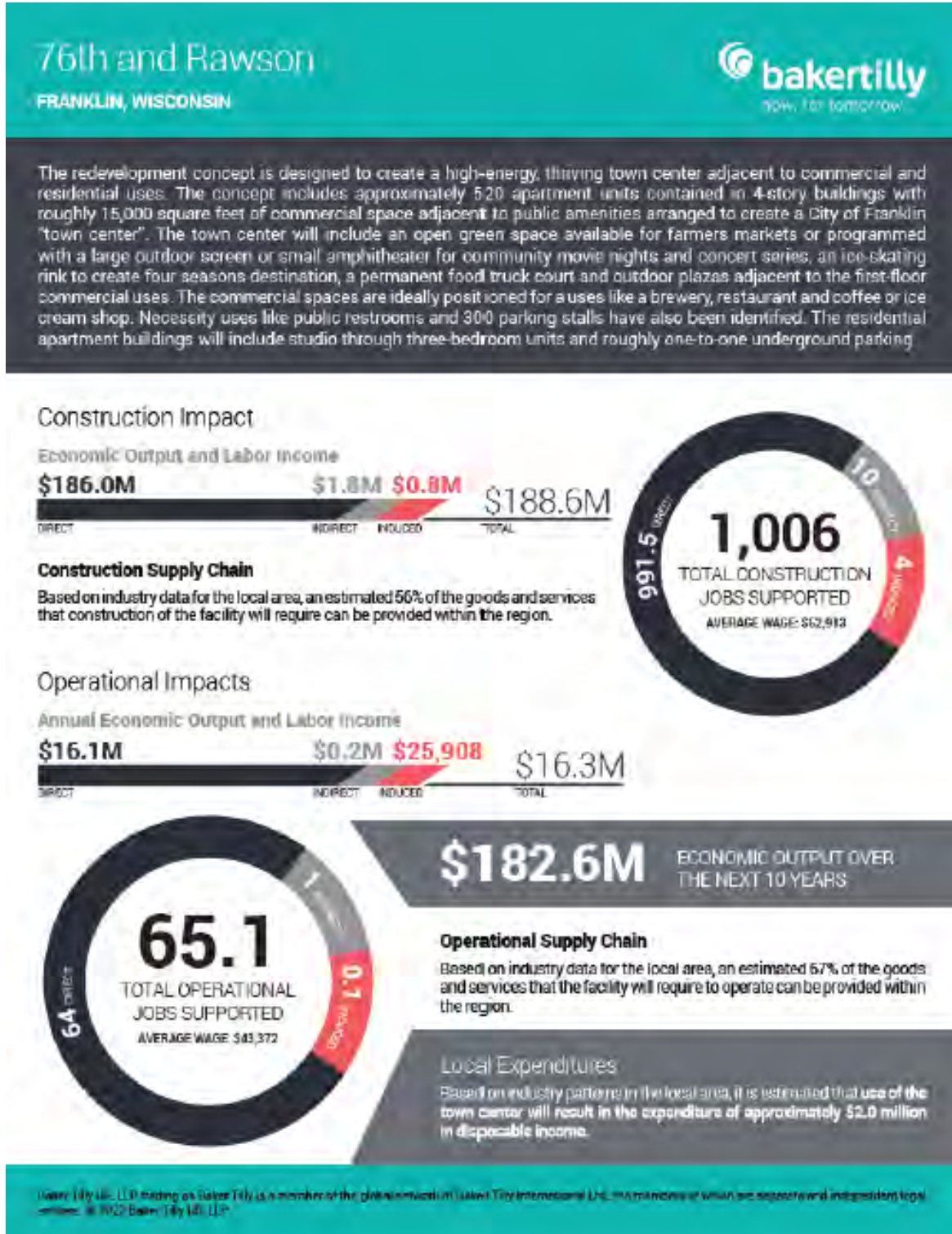


<b>Income Eligible Renter Population Primary Market Area (10-Mile of Franklin City Center)</b>		
Year	2022	2027
Total Population	518,612	512,083
Households Total	214,301	212,468
Renter-Occupied Households	82,401	79,375
<b>Income Brackets</b>	<b>Total Households</b>	<b>Total Households</b>
\$50,000 - \$74,999	40,002	36,577
\$75,000 - \$99,999	30,817	29,873
\$100,000 - \$149,999	41,423	50,243
\$150,000 - \$199,999	15,862	22,756
\$200,000+	10,842	13,293
	<b>Total Households</b>	<b>Total Households</b>
<b>Total # of Income-Eligible Households</b>	<b>138,946</b>	<b>152,742</b>
<b>% Renter-Occupied</b>	<b>38.45%</b>	<b>37.36%</b>
<b># Income-Eligible Renter-Occupied Households</b>	<b>53,426</b>	<b>57,062</b>

<b>Marginal Demand Analysis</b>	
a	Income Qualified Renter Households 2022 53,426
b	Income Qualified Renter Households 2027 57,062
c	<b>Increase in Income Qualified Renter Households 3,636</b>
d	# Units in Pipeline 2,575
e	Subject Units 1,003
f	Total New Supply (d+e) 3,578
g	<b>New Units at Balanced Market (96%) 3,435</b>
h	<b>Net Excess Demand (c-g) 201</b>



**ECONOMIC IMPACT ANALYSIS**





Planning Department  
 9229 West Loomis Road  
 Franklin, Wisconsin 53132  
 (414) 425-4024  
[franklinwi.gov](http://franklinwi.gov)



APPLICATION DATE: 10.16.23

STAMP DATE: city use only

## PLAN COMMISSION REVIEW APPLICATION

### PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]	APPLICANT IS REPRESENTED BY [CONTACT PERSON]
NAME: Poths General LLC	NAME: Emily Cialdini
COMPANY: Land By Label LLC	COMPANY: Land By Label LLC
MAILING ADDRESS: 7044 S Ballpark Dr., Suite 305	MAILING ADDRESS: 7044 S Ballpark Dr., Suite 305
CITY/STATE: ZIP: Franklin, WI 53132	CITY/STATE: ZIP: Franklin, WI 53132
PHONE: 414.285.3470	PHONE: 414.285.3470
EMAIL ADDRESS: emily.c@landbylabel.com	EMAIL ADDRESS: emily.c@landbylabel.com

### PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 7154 S 76th Street & Adjacent Parcels	TAX KEY NUMBER: 756-9993-021; 756-9993-016; 756-9993-012
PROPERTY OWNER: Initech LLC	PHONE: 414.285.3470
MAILING ADDRESS: 7044 S Ballpark Dr	EMAIL ADDRESS: tomj@rocventures.com
CITY/STATE: ZIP: Franklin, WI 53132	DATE OF COMPLETION: office use only 2027

### APPLICATION TYPE

**Please check the application type that you are applying for**

Building Move  
  Sign Review  
  Site Plan / Site Plan Amendment  
  Temporary Use

Most requests require Plan Commission review and approval.

Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

### SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

I, the applicant, certify that I have read the following page detailing the requirements for plan commission approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: <b>See property owner authorization letter</b>	APPLICANT SIGNATURE: 
NAME & TITLE: DATE:	NAME & TITLE: DATE: <b>VP Development 10.16.23</b>
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: DATE:



## CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

### BUILDING MOVE APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) folded full size, drawn to scale copies (at least 8 ½" X 11") of the plat of survey, *showing the proposed building placement at the new location, indicate setbacks from property lines and locations of driveways and access points.*  
NOTE: Single-Family homes require an attached 2-car garage.
  - Three (3) copies of color photographs of the building's current elevations.
- Other items as may be required for specific applications, per a city planner.
- Email or flash drive with all plans / submittal materials.
  - Applications for a Building Move are governed by the City of Franklin Municipal Code Chapter 92-2 (A.) and the Wisconsin Uniform Building Code.

### SIGN REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$40 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) colored copies of the sign elevations, drawn to scale not less than ½" = 1'. *Plans shall be folded to a maximum size of 9" X 12". The elevations should denote the sign dimension and area. Identify the colors, materials, finishes and lighting method (if applicable).*
  - Three (3) scaled copies of the Site Plan, *showing the location of the proposed signage relative to (1) any existing or proposed structures; (2) parking stalls and/or driveways; (3) proposed landscaping and outdoor lighting; (4) the setback distance from the street right-of-way at the proposed location; (5) height of sign above the finished grade; and (6) the vision triangle distances described in Section 15-5.0201 of the Unified Development Ordinance.*
- Email or flash drive with all plans / submittal materials.
  - Required for signage in Planned Development Districts (PDD) No. 7 and 18. Additional materials / copies may be required for board/commission meetings.
  - Permits for construction are REQUIRED after approval. Contact Inspection Services (414-425-0084) for permit processes.

### SITE PLAN / SITE PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
  - Tier 1: \$2000
  - Tier 2: \$1000 (*lot size ≤ 1 acre*)
  - Tier 3: \$500 (*≤ 10% increase or decrease in total floor area of all structures with no change to parking: or change to parking only*).
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narratives.
  - Three (3) folded full size, drawn to scale copies (at least 24" X 36") of the Site Plan / Site Plan Amendment package. *The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301, and 15-0402 of the Unified Development Ordinance that are impacted by the development (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.)*
- One (1) colored copy of the building elevations on 11" X 17" paper, *if applicable.*
- One (1) copy of the Site Intensity and Capacity Calculations, *if applicable (see division 15-3.0500 of the UDO)*
- Email or flash drive with all plans / submittal materials.
  - Some requests may require CDA approval (PDD 18) or EDC approval (PDD 7) in which additional materials / copies may be required.

### TEMPORARY USE APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$50 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
  - Three (3) project narrative
  - Three (3) folded, scaled copies, of the Site Plan, *see section 15-3.0804 of the UDO for information that must be denoted on each respective plan.*
- Email or flash drive with all plans / submittal materials.
  - Some requests may require CDA approval (PDD 18) or EDC approval (PDD 7) in which additional materials / copies may be required.
  - Submittal of Application for review is not a guarantee of approval. Approval of Temporary Use does not exclude potential requirement for additional licenses or permits. For information on other licenses or permits that may be required, contact the City Clerk's office at (414) 425-7500, the Health Department at (414) 425-9101, and Inspection Services at (414) 425-0084.





February 10, 2023

ROC Ventures

Headquarters:  
7044 S. Ballpark Dr., Suite 300  
Franklin, Wisconsin 53132

[www.rocventures.org](http://www.rocventures.org)

---

**Régulo Martinez-Montilva**  
**Principal Planner**  
**City of Franklin**  
**9229 W. Loomis Road**  
**Franklin, WI 53132**

Dear Régulo,  
ROC Ventures, as manager of Initech LLC the property owner of 7154 S 76<sup>th</sup> Street and adjacent parcels along Rawson Ave, tax key IDs 756-9993-021; 756-9993-016; 756-9993-012 hereby revokes authorization for Mandel Group, Inc. and any affiliates to proceed with rezoning applications for the development known as Poths General (also known as "The Public Square") and hereby authorizes Land By Label to proceed with the rezoning efforts. You should expect to receive notice from Mandel Group that it is no longer involved in this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Tom Johns", written over a horizontal line.

**Tom Johns**  
**CFO**  
**ROC Ventures, the manager of Initech LLC**



# Poths General Development SWMP MEMO

---

S 76<sup>th</sup> Steet and Rawson Avenue  
Franklin, Wisconsin

**PREPARED FOR**

Land By Label  
7044 South Ballpark Drive, Suite 305  
Franklin, WI 53132

**PREPARED BY**



Project Number – 21774  
10/13/2023

Christopher Carr, PE  
Vice President

Michael Garner, E.I.T.  
Project Engineer



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## 1. Introduction

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This Storm Water Management memo presents the preliminary design calculations and considerations for the proposed development located at the intersection of S 76<sup>th</sup> Street and Rawson Avenue in the City of Franklin, WI. The proposed site encompasses approximately 24.52 acres. The site is bounded by residential developments to the south and east, 76<sup>th</sup> Street to the west, and by commercial developments, as well as Rawson Avenue, to the north. The western half of the existing site currently consists of commercial developments that will be redeveloped for the proposed project. The eastern half of the existing site consists of natural features such as woodland, grassland, and wetlands. The proposed site will consist of new development for this half of the site. This storm water management memo serves as a summary of calculations showing the proposed development meets all applicable ordinances.

## 2. Design Criteria

---

City of Franklin, Wisconsin

### Water Quality

- Total Suspended Solids. BMPs shall be designed, installed, and maintained to control total suspended solids carried in runoff from the post-construction site as follows:
  - For new and in-fill developments, by design, reduce to the maximum extent practicable, the total suspended solids load by 80%, based on the average annual rainfall, as compared to no runoff management controls. No person shall be required to exceed an 80% total suspended solids reduction to meet the requirements of this subdivision.
  - For redevelopment, by design, reduce to the maximum extent practicable, the total suspended solids load from parking areas and roads by 40%, based on the average annual rainfall, as compared to no runoff management controls. No person shall be required to exceed a 40% total suspended solids reduction to meet the requirements of this subdivision.
  - Maximum Extent Practicable. If the design cannot meet a total suspended solids reduction performance standard of subs. 1. to 2, the storm water management plan shall include a written, site-specific explanation of why the total suspended solids reduction performance standard cannot be met and why the total suspended solids load will be reduced only to the maximum extent practicable.
  - Off-Site Drainage. When designing BMPs, runoff draining to the BMP from offsite shall be taken into account in determining the treatment efficiency of the practice. Any impact on the efficiency shall be compensated for by increasing the size of the BMP accordingly.

Note: Pollutant loading models such as DETPOND, WinSLAMM, P8, or equivalent methodology may be used to evaluate the efficiency of the design in reducing total suspended solids. Use the most recent version of the model and the rainfall files and other parameter files identified for Wisconsin users unless directed otherwise.

### Water Quantity and Management of Peak Runoff

- By design, BMPs shall be employed to maintain or reduce the 1-year, 24-hour post-construction peak runoff discharge rate to the 1-year, 24-hour pre-development peak runoff discharge rate, or to the maximum extent practicable.
- By design, BMPs shall be employed to meet both of the following for the 2-year, 24-hour storm:



- Maintain or reduce the 2-year, 24-hour post-construction peak runoff discharge rate to the 2-year, twenty-four-hour pre-development peak runoff discharge rate, or to the maximum extent practicable (per City of Franklin), and
- Achieve a maximum runoff release rate of 0.15 cubic feet per second per acre or utilize the volumetric design procedure to limit post-development runoff volumes to existing condition runoff volumes during the critical time period (per MMSD).
- By design, BMPs shall be employed to maintain or reduce the 10-year, 24-hour post-construction peak runoff discharge rate to the 10-year, 24-hour pre-development peak runoff discharge rate, or to the maximum extent practicable.
- By design, BMPs shall be employed to meet the both of the following for the 100-year, 24-hour storm:
  - Maintain or reduce the 100-year, 24-hour post-construction peak runoff discharge rate to the 100-year, 24 hour pre-development peak runoff discharge rate, or to the maximum extent practicable (per City of Franklin), and
  - The stricter of the following (per MMSD):
    - Achieve a maximum runoff release rate of 0.5 cubic feet per second per acre or utilize the volumetric design procedure to limit post- development runoff volumes to existing condition runoff volumes during the critical time period, or
    - A rate determined for the individual site that distributes runoff over the critical time sufficient to comply with sub. 1.

Note: § 13.11(3)(b)(2), MMSD Rules, permits an individual site exemption from the 0.5 cfs release rate if an analysis shows that the runoff will be distributed over the critical time (a defined term) so as not to reduce the level of protection downstream.

- All storm sewers shall at a minimum be designed to carry the peak flows from a 10-year, 24-hour design storm using planned land use for the entire contributing watershed. All storm sewers shall be designed in accordance with applicable City standards and specifications. The City Engineer may require conveyance of a larger recurrence interval storm for heavily traveled roadways and areas where the City Engineer determines that an added level of protection is needed.

Wisconsin Department of Natural Resources

- WDNR – Technical Standards (NR151 and NR216)

### 3. Design Analysis

- Stormwater Detention basins – were designed to meet relevant standards per WDNR Technical Standard 1001.
- Rainfall data used in the hydrologic analysis were obtained from the NOAA Atlas 14 precipitation depths, and the appropriate NRCS Wisconsin MSE3 precipitation distribution for 24 hour duration (1-yr, 2-yr, 10-yr, and 100-yr storm events).

1 year	2 year	10 year	100 year
2.36"	2.66"	3.74"	5.98"

- Curve numbers for the soils within the analysis region were selected from the values published in TR-55. Native soil types were determined from NRCS maps and borings.
- Time of concentration values were calculated based on the standard TR-55 method.
- The hydraulic calculations and analysis presented in this memo were performed using HydroCad Watershed Modeling software which utilizes the methodologies of TR-55 for a hydrograph based analysis of watershed conditions. Hydrographs were developed using a standard MSE-3 24 hour hydrograph for the various 24-hr storm events.

- Sediment reduction characteristics for the proposed water quality facilities were determined using WinSLAMM (Version 10.3.4) Source Loading and Management Model.

#### 4. Existing Condition Analysis

---

The existing site consists of an already developed area on the western half of the site, and an undeveloped area on the eastern half. Most of the developed area of the site generally drains from south to north. The far southern side of the developed area drains from east to west towards the southwest corner of the site. The undeveloped eastern side of the site generally drains from southwest to northeast. This area currently consists of woodland and open green space where several wetlands are located. Most of these wetlands have been deemed artificial by the WDNR, with the exception of the wetland located at the northeast corner of the site. This wetland will not be disturbed as part of the proposed project. The WDNR Artificial Wetland Exemption for the artificial wetlands on site was received on October 13<sup>th</sup>, 2022.

#### 5. Proposed Developed Conditions Description

---

The proposed development will include 8 proposed commercial buildings, 1 existing commercial building, and associated parking, drive aisles and sidewalks. The site will primarily maintain existing drainage patterns and outfall locations through implementation of storm sewer, bio-filtration basins and a wet detention basin. A private road will be constructed crossing a wetland and culverts will be installed to allow the existing offsite drainage to bypass the development and continue to flow to the wetland.

The total disturbance area for the project site is approximately 22.40 acres. Prior to development, the site had 8.54 ac of impervious surfaces. Post construction, the development area will contain approximately 13.90 acres of impervious surface.

#### 6. Storm Water Quantity Modeling

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A summary of results can be viewed in the table below:

Peak Flow Reduction Summary (To Northwest)		
Storm Frequency (yr)	Existing Site Conditions Peak Runoff Discharge Rate on site (cfs)	Post-Development Site Conditions Peak Runoff Discharge Rate (cfs)
1	24.44	15.32
2	28.59	17.91
10	43.55	27.16
100	74.22	68.65



Peak Flow Reduction Summary (To Northeast)		
Storm Frequency (yr)	Existing Site Conditions Peak Runoff Discharge Rate on site (cfs)	Post-Development Site Conditions Peak Runoff Discharge Rate (cfs)
1	5.61	2.85
2	7.75	4.25
10	16.76	12.96
100	38.71	35.19
Peak Flow Reduction Summary (To South)		
Storm Frequency (yr)	Existing Site Conditions Peak Runoff Discharge Rate on site (cfs)	Post-Development Site Conditions Peak Runoff Discharge Rate (cfs)
1	1.82	1.43
2	2.25	1.72
10	3.87	2.81
100	7.36	5.09

Volume Reduction Summary for Critical Time: Root River – 7.75 hours – 11.75-19.50		
Storm Frequency (yr)	Existing Site Condition Runoff Volume (acre-feet)	Proposed Site Condition Runoff Volume (acre-feet)
2	2.206	2.141
100	6.936	6.445

## 7. Storm Water Quality Modeling

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NR 151 regulations require that the project employ BMPs to reduce sediment load leaving the site by 80% compared to no controls for new developments, and 40% for redevelopments.

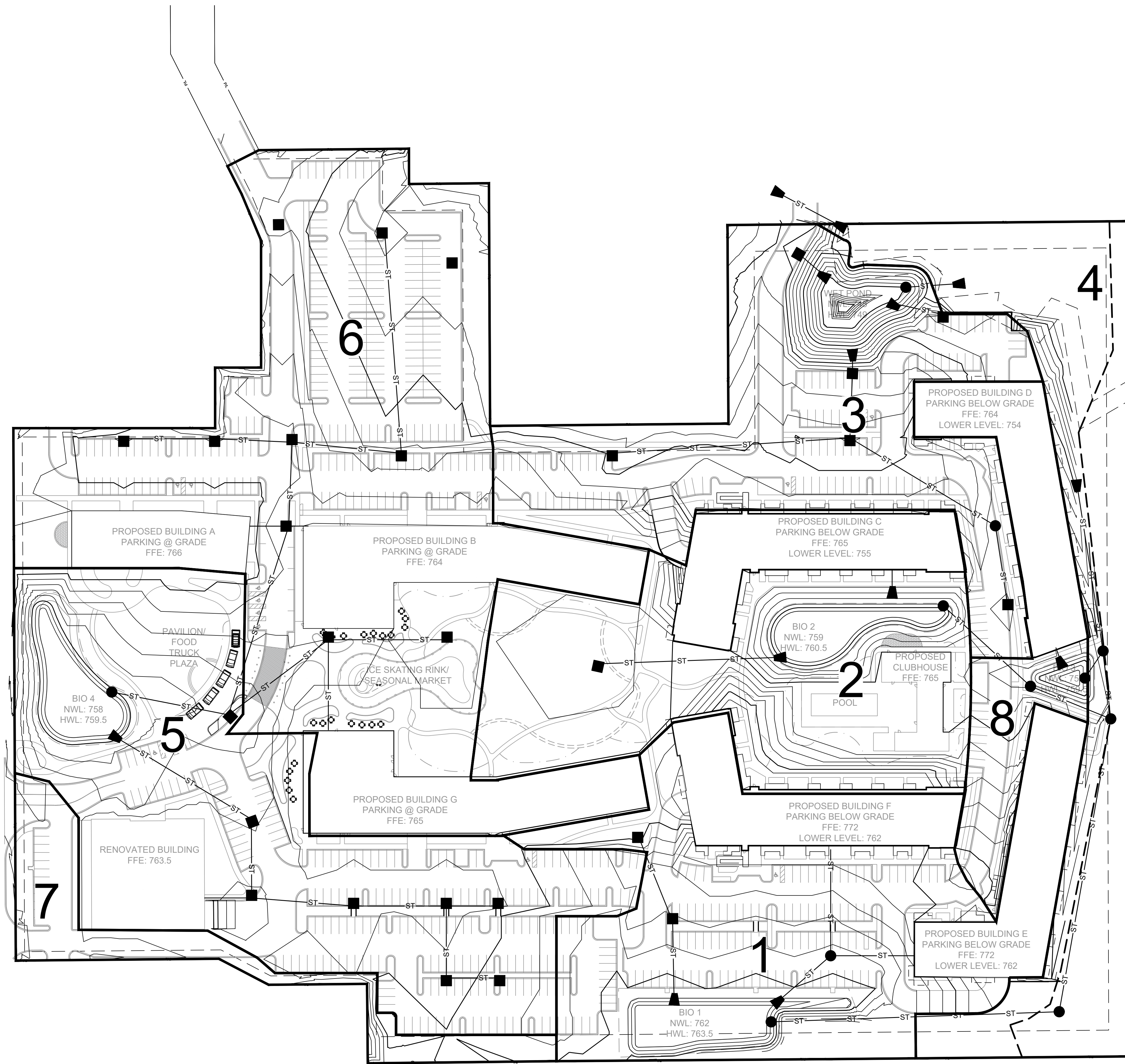
Quality Summary Table

Total Suspended Solids Loading (Re-Development Area / West Side of Site)	
Total TSS prior to controls/treatment	3958 lbs
Total TSS After controls/treatment	2215 lbs
Total Percent TSS Reduction	44.04%
Total Suspended Solids Loading (New Development Area / East Side of Site)	
Total TSS prior to controls/treatment	3139 lbs
Total TSS After controls/treatment	570 lbs
Total Percent TSS Reduction	81.83%









AREA 1 (TO BIO 1)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	49465	1.14	74
PAVEMENT	54393	1.25	98
SIDEWALK	6354	0.15	98
ROOF	48902	1.12	98
TOTAL	159114	3.65	91

AREA 2 (TO BIO 2)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	88847	2.04	74
PAVEMENT	204	0.00	98
SIDEWALK	19141	0.44	98
ROOF	34832	0.80	98
TOTAL	143024	3.28	83

AREA 3 (TO POND)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	55324	1.27	74
PAVEMENT	60620	1.39	98
SIDEWALK	11461	0.26	98
ROOF	811	0.02	98
TOTAL	128216	2.94	88

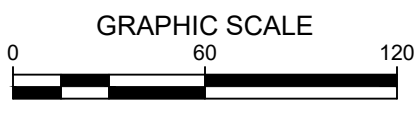
AREA 4 (UNDETAINED TO NORTHEAST)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	104569	2.40	74
PAVEMENT	1	0.00	98
SIDEWALK	678	0.02	98
ROOF	584	0.01	98
TOTAL	105832	2.43	74

AREA 5 (TO BIO 4)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	59419	1.36	74
PAVEMENT	78982	1.81	98
SIDEWALK	23142	0.53	98
ROOF	16941	0.39	98
TOTAL	178484	4.10	90

AREA 6 (TO NORTHWEST)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	66833	1.53	74
PAVEMENT	101556	2.33	98
SIDEWALK	27071	0.62	98
ROOF	70914	1.63	98
TOTAL	266374	6.12	92

AREA 7 (TO SOUTH)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	13927	0.32	74
PAVEMENT	15139	0.35	98
SIDEWALK	854	0.02	98
ROOF	0	0.00	98
TOTAL	29920	0.69	87

AREA 8 (TO BIO 3)			
Tc = 6.0 min.	SF	ACRE	CN
PROPOSED			
GREENSPACE	9303	0.21	74
PAVEMENT	8522	0.20	98
SIDEWALK	3104	0.07	98
ROOF	25542	0.59	98
TOTAL	46471	1.07	93



POTHS GENERAL DEVELOPMENT  
 76TH AND RAWSON  
 FRANKLIN, WI 53132  
 PROPOSED CONDITIONS

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

SCALE:	1"=60'
PROJECT NO:	21775
DESIGN DATE:	---
PLOT DATE:	10/11/2023
DRAWN BY:	MJK
CHECKED BY:	JL
APPROVED BY:	CTC
SHEET NO:	

SW 2.0



**Poths General**  
**Proposed Water Supply/Sanitary Service**  
**9/21/2023**

**Proposed Water Supply**

The existing 8" public water main on the west side of the site will be utilized to supply water for the development in conjunction with new 8" internal looped water main through the site with a new connection to the existing 12" public water main in Rawson Avenue to the north. The proposed water main will be a public water main and appropriate easements will be created for the public water main through the site.

Preliminary building water demand estimates and preliminary building grades were provided to the City's Engineering Consultant, Ruekert Mielke, for preliminary modeling of the proposed water supply system. Based on the preliminary modeling conducted no flow or pressure issues were identified.

The design of the water supply system will continue to be developed working closely with City Engineering staff. Permits for the proposed public water main will be obtained from the WDNR and the City prior to construction.

**Proposed Sanitary Service**

Sanitary service laterals for the proposed hotel building A and proposed residential building B will be tied into the existing public sanitary sewer that runs through the northwestern portion of the site and discharges to the public sanitary sewer in Rawson Avenue. This portion of the existing public sanitary sewer through the site will remain. A new sanitary sewer will be routed around the east side of the development to service residential buildings G, F, E, D and C. The sewer will be extended to the north through the proposed access drive to the site and connected to the existing public sanitary sewer in Rawson Avenue.

Preliminary sanitary flow estimates were prepared and the capacity of the existing public sanitary sewer downstream of the development's proposed sanitary connection was evaluated. The preliminary flow estimates and capacity evaluation were provided to City Engineering for their review. Based on the flow estimates and capacity evaluation it appears that the downstream sanitary sewer has sufficient capacity to accommodate the proposed development.

Milwaukee Metropolitan Sewerage District (MMSD) sanitary flow allocation worksheets were also prepared for the development. Based on the flow allocation spreadsheet, the proposed development will generate an additional 304,508 gpd of sanitary flow. Per MMSD, the remaining allocation for the Poths General sewershed (Sewershed FR2013) is 279,000 gpd. The adjacent sewershed (Sewershed FR2005) has a remaining allocation of 1,162,873 gpd. A flow reallocation between sewersheds was requested from the MMSD. As both sewersheds discharge into the same Municipal Interceptor Sewer (MIS), the MMSD has indicated that reallocation of the flows between sewersheds is acceptable.

Design of the sanitary sewer system will continue to be developed working closely with City Engineering. Permits for the sanitary sewer will be obtained from SEWRPC, the WDNR (for public sewers), City of Franklin, MMSD (for public sewers) and DSPS (for private sewers).



# Land By Label Development Co. Poths General Development

Traffic Impact Analysis Study

Prepared for:

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August 16, 2023





# Land By Label Poths General Development

## Traffic Impact Analysis Study

### Prepared By:

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general tia.docx

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# Chapter 1: Introduction & Executive Summary

## Part A: Purpose of Report and Study Objectives

The Milwaukee County Department of Transportation requested that a traffic impact analysis (TIA) study be conducted for the proposed Land By Label development, Poths General, located at the southeast corner of the S. 76<sup>th</sup> Street (County Trunk Highway U) and W. Rawson Avenue (County Trunk Highway BB) intersection, in the City of Franklin, WI. The proposed development is expected to include apartment buildings, a hotel, a food truck plaza, and several commercial spaces. The following report summarizes the development study area, the existing, base, and horizon year traffic volumes, and the expected traffic operations of study intersections.

## Part B: Executive Summary

The executive summary includes a description of the proposed on-site and expected off-site developments, the surrounding study area, and the recommended improvements.

### B1. Study Area

The primary influence areas for traffic to/from the proposed development include the City of Franklin to the southwest and the City of Milwaukee to the northeast. The site plan is shown in **Exhibit 1-1**. The following existing intersections were identified as study intersections to be analyzed within the report.

- S. 76th Street & W. Rawson Avenue: traffic signal control
- S. 76th Street & Driveway 3 (Near Ace Hardware): minor stop control
- W. Rawson Avenue & Driveway 5 (Chase Bank/McDonald's Access): minor stop control
- W. Rawson Avenue & Driveway 7 (Anderson Family Dental Access): minor stop control

### B2. On-Site Development

Land By Label proposes constructing a multiuse development located at the southeast corner of the S. 76<sup>th</sup> Street and W. Rawson Avenue intersection in the City of Franklin, Wisconsin. The development is planned to be constructed on approximately 25 acres of partially developed land, including the existing Orchard View Shopping Center, which would be deconstructed, and partially undeveloped, wooded land. The existing ACE Hardware, Walgreens, Chase Bank, McDonald's, and Ingenious Child Care buildings are all expected to remain as they exist today.

The proposed development is expected to include up to 440 apartment units, a hotel with up to 50 rooms, a food truck plaza with up to five stalls for trucks, and two first floor commercial spaces, totaling up to 20,000 square feet of commercial space. The commercial space users are not yet finalized, as such the spaces are assumed to be general retail. The proposed development is also expected to include a public space that could accommodate a splash pad, ice rink, and occasional events such as movie nights, lawn games, outdoor concerts, or farmers markets.



### B3. Off-Site Developments

Two off-site developments have been identified as new trip generators that are expected to impact traffic operations within the proposed development's study area:

- **Ballpark Commons Area:** The Ballpark Commons Development is located to the north and south of the W. Rawson Avenue intersection with S. Ballpark Drive and includes commercial, office, retail, services, and residential developments. A TIA was completed in 2017 for these developments and a number of the parcels remain to be constructed. After coordination with WisDOT, it was determined that all trips from the Ballpark Commons Area developments would be considered as part of background traffic. These include trips from Ballpark Commons Area developments that were constructed prior to the writing of this report but after the data collection process in addition to Ballpark Commons Area developments that have yet to be completed.
- **Vitalogy Development:** The Vitalogy Development will be a commercial and residential development located in the southeast quadrant of the W. Loomis Road and W. Rawson Avenue interchange. The development is planned to be constructed on approximately 52 acres of undeveloped land in a single phase. The proposed development is expected to include up to 400 apartment and townhouse units and up to five commercial retail out lots that are each approximately 4,000 square feet, all to be constructed under a single phase. A TIA was completed for this development and coordination is underway with WisDOT for appropriate development access. This off-site development is included in this study within the "Total" traffic volume scenarios.

### B5. Trip Generation

Data published in the ITE *Trip Generation Manual* – 11<sup>th</sup> Edition was used to identify the number of peak hour trips that would be generated by the proposed Land By Label development and off-site developments.

#### On-Site Development

The Poths General development trips are considered to be on-site trips within this report. This development is located at the southeast corner of the S. 76<sup>th</sup> Street and W. Rawson Avenue intersection. The development will replace the existing Orchard View Shopping Center; however, the existing ACE Hardware, Walgreens, Chase Bank, McDonald's, and Ingenious Child Care buildings are all expected to remain as they exist today.

The existing Orchard View Shopping Center is approximately 105,000 square feet in size; however, only approximately 34,000 square feet is currently leased and operating. Therefore, removal trips from the operating 34,000 square feet of shopping center were applied to the on-site trip generation volumes. It is expected that the removal of the shopping center will reduce on-site traffic by 80 trips (50 in, 30 out) during the weekday AM peak hour, 185 trips (95 in, 90 out) during the weekday PM peak hour and 225 trips (115 in, 110 out) during the Saturday peak hour.

The trips generated by the on-site development are comprised of the following:

- **Apartments:** The development is expected to include a total of 440 apartment units. The 440 dwelling units are expected to generate 160 new trips (40 in, 120 out) during the weekday AM peak hour, 210 new trips (130 in, 80 out) during the weekday PM peak hour and 180 new trips (90 in, 90 out) during the Saturday peak hour.
- **Commercial Development:** The commercial development includes approximately 20,000 square feet of first floor commercial space. The commercial space users are not yet finalized, as such the spaces are assumed to be general retail. The commercial development is expected to generate 45 new trips (25 in, 20 out) during the weekday AM peak hour, 125 new trips (65 in, 60 out) during the PM peak hour and 130 new trips (65 in, 65 out) during the Saturday peak hour.

- **Hotel:** The 50-unit hotel is expected to generate 20 new trips (10 in, 10 out) during the weekday AM peak hour, 10 new trips (5 in, 5 out) during the weekday PM peak hour and 40 new trips (20 in, 20 out) during the Saturday peak hour.
- **Food Truck Plaza:** The food truck plaza is expected to generate no new trips during the weekday AM peak hour, 30 new trips (15 in, 15 out) during the weekday PM peak hour and 30 new trips (15 in, 15 out) during the Saturday peak hour.
- **Public Space:** The proposed development is also expected to include a public space that could accommodate a splash pad, ice rink, and occasional events such as movie nights, lawn games, outdoor concerts, or farmers markets. The majority of people expected to use the public space are expected to be on-site apartment residents and hotel patrons. Additionally, many of these events will generate traffic during midday or late-night hours outside of the peak hour analysis periods. Therefore, this public space is not expected to generate a significant number of new trips during the peak periods.

#### Off-Site Development

**Ballpark Commons Area:** The Ballpark Commons Area developments that are currently under construction or have yet to be constructed as part of the Ballpark Commons Master Site Plan are considered to be background trips within this report and compose of the following:

- **M1 Development:** The M1 Development includes a 78-unit mixed use building with approximately 5,643 square feet of commercial space that comprises of a 1,643 square foot hair salon and 4,000 square foot brewery tap room/bar. The M1 development is expected to generate 55 new trips (20 in, 35 out) during the weekday AM peak hour, 115 new trips (70 in, 45 out) during the weekday PM peak hour and 130 new trips (70 in, 60 out) during the Saturday peak hour.
- **R1 Development:** The R1 Development includes a 50-unit hotel and is expected to generate 20 new trips (10 in, 10 out) during the weekday AM peak hour, 10 new trips (5 in, 5 out) during the weekday PM peak hour and 40 new trips (20 in, 20 out) during the Saturday peak hour.
- **C5 Development:** The C5 Development is a 10,000 square foot Chicken N Pickle restaurant and is expected to generate 15 new trips (10 in, 5 out) during the weekday AM peak hour, 125 new trips (70 in, 55 out) during the weekday PM peak hour and 325 new trips (180 in, 145 out) during the Saturday peak hour.
- **C6 Development:** The C6 Development includes a 150-unit hotel and is expected to generate 70 new trips (40 in, 30 out) during the weekday AM peak hour, 85 new trips (45 in, 40 out) during the weekday PM peak hour and 110 new trips (60 in, 50 out) during the Saturday peak hour.

