

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, JUNE 22, 2023, 7:00 P.M.

The YouTube channel “City of Franklin WI” will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

<https://www.youtube.com/c/CityofFranklinWIGov>.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of May 18, 2023.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **POTHS GENERAL. Planned Development District** To create Poths General (also known as “The Public Square”), a new Planned Development District (PDD) to redevelop the Orchard View Shopping Center with a “Town Center”, which consists of a central open area with amenities, mixed-use buildings (commercial/residential), apartment buildings and a hotel, the existing Ace Hardware store will remain in its current location), and to rezone the property from B-3 Community Business District and R-6 Suburban Single-Family Residence District to Planned Development District No. 42 (Poths General). And **Comprehensive Master Plan Amendment** to change the Future Land Use Map designation from Commercial Use to Mixed Use.

Applicant: Land By Label LLC (Initech, LLC, property owner).

Subject property: Approximately 7154 South 76th Street

A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE PLANNED DEVELOPMENT DISTRICT APPLICATION.

2. **VITALOGY. Planned Development District** to create The Vitalogy, a new mixed-use, luxury residential and commercial planned development district which consists of multi-family buildings, townhouse clusters, commercial lots, a public street connecting Terrace Drive with South Loomis Road, and to rezone the property from R-6 Suburban Single-Family Residence District and C-1 Conservancy District to Planned Development District No. 41 (Vitalogy). And **Comprehensive Master Plan Amendment** to change the Future Land Use Map designation from Commercial Use to Mixed Use, the existing Areas of Natural Resource Features designation is not being amended.

Applicant: Vitalogy Living LLC (Rawson-Loomis, LLC, property owner).

Subject property: 8301 West Old Loomis Road.

A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE PLANNED DEVELOPMENT DISTRICT APPLICATION.

3. **BADAX FLATS. Special Use** to increase the maximum permitted density for a mixed-use building with 78 apartment units in a 3.12-acre site resulting in net density of 40 du/ac (dwelling units per acre), while the maximum net density is 8 du/ac in the Mixed Use area of this Planned Development District (PDD). The applicant is requesting this Special Use to increase the permitted density for a maximum yield of 81 dwelling units, without this Special Use the maximum yield allowed is 16 dwelling units. And **Site Plan** to allow for this mixed-use building and exterior improvement. Additionally, the applicant is requesting the following waiver:

- a) Ord. 2019-2368, Table 15-3.0442C.1, a reduced front setback of 10 feet while the minimum setback is 25 feet.

Applicant: BadAx Flats LLC (Zim-Mar Properties, LLC, property owner).

Subject property: Located generally at the southeast corner of West Rawson Avenue and South Ballpark Drive, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons).

A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION.

- D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **Escamilla Food Truck Operation. Temporary Use** to allow for a food truck (Tony's Taco Truck/Tony's Food Truck) for one year.

Applicant: Anthony Escamilla (Bruce Hubbard, property owner).

Subject property: 3030 West Ryan Road

2. **Unified Development Ordinance (UDO) Rewrite Task Force.** Session with project consultant Houseal Lavigne Associates and Birchline Planning, LLC regarding Article 7: Natural Resource Standards.
3. **Consideration of new format for Planning Commission Agenda.** Proposal from Planning Department staff to update the Planning Commission Agenda format.

- E. Adjournment

Franklin Plan Commission Agenda

6/22/23

Page 3

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: July 6, 2023

City of Franklin
Plan Commission Meeting
May 18, 2023
Minutes

A. Call to Order and Roll Call

Mayor John Nelson called the May 4, 2023 regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, City Engineer Glen Morrow, Alderwoman Courtney Day and Commissioner Patrick Léon. Absent were Commissioners Patricia Hogan and Kevin Haley. Also present were Planning Manager Laurie Miller, Principal Planner Régulo Martínez-Montilva, Director of Administration Kelly Hersh, Economic Development Director John Regetz, Alderman Mike Barber and City Attorney Jesse Wesolowski.

B. Approval of Minutes – Regular Meeting of May 4, 2023

Alderwoman Day moved and Commissioner Léon seconded a motion to approve the May 4, 2023 meeting minutes. On voice vote, all voted ‘aye’; motion carried (4-0-3).

C. Public Hearing Business Matters

1. Land by Label LLC, and current Property Owner, Initech, LLC. The applicant is seeking a comprehensive plan amendment, rezone and creation of a new planned development district to redevelop Orchard View Shopping Center (Tax key Nos. 756-9993-021, 756-9993-016, and 756-9993—012) with a town center, mixed use buildings, apartment buildings, hotel, and additional amenities.

Planning Manager, Laurie Miller, stated that an error had occurred in the public hearing notice, therefore the public hearing would continue as planned but Planning Commission would not be discussing the proposal. A new public noticed will be issued with the correct information and a second public hearing will occur on June 22, 2023.

Several members of the public participated in the public hearing. Residents expressed their concern for the development’s impacts to the traffic along 76th Street and Rawson Avenue and environmental impacts. A few speakers noted that, while the development’s design was touted to create a “town center”, it did not contain a typical town center balance between commercial, residential, civic, and public uses. A few residents residing in the neighborhood to the east expressed concerned about parking lots being positioned close to their property line and multi-story apartment buildings towering over their homes.

Assistant Fire Chief, James Mayer, provided information regarding current staffing levels of the fire department, number of runs, and the need to increase staffing in relation to any population and dwelling unit increases. Assistant Fire Chief Mayer also indicated that the Fire Department may be eligible for a cost-sharing grant which would provide temporary funds to hire a few additional emergency responders.

No motion to recommend approval was made due to the error in the public hearing notice.

2. Robert G. Montgomery. The applicant is seeking a special use approval to allow for the construction of 4,000 sq. ft. accessory structure to be used for personal storage and hobby work on the property located at 8570 S. 116th Street.

Principal Planner Martínez-Montilva presented the proposal for the accessory structure, stating that, per code, a special use approval is required for any accessory structure over 1,200 sq. ft. in a residential zoning district. Principal Planner Martínez-Montilva noted a wetland delineation was completed on this property and that code requires any structure to be placed a minimum of 50 feet away from the wetland. The proposed structure is located approximately 100 ft from the existing wetland.

Neighbors of the applicant spoke in support of the project during the public hearing.

Commissioner Léon moved and Alderwoman Day seconded a motion to recommend approval of a resolution imposing conditions and restrictions for the approval of a special use for an approximately 4,000 square foot accessory structure upon property located at 8570 South 116th Street. On voice vote, all voted ‘aye’; motion carried (4-0-3).

D. Business Matters

1. None.

E. Adjournment

Alderwoman Day moved and Commissioner Léon seconded to adjourn the Plan Commission meeting of May 18, 2023 at 8:24 p.m. On voice vote, all voted ‘aye’; motion carried (4-0-3).



REPORT TO THE PLAN COMMISSION

Meeting of May June 22, 2023

New Planned Development District and Comprehensive Master Plan Amendment

RECOMMENDATION: Staff recommends approval of a new Planned Development District and a Comprehensive Plan Amendment to change the Commercial land use designation to Mixed Use.

Table with 2 columns: Field Name and Value. Fields include Project Name, Project Address/Tax Key, Property Owner, Applicant, Current Zoning, Proposed Zoning, Existing 2025 Comprehensive Plan, Proposed 2025 Comprehensive Plan, Staff Planner, Consultant, Submittal date, Application number, and Action Requested.

INTRODUCTION

Please note:

- Recommendations are underlined, in italics and are included in the draft resolution.

The applicant is proposing a new Planned Development District for a mixed use development, The Poths General, and amend the future land use map designation of the comprehensive plan for the site from commercial to mixed use. The Poths General project consists of five multi-family residential apartment buildings, two mixed use buildings, a hotel, and the existing Harry’s Ace Hardware and Rental store. The multi-family residential apartment buildings are projected to contain 430 apartments. A 6,000 square foot clubhouse, which will also contain the leasing center and management offices, is proposed. In addition, there are numerous civic spaces and activities, such as an ice skating rink, food truck plaza, pavilion, small amphitheater, splash pad, and dog park areas. Staff would like to note that there has not been a formal request for the City to take on the cost or programming of the proposed civic spaces and activities.

The proposed development includes three existing properties, totaling about 24.5-acres. *It is recommended that, at the time detailed site plans are provided for review and approval, a Certified Survey Map Application be submitted to combine the three parcels into a single lot.*

COMPREHENSIVE MASTER PLAN AMENDMENT

All three properties are designated as Commercial on the City’s 2025 Future Land Use Map. The applicant is requesting to change the future land use designation to Mixed Use to accommodate the development.

There are protected natural resources onsite that will remain; however, due to the minimal extent of the resources compared to the overall land area, it is not being recommended that they be designated as “Areas of Natural Resource Features” on the Future Land Use Map.

This site is located within Planning Area D of the comprehensive plan (see appendix 1), which is an opportunity for “Commercial development along the east side of Loomis Road, with housing that transitions to existing neighborhoods to the east, and residential along the west side of Loomis Road, represent a significant opportunity to future development in the City” (Land Use chapter, page 5-43).



Future Land Use Map of the 2025 Comprehensive Master Plan of the City of Franklin

The proposed development provides a mix of commercial and residential uses adjacent to South 76th Street, a mix of uses and activities within the center of the project, and residential housing units abutting the single-family residential to the east and multi-family to the south. While this proposed development is not entirely consistent with the commercial designation found on the Future Land Use Map for this site, it meets the vision the City has for Planning Area D and is within proximity to many other parcels that have been identified as “Potential Development Areas for Commercial or Mixed-Use Development” in Map 5.6 “Potential Development Areas” in the Comprehensive Plan (see appendix 2). The Potential Development Areas Map only considered larger greenfield sites, not redevelopment opportunities or

small infill sites, when the map was developed. Staff supports changing the future land use map designation to Mixed Use as it would be compatible with the existing surrounding developments and would likely be identified as a potential redevelopment opportunity for Commercial and Mixed-Use Development during the next Comprehensive Plan Update.

In addition, staff contends that the proposed project meets many of the Goals and Objectives (starting on page 2-31) found in Chapter 2: Issues & Opportunities of the Comprehensive Master Plan. The project addresses, at least in part, goals #1 through #23. The applicant also provided information regarding consistency and meeting the goals of the Comprehensive Master Plan for Plan Commission and Common Council consideration.

According to the applicant, “the contemplated development represents a massive expansion of the City’s tax base. Over \$150 million of new tax base could yield over \$1.5 million in annual taxes upon closure of the TID” (project narrative dated May 12, page 12).

PLANNED DEVELOPMENT DISTRICT

The applicant is seeking “general approval” for a new Planned Development District (PDD), to allow for 430 apartments, a hotel, existing retail, food trucks, a small amphitheater, pavilion, and other types of accessory or complimentary uses. If approved, this development would be PDD No. 42.

Per Unified Development Ordinance (UDO), Section 15-9.0208.E.7.b.(1), PDD applications for general approval “need not necessarily be completely detailed at the time of rezoning provided they are of sufficient detail to satisfy the Plan Commission and Common Council as to the general character, scope, and appearance of the proposed development. Such preliminary plans shall designate the pattern of the proposed streets, and the size and arrangement of individual building sites”.

PROJECT ANALYSIS

Division 15-3.0400 of the UDO describes the intent and sets the dimensional and use regulations of Planned Development Districts. Table 15-3.0402C (below) specifically establishes maximum intensity and density measures for Planned Development Districts.

Table 15-3.0402C						
PDD Planned Development District Maximum Intensity and Density Measures						
General Use Type	Residential Standards			Non-Residential Standards		
	Minimum Open Space Ratio (OSR)	Maximum Gross Density (GD)	Maximum Net Density (ND)	Minimum Landscape Surface Ratio (LSR)(b)	Maximum Gross Floor Area Ratio (GFAR)	Maximum Net Floor Area Ratio (NFAR)
Residential (a)	0.35	6.10	8.00	N/A	N/A	N/A
Office	N/A	N/A	N/A	0.45	0.23	0.42
Commercial Retail Sales and Service	N/A	N/A	N/A	0.45	0.31	0.57
Industrial	N/A	N/A	N/A	0.45	0.50	0.91
Mixed Compatible Uses	(c)	(c)	(c)	(c)	(c)	(c)

Notes:

N/A = Not Applicable

- (a) Plan Commission and Common Council may approve of densities over the stated GD or ND with the provision the development meets a community purpose, such as residential housing for older persons.
- (b) See Alternative Minimum Landscape Surface Ratio (LSR) with Required Mitigation (See § 15-5.0302E).
- (c) Apply the appropriate standard for each individual land use type and its corresponding site area as listed in this Table.

The development as currently proposed does not conform to these standards as shown in the table below:

	Maximum Gross Density (GD)	Maximum Net Density (ND)
Maximum	6.10	8.00
Proposed	30	45

As indicated in Table 15-3.0402C, note (a), the Plan Commission may approve greater Gross and Net Densities “with the provision the development meets a community purpose, such as residential housing for older persons”.

Question for policy direction: do the proposed amenities (ice skating rink, food truck plaza, pavilion, splash pad, and dog park areas) meet a community purpose to justify greater Gross and Net Densities?

Natural Resource Protection Plan (NRPP)

Sections 15-3.0401C. and 15-3.0403B. of the UDO require Planned Development Districts to comply with natural resource protection standards as set forth in Division 15-4.0100. The project area contains young woodlands, wetlands and the associated wetland buffers and setbacks.

The development impacts about 38% of the young woodlands, which is in conformance of the 50% protection standard within Table 15-4.0100.

The applicant is not proposing to disturb any wetlands; however, wetland buffer and setback areas will be impacted. Approximately 4,197 square feet of wetland buffer and about 10,666 square feet of wetland setback will be disturbed.

Wetland buffers are 100% protected, but are allowed to be mitigated for nonresidential development at a ratio of 1.5:1. However, mitigation is not permitted for residential development. The applicant is proposing to mitigate for the 898 square feet of buffer that will be distributed permanently. 3,299 square feet of wetland buffer will be disturbed but will be returned to its natural state.

About 2,038 square feet of wetland setback will be permanently disturbed by buildings or other impervious surfaces. Wetland setbacks are allowed to be disturbed but must be returned to a natural state.

Based upon the buffer and setback encroachments, a Natural Resource Special Exception shall be submitted at the time detailed site plans are provided for review and approval and approved prior to disturbing these natural resource features.

Basis for approval

Pursuant to UDO Section 15-9.0208.E. “PDD Planned Development District Procedures”, the Plan Commission in making its recommendation, and the Common Council in making its determination, shall give consideration to the following:

1. *Intent to Start Construction Within a Reasonable Period. That the applicant for the proposed PDD Planned Development District has demonstrated that the applicant intends to start construction within a reasonable period following the approval of the change in zoning districts and that the*

development will be carried out according to a reasonable construction schedule satisfactory to the City.

Staff comment: the applicant stated that the anticipated construction start is for October 2023 (project narrative dated October 6, 2020, page 18).

2. *Consistency with Unified Development Ordinance and Comprehensive Master Plan Required. The Plan Commission in making its recommendations, and the Common Council in making its determination, shall further find that:*

a. *The proposed site shall be provided with adequate drainage facilities for surface and storm water.*

Staff comment: preliminary stormwater management facilities are shown on the plans provided by the applicant. Furthermore, final stormwater management plans shall be subject to review by the Engineering Department.

b. *The proposed site shall be accessible from public roads that are adequate to carry the traffic that will be imposed upon them by the proposed development.*

Staff comment: the applicant has provided a plan showing access locations (Sheet C003). There are multiple access locations proposed from South 76th Street and West Rawson Avenue. These are both County Highways and are subject to approval by Milwaukee County. It is recommended that a Traffic Impact Analysis be completed and submitted at the time detailed site plans are provided for review. According to the applicant, a traffic study is already underway.

There are no public streets within the development. All buildings, uses, and parking lots are served internally with private drives.

c. *The proposed development shall not impose any undue burden on public services and facilities, such as fire and police protection.*

See note below from the Fire Department.

NOTE: The Fire Department is NOT adequately staffed to absorb the impact on emergency and non-emergency call volume associated with an additional 1,030 residences, associated commercial and vehicular traffic, and required fire inspection work-load, in addition to the ongoing high-density single family development in the southwest quadrant and multifamily development along the south 27th Street corridor.

d. *The streets and driveways on the site of the proposed development shall be adequate to serve the residents of the proposed development and shall meet the minimum standards of all applicable ordinances of the City.*

Staff comment: from a general plan standpoint, it appears the internal network of drives is adequate for the proposed development. Access locations, driveways, and drive aisles widths and locations will be subject to further review upon submittal of Site Plan Applications.

However, the applicant shall revise the location of parking lots to comply with the parking setbacks set forth in Section 2.J. of the attached draft Planned Development District Ordinance.

- e. *Water and sewer facilities shall be provided.*

Staff comment: the applicant is proposing to serve the entire development with public sewer and water facilities. A preliminary utility plan has been provided (Sheet C300) and will be subject to review by the Engineering Department.

- f. *The application for a PDD Planned Development District shall be filed jointly by all of the owners of all of the lands to be included in the Planned Development District.*

Staff comment: all three properties are owned by Initech, LLC and the applicant submitted property owner authorization.

UDO Section 15-9.0208.E.6. lists additional standards for Mixed-Use PDD Planned Development Districts. In the case of mixed-use PDD Planned Development Districts:

- a. *That the proposed mixture of uses produces a unified composite which is compatible within itself and which, as a total development entity, is compatible with the surrounding neighborhood and consistent with the standards and objectives of the comprehensive plan.*

Staff comment: the proposed mix of commercial and residential uses is compatible with the surrounding area as the commercial uses are oriented closer to South 76th Street and only multi-family residential uses abut the adjacent single-family development to the east. However, staff recommends a 30-foot landscape buffer where the site abuts residential zoning districts, specifically R-6 as well as Planned Development Districts Nos. 11 and 17, with the exception of areas with protected natural resources.

Pursuant to the UDO Section 15-5.0108.B “Minimum Required Building Setbacks from Arterial Streets and Highways”, staff recommends a minimum building setback of 40 feet where the site abuts an arterial road, specifically South 76th Street and Rawson Avenue.

- b. *That the various types of uses conform to the general requirements as hereinbefore set forth, applicable to projects of such use character.*

Staff comment: the proposed project contains several site amenities, and the proposed commercial and residential uses are compatible with the nonresidential uses along S. 76th Street and W. Rawson Avenue and the residential uses to the south and east.

- c. *That the total average intensity of development within the PDD Planned Development District will be compatible with the City of Franklin Comprehensive Master Plan, elements thereof, and the detailed planning district or neighborhood unit development plans prepared for the area.*

Staff comment: again, as indicated throughout this report, the proposed development is consistent with Planning Area D and satisfies many of the goals and objectives of the comprehensive plan.

Additional comments related to the rewrite of the Unified Development Ordinance (UDO):

The City is currently preparing a comprehensive rewrite of the Unified Development Ordinance (UDO), staff has the following observations as it relates to the proposed development:

- Article 1, Section 15-1-06 states that “Nothing in this UDO shall require a change in the plans for any structure or use if a building permit or occupancy for such structure was lawfully issued prior to the effective date of this UDO”; and per Article 2 Section 15-2-02.D.4. “Properties zoned in the Legacy Planned Development District will continue to operate under their specific planned unit development”, therefore, the new UDO would not significantly impact this development.
- The table of the current UDO that imposes density and development standards for new PDDs as referenced in this staff report would not be part of the new UDO.

The comments above are for reference only since the new UDO hasn’t been adopted yet; and subject to changes because these comments are based on the draft version available as of writing of this staff report.

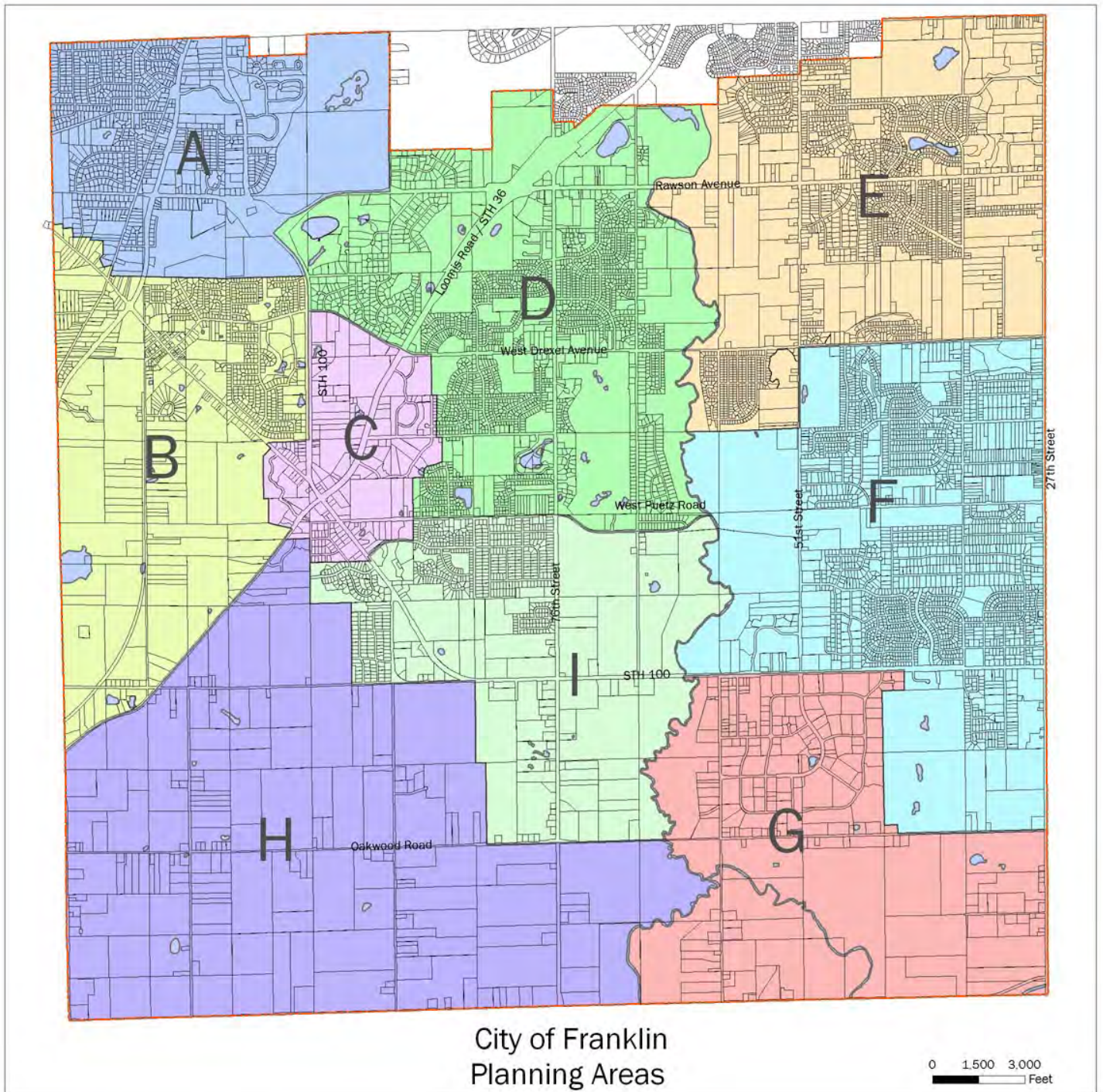
RECOMMENDATION:

Staff recommends a motion for “general approval” of a new Planned Development District and a Comprehensive Plan Amendment to change the Commercial land use designation to Mixed Use. Should the Plan Commission wish to recommend approval of these applications, draft ordinances and resolution with conditions of approval are attached to this packet (Section 2.K. Conditions of Approval).

Appendices list:

1. Planning Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Issues and Opportunities chapter, Map 2.2.
2. Potential Development Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Land Use chapter, Map 5.6.

MAP 2.2: Planning Areas Map



ORDINANCE NO. 2023-_____

AN ORDINANCE TO CREATE SECTION 15-3.0447 OF THE FRANKLIN UNIFIED DEVELOPMENT ORDINANCE ESTABLISHING PLANNED DEVELOPMENT DISTRICT NO. 42 (*POTHS GENERAL*) AND TO REZONE PROPERTY FROM B-3 COMMUNITY BUSINESS DISTRICT AND R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT TO PLANNED DEVELOPMENT DISTRICT NO. 42 (APPROXIMATELY 7154 SOUTH 76TH STREET)

WHEREAS, a petition for zoning change having been filed to change the zoning on a tract of land (3 parcels) from B-3 Community Business District and R-6 Suburban Single-Family Residence District to a Planned Development District, which tract of land is located at approximately 7154 South 76th Street, bearing Tax Key Nos. 756-9993-021, 756-9993-016 and 756-9993-012, and which is more particularly described below; and

WHEREAS, the Plan Commission having determined that the proposed Planned Development District No. 42 (*Poths General*) is in conformance with the City of Franklin Comprehensive Master Plan and contains more than 3 acres; and

WHEREAS, a Public Hearing was held before the Plan Commission on the 18th day of May, 2023, and the Plan Commission having reviewed the Planned Development District No. 42 petition and having found that the proposed Planned Development District conforms to the standards for adoption of a Planned Development District, and having recommended to the Common Council that the creation of Planned Development District No. 42 be approved; and

WHEREAS, the Common Council having reviewed the petition and recommendation following the Public Hearing and having determined that the adoption of an ordinance to create Planned Development District No. 42 will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended to provide that the zoning district designation for the properties described below be changed from B-3 Community Business District and R-6 Suburban Single-Family Residence District to Planned Development District No. 42 (*Poths General*) as is created under SECTION 2 of this ordinance:

PARCEL A:

Parcel 2 of Certified Survey Map No. 8318, recorded on January 6, 2011, as Document No. 9956357, a division of Parcel 1 of Certified Survey Map No. 6313, being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Property Address: 7154 South 76th Street, Franklin, WI 53132

Tax Key Number: 756-9993-021

PARCEL B:

Outlot 1 of Certified Survey Map No. 6313, recorded on December 27, 1996, on Reel 3956, Images 849 to 851 inclusive, as Document No. 7307525, being a redivision of Parcel 2 of Certified Survey Map No. 4828, and Outlot 1 of Certified Survey Map No. 5689, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Tax Key Number: 756-9993-016

PARCEL C:

Outlot 1 of Certified Survey Map No. 5401, recorded on April 2, 1990, on Reel 2434, Images 436 to 439 inclusive, as Document No. 6366765, a redivision of Parcel 1 of Certified Survey Map No. 4828, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Tax Key Number: 756-9993-012

SECTION 2: §15-3.0447 of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby created to read as follows:

Section 15-3.0447 PLANNED DEVELOPMENT DISTRICT NO. 42 (*POTHS GENERAL*)

A. Development Scope.

This Planned Development District shall be constructed, operated and maintained in conformance with the following listed Exhibits, all containing matters approved hereunder or by the separate approval of the Common Council as set forth below, and all applicable terms and provisions of the Municipal Code and the Unified Development Ordinance not enumerated herein and not contrary to the terms or provisions of this Ordinance, including, but not limited to such permits as are required under Division 15-8.0200 Construction, Division 15-8.0300 Construction Site Erosion Control and Division 15-8.0600, as well as the Development Agreement required as a condition of approval of Exhibit A, below. The plans contained in the following listed Exhibits may be adjusted in minor detail and so noted prior to construction upon the written approval of the City Engineer or City Planning Manager in order to comply with all of the conditions of this Ordinance. The Developer of this Planned Development District is as set forth below.

1. **Exhibit A:** Concept Plan entitled “Poths General Apartments”, dated-stamped May 3, 2023.
2. **Exhibit B:** Site Intensity Calculation Site Plan, dated-stamped May 3, 2023.
3. **Exhibit C:** Site Intensity and Capacity Calculations, dated-stamped May 3, 2023.
4. **Exhibit D:** Natural Resource Protection Plan prepared by The Sigma Group dated May 1, 2023.
5. **Developer:** Land by Label, LLC.

B. **District Intent.** It is the intent of the Planned Development District No. 42 (*Poths General*) to allow for the development of commercial retail sales and services, hotel and multi-family residential uses.

C. **General Requirements.** The site shall be developed in substantial compliance with the district standards and specific development standards for the Planned Development District No. 42 (*Poths General*) set forth in this Ordinance.

D. **Permitted Uses.** The following uses are hereby permitted within the parameters as set forth below and referenced on Exhibit “A”.

1. Multi-family residential use within buildings A, B, C, D, E, F and G.
2. Any use within the commercial area of buildings A and B shall be a use consistent with the permitted uses in the B-3 Community Business District of the City of Franklin Unified Development Ordinance, as may be amended from time to time. Commercial uses are only permitted in buildings A and B, limited to the ground floor level.
3. Hotel-Inn as defined in the City of Franklin Unified Development Ordinance within building H.
4. Hardware store or any use consistent with the permitted uses in the B-3 Community Business District of the City of Franklin Unified Development Ordinance within the building labeled as “Ace Hardware” on Exhibit “A”.
5. Essential services as defined in the City of Franklin Unified Development Ordinance.

E. **Special Uses.** The following uses are hereby allowed when approved as Special Use within the parameters set forth in the Unified Development Ordinance, this Planned Development District No. 42, and as referenced on Exhibit “A”.

1. Any special use within the commercial area of buildings A and B shall be a special use consistent with the uses in the B-3 Community Business District of the City of Franklin Unified Development Ordinance, as may be amended from time to time.

2. Any building over four stories or 60 feet in height.

F. **Prohibited Uses.** All uses not listed as a permitted use, special use or accessory use thereto within the B-3 Community Business District or this Planned Development District No. 42.

G. **Accessory Uses.** The following uses are allowed provided the principal structure is present or under construction on the lot or parcel:

1. Amenities depicted on Exhibit “A”, specifically pavilion, plaza, food truck plaza, identity beacon, ice skating rink, restrooms, outdoor dining, splash pad, clubhouse, swimming pool and grill area.
2. Off-street parking as required in the City of Franklin Unified Development Ordinance.

H. **Non-residential Development Standards.** Commercial areas of Buildings A and B; Building H and the “Ace Hardware” depicted as commercial on Exhibit “B” shall meet the following development standards:

1. Minimum lot area: 40,000 square feet
2. Minimum Landscape Surface Ratio (LSR): 0.45
3. Maximum Gross Floor Area Ratio (GFAR): 0.31
4. Maximum Net Floor Area Ratio (GFAR): 0.57
5. Minimum front setback: 15 feet
6. Minimum side setback on corner lot: 15 feet
7. Minimum side setback: 10 feet
8. Minimum rear setback: 20 feet
9. Minimum setback from arterial roadways: 40 feet
(South 76th Street and Rawson Avenue)
10. Maximum building height,
 - Principal structure: 4.0/60 stories/ft
 - Accessory structure: 1.0/25 stories/ft

I. **Residential Development Standards.** Residential areas of Buildings A and B; Buildings C, D, E, F and G depicted as residential on Exhibit “B” shall meet the following development standards:

1. Minimum lot area: 40,000 square feet
2. Minimum Open Space Ratio (OSR): 0.35
3. Maximum Gross Density (GD): 30 dwelling unit/acre

- | | | |
|-----|--|-----------------------|
| 4. | Maximum Net Density (ND): | 45 dwelling unit/acre |
| 5. | Minimum front setback: | 15 feet |
| 6. | Minimum side setback on corner lot: | 15 feet |
| 7. | Minimum side setback: | 10 feet |
| 8. | Minimum rear setback: | 20 feet |
| 9. | Minimum setback from arterial roadways:
(South 76 th Street and Rawson Avenue) | 40 feet |
| 10. | Maximum building height, | |
| | Principal structure: | 4.0/60 stories/ft |
| | Accessory structure: | 1.0/25 stories/ft |

J. **Parking.** The minimum number of parking spaces shall comply with the requirements of the Unified Development Ordinance, and the maximum number of parking spaces shall conform to the table referenced on Exhibit “A”, unless otherwise approved in writing by the Plan Commission. No parking shall be allowed within the parking setback of 30 feet from a residential zoning district or 10 feet from a commercial zoning district. No parking setback is required when abutting another property zoned PDD No. 42.

K. **Conditions of Approval.** Pursuant to the Unified Development Ordinance Section 15-9.0208E.7.b.(1), a general approval of a Planned Development District is conditioned upon the subsequent submittal and approval of more specific and detailed plans. The conditions of general approval for Planned Development District No. 42 POTHS GENERAL are listed below:

1. The applicant shall be responsible for filing a Certified Survey Map or Preliminary Plat of Subdivision consistent with all requirements of the Unified Development Ordinance and this Planned Development District.
2. The applicant shall be responsible for filing a Subdivision Development Agreement consistent with all regulations of the Unified Development Ordinance and Municipal Code, as may be amended, for the Certified Survey Map or Final Subdivision Plat. Said Subdivision Development Agreement shall be subject to review and approval by the Common Council.
3. The applicant shall submit a landscape plan, as defined in the Unified Development Ordinance as part of the Certified Survey Map or Preliminary Plat submittal. Such landscape plan shall depict a 30-foot wide landscape buffer where the site abuts residential zoning districts, specifically R-6 as well as Planned Development Districts nos. 11 and 17, and excluding any natural resource area.

4. The applicant shall be responsible for filing Site Plans and/or Special Uses consistent with all regulations of the Unified Development Ordinance and Municipal Code, as may be amended, for each individual lot resulting from the eventual Certified Survey Map or subdivision plat.
5. Grading, stormwater management, erosion control and utility plans shall be subject to review by the Engineering Department.
6. This ordinance is not approving any of the impacts to protected natural resources indicated on Exhibit “D” Natural Resource Protection Plan. The applicant shall be responsible for filing a Natural Resource Special Exception application consistent with all regulations of the Unified Development Ordinance.
7. All protected natural resources indicated in the Natural Resource Protection Plan, including wetlands, wetland buffers, wetland setbacks and woodlands shall be protected by a conservation easement in accordance with the Unified Development Ordinance.
8. In the event that no building permit has been issued for any one of the structures in this Planned Development District; prior to the expiration of 24 months from the date of enactment of this Ordinance, and allowing a three month extension thereto if requested by the applicant and approved by the Common Council prior to the expiration of the 24 months, the zoning designation shall revert back to the zoning for the subject parcel(s) which existed prior to the effective date of this Ordinance.
9. The applicant shall submit a Traffic Impact Analysis of this development at the time detailed site plans or land division applications are provided for review.
10. All signs, including the identity beacon depicted on Exhibit “A”, must comply with the city’s sign regulations and will require a separate approval.
11. The applicant shall be responsible for revising the location of Building A or any other building to meet the 40-foot building setback from arterial roadways (South 76th Street and West Rawson Avenue) set forth in Section 15-5.0108B. of the Unified Development Ordinance.
12. The applicant shall be responsible for revising the location of parking lots to meet the parking setbacks set forth in Section 2.J. “Parking” of this ordinance.

SECTION 3: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of

competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 4: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 5: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

Exhibit "A"

BUILDING	UNIT COUNT	PARKING	
		ENCLOSED (T11)	SURFACE (T12)
A 3+1 STORY	40	40	30
B 4+1 STORY	46	46	35
C 4+1 STORY	64	64	48
D 3+1 STORY	80	80	60
E 3+1 STORY	80	80	60
F 3+1 STORY	80	80	60
G 3+1 STORY	40	40	30
TOTALS	430 UNITS	430 STALLS	323 STALLS
H HOTEL	30 ROOMS*	-	50 STALLS*
PUBLIC	-	-	300 STALLS*

WEST RAMSON AVENUE

WEST RAMSON AVENUE

SOUTH 76TH STREET

SOUTH 76TH STREET




NORTH
SCALE = 1 : 100



SITE INTENSITY CALCULATION SITE PLAN

WEST RAMSON AVENUE

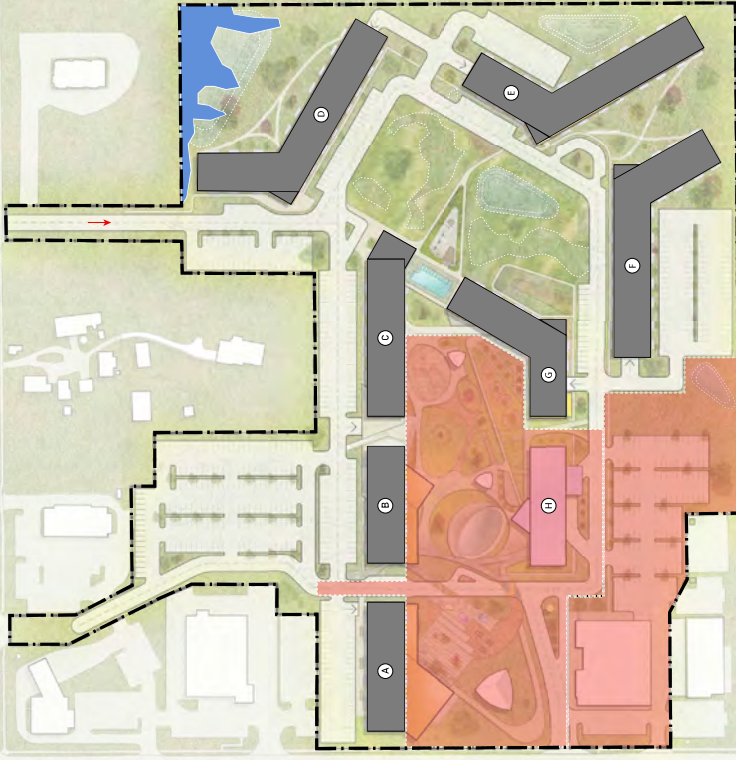
SOUTH 76TH STREET

	COMMERCIAL
	NATURAL RESOURCE PROTECTION AREA
	RESIDENTIAL

Areas identified for the purposes of visually illustrating the site intensity calculations.

Exhibit "B"

 NORTH
SCALE = 1 : 100



Poets General Nonresidential Area

Exhibit "C"

Table 15-3.0502
**WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
 FOR ~~BOTH RESIDENTIAL AND~~ NONRESIDENTIAL DEVELOPMENT**

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	24.515 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (17.107 acres) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	17.107 acres
STEP 5:	Equals "Base Site Area"	= 7.408 acres (nonresidential)

17.107 acres residential

Resource Protection Areas within Nonresidential Area

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	0
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	0
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> 0 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 7.408 </u></p> <p>Multiply by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u> 0.45 </u></p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p align="right">3.334 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 7.408 </u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u> 3.334 </u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p align="right">4.074 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u> 4.074 </u></p> <p>Multiply by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u> 0.57 </u></p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p align="right">2.322 acres</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u> 7.408 </u></p> <p>Multiply by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u> 0.31 </u></p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p align="right">2.296 acres</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p align="right">2.296 acres 100,034 SF</p>

**Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND NONRESIDENTIAL~~ DEVELOPMENT**

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	24.515 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (7.408 acres) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	7.408 acres
STEP 5:	Equals "Base Site Area"	= 17.107 acres (residential)

7.408 acres nonresidential

Resource Protection Areas within Residential Areas

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	0
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	0
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 2.31 </u> =	1.155
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0.56 </u> =	0.56
Wetland Setback	--	--	--	X <u> 0.35 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0.66 </u> =	0.66
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					2.375

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0504

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR RESIDENTIAL DEVELOPMENT

<p>STEP 1:</p>	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>17.107</u></p> <p>Multiply by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u></p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	<p align="center">5.987 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>17.107</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: - <u>5.987</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p align="center">11.12 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>11.12</u></p> <p>Multiply by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>45</u></p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	<p align="center">500.4 D.U.s</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>17.107</u></p> <p>Multiply by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>30</u></p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	<p align="center">513.21 D.U.s</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p align="center">500 D.U.s</p>

RESOLUTION NO. 2023-_____

A RESOLUTION RECOMMENDING THE ADOPTION OF AN
ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025
COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF
FRANKLIN 2025 FUTURE LAND USE MAP FOR PROPERTIES LOCATED
AT APPROXIMATELY 7154 SOUTH 76TH STREET FROM COMMERCIAL
USE TO MIXED USE, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Franklin is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, Land By Label LLC has applied for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for properties located at approximately 7154 South 76th Street (3 parcels) from Commercial Use to Mixed Use, such properties bearing Tax Key Nos. 756-9993-021, 756-9993-016 and 756-9993-012, more particularly described as follows:

PARCEL A:

Parcel 2 of Certified Survey Map No. 8318, recorded on January 6, 2011, as Document No. 9956357, a division of Parcel 1 of Certified Survey Map No. 6313, being part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Property Address: 7154 South 76th Street, Franklin, WI 53132

Tax Key Number: 756-9993-021

PARCEL B:

Outlot 1 of Certified Survey Map No. 6313, recorded on December 27, 1996, on Reel 3956, Images 849 to 851 inclusive, as Document No. 7307525, being a redivision of Parcel 2 of Certified Survey Map No. 4828, and Outlot 1 of Certified Survey Map No. 5689, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

Tax Key Number: 756-9993-016

PARCEL C:

Outlot 1 of Certified Survey Map No. 5401, recorded on April 2, 1990, on Reel 2434, Images 436 to 439 inclusive, as Document No. 6366765, a redivision of Parcel 1 of Certified Survey Map No. 4828, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.
Tax Key Number: 756-9993-012; and

WHEREAS, the Plan Commission having determined that the proposed amendment, in form and content as presented to the Commission on June 22, 2023, is consistent with the Comprehensive Master Plan’s goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the 2025 Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Franklin.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the application for and the proposed ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for properties located at approximately 7154 South 76th Street (3 parcels) from Commercial Use to Mixed Use, be and the same is hereby recommended for adoption and incorporation into the 2025 Comprehensive Master Plan by the Common Council.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

APPROVED:

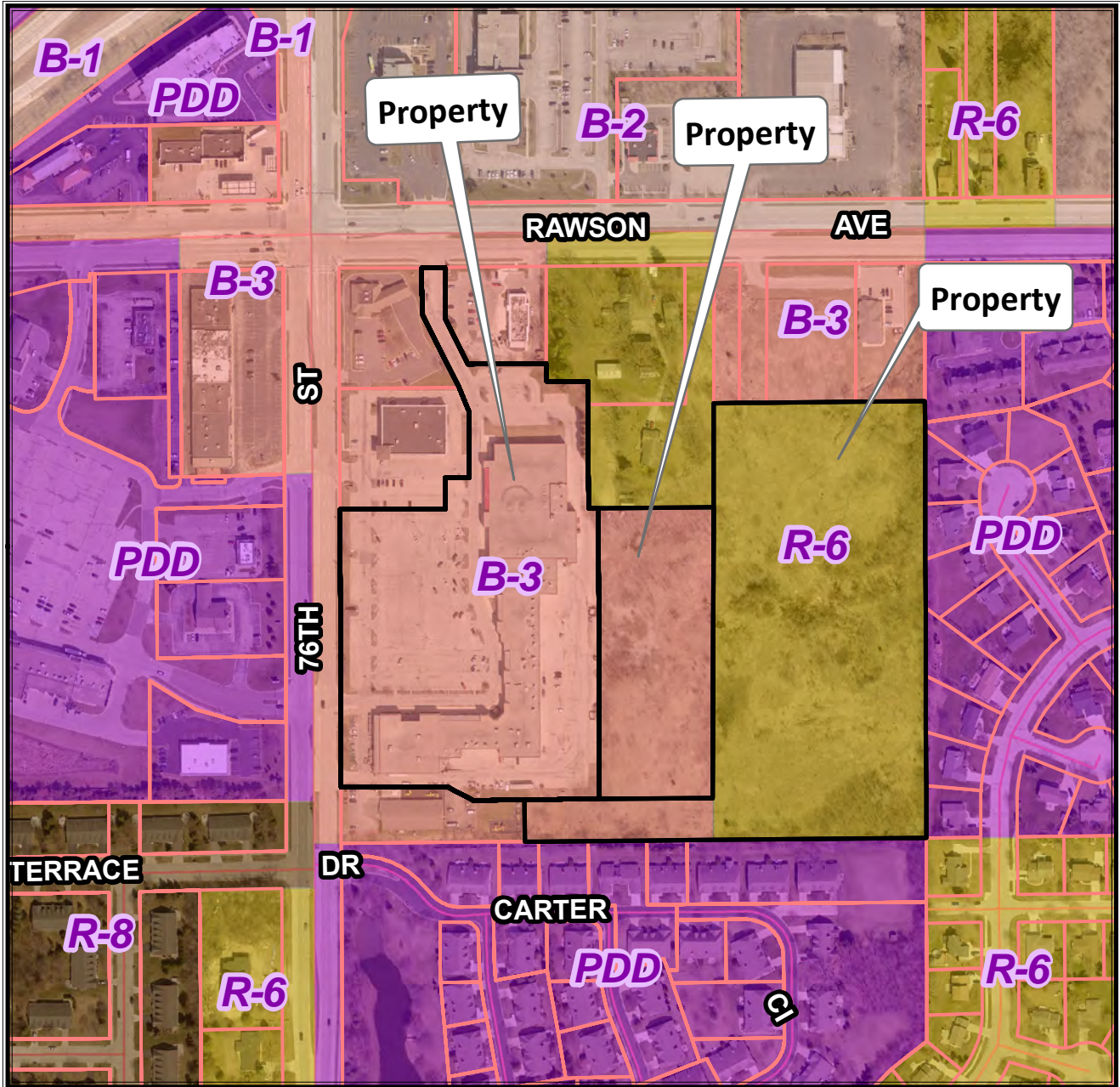
John R. Nelson, Chairman

ATTEST:

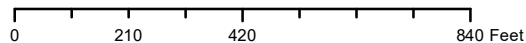
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

7154 S. 76th Street
 TKNs 756 9993 021, 756 9993 016 & 756 9993 012

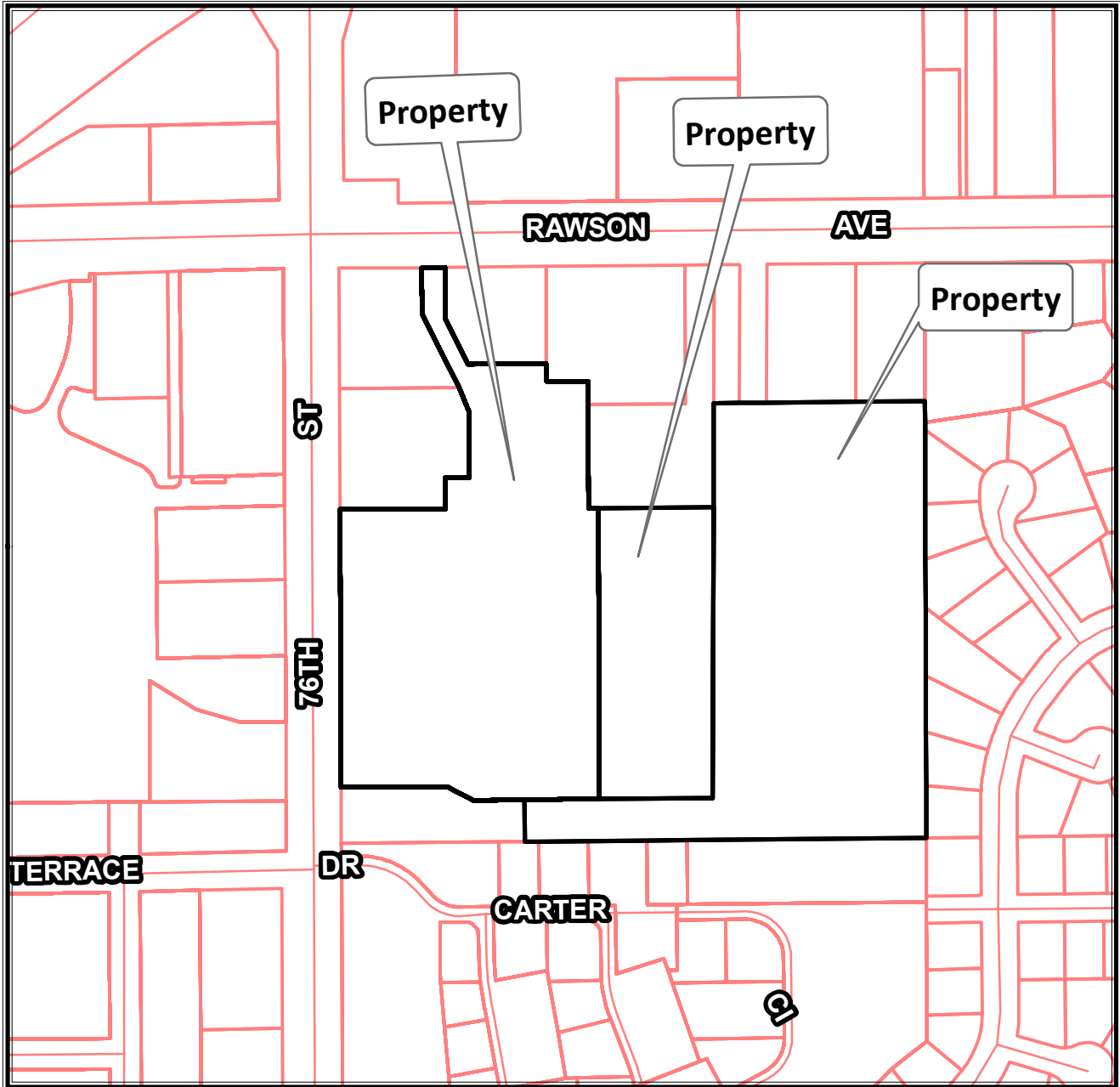


Planning Department
 (414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7154 S. 76th Street
TKNs 756 9993 021, 756 9993 016 & 756 9993 012



Planning Department
(414) 425-4024

0 210 420 840 Feet



NORTH
2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

LAND
By
LABEL
DEVELOPMENT CO.



A Planned Development District and Comprehensive Plan Amendment Application for a Mixed-use Master Planned Redevelopment

May 12, 2023

The Development Team

Land By Label

Land By Label is an integrated multifamily and mixed-use real estate company. We have over 50 years combined real estate experience, including development, finance, legal, construction oversight, asset management and disposition strategy. While our primary focus is southeastern Wisconsin, our team has significant experience developing multifamily assets across the country. Our cultivated network of brokers and consultants, including architects, engineers and property management experts, allows Land By Label to identify and execute the best development opportunities in our backyard and beyond.

Methodical risk management guides Land By Label's development process. Market and site identification is driven by empirical supply-demand factors, including detailed demographics and multifamily performance. Site conceptualization and design is a hands-on experience informed by market/site conditions and the best branding, architectural and engineering minds in the business. The site concept must accomplish two goals—satisfying the real time demand of our customers and creating a positive impact on the local community. Land By Label conducts outreach with elected officials and surrounding property owners as the best ideas are incorporated into our thinking. Our due diligence is exhaustive. We understand development risks ranging from geotechnical and environmental conditions to title and survey challenges. Our Managing Principal's legal experience combined with outside development counsel ensures all the issues are identified, considered and solved.

Poets General will be led by Ian Martin, Founder and Managing Principal of Land by Label and Brian Strandt, Vice President of Construction and Emily Cialdini, Vice President of Development.

ROC Ventures

ROC Ventures manages a collection of brands in the sports, entertainment, and real estate sectors. These include the Milwaukee Wave, the Milwaukee Milkmen, The Rock Sports Complex, a collegiate baseball franchises located in Indiana, the Ballpark Commons development, and more.

ROC stands for "Return on Community," a goal which informs each and every endeavor undertaken by the organization. ROC Ventures is led by Michael Zimmerman, Owner and Executive Officer. Since 2004, Zimmerman has owned and operated 30 businesses in the healthcare, sports and entertainment industries. The healthcare companies are now working collectively with over 80 percent of our nation's hospitals.

The Design Team

Continuum Architects & Planners

Established in 1996, Continuum Architects + Planners was born out of a desire to provide high design without compromising meticulous attention to detail. We are made up of a tight-knit, creative, and highly technical team of design professionals. For us, architecture is an investment in the future, a belief in great things to come. Our design philosophy extends beyond the bounds of the physical building to include the users and the community impacted by the design. Continuum's approach to design is to carefully balance the pragmatic and the visionary, pairing meticulous project planning with inspired creativity. We call it intelligent optimism. We intentionally work with clients who want to enhance the built environment and on projects that uplift the communities in which they are located. We understand that how places and spaces are planned, programmed, designed and built presents an opportunity to inspire hope, and our process reflects that.



Falamak Nourzad
AIA, NCARD, LEED, ASID
Principal-In-Charge



Vaishali Wagh RA,
LEED AP
Principal Design Architect



Nicholas Allen
AIA, LEED AP BD&C
Associate Architect

Spotlight Projects

- The Watertown, Wauwatosa
- Paper Box Lofts, Milwaukee
- Welford Sanders Historic Lofts, Milwaukee
- Historic Mackie Building, Milwaukee
- Port Washington Townhomes, Port Washington

The Sigma Group

The Sigma Group, Inc. (Sigma) is a full-service consulting and civil engineering firm. Our Milwaukee-based staff includes registered professional engineers in civil, environmental, and chemical disciplines; registered land surveyors; construction inspectors; certified asbestos supervisors / inspectors; certified lead inspectors / risk assessors; Certified Hazardous Materials Managers, professional geologists and hydrogeologists, as well as additional engineering technicians, scientists and compliance specialists.



Chris Carr, PE
Vice President/Co-Chief
Operating Officer/Civil
Engineering Group Leader



James Leedom, PE, LEED AP Senior
Project Engineer

Spotlight Projects

- The Seasons, Franklin
- The Reef, Wauwatosa
- State Street Station, Wauwatosa
- Stitchweld, Milwaukee
- 22 Slate, Madison

Development Considerations

Project Vision

The historic Poths General Store served Franklin families for 40 years as the neighborhood emporium at the redevelopment site. Tailored brick by brick to create newfound urban energy and vintage-inspired local charm, the refined Poths General presents an original, bustling boutique scene to connect the community at this iconic corner in the City of Franklin.

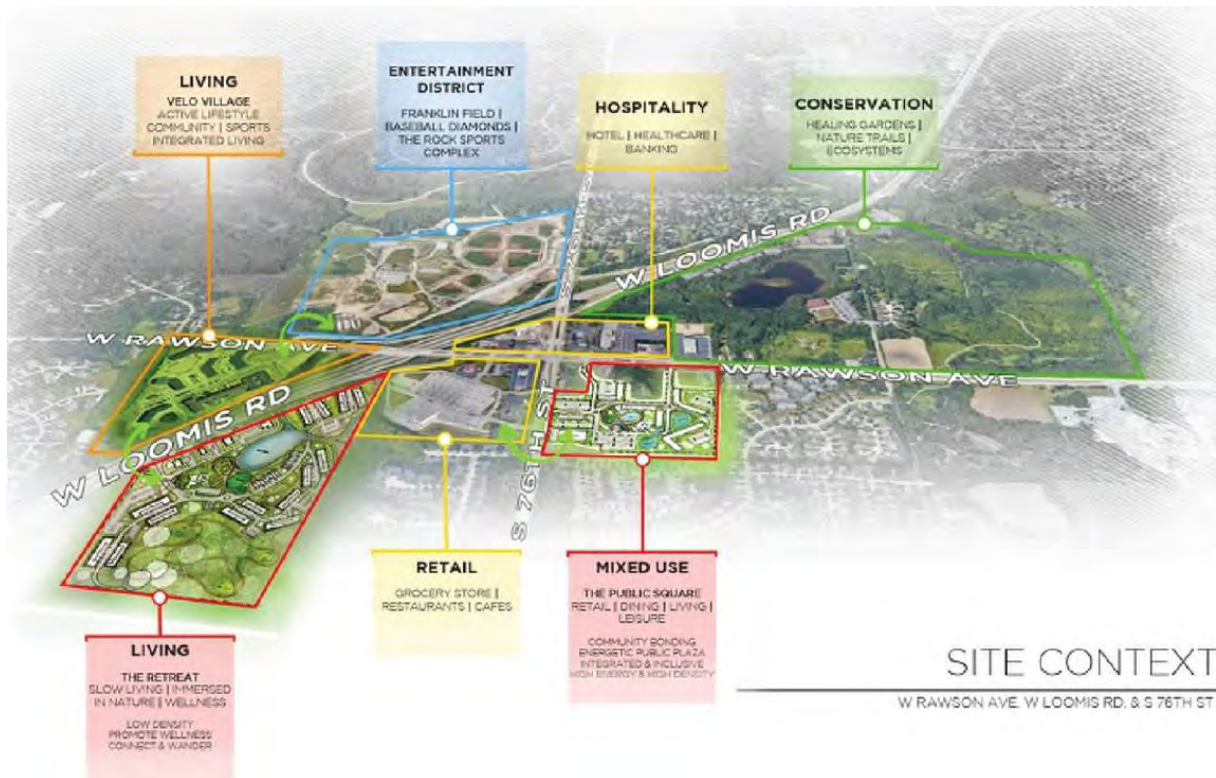
A collection of retailers, restaurants, residences, amenities, and rotating activations designed to endure and evolve. A modern heirloom destination, the reimaged Poths General gathering place offers a wholly unique visitor and resident experience with balanced style and substance.



Poths General represents a rare opportunity for the City of Franklin to elevate this prominent corner of the City by converting an underutilized, dated strip mall into thriving public town center that includes a mix of housing, commercial and green space. A comprehensive redevelopment allows the City to preserve and enhance the City's existing investment in Ballpark Commons. The site lies among existing commercial and higher density residential housing representing an ideal location for the mix of proposed commercial, hospitality and multifamily residential.

The redevelopment effort generates significant and long-term economic impact, an estimated \$182 million dollars over the next 10 years. The economic impact of the construction activities

alone generates roughly \$188 million of output and labor income and creates over 1,000 jobs. Maybe most importantly, Poths General will deploy roughly \$2 million of disposable income in the area to existing businesses within the City annually. Additional information regarding the economic impact was prepared by Baker Tilly and can be found on page 15.



The site design with its public presence on 76th Street welcomes in the community. Elements of the town center and commercial storefronts are immediately visible from 76th Street while identity beacons, wayfinding signage and landscaped features will guide pedestrian and vehicular traffic safely and seamlessly into the site. The town center evolves into an exciting public realm, bound by active commercial and residential uses. We envision the town center to include a variety of public space weaving together green space and fully programmed areas. Incorporated within our proposal is representative precedent imagery and building massing to demonstrate the architectural character and scale and how the integrated uses create urban vitality. We understand that building architecture and landscaping will need to be refined as we advance through the approval process.

The housing component is a carefully considered real estate response to demographic changes that reflect on housing preferences and strong, demonstrated demand for luxury rental housing in the Franklin submarket. Included herein on page 16 are factors contributing to the immense need for apartments. The residential housing will include a wide variety of unit styles and mixes

ranging from studio units to three bedrooms, intended to meet the needs of a wide cross section of the City's population. The development will appeal to those preferring the flexibility and maintenance-free lifestyle that rental housing offers to those aspiring to home ownership. New businesses will be supported by the existing Franklin community but also by the new population generated by the housing component of the redevelopment.

Program Statement

Poets General includes the assemblage of three parcels including the Orchard View Shopping Center and two vacant parcels just east of the shopping center. In total, the redevelopment site measures roughly 25 acres. We proposed to redevelop these sites into the following uses:

Town Center

While a vision for the town center is depicted on the attached concept plans, our goal is to incorporate ideas from staff, elected officials and residents. All proposed uses depicted on the site plan are intended to facilitate an open dialogue about the ultimate uses at the town center. Our plans show a variety of open and programmed public uses. We envision a mix of open green space available for a weekly farmers markets or winter holiday markets and programmed areas containing a large screen for community movie nights or a small amphitheater for a concert series. We show an ice-skating rink that creates a four-season destination in the winter and a splash pad for the summer. A food truck court includes adjacent enclosed kitchen and public restrooms to allow for a continually rotating mix and variety of food purveyors. Outdoor plazas adjacent to the commercial uses tether the public uses to the activated commercial space. Finally, a network of pedestrian walks links all of the uses on the site allowing visitors to fully explore and experience this urban lifestyle complex.

Retail

Poets General includes roughly 15,000 square feet of commercial and retail space. We envision a mix of high-quality boutiques, restaurant, brewery and coffee shop vendors for the space.

Enhancements to Harry's Ace Hardware

Harry's Ace Hardware will remain in its current location, but will receive enhancements to the exterior architecture and landscaping. Harry's has been a staple to the City of Franklin and is a wonderful, complementary use to the new proposed redevelopment.

Boutique Hotel

A roughly 50-key, three-to-four-story boutique hotel will be developed by separate but related development partners.

Luxury Apartments

Up to 500 apartment units contained in a variety of three to five-story buildings each with a 40 to 90 units. The apartments will be served by roughly one-to-one enclosed parking. Due to unique site conditions, the enclosed parking may extend above grade, creating a half level of exposed

residential parking. In some locations along the public plaza, these above grade conditions create an opportunity for ‘walk up’ residential patios. They allow residents to engage with the plaza at a more intimate scale and create a unique lifestyle option. Special attention will be paid to activate the street level at the parking level. The exterior architecture for each building will be cohesive, but not identical and will include a similar mix of high-quality materials and glazing. Additional surface parking directly adjacent to each building will provide sufficient parking for residents and guests. The interior and exterior design and finish of Poths General will be one of the finest in the Franklin submarket. Units ranging from studios to three-bedrooms will feature top-of-the-line finishes – quartz countertops, stainless steel appliances, and hard surface plank flooring.

Resident Amenities

With a development of such scale, we have an opportunity to deliver exceptional resident amenities. A roughly 6,000 square foot clubhouse is positioned opposite the town center uses, creating a dynamic but permeable division of public and private zones. The clubhouse will include our leasing center and management offices along with an expansive clubroom with ample patio space, outdoor kitchen and private pool. A pastoral central common is designed to the east of the clubhouse as a residential ‘backyard’. It is separated from the high activity public plaza and provides access to resident dog parks, water features, recreational pavilions, and several thousand linear feet of walking trails.

Pedestrian Connectivity

Pedestrian connectivity within the site and the community at large is a critical component of Poths General’s success. To that end, we will ensure that a series of pedestrian walking trails connecting not only the uses within our proposed redevelopment, but also the neighborhood and street frontage is thoughtful and well considered. We will work directly with planning staff to ensure that Poths General expands upon the City’s network of walking trails and sidewalks.

Natural Resource Protection

Throughout the due diligence process, we have identified three wetlands on the site. Two of the wetlands in the middle of the site are filled with gravel and were determined to be artificial, emergent wetlands by the WDNR. The third wetland is located at the northeast corner of the site and is a native wetland. Our site planning currently contemplates building around and preserving the majority of the wetlands. Included herein is a draft Natural Resource Protection Plan.

Parking

While our vision was focused on creating an exciting redevelopment, we have not lost sight of practical considerations - like parking. The site plan includes roughly 300 surface stalls to serve the public and commercial uses. The residential uses include one-to-one enclosed parking spaces and roughly .75 space per unit in surface parking for supplementary residential and guest parking distributed throughout the site for convenience. The abundance of parking is designed to accommodate active programming of the public space thereby ensuring safety and convenience.

With over 1,000 overall parking stalls, there is more than sufficient parking to meet the needs generated by our development.

Collaborative Design Approach

Poeths General's plans reflect a highly considered design solution that incorporates good design principles and is responsive to preliminary feedback from neighbors, Staff and elected officials. Throughout the development process we are sure to encounter challenges and opportunities that will inform our design going forward. We have hosted a neighborhood meeting where we received valuable feedback. We will continue to solicit feedback from stakeholders. It is our experience that the best projects are those informed by a reasonable, constructive conversation with all stakeholders.

Development Ownership, Controls and Regulations

Land By Label is the lead developer and will control, manage and execute the design, development and construction of the apartments, commercial space, town center and associated green space and infrastructure of Poeths General. ROC Ventures is a financial partner of the development and participates creatively in concept and design. They will also be lead in programming and hospitality. The hotel parcel may be developed, designed and managed by a third party, but will still be subject to multiple layers of Land By Label and City control, including design and operational guidelines.

Land By Label will record against the entire property a restrictive covenant agreement (the "Restrictive Covenant") that provides cross-access easements among all the varied uses. The Restrictive Covenant will also give Land By Label control over the architecture, site planning and landscaping on the entire redevelopment including the hotel parcel. The City retains final approval rights of the hotel. The Restrictive Covenant will also impose on-going maintenance standards and requirements to ensure the overall site is kept in good condition and repair. It is likely that Land By Label, as manager of the apartments, will be responsible for maintaining general common areas, like stormwater management, and the commercial and hotel users will pay their share of such maintenance costs.

Land By Label and the City will encumber the entire site with a mutually agreeable development agreement in addition to the PDD ordinance to set the density permitted on the property, setback requirements, maximum building height and impose an on-going maintenance obligation to ensure the development remains in good condition and repair.

The town center is designed and programmed to be a public space that is highly visible, engaging and accessible. There are multiple options to ensure that this space remains public including deeding the land to the City or recording public access easements against the property. We may also desire to record some mutually agreeable limitations on use for the town center to preclude

unwanted activities. We will continue to advance discussions with City staff to ensure we reach an agreement and approach which the City is comfortable.

Policy Considerations

Pothes General requires a rezoning to a Planned Development District and a Comprehensive Plan Amendment to allow for the program uses. The existing current zoning for Parcels A and B is B-3 is Community Business District and the existing zoning for Parcel C is R-6 (Suburban Single-Family Residence District). A new Planned Development District with Mixed Compatible Uses will allow our proposed redevelopment to “derive maximum benefit from coordinated area site planning, diversified location of structures, and mixed compatible uses that result in the provision of a safe and efficient system for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and community facilities; and ensure adequate standards of construction and planning.”

(UDO Section 15-3.0401A.) Although a change in use, the redevelopment maintains consistency with the City’s overall policy considerations identified in the City of Franklin Unified Development Ordinance and the 2009 Comprehensive Plan.

The City of Franklin Comprehensive Plan identifies several guiding principles, goals and objectives to facilitate successful, balanced growth that enhances the quality of life for present and future generation, attracts knowledge workers and industry, provides a wide range of housing opportunities and creates access to recreation. The UDO specifies standards that represent the basis for approval for Planned Development Districts. In all cases, Pothes General is consistent with the stated goals of the Comprehensive Plan and the Planned Development District as summarized and demonstrated below.

Balanced Growth

Preserve the City’s community character while at the same time encouraging and directing growth and development. Support sustainable growth. Encourage a unified mix of uses that is compatible with the surrounding neighborhood. Ensure population impact has no adverse effect on schools and municipal services.

Pothes General includes a balanced mix of high-quality public, commercial and residential spaces that preserves ecological features and integrates public green space surrounding a town center. Pothes General generates significant economic development while at the same time preserving and enhancing ecological features. The number of school aged children residing in suburban communities is low and will likely have a negligible impact on schools. Furthermore, Pothes General will generate significant impact fees sufficient to cover an increase in municipal services.

High Quality and High Value Development

Deliver high-quality development, regardless of use. High value development decreases the tax burden. Encourage compatible mixed-use development within commercial corridors. Strive toward excellence in creating attractive residential developments.

It is Land By Label's core belief that high quality development begins with identifying the highest and best use each site, retaining the top consultants in the industry and a focus on thoughtful site planning. The best redevelopments are also those that incorporate reasonable, constructive feedback of project stakeholders including City Staff, elected officials, neighbors and nearby businesses. Detailed attention will be paid to ensure the quality of work permeates through our building architecture and exterior and interior finishes, floor plans and resident and public amenities.

Economic Development

Promote Franklin as a high-quality community that supports residents and business, creates jobs for a growing population and expands and diversifies the City's tax base. Create a range of employment opportunities.

Poets General with a mix of residential and commercial uses generates significant economic impact to the City of Franklin and, more generally, the region. An independent, third-party economic impact assessment prepared by Baker Tilly quantified the impact in terms of jobs and economic output. The report is included herein on page 15. Highlights from the report indicate the Construction Impact generates \$188.6M of economic output and labor income while at the same time creating 1,006 total jobs. The Operation Impact is roughly \$16.3 of annual economic output and labor income with 65.1 annual jobs. The economic output over the next 10 years is estimated a \$182.6M and deploys approximately \$2.0M in disposable income into local retailers and businesses.

Furthermore, the contemplated development represents a massive expansion of the City's tax base. Over \$150 million of new tax base will yield significant annual tax income to the City upon closure of the TID.

Finally, the proposed redevelopment will generate an estimated \$3 million in impact fee revenue for the City of Franklin, including \$2.4 million allocated to just the luxury apartments. Impact fees will help the City pay for parks, police and fire protection, libraries and other municipal services.

Housing Principles

Provide a wide range of housing opportunities that support working professionals, seniors, and families. Allow for a variety of residential types and densities wherever possible and appropriate.