**Vitalogy:** The Vitalogy Development will be a commercial and residential development located in the southeast quadrant of the W. Loomis Road and W. Rawson Avenue interchange. A TIA was completed for this development and coordination is underway with WisDOT for appropriate development access. This off-site development is included in this study within the “Total” traffic volume scenarios. The development will be constructed under a single phase and include the following:

- **Apartments and Townhouses:** The apartments and townhouses are expected to include up to 400 dwelling units. The 400 dwelling units are expected to generate 145 new trips (35 in, 110 out) during the weekday AM peak hour, 195 new trips (125 in, 70 out) during the weekday PM peak hour and 165 new trips (85 in, 80 out) during the Saturday peak hour.
- **Drive-In Bank:** The 4,000 square foot drive-in bank is expected to generate 40 new trips (25 in, 15 out) during the weekday AM peak hour, 85 new trips (45 in, 40 out) during the weekday PM peak hour and 105 new trips (55 in, 50 out) during the Saturday peak hour.
- **Sit-Down Restaurant:** The 4,000 square foot sit-down restaurant is expected to generate 40 new trips (25 in, 15 out) during the weekday AM peak hour, 35 new trips (20 in, 15 out) during the weekday PM peak hour and 45 new trips (25 in, 20 out) during the Saturday peak hour.
- **(2) Fast Food Restaurants:** The two 4,000 square foot fast food restaurants are each expected to generate 180 new trips (90 in, 90 out) during the weekday AM peak hour, 130 new trips (70 in,



60 out) during the weekday PM peak hour and 220 new trips (110 in, 110 out) during the Saturday peak hour.

- **Coffee Shop:** The 4,000 square foot coffee shop is expected to generate 345 new trips (175 in, 170 out) during the weekday AM peak hour, 155 new trips (80 in, 75 out) during the weekday PM peak hour and 350 new trips (175 in, 175 out) during the Saturday peak hour.

## B6. Recommended Improvements

The following recommendations are needed to achieve an acceptable LOS and queue storage for each scenario. Note that the queue storage recommendations identify the needed queue storage for each year and scenario. When subsequent queue length extensions are needed, it is recommended that the storage length be extended a single time to accommodate the full needed storage in future years, not be constructed incrementally.

The recommended improvements are shown in **Exhibit 1-2**.

### S. 76th Street & W. Rawson Avenue

#### 2024 Base Year Background Traffic:

- Addressing poor LOS is expected to require signal timing adjustments.
- To accommodate the anticipated queue lengths, the westbound left-turn bay storage length would need to be extended from 50 feet to 100 feet. Increasing the storage length would require the removal of the westbound turn lane upstream along W. Rawson Avenue and would impact the access to the parcels at the southeast and northeast corners of S. 76<sup>th</sup> Street and W. Rawson Avenue. Given this impact, it is suggested that Milwaukee County observe the field conditions and monitor safety to determine if access management changes are necessary.

#### 2039 Horizon Year Background Traffic:

- Addressing poor LOS is expected to require signal timing adjustments.

#### 2024 Base Year Build Traffic:

- Addressing poor LOS is expected to require signal timing adjustments.
- To accommodate the anticipated queue lengths, the westbound left-turn bay storage length would need to be extended from 50 feet to 75 feet. See issues related to increasing storage length and recommendation discussed above.

#### 2039 Horizon Year Build Traffic:

- Addressing poor LOS is expected to require signal timing adjustments.
- To accommodate the anticipated queue lengths, the westbound left-turn bay storage length would need to be extended to 100 feet. See issues related to increasing storage length and recommendation discussed above.

#### 2024 Base Year Total Traffic:

- Addressing poor LOS is expected to require signal timing adjustments.
- To accommodate the anticipated queue lengths, the westbound left-turn bay storage length would need to be extended to 100 feet. See issues related to increasing storage length and recommendation discussed above.

#### 2039 Horizon Year Build Traffic:

- Addressing poor LOS is expected to require signal timing adjustments.
- To accommodate the anticipated queue lengths, the westbound left-turn bay storage length would need to be extended to 125 feet. See issues related to increasing storage length and recommendation discussed above.

S. 76<sup>th</sup> Street & Driveway 3 (North ACE Hardware Access)

2039 Horizon Year Background Traffic:

- Addressing poor LOS is expected to require the installation of a traffic signal.
  - Under signal control, it is recommended that the eastbound and westbound driveway approaches be configured with one exclusive left-turn lane and one shared through/right-turn lane, based on the expected turning movement volumes. The configuration of the northbound and southbound approaches is expected to be sufficient and may remain as they currently exist today.

2024 Base Year Build Traffic:

- Addressing poor LOS is expected to require the installation of a traffic signal.
  - See recommendation for lane configuration discussed above.

2039 Horizon Year Build Traffic:

- Addressing poor LOS is expected to require the installation of a traffic signal.
  - See recommendation for lane configuration discussed above.

2024 Base Year Total Traffic:

- Addressing poor LOS is expected to require the installation of a traffic signal.
  - See recommendation for lane configuration discussed above.

2039 Horizon Year Build Traffic:

- Addressing poor LOS is expected to require the installation of a traffic signal.
  - See recommendation for lane configuration discussed above.

W. Rawson Avenue & Driveway 5 (Chase Bank/McDonald's Access)

2024 Base Year Background Traffic:

- Addressing this LOS is expected to require intersection control modifications; however, considering the proximity of this intersection to the S. 76th Street and W. Rawson Avenue intersection, implementing a different intersection control type is not a feasible alternative. Therefore, an alternative for improving the driveway operations would be to implement access management techniques, likely resulting in the removal of the ability for northbound vehicles to make a left turn or through movement at this intersection. Given this impact, it is suggested that Milwaukee County observe the field conditions and monitor safety to determine if access management changes are necessary.

W. Rawson Avenue & Driveway 7 (Anderson Family Dental Access)

2039 Horizon Year Total Traffic:

- Addressing this LOS is expected to require intersection modifications; however, the intersection is not expected to meet traffic signal warrants and additional turn lanes on the north leg of the intersection are not expected to address this operational issue. Access restrictions, such as a right-in/right-out only operation would likely address the operational concern. Given that the north leg serves as a private driveway and not a public road, no intersection improvements are recommended at this location as part of this study.



## B7. Conclusion

The study intersections are expected to operate at an acceptable LOS 'D' or better with the recommendations listed in this report except for the northbound and southbound approaches at the W. Rawson Avenue and Driveway 5 (Chase Bank/McDonald's Access) intersection, as well as the southbound approach at the W. Rawson Avenue and Driveway 7 (Anderson Family Dental Access) intersection. As noted previously, an alternative for improving the Driveway 5 operations would be to implement access management techniques, likely resulting in the removal of the ability for northbound vehicles to make a left-turn or through movement at this intersection. It is suggested that Milwaukee County observe and monitor conditions at this location to determine if changes are necessary. The W. Rawson Avenue and Driveway 7 (Anderson Family Dental Access) intersection would also likely require access changes to the north leg to address future traffic operations issues but given that the north leg serves as a private driveway, no recommendations for improvements are included as part of this study.

BUILDING	UNIT COUNT	PARKING	
A 3+1 STORY	42	ENCLOSED	433
B 3+1 STORY	42	SURFACE	325
C 3+1 STORY	48	<b>TOTAL</b>	<b>758</b>
D 3+1 STORY	81		RATIO 1:1.75
E 3+1 STORY	81	COMMERCIAL	205
F 3+1 STORY	81		
G 3+1 STORY	56		
<b>TOTALS</b>	<b>430 UNITS</b>		
H HOTEL	50 ROOMS *		

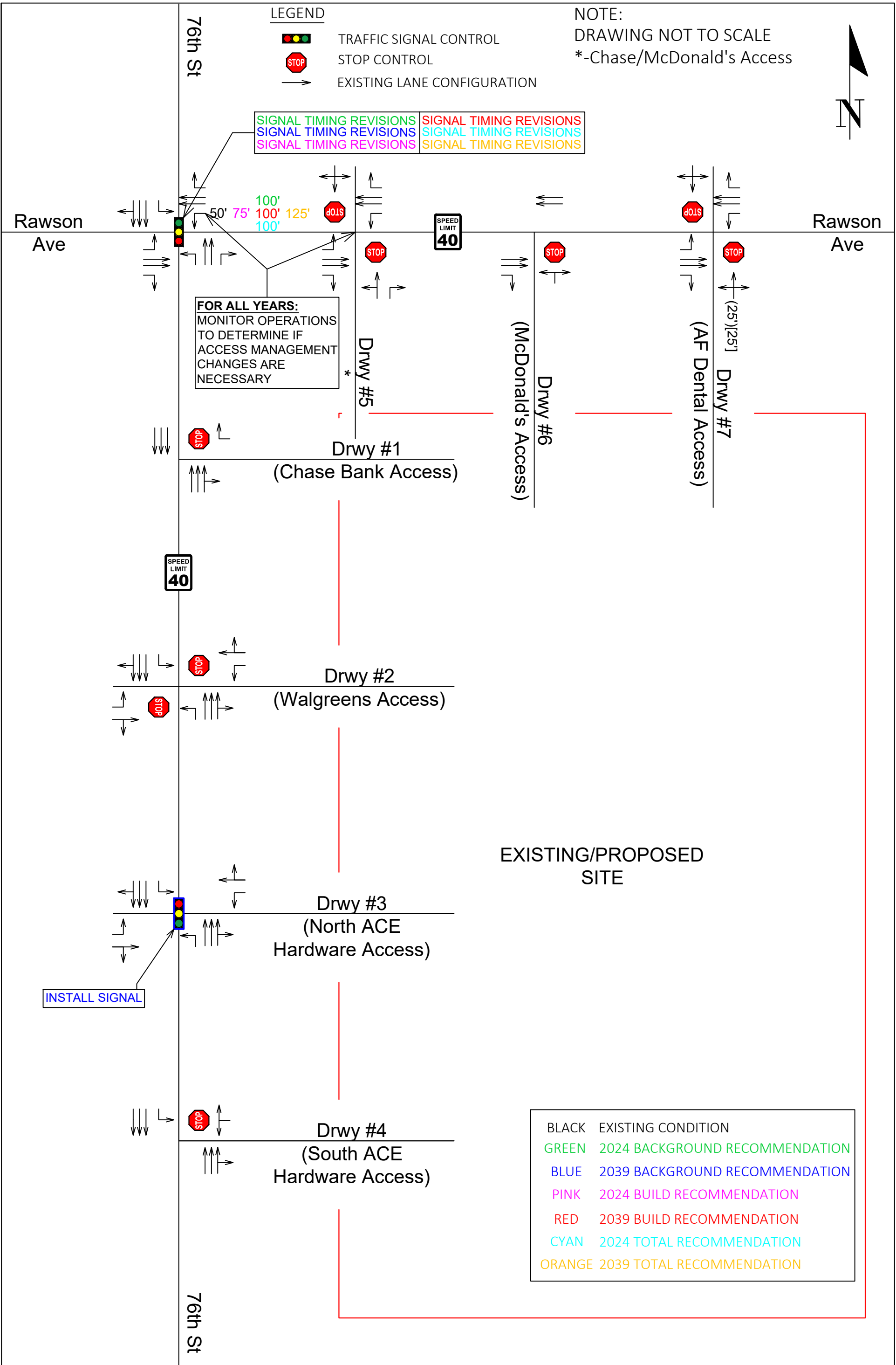
\* APPROXIMATE

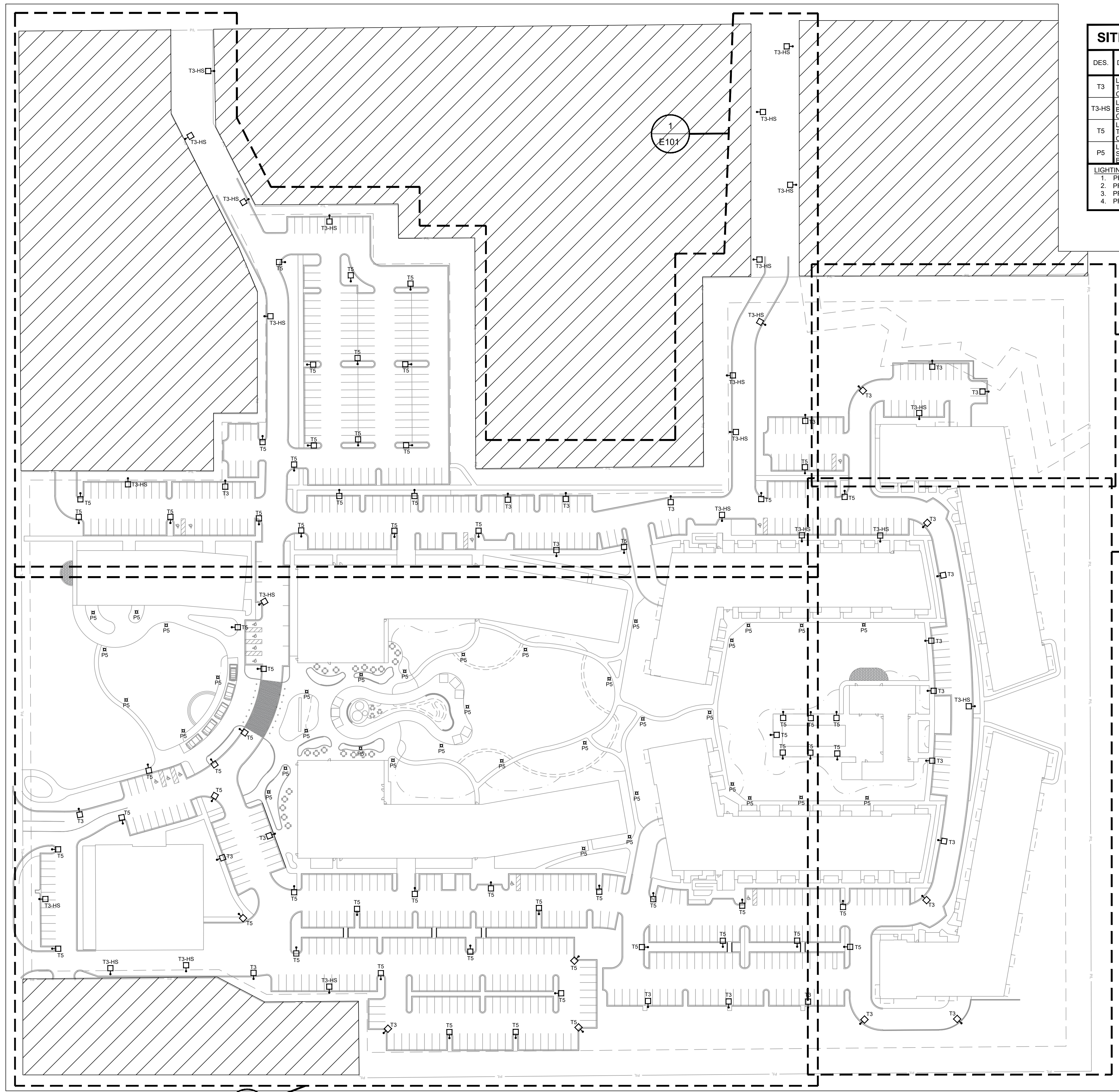


POTHS GENERAL  
TRAFFIC IMPACT ANALYSIS  
FRANKLIN, WI

EXHIBIT 1-1:  
SITE PLAN







SITE LIGHTING FIXTURE SCHEDULE								SURFACE		RECESS		SEE NOTE	
DES.	DESCRIPTION	LAMP DATA		VOLT	DEPTH	LIGHTING FIXTURE		CEILING	WALL	SPECIAL	CONCEAL		DRYWALL
		NO.	TYPE			MFR.	CAT. NO.				LAY-IN		
T3	LED AREA POLE-MOUNT FIXTURE TYPE 3 DISTRIBUTION, BLACK ON 8' POLE, 12' TOTAL HEIGHT	1	48W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-20001-48W-T3-W40-01			●			1,2,3
T3-HS	LED AREA FIXTURE, TYPE 3 DIST. BLACK, HOUSE SIDE SHIELD ON 8' POLE, 12' TOTAL HEIGHT	1	48W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-20001-48W-T3-W40-01-HSS			●			1,2,3
T5	LED AREA POLE-MOUNT FIXTURE TYPE 5 DISTRIBUTION, BLACK ON 8' POLE, 12' TOTAL HEIGHT	1	48W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-20001-48W-T5-W40-01			●			1,2,3
P5	LED BOLLARD ON 6" BASE SYMMETRICAL DISTRIBUTION BLACK - 4" TOTAL HEIGHT	1	50W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-10031-50W-W40-01			●			2,3,4

**LIGHTING FIXTURE NOTES:**

- PROVIDE 2" TALL CONCRETE POLE BASE.
- PROVIDE PHOTOCELL ON FIXTURE OR BY TIMECLOCK IN BUILDING. DESIGN/BUILD CONTRACTOR TO FINALIZE CONTROLS.
- PROVIDE WITH 8" ROUND POLE, BLACK. SIZE BASED ON MANUFACTURER REQUIREMENTS FOR TENON SIZE.
- PROVIDE 6" TALL CONCRETE BOLLARD BASE.

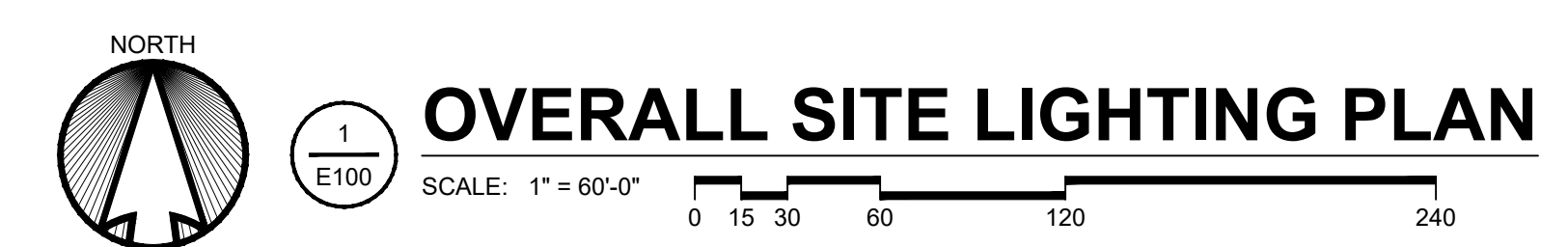
**SHEET NOTES**

- THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
- THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS. USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

**GENERAL NOTES: OVERALL SITE PLAN**

- FIXTURE SELECTION AND STYLING TO BE BASIS OF DESIGN. EQUIVALENTS MAY BE FURNISHED BUT GENERAL LAYOUT, AESTHETIC, AND PHOTOMETRICS PROVIDED IN THIS SET ARE TO BE MAINTAINED.
- INSTALL PRIMARY ELECTRICAL CONDUIT. CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
- COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN IS COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
- ASSUME LIGHTING CONTROL VIA TIMECLOCK AT EACH UNIT BUILDING. FIXTURES TO BE CIRCUITED TO NEAREST UNIT BUILDING HOUSE PANEL. FINAL VOLTAGE YET TO BE DETERMINED.
- SEE PLANS E101, E102, & E103 FOR ENLARGED LAYOUTS AND FIXTURE TAGS.

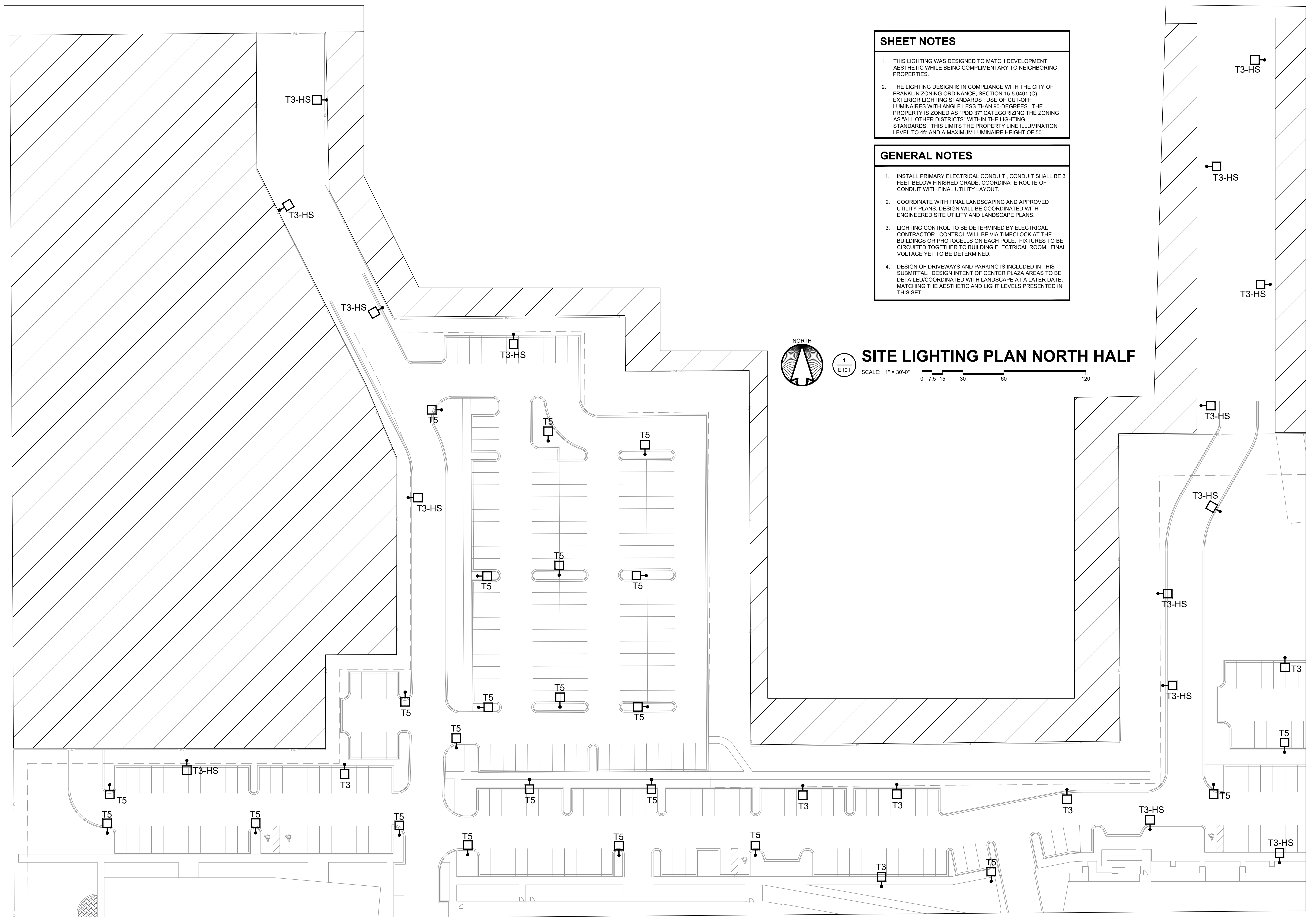
ELECTRICAL SHEET LIST	
SHEET NUMBER	SHEET NAME
E100	OVERALL SITE LIGHTING PLAN
E101	SITE LIGHTING PLAN NORTH HALF
E102	SITE LIGHTING PLAN SOUTHWEST CORNER
E103	SITE LIGHTING PLAN SOUTHEAST CORNER
E200	OVERALL SITE PHOTOMETRIC PLAN
E201	SITE PHOTOMETRIC PLAN NORTH HALF
E202	SITE PHOTOMETRIC PLAN SOUTHWEST CORNER
E203	SITE PHOTOMETRIC PLAN SOUTHEAST CORNER
E300	SITE LIGHTING CUTSHEET & DETAIL



DESIGNED BY: **AMB**  
 DRAWN BY: **ALN**  
 CHECKED BY: **JRH**  
**LEEDY & PETZOLD ASSOCIATES, LLC**  
 CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
 11046 W. BLUEMOUND ROAD  
 WAUKESHA, WISCONSIN 53086  
 PH: (262) 865-1544  
 PROJECT DESCRIPTION: **CITY OF FRANKLIN REVIEW SET**  
 PROJECT LOCATION: **POTH'S GENERAL APARTMENTS**  
**WEST LOCOMIS ROAD**  
**FRANKLIN, MILWAUKEE COUNTY, WI 53132**  
 SHEET NUMBER: **8685**  
 DATE: **10/13/2023**  
 SHEET TITLE: **OVERALL SITE LIGHTING PLAN**  
 SHEET NUMBER: **E100**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



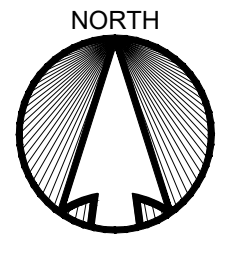


**SHEET NOTES**

1. THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
2. THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS : USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

**GENERAL NOTES**

1. INSTALL PRIMARY ELECTRICAL CONDUIT , CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
2. COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
3. LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
4. DESIGN OF DRIVEWAYS AND PARKING IS INCLUDED IN THIS SUBMITTAL. DESIGN INTENT OF CENTER PLAZA AREAS TO BE DETAILED/COORDINATED WITH LANDSCAPE AT A LATER DATE, MATCHING THE AESTHETIC AND LIGHT LEVELS PRESENTED IN THIS SET.



1  
E101

**SITE LIGHTING PLAN NORTH HALF**

SCALE: 1" = 30'-0" 0 7.5 15 30 60 120

DESIGNED BY: **AMB**  
DRAWN BY: **ALN**  
CHECKED BY: **JRH**

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEBOND ROAD  
WAUKESHA, WISCONSIN 53226  
PH: (262) 865-1544

PROJECT DESCRIPTION:  
**CITY OF FRANKLIN REVIEW SET**

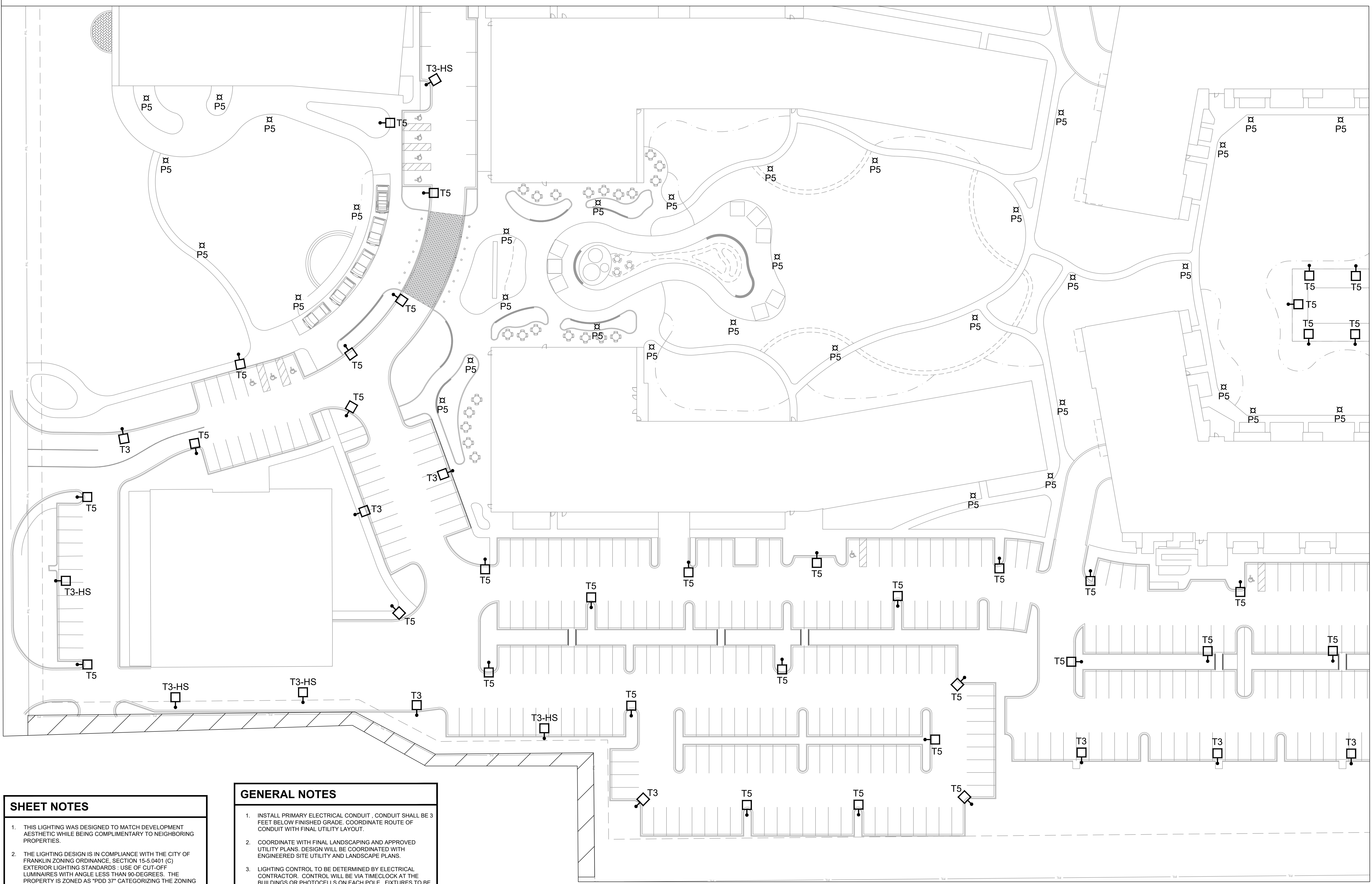
PROJECT LOCATION:  
**POTH'S GENERAL APARTMENTS  
WEST LOCOMIS ROAD  
FRANKLIN, MILWAUKEE COUNTY, WI 53132**

PROJECT NUMBER: **8685**  
DATE: **10/13/2023**

SHEET NUMBER:  
**E101**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



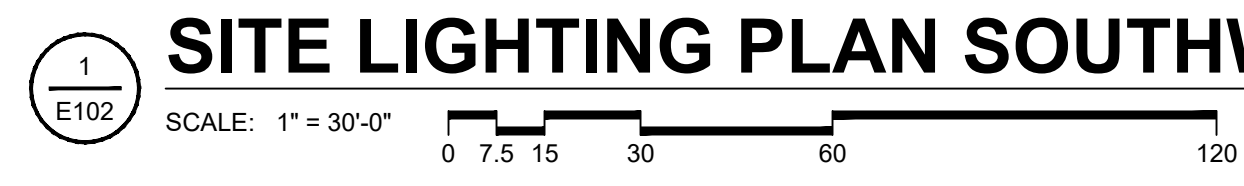
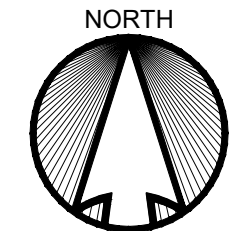


**SHEET NOTES**

1. THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
2. THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS: USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

**GENERAL NOTES**

1. INSTALL PRIMARY ELECTRICAL CONDUIT, CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
2. COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
3. LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
4. DESIGN OF DRIVEWAYS AND PARKING IS INCLUDED IN THIS SUBMITTAL. DESIGN INTENT OF CENTER PLAZA AREAS TO BE DETAILED/COORDINATED WITH LANDSCAPE AT A LATER DATE, MATCHING THE AESTHETIC AND LIGHT LEVELS PRESENTED IN THIS SET.

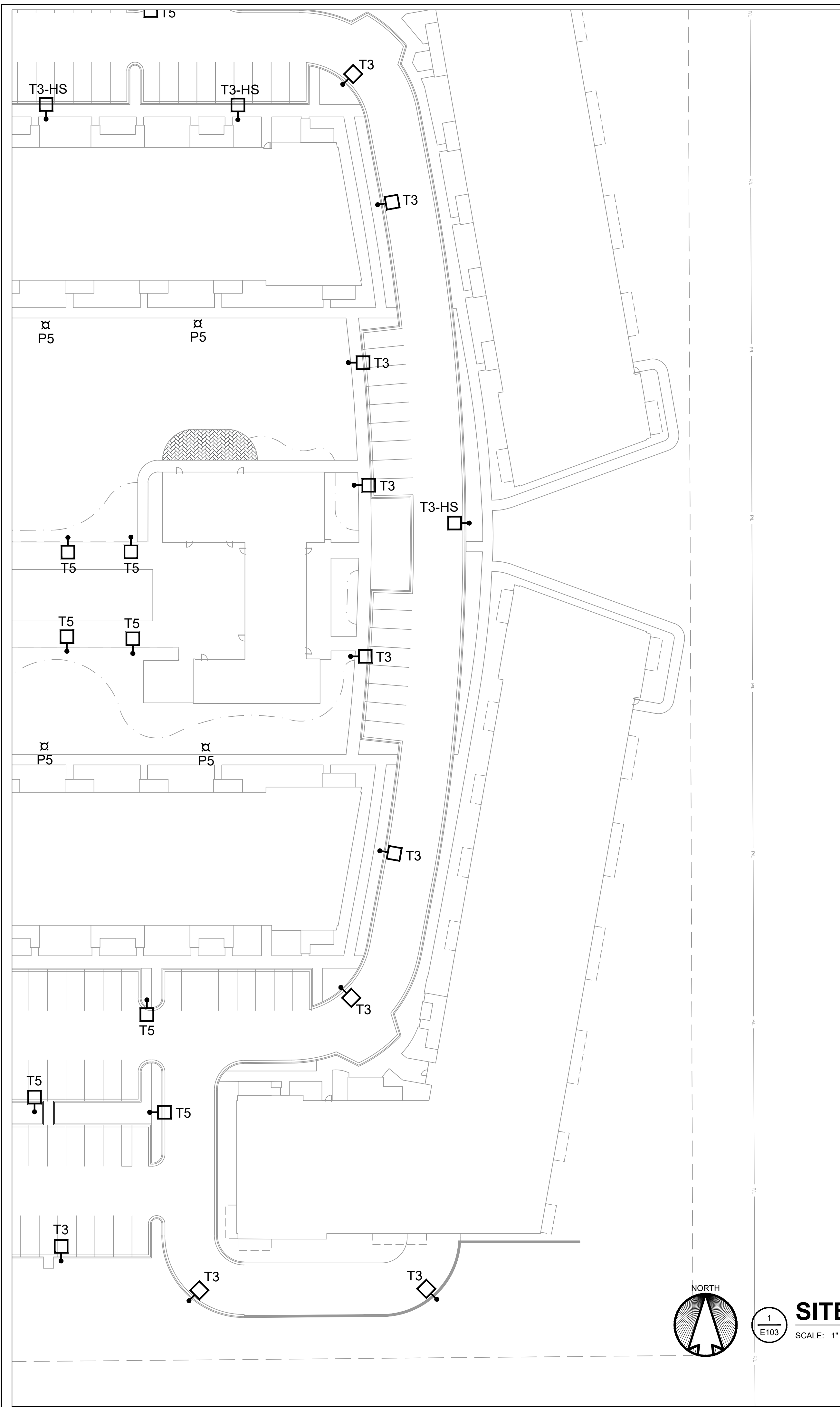


**SITE LIGHTING PLAN SOUTHWEST CORNER**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

DESIGNED BY <b>AMB</b>	<b>LEEDY &amp; PETZOLD ASSOCIATES, LLC</b> CONSULTING ELECTRICAL ENGINEERS/PLANNERS 11046 W. BLUEMOUND ROAD WAUKESHA, WISCONSIN 53226 PH: (262) 865-1544
DRAWN BY <b>ALN</b>	
CHECKED BY <b>JRH</b>	
PROJECT NUMBER <b>8685</b>	PROJECT DESCRIPTION <b>CITY OF FRANKLIN REVIEW SET</b>
DATE <b>10/13/2023</b>	PROJECT LOCATION <b>POTHS GENERAL APARTMENTS WEST LOCOMIS ROAD FRANKLIN, MILWAUKEE COUNTY, WI 53132</b>
SHEET NUMBER <b>E102</b>	SHEET TITLE <b>SITE LIGHTING PLAN SOUTHWEST CORNER</b>



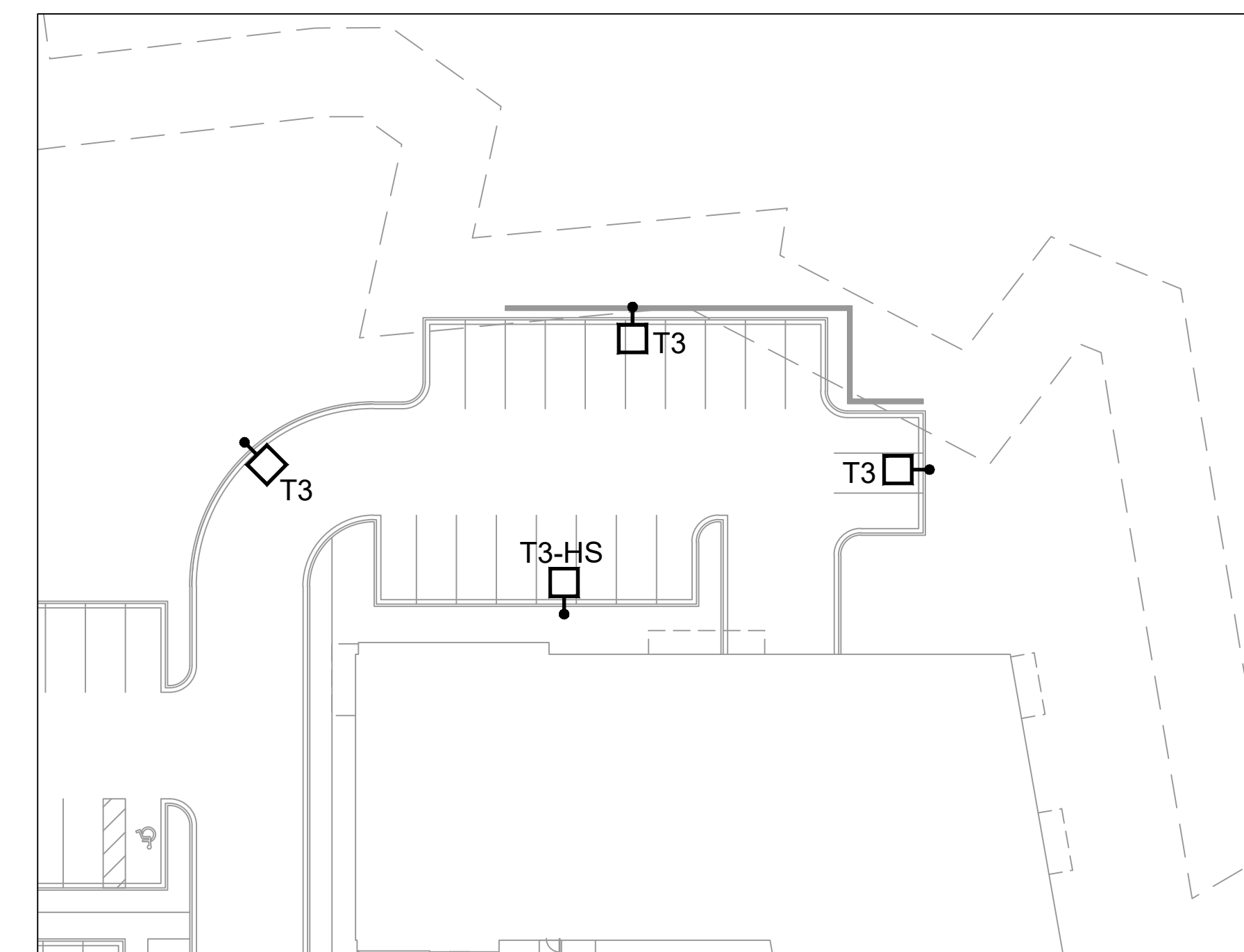


**SHEET NOTES**

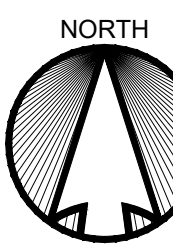
1. THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
2. THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS : USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

**GENERAL NOTES**

1. INSTALL PRIMARY ELECTRICAL CONDUIT , CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
2. COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
3. LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
4. DESIGN OF DRIVEWAYS AND PARKING IS INCLUDED IN THIS SUBMITTAL. DESIGN INTENT OF CENTER PLAZA AREAS TO BE DETAILED/COORDINATED WITH LANDSCAPE AT A LATER DATE, MATCHING THE AESTHETIC AND LIGHT LEVELS PRESENTED IN THIS SET.