Poths General delivers an alternative to the for-sale single-family and multi-family options that currently exist. A range of unit styles at varying rental rates will be available including studio, one-bedroom, two-bedroom and three-bedroom unit styles. The variety of housing styles appeals to a wide range of demographics ranging from Generation Z to Millennials and Empty Nesters. The adjacent public and commercial uses create an unmatched housing option with the City of Franklin. Additionally, Land By Label's proposed Vitalogy development offers yet another housing type and style in a preserve-like setting for those who may desire a more passive, rural location.

Transportation

Create and maintain a safe and efficient transportation and create opportunities for walking and bicycling.

Ample walking and bike trails are found throughout our development, connecting the residential, public and natural environment. We will continue to work with planning staff to ensure the connectivity of our development with adjacent uses and the larger redevelopment hubs within the City of Franklin. Access to the development is served from the existing access point on 76th Street, just north of Harry's Ace Hardware and from a new access point through a dedicated public right-of-way through a third-party parcel just north of the site. A traffic study is currently underway that will evaluate the existing traffic patterns, future traffic generated by our development and the traffic impact and improvements required to create safe and efficient traffic patterns. We will continue to work with staff to ensure that our development will not negatively impact any nearby traffic conditions and that we create safe access and thoroughfares.

Community Facilities

Provide access to parks, open space and a wide range of recreational programs and facilities that promote an active and healthy lifestyle. Make Franklin a community of modern conveniences. Create a city-wide trail system for pedestrians and cyclists. Identify opportunities for new neighborhood parks and city parks. Create links for natural areas when developing park areas.

The key component of Poths General is the inclusion of public amenities that effectively create a town center. As detailed in the 'Program Statement', the town center includes a variety of open and programmed public uses. We envision large open green space available for a weekly farmers markets or winter holiday markets along with more programmed areas containing a large screen

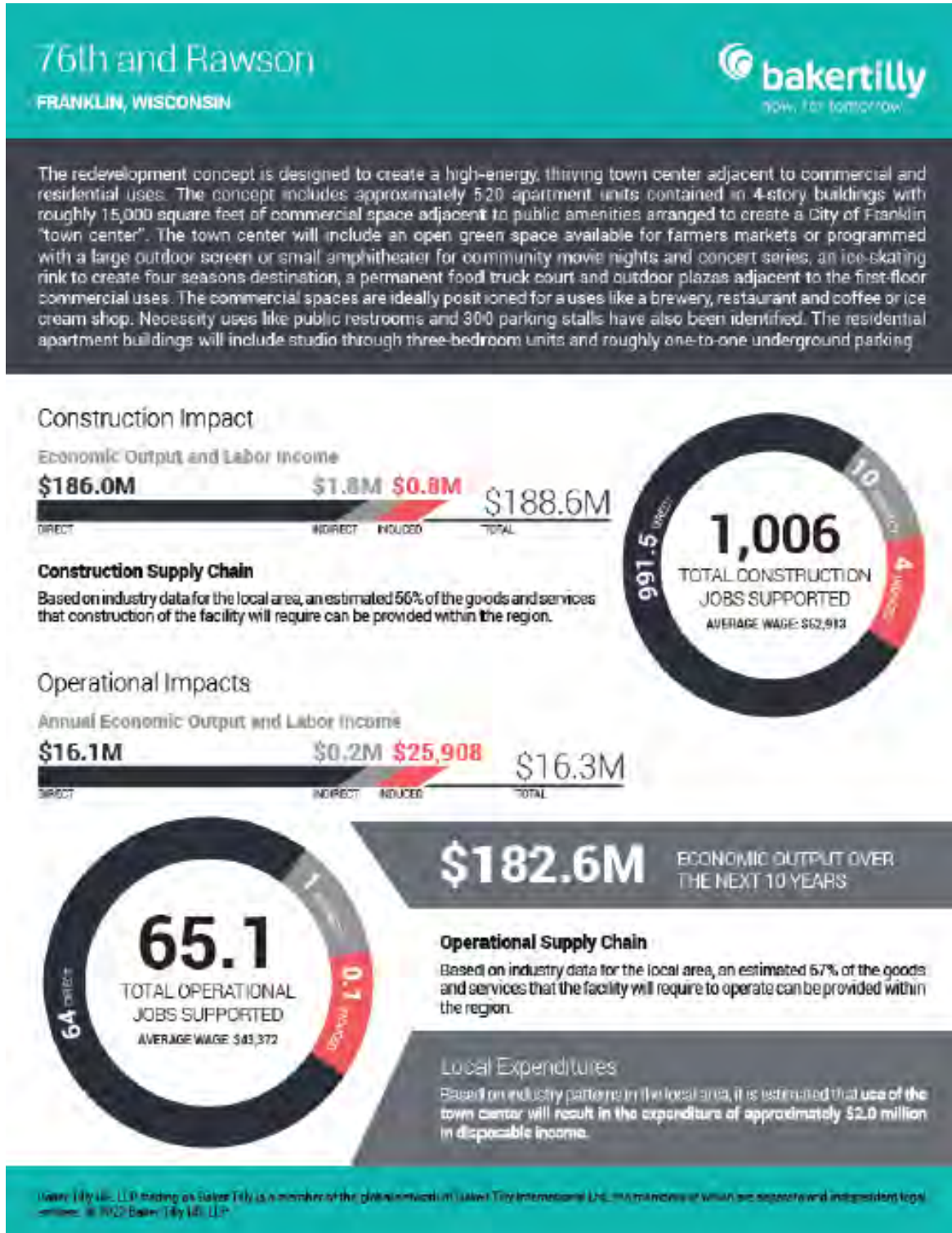
for community movie nights or a small amphitheater for a concert series. An ice-skating rink creates a four-season destination, and a food truck court includes adjacent enclosed kitchen and public restrooms to allow for a continually rotating mix of food purveyors. Finally, a variety of outdoor plazas adjacent to the commercial uses tether the public uses to the activated commercial space. The town center lends a public presence and is highly visible from the City's main north/south corridor, 76th Street. The intentional site design welcomes the community in from 76th Street and the public amenities unfold as you enter the site.

Sustainability and Environmental Resources

Enhance natural resource features to maintain the natural beauty of the City and balance these with the development rights of planned zoning. Include public open space within and adjacent to mixed-use development. Require guarantee for Preservation of Open Space.

A main priority for this development was to preserve and incorporate green space into the overall site planning. The building and roadway placement mitigates impact to three wetlands found on the site. Two of the wetlands are filled with gravel and were determined to artificial, emergent wetlands by the WNDP. The third wetland located at the northeast corner of the site is a native wetland and will be protected and enhanced. Despite the two wetlands being artificial, our site planning contemplates not only working around them, but protecting them and incorporating them into the site design and connecting them to walking trails and the town center. There are a variety of ways to guarantee the preservation of open space and the public accessibility throughout our site and we are open to working with City to appropriately record public access and preservation.

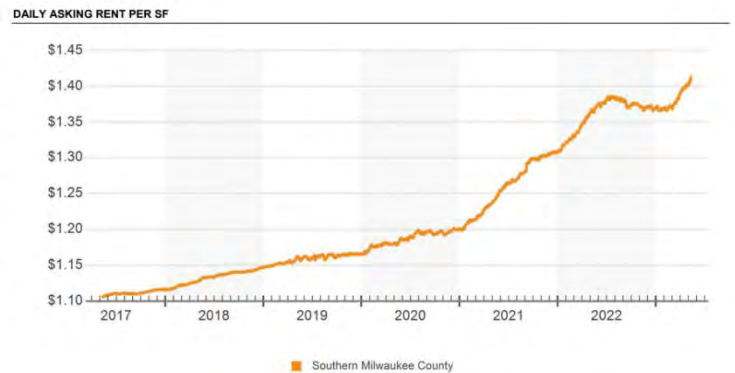
ECONOMIC IMPACT ANALYSIS



THE NEED FOR APARTMENTS

1. Homeownership rates are at 40-year historic lows.
2. Millennials are delaying household formation and homeownership.
3. Millennials burdened with student debt that has limited their saving for a down payment.
4. The average sales price for homes continues to rise.
5. Interest rates on home mortgages continue to rise.
6. Largest growing renter demographic over the last ten years has been the baby boomer cohort.
7. Generation Z is demonstrating a strong propensity to rent.
8. Life cycle housing creates healthy, viable communities. Apartments offer a housing solution that allows younger families looking to buy in the community the opportunity to rent. Apartments offer empty nesters the opportunity to remain the communities they are rooted, but with added flexibility and no maintenance.
9. Franklin submarket apartment fundamentals are strong – 97% + occupancy and continued strong rent growth. (See graph below)
10. Marginal demand analysis of income qualified renter growth vs. units in pipeline demonstrates a surplus demand of 200 units. (See tables below)
11. Velo Village’s record setting lease-up at 30 units per month demonstrates strong demand of immediate area.

Income Eligible Renter Population Primary Market Area (10-Mile of Franklin City Center)		
Year	2022	2027
Total Population	518,612	512,083
Households Total	214,301	212,468
Renter-Occupied Households	82,401	79,375
Income Brackets	Total Households	Total Households
\$50,000 - \$74,999	40,002	36,577
\$75,000 - \$99,999	30,817	29,873
\$100,000 - \$149,999	41,423	50,243
\$150,000 - \$199,999	15,862	22,756
\$200,000+	10,842	13,293
Total # of Income-Eligible Households	Total Households	Total Households
	138,946	152,742
% Renter-Occupied	38.45%	37.36%
# Income-Eligible Renter-Occupied Households	53,426	57,062



Marginal Demand Analysis	
a	Income Qualified Renter Households 2022 53,426
b	Income Qualified Renter Households 2027 57,062
c	Increase in Income Qualified Renter Households 3,636
d	# Units in Pipeline 2,575
e	Subject Units 1,003
f	Total New Supply (d+e) 3,578
g	New Units at Balanced Market (96%) 3,435
h	Net Excess Demand (c-g) 201

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
generalplanning@franklinwi.gov
 (414) 425-4024
franklinwi.gov



APPLICATION DATE: 5/3/2023

STAMP DATE: **Franklin** only

MAY 03 2023

City Development

COMMON COUNCIL REVIEW APPLICATION

PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME: Poths General		NAME: Ian Martin	
COMPANY: Land By Label		COMPANY: Land By Label	
MAILING ADDRESS: 7044 South Ballpark Drive		MAILING ADDRESS: 7044 South Ballpark Drive	
CITY/STATE: Franklin, WI	ZIP: 53132	CITY/STATE: Franklin, WI	ZIP: 53132
PHONE: 414-285-3401		PHONE: 414-285-3401	
EMAIL ADDRESS: ian.m@landbylabel.com		EMAIL ADDRESS: ian.m@landbylabel.com	

PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 7154 South 76th Street & Adjacent Parcels	TAX KEY NUMBER: 756-9993-021; 756-9993-016; 756-9993-
PROPERTY OWNER: Initech LLC	PHONE: 414-224-9283
MAILING ADDRESS: 7044 South Ballpark Drive	EMAIL ADDRESS: tomj@rocventures.com
CITY/STATE: Franklin, WI	DATE OF COMPLETION: OFFICE USE ONLY

APPLICATION TYPE

Please check the application type that you are applying for

- Concept Review
 Comprehensive Master Plan Amendment
 Planned Development District
 Rezoning
 Special Use / Special Use Amendment
 Unified Development Ordinance Text Amendment

Most requests require Plan Commission review and Common Council approval.

Applicant is responsible for providing Plan Commission resubmittal materials up to 12 copies pending staff request and comments.

SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

- I, the applicant, certify that I have read the following page detailing the requirements for plan commission and common council approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE:
NAME & TITLE: Michael Zimmerman, CEO DATE: 5/3/23	NAME & TITLE: Ian Martin, Managing Principal DATE: 5/3/23
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: DATE:	NAME & TITLE: DATE:

May 3, 2023

Mr. Regulo Martinez-Montliva
Principal Planner
City of Franklin
9229 West Loomis Road
Franklin, WI 53132

Re: Poths General PDD & Comprehensive Master Plan Amendment Resubmittal

Dear Regulo,

We are pleased to resubmit applications for Planned Development District and Comprehensive Master Plan Amendment related to the Poths General development. In particular, you will find under cover of this letter the following documents:

1. City Council Review Application for PDD and Comprehensive Master Plan Amendment;
2. Twelve (12) copies of the updated site plan;
3. Twelve (12) copies of updated renderings;
4. Twelve (12) copies of a comprehensive master plan amendment exhibit delineating the proposed commercial area, residential area and natural resource conservation area;
5. Twelve (12) copies of the site intensity worksheets; and
6. Twelve (12) copies of the response to staff comments.

In addition to and simultaneously with the foregoing hard copies, we are providing an electronic copy of the foregoing information via dropbox.com link. If you have any problems downloading the information please let me know and we will arrange for an alternative method of delivery.

By way of background, the original proposal for this project was submitted on November 7, 2022 and we received comments from the City Staff on March 31, 2023. We also conducted a “large format” neighborhood meeting at the Franklin Public Library on March 2, 2023. Additionally, we have held numerous discussions with individuals regarding the project. We agreed to provide some fencing and opaque landscaping along the southern property line and those revisions will be reflected in the landscape plan sheets as part of the detailed site plan submittal.

At your earliest convenience, please let me know when the foregoing applications will be heard by the Plan Commission and Common Council.

Sincerely,



Ian B. Martin
Managing Principal
Land By Label



May 1, 2023

Mr. Regulo Martinez-Montliva
Principal Planner
City of Franklin
9229 West Loomis Road
Franklin, WI 53132

Re: Poths General - Land By Label Response to Staff Comments (3/31/2023)

Dear Regulo,

Thank you for reviewing and responding to our application for PDD and Comprehensive Master Plan Amendment for our Poths General project. The following along with the referenced materials represent Land By Label's response to Staff Comments received March 31, 2023. Please note, the numbering convention herein corresponds to the numbering convention of the Staff Comments.

1. Included in the resubmittal are site intensity worksheets for the nonresidential and residential components of Poths General prepared in accordance with Table 15-3.0502. The nonresidential development complies with applicable requirements, including LSR. The residential site intensity contemplates a Maximum Net Density of 45 and Maximum Gross Density of 30. While the residential densities may exceed the 8 units per acre set forth in the UDO we believe the densities are consistent with the spirit of the comprehensive master plan, reflect best site planning practices and create a thoughtful urban environment consistent with the overall theme of the redevelopment. It should be noted, however, that the final residential density and commercial square footage will likely be less than those proposed in the resubmittal. We are compelled to request higher densities given uncertainties related to site design and market demand.
2. Included in the resubmittal is a Comprehensive Master Plan Amendment Exhibit which illustrates property boundaries and indicates the future land use designations.
3. We intend to reconfigure the properties through the certified survey map process. The CSM will be submitted in advance of or concurrently with the final site plan review.
4. Ok. We will submit a natural resource special exception application. It will be submitted with the final site plan.
5. Understood.
6. Understood.
7. Understood.
8. Understood.



9. Understood.

10. Understood. Prior to submittal of final site plan we propose to hold issue-specific meetings to better understand licensing and other applicable regulations for each use, including splash pad and food truck plaza.

Sincerely,



Ian B. Martin
Managing Principal
Land By Label

Pothes General Nonresidential Area

Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND~~ NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	24.515 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (17.107 acres) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	17.107 acres
STEP 5:	Equals "Base Site Area"	= 7.408 acres (nonresidential)

17.107 acres residential

Resource Protection Areas within Nonresidential Area

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> 0 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): 7.408</p> <p>Multiply by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X 0.45</p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p align="right">3.334 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): 7.408</p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - 3.334</p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p align="right">4.074 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): 4.074</p> <p>Multiply by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X 0.57</p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p align="right">2.322 acres</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): 7.408</p> <p>Multiply by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X 0.31</p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p align="right">2.296 acres</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p align="right">2.296 acres 100,034 SF</p>

**Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND NONRESIDENTIAL~~ DEVELOPMENT**

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	24.515 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (7.408 acres) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	7.408 acres
STEP 5:	Equals "Base Site Area"	= 17.107 acres (residential)

7.408 acres nonresidential

Resource Protection Areas within Residential Areas

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	0
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	0
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 2.31 </u> =	1.155
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0.56 </u> =	0.56
Wetland Setback	--	--	--	X <u> 0.35 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0.66 </u> =	0.66
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					2.375




Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0504

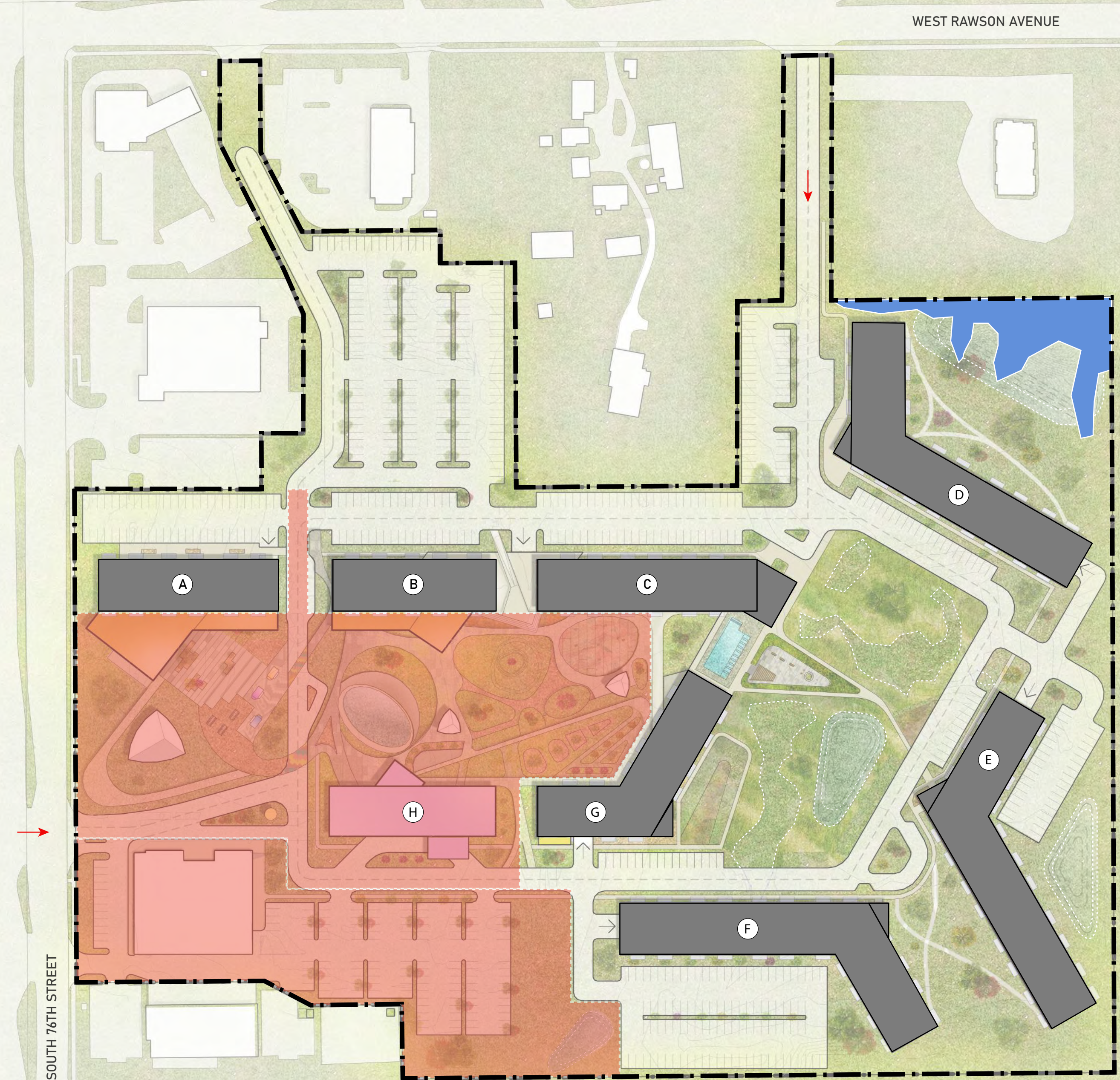
**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR RESIDENTIAL DEVELOPMENT**


<p>STEP 1:</p>	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>17.107</u></p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u></p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	<p align="right">5.987 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>17.107</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: <u>5.987</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p align="right">11.12 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>11.12</u></p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>45</u></p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	<p align="right">500.4 D.U.s</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>17.107</u></p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>30</u></p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	<p align="right">513.21 D.U.s</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p align="right">500 D.U.s</p>

SITE INTENSITY CALCULATION SITE PLAN

	COMMERCIAL
	NATURAL RESOURCE PROTECTION AREA
	RESIDENTIAL

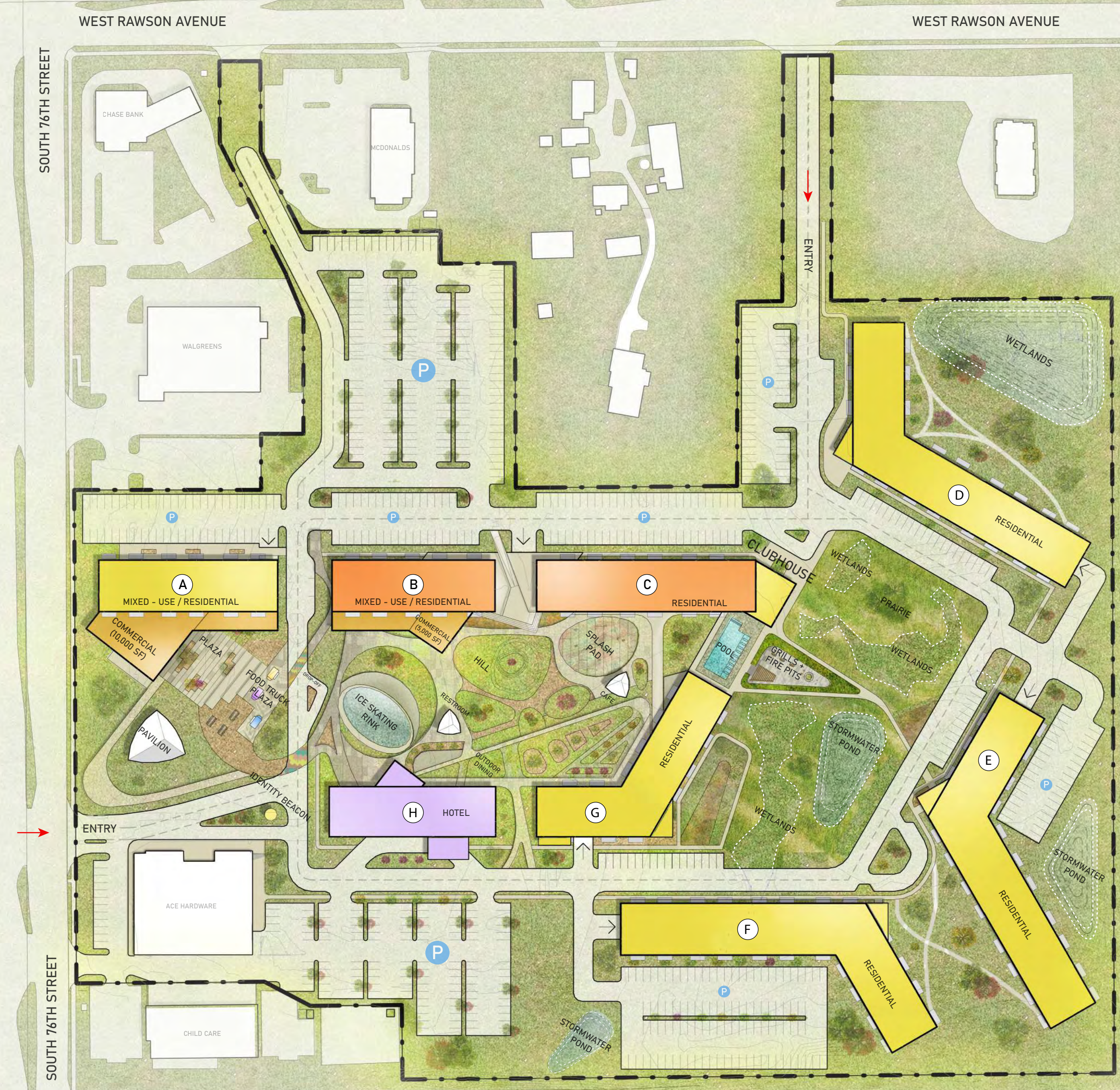
Areas identified for the purposes of visually illustrating the site intensity calculations.




NORTH
SCALE = 1 : 100

BUILDING	UNIT COUNT	PARKING	
		ENCLOSED (1:1)	SURFACE (1:0.75)
A 3+1 STORY	40	40	30
B 4+1 STORY	46	46	35
C 4+1 STORY	64	64	48
D 3+1 STORY	80	80	60
E 3+1 STORY	80	80	60
F 3+1 STORY	80	80	60
G 3+1 STORY	40	40	30
TOTALS	430 UNITS	430 STALLS	323 STALLS
H HOTEL	50 ROOMS *	-	50 STALLS *
PUBLIC	-	-	300 STALLS *

* APPROXIMATE



NORTH
SCALE = 1 : 100

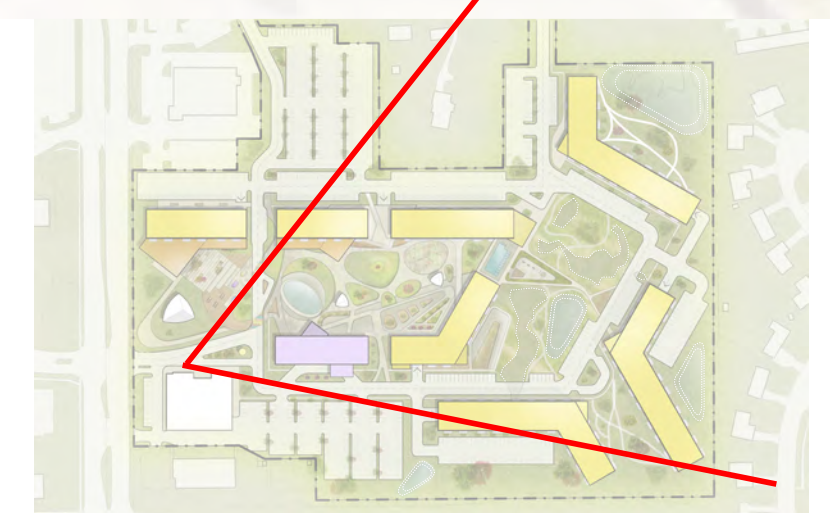


AERIAL VIEW - Central Plaza from 76th Street Looking Northeast

CENTRAL PLAZA EXTENDING TO 76TH STREET

WELCOMING + INCLUSIVE DESTINATION FOR CITY OF FRANKLIN AND ITS RESIDENTS

ALL SEASON PUBLIC USE - FOOD TRUCK PLAZA, ICE SKATING RINK, MOVIE NIGHTS, SPLASH PAD, WINTER MARKET



LAND
By
LABEL
DEVELOPMENT CO.



continuum
ARCHITECTS + PLANNERS

THE SIGMA
Single Source. Sound Solutions. GROUP

DEVELOPER GROUPS : LAND BY LABEL + ROC VENTURES

ARCHITECTS : CONTINUUM ARCHITECTS + PLANNERS

CIVIL ENGINEER : THE SIGMA GROUP



AERIAL VIEW - From Rawson Looking South

SECONDARY STREET CONNECTION TO RAWSON AVENUE

RESIDENTIAL BUILDINGS ORGANIZED AROUND PRIVATE GREEN COMMONS

CALM RESIDENTIAL AREAS WITH LANDSCAPED COURTYARDS + VIEWS



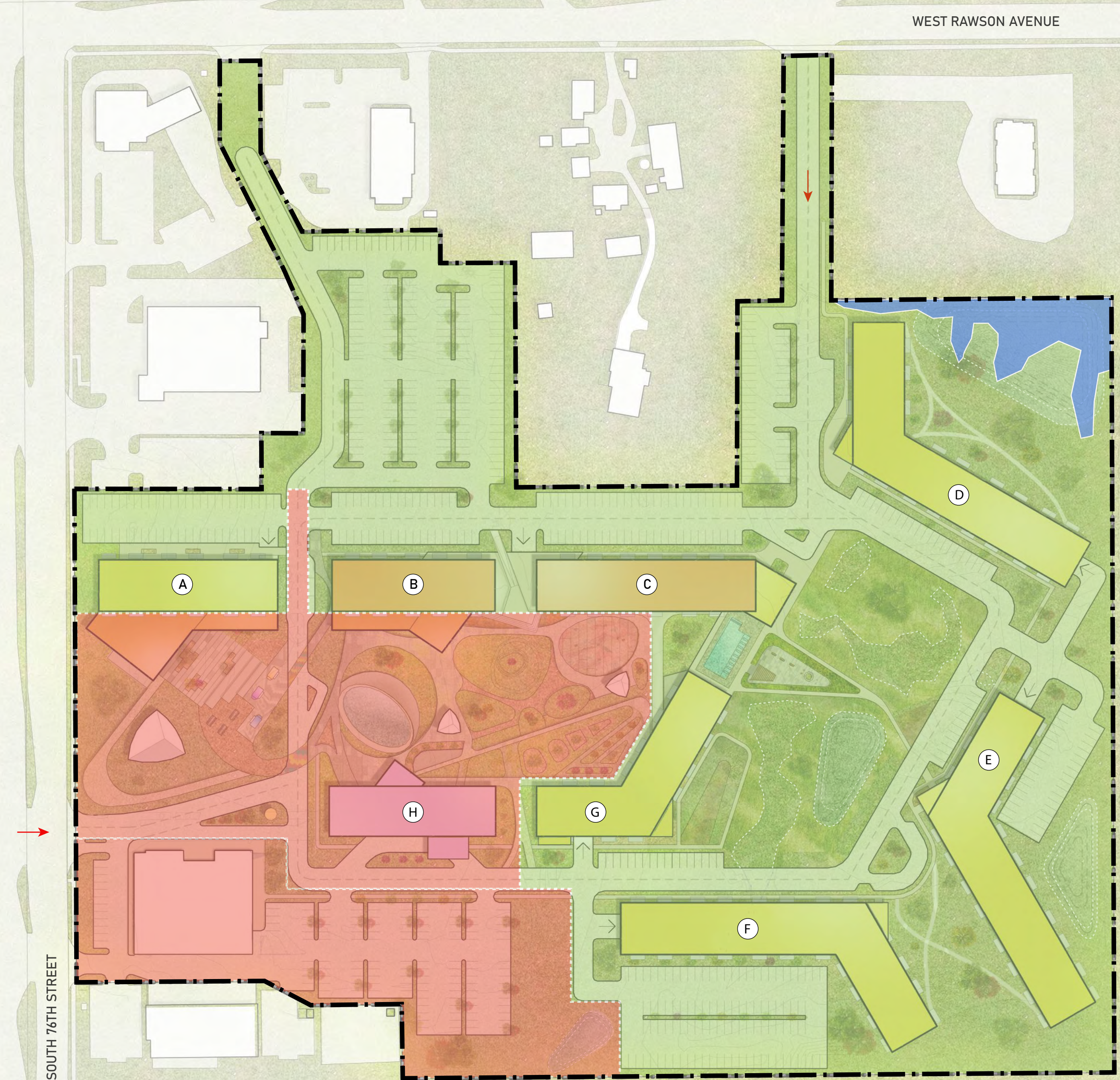
DEVELOPER GROUPS : LAND BY LABEL + ROC VENTURES

ARCHITECTS : CONTINUUM ARCHITECTS + PLANNERS

CIVIL ENGINEER : THE SIGMA GROUP

MASTER COMPREHENSIVE PLAN EXHIBIT

	COMMERCIAL
	NATURAL RESOURCE PROTECTION AREA
	RESIDENTIAL



Regulo Martinez-Montilva

From: Ian Martin <ian.m@landbylabel.com>
Sent: Wednesday, June 14, 2023 2:41 PM
To: Mike Barber - Personal; Glen Morrow; Laurie Miller; Regulo Martinez-Montilva; John Nelson - Personal; Patrick Léon
Cc: Joe Vitrano; Brian Strandt; Emily Cialdini
Subject: RE: Last evening
Attachments: Poths - Traffic Talking Points Memo 6-12-2023.pdf; Poths General - TIA Scope Summary 2023_0609.pdf

Ald. Barber et. al.,

Thanks for setting up the meeting and I hope it was productive. Although some of the questions raised below are a work in progress I wanted to respond as best I can right now.

1. Traffic—We completed a traffic impact analysis (“TIA”) related to the whole area of Loomis, Rawson and 76th, including all contemplated future development. That TIA was completed and submitted to the City, County and DOT for review. We are awaiting on the DOT review but otherwise the primary TIA is complete. We are also underway with a supplemental TIA related to Poths General. I’ve attached to this email a memo from our traffic engineer, Ayres, detailing the scope of the Poths General TIA. In short, the limited Poths General TIA will consider turn lanes and potential extensions that might be necessary to optimize the performance of the 4 ingress-egress points on the project. As you will note in the memo, the Poths General TIA includes a review of the 76th and Carter/Terrace intersection, but also indicates that there will not be enough traffic generated to warrant a signal at that intersection. The Poths General TIA will be complete at the end of July and submitted to the City and County for review. Fundamentally, we will install whatever traffic improvements are recommended by the TIAs and approved by the governing authorities. The primary TIA is posted on our website and we will make the Poths General TIA available on the website as soon as we receive it.

One important consideration related to Poths General traffic generation is how our proposed development would compare to the existing condition. Under the current zoning and entitlements, we could deliver approximately 150,000 square feet of commercial space in lieu of the proposed project. That type of as-right development would generate more than 4 times the traffic of our current proposal. The reason is simple—commercial development generates far more traffic than multifamily. The actual analysis and numbers are set forth on the attached memo from Ayres.

2. Fire & Police—As a general matter, high quality purpose built multifamily, like Velo Village, demand far less fire/police service than single family and commercial development. If you recall, during the last Plan Commission meeting the fire department indicated that major burden on services is attributable to emergency calls from single developments within Franklin. I think the Assistant Fire Chief indicated that over 90% of the call are generated from single family homes. The fire department went on to indicate that one of the core challenges for fire and ER service is the physical expanse of the City of Franklin. The City measures over 35 square miles, an exceedingly large geographic area. It should be noted that the City’s size is in large part due to its historic preference for single family housing over other residential forms. I would also note that Poths General is a redevelopment, in-fill site. That is, the project is not contributing to the geographic challenges currently facing fire and ER services.

Aside from the planning considerations outlined above, Poths General will generate a massive amount of economic horsepower to the City. We are estimating that Poths General will contribute over \$2.8m in impact fee payments to the City. Of that amount, \$158,844 will go to the fire department and \$182,280 will go to law

enforcement. That means over \$2m of impact fees will go to other uses, including almost \$700k to parks. My understanding is that the park impact fees are incredibly difficult to use because they require matching funds. In other words, the funding challenge in the City may be that the allocation of impact fees is not aligned with the current needs. I think we could solve for that issue in the development agreement for the project—i.e. redirect more impact fees to the fire department.

In addition to the impact fees, the long term real estate revenue from Poths General is substantial. We estimate that Poths General will produce about \$1.5m of annual tax receipts. Assuming the City share is about 25% that means Poths General will drive \$375,000 of annual revenue to the City. Although it is too soon to tell, there is a possibility that we will propose tax incremental financing related to the project. I mention that here because one of the benefits of TIF is that the City collects 100% of the tax receipts during the term of the TIF (27 year statutory limit). That could mean there is substantial revenue available to the City that could contribute to city needs as long as they are considered “project costs” related to Poths General.

3. Stormwater Management—I agree that our stormwater management plan must be finalized and reviewed by all the appropriate folks, including the City. My promise from day 1, as I affirmed in the meeting on Monday, is that we will meet all the requirements for stormwater management and provide some level of additional management beyond our legal obligation to do so. I expect a draft plan by the end of the month and we will also post that on our website for public review.

Per usual, I appreciate the questions and feel free to reach out anytime. My contact information is set forth below.

Regards,
Ian



Ian B. Martin
Managing Principal

📞 [Main: 414-285-3470](tel:414-285-3470)

📞 [Office: 414-285-3401](tel:414-285-3401)

📞 [Cell: 414-322-7782](tel:414-322-7782)

🌐 landbylabel.com

✉ ian.m@landbylabel.com

📍 [7044 South Ballpark Drive Suite 305 Franklin, WI 53132](https://www.google.com/maps/place/7044+South+Ballpark+Drive+Suite+305+Franklin,+WI+53132)



From: mbarber10 <mbarber10@wi.rr.com>

Sent: Tuesday, June 13, 2023 8:09 AM

To: Ian Martin <ian.m@landbylabel.com>; Glen Morrow <GMorrow@franklinwi.gov>; Laurie Miller <LMiller@franklinwi.gov>; Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov>; John Nelson - Personal <John.1968Nelson@gmail.com>; Patrick Léon <leonpl@hotmail.com>

Cc: Joe Vitrano <joevitrano@wirr.com>

Subject: FW: Last evening

These are some follow-up questions from last night's meeting that should be considered.

alder mike

Sent from my U.S.Cellular© Smartphone

----- Original message -----

From: Joe Vitrano <joevitrano@wi.rr.com>

Date: 6/13/23 7:24 AM (GMT-06:00)

To: 'Alderman 5 Mike Barber' <mbarber@franklinwi.gov>

Subject: Last evening

Alderman Barber,

Thank you again for sponsoring the informational meeting yesterday at the library. I would like to share some thoughts with you regarding the OrchardView project.

Regarding traffic: With the proposed construction along Loomis Road in back of PknSave, Terrace Drive, a dead end now, would be extended into the new subdivision. Would there be any possibility of having a stoplight at the intersection of 76th, Terrace Dr. and Carter Circle North (our entrance to Whitstone Village)? Without that light it seems to me that traffic would make it very difficult and potentially unsafe for residents in Whitstone to exit (right or left especially) our subdivision.

Fire and police: will there be a necessity for increased fire and police personnel to handle the redevelopment? If so, will the taxes generated from the property be enough to offset the increased cost of fire and police to the taxpayers?

Finally, I am concerned about the water runoff from the project. That, I feel, must be monitored closely.

Thank you, Alderman Barber. I look forward to attending future informational meetings regarding this project.

Sincerely,

Joe Vitrano

7485 Carter Circle North

Pothes Land Development Talking Points

June 12, 2023

The following summary addresses comments relating to the potential land use developments for the Pothes development site.

Volume Impact

- The table below compares the total trips generated for the Pothes development site between the currently proposed development and a 150,000 square foot shopping center.
- The proposed development includes multi-family housing for up to 440 units, up to 20,000 square feet of commercial and retail space, a 50-unit hotel, and a food cart area. It also assumes the removal of the existing Orchard View Shopping Center and any associated existing trips.
- The total building footprint for the proposed development buildings is approximately 176,000 square feet.
- The difference in volumes shows that commercial developments typically generate significantly larger amounts of traffic than residential developments and are likely to have a greater impact on the traffic operations of the surrounding roadway network.

Pothes Development Comparison												
	Weekday Trips			AM Peak Hour Trips			PM Peak Hour Trips			Sat Peak Hour Trips		
	In	Out	Total	In	Out	Total	In	Out	Total	In	Out	Total
Total Trips for Proposed Development	1,220	1,220	2,440	20	110	130	105	60	165	65	70	135
Total Commercial Trips (150,000 sq. ft.)*	5,065	5,065	10,130	160	100	260	380	400	780	485	450	935
Difference in Total Trips Generated	3,845	3,845	7,690	140	-10	130	275	340	615	420	380	800

*Total trips based off a 150,000 square foot shopping center

Poths General Traffic Impact Analysis (TIA) Study

June 9, 2023

Land By Label and Ayres Associates have begun a Traffic Impact Analysis (TIA) study for the Poths General Development. Intersection traffic volumes were gathered in May of 2023 and operations analysis is underway. The study will include the following:

- An evaluation of the impacts of new traffic generated by the site at the following locations:
 - S. 76th Street and W. Rawson Avenue
 - S. 76th Street and the proposed driveway access near Ace Hardware
 - W. Rawson Avenue at the west driveway between McDonald's and Chase Bank
 - W. Rawson Avenue at the east driveway (currently Anderson Family Dental)The evaluation will include the base year of 2024 and future traffic volumes in 2039.
- The Poths General Development was included as off-site traffic in the Vitalogy TIA, and therefore the impact from this development on the larger roadway network (W. Loomis Road interchanges at S. 76th Street and W. Rawson Avenue) has already been considered. This study will focus on the immediate vicinity of the site and the proposed driveway locations.
- The study will include area traffic volumes expected to be generated by the Vitalogy Development and other proposed developments in the Ballpark Commons Area.
- The study will recognize the net impact that the removal of the Orchard View Shopping Center will have on generated traffic volumes.
- The identification of recommended improvements to maintain acceptable traffic operations at the study intersections. Although no conclusions have been determined at this time, potential improvements could include:
 - At the proposed access on S. 76th Street:
 - SB left-turn lane extension for queue storage
 - Restriping of the NB outside lane to a "right-turn only" lane
 - Consideration of traffic signal installation (based on existing turning movement volumes, it is not expected that the signal will meet the required volume thresholds)
 - Possible closure of the median opening at the S. 76th Street intersection with the ACE Hardware South/Child Care Facility to accommodate an extended NB left-turn storage lane at the adjacent intersection and reduce conflict points along S. 76th Street.
 - At the S. 76th Street and W. Rawson Avenue intersection:
 - Turn-lane extensions. The Vitalogy TIA recommended a turn-lane extension for the WB left-turn movement, which would require changes at the adjacent median opening. This study will review this recommendation in more detail and identify any other adjustments that are needed.
 - Identify if signal timing adjustments are needed to optimize traffic operation.
 - At the other proposed development access points:
 - Left-turn lane extensions for additional queue storage.



**CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION**

Meeting of June 22, 2023

New Planned Development District and Comprehensive Master Plan

RECOMMENDATION: Staff recommends approval of a new Planned Development District and a Comprehensive Plan Amendment to change the Commercial land use designation to Mixed Use and maintain the Area of Natural Resource Features.

Project name:	Vitalogy
Property Owner:	RAWSON-LOOMIS LLC
Applicant:	Vitalogy Living LLC.
Property Address/TKN:	8301 W Old Loomis Rd / 755 9997 000
Aldermanic District:	District 2
Zoning District:	R-6 Suburban Single-Family Residence District and C-1 Conservancy District
Staff Planner:	Régulo Martínez-Montilva, AICP CNUa, Principal Planner

Please note:

- Recommendations are *underlined, in italics* and are included in the draft ordinance/resolution.
- Suggestions are only underlined and are not included in the draft ordinance/resolution.

INTRODUCTION AND BACKGROUND

The applicant is proposing a new Planned Development District for a mixed-use development, Vitalogy, and to amend the future land use designation of the comprehensive plan for the site to Mixed Use. The concept plan for the Vitalogy development shows three areas: commercial, residential and natural resource protection. The commercial area is proposed to have two buildings fronting Loomis Road. No proposed lot lines for the commercial area have been shown. Thirteen multi-family residential buildings have been proposed with a projected total of 399 dwelling units. The residential buildings will be a mix of townhomes, two and, up to, four story apartment buildings. Several amenities are proposed including a clubhouse, pool, trails, pickleball courts, bocce ball courts, community gardens, tree house and a pavilion. The plan indicates a natural resource protection area intended for the conservation of existing wetlands and woodlands.

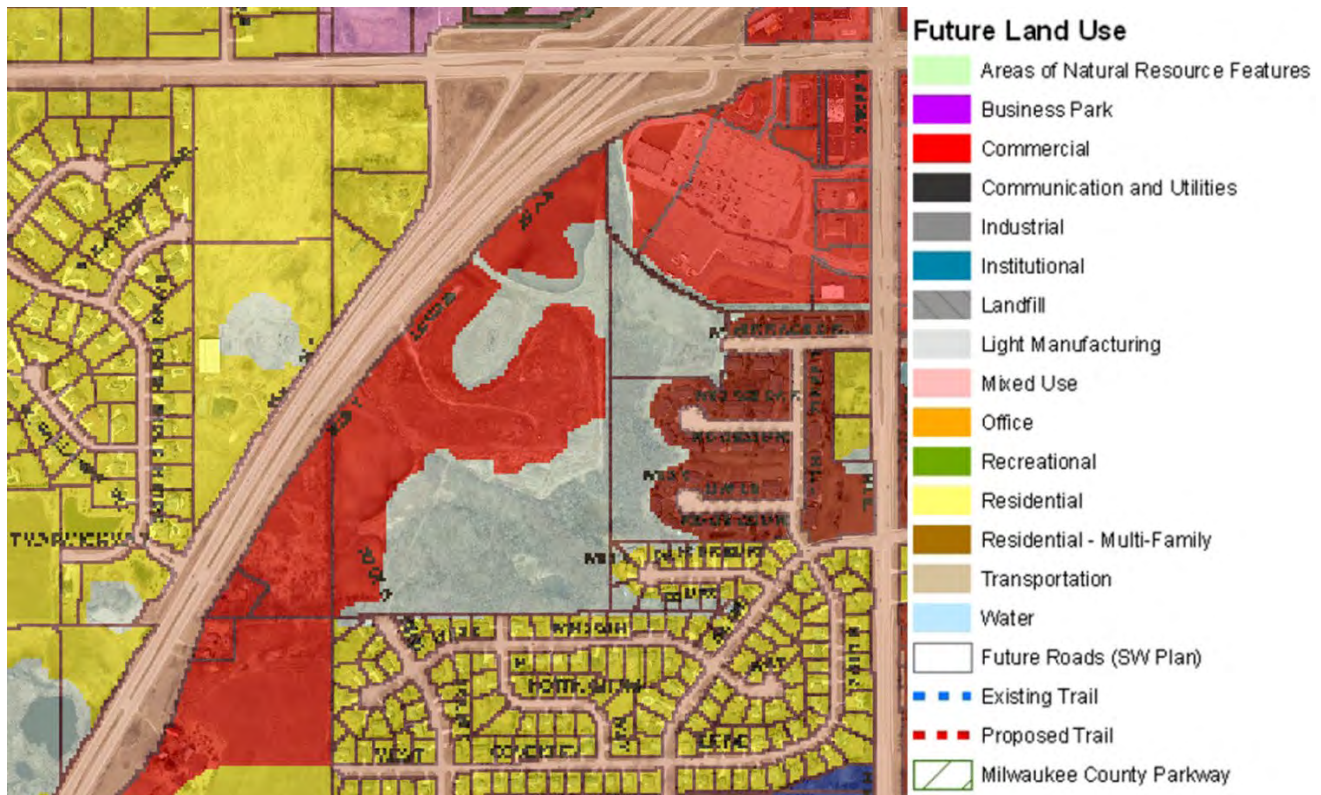
The applicant presented a Concept Review before the Common Council on October 4, 2022, for the Vitalogy development (formerly known as The Retreat). The Plan Commission held a public hearing regarding the Vitalogy Planned Development District on December 1, 2022, following this public hearing the applicant revised the previous site design as discussed further in this staff report.

COMPREHENSIVE MASTER PLAN AMENDMENT

This 51.61-acre site is designated as Commercial and Area of Natural Resource Features in the Future Land Use Map of the City of Franklin 2025 Comprehensive Master Plan. The applicant is requesting a

Comprehensive Master Plan amendment to change the Commercial land use designation to Mixed Use and maintain the Area of Natural Resource Features.

This site is located in Planning Area D of the comprehensive plan (see appendix 1), which is an opportunity for “Commercial development along the east side of Loomis Road, with housing that transitions to existing neighborhoods to the east, and residential along the west side of Loomis Road, represent a significant opportunity to future development in the City” (Land Use chapter, page 5-43). The proposed development with commercial fronting Loomis Road and housing as a transition to existing residential development is consistent with the mixed use development opportunity identified in the comprehensive plan.



Future Land Use Map of the 2025 Comprehensive Master Plan of the City of Franklin

The Vitalogy development is considered as a horizontal mixed-use development which is the combination of “single-use buildings on distinct parcels in a range of land uses in one planned development project” (Comprehensive plan, Land Use Chapter, page 5-49).

City Development staff has no objections to change the Commercial Area to Mixed Use because this area is labeled as “Potential Commercial or Mixed Use Development” in Map 5.6 “Potential Development Areas” of the comprehensive plan (see appendix 2). *Staff recommends to maintain the Area of Natural Resource Features designation* because the southeast portion of this site is identified as an Isolated Natural Resource Area in Map 5.5 “Environmentally Sensitive Areas” of the comprehensive plan (see appendix 3).

PLANNED DEVELOPMENT DISTRICT

The applicant is seeking “general approval” for a new Planned Development District (PDD), to allow for 399 dwelling units, two commercial lots, a public street connecting terrace drive with Loomis Road, private drives to serve nine multi-family buildings, four townhouse clusters, and several amenities for the development as well as a public cross-access easement to the west. If approved, this development would be PDD No. 41.

Per Unified Development Ordinance (UDO), Section 15-9.0208.E.7.b.(1), PDD applications for general approval “need not necessarily be completely detailed at the time of rezoning provided they are of sufficient detail to satisfy the Plan Commission and Common Council as to the general character, scope, and appearance of the proposed development. Such preliminary plans shall designate the pattern of the proposed streets, and the size and arrangement of individual building sites”.

Project Analysis:

UDO Table 15-3.0402C establishes maximum intensity and density measures for Planned Development Districts:

Table 15-3.0402C						
PDD Planned Development District Maximum Intensity and Density Measures						
General Use Type	Residential Standards			Non-Residential Standards		
	Minimum Open Space Ratio (OSR)	Maximum Gross Density (GD)	Maximum Net Density (ND)	Minimum Landscape Surface Ratio (LSR)(b)	Maximum Gross Floor Area Ratio (GFAR)	Maximum Net Floor Area Ratio (NFAR)
Residential (a)	0.35	6.10	8.00	N/A	N/A	N/A
Office	N/A	N/A	N/A	0.45	0.23	0.42
Commercial Retail Sales and Service	N/A	N/A	N/A	0.45	0.31	0.57
Industrial	N/A	N/A	N/A	0.45	0.50	0.91
Mixed Compatible Uses	(c)	(c)	(c)	(c)	(c)	(c)

Notes:

N/A = Not Applicable

- (a) Plan Commission and Common Council may approve of densities over the stated GD or ND with the provision the development meets a community purpose, such as residential housing for older persons.
- (b) See Alternative Minimum Landscape Surface Ratio (LSR) with Required Mitigation (See § 15-5.0302E).
- (c) Apply the appropriate standard for each individual land use type and its corresponding site area as listed in this Table.

- Commercial Area.
 - **Landscape Surface Ratio (LSR).** The proposed 0.45 LSR meets the standard above. The applicant revised the previous design which had a 0.10 LSR based on the feedback received at the December 1, 2022 Plan Commission meeting
 - **Floor Area Ratio (FAR).** The proposed 0.57 net FAR and 0.31 gross FAR meet the standard above. Similarly to the LSR, the applicant revised the previous design.

- Residential Area.
 - **Density.** The proposed gross density (GD) of 9 du/ac (dwelling units per acre) and net density (ND) of 23 du/ac exceed the maximum densities of 6.10 du/ac and 8.00 du/ac. As noted in the table, “Plan Commission and Common Council may approve of densities over the stated GD or ND with the provision the development meets a community purpose, such as residential housing for older person”, this was the case for the Multi-family residential area of Ballpark Commons (PDD No. 37) which includes a senior housing buildings and the approved GD and ND is 16.00 du/ac. However, the Vitalogy development does not include senior housing facilities.

Note that the maximum yield of this site with the proposed densities is 403 dwelling units per applicant’s calculations and the Concept Plan (exhibit A) indicates a total of 399 dwelling units. It is worth noting that the applicant reduced the densities previously presented to the Plan Commission (12 du/ac gross; 30 du/ac net).

Question for policy direction: do the proposed amenities (clubhouse, pavilion, trails, pickleball and community gardens) meet a community purpose to justify greater Gross and Net Densities?

Regarding natural resource protection, the applicant has not submitted a revised Natural Resource Protection Plan for the current design. Staff recommends that the applicant shall submit a Natural Resource Protection Plan (NRPP) to the Department of City Development, prior to submitting any land division or site plan applications within this Planned Development District. This Planned Development District is not approving any impacts to natural resources below the protection standards of the Unified Development Ordinance (UDO) Table 15-4.0100, a separate Natural Resource Special Exception shall be required for this purpose, see condition of approval no. 6.

The West Shore pipeline, a hazardous liquid pipeline, runs close to the property line along Loomis Road, the applicant shall coordinate with pipeline operator the appropriate setbacks and safety measures when preparing detailed plans for future land division or site plans for individual sites.

Basis for approval:

Pursuant to UDO Section 15-9.0208.E “PDD Planned Development District Procedures”, the Plan Commission in making its recommendation, and the Common Council in making its determination, shall give consideration to the following:

1. *Intent to Start Construction Within a Reasonable Period. That the applicant for the proposed PDD Planned Development District has demonstrated that the applicant intends to start construction within a reasonable period following the approval of the change in zoning districts and that the development will be carried out according to a reasonable construction schedule satisfactory to the City.*

Staff comment: it’s recommended that the PDD should expire in 24 months from the date of approval if no building permit has been issued, see condition of approval no. 8.

2. *Consistency with Unified Development Ordinance and Comprehensive Master Plan Required. The Plan Commission in making its recommendations, and the Common Council in making its determination, shall further find that:*

a. *The proposed site shall be provided with adequate drainage facilities for surface and storm water.*

Staff comment: stormwater management plans shall be subject to review by the Engineering Department, see condition of approval no. 5.

b. *The proposed site shall be accessible from public roads that are adequate to carry the traffic that will be imposed upon them by the proposed development.*

Staff comment: the applicant is proposing an offsite public connection to Terrace Drive, and access point to Loomis Road (subject to approval by the Department of Transportation); and an emergency access to S. 82nd Street.

The applicant added a cross-access connections to the west based on feedback received during the previous Plan Commission meeting. However, the property to the west is designated as commercial in the future land use map, the proposed cross access through apartments buildings connecting to a future commercial use is not adequate in staff's opinion. Therefore, *City Development staff suggests to redesign building C as a commercial or mixed use building (commercial/residential)*, this suggestion is consistent with the comprehensive plan that states "Commercial development along the east side of Loomis Road" as previously referenced in this staff report (page 1). For input from adjacent property owner, see appendix #4.

The applicant also revised the layout of Terrace Drive to meet the minimum separation of 150 feet between minor streets and limited access highways required by UDO Section 15-5.0102.B.

The applicant submitted a Traffic Impact Analysis (TIA) Study (dated March 24, 2023) as part of this Planned Development District. According to the TIA: "The study intersections are expected to operate at an acceptable LOS [level of service] 'D' or better under the Existing and Proposed Transportation System Alternatives with the recommendations listed in this report" (page 6).

c. *The proposed development shall not impose any undue burden on public services and facilities, such as fire and police protection.*

See note from the Fire Department.

NOTE: The Fire Department is NOT adequately staffed to absorb the impact on emergency and non-emergency call volume associated with the additional 1,030 residences associated with this and other related planned residential developments, associated commercial and vehicle traffic, and required fire inspection work-load; in addition to the ongoing high-density single-family development in the southwest quadrant and multifamily development along the south 27th Street corridor.

d. *The streets and driveways on the site of the proposed development shall be adequate to serve the residents of the proposed development and shall meet the minimum standards of all applicable ordinances of the City.*

Staff comment: the proposed public street shall be subject to further review in the land division process.

e. *Water and sewer facilities shall be provided.*

Staff comment: the applicant is proposing water and sewer connections to Terrace Drive and S. 82nd Street, utility plans shall be subject to review by the Engineering Department.

f. *The application for a PDD Planned Development District shall be filed jointly by all of the owners of all of the lands to be included in the Planned Development District.*

Staff comment: applicant submitted property owner authorization.

Additional comments related to the rewrite of the Unified Development Ordinance (UDO):

The City is currently preparing a comprehensive rewrite of the Unified Development Ordinance (UDO), staff has the following observations as it relates to the proposed development:

- Article 1, Section 15-1-06 states that “Nothing in this UDO shall require a change in the plans for any structure or use if a building permit or occupancy for such structure was lawfully issued prior to the effective date of this UDO”; and per Article 2 Section 15-2-02.D.4. “Properties zoned in the Legacy Planned Development District will continue to operate under their specific planned unit development”, therefore, the new UDO would not significantly impact this development.
- The table of the current UDO that imposes density and development standards for new PDDs as referenced in this staff report would not be part of the new UDO.

The comments above are for reference only since the new UDO hasn’t been adopted yet; and subject to changes because these comments are based on the draft version available as of writing of this staff report.

RECOMMENDATION:

Staff recommends a motion for “general approval” of a new Planned Development District and a Comprehensive Plan Amendment to change the Commercial land use designation to Mixed Use and maintain the Area of Natural Resource Features. Should the Plan Commission wish to recommend approval of these applications, draft ordinances and resolution with conditions of approval are attached to this packet (Section 2.H. Conditions of Approval).

Appendices list:

1. Planning Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Issues and Opportunities chapter, Map 2.2.
2. Potential Development Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Land Use chapter, Map 5.6.
3. Environmentally Sensitive Areas map. 2025 Comprehensive Master Plan of the City of Franklin, Land Use chapter, Map 5.5.
4. E-mail from adjacent property owner (8495 W. Loomis Rd.), received on June 1, 2023.

ORDINANCE NO. 2023-_____

AN ORDINANCE TO CREATE SECTION 15-3.0446 OF THE FRANKLIN UNIFIED DEVELOPMENT ORDINANCE ESTABLISHING PLANNED DEVELOPMENT DISTRICT NO. 41 (VITALOGY) AND TO REZONE PROPERTY FROM R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT AND C-1 CONSERVANCY DISTRICT TO PLANNED DEVELOPMENT DISTRICT NO. 41 (8301 WEST OLD LOOMIS ROAD)

WHEREAS, a petition for zoning change having been filed to change the zoning on a tract of land from R-6 Suburban Single-Family Residence District and C-1 Conservancy District to a Planned Development District, which tract of land is located at 8301 West Old Loomis Road, bearing Tax Key No. 755-9997-000, and which is more particularly described below; and

WHEREAS, the Plan Commission having determined that the proposed Planned Development District No. 41 (Vitalogy) is in conformance with the City of Franklin Comprehensive Master Plan and contains more than 3 acres; and

WHEREAS, a Public Hearing was held before the Plan Commission on the 22nd day of June, 2023, and the Plan Commission having reviewed the Planned Development District No. 41 petition and having found that the proposed Planned Development District conforms to the standards for adoption of a Planned Development District, and having recommended to the Common Council that the creation of Planned Development District No. 41 be approved; and

WHEREAS, the Common Council having reviewed the petition and recommendation following the Public Hearing and having determined that the adoption of an ordinance to create Planned Development District No. 41 will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended to provide that the zoning district designation for the property described below be changed from R-6 Suburban Single-Family Residence District and C-1 Conservancy District to Planned Development District No. 41 (Vitalogy) as is created under SECTION 2 of this ordinance:

LEGAL DESCRIPTION: That part of the West 1/2 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin and described as follows: Begin at the Southwest corner of said Northeast 1/4 Section, thence

North 00° 14' 02" West along the West line of said 1/4 Section, 975.10 feet to the Southeasterly right-of-way line of S.T.H. "36", thence North 39° 47' 12" East along said right-of-way, 457.40 feet, thence 391.09 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 41° 15' 53" East, 391.05 feet and the radius being 7579.69 feet, thence North 42° 44' 35" East along said right-of-way, 223.04 feet, thence 799.48 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 50° 54' 30" East, 796.78 feet and the radius being 2805.04 feet, thence South 00° 14' 50" East along the East line of the West 1/2 of said 1/4 Section, 2257.01 feet, thence South 88° 42' 53" West along the South line of said 1/4 Section, 1326.51 feet to the point of beginning.

SECTION 2: §15-3.0446 of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby created to read as follows:

Section 15-3.0446 PLANNED DEVELOPMENT DISTRICT NO. 41 (*VITALOGY*)

A. **Development Scope.**

This Planned Development District shall be constructed, operated and maintained in conformance with the following listed Exhibits, all containing matters approved hereunder or by the separate approval of the Common Council as set forth below, and all applicable terms and provisions of the Municipal Code and the Unified Development Ordinance not enumerated herein and not contrary to the terms or provisions of this Ordinance, including, but not limited to such permits as are required under Division 15-8.0200 Construction, Division 15-8.0300 Construction Site Erosion Control and Division 15-8.0600, as well as the Development Agreement required as a condition of approval of Exhibit A, below. The plans contained in the following listed Exhibits may be adjusted in minor detail and so noted prior to construction upon the written approval of the City Engineer or City Planning manager in order to comply with all of the conditions of this Ordinance. The Developer of this Planned Development District is as set forth below.

1. **Exhibit A:** Concept Plan, date-stamped April 28, 2023.
2. **Exhibit B:** Site Intensity Calculations Site Plan, date-stamped April 28, 2023.
3. **Exhibit C:** Site Intensity and Capacity Calculations, date-stamped April 28, 2023.
3. **Developer:** Vitalogy Living LLC

B. **District Intent.** It is the intent of the Planned Development District No. 41 (Vitalogy) to allow for the development of office, commercial, retail and multi-family residential uses. This Planned Development District consists of three (3) areas with different development standards: Vitalogy Commercial Area, Vitalogy Residential Area and Natural Resource Protection Area.

C. **General Requirements.** The site shall be developed in substantial compliance with the district standards and specific development standards for the Planned Development District No. 41 (Vitalogy) set forth in this Ordinance.

D. **Vitalogy Commercial Area.** The Vitalogy Commercial Area is intended to provide for the development of office, commercial and retail uses, and to be located between the proposed Terrace Drive and Loomis Road, depicted as commercial outlots in exhibits A, B and C.

1. **Permitted, Accessory, and Special Uses.**

(a) Permitted uses. The following are permitted uses in the Vitalogy Commercial Area:

1. Those uses permitted within the B-4 South 27th Street Mixed Use Commercial District.

(b) Special uses. The following are special uses in the Vitalogy Commercial Area:

1. Special uses allowed within the B-4 South 27th Street Mixed Use Commercial District.

2. Commercial, office and retail use building over four stories in height.

3. Hotel.

Review and Approval required. Special uses are subject to special use review and approval under the terms of §§15-3.0701 and 15-3.0703 and site plan review and approval under the terms of §15-7.0100 of the Unified Development Ordinance.

(c) Prohibited uses. The following uses shall be prohibited in the Vitalogy Commercial Area, including when proposed as accessory to a Permitted or a Special Use:

1. All uses not listed as a permitted use, special use, or accessory use thereto within the B-4 South 27th Street Mixed-Use Commercial District.

2. **Development Standards.**

(a) Minimum lot area: 40,000 square feet

(b) Minimum landscape surface ratio: 0.45

(c) Maximum net floor area ratio: 0.57

(d) Maximum gross floor area ratio: 0.31

(e) Minimum front setback: 25 feet

(f) Minimum side setback: 10 feet

(g) Minimum rear setback: 20 feet

- (h) Minimum setback from arterial roadways: 40 feet
(West Loomis Road)
- (i) Maximum building height,
 - Principal structure: 4.0/60 stories/ft
 - Accessory structure: 1.0/35 stories/ft

E. **Vitalogy Residential Area.** The Vitalogy Residential Area is intended to provide for the development of multi-family residential uses as depicted in exhibits A, B and C.

1. **Permitted, Accessory, and Special Uses.**

(a) Permitted uses. The following are permitted uses in the Vitalogy Residential Area:

- 1. Multiple-family dwellings and apartments.
- 2. Clubhouse and other amenities depicted in Exhibit A.
- 3. Home occupations.
- 4. Foster family home.
- 5. Community living arrangement (serving 8 or fewer persons).
- 6. Accessory uses (see UDO Division 15-3.0800).
- 7. Required off-street parking (see UDO Division 15-5.0200).
- 8. Essential Services.

(b) Special uses. The following are special uses in the Vitalogy Residential Area:

- 1. Multiple-family dwellings and apartments over four stories.
- 2. Community living arrangement (serving 9 or more persons).
- 3. Multiple-family Residential Housing for Older Persons

Review and Approval required. Special uses are subject to special use review and approval under the terms of §§15-3.0701 and 15-3.0703 and site plan review and approval under the terms of §15-7.0100 of the Unified Development Ordinance.

2. **Development Standards.**

- (a) Minimum lot area: 40,000 square feet
- (b) Minimum open space ratio: 0.35
- (c) Maximum net density: 23 dwellings/acre
- (d) Maximum gross density: 9 dwellings/acre

- (e) Minimum front setback: 30 feet
- (f) Minimum side setback: 20 feet
- (g) Minimum rear setback: 30 feet
- (h) Minimum setback from arterial roadways: 40 feet
(West Loomis Road)
- (i) Maximum building height (stories/ft),
 - Principal structure: 4.0/60 stories/ft
 - Accessory structure: 1.0/25 stories/ft

F. **Natural Resource Protection Area.** This area is intended for protecting and conserving existing natural resources identified in the Natural Resource Protection Plan dated November 4, 2022.

1. **Permitted Uses.**

- (a) Amenities depicted in exhibits A and B: trails, boardwalk and treehouse provided a Natural Resource Special Exception is granted in the event of impact to natural resources.

G. **Parking.** The minimum number of parking spaces shall comply with the requirements of the Unified Development Ordinance, unless otherwise approved in writing by the Plan Commission. No parking shall be allowed within the parking setback of 30 feet from a residential zoning district or 10 feet from a commercial zoning district. No parking setback is required when abutting another property zoned PDD No. 41.

H. **Conditions of approval.**

Pursuant to the Unified Development Ordinance Section 15-9.0208E.7.b.(1), developer is hereby required to submit for review and approval by Staff and the Plan Commission prior to issuance of building permit more specific and detailed plans which shall include:

1. The applicant shall be responsible for filing a Certified Survey Map or Preliminary Plat of Subdivision consistent with all requirements of the Unified Development Ordinance and this Planned Development District.
2. The applicant shall submit a Landscape Plan, as defined in the Unified Development Ordinance as part of the Certified Survey Map or Preliminary Plat submittal.
3. The applicant shall be responsible for filing a Subdivision Development Agreement consistent with all regulations of the Unified Development

Ordinance and Municipal Code, as may be amended, for the Certified Survey Map or Final Subdivision Plat. Said Subdivision Development Agreement shall be subject to approval by the Common Council.

- 4. The applicant shall be responsible for filing a Site Plan or Special Use application consistent with all regulations of the Unified Development Ordinance and the Municipal Code, as may be amended, for each individual lot resulting from the Certified Survey Map or subdivision plat.
- 5. Grading, stormwater management, erosion control and utility plans shall be subject to review by the Engineering Department.
- 6. The applicant shall submit a Natural Resource Protection Plan (NRPP) to the Department of City Development, prior to submitting any land division or site plan applications within this Planned Development District. This Planned Development District is not approving any impacts to natural resources below the protection standards of the Unified Development Ordinance (UDO) Table 15-4.0100, a separate Natural Resource Special Exception shall be required for this purpose
- 7. All protected natural resources shall be protected by a conservation easement in accordance with the Unified Development Ordinance.
- 8. In the event that no building permit has been issued for any one of the structures in the Vitalogy Commercial Area, or any one or more apartment buildings in the Vitalogy Residential Area; prior to the expiration of 24 months from the date of enactment of this Ordinance, and allowing a three month extension upon application therefore, the zoning designation shall revert back to the zoning for the subject parcel(s) which existed prior to the effective date of this Ordinance.
- 9. All signs must comply with the city's sign regulations and will require a separate approval.