**SITE LIGHTING PLAN NORTHEAST CORNER**



2  
E103

SCALE: 1" = 30'-0"  
0 7.5 15 30 60 120



1  
E103

**SITE LIGHTING PLAN SOUTHEAST CORNER**

SCALE: 1" = 30'-0"  
0 7.5 15 30 60 120

DESIGNED BY: **AMB**  
DRAWN BY: **ALN**  
CHECKED BY: **JRH**

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEMOUND ROAD  
WAUKESHA, WISCONSIN 53226  
PH: (262) 865-1544

PROJECT DESCRIPTION:  
**CITY OF FRANKLIN REVIEW SET**

PROJECT LOCATION:  
**POTH'S GENERAL APARTMENTS  
WEST LOOMIS ROAD  
FRANKLIN, MILWAUKEE COUNTY, WI 53132**

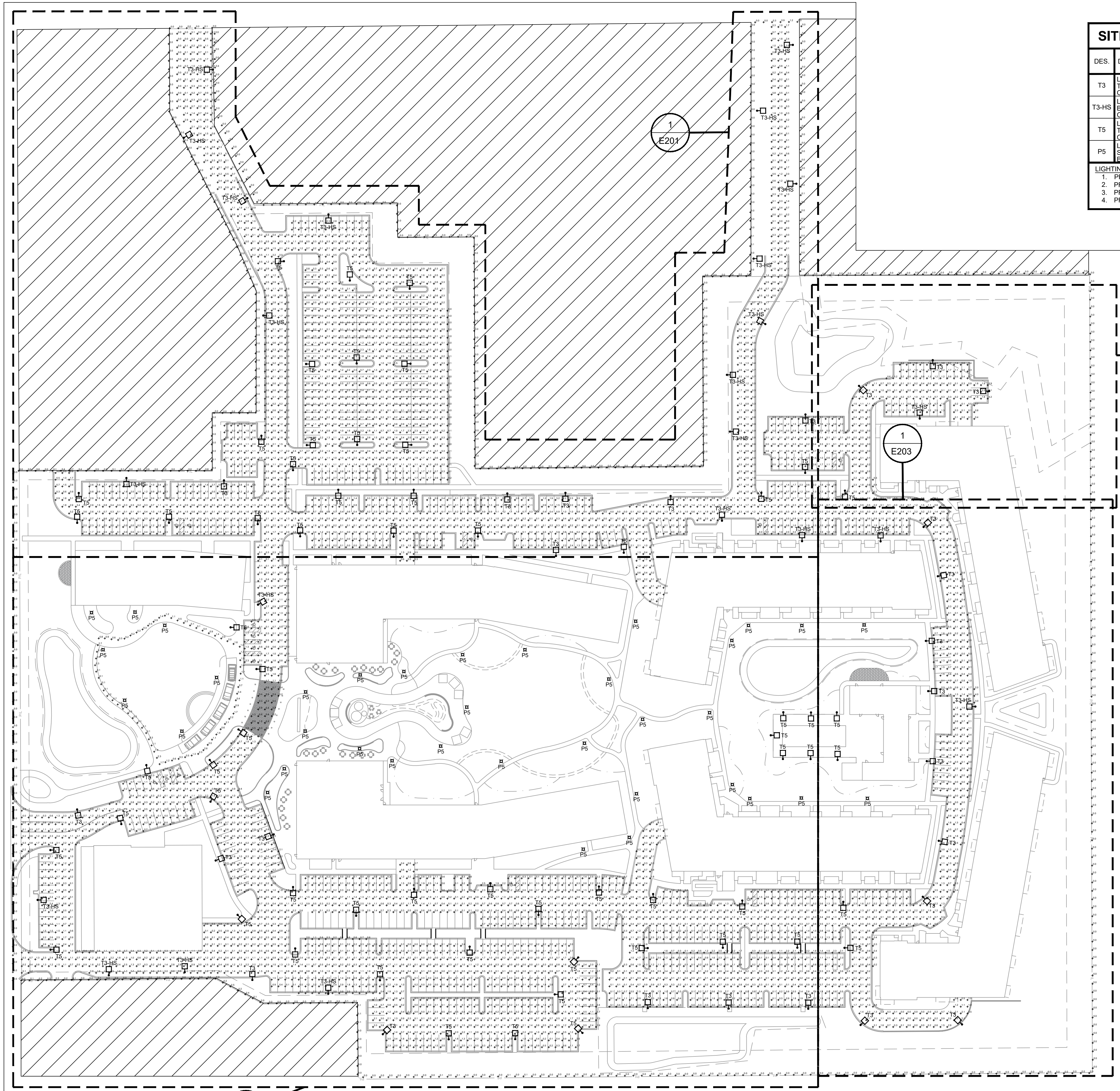
SHEET TITLE:  
**SITE LIGHTING PLAN SOUTHEAST CORNER**

PROJECT NUMBER:  
**8685**

DATE:  
**10/13/2023**

SHEET NUMBER:  
**E103**





SITE LIGHTING FIXTURE SCHEDULE								SURFACE		RECESS		SEE NOTE	
DES.	DESCRIPTION	LAMP DATA		VOLT	DEPTH	LIGHTING FIXTURE		CEILING	WALL	SPECIAL	CONCEAL		DRYWALL
		NO.	TYPE			MFR.	CAT. NO.				LAY-IN		
T3	LED AREA POLE-MOUNT FIXTURE TYPE 3 DISTRIBUTION, BLACK ON 8' POLE, 12' TOTAL HEIGHT	1	48W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-20001-48W-T3-W40-01						1,2,3
T3-HS	LED AREA FIXTURE, TYPE 3 DIST. BLACK, HOUSE SIDE SHIELD ON 8' POLE, 12' TOTAL HEIGHT	1	48W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-20001-48W-T3-W40-01-HSS						1,2,3
T5	LED AREA POLE-MOUNT FIXTURE TYPE 5 DISTRIBUTION, BLACK ON 8' POLE, 12' TOTAL HEIGHT	1	48W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-20001-48W-T5-W40-01						1,2,3
P5	LED BOLLARD ON 6" BASE SYMMETRICAL DISTRIBUTION BLACK - 4' TOTAL HEIGHT	1	50W LED 4000K	120/277V	--	LIGMAN LIGHTING	UFOR-10031-50W-W40-01						2,3,4

**LIGHTING FIXTURE NOTES:**

- PROVIDE 2" TALL CONCRETE POLE BASE.
- PROVIDE PHOTOCELL ON FIXTURE OR BY TIMECLOCK IN BUILDING. DESIGN/BUILD CONTRACTOR TO FINALIZE CONTROLS.
- PROVIDE WITH 8" ROUND POLE, BLACK. SIZE BASED ON MANUFACTURER REQUIREMENTS FOR TENON SIZE.
- PROVIDE 6" TALL CONCRETE BOLLARD BASE.

PHOTOMETRIC STATISTICS					
DESCRIPTION	SYMBOL	AVG	MIN	MAX	AVE/MIN
PARKING	+	0.9 fc	0.0 fc	5.1 fc	9:1 fc
PROPERTY	+	0.0 fc	0.0 fc	1.2 fc	--

NOTE: THE HIGHER PROPERTY LINE VALUES ARE ADJACENT TO COMMERCIAL PROPERTIES. HOUSE-SIDE SHIELDS CAN BE ADDED TO REDUCE FURTHER. PROPERTY LINE LIGHT LEVELS ARE LOW ADJACENT TO RESIDENTIAL AREAS.

- SHEET NOTES**
- THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
  - THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS: USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

- GENERAL NOTES**
- INSTALL PRIMARY ELECTRICAL CONDUIT, CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
  - COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
  - LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
  - DESIGN OF DRIVEWAYS AND PARKING IS INCLUDED IN THIS SUBMITTAL. DESIGN INTENT OF CENTER PLAZA AREAS TO BE DETAILED/COORDINATED WITH LANDSCAPE AT A LATER DATE, MATCHING THE AESTHETIC AND LIGHT LEVELS PRESENTED IN THIS SET.



**OVERALL SITE PHOTOMETRIC PLAN**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

DESIGNED BY: **AMB**  
DRAWN BY: **ALN**  
CHECKED BY: **JRH**

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEBONNET ROAD  
WAUKESHA, WISCONSIN 53186  
PH: (262) 865-1544

PROJECT DESCRIPTION:  
**CITY OF FRANKLIN REVIEW SET**

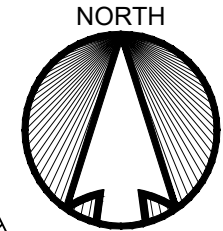
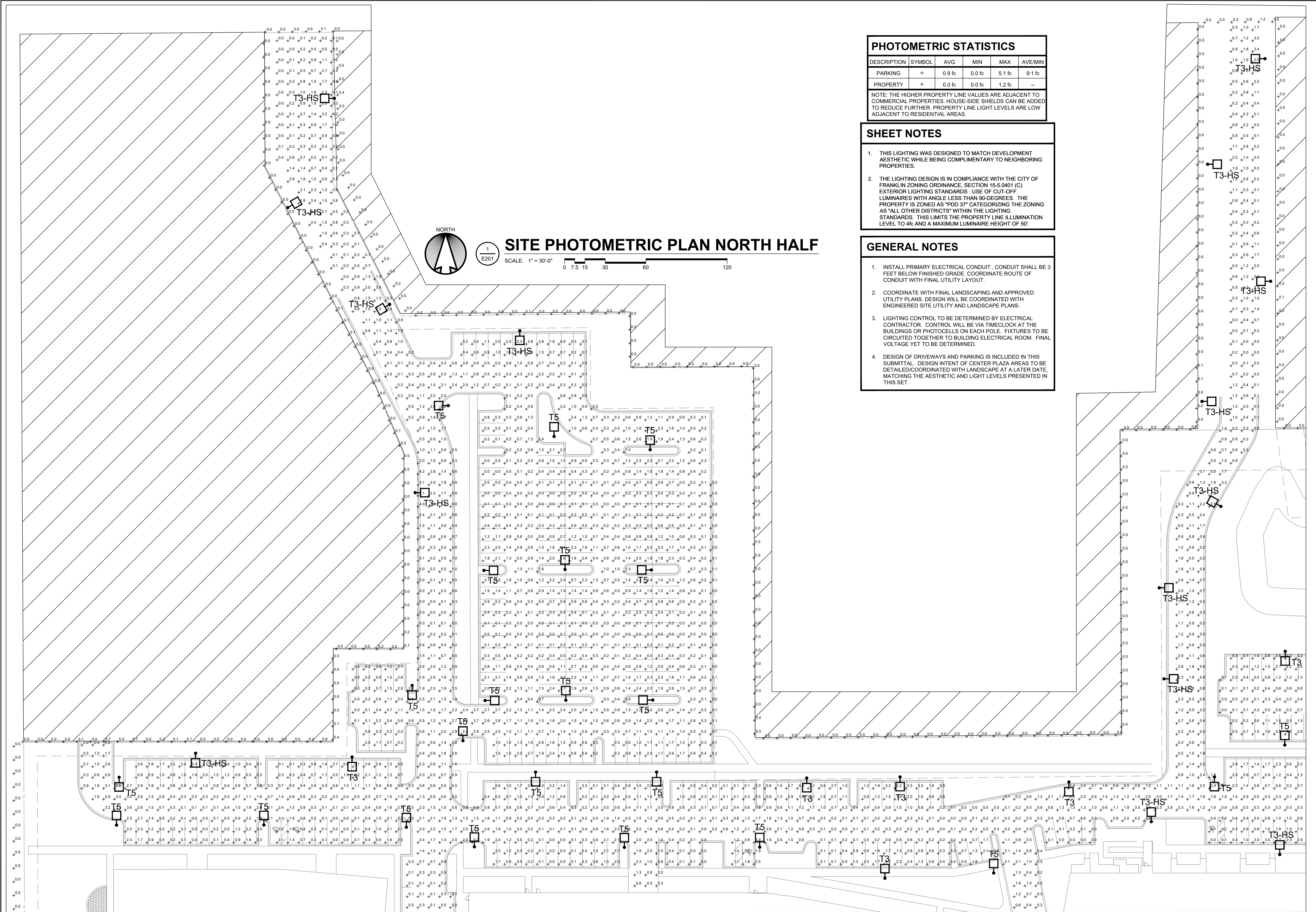
PROJECT LOCATION:  
**POTH'S GENERAL APARTMENTS  
WEST LOCUMIS ROAD  
FRANKLIN, MILWAUKEE COUNTY, WI 53132**

SHEET TITLE:  
**OVERALL SITE PHOTOMETRIC PLAN**

PROJECT NUMBER: **8685**  
DATE: **10/13/2023**

SHEET NUMBER:  
**E200**





### SITE PHOTOMETRIC PLAN NORTH HALF

SCALE: 1" = 30'-0"  
0 7.5 15 30 60 120

PHOTOMETRIC STATISTICS					
DESCRIPTION	SYMBOL	AVG	MIN	MAX	AVE/MIN
PARKING	+	0.9 fc	0.0 fc	5.1 fc	9:1 fc
PROPERTY	+	0.0 fc	0.0 fc	1.2 fc	--

NOTE: THE HIGHER PROPERTY LINE VALUES ARE ADJACENT TO COMMERCIAL PROPERTIES. HOUSE-SIDE SHIELDS CAN BE ADDED TO REDUCE FURTHER. PROPERTY LINE LIGHT LEVELS ARE LOW ADJACENT TO RESIDENTIAL AREAS.

#### SHEET NOTES

- THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
- THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS - USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

#### GENERAL NOTES

- INSTALL PRIMARY ELECTRICAL CONDUIT. CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
- COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
- LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
- DESIGN OF DRIVEWAYS AND PARKING IS INCLUDED IN THIS SUBMITTAL. DESIGN INTENT OF CENTER PLAZA AREAS TO BE DETAILED/COORDINATED WITH LANDSCAPE AT A LATER DATE, MATCHING THE AESTHETIC AND LIGHT LEVELS PRESENTED IN THIS SET.

DESIGNED BY: **AMB**  
 DRAWN BY: **ALN**  
 CHECKED BY: **JRH**

**LEEDY & PETZOLD ASSOCIATES, LLC**  
 CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
 11046 W. BLUEBOND ROAD  
 WAUKESHA, WISCONSIN 53226  
 PH: (262) 865-1544

---

PROJECT DESCRIPTION:  
**CITY OF FRANKLIN REVIEW SET**

---

PROJECT LOCATION:  
**POTH'S GENERAL APARTMENTS  
 WEST LOMIS ROAD  
 FRANKLIN, MILWAUKEE COUNTY, WI 53132**

---

SHEET TITLE:  
**SITE PHOTOMETRIC PLAN NORTH HALF**

---

PROJECT NUMBER:  
**8685**

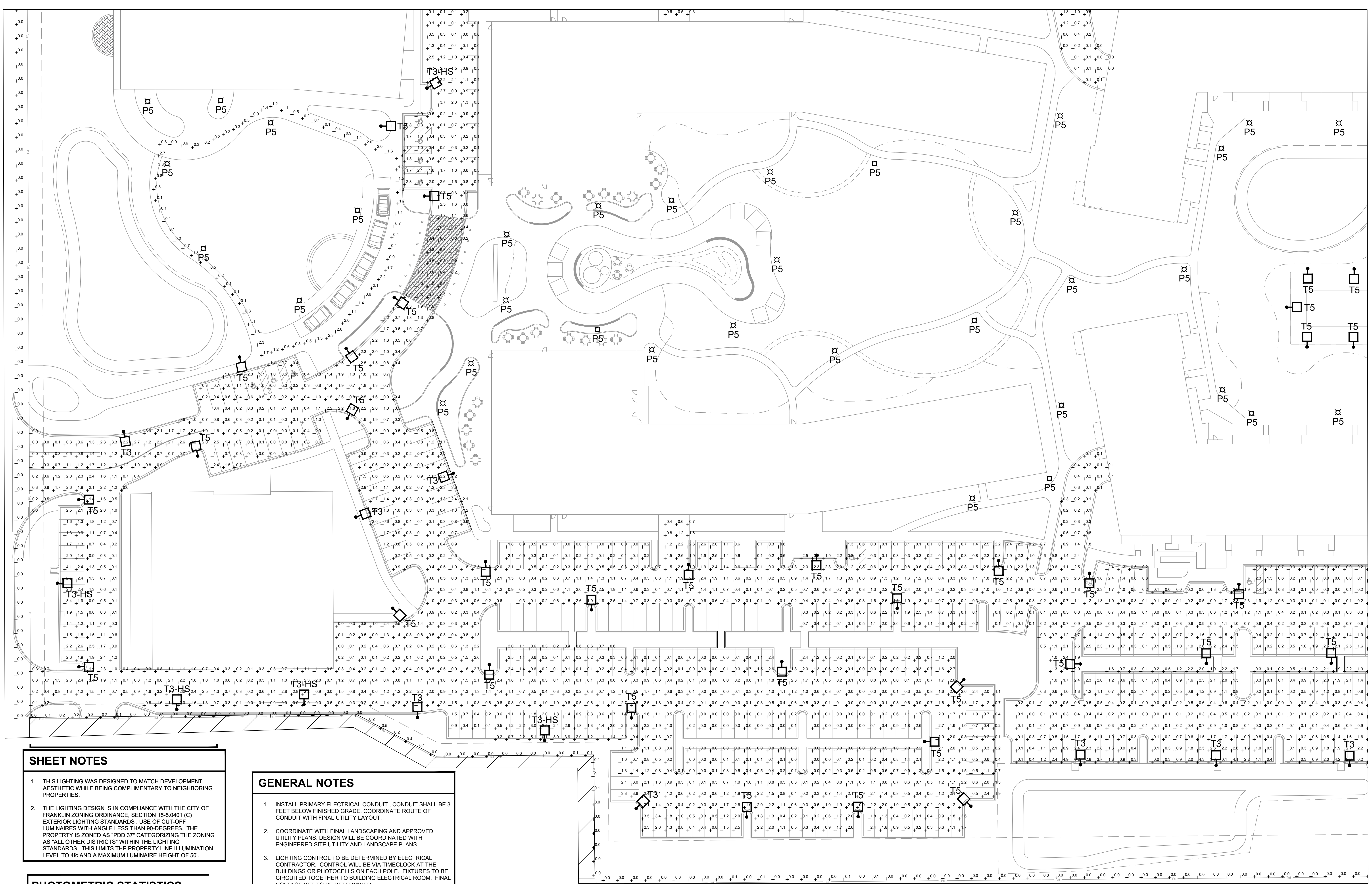
DATE:  
**10/13/2023**

---

SHEET NUMBER:  
**E201**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION





**SHEET NOTES**

1. THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLEMENTARY TO NEIGHBORING PROPERTIES.
2. THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS : USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "POD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

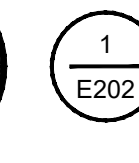
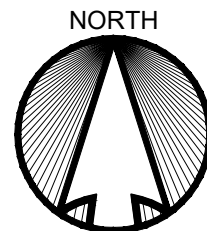
**GENERAL NOTES**

1. INSTALL PRIMARY ELECTRICAL CONDUIT, CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
2. COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
3. LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
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**PHOTOMETRIC STATISTICS**

DESCRIPTION	SYMBOL	AVG	MIN	MAX	AVE/MI
PARKING	+	0.9 fc	0.0 fc	5.1 fc	9:1 fc
PROPERTY	+	0.0 fc	0.0 fc	1.2 fc	--

NOTE: THE HIGHER PROPERTY LINE VALUES ARE ADJACENT TO COMMERCIAL PROPERTIES. HOUSE-SIDE SHIELDS CAN BE ADDED TO REDUCE FURTHER. PROPERTY LINE LIGHT LEVELS ARE LOW ADJACENT TO RESIDENTIAL AREAS.



**SITE PHOTOMETRIC PLAN SOUTHWEST CORNER**

SCALE: 1" = 30'-0"  
0 7.5 15 30 60 120

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

DESIGNED BY: **AMB**  
DRAWN BY: **ALN**  
CHECKED BY: **JRH**

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEBOND ROAD  
WAUKATUSA, WISCONSIN 53226  
PH: (262) 865-1544

PROJECT DESCRIPTION:  
**CITY OF FRANKLIN REVIEW SET**

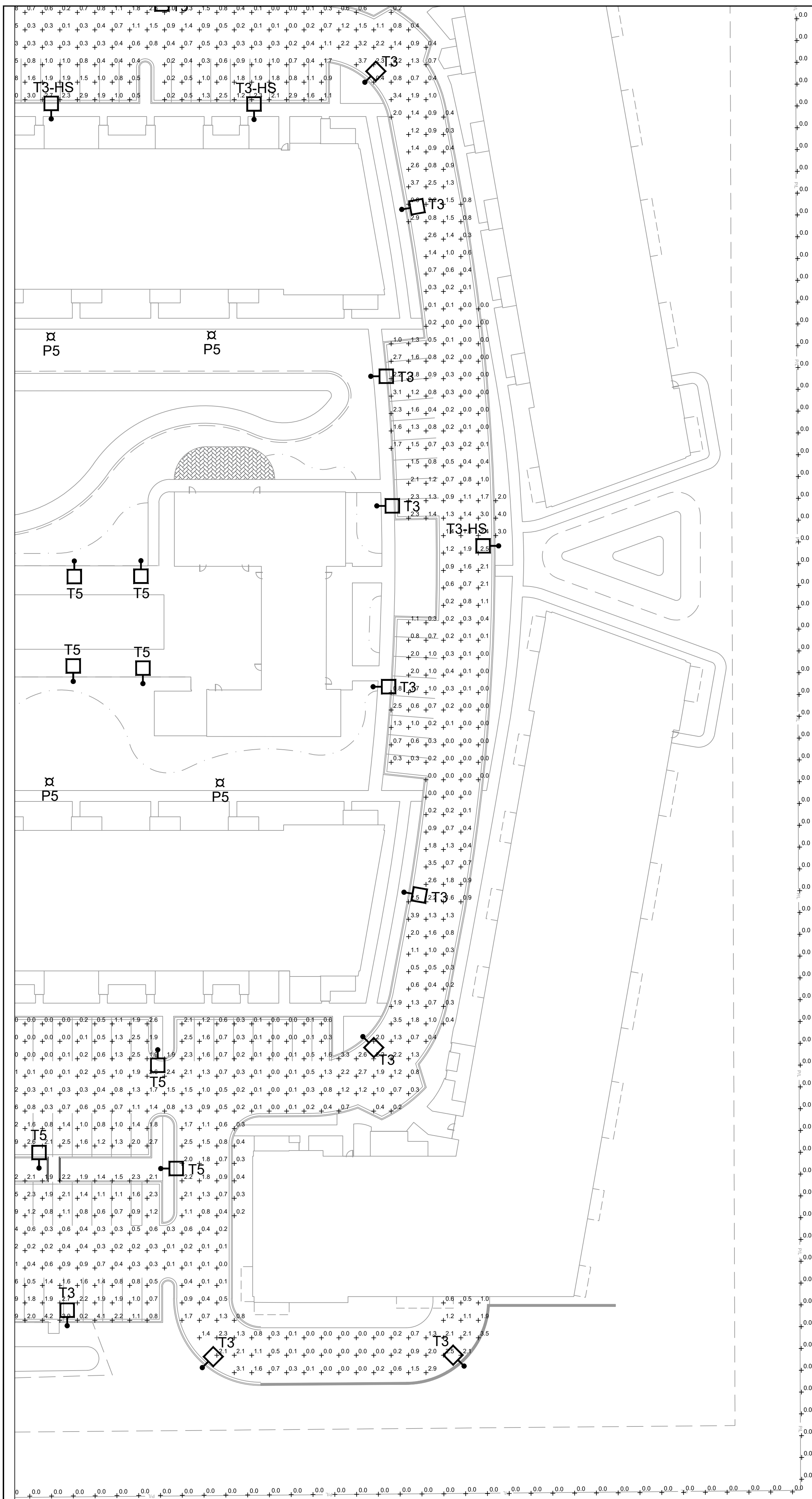
PROJECT LOCATION:  
**POTHS GENERAL APARTMENTS**  
WEST LOOMIS ROAD  
FRANKLIN, MILWAUKEE COUNTY, WI 53132

PROJECT NUMBER:  
**8685**

DATE:  
**10/13/2023**

SHEET NUMBER:  
**E202**



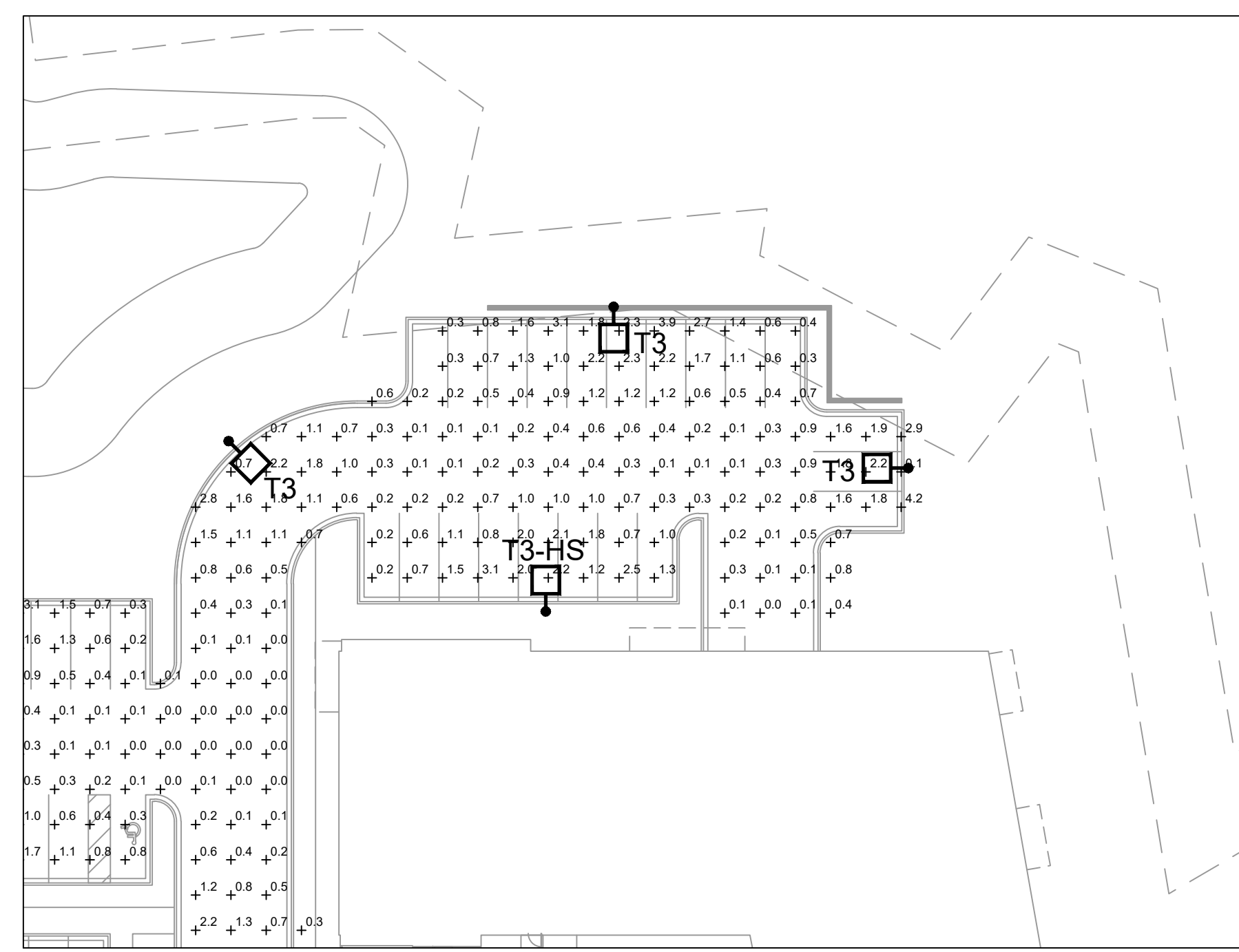


PHOTOMETRIC STATISTICS					
DESCRIPTION	SYMBOL	AVG	MIN	MAX	AVE/MIN
PARKING	+	0.9 fc	0.0 fc	5.1 fc	9:1 fc
PROPERTY	+	0.0 fc	0.0 fc	1.2 fc	--

NOTE: THE HIGHER PROPERTY LINE VALUES ARE ADJACENT TO COMMERCIAL PROPERTIES. HOUSE-SIDE SHIELDS CAN BE ADDED TO REDUCE FURTHER. PROPERTY LINE LIGHT LEVELS ARE LOW ADJACENT TO RESIDENTIAL AREAS.

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- GENERAL NOTES**
- INSTALL PRIMARY ELECTRICAL CONDUIT, CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
  - COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN WILL BE COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
  - LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDINGS OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.
  - DESIGN OF DRIVEWAYS AND PARKING IS INCLUDED IN THIS SUBMITTAL. DESIGN INTENT OF CENTER PLAZA AREAS TO BE DETAILED/COORDINATED WITH LANDSCAPE AT A LATER DATE, MATCHING THE AESTHETIC AND LIGHT LEVELS PRESENTED IN THIS SET.