SECTION 3: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 4: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 5: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:




John R. Nelson, Mayor

ATTEST:

Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

Exhibit B

	COMMERCIAL
	NATURAL RESOURCE PROTECTION AREA
	RESIDENTIAL



NORTH

SCALE = 1 : 100

**Vitalogy Non-residential Commercial
Area**

**Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND~~ NONRESIDENTIAL DEVELOPMENT**

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	51.40 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	3.18 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract () the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (45.61) the land proposed for residential uses.	45.61 acres
STEP 5:	Equals "Base Site Area"	= 2.61 acres

**Within Proposed Non-Residential
Commerical Area**

Table 15-3.0503

WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> </u> =	
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Vitalogy Residential Area

Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND NONRESIDENTIAL~~ DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	51.40 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	3.18 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (2.61) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	2.61 acres
STEP 5:	Equals "Base Site Area"	= 45.61 acres

For Vitality Residential Area

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	0
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	0
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>10.01</u> =	7.01
Young	0.50	0.50	0.50	X <u> 2.88</u> =	1.44
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 7.13</u> =	7.13
Wetland Setback	--	--	--	X <u> 5.05</u> =	
Wetlands & Shoreland Wetlands	1	1	1	X <u>12.50</u> =	12.50
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					28.08

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Vitalogy Residential Area

Table 15-3.0504

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR RESIDENTIAL DEVELOPMENT

STEP 1:	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>45.61</u> _____</p> <p>Multiply by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u> _____</p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE = _____</p>	15.963 acres
STEP 2:	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>45.61</u> _____</p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: - <u>28.08</u> _____</p> <p>Equals NET BUILDABLE SITE AREA = _____</p>	17.53 acres
STEP 3:	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>17.53</u> _____</p> <p>Multiply by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>23</u> _____</p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE = _____</p>	403.19 D.U.s
STEP 4:	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>45.61</u> _____</p> <p>Multiply by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>9</u> _____</p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE = _____</p>	410.49 D.U.s
STEP 5:	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	403.19 D.U.s

RESOLUTION NO. 2023-_____

A RESOLUTION RECOMMENDING THE ADOPTION OF AN
ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025
COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF
FRANKLIN 2025 FUTURE LAND USE MAP FOR PROPERTY LOCATED
AT 8301 WEST OLD LOOMIS ROAD FROM COMMERCIAL USE AND
AREAS OF NATURAL RESOURCE FEATURES USE TO MIXED USE AND
AREAS OF NATURAL RESOURCE FEATURES USE,
PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Franklin is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, Vitalogy Living LLC has applied for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use and Areas of Natural Resource Features Use, such property bearing Tax Key No. 755-9997-000, more particularly described as follows:

That part of the West 1/2 of the Northeast 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin and described as follows: Begin at the Southwest corner of said Northeast 1/4 Section, thence North 00° 14' 02" West along the West line of said 1/4 Section, 975.10 feet to the Southeasterly right-of-way line of S.T.H. "36", thence North 39° 47' 12" East along said right-of-way, 457.40 feet, thence 391.09 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 41° 15' 53" East, 391.05 feet and the radius being 7579.69 feet, thence North 42° 44' 35" East along said right-of-way, 223.04 feet, thence 799.48 feet along said right-of-way on an arc of a curve to the right, the chord bearing North 50° 54' 30" East, 796.78 feet and the radius being 2805.04 feet, thence South 00° 14' 50" East along the East line of the West 1/2 of said 1/4 Section, 2257.01 feet, thence South 88° 42' 53" West along the South line of said 1/4 Section, 1326.51 feet to the point of beginning; and

WHEREAS, the Plan Commission having determined that the proposed amendment, in form and content as presented to the Commission on June 22, 2023, is consistent with the Comprehensive Master Plan’s goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the 2025 Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Franklin.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the application for and the proposed ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for property located at 8301 West Old Loomis Road from Commercial Use and Areas of Natural Resource Features Use to Mixed Use and Areas of Natural Resource Features Use, be and the same is hereby recommended for adoption and incorporation into the 2025 Comprehensive Master Plan by the Common Council.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

APPROVED:

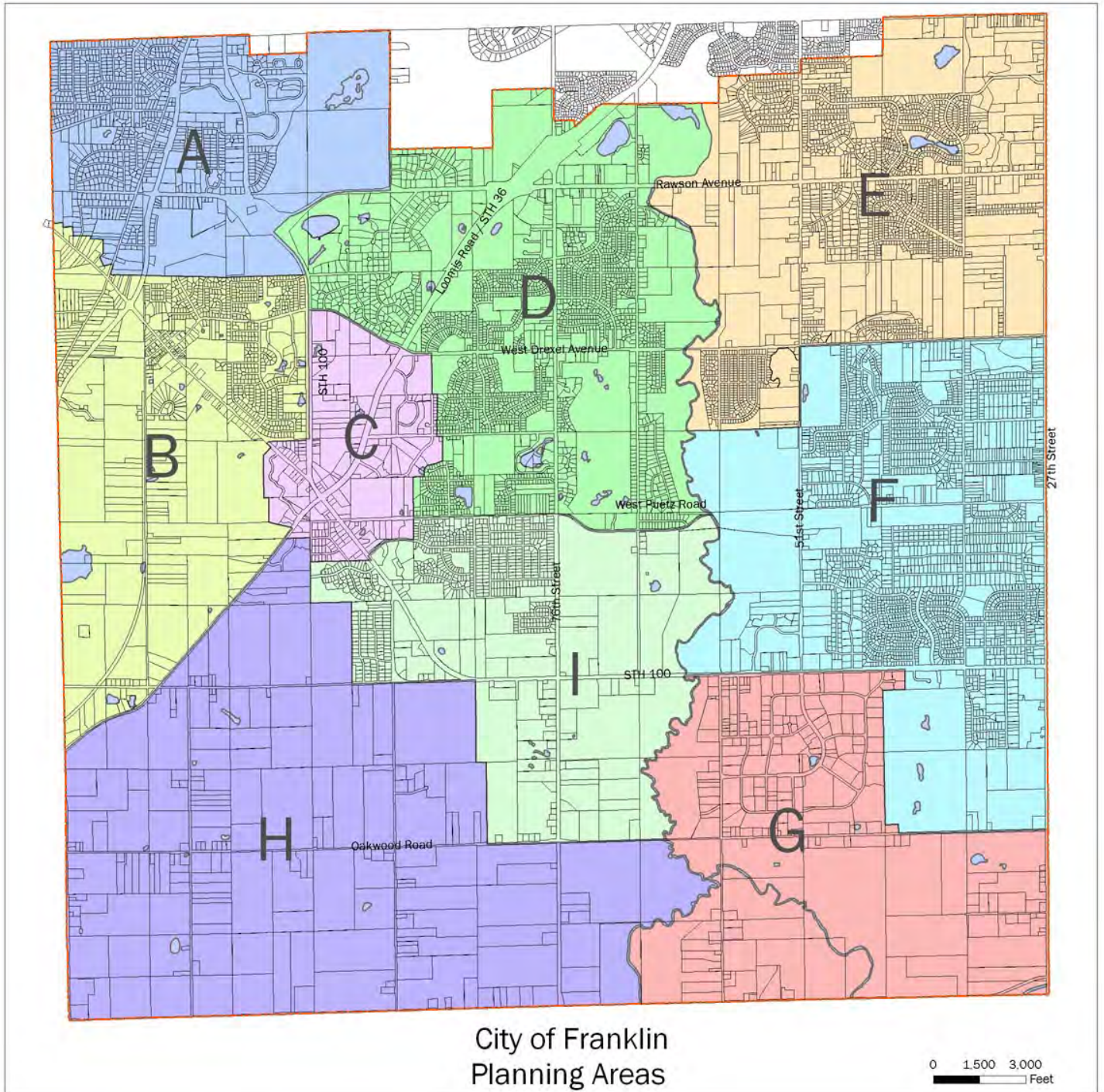
John R. Nelson, Chairman

ATTEST:

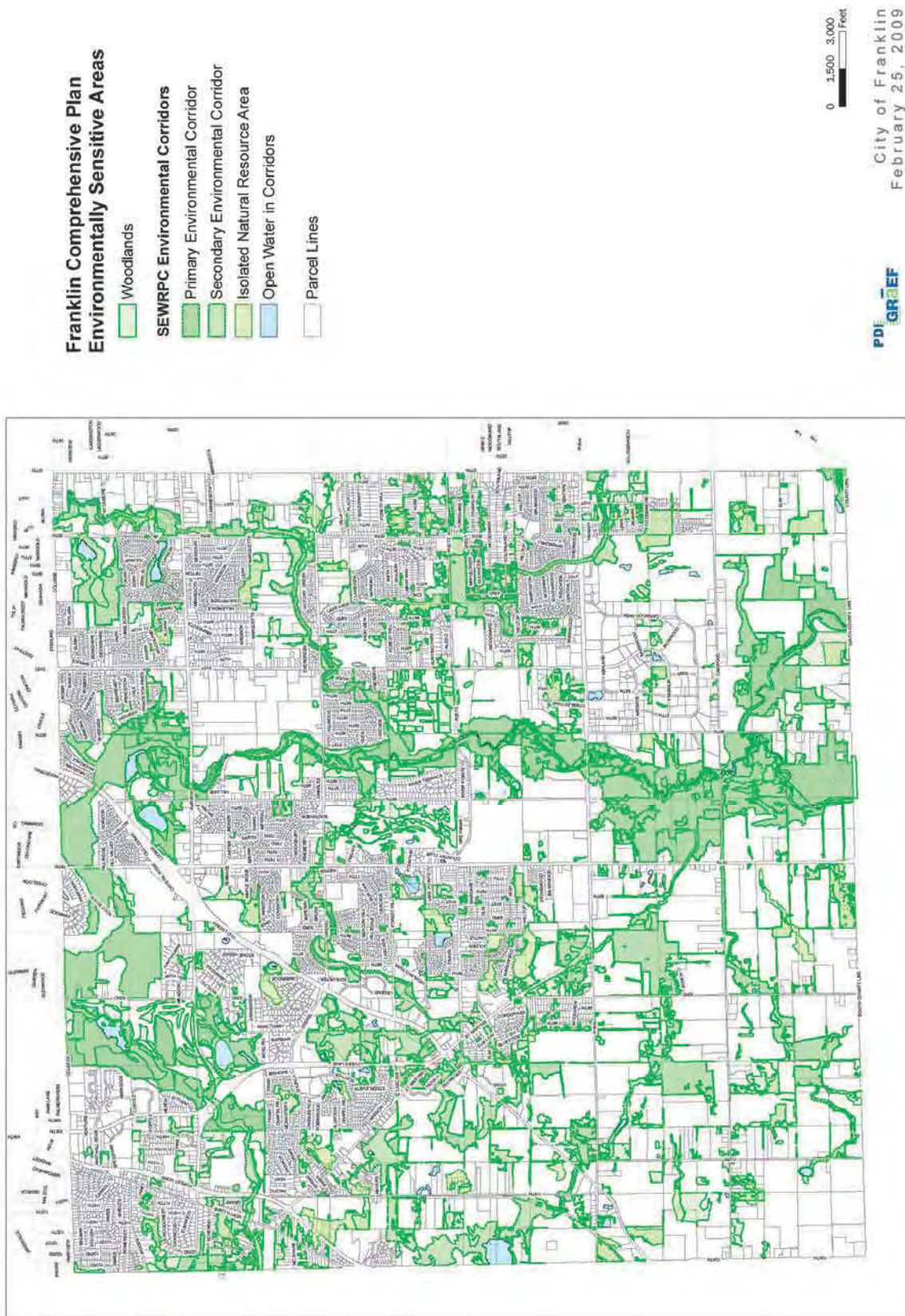
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

MAP 2.2: Planning Areas Map



Map 5.5: Environmentally Sensitive Areas



Regulo Martinez-Montilva

From: Linda de Arteaga <ldearteaga@icloud.com>
Sent: Thursday, June 1, 2023 11:33 AM
To: Regulo Martinez-Montilva
Subject: Re: Loomis- Vitalogy and DOT

Follow Up Flag: Follow up
Flag Status: Completed

Dear Mr. Martinez-Montilva

Thank you for sending the current version for the Vitalogy site plan. I see that an easement is proposed between three apartment buildings. I don't believe this proposed easement is preferable for the future land use of my family's property of commercial or possibly mixed use. Accessing a commercial property between apartment buildings is not conducive to future commercial use for our property. The proposed easement doesn't appear to align with the city of Franklin's Comprehensive land use plan.

I would like permission to share the image with the other property owners in my family. Can you authorize for me to share this with my family?

Sincerely ,

Linda de. Arteaga

> On May 31, 2023, at 11:48 AM, Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov> wrote:
>
> Mrs. De Arteaga,
>
> I've attached the current version of site plan for the Vitalogy development.
>
> 2 public hearings are scheduled for this project: June 22 before the Plan Commission and July 5 before the Common Council.
>
> Note that the developer is now Land by Label, LLC.
>
> Thank you,
> Régulo Martínez-Montilva, AICP, CNUa
> Principal Planner - Department of City Development City of Franklin
> 9229 W. Loomis Road
> Franklin, WI 53132
>
> Ph. (414) 425-4024 / 427-7564
> RMartinez-Montilva@franklinwi.gov
>

>
>
> This message originates from the City of Franklin. It contains information that may be confidential or privileged and is intended only for the individual(s) named above. It is prohibited for anyone to disclose, copy, distribute, or use the contents of this message without permission, except as allowed by the Wisconsin Public Record Law. If this message is sent to a quorum of a governmental body, my intent is the same as though it were sent by regular mail and further e-mail distribution is prohibited. All personal messages express views solely of the sender, which are not attributed to the municipality I represent and may not be copied or distributed with this disclaimer. If you have received this message in error please notify me immediately.
>
> -----Original Message-----
> From: Linda de Arteaga <ldearteaga@icloud.com>
> Sent: Thursday, May 25, 2023 1:54 PM
> To: Regulo Martinez-Montilva <RMartinez-Montilva@franklinwi.gov>
> Subject: Loomis- Vitalogy and DOT
>
> Dear Mr. Martinez-Montilva,
>
> I am inquiring whether you have any further information regarding DOT's plan for access to my family's land? Has Mandel group /developers submitted any revisions to the Vitalogy development?
>
> Linda de Arteaga
>
> <vitalogy.PNG>



Land By Label Development Co. Vitalogy Development

Traffic Impact Analysis Study

Prepared for:

Land By Label Development Co.
7044 South Ballpark Drive
Suite 305
Franklin, WI 53132
Phone: (414) 285-3470
Contact Person: Emily C. Cialdini,
Vice President of Development

March 24, 2023



Land By Label Vitalogy Development

Traffic Impact Analysis Study

Prepared By:

Ayres Associates
20975 Swenson Drive, Suite 200
Waukesha, WI 53186
262.523.4488 • Fax: 262.523.4477
www.AyresAssociates.com

Contact Person: Alexander Cowan, PE, PTOE
WisDOT TIA Certification #SE12-804-215



20975 Swenson Drive, Suite 200
Waukesha, WI 53186
262.523.4488 • Fax: 262.523.4477
www.AyresAssociates.com

Ayres Project No. 49-0747.00

File: i:\49\49074700 land by label vitalogy tia\reports\tia\2) tia\2023_0324_vitalogy tia.docx

Chapter 1: Introduction & Executive Summary

Part A: Purpose of Report and Study Objectives

The Wisconsin Department of Transportation (WisDOT) requested that a traffic impact assessment (TIA) study be conducted for the proposed Land By Label development located along the east side of W. Loomis Road (STH 36), just south of W. Rawson Avenue (CTH BB), in the City of Franklin, WI. The proposed development is expected to include apartment and townhouse units in addition to several commercial retail outlets. The following report summarizes the development study area, the existing, base, and horizon year traffic volumes, the proposed new intersection and reconfiguration of the surrounding roadways, and the expected intersection traffic operations of study intersections under both the existing roadway configuration and a proposed roadway reconfiguration.

Part B: Executive Summary

The executive summary includes a description of the proposed on-site and expected off-site developments, the surrounding study area, and the recommended improvements under both an existing roadway system alternative and a proposed roadway system alternative.

B1. Study Area

The primary influence areas for traffic to/from the proposed development include the City of Franklin to the southwest and the City of Milwaukee to the northeast. The site plan is shown in **Exhibit 1-1**. The following existing intersections were identified as study intersections to be analyzed within the report.

- S. Ballpark Drive & W. Rawson Avenue: traffic signal control
- SB W. Loomis Road & W. Rawson Avenue: minor stop control
- NB W. Loomis Road & W. Rawson Avenue: minor stop control
- S. Ballpark Drive & S. 76th Street: traffic signal control
- SB W. Loomis Road & S. 76th Street: traffic signal control
- NB W. Loomis Road & S. 76th Street: minor stop control
- S. 76th Street & W. Rawson Avenue: traffic signal control
- S. 76th Street & Terrace Drive: minor stop control
- W. Old Loomis Road & S. Ballpark Drive: free flow (no conflicting movements)
 - To be replaced by the proposed intersection of W. Loomis Road and S. Ballpark Drive/Proposed Vitalogy Access
- W. Warwick Way & S. Stone Hedge Drive: minor stop control (only for traffic data collection – no intersection analysis included)
- W. Loomis Road & W. Drexel Avenue: traffic signal control

B2. On-Site Development

Land By Label proposes to construct a residential development located in the southeast quadrant of the W. Loomis Road and W. Rawson Avenue interchange. The development is planned to be constructed on approximately 52 acres of undeveloped land in a single phase. The proposed development is expected to include up to 400 apartment and townhouse units and up to five commercial retail outlets that are each approximately 4,000 square feet.

The commercial retail outlet uses are not yet finalized, but for the purposes of this study, are assumed to be the following:

- Drive-In Bank
- Sit-Down Restaurant
- (2) Fast Food Restaurants
- Coffee Shop

B3. Off-Site Developments

Two off-site developments have been identified as new trip generators that are expected to impact traffic operations within the proposed development's study area:

- **Ballpark Commons Area:** The Ballpark Commons Development is located to the north and south of the W. Rawson Avenue intersection with S. Ballpark Drive and includes commercial, office, retail, services, and residential developments. A TIA was completed in 2017 for these developments and a number of the parcels remain to be constructed. After coordination with WisDOT, it was determined that all trips from the Ballpark Commons Area developments would be considered as part of background traffic. These include trips from Ballpark Commons Area developments that were constructed prior to the writing of this report in addition to Ballpark Commons Area developments that have yet to be completed.
- **76th Street & Rawson Avenue Development:** Located in the southeast corner of S. 76th Street and W. Rawson Avenue (east of the proposed development site). The off-site development includes a mix of residential and retail space that will be replacing the existing Orchard View Shopping Center.

B4. Study Alternatives/Access

This study evaluated two roadway network and access alternatives. The first, titled the Existing Transportation System Alternative, limits access to the proposed Vitalogy Development to a single eastern access point that connects to Terrace Drive. No access would be provided along W. Loomis Road.

The second alternative, titled the Proposed Transportation System Alternative, would provide primary access at a new intersection to be constructed along W. Loomis Road near the existing intersection of S. Ballpark Drive and W. Old Loomis Road. A secondary access point would be provided on the east side of the development that would connect to Terrace Drive. All vehicles may enter and exit the development using either access point.

The Proposed Transportation System Alternative would include the reconfiguration of the grade separated intersection of W. Loomis Road with W. Rawson Avenue and S. 76th Street as discussed with WisDOT and City of Franklin staff. The reconfiguration would remove the existing collector-distributor roadway located along W. Loomis Road between S. 76th Street and W. Rawson Avenue and the on-ramp from W. Rawson Avenue to southbound W. Loomis Road. The result would be a more traditional diamond interchange configuration at W. Loomis Road and S. 76th Street in the southbound direction.

B5. Trip Generation

Data published in the ITE *Trip Generation Manual* – 11th Edition was used to identify the number of peak hour trips that would be generated by the proposed Land By Label development and off-site developments.

On-Site Development

- **Apartments and Townhouses:** The apartments and townhouses are expected to include up to 400 dwelling units. The 400 dwelling units are expected to generate 145 new trips (35 in, 110 out) during the weekday AM peak hour, 195 new trips (125 in, 70 out) during the weekday PM peak hour and 165 new trips (85 in, 80 out) during the Saturday peak hour.
- **Drive-In Bank:** The 4,000 square foot drive-in bank is expected to generate 40 new trips (25 in, 15 out) during the weekday AM peak hour, 85 new trips (45 in, 40 out) during the weekday PM peak hour and 105 new trips (55 in, 50 out) during the Saturday peak hour.
- **Sit-Down Restaurant:** The 4,000 square foot sit-down restaurant is expected to generate 40 new trips (25 in, 15 out) during the weekday AM peak hour, 35 new trips (20 in, 15 out) during the weekday PM peak hour and 45 new trips (25 in, 20 out) during the Saturday peak hour.
- **(2) Fast Food Restaurants:** The two 4,000 square foot fast food restaurants are each expected to generate 180 new trips (90 in, 90 out) during the weekday AM peak hour, 130 new trips (70 in, 60 out) during the weekday PM peak hour and 220 new trips (110 in, 110 out) during the Saturday peak hour.
- **Coffee Shop:** The 4,000 square foot coffee shop is expected to generate 345 new trips (175 in, 170 out) during the weekday AM peak hour, 155 new trips (80 in, 75 out) during the weekday PM peak hour and 350 new trips (175 in, 175 out) during the Saturday peak hour.

Off-Site Development

- **Ballpark Commons Area:** The Ballpark Commons Area developments that have yet to be constructed as part of the Ballpark Commons Master Site Plan are considered to be background trips within this report and compose of the following:
 - **M1 Development:** The M1 Development includes a 78-unit mixed use building with approximately 5,643 square feet of commercial space that comprises of a 1,643 square foot hair salon and 4,000 square foot brewery tap room/bar. The M1 development is expected to generate 55 new trips (20 in, 35 out) during the weekday AM peak hour, 115 new trips (70 in, 45 out) during the weekday PM peak hour and 130 new trips (70 in, 60 out) during the Saturday peak hour.
 - **R1 Development:** The R1 Development includes a 50-unit hotel and is expected to generate 20 new trips (10 in, 10 out) during the weekday AM peak hour, 10 new trips (5 in, 5 out) during the weekday PM peak hour and 40 new trips (20 in, 20 out) during the Saturday peak hour.
 - **C5 Development:** The C5 Development is a 10,000 square foot Chicken N Pickle restaurant and is expected to generate 15 new trips (10 in, 5 out) during the weekday AM peak hour, 125 new trips (70 in, 55 out) during the weekday PM peak hour and 325 new trips (180 in, 145 out) during the Saturday peak hour.
 - **C6 Development:** The C6 Development includes a 150-unit hotel and is expected to generate 70 new trips (40 in, 30 out) during the weekday AM peak hour, 85 new trips (45 in, 40 out) during the weekday PM peak hour and 110 new trips (60 in, 50 out) during the Saturday peak hour.
- **76th & Rawson:** The 76th & Rawson development trips are considered to be off-site trips within this report. This development is located in the southeast quadrant of the S. 76th Street intersection with W. Rawson Avenue. The development will replace the existing Orchard View Shopping Center and therefore, removal trips from the existing 34,000 square foot shopping center were applied to the 76th & Rawson off-site trip generation volumes. It is expected that the removal of the shopping center will reduce off-site traffic by 80 trips (50 in, 30 out) during the weekday AM peak hour, 185 trips (95 in, 90 out) during the weekday PM peak hour and 225 trips (115 in, 110 out) during the Saturday peak hour. The trips generated by the off-site development comprise of the following:
 - **Condos:** The development is expected to include a total of 440 condo units. The 440 dwelling units are expected to generate 160 new trips (40 in, 120 out) during the weekday

- AM peak hour, 210 new trips (130 in, 80 out) during the weekday PM peak hour and 180 new trips (90 in, 90 out) during the Saturday peak hour.
- **Commercial Development:** The commercial development includes approximately 20,000 square feet of commercial retail space that is expected to be a mix of retail units. The commercial development is expected to generate 45 new trips (25 in, 20 out) during the weekday AM peak hour, 125 new trips (65 in, 60 out) during the PM peak hour and 130 new trips (65 in, 65 out) during the Saturday peak hour.
- **Hotel:** The 50-unit hotel is expected to generate 20 new trips (10 in, 10 out) during the weekday AM peak hour, 10 new trips (5 in, 5 out) during the weekday PM peak hour and 40 new trips (20 in, 20 out) during the Saturday peak hour.
- **Food Truck Plaza:** The food truck plaza is expected to generate no new trips during the weekday AM peak hour, 30 new trips (15 in, 15 out) during the weekday PM peak hour and 30 new trips (15 in, 15 out) during the Saturday peak hour.

B6. Recommended Improvements

The following recommendations are needed to achieve an acceptable LOS and queue storage for each alternative and scenario. Note that the queue storage recommendations identify the needed queue storage for each year and scenario. When subsequent queue length extensions are needed, it is recommended that the storage length be extended a single time to accommodate the full needed storage in future years, not be constructed incrementally.

Existing Transportation System

The recommended improvements for the Existing Transportation System Alternative are shown in **Exhibit 1-2**.

NB W. Loomis Road & S. 76th Street

2023 Background Traffic:

- Addressing poor LOS is expected to require a change in intersection control, from minor stop control to traffic signal control.

S. 76th Street & W. Rawson Avenue

2023 Background Traffic:

- Addressing poor LOS is expected to require minor signal timing adjustments.
- Extend the westbound left-turn bay storage length from 50 feet to 75 feet. Increasing the storage length would require the removal of the westbound turn lane upstream along W. Rawson Avenue and would impact the access to the parcels at the southeast and northeast corners of S. 76th Street and W. Rawson Avenue.

2038 Horizon Year Background Traffic:

- Addressing poor LOS is expected to require minor signal timing adjustments.
- Extend the westbound left-turn bay storage length to 100 feet.

2023 Base Year Build Development Traffic:

- Addressing poor LOS is expected to require minor signal timing adjustments.
- Extend the westbound left-turn bay storage length to 125 feet.
- Extend the northbound left-turn bay storage length from 140 feet to 275 feet. Approximately 230 feet of turn lane extension is available before impacting the

southbound S. 76th Street left-turn lane at the next median opening. An evaluation of impacts to this adjacent turn lane should be considered.

2038 Horizon Year Build Development Traffic:

- Addressing poor LOS is expected to require minor signal timing adjustments.
- Extend the westbound left-turn bay storage length to 150 feet.
- Extend the northbound left-turn bay storage length to 325 feet. Approximately 230 feet of turn lane extension is available before impacting the southbound S. 76th Street left-turn lane at the next median opening. An evaluation of impacts to this adjacent turn lane should be considered.

2038 Horizon Year Total Traffic:

- Addressing poor LOS is expected to require minor signal timing adjustments.

S. 76th Street & Terrace Drive

2023 Base Year Build Development Traffic:

- Addressing poor LOS is expected to require a change in intersection control, from two-way stop control to traffic signal control and the reconfiguration of the eastbound approach from a single shared left-turn/through/right-turn lane to dual exclusive left-turn lanes and a shared through/right-turn lane.
- Provide eastbound left-turn bay storage of 200 feet.

2038 Horizon Year Build Development Traffic:

- Extend the eastbound left-turn bay storage length to 225 feet.

Proposed Transportation System

The recommended improvements for the Proposed Transportation System Alternative are shown in **Exhibit 1-3**.

SB W. Loomis Road & S. 76th Street

2023 Base Year Build Development Traffic:

- Extend the northbound left-turn bay storage length from 140 feet to 175 feet.

2038 Horizon Year Total Development Traffic:

- Extend the northbound left-turn bay storage length to 250 feet.

NB W. Loomis Road & S. 76th Street

2023 Background Traffic:

- Addressing poor LOS is expected to require a change in intersection control, from minor stop control to traffic signal control. Changes to the lane configuration are not expected to be necessary.

W. Loomis Road & Proposed Access

2023 Background Traffic:

- Addressing poor LOS is expected to require a change to traffic signal control. Although traffic signals are not warranted under background traffic volumes, the construction of the intersection is expected to coincide with the proposed Vitalogy development, at which time signals are expected to be warranted.

2038 Horizon Year Background Traffic:

- Addressing poor LOS is expected to require a change to traffic signal control. This improvement is expected to be included with the 2023 Build scenario.

2023 Base Year Build Development Traffic:

- Addressing poor LOS is expected to require a change to traffic signal control.
- On the southbound W. Loomis Road approach, construct an exclusive right-turn lane of 500 feet, an exclusive left-turn lane of 600 feet, and provide two through lanes.
- On the northbound W. Loomis Road approach, construct an exclusive right-turn lane of 500 feet, an exclusive left-turn lane of 500 feet, and provide two through lanes.
- On the eastbound S. Ballpark Drive approach, construct an exclusive left-turn lane of 175 feet and a shared through/right-turn lane.
- On the westbound Vitalogy Access approach, construct an exclusive left-turn lane of 225 feet and a shared through/right-turn lane.

2038 Horizon Year Build Development Traffic:

- Extend the southbound left-turn lane to 625 feet.
- Extend the westbound left-turn lane 250 feet.

S. 76th Street & W. Rawson Avenue

2023 Base Year Background Traffic:

- Extend the westbound left-turn bay storage length from 50 feet to 100 feet. Increasing the storage length would require the removal of the westbound turn lane upstream along W. Rawson Avenue and would impact the access to the parcels at the southeast and northeast corners of S. 76th Street and W. Rawson Avenue.
- Although additional storage is needed for the westbound right-turn lane, the lane is currently an extension of the wide outside lane along W. Rawson Avenue and therefore no geometric changes are need.

2023 Base Year Build Development Traffic:

- Extend the westbound left-turn bay storage length to 125 feet.
- Although additional storage is needed for the westbound right-turn lane, the lane is currently an extension of the wide outside lane along W. Rawson Avenue and therefore no geometric changes are need.

B7. Conclusion

The study intersections are expected to operate at an acceptable LOS 'D' or better under the Existing and Proposed Transportation System Alternatives with the recommendations listed in this report.

LAND
By
LABEL
DEVELOPMENT CO.



A Planned Development District Application for a Mixed-use Master Planned Redevelopment

May 23, 2023

The Development Team

Land By Label

Land By Label is an integrated multifamily and mixed-use real estate company. We have over 50 years combined real estate experience, including development, finance, legal, construction oversight, asset management and disposition strategy. While our primary focus is southeastern Wisconsin, our team has significant experience developing multifamily assets across the country. Our cultivated network of brokers and consultants, including architects, engineers and property management experts, allows Land By Label to identify and execute the best development opportunities in our backyard and beyond.

Methodical risk management guides Land By Label's development process. Market and site identification is driven by empirical supply-demand factors, including detailed demographics and multifamily performance. Site conceptualization and design is a hands-on experience informed by market/site conditions and the best branding, architectural and engineering minds in the business. The site concept must accomplish two goals—satisfying the real time demand of our customers and creating a positive impact on the local community. Land By Label conducts outreach with elected officials and surrounding property owners as the best ideas are incorporated into our thinking. Our due diligence is exhaustive. We understand development risks ranging from geotechnical and environmental conditions to title and survey challenges. Our Managing Principal's legal experience combined with outside development counsel ensures all the issues are identified, considered and solved.

Poets General will be led by Ian Martin, Founder and Managing Principal of Land by Label and Brian Strandt, Vice President of Construction and Emily Cialdini, Vice President of Development.

ROC Ventures

ROC Ventures manages a collection of brands in the sports, entertainment, and real estate sectors. These include the Milwaukee Wave, the Milwaukee Milkmen, The Rock Sports Complex, a collegiate baseball franchise located in Indiana, the Ballpark Commons development, and more.

ROC stands for "Return on Community," a goal which informs each and every endeavor undertaken by the organization. ROC Ventures is led by Michael Zimmerman, Owner and Executive Officer. Since 2004, Zimmerman has owned and operated 30 businesses in the healthcare, sports and entertainment industries. The healthcare companies are now working collectively with over 80 percent of our nation's hospitals.

The Design Team

Continuum Architects & Planners

Established in 1996, Continuum Architects + Planners was born out of a desire to provide high design without compromising meticulous attention to detail. We are made up of a tight-knit, creative, and highly technical team of design professionals. For us, architecture is an investment in the future, a belief in great things to come. Our design philosophy extends beyond the bounds of the physical building to include the users and the community impacted by the design. Continuum's approach to design is to carefully balance the pragmatic and the visionary, pairing meticulous project planning with inspired creativity. We call it intelligent optimism. We intentionally work with clients who want to enhance the built environment and on projects that uplift the communities in which they are located. We understand that how places and spaces are planned, programmed, designed and built presents an opportunity to inspire hope, and our process reflects that.



Falamak Nourzad
AIA, NCARD, LEED, ASID
Principal-In-Charge



Vaishali Wagh RA,
LEED AP
Principal Design Architect



Nicholas Allen
AIA, LEED AP BD&C
Associate Architect

Spotlight Projects

- The Watertown, Wauwatosa
- Paper Box Lofts, Milwaukee
- Welford Sanders Historic Lofts, Milwaukee
- Historic Mackie Building, Milwaukee
- Port Washington Townhomes, Port Washington

The Sigma Group

The Sigma Group, Inc. (Sigma) is a full-service consulting and civil engineering firm. Our Milwaukee-based staff includes registered professional engineers in civil, environmental, and chemical disciplines; registered land surveyors; construction inspectors; certified asbestos supervisors / inspectors; certified lead inspectors / risk assessors; Certified Hazardous Materials Managers, professional geologists and hydrogeologists, as well as additional engineering technicians, scientists and compliance specialists.



Chris Carr, PE
Vice President/Co-Chief
Operating Officer/Civil
Engineering Group Leader



James Leedom, PE, LEED AP Senior
Project Engineer

Spotlight Projects

- The Seasons, Franklin
- The Reef, Wauwatosa
- State Street Station, Wauwatosa
- Stitchweld, Milwaukee
- 22 Slate, Madison

Development Considerations

Project Vision

A holistic approach to habitation. Cultivating organic human connection and personal wellness through inspired, immersive everyday retreat experiences, domestic and rustic, rooted in reverence for the natural landscape.

Designed to preserve the existing ecology of the sprawling site, including wetlands and woods for wandering, Vitalogy offers intentional settings to be present in pursuit of living your best life. Acres to explore provide a picturesque framework for time well spent. Community outdoor amenities like gardens, pickleball courts, putting greens, dog parks, and natural play zones promote active resident lifestyles and social nourishment. With plenty of space for native exploration and access to contemporary amenities, Vitalogy's duality is a welcome reprieve - slow, mindful living for all who seek.



Vitalogy represents a first-of-its-kind a wellness focused, mindful habitation that enhances the natural environment and creates spaces to connect, wander and explore. The master planned community converts this historic fill site into a peaceful, suburban residential retreat interwoven into preserved and enhanced ecological features. Redeveloping this site allows the environmentally significant features to be preserved, enhanced and made publicly accessible. The master site planning creates the opportunity for new commercial development along Loomis with a serene residential experience behind it. The development of this site leverages the City's investment in Ballpark Commons, located immediately west of the site across Loomis Ave by creating a complementary, high-quality development. This site is uniquely positioned among existing commercial and high density residential within the City, representing an ideal location for the mix of proposed commercial and multifamily. Our site planning actively responds to the context by establishing street connections to adjacent neighborhoods through Terrace Dr. At the

same time, it remains sensitive to abutting single-family residential district by preserving woodlands to maintain an effective buffer.