**SITE PHOTOMETRIC PLAN  
NORTHEAST CORNER**

NORTH

2  
E203

SCALE: 1" = 30'-0"

0 7.5 15 30 60 120

**SITE PHOTOMETRIC PLAN SOUTHEAST CORNER**

NORTH

1  
E203

SCALE: 1" = 30'-0"

0 7.5 15 30 60 120

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

DESIGNED BY: **AMB**  
DRAWN BY: **ALN**  
CHECKED BY: **JRH**

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEBOND ROAD  
WAUKATCSA, WISCONSIN 53226  
PH: (262) 865-1544

PROJECT DESCRIPTION: **CITY OF FRANKLIN REVIEW SET**

PROJECT LOCATION: **POTH'S GENERAL APARTMENTS  
WEST LOCOMIS ROAD  
FRANKLIN, MILWAUKEE COUNTY, WI 53132**

SHEET TITLE: **SITE PHOTOMETRIC PLAN SOUTHEAST CORNER**

PROJECT NUMBER: **8865**  
DATE: **10/13/2023**

SHEET NUMBER: **E203**



**UFOR-10031**  
Forrey 1 Bollard Opal Lens



**Construction**  
Aluminum.  
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
8 step phosphate and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.  
**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**ULC Rating**  
B1 - UL - G3  
**Finish:**  
All Ligman products go through an extensive finishing process

**High efficiency meets the classic form factor. Complete range of decorative lighting solutions, offering multiple beam distributions and superior efficacies.**  
A decorative range of bollard luminaires, designed to complement the Forrey pendant, post top and wall mount with options of having no lens or a high impact UV stabilized opal lens. This decorative lantern provides a symmetrical light distribution using high output COB LED.  
Color temperature 2700K, 3000K, 3500K and 4000K, LED CRI >80 and life time 50,000 Hours. High pressure die-cast marine grade LM6 aluminum body that is pre-treated with a nickel and zinc phosphate and then powder coated with a 4.9mil thick paint finish ensuring high corrosion resistance. Marine grade 316 stainless steel fasteners.  
For No Lens or Clear Lens, see UFOR-10011  
**Security Bollard:**

**UFOR-10031**  
Forrey 1 Bollard Opal Lens



PROJECT		DATE	
QUANTITY		TYPE	NOTE

ORDERING EXAMPLE || UFOR - 10031 - 50w - W30 - 02 - 120/277v - Options

UFOR-10031	LAMP	LED COLOR	FINISH COLOR	VOLTAGE
50w LED 4340 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

ADDITIONAL OPTIONS		INSPIRED BY NATURE FINISHES	
DIM - 0-10v Dimming	A91591 - Lockable In Use CFRC Receptacle Outlet Box	SW01 - OAK FINISH	SW02 - WALNUT FINISH
NAT - Natatorium Rated	A12891 - Security Bollard	SW03 - PINE FINISH	DF - DOUGLAS FIR FINISH
HGT - Custom Bollard Height	SBK4 - K4 Rated Security Bollard	CW - CHERRY WOOD FINISH	NW - NATIONAL WALNUT FINISH
		SU01 - CONCRETE FINISH	SU02 - SOFTSCAPE FINISH
		SU03 - STONE FINISH	SU04 - CORTEN FINISH

**More Custom Finishes Available Upon Request**  
Consult factory for pricing and lead times



**1**  
E300  
**FIXTURE P5 CUTSHEET**  
NO SCALE

**UFOR-20001**  
Forrey 9 Post Top No Lens



48w COB  
4813 Lumens  
IP65  
IK08  
EPA - 1.86  
Weight - 46.3 lbs

**Construction**  
Aluminum.  
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
8 step phosphate and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.  
**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**ULC Rating**

**High efficiency meets the classic form factor. Complete range of decorative lighting solutions, offering multiple beam distributions and superior efficacies.**  
A decorative range of post top luminaires, designed to complement the Forrey pendant, bollard and wall mount with options of having no lens or a high impact UV stabilized opal lens. This decorative lantern provides a symmetrical light distribution using high output COB LED.  
Color temperature 2700K, 3000K, 3500K and 4000K, LED CRI >80 and life time 50,000 Hours. High pressure die-cast marine grade LM6 aluminum body that is pre-treated with a nickel and zinc phosphate and then powder coated with a 4.9mil thick paint finish ensuring high corrosion resistance. Marine grade 316 stainless steel fasteners.  
Durable memory retentive silicone rubber gasket and

**UFOR-20001**  
Forrey 9 Post Top No Lens

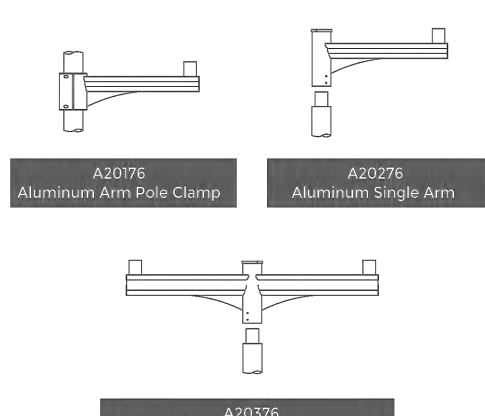


PROJECT		DATE	
QUANTITY		TYPE	NOTE

ORDERING EXAMPLE || UFOR - 20001 - 48w - T2 - W30 - 02 - 120/277v - Options

UFOR-20001	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
48w COB 4813 Lumens	T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution T5 - Type V Distribution	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

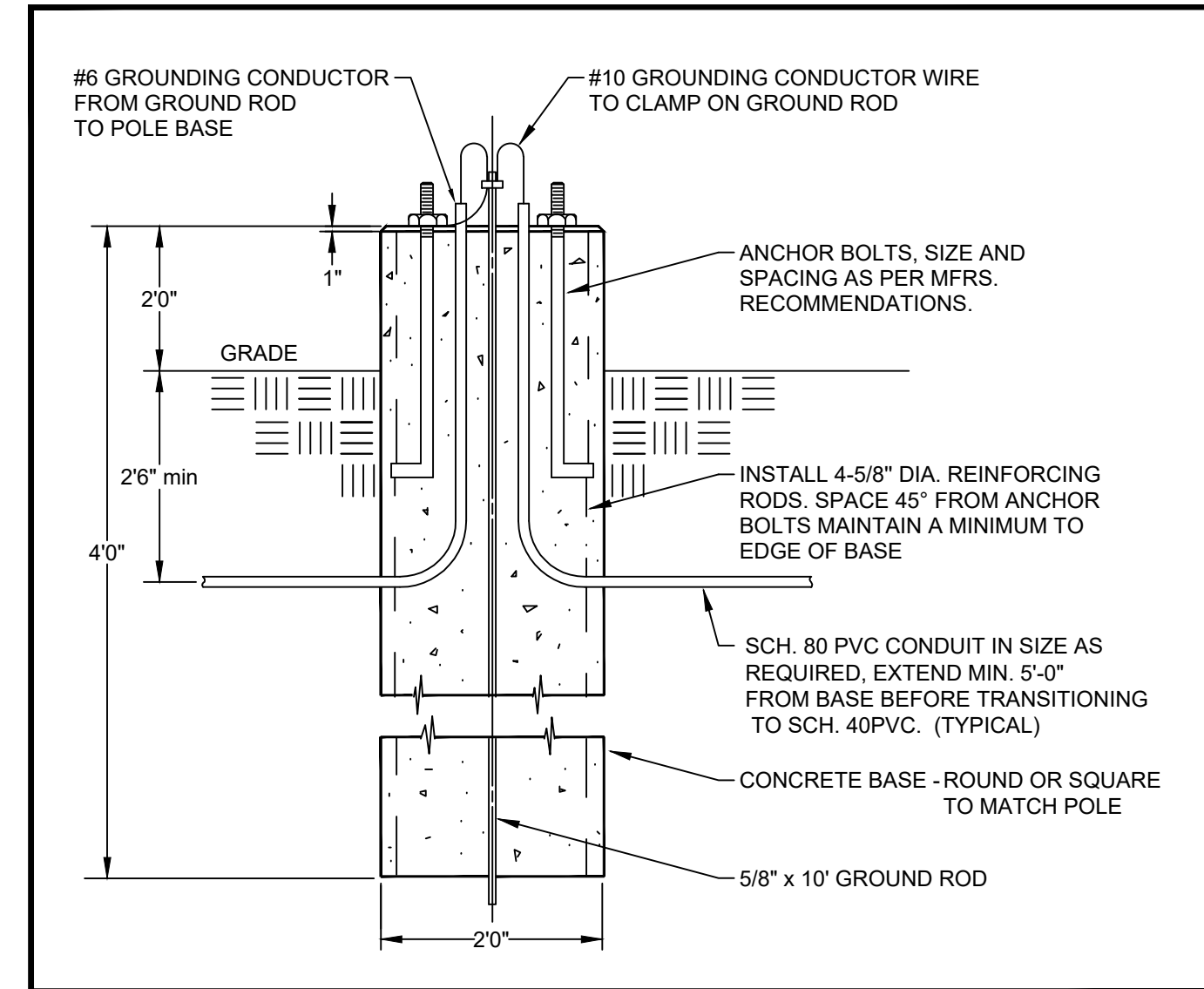
ADDITIONAL OPTIONS		INSPIRED BY NATURE FINISHES	
DIM - 0-10v Dimming	NAT - Natatorium Rated	SW01 - OAK FINISH	SW02 - WALNUT FINISH
C - Clear Lens	HSS - House Side Shield	SW03 - PINE FINISH	DF - DOUGLAS FIR FINISH
PHSS - Perforated House Side Shield		CW - CHERRY WOOD FINISH	NW - NATIONAL WALNUT FINISH
		SU01 - CONCRETE FINISH	SU02 - SOFTSCAPE FINISH
		SU03 - STONE FINISH	SU04 - CORTEN FINISH



**More Custom Finishes Available Upon Request**  
Consult factory for pricing and lead times



**2**  
E300  
**FIXTURE T3, T3-HS, T5 CUTSHEET**  
NO SCALE



**3**  
E300  
**POLE BASE DETAIL**  
NO SCALE

DESIGNED BY: AMB  
DRAWN BY: ALN  
CHECKED BY: JRH

LEEDY & PETZOLD ASSOCIATES, LLC  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEBOND ROAD  
WAUKESHA, WISCONSIN 53091  
PH: (262) 865-1544

PROJECT DESCRIPTION:  
CITY OF FRANKLIN REVIEW SET

PROJECT LOCATION:  
POTH'S GENERAL APARTMENTS  
WEST LOCOMIS ROAD  
FRANKLIN, MILWAUKEE COUNTY, WI 53132

SHEET TITLE:  
SITE LIGHTING FIXTURE CUT SHEET & DETAIL

PROJECT NUMBER: 8665  
DATE: 10/13/2023

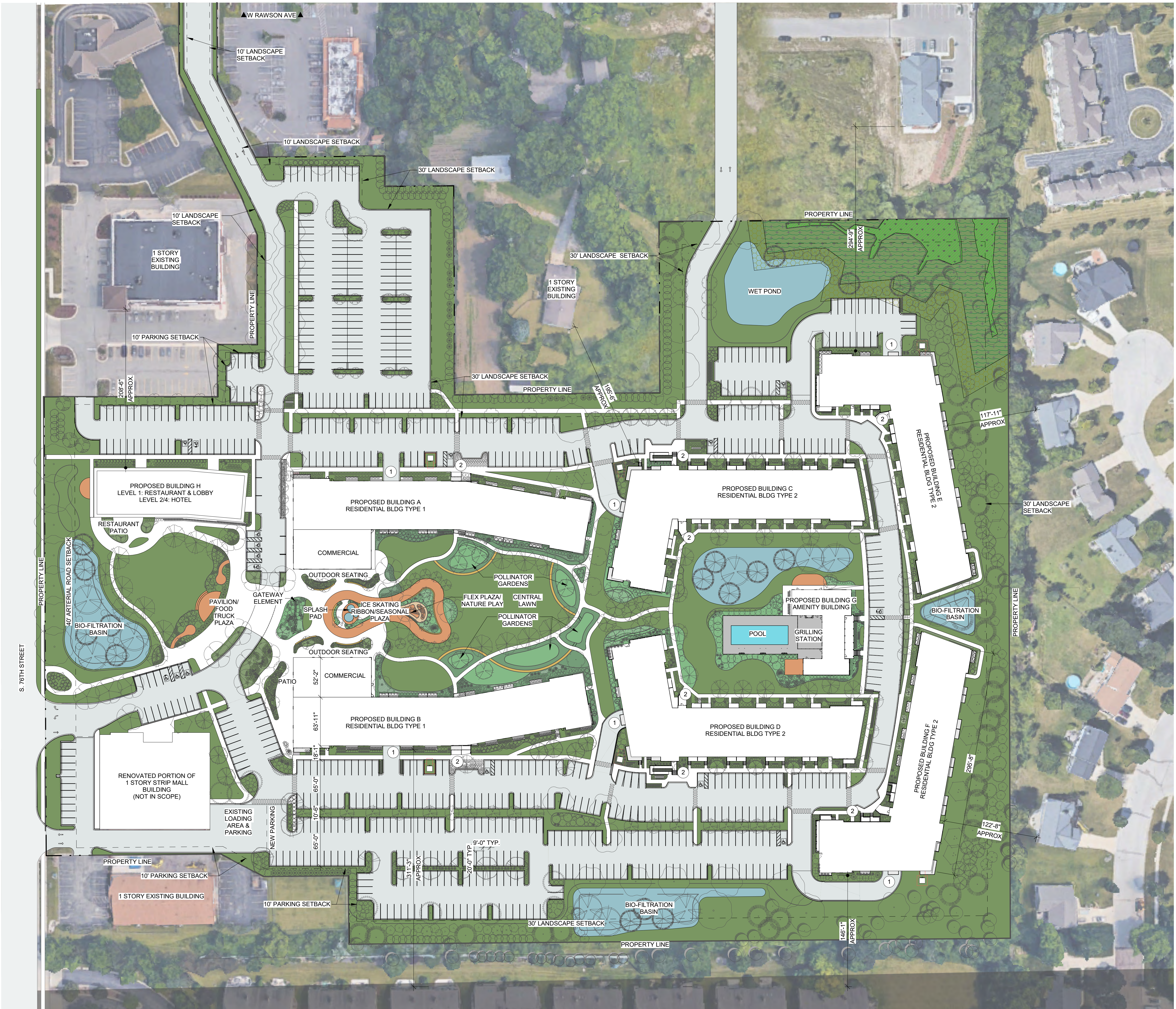
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E300



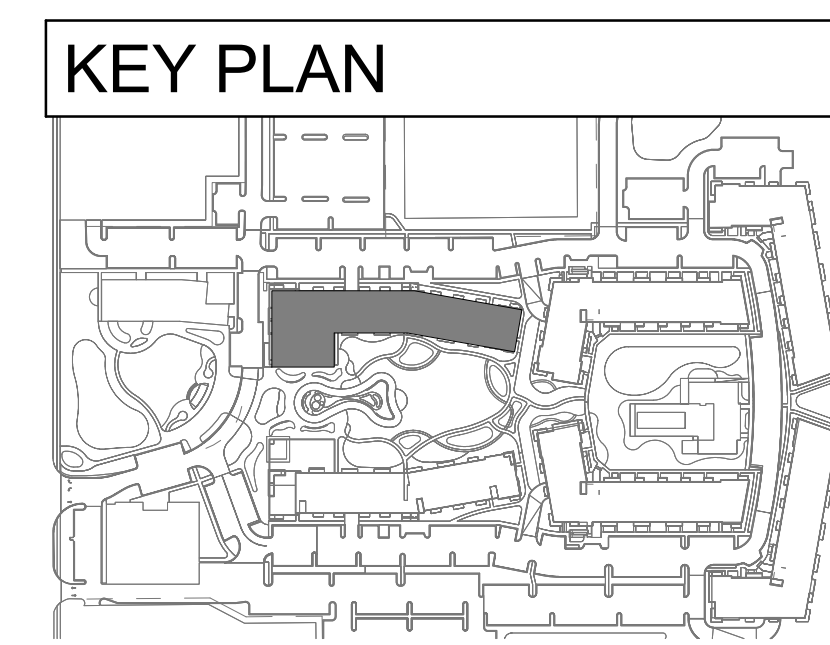
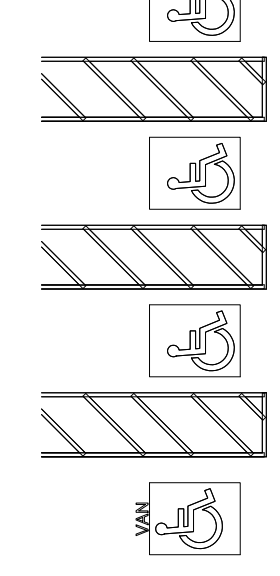
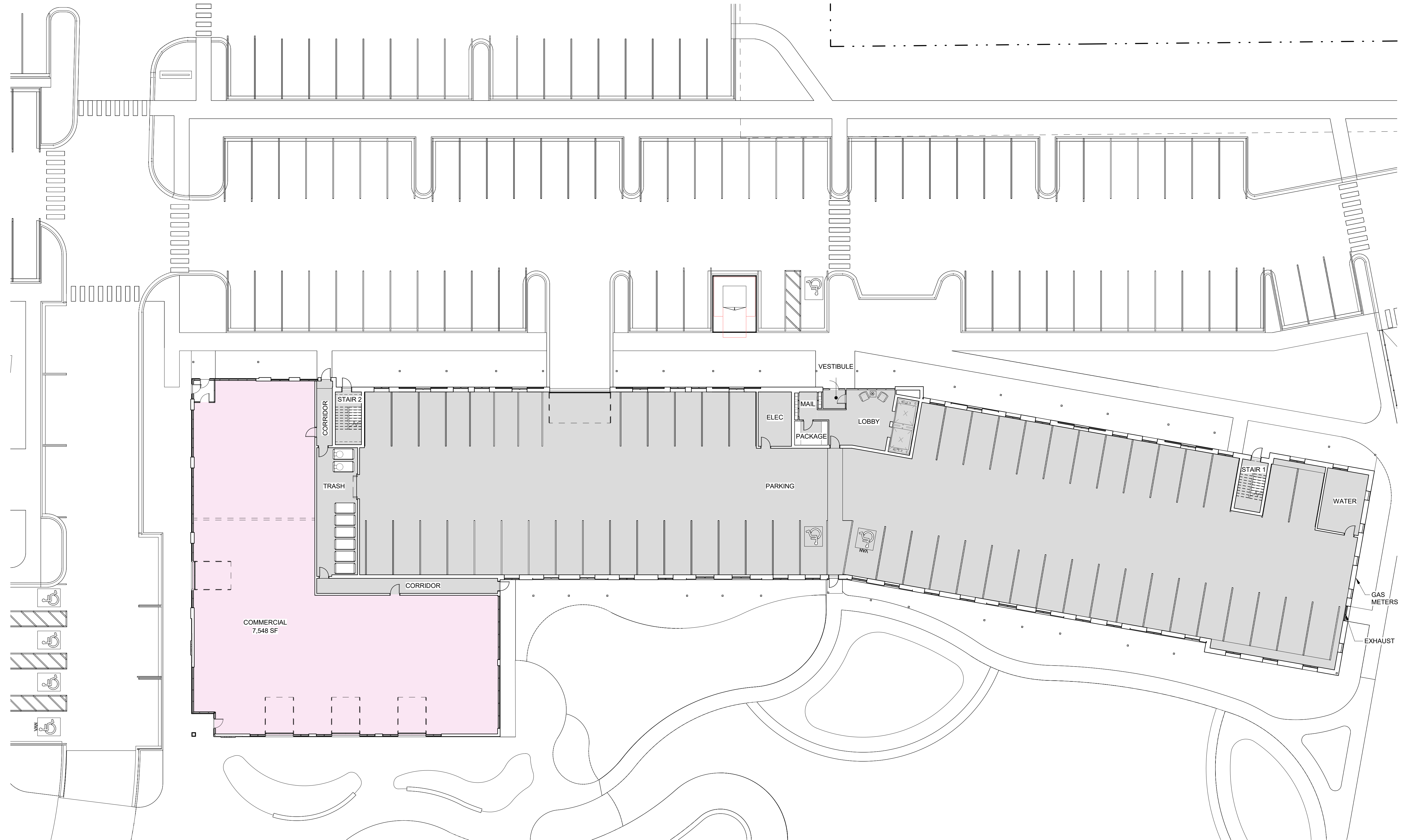
### SITE SUMMARY

<b>BUILDING A:</b>	STORIES: 3+1 STORIES	UNIT COUNT: 69 UNITS	ENCLOSED SPACES: 61 SPACES
		SURFACE SPACES: 60 SPACES	TOTAL SPACES: 121 SPACES
<b>BUILDING B:</b>	STORIES: 3+1 STORIES	UNIT COUNT: 69 UNITS	ENCLOSED SPACES: 61 SPACES
		SURFACE SPACES: 60 SPACES	TOTAL SPACES: 121 SPACES
<b>BUILDING C:</b>	STORIES: 3+1 STORIES	UNIT COUNT: 72 UNITS	ENCLOSED SPACES: 66 SPACES
		SURFACE SPACES: 60 SPACES	TOTAL SPACES: 126 SPACES
<b>BUILDING D:</b>	STORIES: 3+1 STORIES	UNIT COUNT: 72 UNITS	ENCLOSED SPACES: 66 SPACES
		SURFACE SPACES: 60 SPACES	TOTAL SPACES: 126 SPACES
<b>BUILDING E:</b>	STORIES: 3+1 STORIES	UNIT COUNT: 72 UNITS	ENCLOSED SPACES: 66 SPACES
		SURFACE SPACES: 60 SPACES	TOTAL SPACES: 126 SPACES
<b>BUILDING F:</b>	STORIES: 3+1 STORIES	UNIT COUNT: 72 UNITS	ENCLOSED SPACES: 66 SPACES
		SURFACE SPACES: 60 SPACES	TOTAL SPACES: 126 SPACES
<b>TOTAL RESIDENTIAL:</b>		UNIT COUNT: 426 UNITS	ENCLOSED SPACES: 386 SPACES
		SURFACE SPACES: 360 SPACES	TOTAL SPACES: 746 SPACES
<b>HOTEL:</b>		ENCLOSED SPACES: 0 SPACES	SURFACE SPACES: 50 SPACES
		TOTAL SPACES: 50 SPACES	
<b>PUBLIC/COMMERCIAL:</b>		ENCLOSED SPACES: 0 SPACES	SURFACE SPACES: 284 SPACES
		TOTAL SPACES: 284 SPACES	
<b>TOTAL PARKING:</b>		ENCLOSED SPACES: 386 SPACES	SURFACE SPACES: 694 SPACES
		TOTAL SPACES: 1,080 SPACES	

LEGEND	PLAN LEGEND
WETLANDS	PARKING GARAGE ENTRY ①
WETLANDS BUFFER	
WETLANDS SETBACK	MAIN BUILDING ENTRY TO LOBBY ②
YOUNG WOODLANDS	





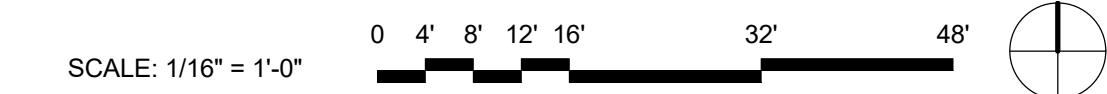


**BUILDING A UNIT MATRIX**

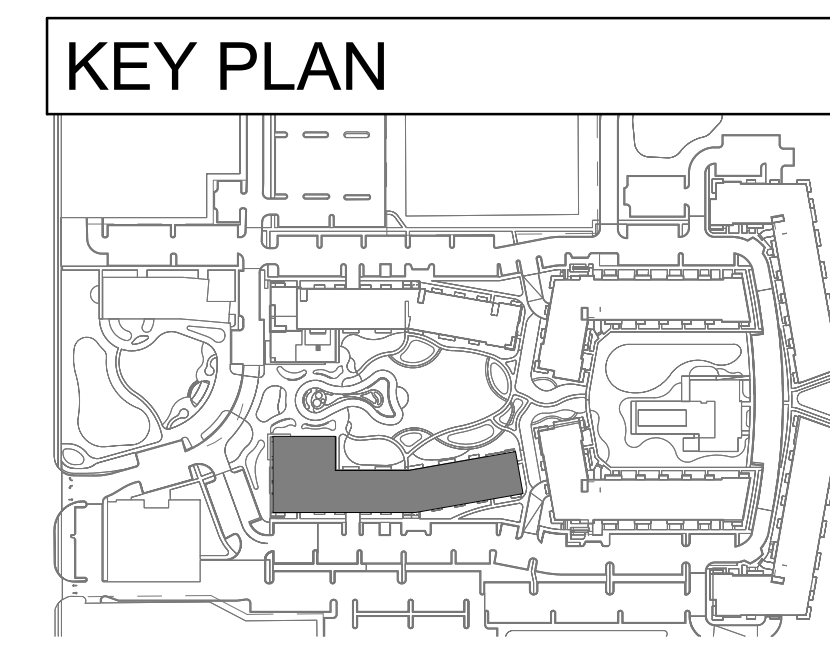
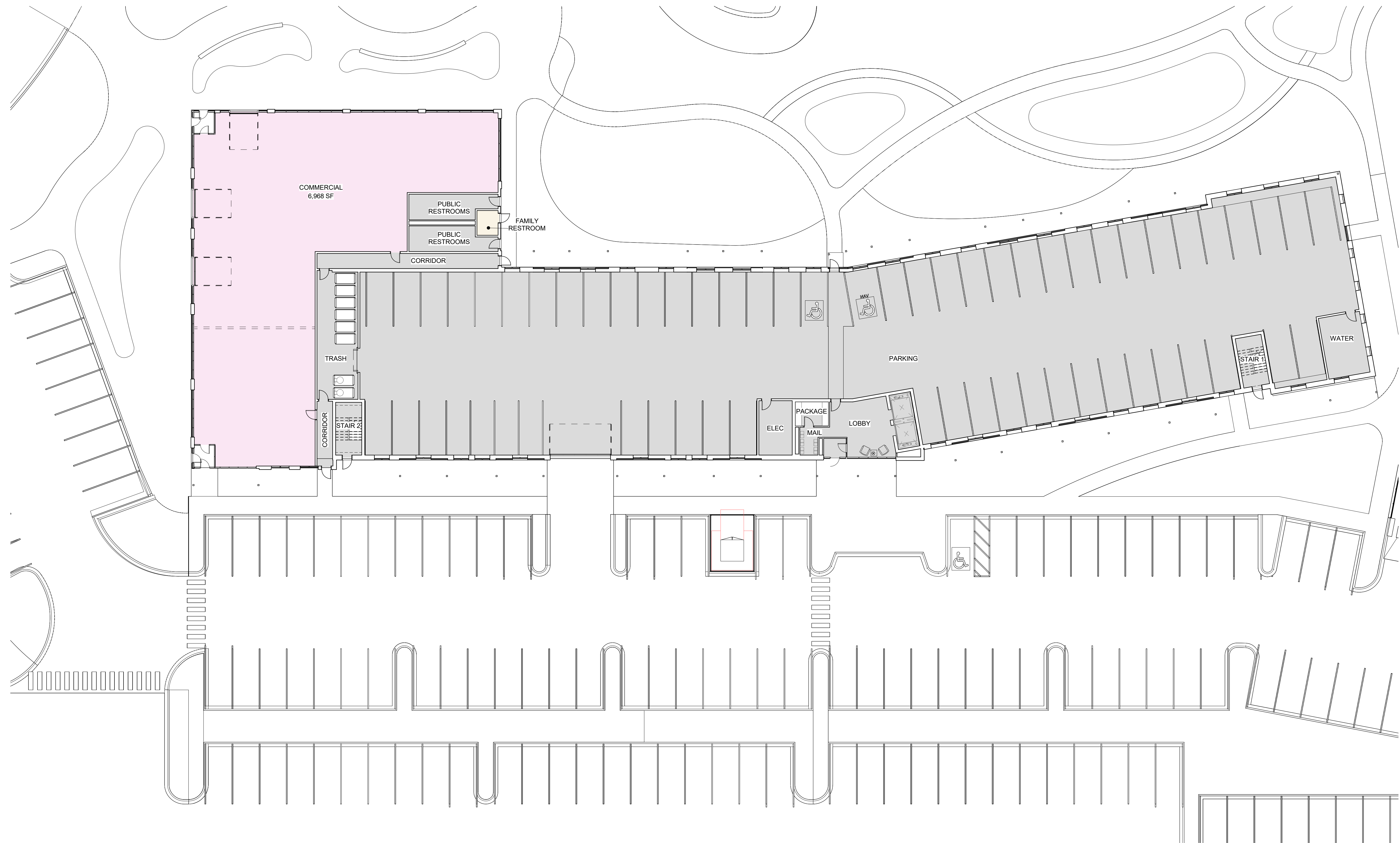
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	5	588 SF
UNIT A2	1	1	24	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A3	1	1	3	794 SF
UNIT B1	2	2	23	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B2	2	2	3	1237 SF
UNIT C1	3	2	3	1380 SF
UNIT C2	3	2	3	1431 SF
UNIT C3	3	2	3	1420 SF
<b>TOTAL</b>			<b>69</b>	

**LEGEND**

JR 1 BED	Red
1 BED	Orange
2 BED	Yellow
3 BED	Blue





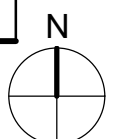
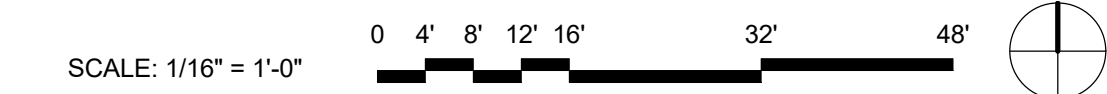


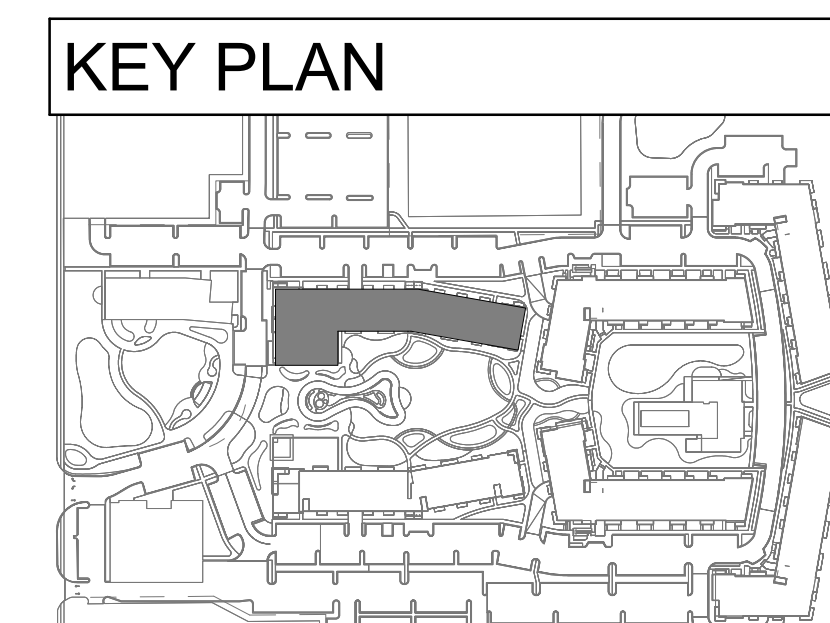
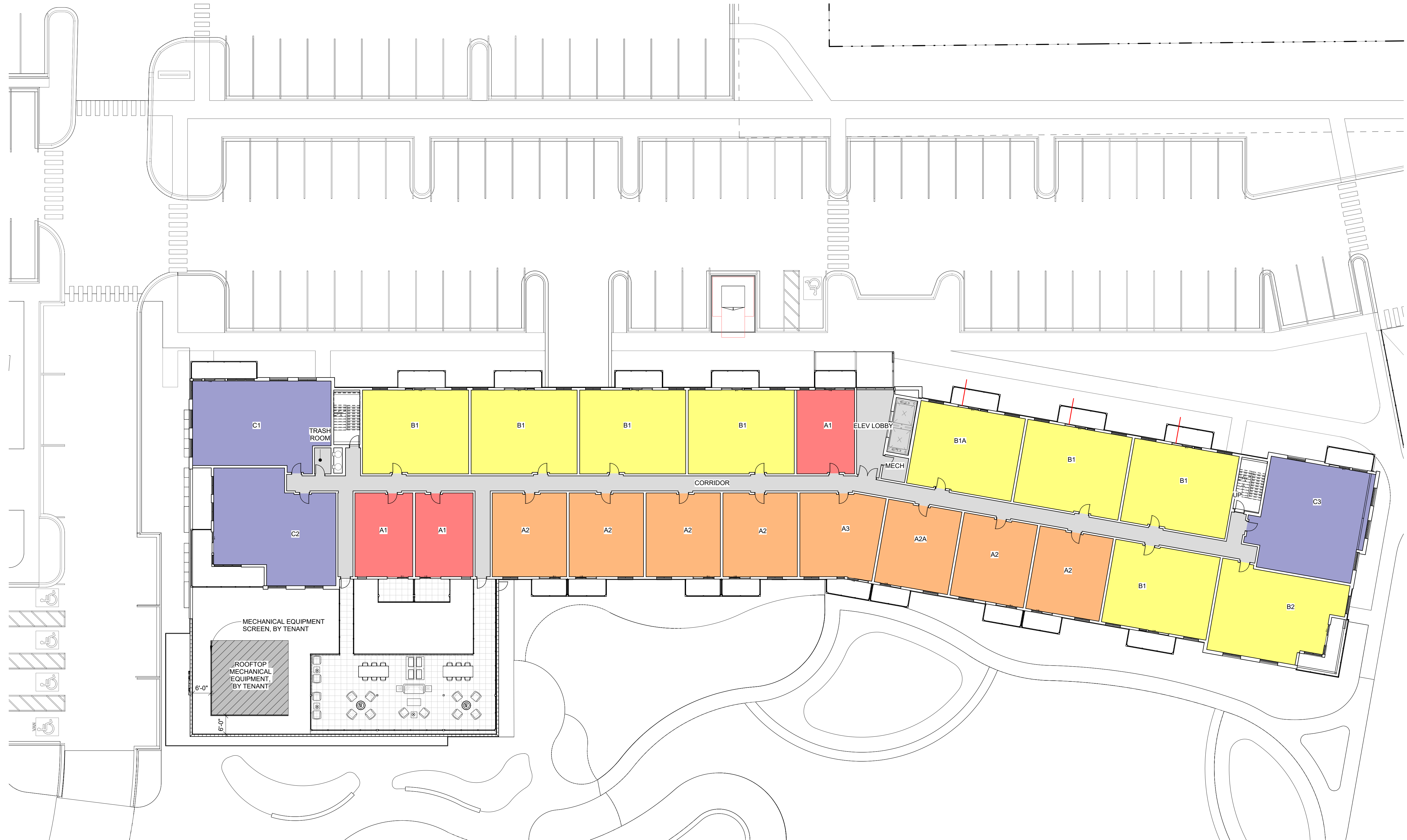
**BUILDING B UNIT MATRIX**

TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	3	588 SF
UNIT A2	1	1	26	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A3	1	1	3	794 SF
UNIT B1	2	2	23	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B2	2	2	3	1237 SF
UNIT C1	3	2	3	1380 SF
UNIT C2	3	2	3	1431 SF
UNIT C3	3	2	3	1420 SF
<b>TOTAL</b>			<b>69</b>	

**LEGEND**

JR 1 BED	Red
1 BED	Orange
2 BED	Yellow
3 BED	Blue





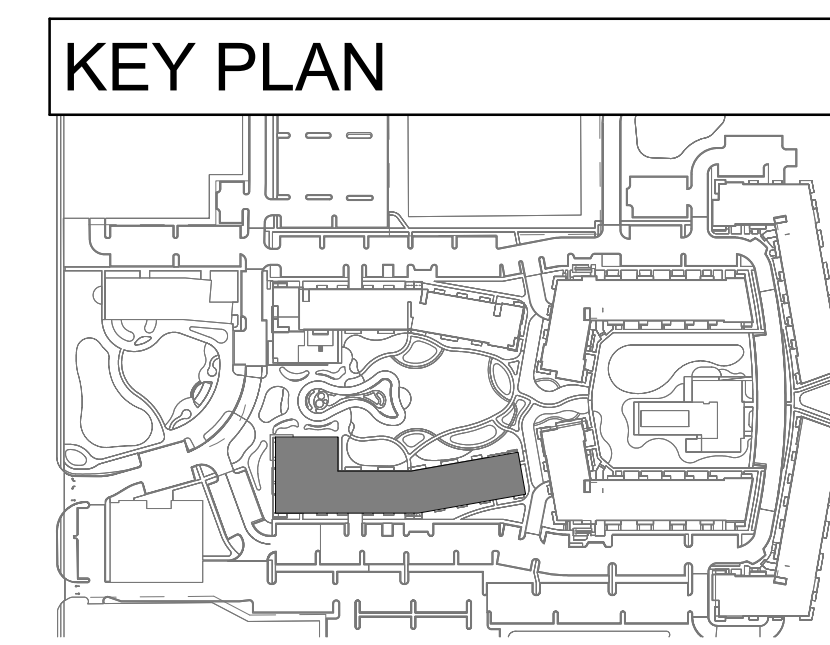
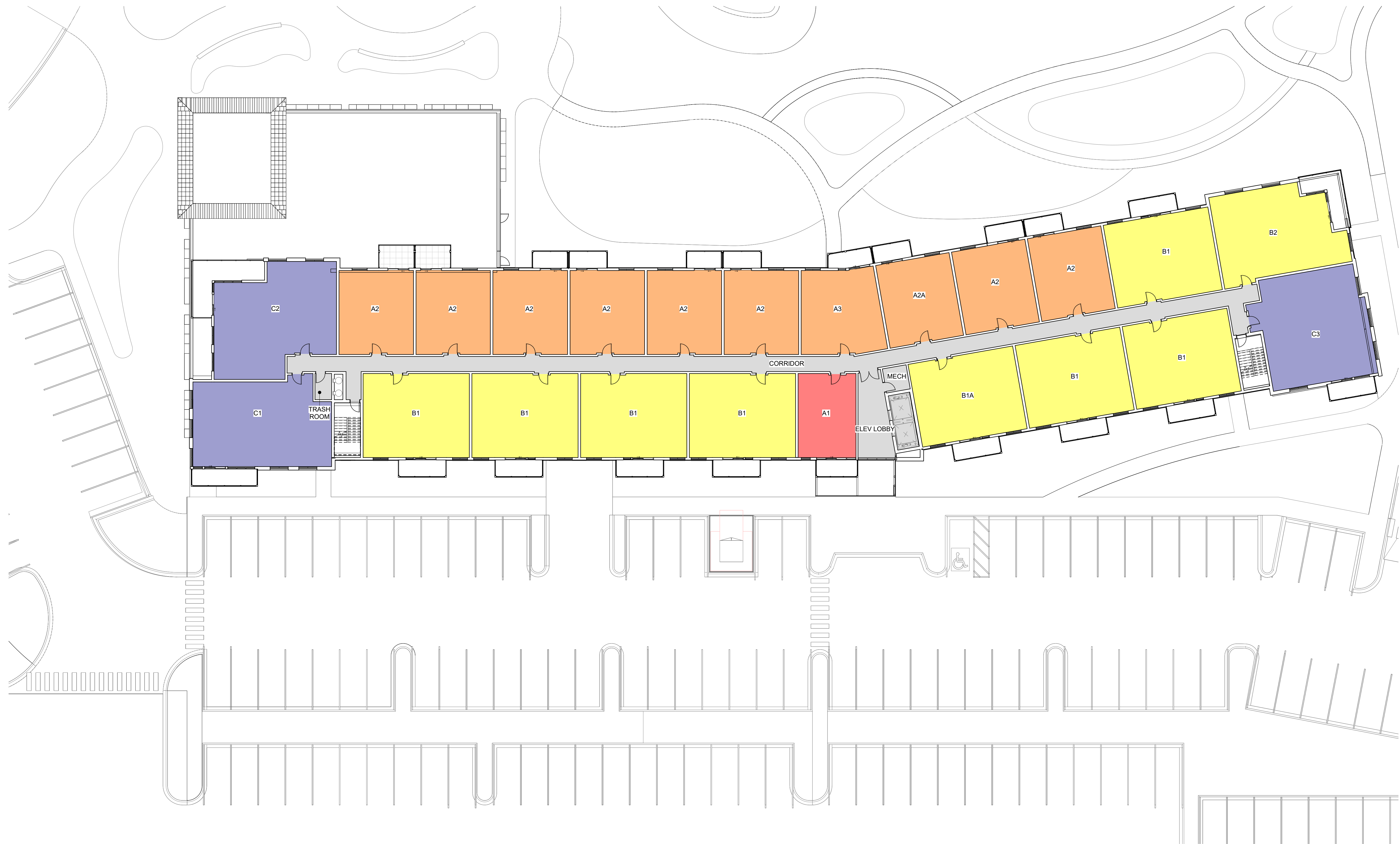
BUILDING A UNIT MATRIX				
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	5	588 SF
UNIT A2	1	1	24	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A3	1	1	3	794 SF
UNIT B1	2	2	23	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B2	2	2	3	1237 SF
UNIT C1	3	2	3	1380 SF
UNIT C2	3	2	3	1431 SF
UNIT C3	3	2	3	1420 SF
<b>TOTAL</b>			<b>69</b>	

LEGEND	
JR 1 BED	<span style="color: red;">■</span>
1 BED	<span style="color: orange;">■</span>
2 BED	<span style="color: yellow;">■</span>
3 BED	<span style="color: blue;">■</span>

SCALE: 1/16" = 1'-0"



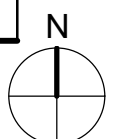


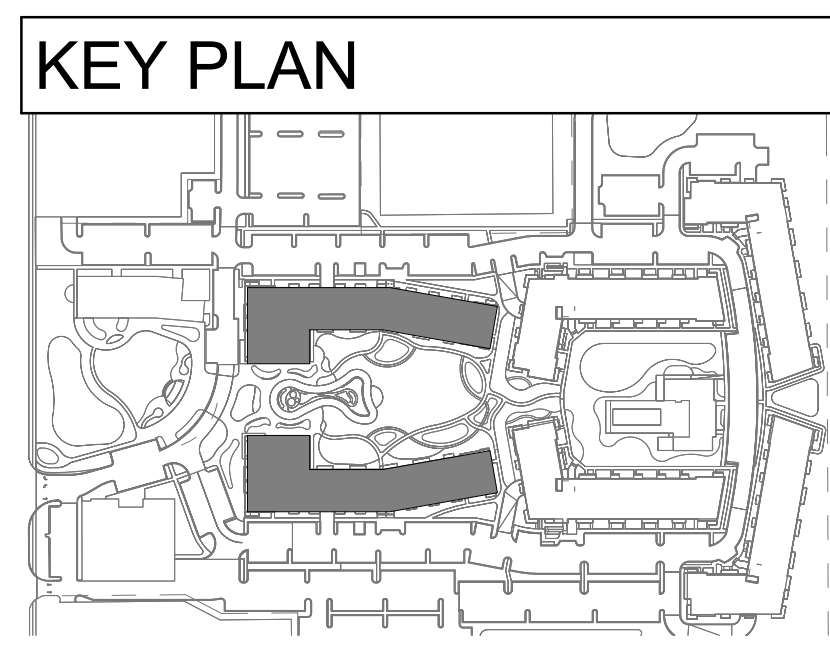
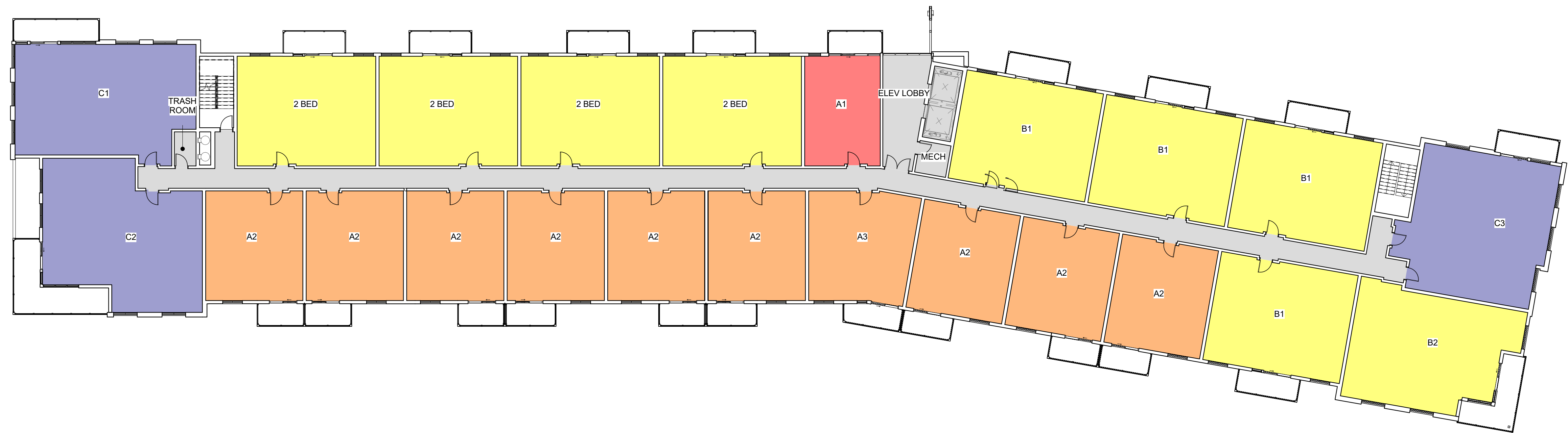


BUILDING B UNIT MATRIX				
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	3	588 SF
UNIT A2	1	1	26	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A3	1	1	3	794 SF
UNIT B1	2	2	23	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B2	2	2	3	1237 SF
UNIT C1	3	2	3	1380 SF
UNIT C2	3	2	3	1431 SF
UNIT C3	3	2	3	1420 SF
<b>TOTAL</b>			<b>69</b>	

LEGEND	
JR 1 BED	<span style="color: red;">■</span>
1 BED	<span style="color: orange;">■</span>
2 BED	<span style="color: yellow;">■</span>
3 BED	<span style="color: purple;">■</span>

SCALE: 1/16" = 1'-0"





**BUILDING B UNIT MATRIX**

TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	3	588 SF
UNIT A2	1	1	26	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A3	1	1	3	794 SF
UNIT B1	2	2	23	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B2	2	2	3	1237 SF
UNIT C1	3	2	3	1380 SF
UNIT C2	3	2	3	1431 SF
UNIT C3	3	2	3	1420 SF
<b>TOTAL</b>			<b>69</b>	

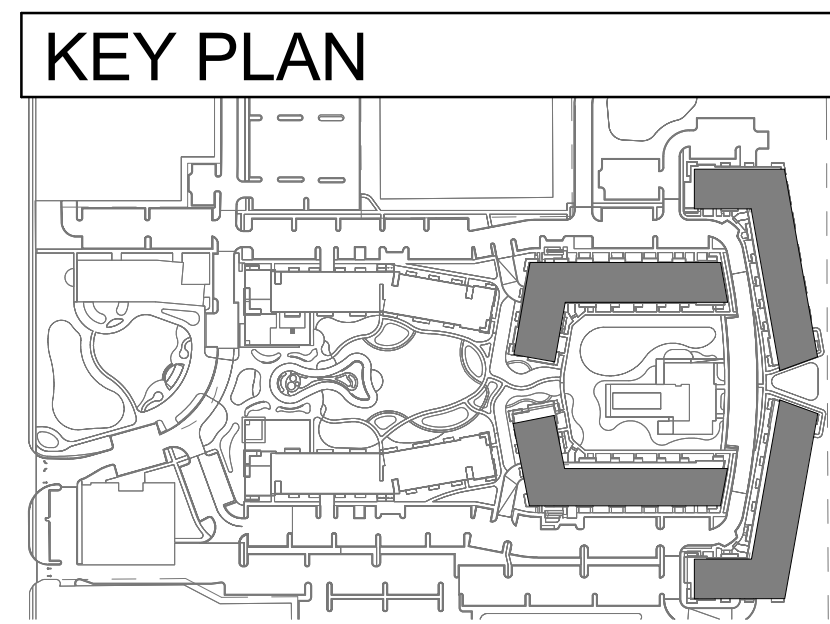
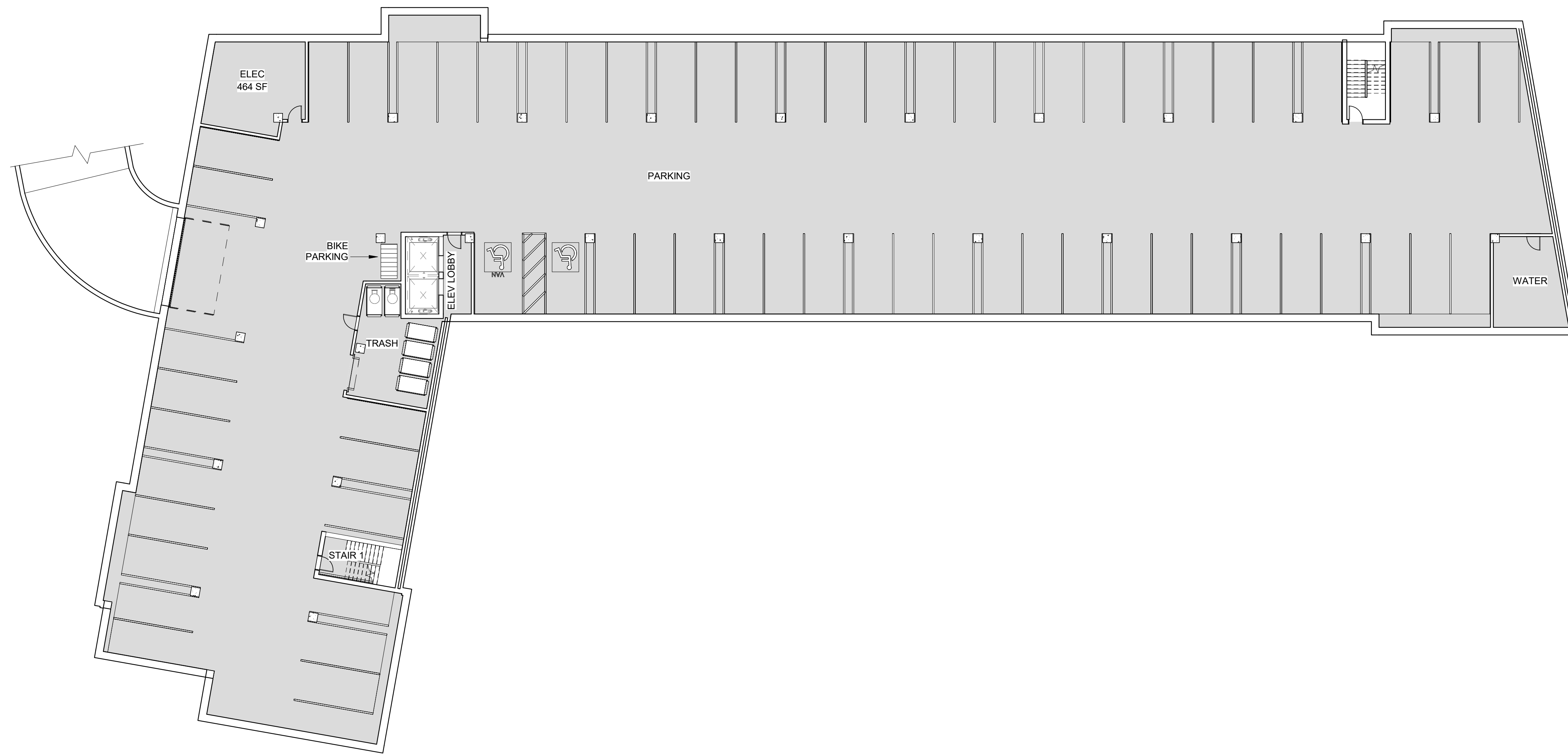
**BUILDING A UNIT MATRIX**

TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	5	588 SF
UNIT A2	1	1	24	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A3	1	1	3	794 SF
UNIT B1	2	2	23	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B2	2	2	3	1237 SF
UNIT C1	3	2	3	1380 SF
UNIT C2	3	2	3	1431 SF
UNIT C3	3	2	3	1420 SF
<b>TOTAL</b>			<b>69</b>	

**LEGEND**

- JR 1 BED ■
- 1 BED ■
- 2 BED ■
- 3 BED ■





**BUILDING C/D UNIT MATRIX**

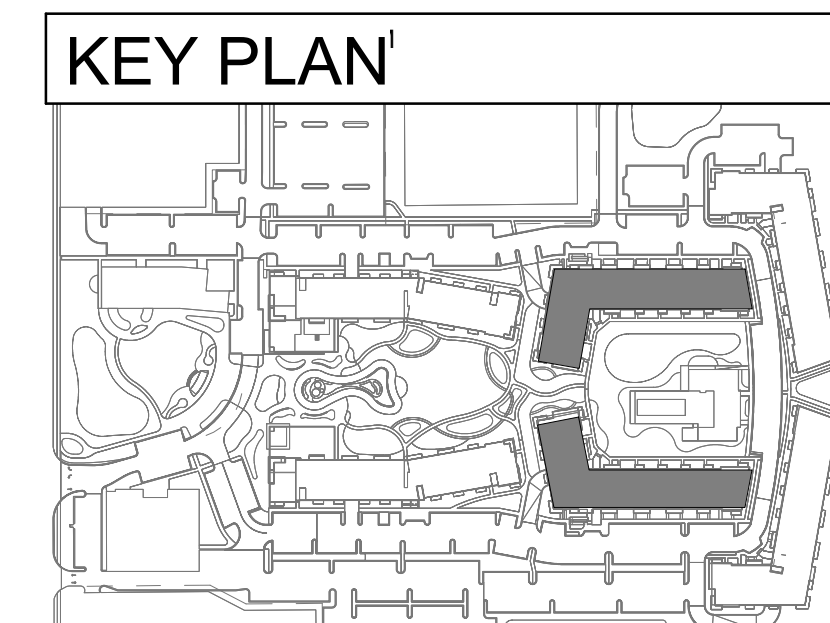
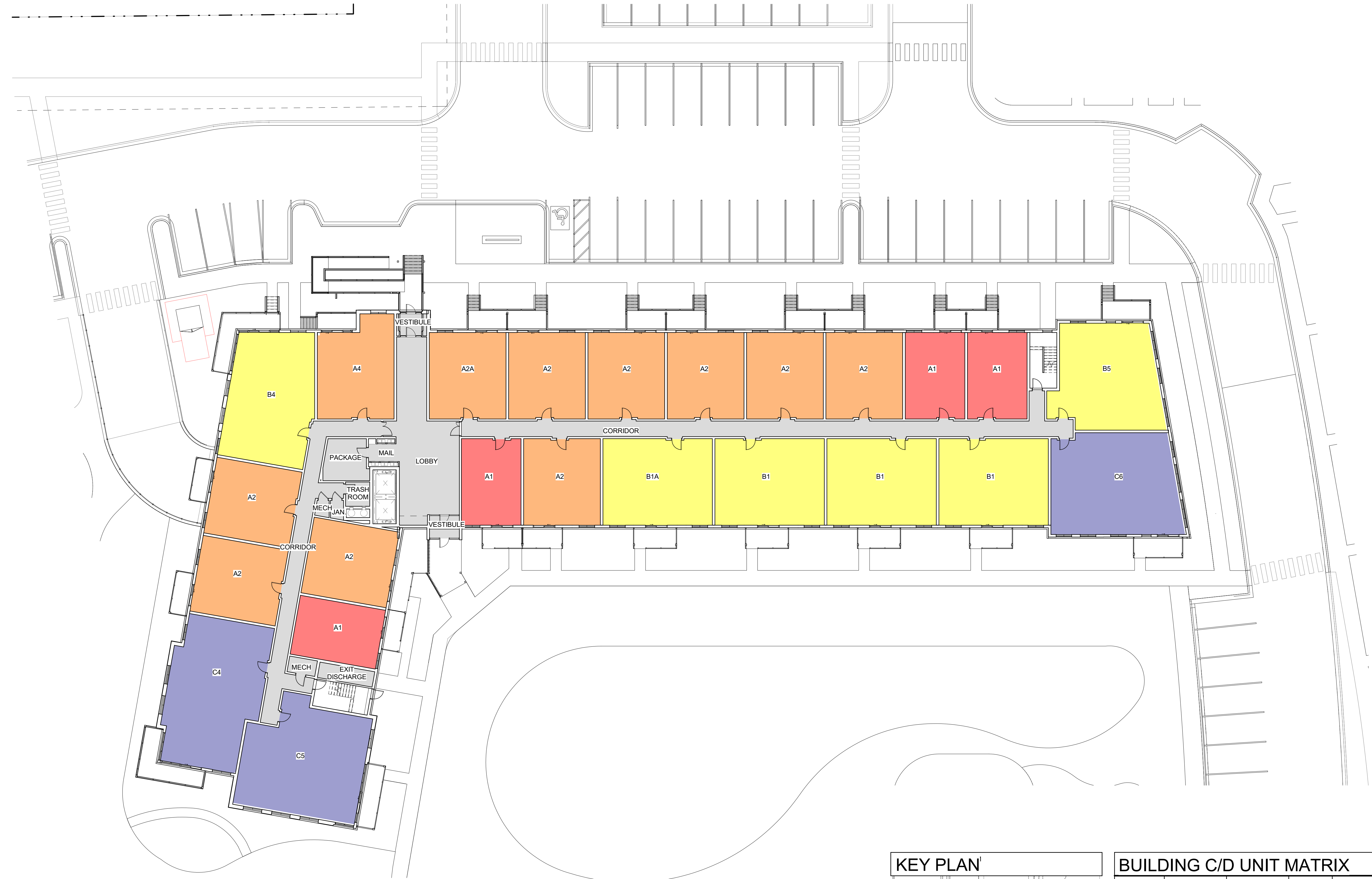
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	8	588 SF
UNIT A2	1	1	33	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A4	1	1	1	835 SF
UNIT B1	2	2	11	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B3	2	2	2	1196 SF
UNIT B4	2	2	3	1225 SF
UNIT B5	2	2	3	1202 SF
UNIT C4	3	2	3	1457 SF
UNIT C5	3	2	3	1451 SF
UNIT C6	3	2	3	1415 SF
<b>TOTAL</b>			<b>72</b>	

**BUILDING E/F UNIT MATRIX**

TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	8	588 SF
UNIT A2	1	1	33	744 SF
UNIT A2A	1	1	1	744 SF
UNIT B1	2	2	11	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B3	2	2	3	1196 SF
UNIT B4	2	2	3	1225 SF
UNIT B5	2	2	3	1202 SF
UNIT C4	3	2	3	1457 SF
UNIT C5	3	2	3	1451 SF
UNIT C6	3	2	3	1415 SF
<b>TOTAL</b>			<b>72</b>	

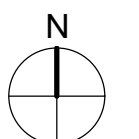
**LEGEND**

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2 BED	<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>
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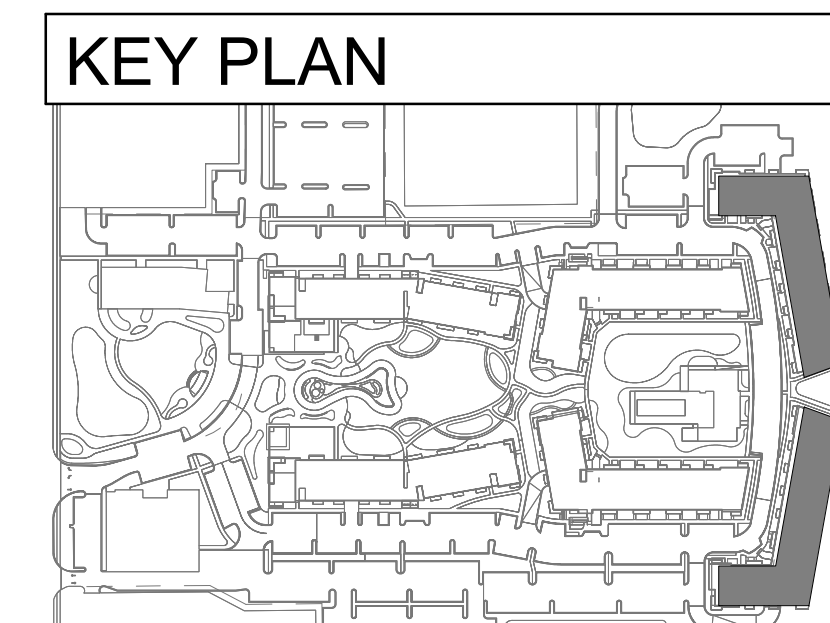


BUILDING C/D UNIT MATRIX				
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	8	588 SF
UNIT A2	1	1	33	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A4	1	1	1	835 SF
UNIT B1	2	2	11	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B3	2	2	2	1196 SF
UNIT B4	2	2	3	1225 SF
UNIT B5	2	2	3	1202 SF
UNIT C4	3	2	3	1457 SF
UNIT C5	3	2	3	1451 SF
UNIT C6	3	2	3	1415 SF
<b>TOTAL</b>			<b>72</b>	

LEGEND	
JR 1 BED	<span style="color: red;">■</span>
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2 BED	<span style="color: yellow;">■</span>
3 BED	<span style="color: purple;">■</span>

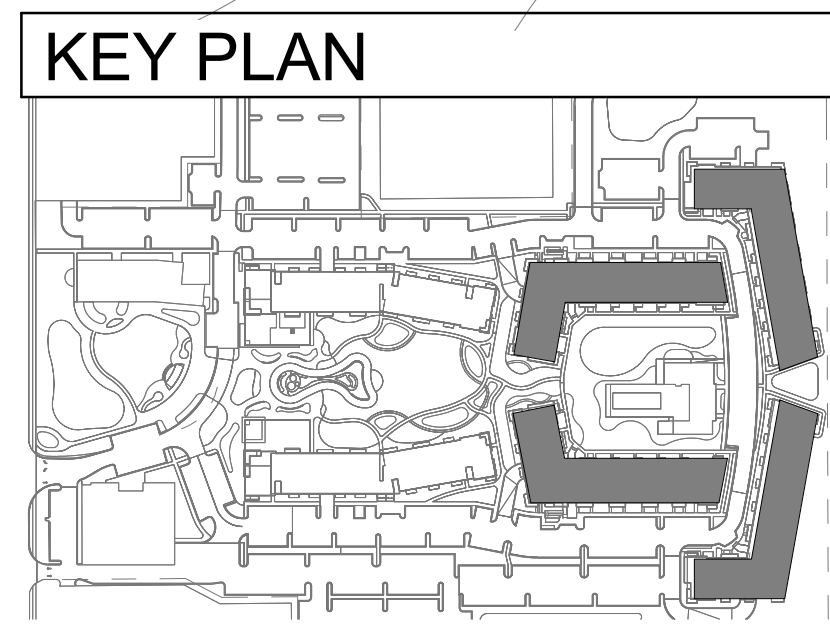
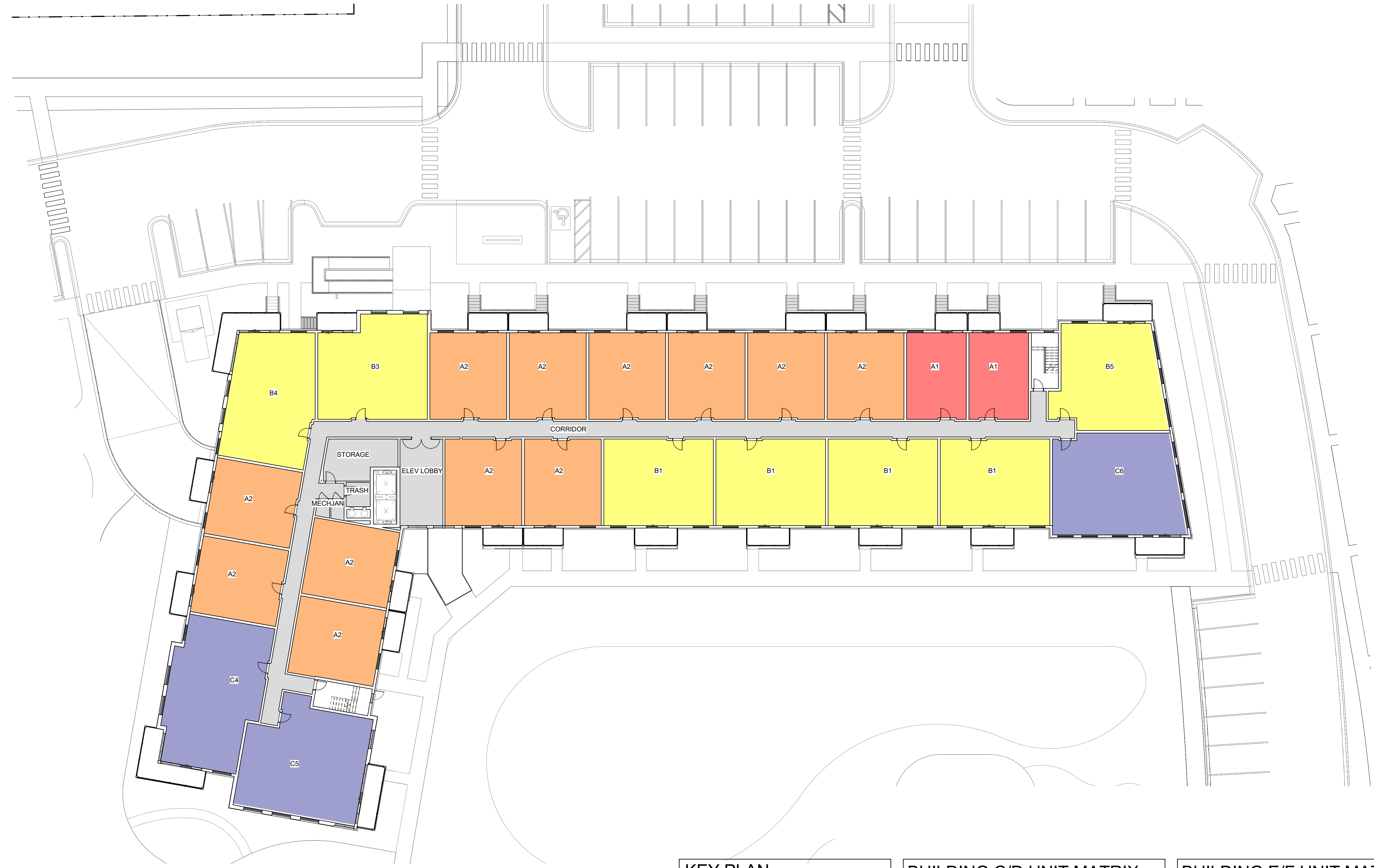






BUILDING E/F UNIT MATRIX				
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	8	588 SF
UNIT A2	1	1	33	744 SF
UNIT A2A	1	1	1	744 SF
UNIT B1	2	2	11	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B3	2	2	3	1196 SF
UNIT B4	2	2	3	1225 SF
UNIT B5	2	2	3	1202 SF
UNIT C4	3	2	3	1457 SF
UNIT C5	3	2	3	1451 SF
UNIT C6	3	2	3	1415 SF
<b>TOTAL</b>			<b>72</b>	

LEGEND	
JR 1 BED	<span style="color: red;">■</span>
1 BED	<span style="color: orange;">■</span>
2 BED	<span style="color: yellow;">■</span>
3 BED	<span style="color: purple;">■</span>



**BUILDING C/D UNIT MATRIX**

TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	8	588 SF
UNIT A2	1	1	33	744 SF
UNIT A2A	1	1	1	744 SF
UNIT A4	1	1	1	835 SF
UNIT B1	2	2	11	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B3	2	2	2	1196 SF
UNIT B4	2	2	3	1225 SF
UNIT B5	2	2	3	1202 SF
UNIT C4	3	2	3	1457 SF
UNIT C5	3	2	3	1451 SF
UNIT C6	3	2	3	1415 SF
<b>TOTAL</b>			<b>72</b>	

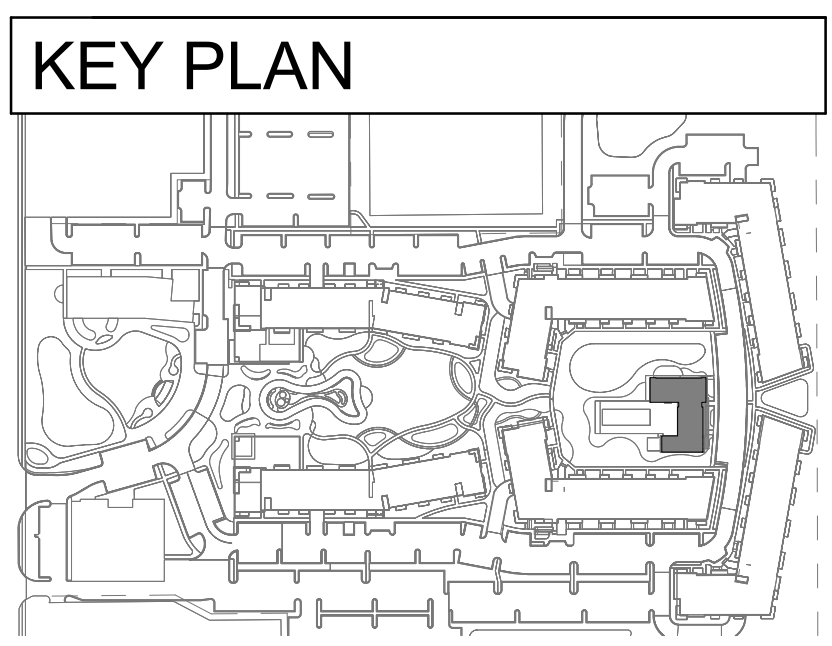
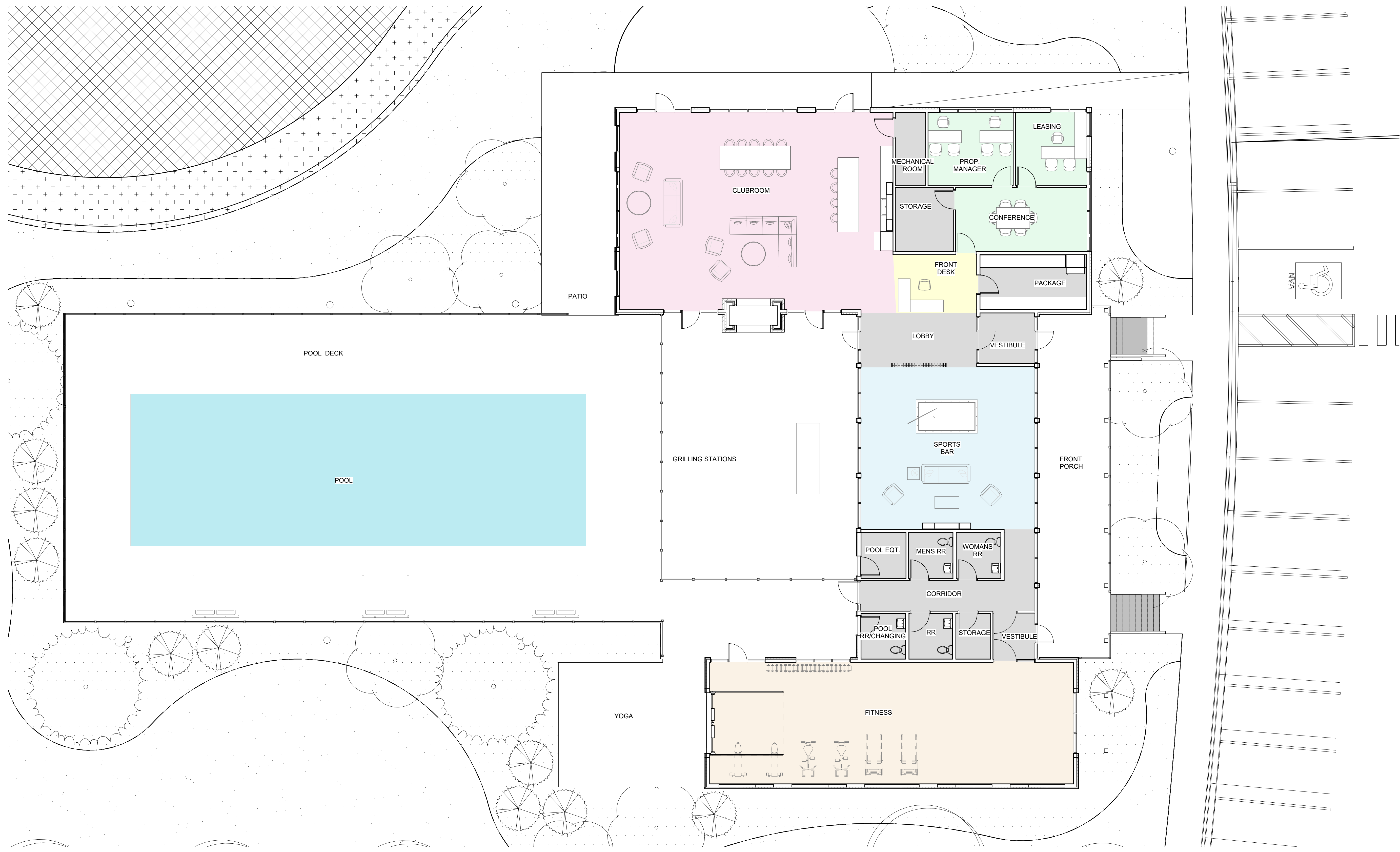
**BUILDING E/F UNIT MATRIX**