The site design responds to the ecological features found on site. Instead of imposing our development onto the site we purposefully preserved the large wetlands and old growth woods to create a walkable community that is in close contact with its natural habitat. The preservation of ecological features and creation of thousands of linear feet of walking trails among the natural environment welcomes the community to this important node of the City.

Incorporated within our proposal is representative precedent imagery and building massing to provide a sense of architectural character and scale for the proposed redevelopment. We understand that building architecture and landscaping will need to be refined as we advance through the zoning process. Our goal is to provide a high-level depiction to share the general character, scope and appearance of the redevelopment.

We believe a comprehensive redevelopment focused on housing and paired with new commercial is the right solution for this active zone within the City of Franklin. The housing component is a carefully considered real estate response to demographic changes that reflect on housing preferences and strong, demonstrated demand for luxury rental housing in the Franklin submarket. A summary of the need for apartments can be found on page 15. The residential housing will include a wide variety of unit styles and mixes ranging from studio units to three bedrooms, intended to meet the needs of a wide cross section of the City's population. The development will appeal to those preferring the flexibility and maintenance-free lifestyle that rental housing offers to those aspiring to home ownership. New businesses will be supported by the existing community but also by the new population generated by the housing of the redevelopment.

The redevelopment effort generates significant and long-term economic impact, an estimated \$207 million dollars over the next 10 years. The economic impact of the construction activities alone generates roughly \$147 million of output and labor income and creates over 785 jobs. Maybe most importantly, Vitalogy will deploy roughly \$2 million of disposable income in the area to existing businesses within the City annually. Additional information regarding the economic impact was prepared by Baker Tilly and can be found on page 14.

Program Statement

The redevelopment site of Vitalogy measures roughly 52 acres. We proposed to redevelop the site into the following uses:

Luxury Apartments

Approximately 400 apartment units contained in a variety of building styles. A two-story building product contains approximately 25 units per building with each unit having a private entrance. Roughly forty percent of the units in the two-story buildings include attached garages. The three-story product includes roughly 50 units per building and roughly 50 underground parking stalls. The buildings are separated and angled away from each to provide a contemplative green courtyard between buildings for the resident outdoor space. The two-story and three-story product will offer a variety of studio, one-bedroom, two-bedroom and three-bedroom unit styles.

A third building type offers townhome style units. The townhomes will be two-bedroom, two-bedroom den and three-bedroom units with a two-car attached garage. The wide variety of building types and unit styles allows us to achieve a wide range of price points that appeal to a divergent demographic of renters.

Additional surface parking provide sufficient parking for residents and guests. Special attention will be paid to interior and exterior finish level to ensure Vitalogy will be one of the finest in the Franklin submarket. Units will feature top-of-the-line finishes – quartz countertops, stainless steel appliances and hard surface plank flooring.

Commercial Use

Three to four commercial outlots are ideally positioned along Loomis Road to activate the node of the City and encourage new business development.

Resident Amenities

The development brand and identity located within this natural setting allows the delivery of unique resident amenities. A roughly 6,000 square foot clubhouse is positioned at the front door of the development, just behind the commercial outlots creating a defined marker for the residential setting. The clubhouse will include our leasing center and management offices along with an expansive clubroom that opens up onto ample patio space, outdoor kitchen and private pool. Adjacent outdoor uses including pickle ball courts, a putting and chipping green, professionally managed gardens and open green space elaborate the natural character of ecological features. The site planning will also include resident dog parks and several thousand linear feet of walking trails among the wetlands and woods. Expanding upon these walking trails

are nodes for residents to explore and meander including picnic areas, open plazas for yoga sessions, natural play areas for kids and even a tree-house in the preserved woodlands.

Pedestrian Connectivity

With such a large redevelopment opportunity featuring a variety of uses, pedestrian connectivity within the site and the community at large is a critical component of the redevelopment's success. To that end, we will ensure that a series of pedestrian walking trails connecting not only the uses within our proposed redevelopment, but also the adjacent uses like Ballpark Commons and street frontage is thoughtful and well considered. We will work directly with planning staff to ensure that the redevelopment expands upon the City's network of walking trails and sidewalks.

Natural Resource Protection

Throughout the due diligence process, we have identified several thousand square feet of wetland and woodlands to be preserved. Access roads are designed to circumvent these significant features to the best extent possible. As a result, the site design is organized into 3 distinct enclaves in order to preserve, incorporate and highlight the site ecology.

Collaborative Design Approach

Vitalogy plans reflect a highly considered solution that incorporates good design principles and is responsive to preliminary feedback from neighbors, Staff and elected officials. Throughout the development process we are sure to encounter challenges and opportunities that will inform our design going forward. We have hosted two neighborhood meetings where we received valuable feedback. We will continue to solicit feedback from stakeholders. It is our experience that the best projects are those informed by a reasonable, constructive conversation with all stakeholders.

Development Ownership, Controls and Regulations

Land By Label, Inc. is the lead developer and will control and manage the design, development and construction of the apartments, resident amenities and ecological preservation and infrastructure. The commercial outlots will likely be developed, designed and managed by a third party, but will still be subject to multiple layers of Land By Label and City control, including design and operational guidelines.

First, Land By Label will record against the entire property a restrictive covenant agreement (the “Restrictive Covenant”) that provides cross-access easements among all the varied uses and adjoining property to the southwest. The Restrictive Covenant will also give Land By Label control over the architecture, site planning and landscaping on the entire redevelopment including the commercial outlots. The City will, of course, retain final approval rights of the commercial parcels. The Restrictive Covenant will also impose on-going maintenance standards and requirements to ensure the overall site is kept in good condition and repair. It is likely that Land By Label, as manager of the apartments, will be responsible for maintaining general common areas, like stormwater management, and the commercial users will pay their share of such maintenance costs.

Land By Label and the City will encumber the entire site with a mutually agreeable development agreement in addition to the PDD ordinance to set the density permitted on the property, setback requirements, maximum building height and impose an on-going maintenance obligation to ensure the development remains in good condition and repair.

Finally, the walking trails through the wetlands and woodlands are programmed to be public space that is open and accessible. There are multiple options to ensure that this space remain public including deeding the land to the City or recording public access easements against the property. We will continue to advance discussions with City staff to ensure we reach an agreement and approach which the City is comfortable.

Policy Considerations

Vitalogy requires a rezoning to a Planned Development District to allow for the proposed program uses. The existing current zoning is R-6 (Suburban Single-Family Residence District). A new Planned Development District with Mixed Compatible Uses will allow our proposed redevelopment to “derive maximum benefit from coordinated area site planning, diversified location of structures, and mixed compatible uses that result in the provision of a safe and efficient system for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and community facilities; and ensure adequate standards of construction and planning.” (UDO Section 15-3.0401A.) Although a change in use, the redevelopment maintains consistency with the City’s overall policy considerations identified in the City of Franklin Unified Development Ordinance and the 2009 Comprehensive Plan.

Policy Considerations of Comprehensive Plan and Standards for Planned Development District

The City of Franklin Comprehensive Plan identifies several guiding principles, goals and objectives to facilitate successful, balanced growth that enhances the quality of life for present and future generation, attracts knowledge workers and industry, provides a wide range of housing opportunities and creates access to recreation. The UDO specifies standards that represent the basis for approval for Planned Development Districts. In all cases, Vitalogy is consistent with the stated goals of the Comprehensive Plan and the Planned Development District as summarized and demonstrated below.

Balanced Growth

Preserve the City’s community character while at the same time encouraging and directing growth and development. Support sustainable growth. Encourage a unified mix of uses that is compatible with the surrounding neighborhood. Ensure population impact has no adverse effect on schools and municipal services.

Vitalogy includes a balanced mix of high-quality public, commercial and residential spaces while incorporating and enhancing existing ecological features and maintaining large expanses of open and programmed green space. The development itself represents a balance of new economic development while at the same time preserving and enhancing ecological features. The number of school aged children residing in suburban rental communities is low and will likely have a negligible impact on schools. Our redevelopment will generate significant impact fees sufficient to cover an increase in municipal services.

High Quality and High Value Development

Deliver high-quality development, regardless of use. High value development decreases the tax burden. Encourage compatible mixed-use development within commercial corridors. Strive toward excellence in creating attractive residential developments.

Land By Label believes that high quality development begins with identifying the highest and best use for redevelopment opportunities, retaining the top consultants in the industry and a focus on informed, thoughtful site planning. The best redevelopments are also those that incorporate reasonable, constructive feedback of project stakeholders including City Staff, elected officials, neighbors and nearby businesses. To that end, on-going dialogue with project stakeholders has occurred and will continue on this project. The quality of work must permeate through building architecture, exterior and interior finishes, floor plans and resident and public amenities to ensure the highest quality housing option in the market.

Economic Development

Promote Franklin as a high-quality community that supports residents and business, creates jobs for a growing population and expands and diversifies the City's tax base. Create a range of employment opportunities.

Vitalogy, with a mix of residential and commercial uses, generates significant economic impact to the City of Franklin and, more generally, the region. An independent, third-party economic impact assessment prepared by Baker Tilly quantified the impact in terms of jobs and economic output. The report is included herein, on page 14. Highlights from the report indicate the Construction Impact generates \$147.3M of economic output and labor income while at the same time creating 785.7 total jobs. The annual Operation Impact is roughly \$18.6M of annual economic output and labor income with 90.2 total jobs. The economic output over the next 10 years is estimated a \$207.5M and deploys approximately \$2.0M in disposable income in the area on an annual basis.

Furthermore, the contemplated development represents a massive expansion of the City's tax base. Over \$100 million of new tax base could yield over \$1.2 million in annual taxes upon closure of the TID. Finally, the proposed redevelopment will generate over \$2 million in impact fee revenue for the City of Franklin. Impact fees will help the City pay for parks, police and fire protection, libraries and other municipal services.

Housing Principles

Provide a wide range of housing opportunities that support working professionals, seniors, and families. Allow for a variety of residential types and densities wherever possible and appropriate.

Vitalogy delivers a unique housing option for residents within the City of Franklin as an alternative to the for-sale single-family and multi-family options that currently exist. Within the development, a range of unit styles at varying rental rates will be available including studio, one-bedroom, two-bedroom and three-bedroom unit styles. The variety of housing styles appeals to a wide range of demographics ranging from Generation Z to Millennials and Empty Nesters. The adjacent natural environment creates an unmatched housing opportunity with the City of Franklin. Additionally, Land By Label’s proposed Poths General development provides yet another housing type and style in a more vibrant, urban setting for those who may desire a more active and high-energy living experience.

Transportation

Create and maintain a safe and efficient transportation and create opportunities for walking and bicycling.

The redevelopment of the site requires significant coordination with the DOT to create a safe, effective traffic pattern. Access to the development will be served from a full movement intersection at Loomis Road, directly across from Ballpark Drive. The DOT requires that, with the new intersection, the roadway reconfiguration remove the existing collector-distributor roadway located along W. Loomis Rd. between S 76th St. and W. Rawson Ave. and the on-ramp from W. Rawson Ave. to W. Loomis Rd. The result would be a safer and more traditional diamond interchange configuration at W. Loomis Rd. and S. 76th St. in the southbound direction. A traffic study has been prepared and is under review by the City, DOT and County. The traffic study has identified traffic improvements that will be required to ensure that our development will not negatively impact any nearby traffic conditions and that we create safe access and thoroughfares. We will continue to coordinate with the City and DOT on this effort.

The access road from Loomis runs through the site, connecting to Terrace Drive to the east and will be a public road, per City Engineering request. The balance of the roadways through the site will be private. A third connection to the south to 82nd Street is also shown, but this would serve emergency vehicles only and will include a crash gate. A through connection to the property to the southwest is also contemplated.

Ample walking and bike trails are found throughout our development, connecting the residential, public and natural environment. We will continue to work with planning staff to ensure the connectivity of our development with adjacent uses and the larger redevelopment hubs within the City of Franklin.

Community Facilities

Provide access to parks, open space and a wide range of recreational programs and facilities that promote an active and healthy lifestyle. Make Franklin a community of modern

conveniences. Create a city-wide trail system for pedestrians and cyclists. Identify opportunities for new neighborhood parks and city parks. Create links for natural areas when developing park areas.

One of the key features of Vitalogy is the enhancement of wetlands and woodlands. Given the large area and our desire to maintain and enhance them, it is our goal to include public walking trails and nodes throughout the natural areas.

Sustainability and Environmental Resources

Enhance natural resource features to maintain the natural beauty of the City and balance these with the development rights of planned zoning. Include public open space within and adjacent to mixed-use development. Require guarantee for Preservation of Open Space.

The main goal for this development is to preserve and incorporate natural features and green space into the overall site planning. The building and roadway placement mitigates impact to the wetlands and woodlands found on the site. There are a variety of ways to guarantee the preservation of open space and the public accessibility throughout our site and we are open to working with City to appropriately record public access and preservation.

ECONOMIC IMPACT ANALYSIS

Loomis and Rawson

FRANKLIN, WISCONSIN

The redevelopment concept consists of approximately four (4) to five (5) retail outlets fronting Loomis Road with roughly 430 apartments organically positioned around significant ecological features found on the site. The units will be contained in a variety of slab of grade garden style buildings including two-story and three-story structures with 20 to 40 units per building and approximately 40% attached garages. Units will include studios, one-bedroom, two-bedroom and three-bedroom unit styles. We also plan to include roughly sixteen (16) two-bedroom and three-bedroom townhome units which will include two-car attached garages. The variety of building and unit styles will appeal to a wide demographic of potential renters.

Construction Impact

Economic Output and Labor Income

\$145.3.0M		\$1.4M	\$0.6M		\$147.3M
DIRECT		INDIRECT	INDUCED		TOTAL

Construction Supply Chain

Based on industry data for the local area, an estimated 66% of the goods and services that construction of the facility will require can be provided within the region.

785.7
TOTAL CONSTRUCTION
JOBS SUPPORTED
AVERAGE WAGE: \$62,913

Operational Impacts

Annual Economic Output and Labor Income

\$18.5M		\$0.1M	\$19,853		\$18.6M
DIRECT		INDIRECT	INDUCED		TOTAL

Operational Supply Chain

Based on industry data for the local area, an estimated 67% of the goods and services that the facility will require to operate can be provided within the region.

90.2
TOTAL OPERATIONAL
JOBS SUPPORTED
AVERAGE WAGE: \$28,019

\$207.5M

ECONOMIC OUTPUT OVER THE NEXT 10 YEARS

Local Expenditures

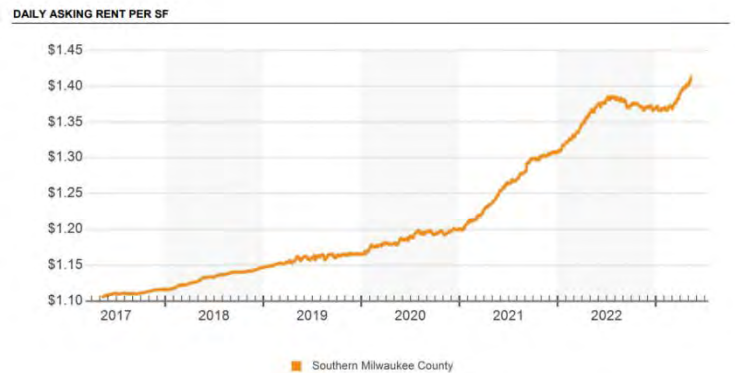
Based on industry patterns in the local area, it is estimated that use of the town center will result in the expenditure of approximately \$1.96 million in disposable income.

Baker Tilly LLP is trading as Baker Tilly is a member of the global network of Baker Tilly International Ltd, the members of which are separate and independent legal entities. © 2022 Baker Tilly LLP.

THE NEED FOR APARTMENTS

1. Homeownership rates are at 40-year historic lows.
2. Millennials are delaying household formation and homeownership.
3. Millennials burdened with student debt that has limited their saving for a down payment.
4. The average sales price for homes continues to rise.
5. Interest rates on home mortgages continue to rise.
6. Largest growing renter demographic over the last ten years has been the baby boomer cohort.
7. Generation Z is demonstrating a strong propensity to rent.
8. Life cycle housing creates healthy, viable communities. Apartments offer a housing solution that allows younger families looking to buy in the community the opportunity to rent. Apartments offer empty nesters the opportunity to remain the communities they are rooted, but with added flexibility and no maintenance.
9. Franklin submarket apartment fundamentals are strong – 97% + occupancy and continued strong rent growth. (See graph below)
10. Marginal demand analysis of income qualified renter growth vs. units in pipeline demonstrates a surplus demand of 200 units. (See tables below)
11. Velo Village’s record setting lease-up at 30 units per month demonstrates strong demand of immediate area.

Income Eligible Renter Population Primary Market Area (10-Mile of Franklin City Center)		
Year	2022	2027
Total Population	518,612	512,083
Households Total	214,301	212,468
Renter-Occupied Households	82,401	79,375
Income Brackets	Total Households	Total Households
\$50,000 - \$74,999	40,002	36,577
\$75,000 - \$99,999	30,817	29,873
\$100,000 - \$149,999	41,423	50,243
\$150,000 - \$199,999	15,862	22,756
\$200,000+	10,842	13,293
Total # of Income-Eligible Households	Total Households	Total Households
	138,946	152,742
% Renter-Occupied	38.45%	37.36%
# Income-Eligible Renter-Occupied Households	53,426	57,062



Marginal Demand Analysis		
a	Income Qualified Renter Households 2022	53,426
b	Income Qualified Renter Households 2027	57,062
c	Increase in Income Qualified Renter Households	3,636
d	# Units in Pipeline	2,575
e	Subject Units	1,003
f	Total New Supply (d+e)	3,578
g	New Units at Balanced Market (96%)	3,435
h	Net Excess Demand (c-g)	201

April 28, 2023

Mr. Regulo Martinez-Montliva
Principal Planner
City of Franklin
9229 West Loomis Road
Franklin, WI 53132

Re: Vitalogy PDD & Comprehensive Master Plan Amendment Resubmittal

Dear Regulo,

We are pleased to resubmit applications for Planned Development District and Comprehensive Master Plan Amendment related to the Vitalogy development (formerly known as The Retreat). In particular, you will find under cover of this letter the following documents:

1. City Council Review Application for PDD and Comprehensive Master Plan Amendment;
2. Twelve (12) copies of the updated site plan;
3. Twelve (12) copies of updated renderings;
4. Twelve (12) copies of a site plan exhibit delineating the proposed commercial area, residential area and natural resource conservation area;
5. Twelve (12) copies of the site intensity worksheets; and
6. Twelve (12) copies of the response to staff comments.

In addition to and simultaneously with the foregoing hard copies, we are providing an electronic copy of the foregoing information via dropbox.com link. If you have any problems downloading the information please let me know and we will arrange for an alternative method of delivery.

By way of background, the original proposal for this project was submitted on October 6, 2022 and heard by the Plan Commission on December 1, 2022. The Plan Commission tabled the project review to allow the development team to conduct neighborhood outreach. To date, we have hosted two “large format” meetings. The first meeting was held on February 20, 2023, and the second meeting was held on April 12, 2023. Both were held at the Franklin Public Library. Additionally, we have held numerous discussions with individuals regarding the project. The updated site plan reflects a number of revisions based on the neighborhood feedback. For example, the site plan was reorganized to push the smaller, lower density buildings to the southern property line while relocating larger buildings to the interior of the site. We agreed to install a crash gate at the 82nd Street connection to limit its use to emergency traffic only. The private walking trails were pushed further north off the southern property line at the request of several neighbors. There are several other examples of modifications and I intend to detail those in the Plan Commission meeting.

The traffic impact analysis for this project, including the proposed intersection at Loomis Road, was completed and submitted to the DOT, County and City of Franklin. Additionally, we asked Ayres & Associates, the traffic engineering firm authoring the TIA, to analyze several roadway alternatives to the



proposed Terrace Drive connection. Those memoranda may be found on Land By Label's website and were sent to you (and Glen Morrow) via email correspondence on April 27, 2023. In short, Ayres concluded that that Terrace Drive connection, long-planned by the City of Franklin, is the safest and most logical design for the project. Again, I intend to summarize the foregoing analysis at the Plan Commission meeting.

At your earliest convenience, please let me know when the foregoing applications will be heard by the Plan Commission and Common Council.

Sincerely,



Ian B. Martin
Managing Principal
Land By Label



CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

CONCEPT REVIEW APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$250 Application fee payable to the City of Franklin.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) copies of the Preliminary Site/Development Plan of the subject property(ies) and immediate surroundings *on 8 ½" X 11" or 11" X 17" paper (i.e., a scaled map identifying the subject property and immediate environs, including existing and proposed parcels, existing and proposed structures, existing and proposed land uses, existing and proposed zoning, existing and proposed infrastructure and utilities[approximate locations only], and existing and proposed site conditions/site constraints [i.e. approximate locations of public road access, rights-of-way, natural resources/green space and drainage issues/concerns, etc.])*
 - Three (3) colored copies of building elevations *on 11" X 17" paper if applicable.*
- Email or flash drive with all plans / submittal materials.

COMPREHENSIVE MASTER PLAN AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$125 Application fee payable to the City of Franklin.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Site Development Plan / Map, *drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.*
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Requires a Class I Public Hearing Notice at least 30 days before the Common Council Meeting

PLANNED DEVELOPMENT DISTRICT (PDD)

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$6,000: New PDD
 - \$3,500: PDD Major Amendment
 - \$500: PDD Minor Amendment
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded full size, of the Site Plan Package, *drawn to scale copies, on 24" x 36" paper, including Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)*
- One (1) colored copy of the building elevations *on 11" X 17" paper, if applicable.*
- One (1) copy of the Site Intensity and Capacity Calculations, *if applicable (see division 15-3.0500 of the UDO)*
- Email or flash drive with all plans / submittal materials.
 - PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
 - Minor PDD Amendment requests require Plan Commission review and Common Council approval.

REZONING

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,250
 - \$350: one parcel residential.
- Word Document legal description of the subject property.
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of a Plot Plan or Site Plan, *drawn to reasonable scale, at least 11" X 17" paper or as determined by the City Planner or City Engineer, and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.*
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts
 - Requires a Class II Public Hearing notice at Plan Commission.

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- Application fee payable to the City of Franklin... [select one of the following]
 - \$1,500: New Special Use > 4000 square feet.
 - \$1,000: Special Use Amendment.
 - \$750: New Special Use < 4000 square feet.
- Word Document legal description of the subject property.
- Word Document legal description of the subject property.
- One copy of a response to the General Standards, Special Standards, and Considerations *found in Section 15-3.0701(A), (B), and (C) of the UDO available at www.franklinwi.gov.*
- Three (3) complete collated sets of application materials to include ...
 - Three (3) project narratives.
 - Three (3) folded copies of the Site Plan package, drawn to scale at least 24" X 36", *The submittal should include only those plans/items as set forth in Section 15-7.0101, 15-7.0301 and 15-5.0402 of the UDO that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.*
- One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- Email or flash drive with all plans / submittal materials.
- Additional information as may be required.
 - Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

UNIFIED DEVELOPMENT ORDINANCE (UDO) TEXT AMENDMENT APPLICATION MATERIALS

- This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- \$200 Application fee payable to the City of Franklin.
- Three (3) project narratives, *including description of the proposed text amendment.*
 - Requires a Class II Public Hearing notice at Plan Commission.
 - The City's Unified Development Ordinance (UDO) is available at www.franklinwi.gov.

LAND BY LABEL RESPONSES TO STAFF COMMENTS DATED NOVEMBER 18TH, 2022

City Development Department Comments

1. Updated site plan identifies areas for commercial, residential and natural resource protection. Metes and bounds legal descriptions will be provided as part of final site plan approval application. We agree that such legal descriptions must be substantially similar to the site plan included in the resubmittal. Site intensity worksheets based on the updated site plan are also included in this resubmittal.
2. Please see the updated site intensity worksheets. Vitalogy (both commercial and residential areas) comply with UDO Section 15-3.0402C in all respects, except for the Maximum Net Density for Residential. The UDO provides a Max ND of 8.00. Vitalogy's residential area delivers a Max ND of 23, which is consistent with similar multifamily communities within the City of Franklin.
3. The updated site plan shows 399 units. The site intensity worksheets yield a ND of 23.
4. We will add a cross access connection and easement to property to the southwest located along Loomis Road tax key ID 754-9999-002. The cross access point is identified on the site plan and has been discussed with the City Attorney. A draft easement agreement will be provided with the final site plan submittal.
5. Understood that all wetland impacts will require approval of a Natural Resource Special Exemption.

Engineering Department Comments

6. Understood. Coordination with DOT is underway.

Inspection Services Department comments

7. Understood.

Fire Department comments

8. Understood. Will comply with code. Please note the project is anticipated to generate significant impact fee revenue to cover any increase in cost for staffing Fire Department.



February 26, 2023

Regulo Martinez-Montilva
Principal Planner
Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Dear Mr. Martinez-Montilva,

As property owner of the property located at 8301 W Loomis Road, Franklin, WI 53132, tax key ID 755-9997-000 I would like to revoke authorization for Mandel Group, Inc. and affiliates to continue with the related zoning and land divisions efforts and hereby authorize Land By Label and associated affiliate entities to proceed with the zoning and land division process.

By execution of this application, the property owner authorizes the City of Franklin and/or its agents to enter upon the subject property between the hours of 7:00am and 7:00pm daily for the purpose of inspection while the application is under review. The property owner grants this authorization even if the property has been posted against trespassing pursuant to WI State Statute Section 943.13.

Sincerely,

A handwritten signature in black ink, appearing to read "Ronald Lewis". The signature is fluid and cursive, with a large initial "R" and "L".

Ronald Lewis
Rawson Loomis LLC
6004 N. Highlands Ave.
Madison, WI 53705

RELEASE AND WAIVER OF LIABILITY

This Release and Waiver of Liability Agreement (“Agreement”) is made between Land By Label LLC and its affiliates, representatives, employees, successors and assigns (“LxL”) and Rawson Loomis LLC (“Owner”).

RECITALS

WHEREAS, Owner and Zim-Mar Properties, LLC (“Zim-Mar”) entered into a Purchase Agreement dated April 26, 2022 (the “PSA”) for that certain real property located at 8301 Loomis Road, Franklin, Wisconsin bearing tax identification number 755-9997-000 (the “Property”);

WHEREAS, Zim-Mar and LxL have agreed to redevelop the Property with LxL acting as lead developer;

WHEREAS, LxL (and its consultants) needs to enter the Property pursuant to the terms of the PSA for various due diligence purposes, including environmental and geotechnical reviews (“Due Diligence Activities”); and

WHEREAS, Owner and LxL have agreed to limit Owner’s liability associated with LxL’s Due Diligence activities.

NOW, THEREFORE, in consideration of the mutual promises and obligations set forth below and for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Owner and LxL agree as follows:

AGREEMENT

LxL hereby releases and discharges Owner from any and all claims, judgments and expenses whether known or unknown which LxL has or may have against the Owner arising out of or by reason of LxL’s performance of the Due Diligence Activities, expressly excluding from this release claims, judgements and expenses attributable to Owner’s negligence.

AGREED TO AS OF THIS 13TH DAY OF FEBRUARY 2023.

LAND BY LABEL LLC



Ian B. Martin, Managing Principal

RAWSON LOOMIS, LLC



Ronald Lewis, Authorized Member


BUILDING	UNIT COUNT	PARKING	
		ENCLOSED (1:1)	SURFACE (1:75)
A	25	10	-
B	25	10	-
C	25	10	-
D	50	40	-
E	50	40	-
F	50	40	-
G	50	40	-
H	50	40	-
I	50	40	-
J	6	12	-
K	6	12	-
L	6	12	-
M	6	12	-
TOTALS	399 UNITS	318 STALLS	382 STALLS



Commercial Area
Total Area: 113,840 SF (2.61 acres)
Landscape Area: 51,546 SF (1.18 acres) 45%

Public 90' ROW
Approx. 138,824 SF
(3.18 acres)

VITALOGY
WEST LOOMIS ROAD + WEST RAWSON AVENUE
FRANKLIN, WISCONSIN


NORTH
SCALE = 1 : 100

Vitalogy Non-residential Commercial
Area

Table 15-3.0502

**WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND~~ NONRESIDENTIAL DEVELOPMENT**

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	51.40 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	3.18 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract () the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (45.61) the land proposed for residential uses.	45.61 acres
STEP 5:	Equals "Base Site Area"	= 2.61 acres

**Within Proposed Non-Residential
Commerical Area**

Table 15-3.0503

WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> </u> =	
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Vitalogy Residential Area

Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH~~ RESIDENTIAL AND ~~NONRESIDENTIAL~~ DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	51.40 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	3.18 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (2.61) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	2.61 acres
STEP 5:	Equals "Base Site Area"	= 45.61 acres

For Vitality Residential Area

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>10.01</u> =	7.01
Young	0.50	0.50	0.50	X <u> 2.88 </u> =	1.44
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 7.13 </u> =	7.13
Wetland Setback	--	--	--	X <u> 5.05 </u> =	
Wetlands & Shoreland Wetlands	1	1	1	X <u>12.50</u> =	12.50
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					28.08




Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Vitalogy Residential Area

Table 15-3.0504

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR RESIDENTIAL DEVELOPMENT

STEP 1:	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>45.61</u></p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u></p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	15.963 acres
STEP 2:	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>45.61</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: - <u>28.08</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	17.53 acres
STEP 3:	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>17.53</u></p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>23</u></p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	403.19 D.U.s
STEP 4:	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>45.61</u></p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>9</u></p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	410.49 D.U.s
STEP 5:	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	403.19 D.U.s

	COMMERCIAL
	NATURAL RESOURCE PROTECTION AREA
	RESIDENTIAL



NORTH

SCALE = 1 : 100







BUILDING	UNIT COUNT	PARKING		
		ENCLOSED (1:1)	SURFACE (1:.75)	
A	2 STORY	25	10	-
B	2 STORY	25	10	-
C	2 STORY	25	10	-
D	3+1 STORY	50	40	-
E	3+1 STORY	50	40	-
F	3+1 STORY	50	40	-
G	3+1 STORY	50	40	-
H	3+1 STORY	50	40	-
I	3+1 STORY	50	40	-
J	TOWNHOUSE	6	12	-
K	TOWNHOUSE	6	12	-
L	TOWNHOUSE	6	12	-
M	TOWNHOUSE	6	12	-
TOTALS	399 UNITS	318 STALLS	382 STALLS	



NORTH

SCALE = 1 : 100



CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION

Item C.3.

Meeting of June 22, 2023

Special Use and Site Plan

RECOMMENDATION: City Development Staff recommends approval of the Special Use application to allow for a maximum density yield of 81 dwelling units; to table the Site Plan application to allow the applicant time to revise the site plan to comply with the average unit size, minimum landscape requirements, and inclusion of a trash enclosure.

Project Name:	BadAx Flats
Project Address/Tax Key:	Not Assigned/754 9006 000
Property Owner:	Zim-Mar Properties, LLC
Applicant:	BadAx Flats, LLC
Aldermanic District:	District 6
Zoning District::	Planned Development District No. 37
Staff Planner:	Régulo Martínez-Montilva, AICP CNUa, Principal Planner

Project Description/Analysis

Please note:

- Recommendations are *underlined, in italics* and are included in the draft resolution.
- Suggestions are only underlined and are not included in the draft resolution.

The applicant, BadAx Flats, LLC, submitted an application for a Special Use and Site Plan approval for the development of a mixed-use building upon property located at the southeast corner of W. Rawson Avenue and S. Ballpark Drive.

The proposed building is approximately 84,685 square feet (79,730 sq. ft. of residential, and 4,955 sq. ft. of commercial). The majority of the building will contain 78 market rate apartments, consisting of studio, one and two-bedroom dwelling units, with amenities such as a clubroom, fitness center and outdoor swimming pool and grilling area.

The southwest corner of the first floor along S. Ballpark Drive will contain about 5,000 square feet of commercial space. It is anticipated that a craft beer and wine operator will occupy about 3,450 square feet and a salon currently located within Franklin will relocate to about 1,505 square feet. An outdoor patio area is also included on the plans.

Note that any tenant occupying these tenant spaces will be subject to the requirements and approval process as outlined within PDD No. 37 and the Unified Development Ordinance (UDO). Based upon a preliminary review only, it appears the craft wine and beer use would require Special Use approval and the salon would be allowed as a Permitted Use.

Special Use

PDD No. 37 originally allowed, as a Permitted Use, mixed use buildings up to four stories in height, with residential apartments on the upper three floors. A recent amendment to PDD No. 37 revised the ordinance to allow a mixed-use building to have both commercial and residential space on the first floor. As previously mentioned, the proposed building includes ground floor commercial spaces as well as ground floor apartments, with apartments above on the 2nd and 3rd floors of the building. As such, the commercial space and multi-family residential use are Permitted.

The Special Use Application is being requested to accommodate the proposed higher density. The applicant is proposing to construct up to 81 dwelling units. The parcel has a gross Base Site Area of 3.12 acres and a Net Buildable Site Area of 2.02 acres. As such, the applicant is requesting a Net and Gross Density standards of approximately 40 units per acre.

With the current required maximum Gross Density and Net Density standard of eight, the property is allowed a maximum of 16 dwelling units. According to the applicant, the project is not feasible without the requested density. The applicant has also provided responses within their project narrative to the Special Use Standards listed within Section 15-3.0700 of the UDO.

Dwelling Unit Size

Pursuant to Ord. 2019-2368, Table 15-3.0442C.1, the Mixed Use Area of PDD No. 37 requires that apartments in mixed use buildings with more than three dwelling units meet the living area standards of the Multi-Family Residence Area of PDD No. 37, which is 700 sq. ft. average size for one bedroom apartments and 200 sq. ft. for each additional bedroom per Table 15-3.0442D.2.

Unit type	Average unit size	Average unit size per Ord. 2019-2368 Table 15-3.0442D.2.
Studio & One Bedroom Units	647 sq. ft.	700 sq. ft.
Two Bedroom Units	1,121 sq. ft.	900 sq. ft.
Three Bedroom Units	1,323 sq. ft.	1,100 sq. ft.