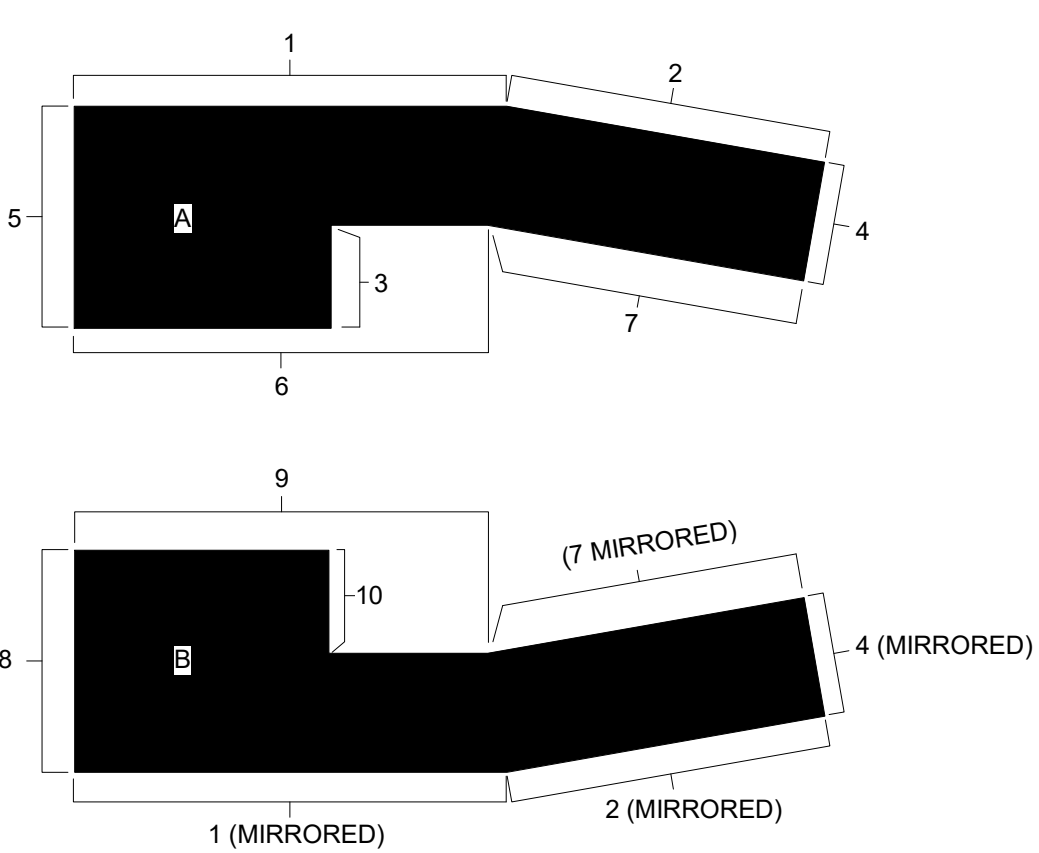
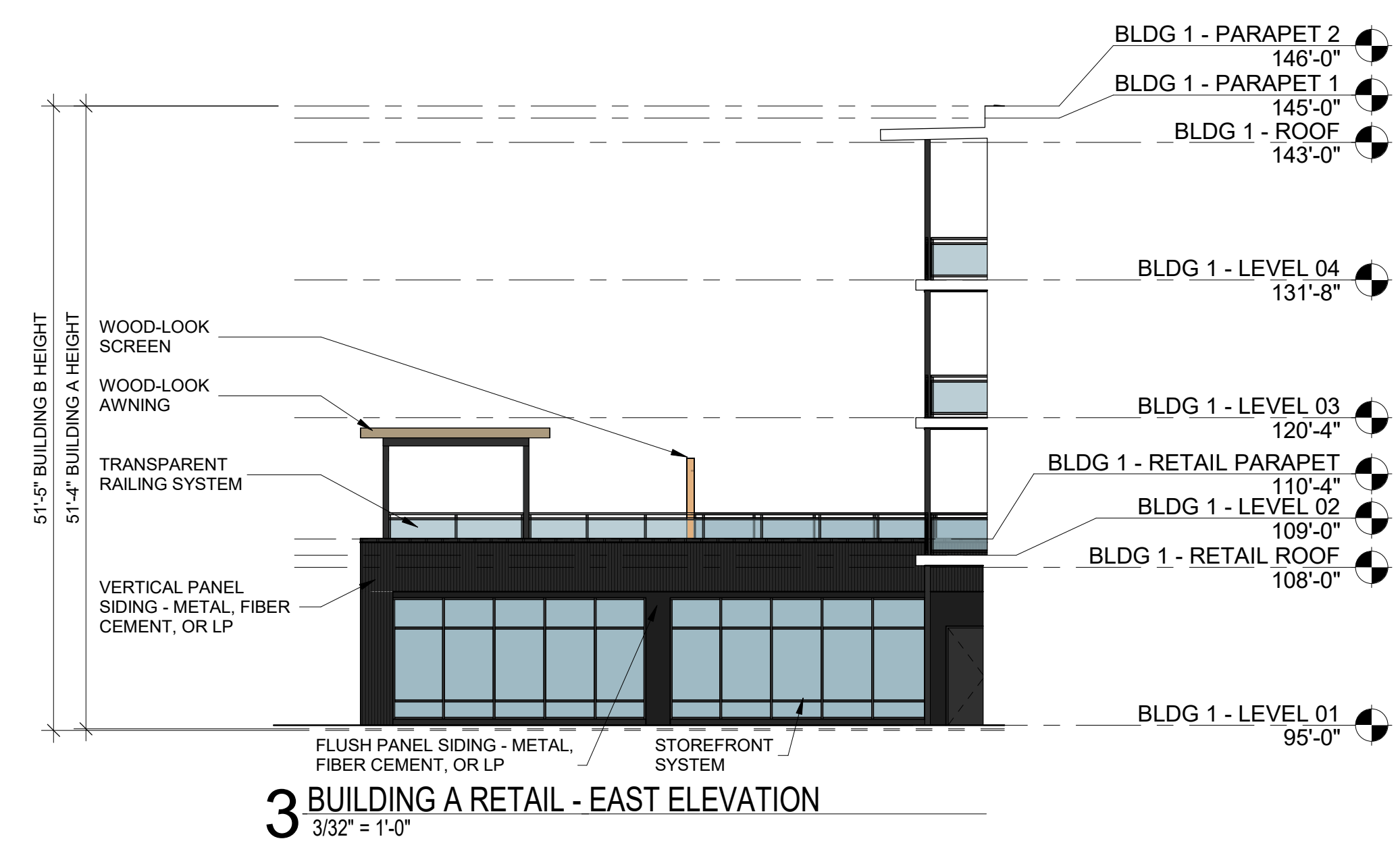
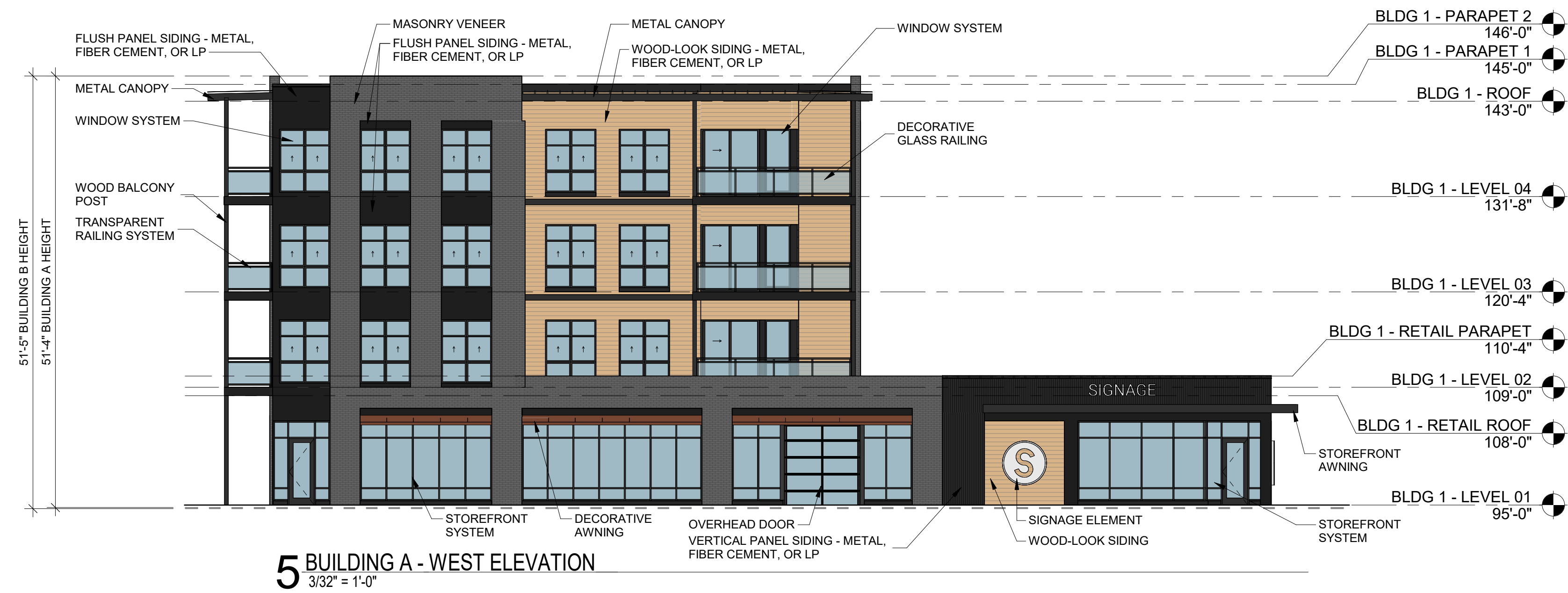
TYPE	BEDROOMS	BATHROOMS	COUNT	UNIT SF
UNIT A1	1	1	8	588 SF
UNIT A2	1	1	33	744 SF
UNIT A2A	1	1	1	744 SF
UNIT B1	2	2	11	1051 SF
UNIT B1A	2	2	1	1051 SF
UNIT B3	2	2	3	1196 SF
UNIT B4	2	2	3	1225 SF
UNIT B5	2	2	3	1202 SF
UNIT C4	3	2	3	1457 SF
UNIT C5	3	2	3	1451 SF
UNIT C6	3	2	3	1415 SF
<b>TOTAL</b>			<b>72</b>	

**LEGEND**

JR 1 BED	<span style="color: red;">■</span>
1 BED	<span style="color: orange;">■</span>
2 BED	<span style="color: yellow;">■</span>
3 BED	<span style="color: purple;">■</span>



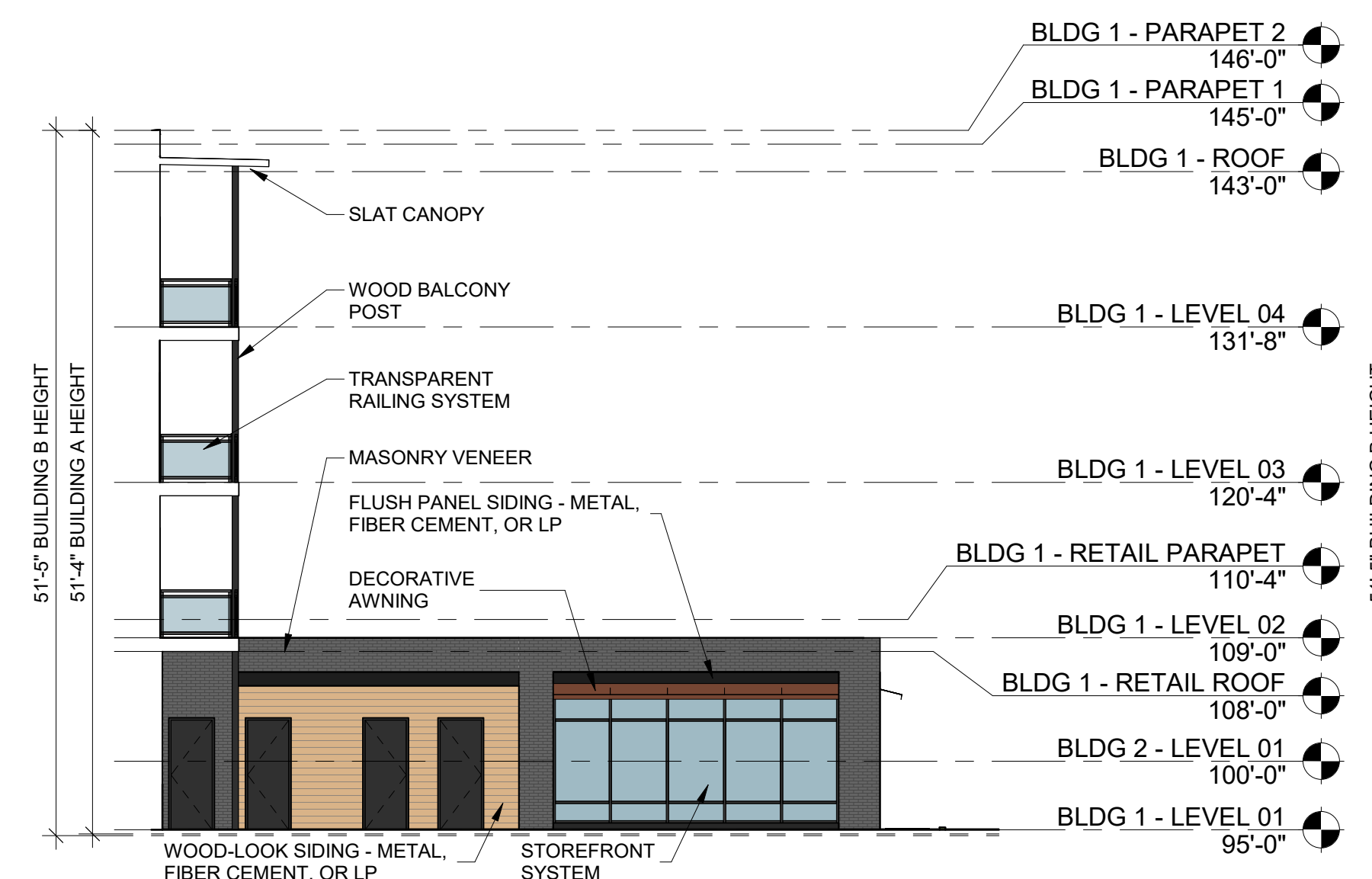




KEY PLAN - BUILDING A & B

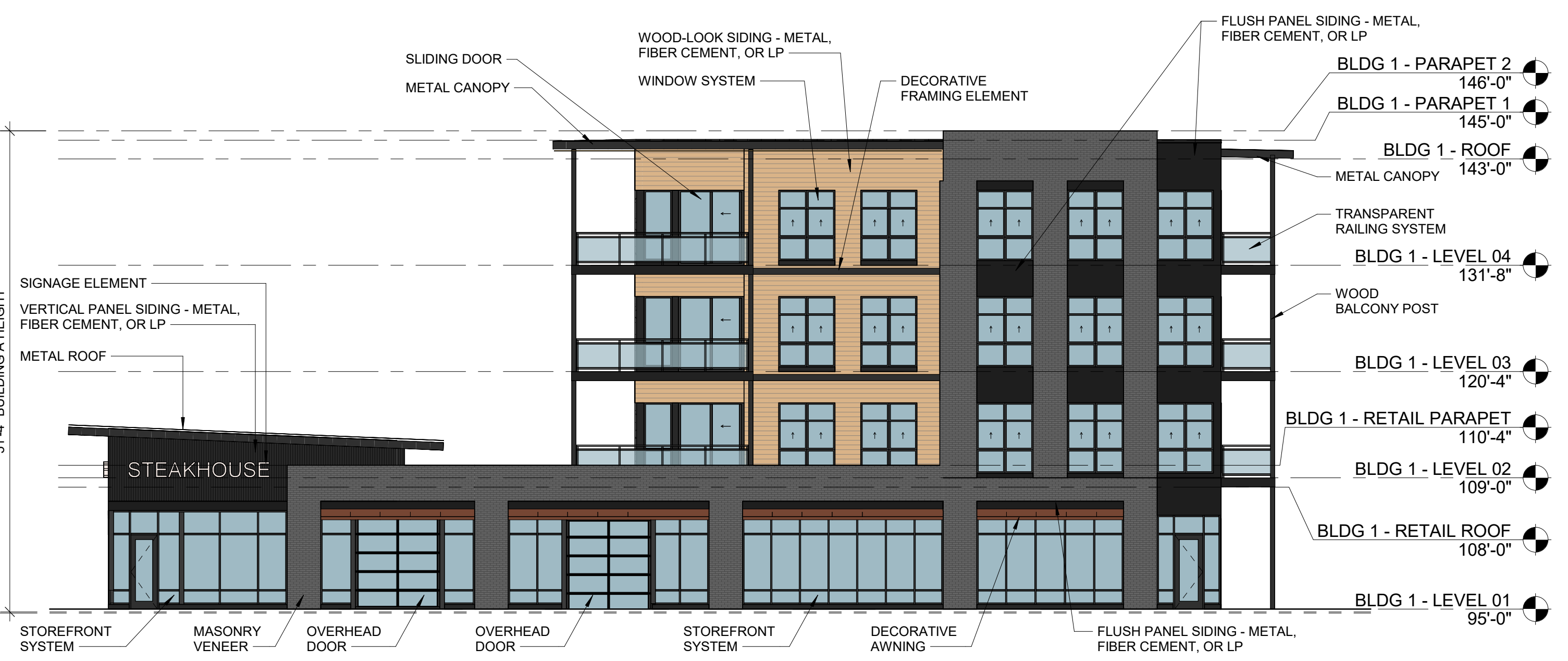
1 BUILDING A/B ELEVATION  
3/32" = 1'-0"





10 BUILDING B RETAIL - EAST ELEVATION  
3/32" = 1'-0"

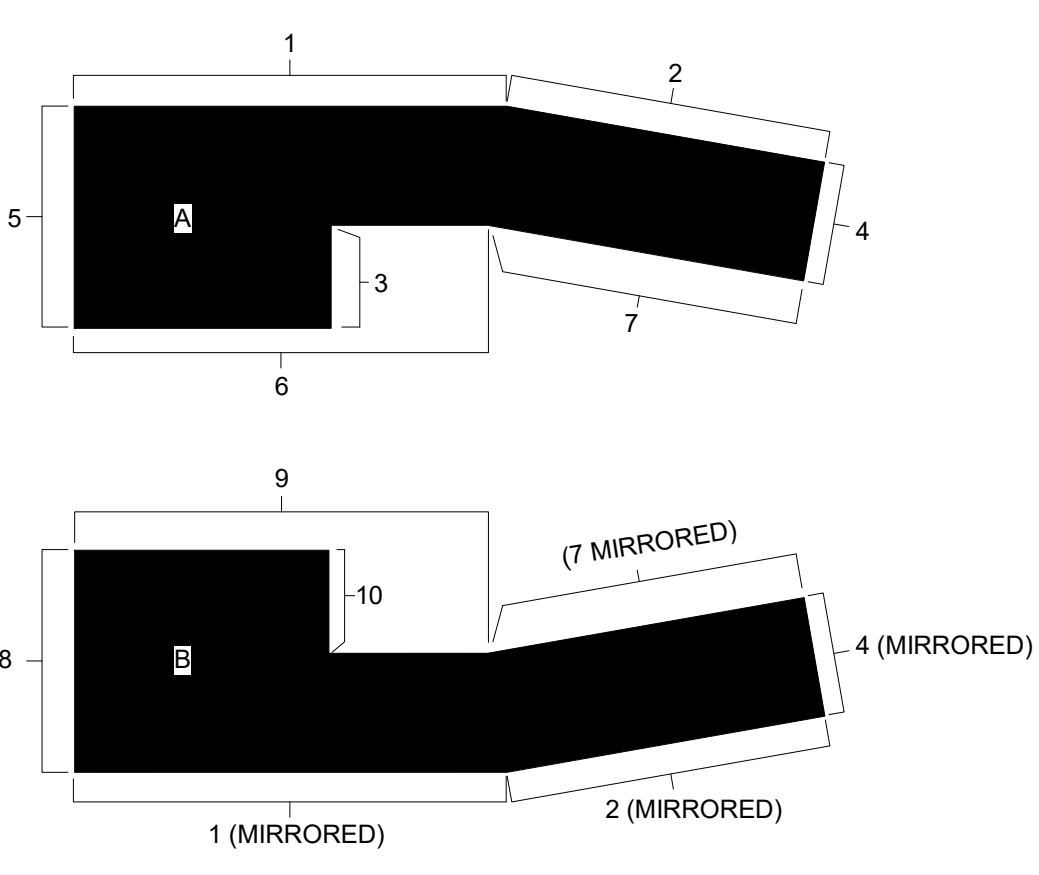
9 BUILDING B RETAIL - NORTH ELEVATION  
3/32" = 1'-0"



8 BUILDING B RETAIL - WEST ELEVATION  
3/32" = 1'-0"



7 BUILDING A/B ELEVATION  
3/32" = 1'-0"



KEY PLAN - BUILDING A & B



6 BUILDING A - SOUTH ELEVATION  
3/32" = 1'-0"





BUILDING C ELEVATION (BUILDING D 4 MIRRORED)  
3/32" = 1'-0"



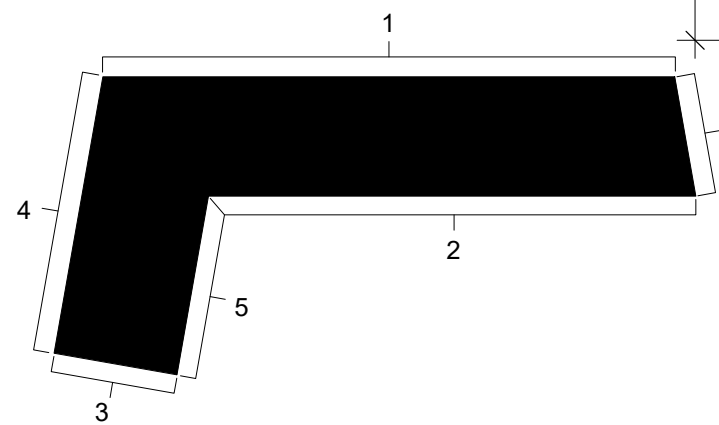
BUILDING C ELEVATION (BUILDING D 3 MIRRORED)  
3/32" = 1'-0"



BUILDING C ELEVATION (BUILDING D 2 MIRRORED)  
3/32" = 1'-0"

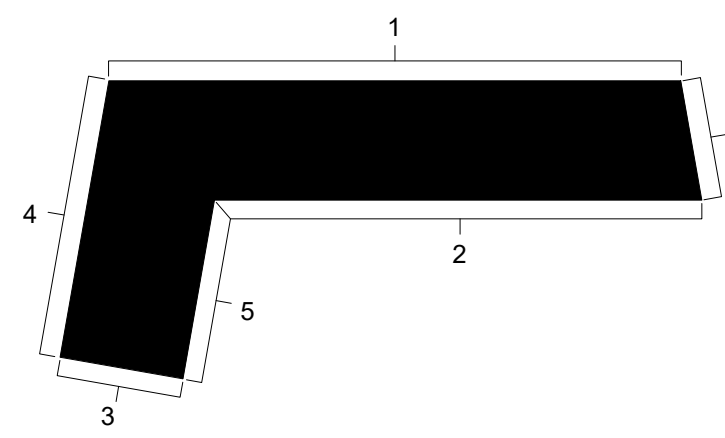


BUILDING C ELEVATION (BUILDING D 1 MIRRORED)  
3/32" = 1'-0"



KEY PLAN - BUILDING C (BUILDING D MIRRORED)





KEY PLAN - BUILDING C (BUILDING D MIRRORED)



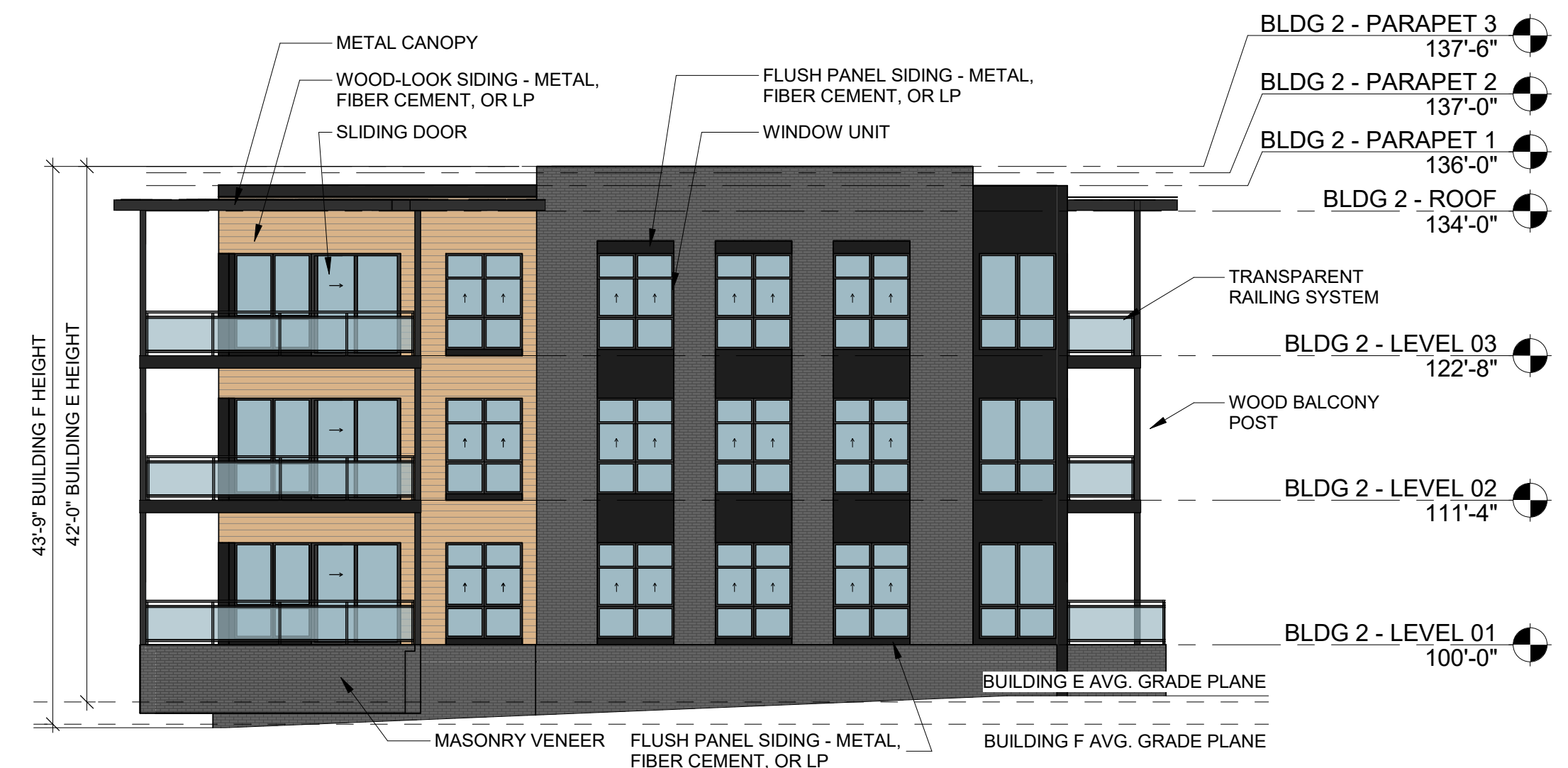
BUILDING C ELEVATION (BUILDING D MIRRORED)  
6  
3/32" = 1'-0"



BUILDING C ELEVATION (BUILDING D MIRRORED)  
5  
3/32" = 1'-0"



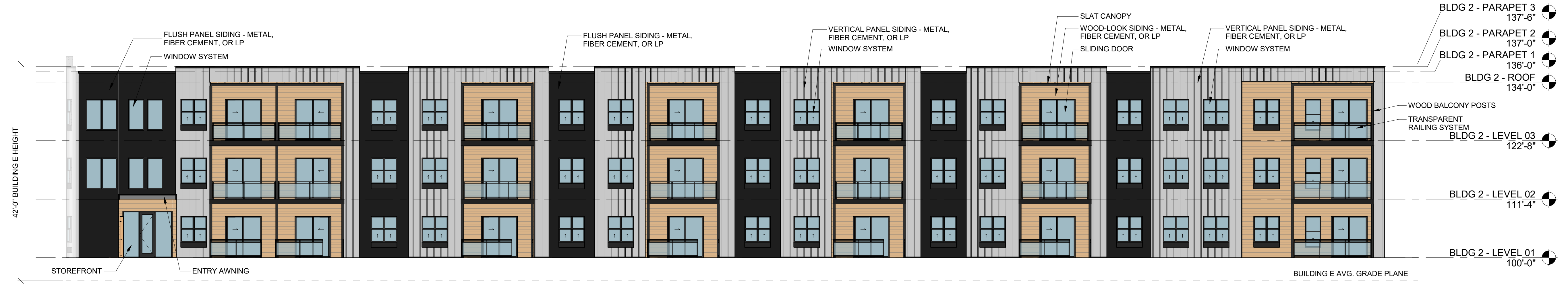
4 BUILDING E/F ELEVATION  
3/32" = 1'-0"



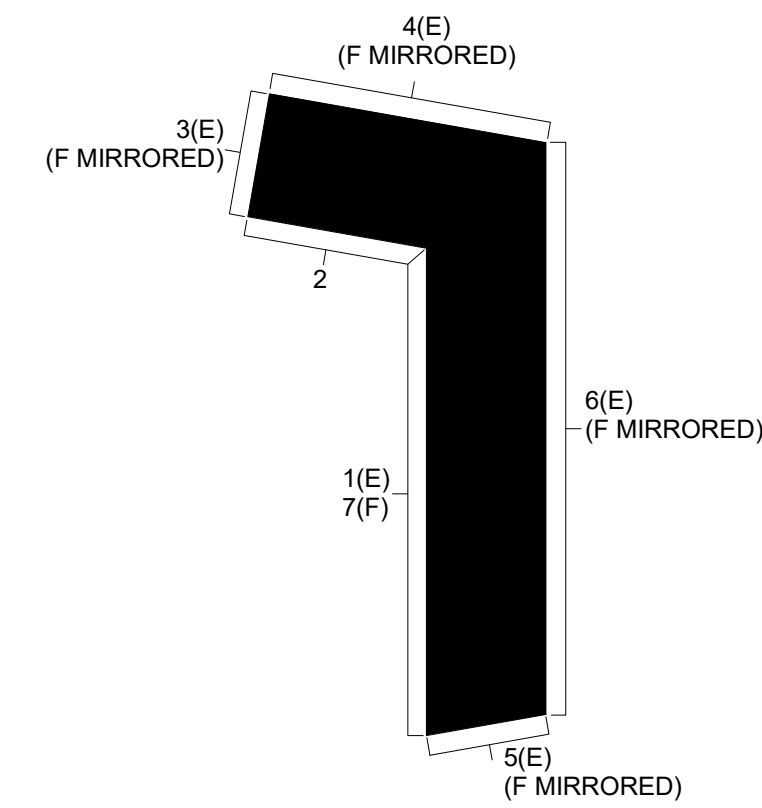
3 BUILDING E/F ELEVATION  
3/32" = 1'-0"



2 BUILDING E/F ELEVATION  
3/32" = 1'-0"



1 BUILDING E ELEVATION  
3/32" = 1'-0"



KEY PLAN - BUILDING E/F

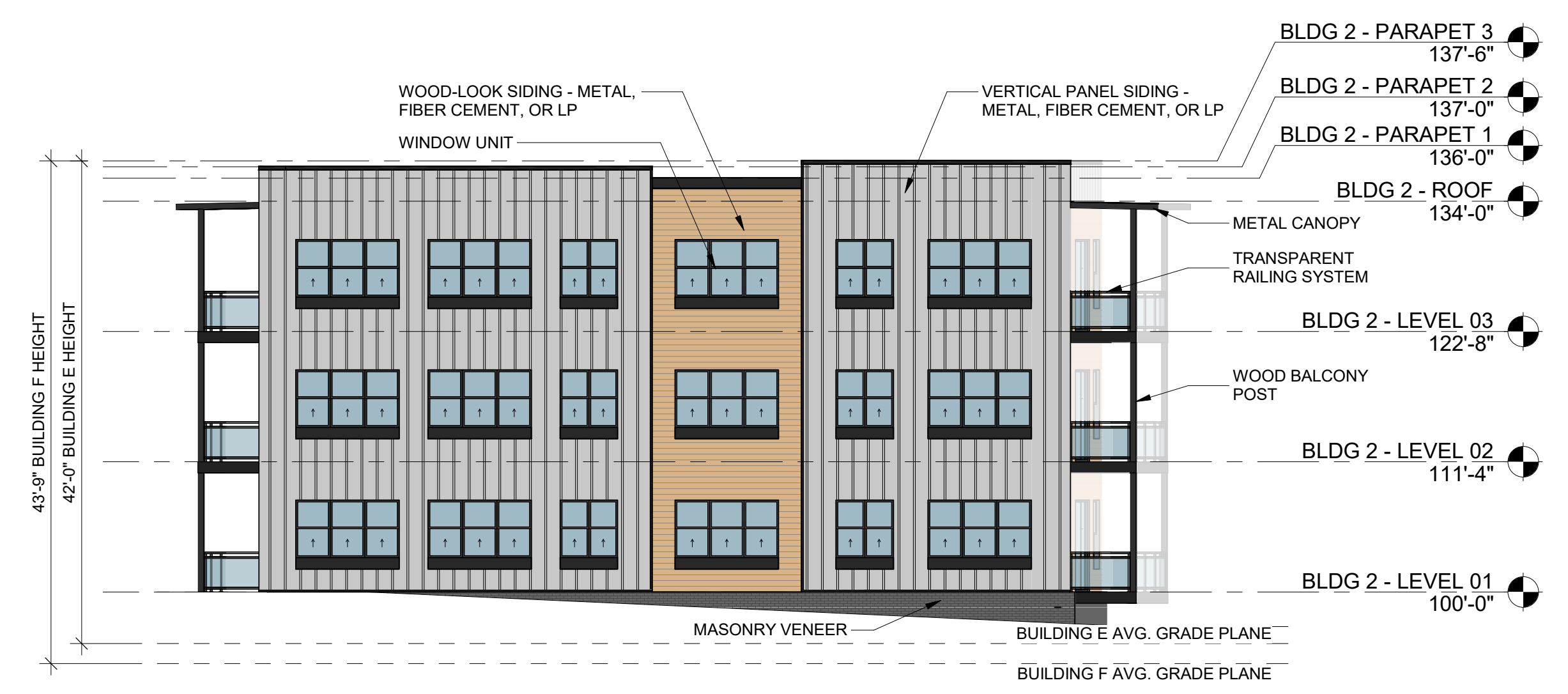




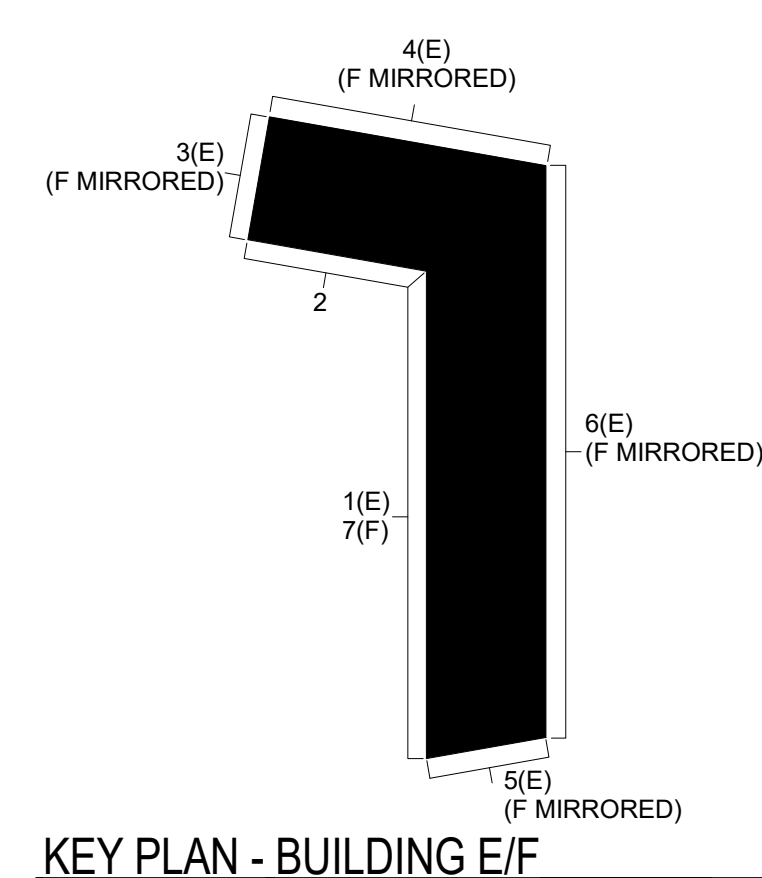
**7 BUILDING F ELEVATION**  
3/32" = 1'-0"



**6 BUILDING E/F ELEVATION**  
3/32" = 1'-0"



**5 BUILDING E/F ELEVATION**  
3/32" = 1'-0"



KEY PLAN - BUILDING E/F



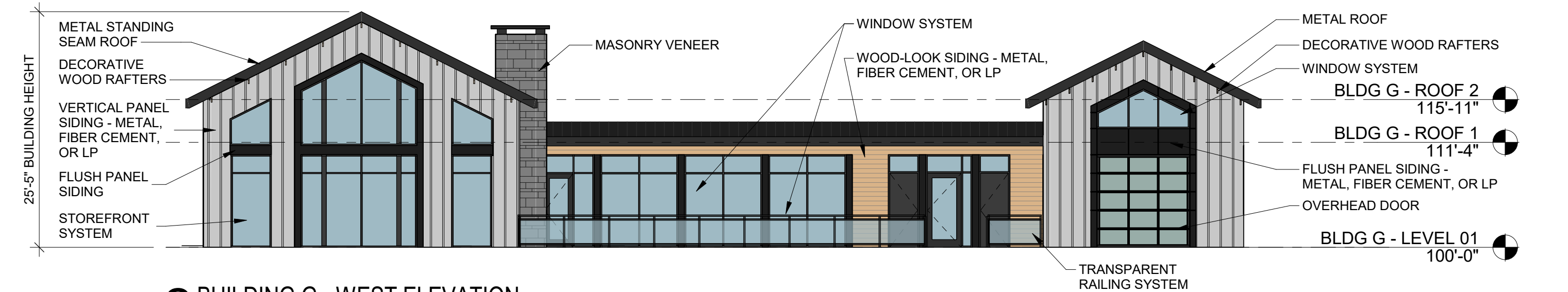
**5 BUILDING G - SOUTH ELEVATION 2**  
3/32" = 1'-0"



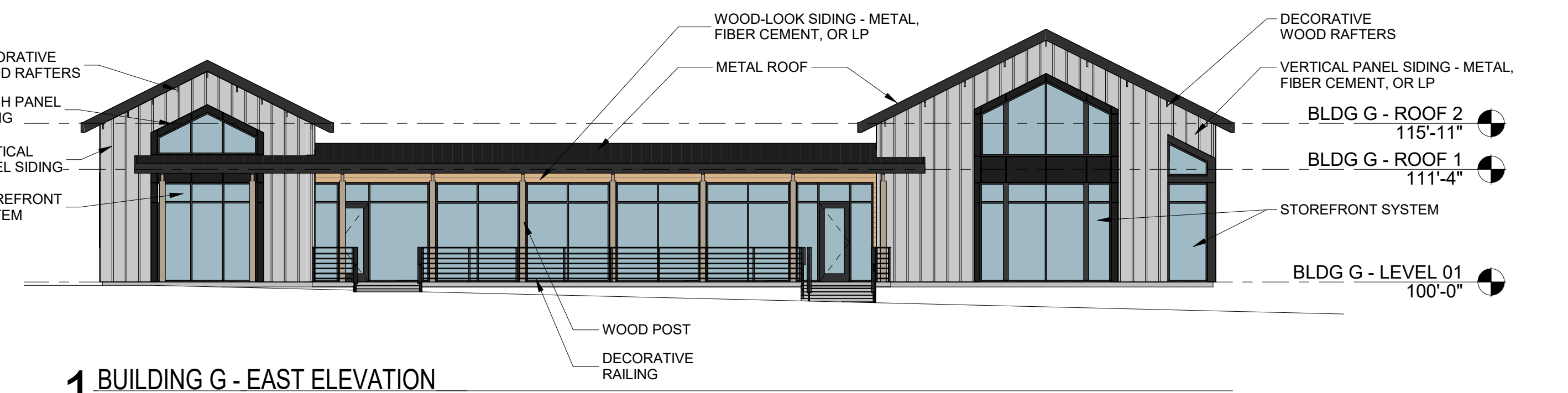
**4 BUILDING G - SOUTH ELEVATION**  
3/32" = 1'-0"



**3 BUILDING G - NORTH ELEVATION**  
3/32" = 1'-0"



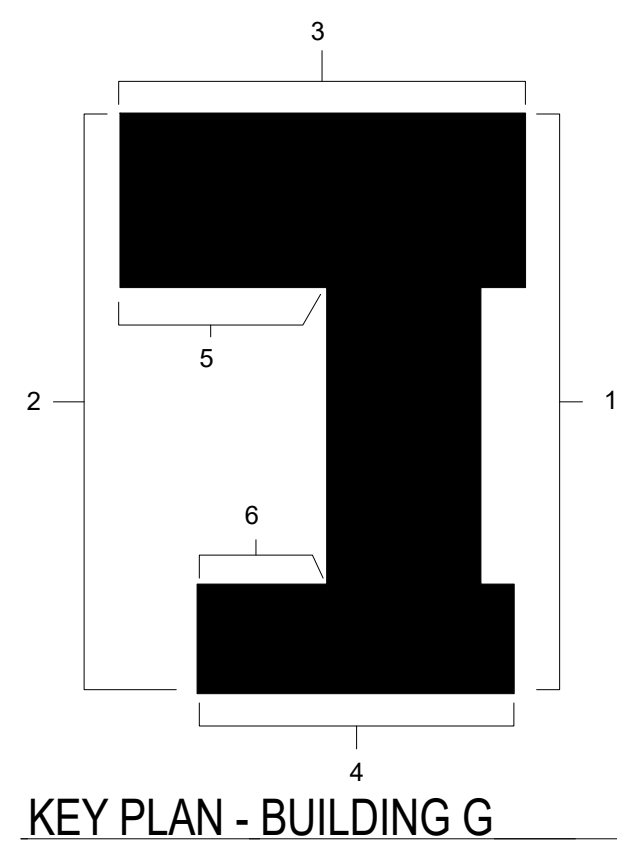
**2 BUILDING G - WEST ELEVATION**  
3/32" = 1'-0"