City Development staff recommends that the applicant shall revise the proposed building design to meet the average size of each unit type (studio and 1-bedroom, 2-bedroom and 3-bedroom apartments) pursuant to Ord. 2019-2368, Table 15-3.0442D.2 and/or amend the PDD to allow for studio and one bedroom apartments at a lower average unit size.

Site Plan

The total site has an area of approximately 3.12 acres (135,980 square feet) and is currently vacant. The development will result in 78,548 square feet of impervious surface and 57,432 square feet of greenspace, which equates to a Landscape Surface Ratio (LSR) of about 0.42 or 42%. This meets the PDD No. 37 minimum of 0.35 for commercial apartments. *As required by PDD No. 37, the LSR for the entire PDD shall be maintained at a minimum of 0.50.*

Garbage and trash receptacles for the apartments will be kept within the lower level of the building. *Staff recommends that exterior trash areas and dumpsters, if any, be stored within an enclosure constructed of materials that are compatible with the principal building, subject to review and approval of the Department of City Development.*

Reduced Setback Request

The required minimum front yard building setback is 25-feet. The applicant is requesting a front yard setback along S. Ballpark Drive of 10-feet. According to the applicant’s project narrative, the reduced setback will allow for greater visibility and pedestrian accessibility for the retail uses within the first floor of the building. Section 15-3.0442B.13. and Table 15-3.0442C.1. of PDD No. 37 allows the Plan Commission to approve smaller building setbacks, up to zero feet, abutting public right-of-way, traffic visibility setbacks, bufferyards, and parking lot setbacks.

The senior living facility to the south is setback roughly 65-feet from S. Ballpark Drive. However, the apartments on the opposite side of S. Ballpark Drive have been granted reduced setbacks.

As buildings along this drive have already been granted reduced setbacks, there is not opposition to continue to do so; although, it is suggested that the required setback be met or as closely adhered to as much as possible. It appears that parking and drive areas could be shifted and/or modified to set the building back further from S. Ballpark drive while maintaining the same building design and layout.

All other setback and Development Standards of Table 15-3.0442C.1. are met.

Site Furnishings and Pedestrian Amenities

PDD No. 37 requires bicycle parking and pedestrian amenities and lighting, and site furnishings, such as benches, trash receptacles, and bicycle racks. The site plan includes seating within the outdoor patio, and there is also a sidewalk connection to the existing sidewalk along S. Ballpark Drive as well as trash receptacles, dog refuse bins and bicycle parking.

Parking

The development includes 83 surface parking spaces, four ADA accessible stalls, and 80 underground parking spaces for a total of 167 spaces. Table 15-5.0203 of the Unified Development Ordinance (UDO) suggests a minimum parking ratios, below is a table showing the suggested amount of parking to be provided per use.

Use	Number of Units or Size of Tenant Space	Parking Ratio per UDO Table 15-5.0203	Suggested Parking
Studio & One Bedroom Units	55 units	1 space per unit	55 parking spaces
Two Bedroom Units	20 units	2 spaces per unit	40 parking spaces
Three Bedroom Units	3 units	2.5 spaces per unit	8 parking spaces
Commercial Retail	3,450 square feet	5/1,000 SF GFA	18 parking spaces
Outdoor Patio	1,169 square feet	10/1,000 SF GFA	12 parking spaces
Commercial Service	1,505 square feet	3/1,000 SF GFA	5 parking spaces
Total			138

GFA: gross floor area.

The total provided parking, 167 spaces, exceeds the minimum required parking of 138 spaces for this development. However, City Development staff recommends that the provided ADA parking should be increased to five spaces pursuant to UDO Table 15-5.0202(I)(1). It’s worth noting that the parking surplus (29 spaces) could be utilized to meet landscaping standards as follows: first, by reducing the provided parking the required landscaping is also reduced (commercial uses only); second, the area

intended for the parking surplus could be redesigned as landscaped areas to meet the required number of landscape features discussed below.

Landscaping

For Multi-Family developments, Table 15-5.0302 of the UDO requires 1.5 canopy/shade tree, one evergreen, one decorative tree, and three shrubs per dwelling unit. For Commercial uses, one canopy/shade tree, one evergreen, one decorative tree and one shrub is required per every five provided parking spaces.

Below is a breakdown of the required number of plantings and the quantity currently provided. The applicant is requesting a substantial reduction in the number of plantings, particularly canopy/shade trees.

Type	Required			Provided	% Requested Reduction
	Multi-Family 78 units	Commercial 35 parking spaces	Total		
Canopy/Shade Tree	117	7	124	15	88%
Evergreens	78	7	85	47	45%
Decorative Trees	78	7	85	23	73%
Shrubs	234	7	241	147	36%

The requested reduction, in part, is due to the requested increase in density. The site could likely meet landscaping standards under the required maximum density of eight units per acre; However, under the current proposal, (40 units per gross acre and 83 surface parking spaces), there is not enough available space to accommodate 109 more canopy trees, 38 more evergreens, 62 more decorative trees, and 94 more shrubs in a manner that is attractive and conducive to the plants survivability. Section 15-3.0442B.14 of PDD No. 37 allows for the overall quantity of landscape plantings to be reduced by 25% from the UDO standards, subject to review and approval by the Plan Commission. However, the requested reduction is more than 25% for every category of plantings. City Development staff recommends that the applicant either:

- a) Reduce the density of dwelling units;
- b) Reduce the amount of surface parking, while still achieving total parking requirements required per UDO standards, to accommodate, at a minimum, 25% less of the required number of plantings; or
- c) a combination of solutions noted in a) and b).

Outdoor Lighting

The outdoor lighting plan identifies parking lot lighting only, which includes three single fixture light poles and six double fixture light poles. All poles are 20-foot tall on a two-foot concrete base for a peak height of 22-feet. Light levels are minimal at the property lines. The maximum light level is approximately 1.2 foot candles at the property lines.

Natural Resource Protection Plan (NRPP)

A NRPP was already completed as part of PDD No. 37 and included the subject property. Wetlands were found; however, they were exempted in 2017. As such, no protected natural resources exist onsite.

No additional review related to natural resources is necessary.

Architecture

The building consists of fiber cement siding and brick. Balconies are included on the upper floors of the building and are constructed with composite decking and metal railings. The plan does not indicate whether or not the lower apartments will access to a concrete patio. The proposed fenestration of windows and patio doors have been done in a logical and attractive pattern.

The proposed three-story building is 38-feet tall which is in compliance with the maximum height of 4.0 stories or 60 feet allowed within PDD No. 37.

It can be noted that PDD No. 37 requires that buildings located on prominent sites, shall be multi-story and exhibit quality architectural design to serve as landmarks. This building is multi-story, and the Plan Commission shall determine if the quality of architecture meets this standard as well as the Design Standards of PDD No. 37.

Signage

Sign details have not yet been provided. A separate Sign Review and Sign Permit will be required prior to installation.

Storm water Management

A bio-retention basin is shown within the northeast corner of the site. Also, development wide storm water management facilities have been approved and completed by the developer. *It is recommended that final approval of grading, erosion control, storm water management, and utilities, as may be applicable, be granted by the Engineering Department prior to any land disturbance activities.*

Staff Recommendation:

City Development Staff recommends **approval of the Special Use** application to allow for a maximum density yield of 81 dwelling units.

City Development Staff recommends to **table the Site Plan** application to allow the applicant to time to revise the site plan to comply with the average unit size, minimum landscape requirements, and inclusion of a trash enclosure.

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE TO INCREASE THE MAXIMUM
PERMITTED DENSITY FOR A THREE-STORY MIXED-USE BUILDING
UPON PROPERTY GENERALLY LOCATED AT THE SOUTHEAST CORNER
OF WEST RAWSON AVENUE AND SOUTH BALLPARK DRIVE
(BADAX FLATS LLC, APPLICANT,
ZIM-MAR PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, BadAx Flats LLC having petitioned the City of Franklin for the approval of a Special Use within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), to allow for construction of a three-story mixed-use building with approximately 4, 955 square feet of net commercial area on the ground floor and 78 apartment units in a 3.12-acre site resulting in net density of 40 du/ac (dwelling units per acre), while the maximum net density is 8 du/ac in the Mixed Use area of this Planned Development District (applicant is requesting this Special Use to increase the permitted density for a maximum yield of 81 dwelling units (without this Special Use the maximum yield allowed is 16 dwelling units)), property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), generally located at the southeast corner of West Rawson Avenue and South Ballpark Drive. The property which is the subject of the application bears Tax Key No. 754-9006-000, and is more particularly described as follows:

Lot 1 of Certified Survey Map No. 9078 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on October 16, 2018 as Document No. 10820171, being a redivision of Lots 3 and 4 of Certified Survey Map No. 9042 and lands in the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 22nd day of June, 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served

BADAX FLATS LLC – SPECIAL USE
RESOLUTION NO. 2023-_____

Page 2

adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of BadAx Flats LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by BadAx Flats LLC, successors and assigns, to increase the maximum permitted density yield to 81 dwelling units. The applicant shall be responsible for submitting a Site Plan in compliance with the Unified Development Ordinance (UDO) and ordinances regulating Planned Development District No. 37 including, but not limited to, dwelling unit size (Ord. 2019-2368, Table 15-3.0442D.2) and landscape requirements (UDO Division 15-5.0300).
2. BadAx Flats LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the BadAx Flats LLC Special Use to increase the maximum permitted density for a mixed-use building, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the BadAx Flats LLC Special Use to increase the maximum permitted density for a mixed-use building for the property generally located at the southeast corner of West Rawson Avenue and South Ballpark Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event BadAx Flats LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to

BADAX FLATS LLC – SPECIAL USE
RESOLUTION NO. 2023-_____

Page 3

cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2023.

APPROVED:

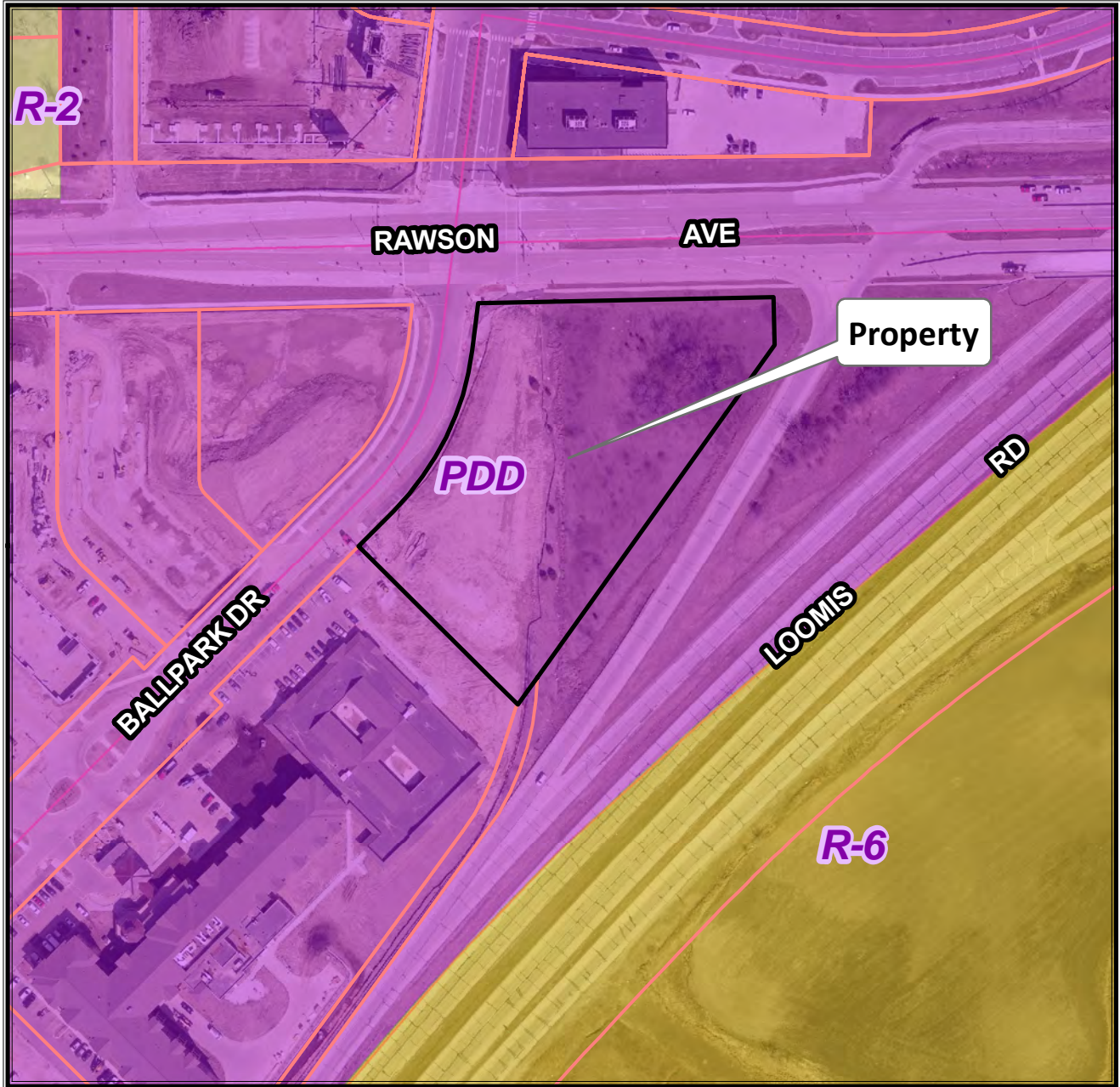
John R. Nelson, Mayor

ATTEST:

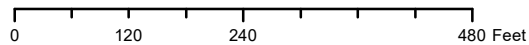
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

TKN: 754 9006 000



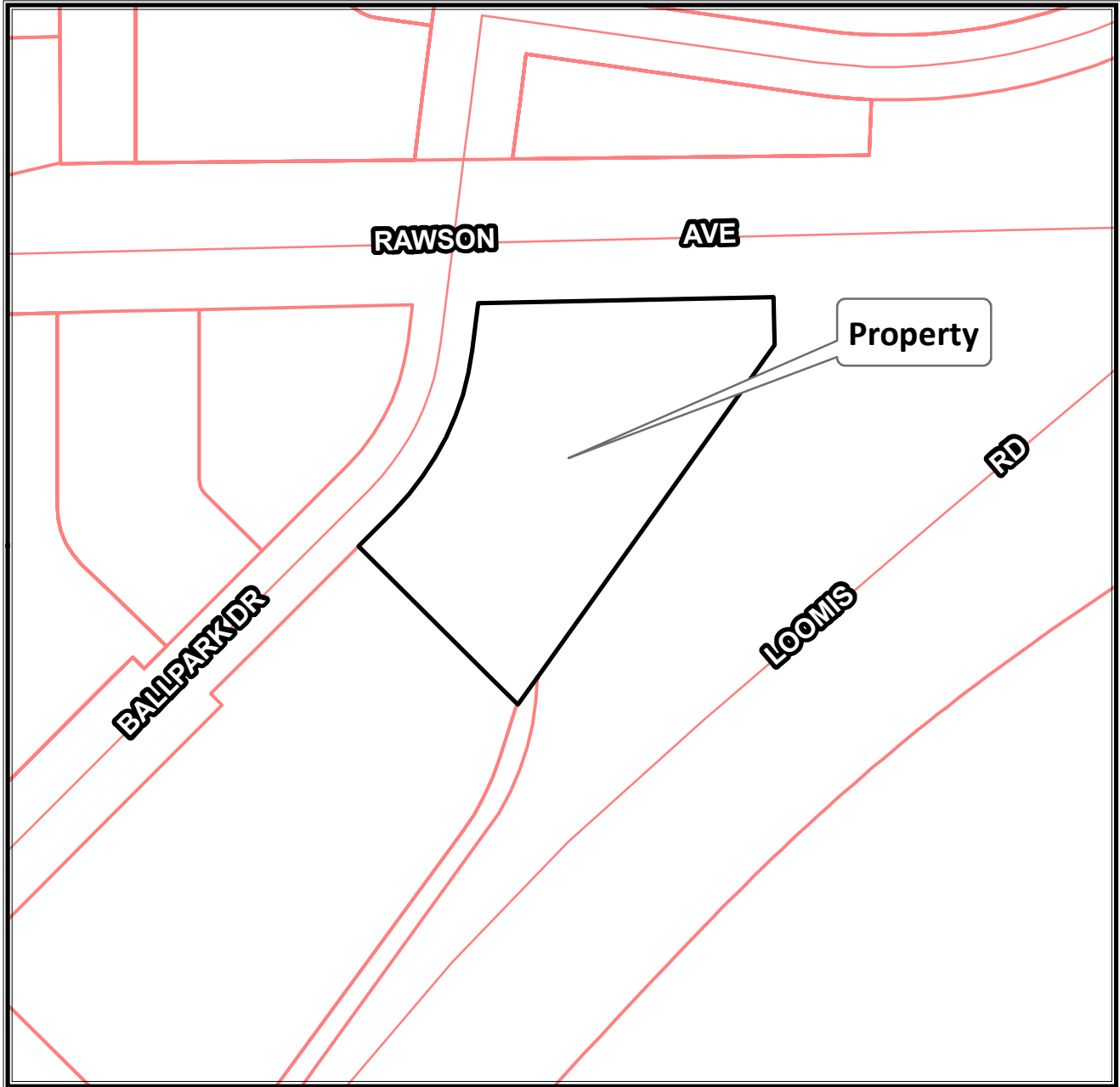
Planning Department
(414) 425-4024



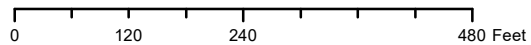
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



TKN: 754 9006 000



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



April 21, 2023

Mr. Regulo Martinez-Montliva
Principal Planner
City of Franklin
9229 West Loomis Road
Franklin, WI 53132

Via hand-delivery

Re: BadAx Flats Site Plan & Special Use Submittal

Dear Regulo,

We are pleased to submit applications for site plan approval from the Planning Commission and special use approval from the City Council related to the BadAx Flats project. In particular, you will find under cover of this letter the following documents:

1. Plan Commission Review Application for site plan approval;
2. Common Council Review Application for special use approval;
3. Letter regarding setback reduction along Ballpark Drive;
4. Twelve (12) copies of the plan set for BadAx Flats, including civil engineering, landscaping, architecture and photometric plans;
5. Twelve (12) copies of the site intensity worksheets; and
6. Twelve (12) copies of the Natural Resource Protection Plan.

In addition to and simultaneously with the foregoing hard copies, we are providing an electronic copy of the foregoing information via dropbox.com link. If you have any problems downloading the information please let me know and we will arrange for an alternative method of delivery.

At your earliest convenience, please let me know when the foregoing applications will be heard by the Plan Commission and Council, as applicable.

Sincerely,



Ian B. Martin
Managing Principal
Land By Label

Cc: Brian Strandt (via email to brian.s@landbylabel.com)
Mike Zimmerman (via email to mikez@rocventures.org)



April 20, 2023

Mr. Regulo Martinez-Montliva
Principal Planner
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Re: BadAx Flats Setback Variance Summary

Dear Regulo,

Per your request, I wanted to provide a summary regarding the reduced setback along Ballpark Drive for the BadAx Flats project. We request that the setback along Ballpark Drive be reduced from 25 feet to 10 feet and allow for the construction of patios/stoops and footings within the setback. The foregoing request is consistent with the design standards at the adjacent Velo Village and advances the overall design intent of Ballpark Commons by creating an urban edge that encourages pedestrian movement. As always, please call with any questions.

Sincerely,



Ian B. Martin
Managing Principal
Land By Label



LAND
By
LABEL
DEVELOPMENT CO.



BadAx Flats Project Narrative

May 23, 2023

The Development Team

Land By Label

Land By Label is an integrated multifamily and mixed-use real estate company. We have over 50 years combined real estate experience, including development, finance, legal, construction oversight, asset management and disposition strategy. While our primary focus is southeastern Wisconsin, our team has significant experience developing multifamily assets across the country. Our cultivated network of brokers and consultants, including architects, engineers and property management experts, allows Land By Label to identify and execute the best development opportunities in our backyard and beyond.

Methodical risk management guides Land By Label's development process. Market and site identification is driven by empirical supply-demand factors, including detailed demographics and multifamily performance. Site conceptualization and design is a hands-on experience informed by market/site conditions and the best branding, architectural and engineering minds in the business. The site concept must accomplish two goals—satisfying the real time demand of our customers and creating a positive impact on the local community. Land By Label conducts outreach with elected officials and surrounding property owners as the best ideas are incorporated into our thinking. Our due diligence is exhaustive. We understand development risks ranging from geotechnical and environmental conditions to title and survey challenges. Our Managing Principal's legal experience combined with outside development counsel ensures all the issues are identified, considered and solved.

Poets General will be led by Ian Martin, Founder and Managing Principal of Land by Label and Brian Strandt, Vice President of Construction and Emily Cialdini, Vice President of Development.

ROC Ventures

ROC Ventures manages a collection of brands in the sports, entertainment, and real estate sectors. These include the Milwaukee Wave, the Milwaukee Milkmen, The Rock Sports Complex, a collegiate baseball franchise located in Indiana, the Ballpark Commons development, and more.

ROC stands for "Return on Community," a goal which informs each and every endeavor undertaken by the organization. ROC Ventures is led by Michael Zimmerman, Owner and Executive Officer. Since 2004, Zimmerman has owned and operated 30 businesses in the healthcare, sports and entertainment industries. The healthcare companies are now working collectively with over 80 percent of our nation's hospitals.

The Design Team

JLA

JLA Architects was established in 2007 by Joseph Lee in Madison, Wis. As a client service-based firm, we collaborate with clients to develop real-world solutions that meet their project's goals. Our firm has three offices in the U.S. including full-service offices in Wisconsin & Colorado. In 2017, we opened a second office in the Historic Third Ward of Milwaukee to better serve our Eastern Wisconsin clients. We opened our third office in Denver, Colorado in the fall of 2021 serving the entire Front Range. We assist clients at every phase of the real estate development process from project feasibility to building construction and final marketing.

Spotlight Projects

- Velo Village, Franklin
- Taxco Apartments, Milwaukee
- Forte at 84 South, Greenfield

The Sigma Group

The Sigma Group, Inc. (Sigma) is a full-service consulting and civil engineering firm. Our Milwaukee-based staff includes registered professional engineers in civil, environmental, and chemical disciplines; registered land surveyors; construction inspectors; certified asbestos supervisors / inspectors; certified lead inspectors / risk assessors; Certified Hazardous Materials Managers, professional geologists and hydrogeologists, as well as additional engineering technicians, scientists and compliance specialists.

Spotlight Projects

- The Seasons, Franklin
- The Reef, Wauwatosa
- State Street Station, Wauwatosa
- Stitchweld, Milwaukee
- 22 Slate, Madison

Development Considerations

Project Vision

Our owlish ode to Bad Ax origins - Franklin of the faraway past. Social and recreational dwellings to embrace engaging adjoining environs of the present. A neighborly nest for the spirited sort who work to live, and live to play. An anticipated addition to the Ballpark Commons lifestyle and entertainment district, Badax effortlessly integrates into the already vibrant Commons community as an active four-story concept with first-floor commercial space and 78 apartment units for those who want to be close to the action. Complete with a resident mascot, the Badax brand affirms a league of Franklin's own.

Badax Flats completes one of the last remaining developable sites in the Ballpark Commons master planned active lifestyle and entertainment district. The proposed development contemplated herein is consistent with the prior identified uses for the site in PDD 37 and leverages the City's prior investment in Ballpark Commons by making this vision a reality.

Program Statement

Luxury Apartments

Approximately seventy-eight (78) apartment units in a three-story building. The apartments will be served by roughly one-to-one underground parking. Several of the residential units will be positioned on the first floor at grade level allowing for 'walk up' residential patios. Additional surface parking provides sufficient parking for residents and guests.

Commercial

Roughly 5,000 square feet of commercial and retail uses are ideally positioned along Ballpark Drive on the first floor. A high-end craft beer and wine operator with sizeable retail operations will occupy roughly 3,000 square feet and adjacent outdoor patio space. An existing Franklin salon will relocate their operations to the balance of 1,500 square feet.

ECONOMIC IMPACT ANALYSIS

M1 at Ballpark Commons
FRANKLIN, WISCONSIN



M1 at Ballpark Commons completes one of the last remaining sites in the Ballpark Commons active lifestyle and entertainment district. Our concept includes seventy-eight (78) apartment units in a four-story structure with roughly one-to-one underground parking and approximately 6,000 square feet of first floor commercial space. Resident amenities will include a resident clubhouse and outdoor pool along with associated leasing offices.

Construction Impact

Economic Output and Labor Income



Construction Supply Chain

Based on industry data for the local area, an estimated 56% of the goods and services that construction of the facility will require can be provided within the region.



Operational Impacts

Annual Economic Output and Labor Income



\$44.8M

ECONOMIC OUTPUT OVER
THE NEXT 10 YEARS

Operational Supply Chain

Based on industry data for the local area, an estimated 67% of the goods and services that the facility will require to operate can be provided within the region.

Local Expenditures

Based on industry patterns in the local area, it is estimated that use of the town center will result in the expenditure of approximately \$0.5 million in disposable income.

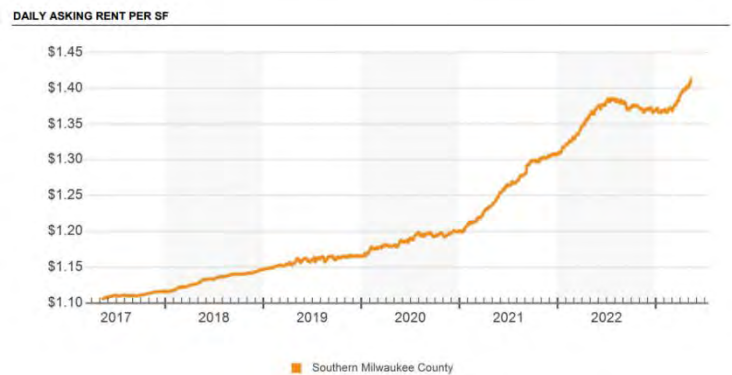
Baker Tilly US, LP trading as Baker Tilly is a member of the global network of Baker Tilly International Ltd, the members of which are separate and independent legal entities. © 2023 Baker Tilly US, LLP.



THE NEED FOR APARTMENTS

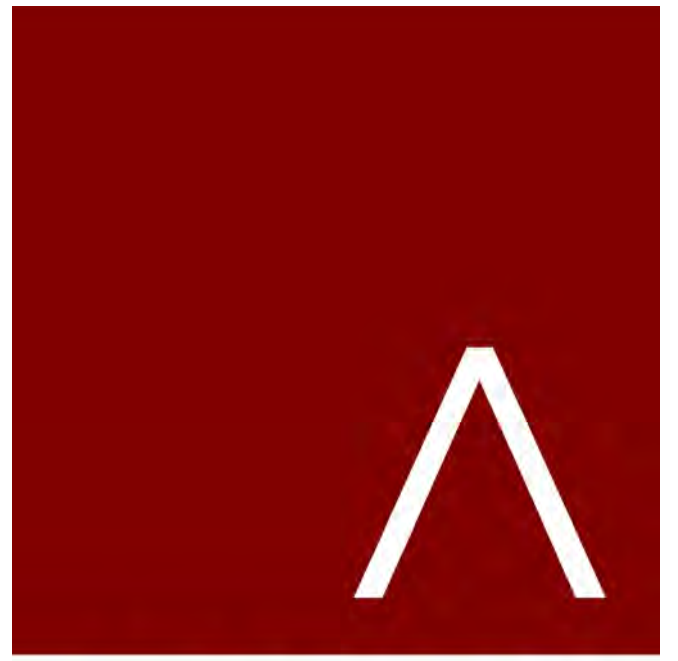
1. Homeownership rates are at 40-year historic lows.
2. Millennials are delaying household formation and homeownership.
3. Millennials burdened with student debt that has limited their saving for a down payment.
4. The average sales price for homes continues to rise.
5. Interest rates on home mortgages continue to rise.
6. Largest growing renter demographic over the last ten years has been the baby boomer cohort.
7. Generation Z is demonstrating a strong propensity to rent.
8. Life cycle housing creates healthy, viable communities. Apartments offer a housing solution that allows younger families looking to buy in the community the opportunity to rent. Apartments offer empty nesters the opportunity to remain the communities they are rooted, but with added flexibility and no maintenance.
9. Franklin submarket apartment fundamentals are strong – 97% + occupancy and continued strong rent growth. (See graph below)
10. Marginal demand analysis of income qualified renter growth vs. units in pipeline demonstrates a surplus demand of 200 units. (See tables below)
11. Velo Village’s record setting lease-up at 30 units per month demonstrates strong demand of immediate area.

Income Eligible Renter Population Primary Market Area (10-Mile of Franklin City Center)		
Year	2022	2027
Total Population	518,612	512,083
Households Total	214,301	212,468
Renter-Occupied Households	82,401	79,375
Income Brackets	Total Households	Total Households
\$50,000 - \$74,999	40,002	36,577
\$75,000 - \$99,999	30,817	29,873
\$100,000 - \$149,999	41,423	50,243
\$150,000 - \$199,999	15,862	22,756
\$200,000+	10,842	13,293
Total # of Income-Eligible Households	138,946	152,742
% Renter-Occupied	38.45%	37.36%
# Income-Eligible Renter-Occupied Households	53,426	57,062



Marginal Demand Analysis	
a	Income Qualified Renter Households 2022 53,426
b	Income Qualified Renter Households 2027 57,062
c	Increase in Income Qualified Renter Households 3,636
d	# Units in Pipeline 2,575
e	Subject Units 1,003
f	Total New Supply (d+e) 3,578
g	New Units at Balanced Market (96%) 3,435
h	Net Excess Demand (c-g) 201

BUILDING DATA: RESIDENTIAL											
UNIT TYPES	UNIT AREA	FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		QTY TOTALS	AREA SUB-TOTALS	%	UNIT BREAKDOWN
		Qty	Aggregate Area	Qty	Aggregate Area	Qty	Aggregate Area				
Unit A1 - Studio	471 S.F	1	471 S.F	4	1,884 S.F	4	1,884 S.F	9	4,239 S.F	11.5%	STUDIOS
Unit B1 - 1BR	683 S.F	14	9,562 S.F	15	10,245 S.F	15	10,245 S.F	44	30,052 S.F	56.4%	1 BEDROOM
Unit B2 - 1BR	665 S.F	-	-	1	665 S.F	1	665 S.F	2	1,330 S.F	2.6%	Total Qty: 46
Unit D1 - 2BR	1,068 S.F	2	2,136 S.F	4	4,272 S.F	4	4,272 S.F	10	10,680 S.F	12.8%	2 BEDROOM
Unit D2 - 2BR	1,175 S.F	2	2,349 S.F	4	4,699 S.F	4	4,699 S.F	10	11,746 S.F	12.8%	Total Qty: 20
Unit D3 - 2BR	-	-	-	-	-	-	-	-	-	-	Total Percentage 25.6%
Unit F1 - 3BR	1,361 S.F	-	-	1	1,361 S.F	1	1,361 S.F	2	2,722 S.F	2.6%	3 BEDROOM
Unit F2 - 3BR	1,249 S.F	1	1,249 S.F	-	-	-	-	1	1,249 S.F	1.3%	Total Qty: 3
Unit F3 - 3BR	-	-	-	-	-	-	-	-	-	-	Total Percentage 3.9%
BUILDING SUMMARY DATA	FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		Total Bldg Qty	TOTAL AREAS	%	Unit A.S.F.	Total BR Count
	Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area					
UNIT TOTALS:	20	15,767 S.F	29	23,126 S.F	29	23,126 S.F	78	62,018 S.F	100.0%	795 S.F	95
COMMON SPACES:		(11,143 S.F)		(3,285 S.F)		(3,285 S.F)		(17,712 S.F)			
BUILDING TOTALS:	Area:	26,910 S.F		26,410 S.F		26,410 S.F		79,730 S.F		1,022 S.F Per Unit	
	Efficiency:	58.6%		87.6%		87.6%		77.8%			



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

PERMIT SET

DATE OF ISSUANCE: JUNE 02, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BUILDING DATA

SHEET NUMBER

G002

MEMORANDUM
LAND BY LABEL
RESPONSES
2-3-2023

Date: January 17, 2023
To: Emily Cialdini.
From: Department of City Development
Régulo Martínez-Montilva, AICP, Principal Planner
RE: Staff comments for Special Use and Site Plan, M1 Building at Ballpark Commons (BPC)
TKN 754 9006 000

Below are comments and recommendations for the proposed M1 Mixed Use Building for property located at the southeast corner of W. Rawson Avenue and S. Ballpark Drive.

City Development Department comments

Compliance with the Unified Development Ordinance (UDO)/PDD No. 37

1. Site Plan
 - a. Note that the required setback from south property line is 10' feet as it is a side yard.
LxL Response: Will update notation.
2. Landscaping
 - a. The Unified Development Ordinance requires irrigation (Section 15-5.0303D.). Is this accomplished via hose bibs or is an irrigation system being installed. Please add a note regarding irrigation on the Landscape Plan.
LxL Response: Will add note to LA clarifying hose bibs or irrigation system.
 - b. As required by Section 15-5.0303G., please note a 2-year plant replacement guaranty on the Landscape Plan (Sheet L1.01).
LxL Response: Will add note to LA plan.

Additional Information Required

3. Please dimension the typical parking space size for the lower level parking on the “Conceptual Lower Level Plan” Sheet.
LxL Response: Will show parking space dimensions.
4. Please show all vision corner easements on the site and landscape plans. See Section 15-5.0201 below.
LxL Response: Will depict vision corner easements.

§ 15-5.0201 Traffic Visibility.

A. No Obstructions Permitted. No visual obstructions, such as structures, parking, or vegetation, shall be permitted in any district between the heights of 2.5 feet and 10 feet above the plane through the mean curb grades within the triangular space formed by any two existing or proposed intersecting street or alley right-of-way lines and a line joining

points on such lines, located a minimum of 30 feet from their intersection.

B. Corner Cut-Off Distances for Intersecting Arterial and/or Collector Streets. In the case of arterial and/or collector streets intersecting with other arterial and/or collector streets, the corner vision clearance distances establishing the triangular vision clearance space shall be 60 feet from the two intersecting street rights-of-way lines and a line joining the two points on such lines.

5. Are site furnishings, such as benches, trash receptacles, and bicycle racks being provided? If so, please provide additional details regarding what types of amenities will be included and where they are generally located onsite.

LxL Response: Will depict on LA plans.

6. Where is the dumpster/refuse collection location for the commercial space? If a dumpster enclosure is planned onsite, please show the location on the site plans and elevations/material details on the architectural plans.