**1 BUILDING G - EAST ELEVATION**  
3/32" = 1'-0"

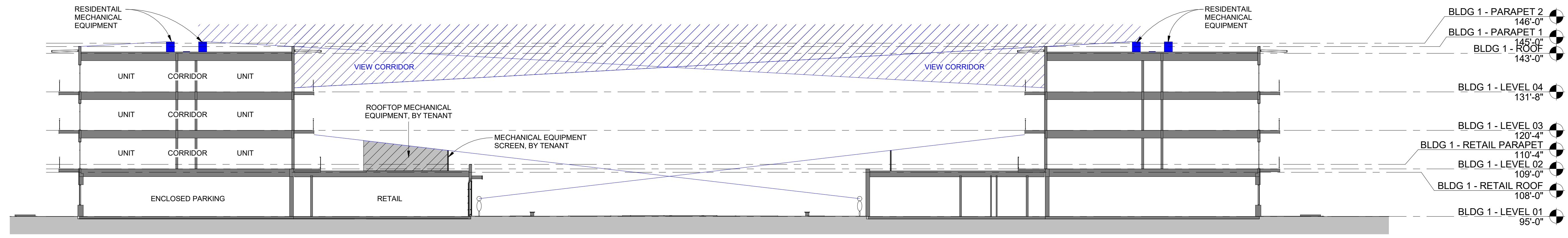


**6 BUILDING G - NORTH ELEVATION 2**  
3/32" = 1'-0"

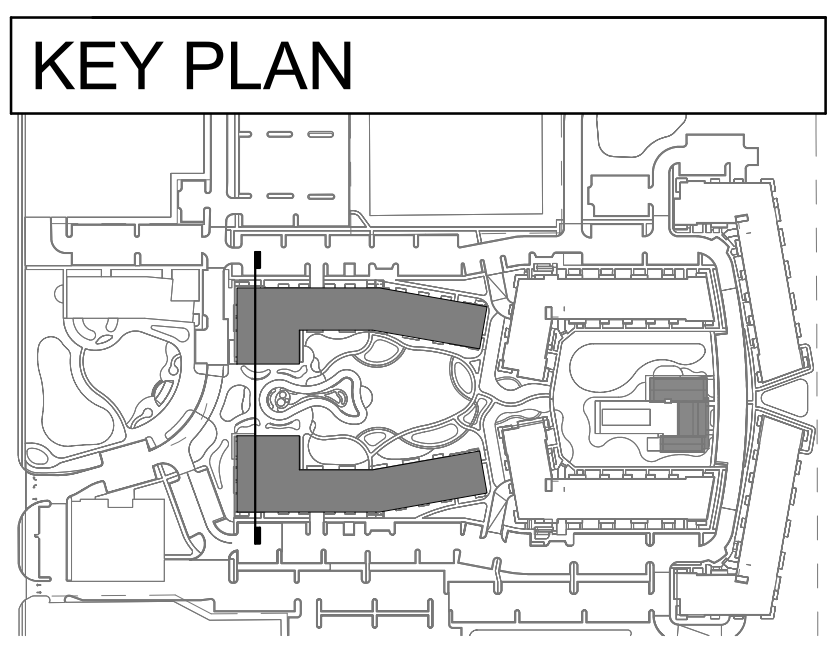


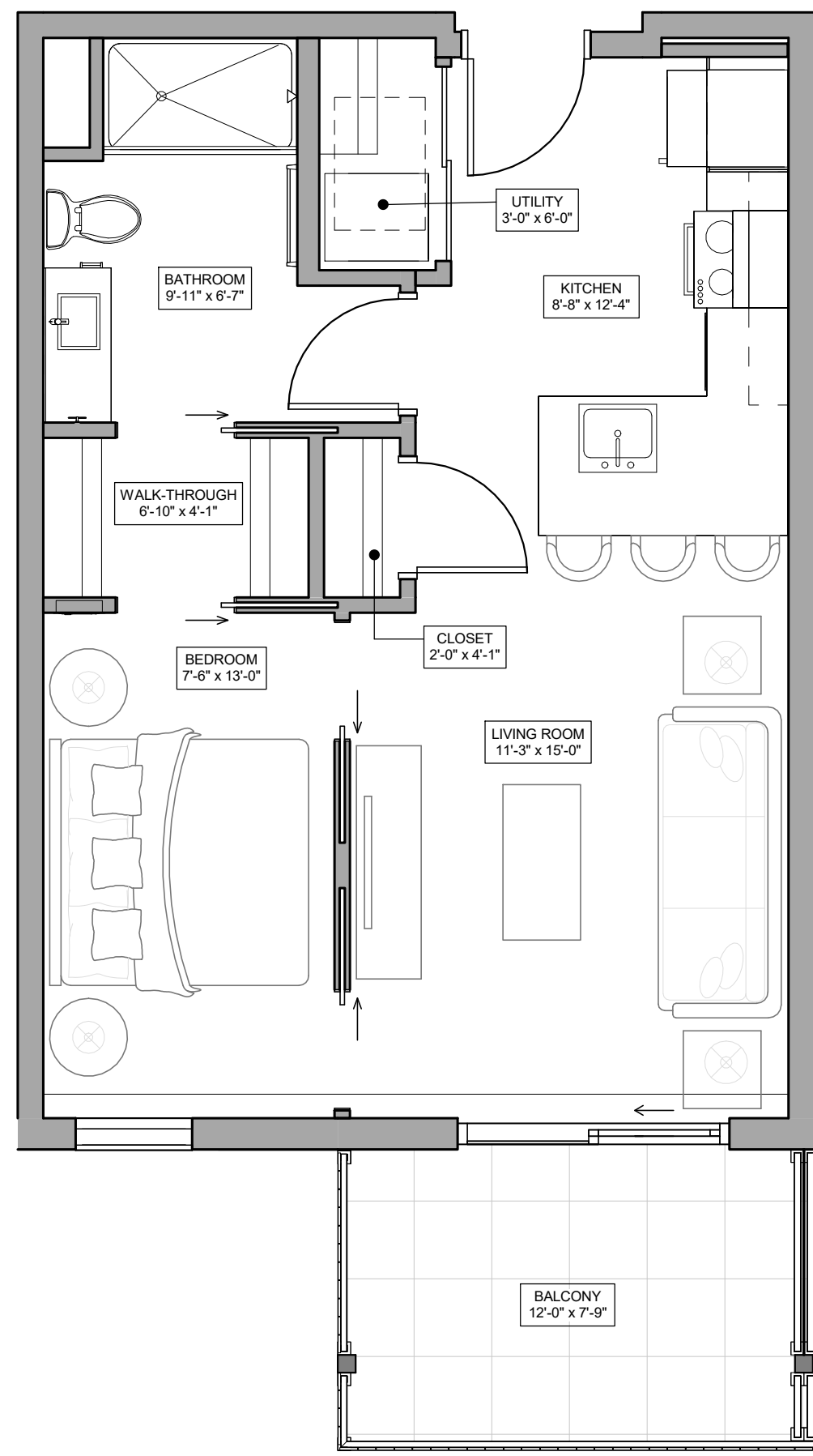
KEY PLAN - BUILDING G



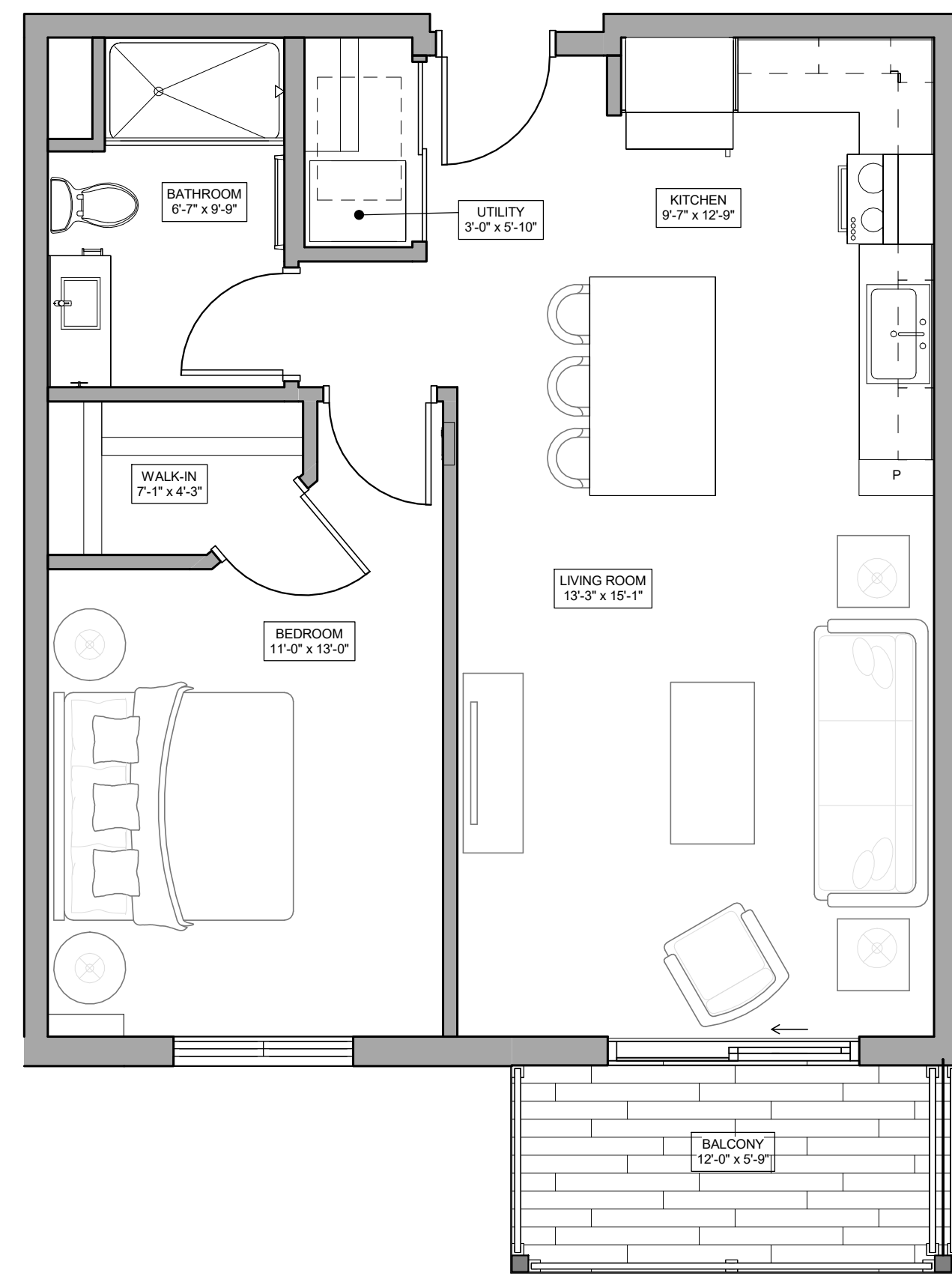


BUILDING A/B SCREEN SECTION DIAGRAM

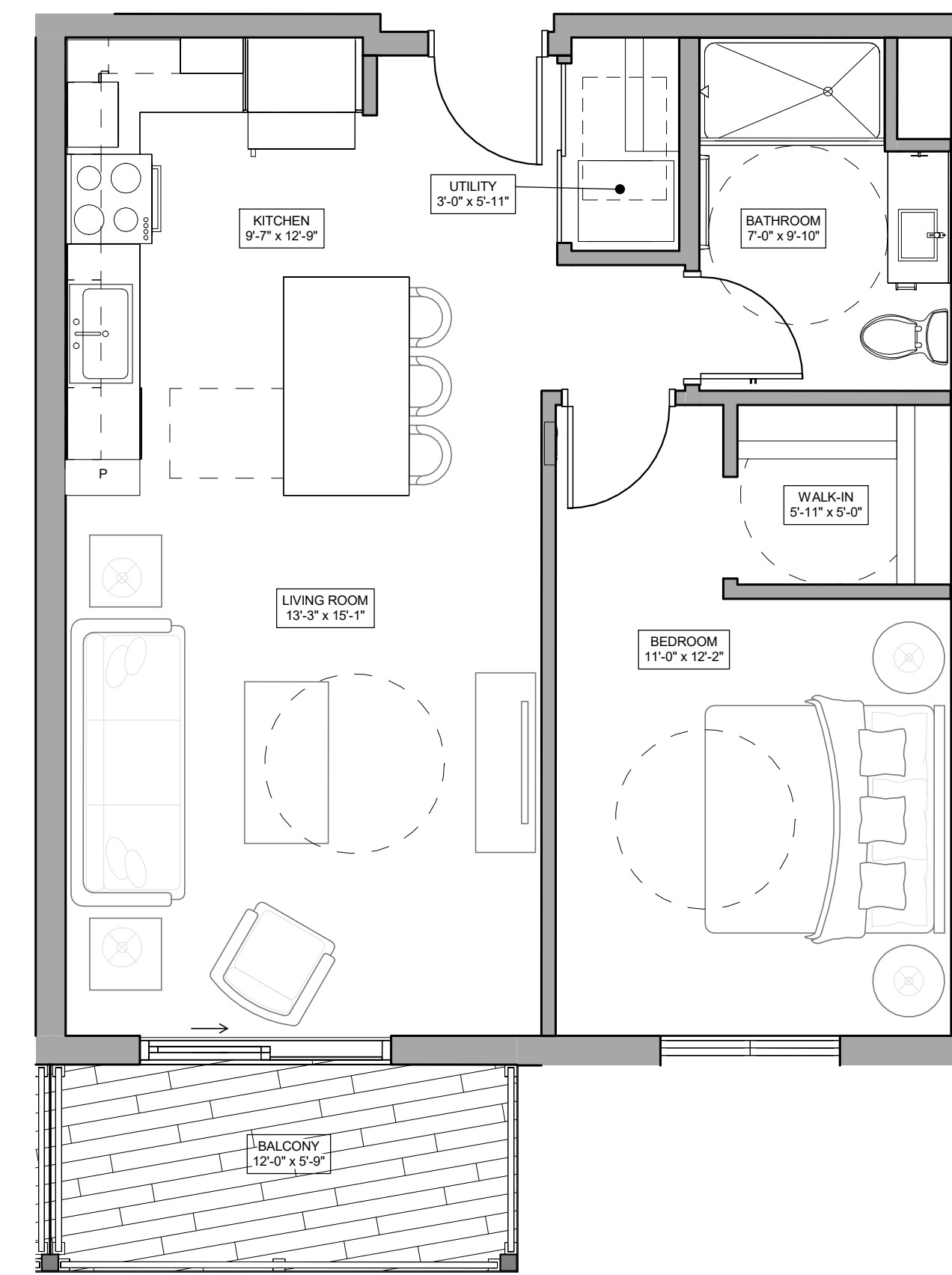




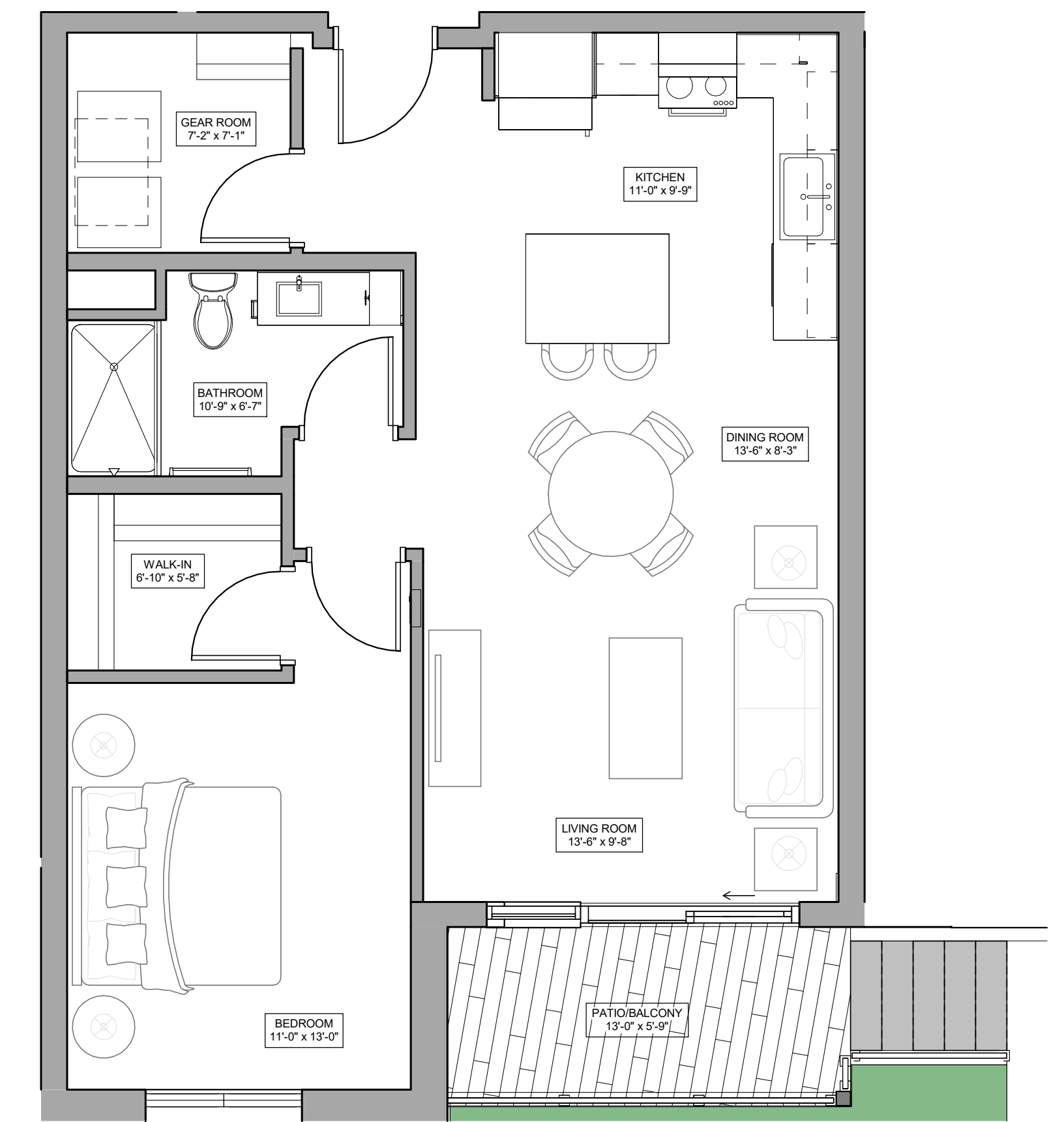
1 UNIT A1 - JR 1 BED PLAN  
1/4" = 1'-0"



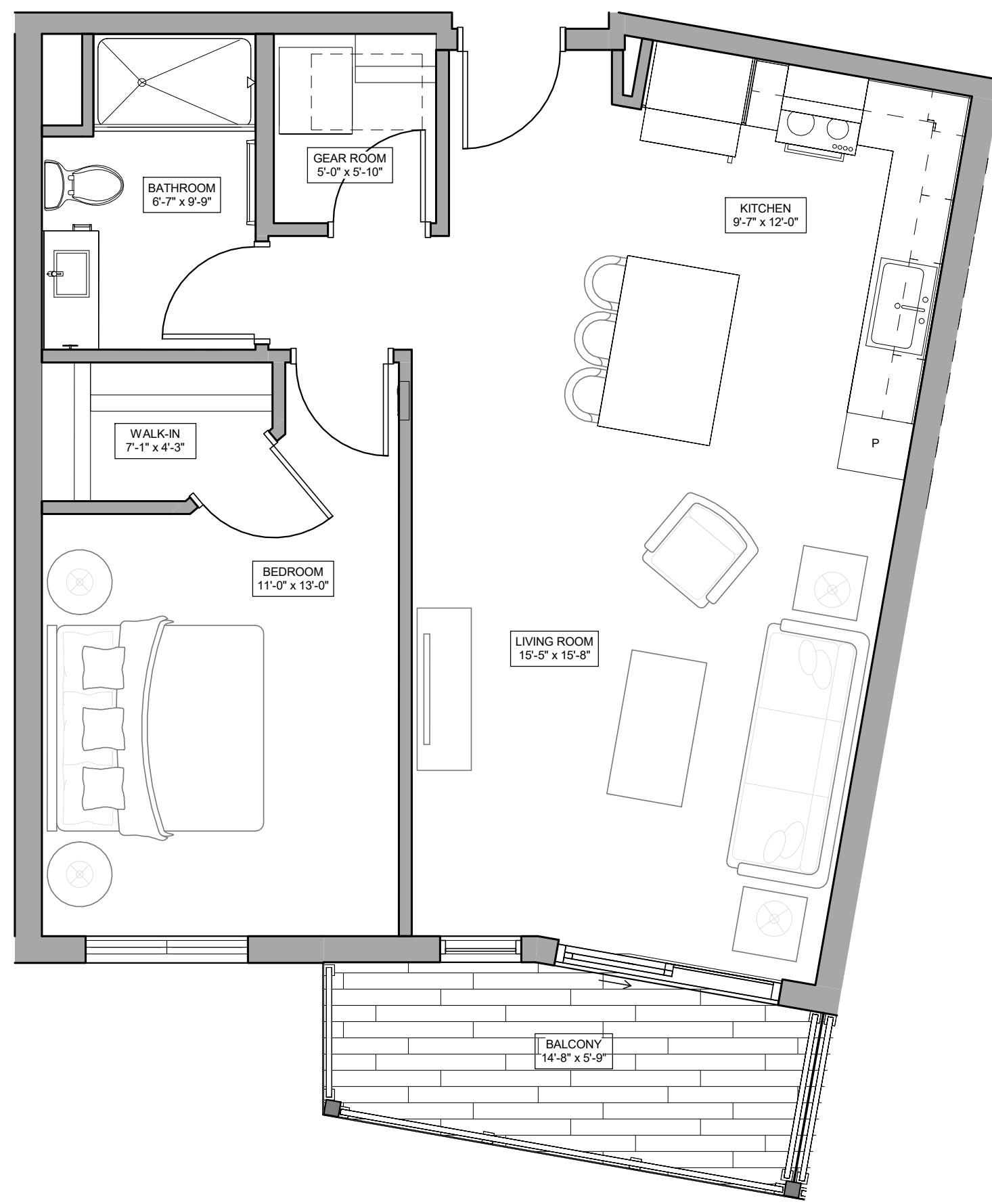
2 UNIT A2 - 1 BEDROOM PLAN  
1/4" = 1'-0"



3 UNIT A2A - ACCESSIBLE 1 BEDROOM PLAN  
1/4" = 1'-0"



4 UNIT A4 - 1 BEDROOM PLAN  
1/4" = 1'-0"

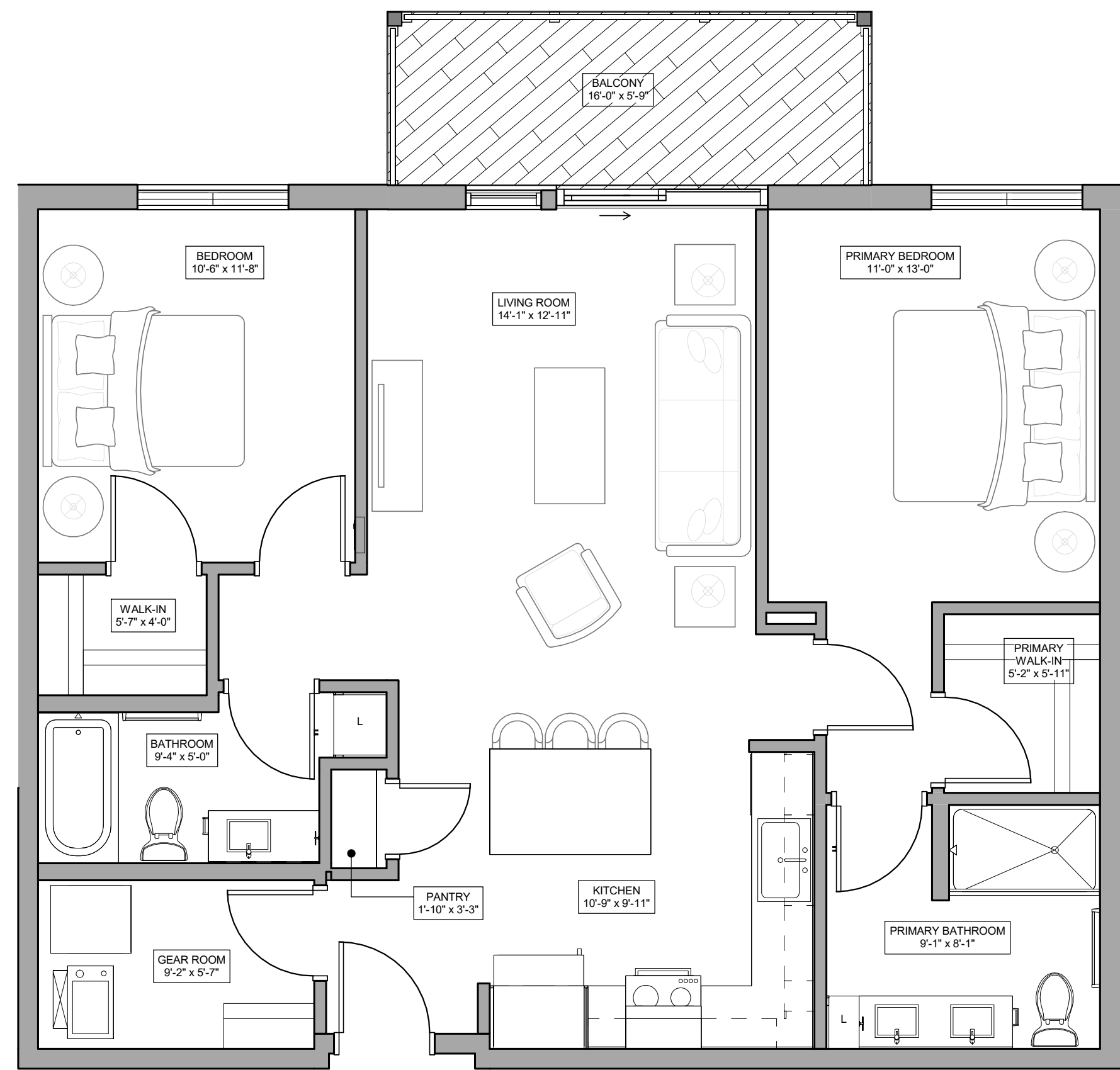


5 UNIT A3 - 1 BEDROOM PLAN  
1/4" = 1'-0"

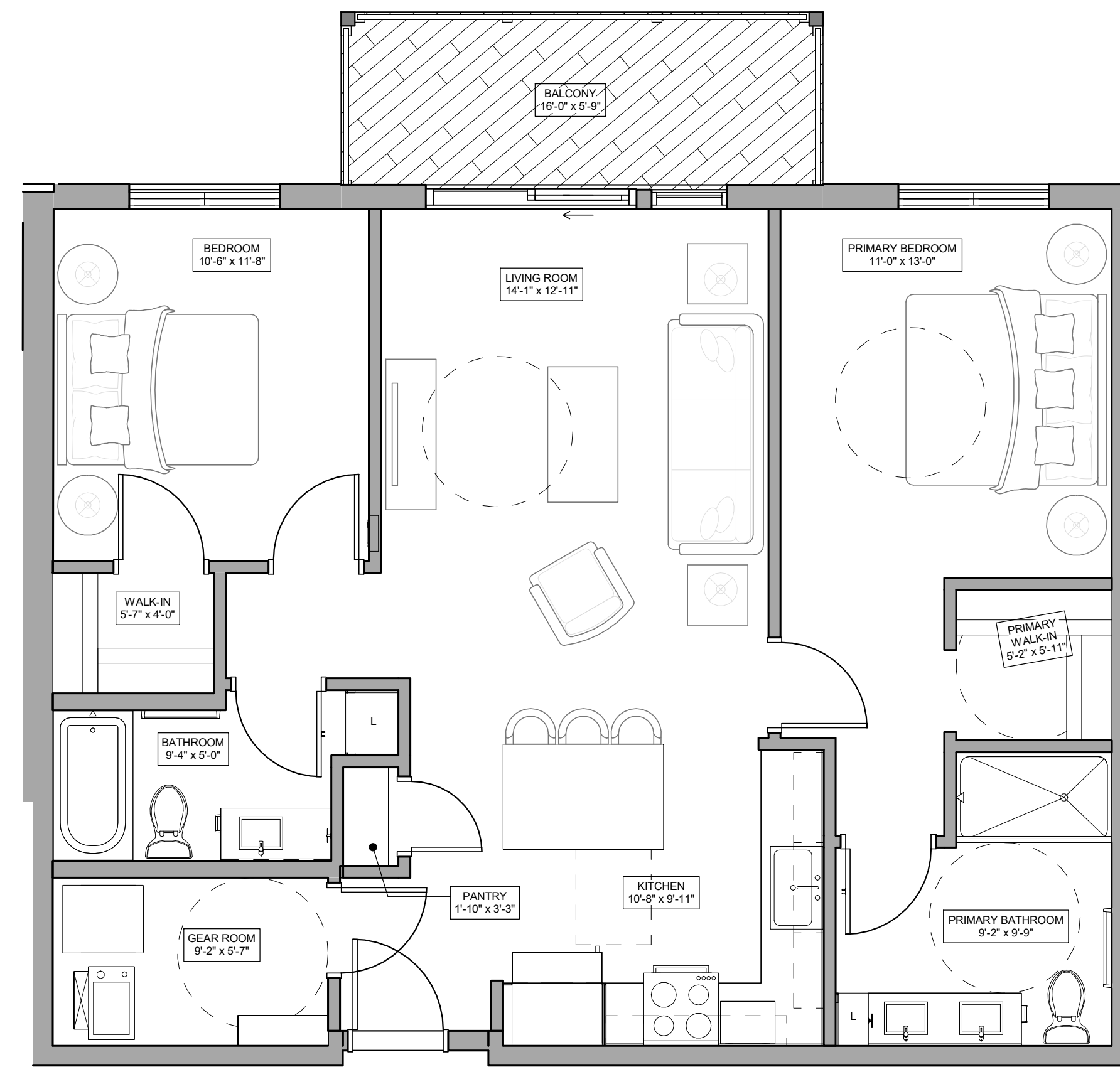


BUILDING A/B LEVEL 02-04  
BUILDING C/D/E/F LEVEL 01-03

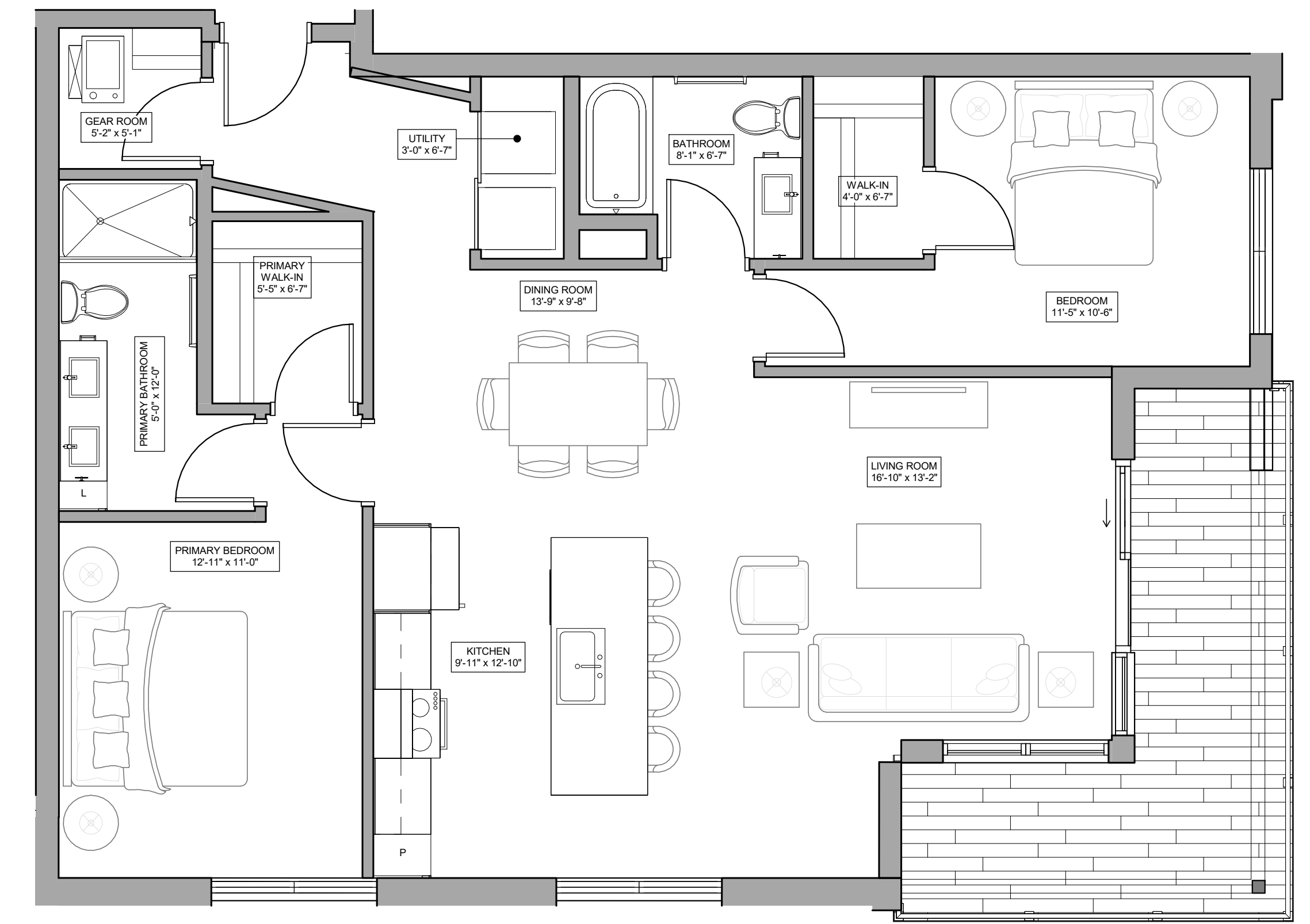




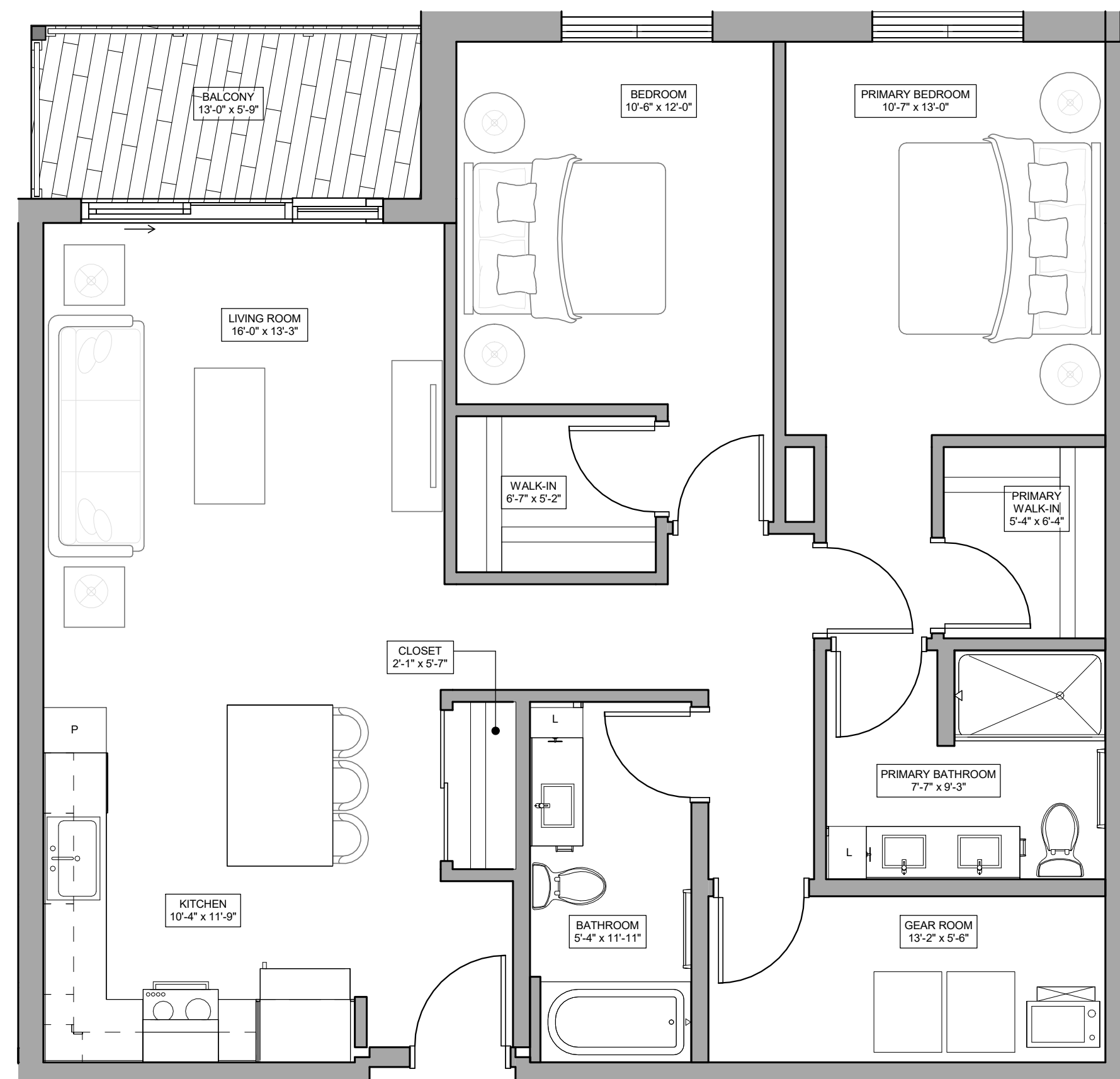
1 UNIT B1 - 2 BEDROOM PLAN  
1/4" = 1'-0"



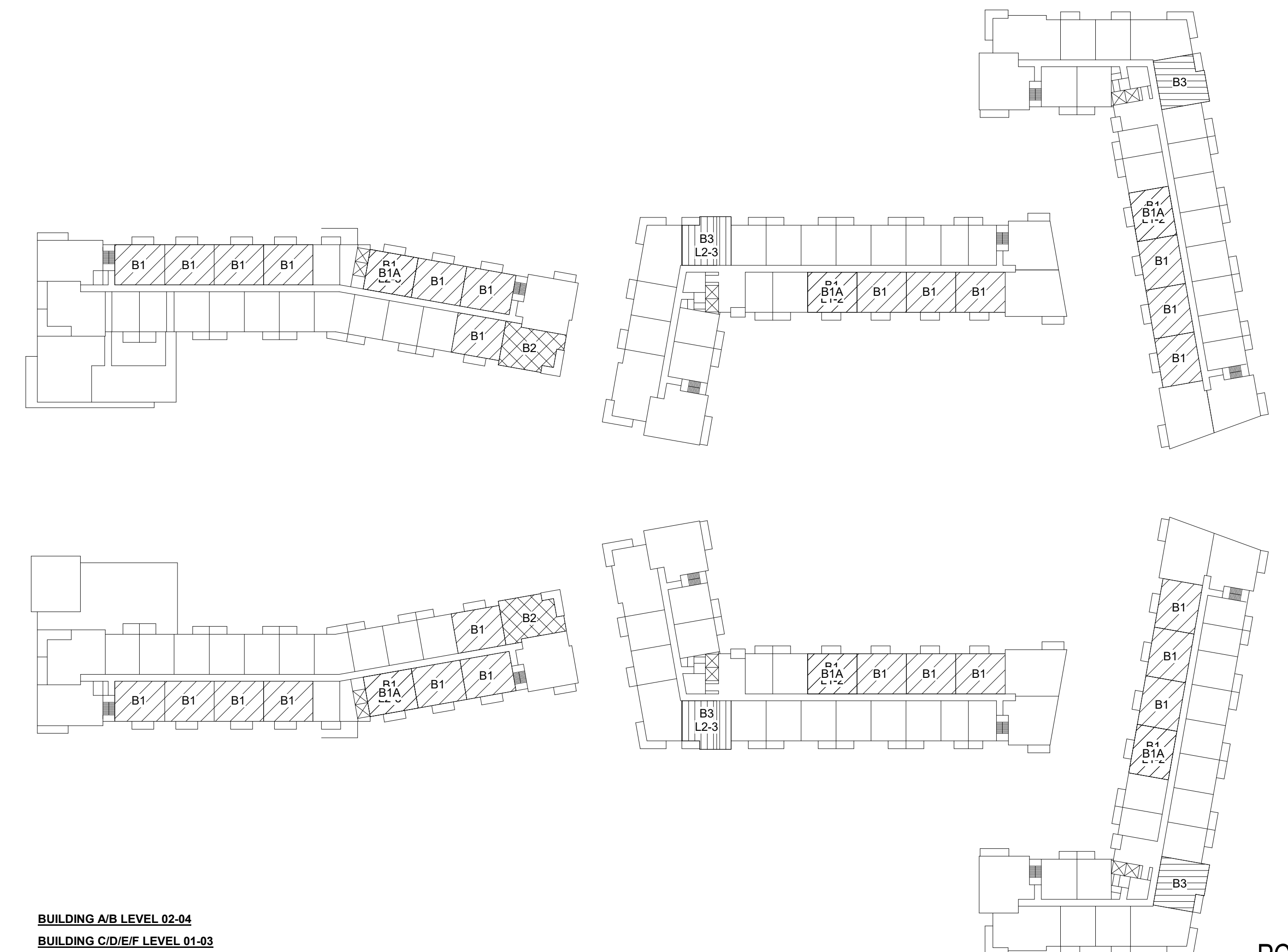
2 UNIT B1A - ACCESSIBLE 2 BEDROOM PLAN  
1/4" = 1'-0"



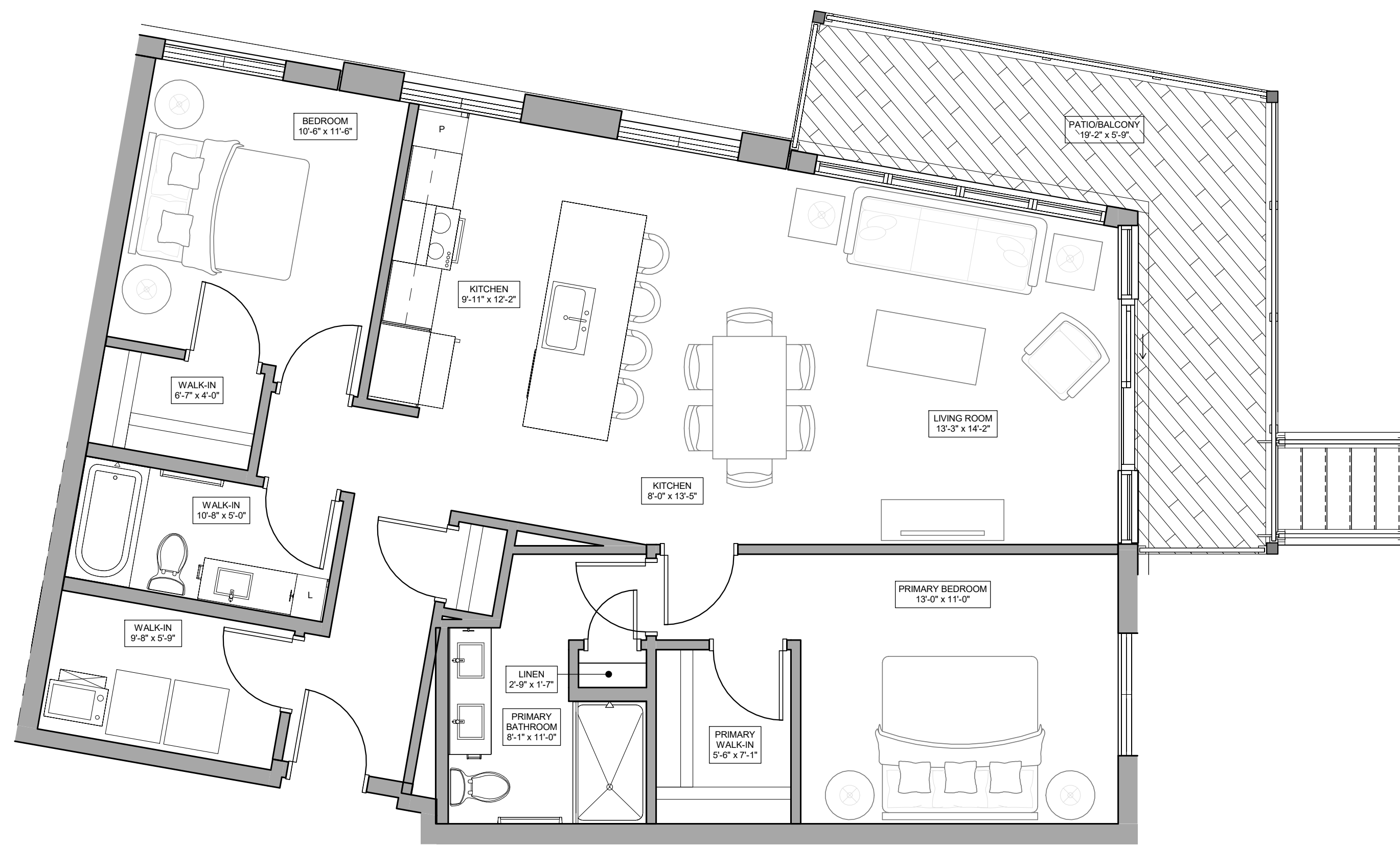
3 UNIT B2 - 2 BEDROOM PLAN  
1/4" = 1'-0"



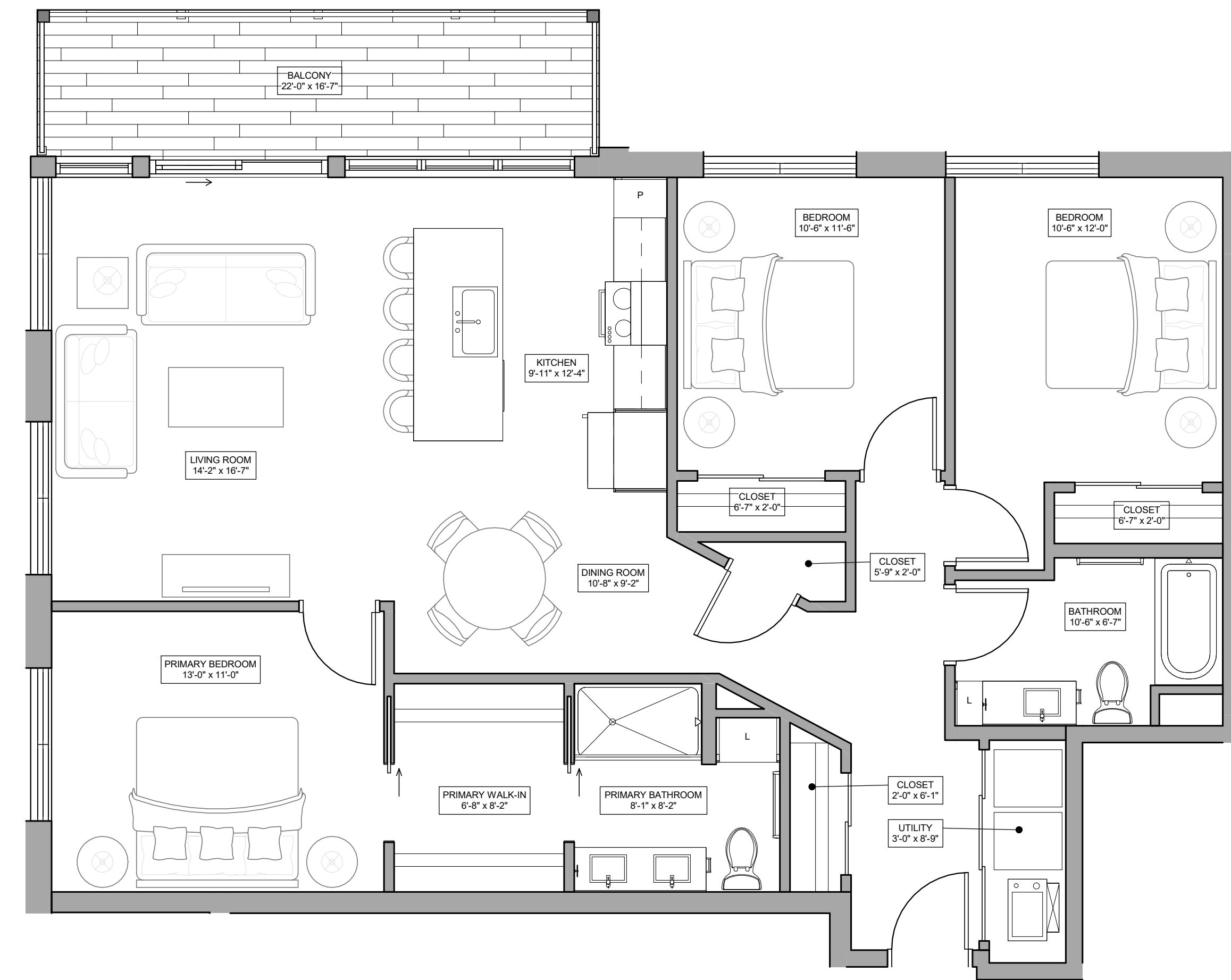
4 UNIT B3 - 2 BEDROOM PLAN  
1/4" = 1'-0"



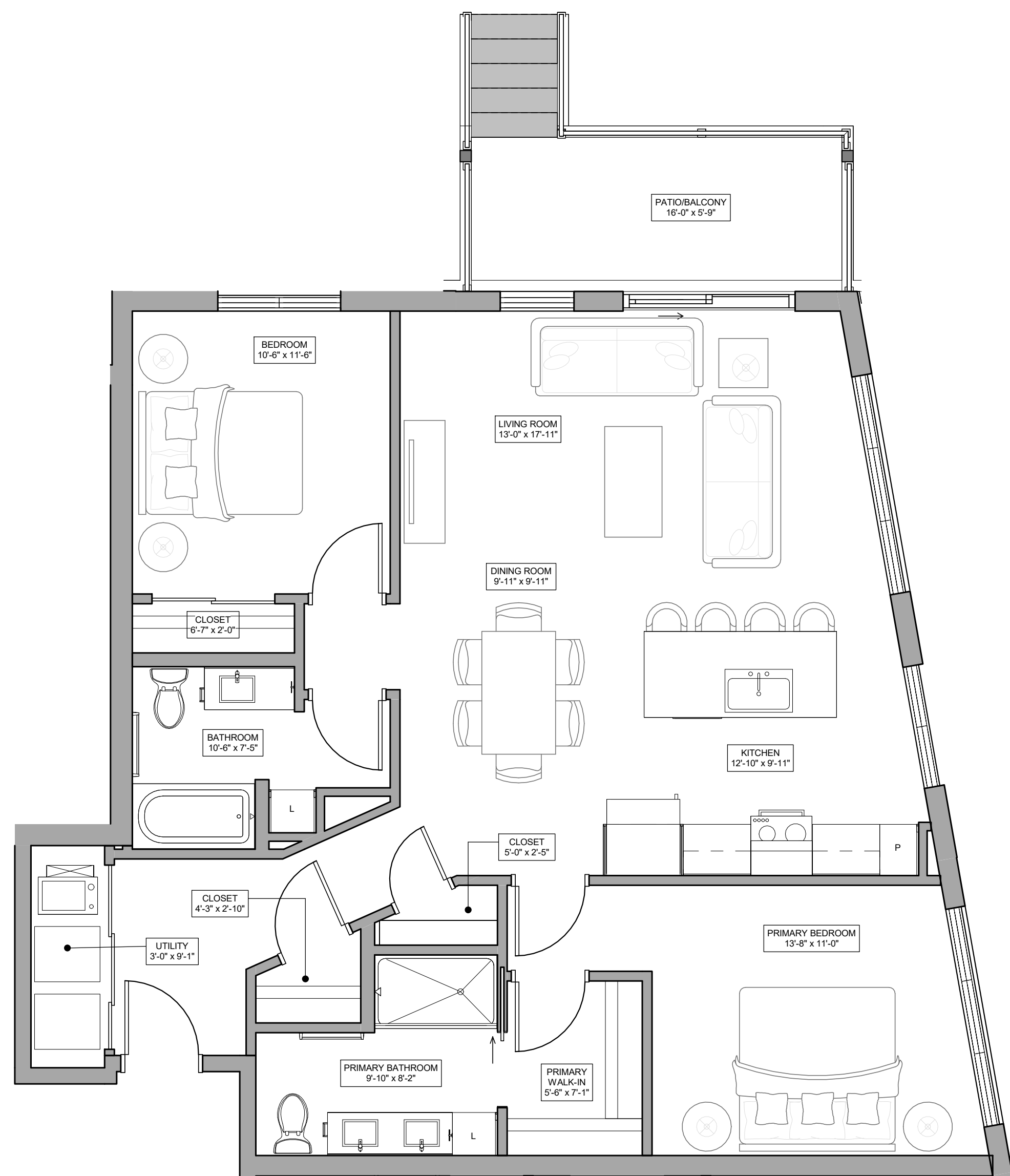
BUILDING A/B LEVEL 02-04  
BUILDING C/D/E/F LEVEL 01-03



1 UNIT B4 - 2 BEDROOM PLAN  
1/4" = 1'-0"



3 UNIT C1 - 3 BEDROOM PLAN  
1/4" = 1'-0"

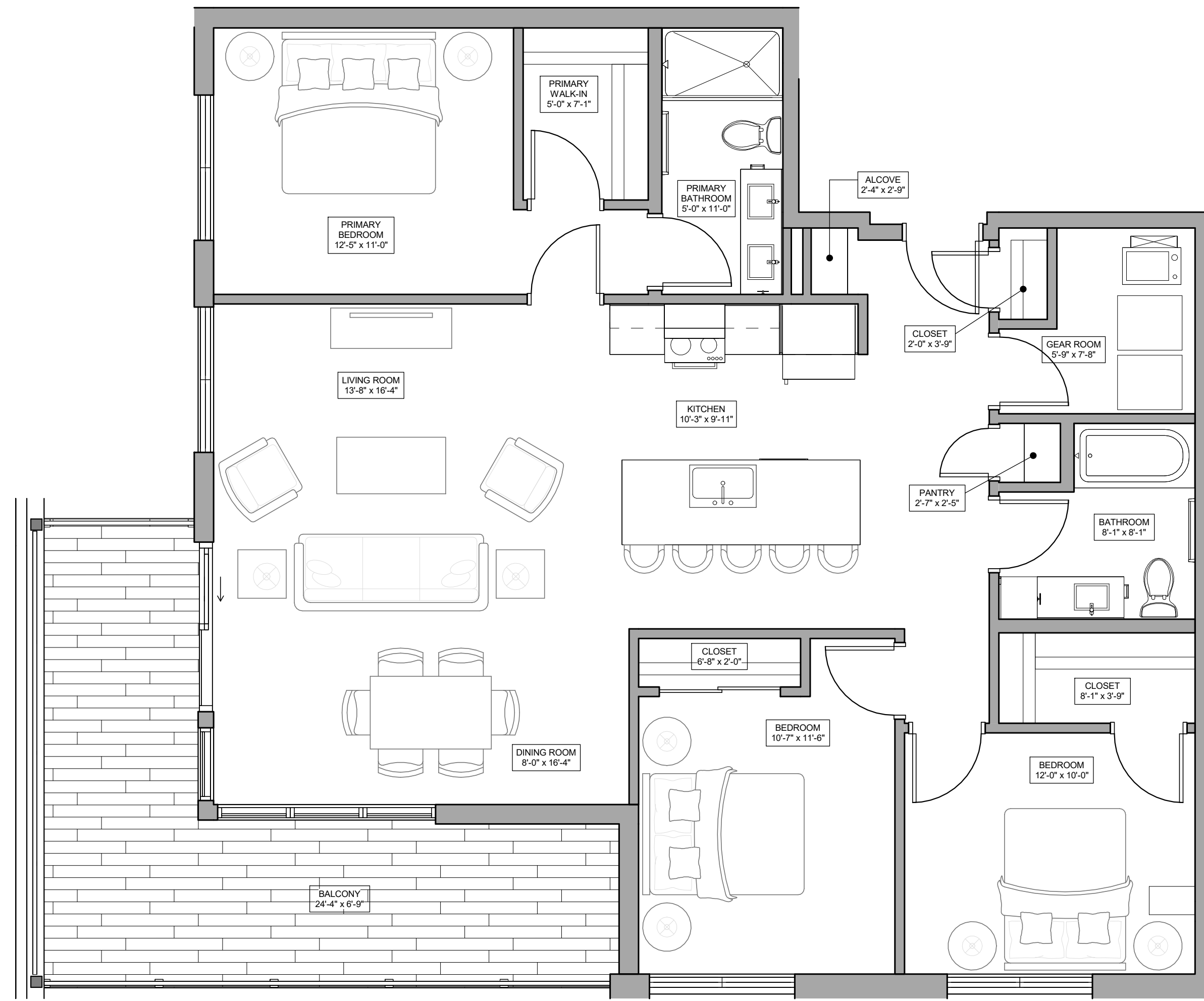


2 UNIT B5 - 2 BEDROOM PLAN  
1/4" = 1'-0"

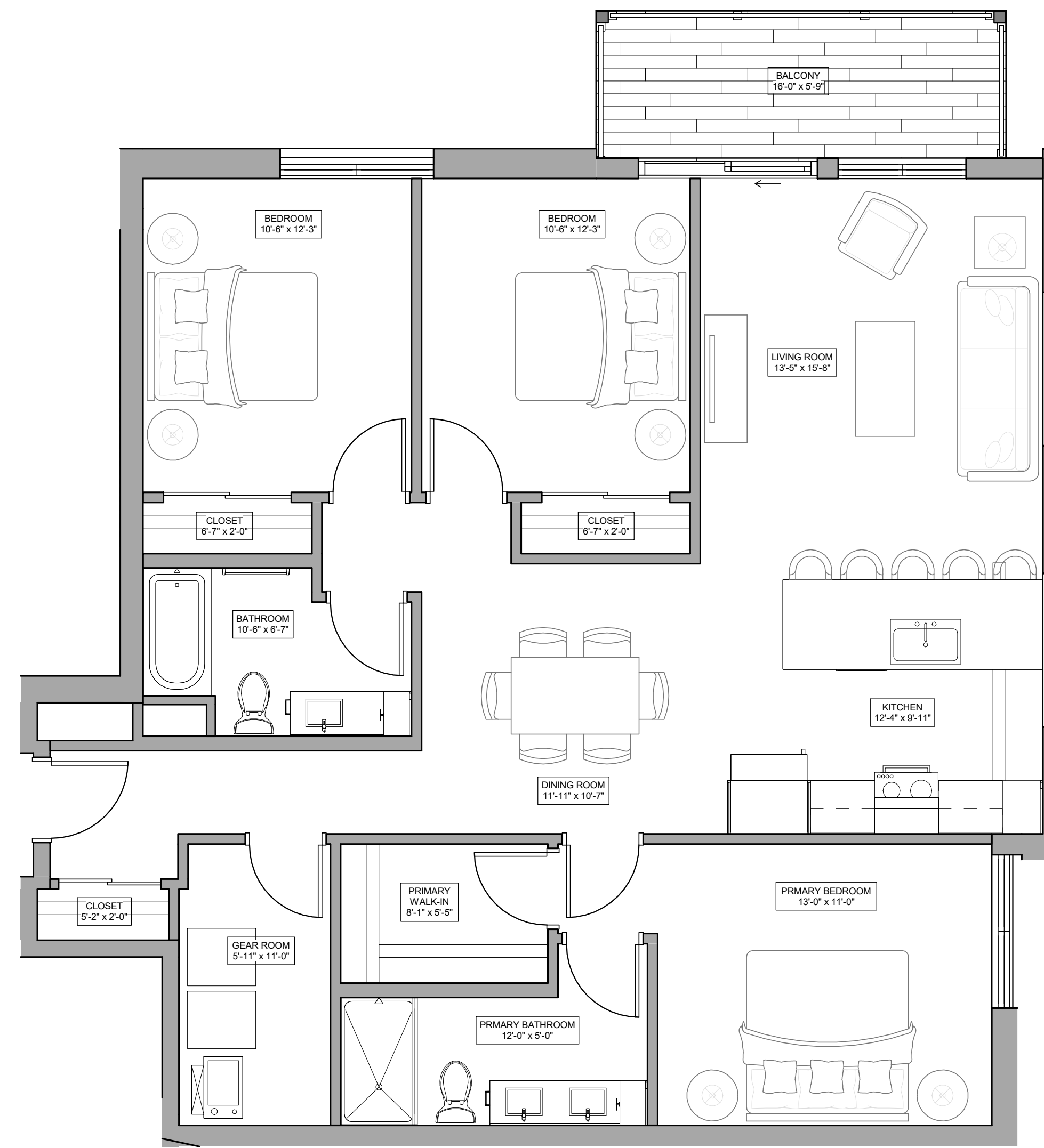


BUILDING A/B LEVEL 02-04  
BUILDING C/D/E/F LEVEL 01-03

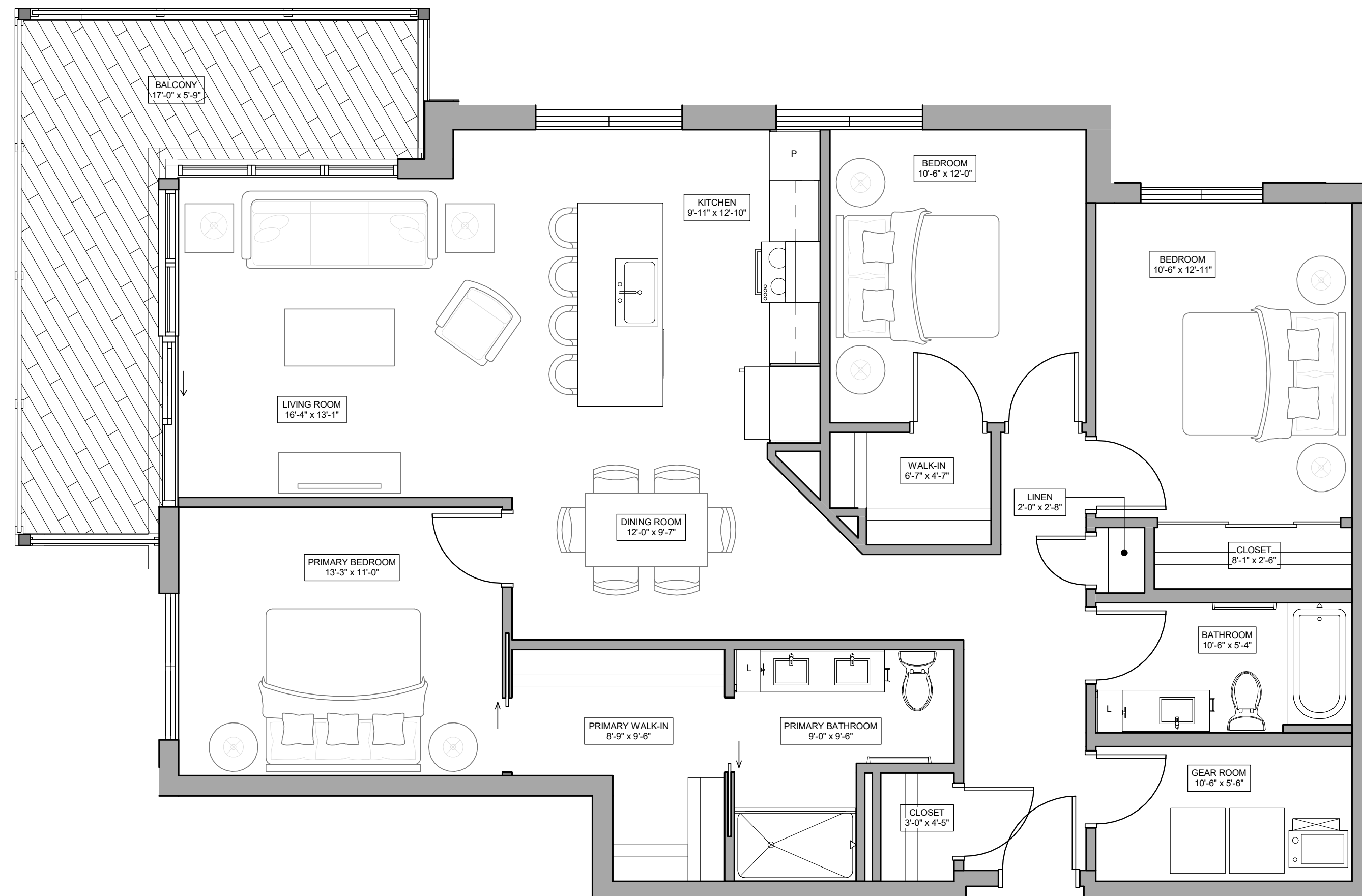




1 UNIT C2 - 3 BEDROOM PLAN  
1/4" = 1'-0"



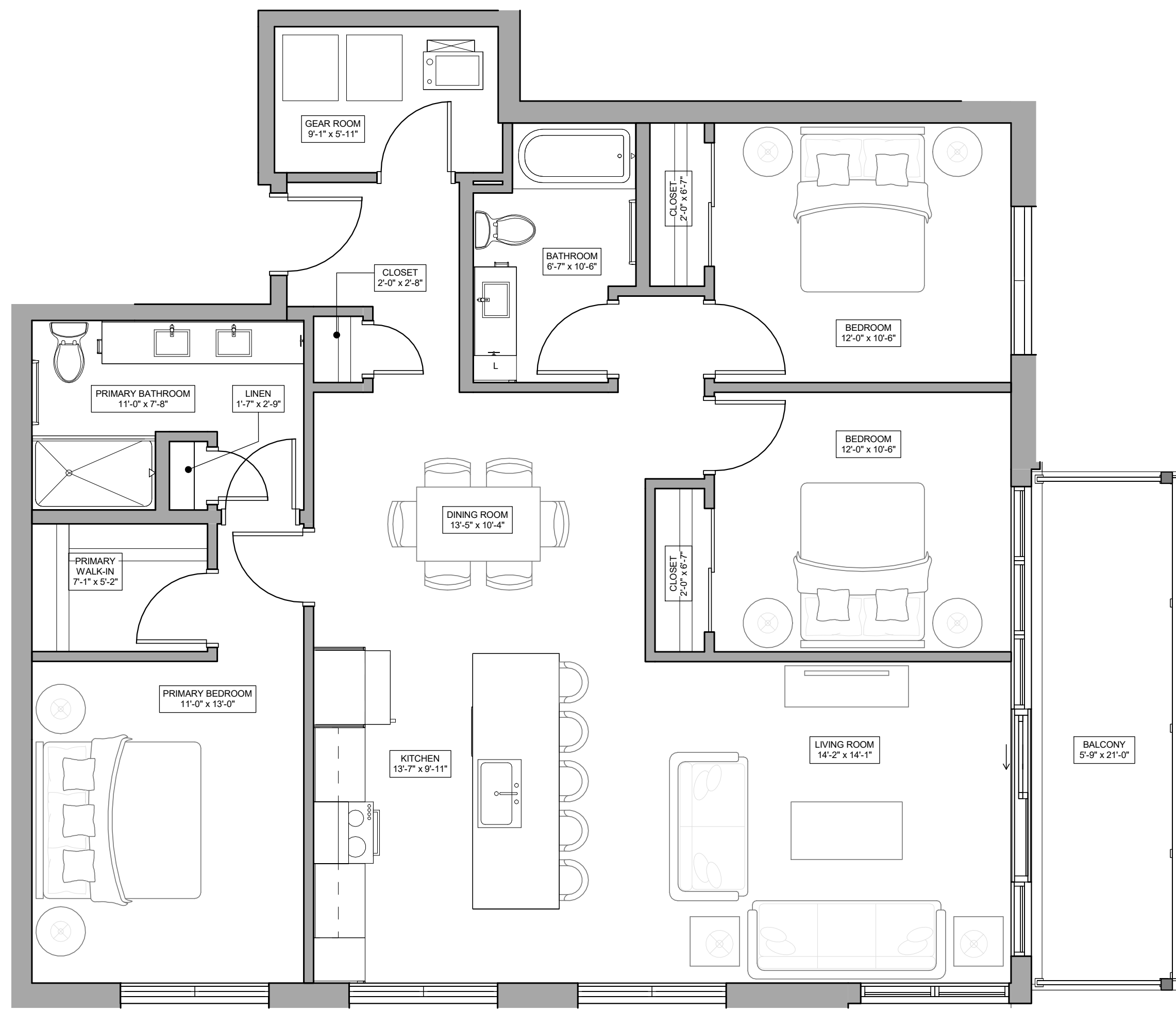
2 UNIT C3 - 3 BED PC PLAN  
1/4" = 1'-0"



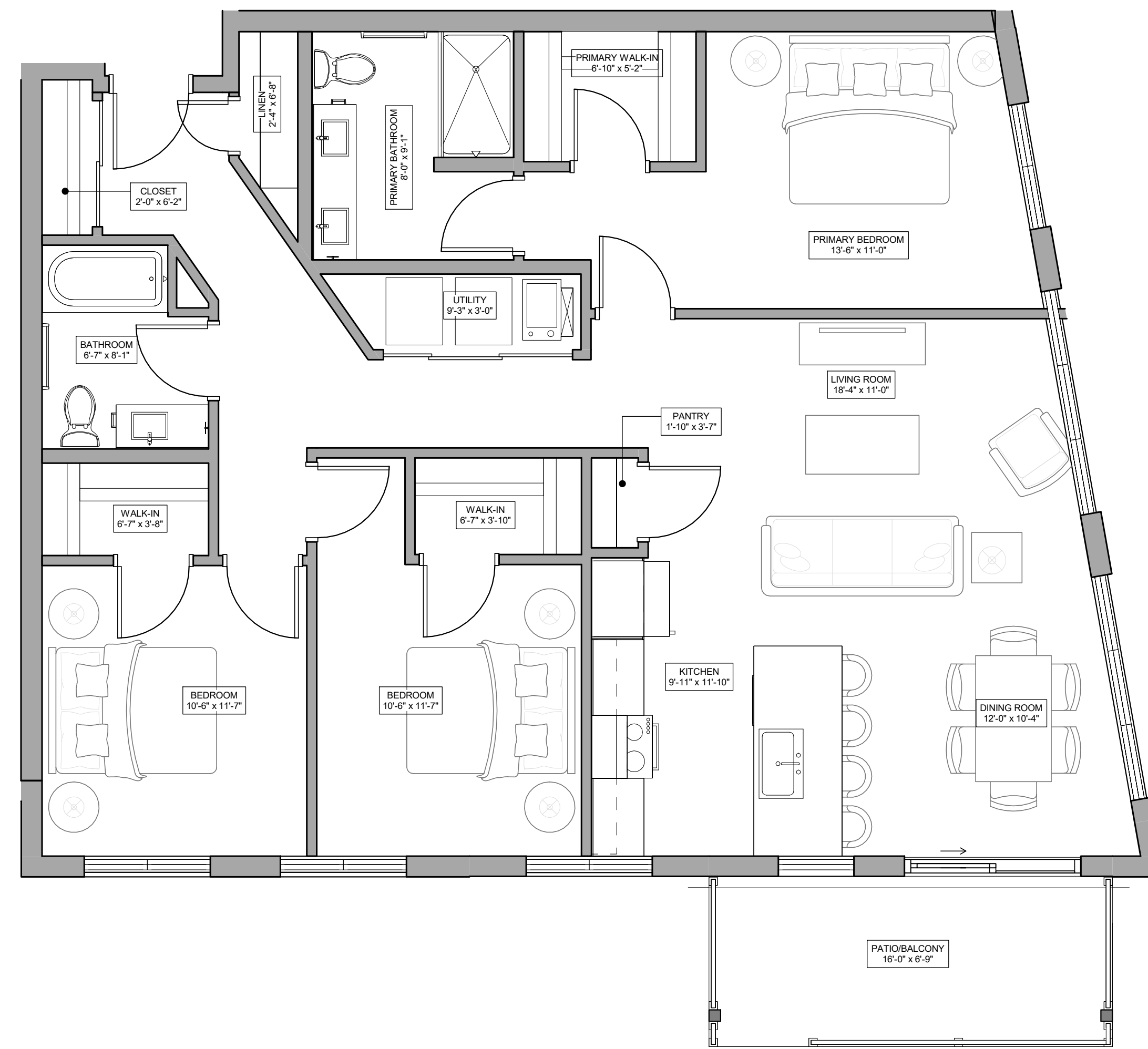
3 UNIT C4 - 3 BEDROOM PLAN  
1/4" = 1'-0"



BUILDING A/B LEVEL 02-04  
BUILDING C/D/E/F LEVEL 01-03



1 UNIT C5 - 3 BEDROOM PLAN  
1/4" = 1'-0"



2 UNIT C6 - 3 BEDROOM PLAN  
1/4" = 1'-0"



BUILDING A/B LEVEL 02-04  
BUILDING C/D/E/F LEVEL 01-03