LxL Response: Trash rooms in lower level parking garage will serve residential. Will depict dumpster enclosure on site plan for the commercial spaces.

7. Please confirm all rooftop mechanicals are being screened. What type of screening/material is being utilized to screen mechanicals?

LxL Response: Rooftop mechanicals screens by parapet wall.

8. Was snow storage considered as part of the site and landscape plan? Please see Section 15-5.0210 of the Unified Development Ordinance.

LxL Response: Will depict snow storage on LA plan.

9. Please label the peak height of the building on the elevations.

LxL Response: Will note building heights on elevations.

10. Please note that waivers must be requested for any Design Standards not met. Section 15-3.0442EA.3. allows the Plan Commission, by 4 votes of all members, to waive standards when supplemental design elements or improvements are provided. Minimally, it appears that reduced setbacks and a reduction in plantings is being requested. In a revised project narrative or supplemental letter please list all requested waivers.

LxL Response: Requesting a variance to front yard setback only from 25 feet to 10 feet.

11. Please confirm that no building lighting is proposed.

LxL Response: Building and site lighting will be provided.

Suggestions (not specifically required by the UDO or PDD)

12. It is suggested to revise the site plan, such as drive aisle widths and the parking area, to shift the building to be as close as possible to meeting the front yard setback standard of 25-feet.

LxL Response: The goal of reducing the front yard setback was to meet the over intended design guidelines of creating an urban edge for this mixed-use building. We are looking at an opportunity to decrease the building width which may allow for us increase the setback; however, we are still requesting a 10 foot setback variance.

Separate approvals and fees

13. Building signage must comply with the PDD No. 37 Master Sign Program and will require a separate Sign Permit.

LxL Response: Understood, will comply.

14. Please be aware of City impact fees. The impact fee schedule can be found on the City's website at <https://www.franklinwi.gov/Departments/Inspection-Services/Impact-Fees.htm>. Note this is subject to change for 2023.

Additional comments

15. The Site Information table on Sheet C100 states an Existing Impervious Area of 3.122 AC/100% of the site. As the site is vacant, I believe this is meant to be Existing Pervious Area. Please review and revise accordingly.

LxL Response: Will review and revise.

16. Please review the unit and bedroom count on the Sheet titled BPC Mixed Use – Conceptual Project Data. It appears there are 9 two-bedroom units and 17 one-bedroom units on the 2nd and 3rd floors, which would equal 35 bedrooms, not 34 as listed. Also, the 1st floor includes 25 bedrooms, not 19. The total bedroom count, not including studio units is 95.

LxL Response: Will review and revise.

17. Does a shared access and maintenance agreement already exist for the shared drive?

LxL Response: Yes.

18. In Step 2 of the Site Intensity and Capacity Calculations, it is noted that 0 acres are subtracted from the Base Site Area; however, that number should be 0.78 to get to the 2.34 as indicated in the right-hand column

LxL Response: Will review and revise.

19. Please double check the parking space count within the Site Information table on Sheet C100. It appears there are 99 surface parking spaces, including 4 ADA accessible spaces, opposed to 96 and 3. Please revise accordingly.

LxL Response: Will review and revise.

20. There is one canopy/shade tree that is not represented on the Landscape Plan. Please double check that 22 trees are shown.

LxL Response: Will review and revise.

Engineering Department comments

21. *Engineering has no comments on the applicant's request for Special Use. However, Engineering submittal is required, and conditions/comments must be satisfied to proceed with the said proposal.*

LxL Response: Understood. Will submit. Are there any comments on the plans submitted to date?

Inspection Services Department comments

22. *Structure shall be designed and constructed in accordance with the Wisconsin Commercial Building Code including our initial concern that the building meets the separation requirements in Table 602.*

LxL Response: Understood. Will confirm.

Fire Department comments

23. *Franklin Fire Department Construction and Alteration Requirements (2021-2022)*

1. *Follow all relevant WI DSPPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.*
2. *Pre-existing fire alarm and fire sprinkler systems shall be maintained in compliance with relevant code.*
3. *Fire Extinguisher placement as per NFPA 10.*
4. *Fire Department Connection (FDC), and hydrant placement and density must be acceptable to AHJ (applies to new construction).*
5. *At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.*
6. *Master Key set required for placement in Knox Box (if required).*
7. *Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>*

NOTE: The Fire Department is NOT adequately staffed to absorb the impact on emergency and non-emergency call volume associated with the additional 1,030 residences associated with this and other related planned residential developments , associated commercial and vehicle traffic, and required fire inspection work-load; in addition to the ongoing high-density single family development in the southwest quadrant and multifamily development along the south 27th Street corridor.

LxL Response: Understood. Will confirm. Impact fees will be paid are intended to cover an increase in Fire Department staffing.

Police Department comments

24. *The PD has no comment regarding this request.*

Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	3.12 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract (-) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (-) the land proposed for residential uses.	0 acres
STEP 5:	Equals "Base Site Area"	= 3.12 acres

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> 0 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0504

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR RESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>3.12</u></p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0.35</u></p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	<p align="right">1.092 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>3.12</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: - <u>1.092</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p align="right">2.028 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>2.028</u></p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>40</u></p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	<p align="right">81.12 D.U.s</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>3.12</u></p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>40</u></p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	<p align="right">124.8 D.U.s</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p align="right">81 D.U.s</p>

Table 15-3.0502
WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR ~~BOTH RESIDENTIAL AND~~ NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	3.12 Acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>residential use</i> , subtract () the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed <i>nonresidential use</i> , subtract (2.98) the land proposed for residential uses.	2.98 acres
STEP 5:	Equals "Base Site Area"	= 0.14 acres

**Table 15-3.0503
WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes: 10-19%	0.00	0.60	0.40	X <u> 0 </u> =	0
20-30%	0.65	0.75	0.70	X <u> 0 </u> =	
+ 30%	0.90	0.85	0.80	X <u> 0 </u> =	
					<u> 0 </u>
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u> 0 </u> =	0
Young	0.50	0.50	0.50	X <u> 0 </u> =	0
Lakes & Ponds	1	1	1	X <u> 0 </u> =	0
Streams	1	1	1	X <u> 0 </u> =	0
Shore Buffer	1	1	1	X <u> 0 </u> =	0
Floodplains/Floodlands	1	1	1	X <u> 0 </u> =	0
Wetland Buffers	1	1	1	X <u> 0 </u> =	0
Wetland Setback	--	--	--	X <u> 0 </u> =	0
Wetlands & Shoreland Wetlands	1	1	1	X <u> 0 </u> =	0
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0504

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR RESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): _____</p> <p>Multiple by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X _____</p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE =</p>	<p align="right">acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): _____</p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: _____</p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p align="right">acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): _____</p> <p>Multiple by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X _____</p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE =</p>	<p align="right">D.U.s</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): _____</p> <p>Multiple by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X _____</p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE =</p>	<p align="right">D.U.s</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above):</p>	<p align="right">D.U.s</p>

Table 15-3.0505

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL DEVELOPMENT

<p>STEP 1:</p>	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 0.14 </u></p> <p>Multiply by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u> 0.45 </u></p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p>0.063 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u> 0.14 </u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u> 0.063 </u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p>0.077 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): <u> 0.077 </u></p> <p>Multiply by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u> 2 </u></p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p>0.154 acres</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u> 0.14 </u></p> <p>Multiply by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u> 1 </u></p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p>0.14 acres</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above):</p> <p>(Multiple results by 43,560 for maximum floor area in square feet):</p>	<p>0.14 acres</p> <p>(<u> 6,098 </u> s.f.)</p>

BADAX

8240 OLD LOOMIS RD, FRANKLIN, WI

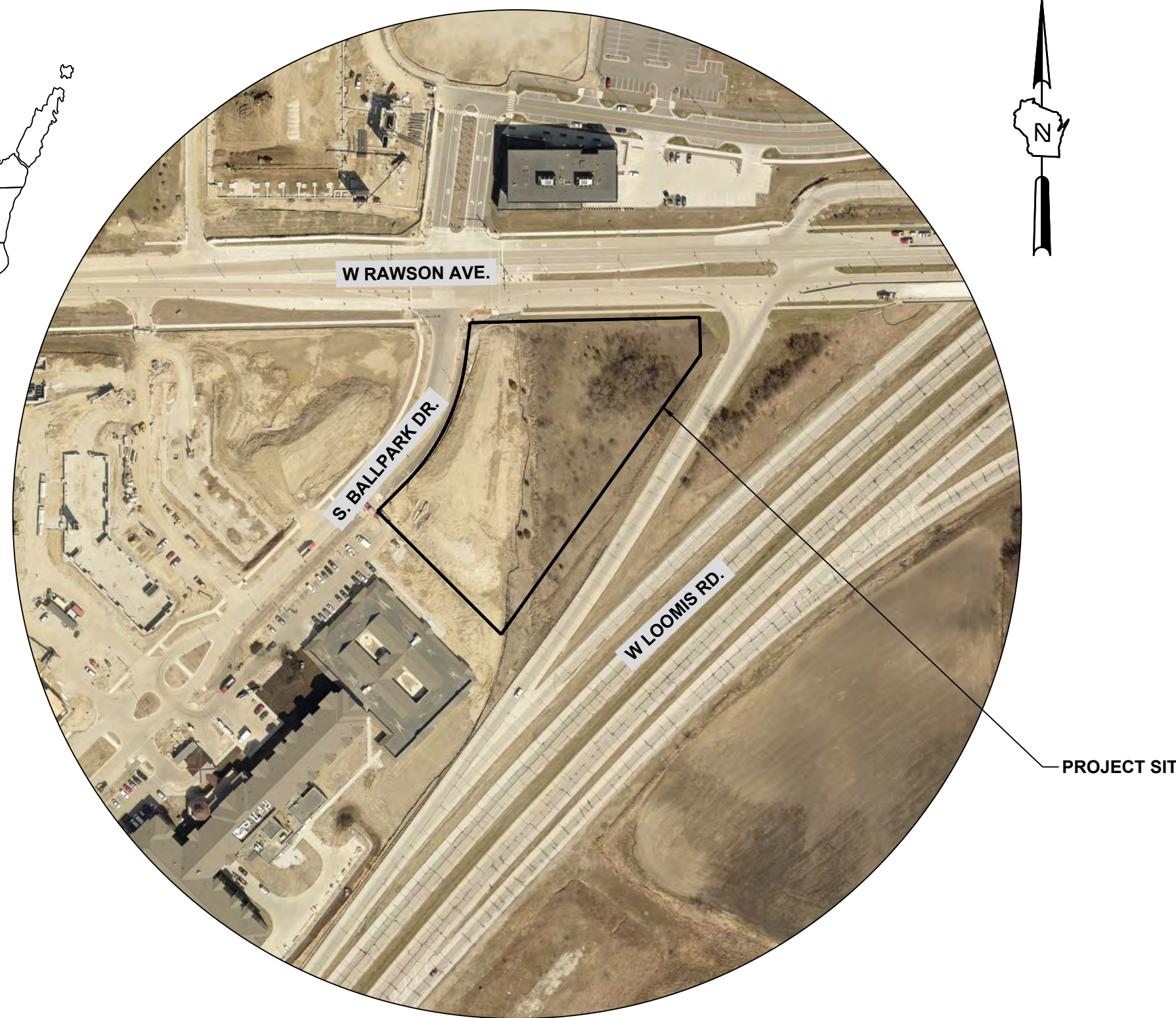
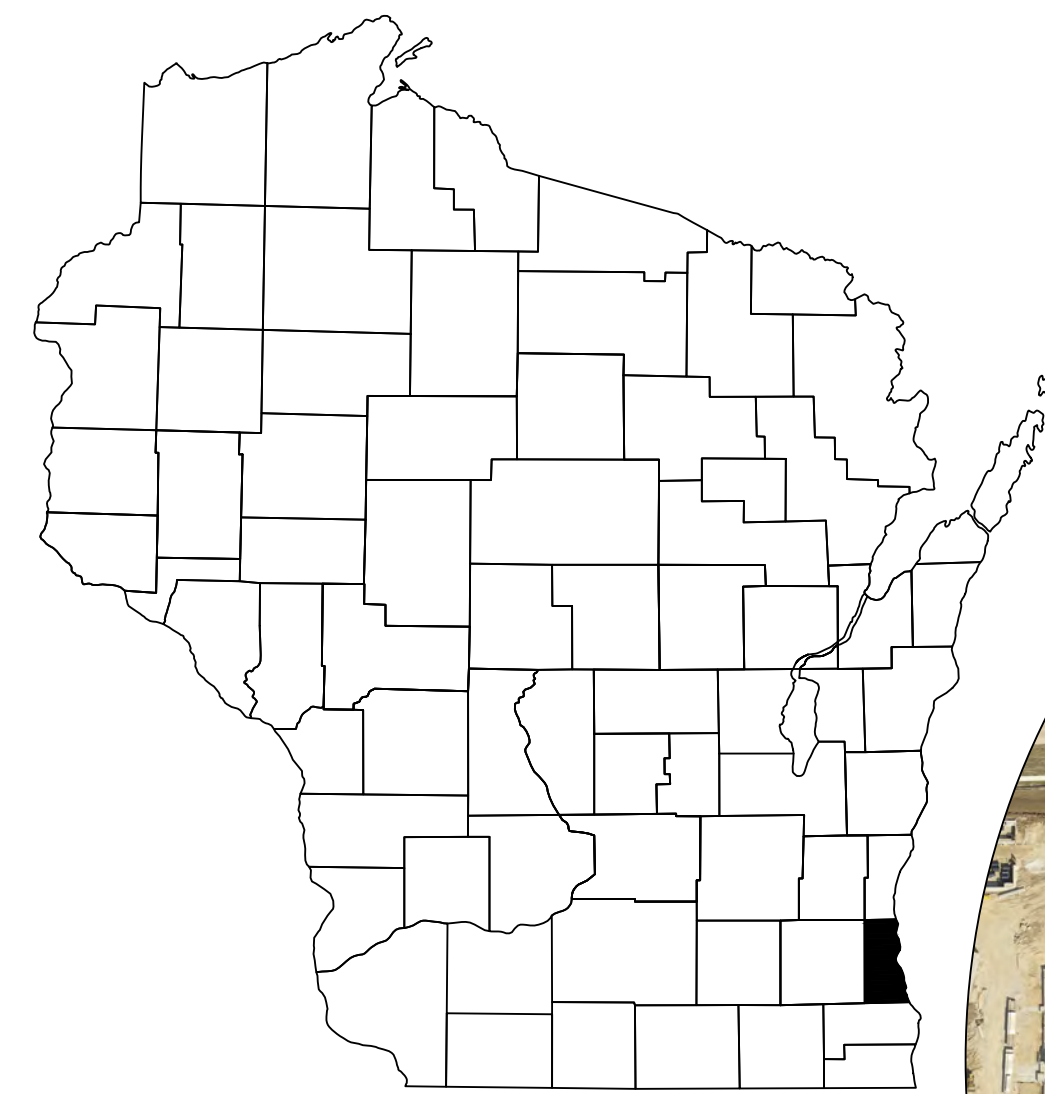
CIVIL ENGINEERING PLANS

PREPARED BY:

THE SIGMA GROUP
Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

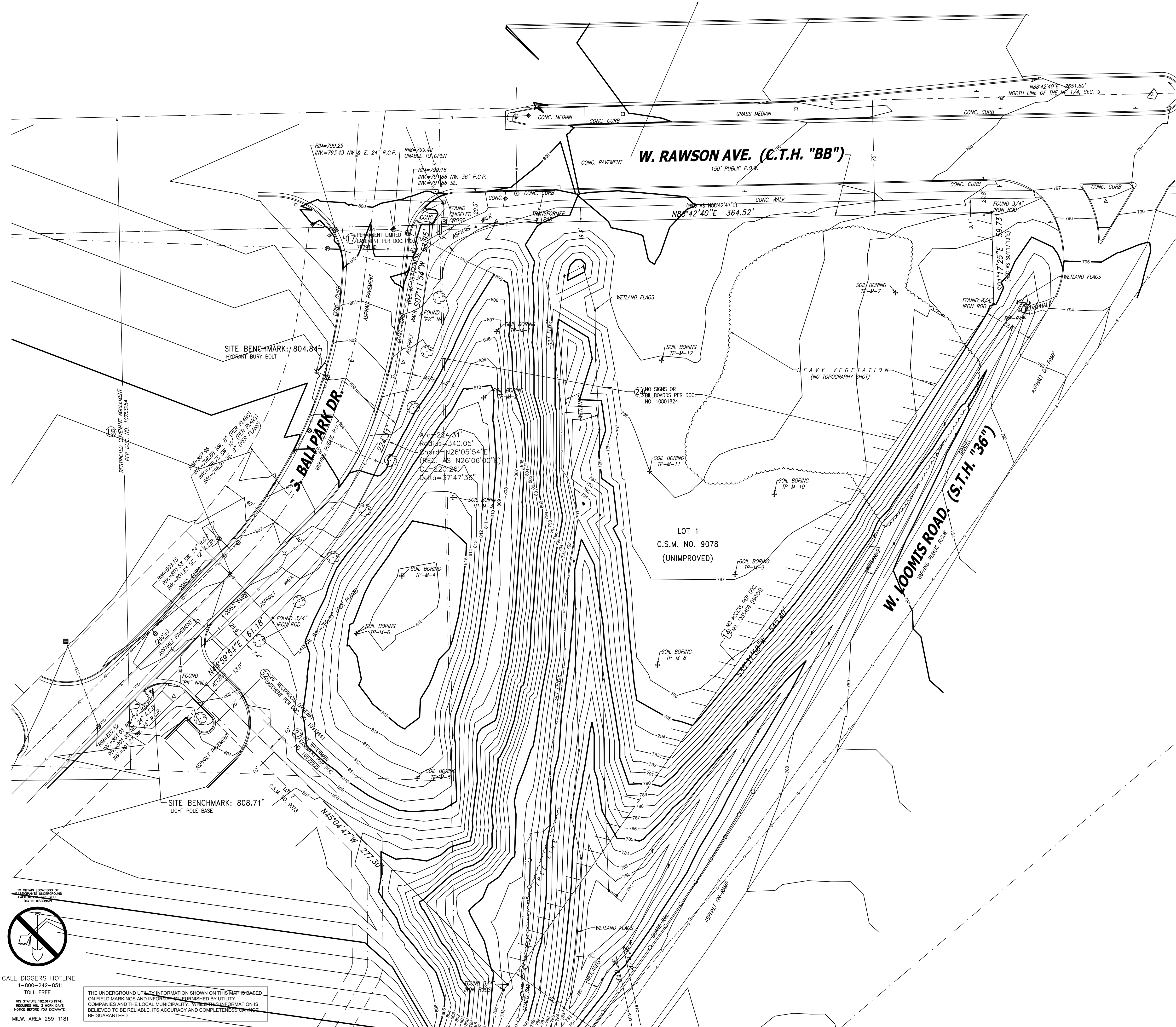
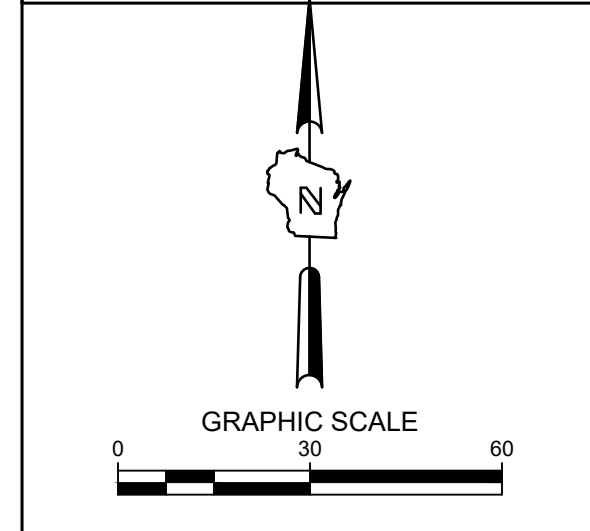
SITE LOCATION MAP:

NOT TO SCALE



SHEET INDEX	
SHEET NO.	DESCRIPTION
C000	COVER SHEET
C001	SITE SURVEY
C002	SITE DEMOLITION AND EROSION CONTROL PLAN
C100	SITE DIMENSION PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C400	EROSION CONTROL DETAILS
C401	DETAILS
C402	DETAILS
C403	DETAILS
C404	DETAILS
C500	SPECIFICATIONS
C501	SPECIFICATIONS
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE ENLARGEMENT
L102	LANDSCAPE ENLARGEMENT
L103	LANDSCAPE ENLARGEMENT
L104	LANDSCAPE ENLARGEMENT
L200	LANDSCAPE DETAILS
L201	LANDSCAPE DETAILS
L300	LANDSCAPE SPECIFICATIONS
L301	LANDSCAPE SPECIFICATIONS

CITY SUBMITTAL: XXX



- LEGEND:**
- INDICATES FOUND 1" IRON PIPE
 - INDICATES SET 1" IRON PIPE
 - ⊕ INDICATES FOUND CHISELED CROSS
 - ⊙ SANITARY MANHOLE
 - ⊕ SANITARY CLEANOUT OR VENT
 - ⊙ SEPTIC TANK ACCESS COVER
 - ⊙ M.I.S. MANHOLE
 - ⊙ UNKNOWN MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ INLET (ROUND)
 - ⊙ INLET (SQUARE)
 - ⊙ CURB INLET
 - ⊙ STORM SEWER END SECTION
 - ⊙ GAS VALVE
 - ⊙ GAS METER
 - ⊙ WATER VALVE
 - ⊙ HYDRANT
 - ⊙ WATER MANHOLE
 - ⊙ WATER SERVICE CURB STOP
 - ⊙ WELL HEAD
 - ⊙ STAND PIPE
 - ⊙ WALL INDICATOR VALVE
 - ⊙ POST INDICATOR VALVE
 - ⊙ HANDICAP SPACE
 - ⊙ CONIFEROUS TREE
 - ⊙ DECIDUOUS TREE
 - ⊙ LIGHT POLE
 - ⊙ SPOT/YARD LIGHT
 - ⊙ UTILITY POLE
 - ⊙ GUY POLE
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC PEDESTAL
 - ⊙ ELECTRIC METER
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ CABLE PEDESTAL
 - ⊙ CONTROL BOX
 - ⊙ FIBER OPTIC PEDESTAL/SIGN
 - ⊙ TRAFFIC LIGHT
 - ⊙ COMMUNICATION MANHOLE
 - ⊙ BOLLARD
 - ⊙ WATER SURFACE
 - ⊙ WETLANDS FLAG
 - ⊙ MARSH
 - ⊙ FLAGPOLE
 - ⊙ PARKING METER
 - ⊙ SIGN
 - ⊙ MAILBOX
 - ⊙ RAILROAD CROSSING SIGNAL
 - SANITARY SEWER
 - STORM SEWER
 - WATERLINE
 - MARKED GAS MAIN
 - MARKED ELECTRIC
 - OVERHEAD WIRES
 - MARKED TELEPHONE
 - MARKED CABLE TV LINE
 - MARKED FIBER OPTIC
 - BURIED ELECTRIC SERVICE
 - BOARD FENCE
 - CHAIN LINK FENCE
 - WIRE FENCE
- F.E. = (FLOOR ELEV)
 D.S. = (DOOR SILL)

BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
SITE SURVEY

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	C001

GENERAL NOTES:

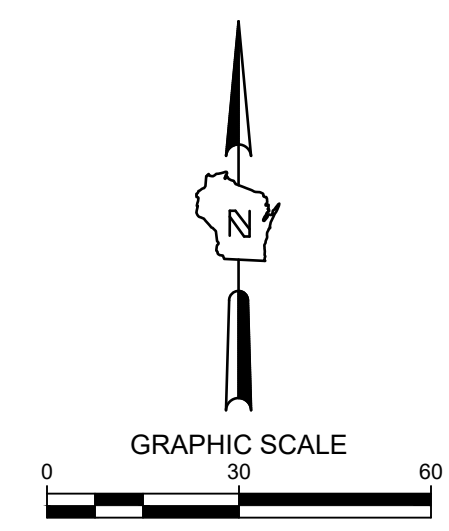
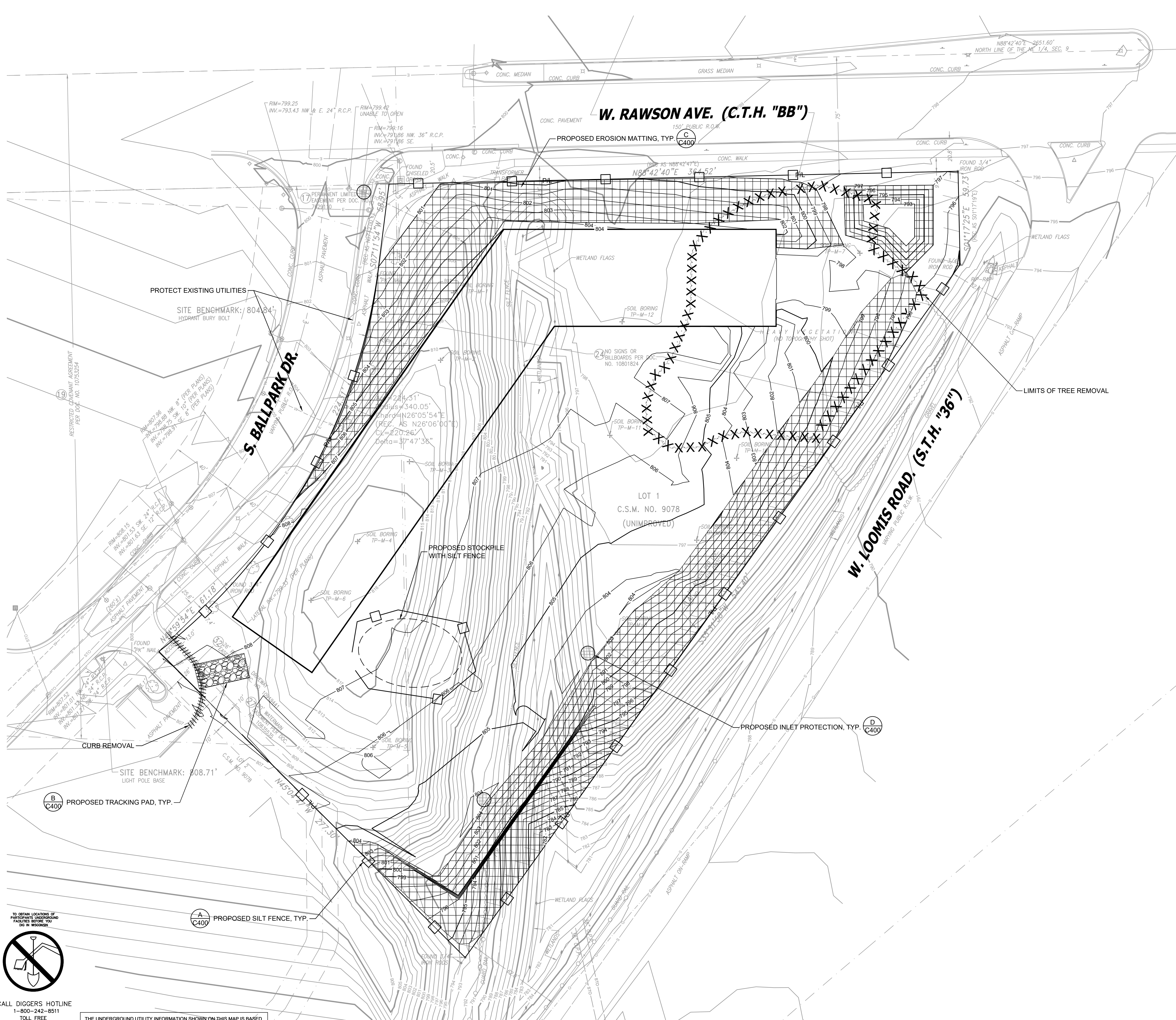
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CHAPUT LAND SURVEYS ON AUGUST 11, 2022.
4. DATUM FOR THE PROJECT SURVEY IS NAVD88. BENCHMARK FOR THE PROJECT SURVEY IS NORTH END OF SECTION 9, T 5 N, R 21 E, ELEVATION 803.12.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

TO OBTAIN LOCATIONS OF MANHOLE LIDS/STAND PIPES/POLES, YOU OR YOUR RECORDS

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE STATUTE 182.07(2)(97A) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



- LEGEND:**
- PROPOSED SILT FENCE (A C400)
 - PROPOSED TRACKING PAD (B C400)
 - PROPOSED EROSION MATTING WISDOT APPROVED CLASS 1 TYPE B (C C400)
 - PROPOSED INLET PROTECTION (D C400)
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - CURB REMOVAL
 - TREE REMOVAL

BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
SITE DEMOLITION AND EROSION CONTROL PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
 - DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

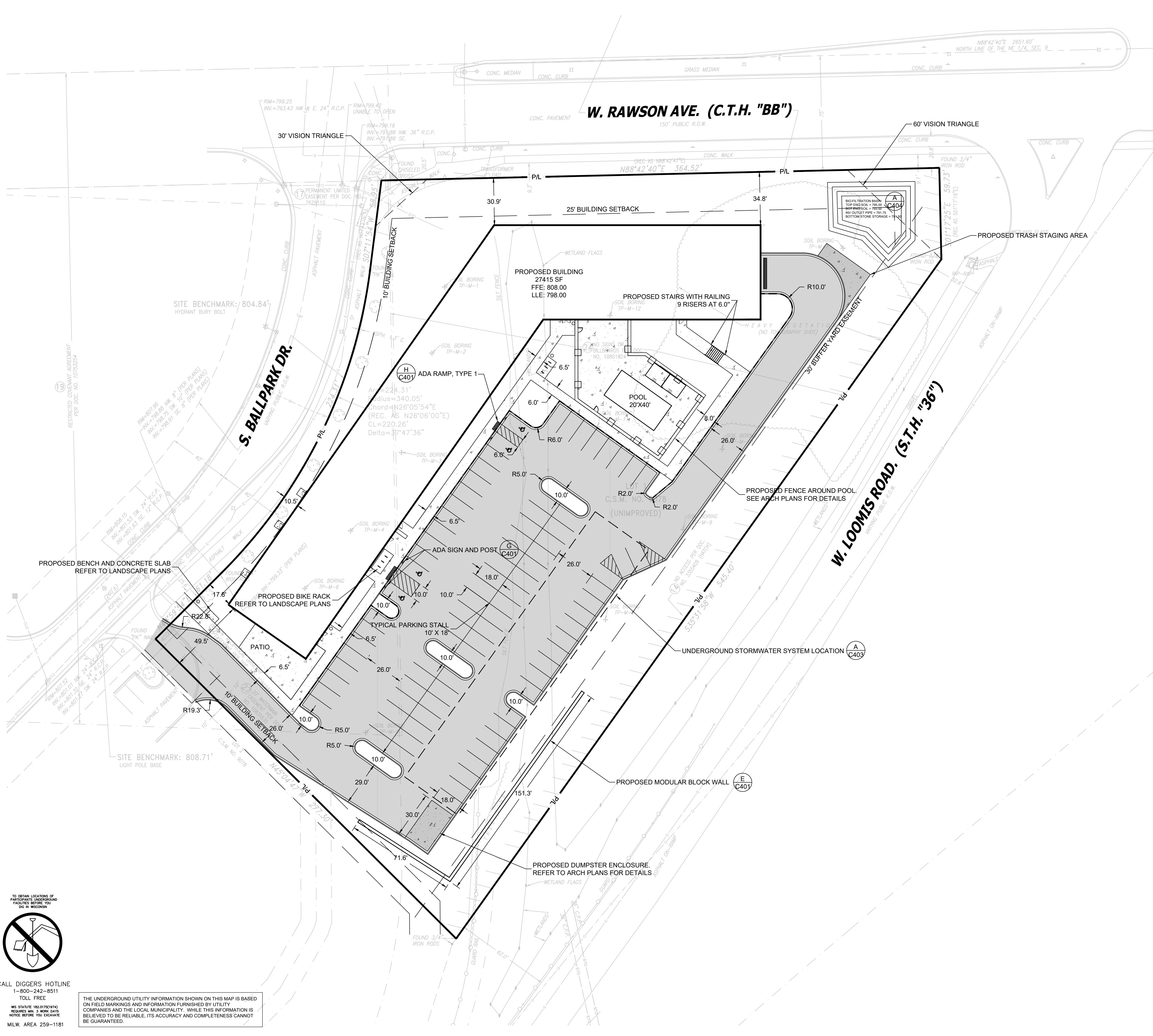
SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	2023.04.07
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C002

TO OBTAIN LOCATIONS OF PARTICIPATING LANDSCAPING FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE STATUTE 182.07(1)(2) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

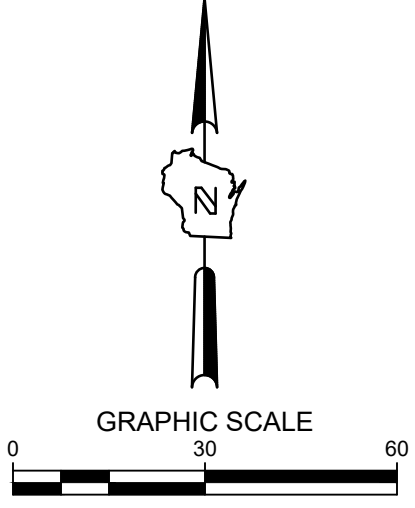
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



SITE INFORMATION			
SITE AREA	135980	3.122 AC	
SITE DISTURBED AREA	135980	3.122 AC	
EXISTING IMPERVIOUS AREA	828	0.019 AC	0.6 %
PROPOSED IMPERVIOUS AREA	78548	1.803 AC	57.8 %
PROPOSED GREENSPACE AREA	57432.0	1.318 AC	42.2 %
EXTERIOR PARKING SPACES	67		
ADA PARKING SPACES	4		

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

LAND BY LABEL
 7044 South Ballpark Drive
 Franklin, WI 53132
 Phone: 414-285-3470



LEGEND:

	(A C401) 5" THICK CONCRETE WALK
	(B C401) CONCRETE PAVEMENT
	(C C401) HEAVY DUTY ASPHALT SURFACE
	(D C401) CURB & GUTTER (ACCEPT)
	(D C401) CURB & GUTTER (REJECT)

BADAX
 8240 OLD LOOMIS RD
 FRANKLIN, WI
 SITE DIMENSION PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
CITY RESUBMITAL	04/07/2023
NO. REVISION	DATE

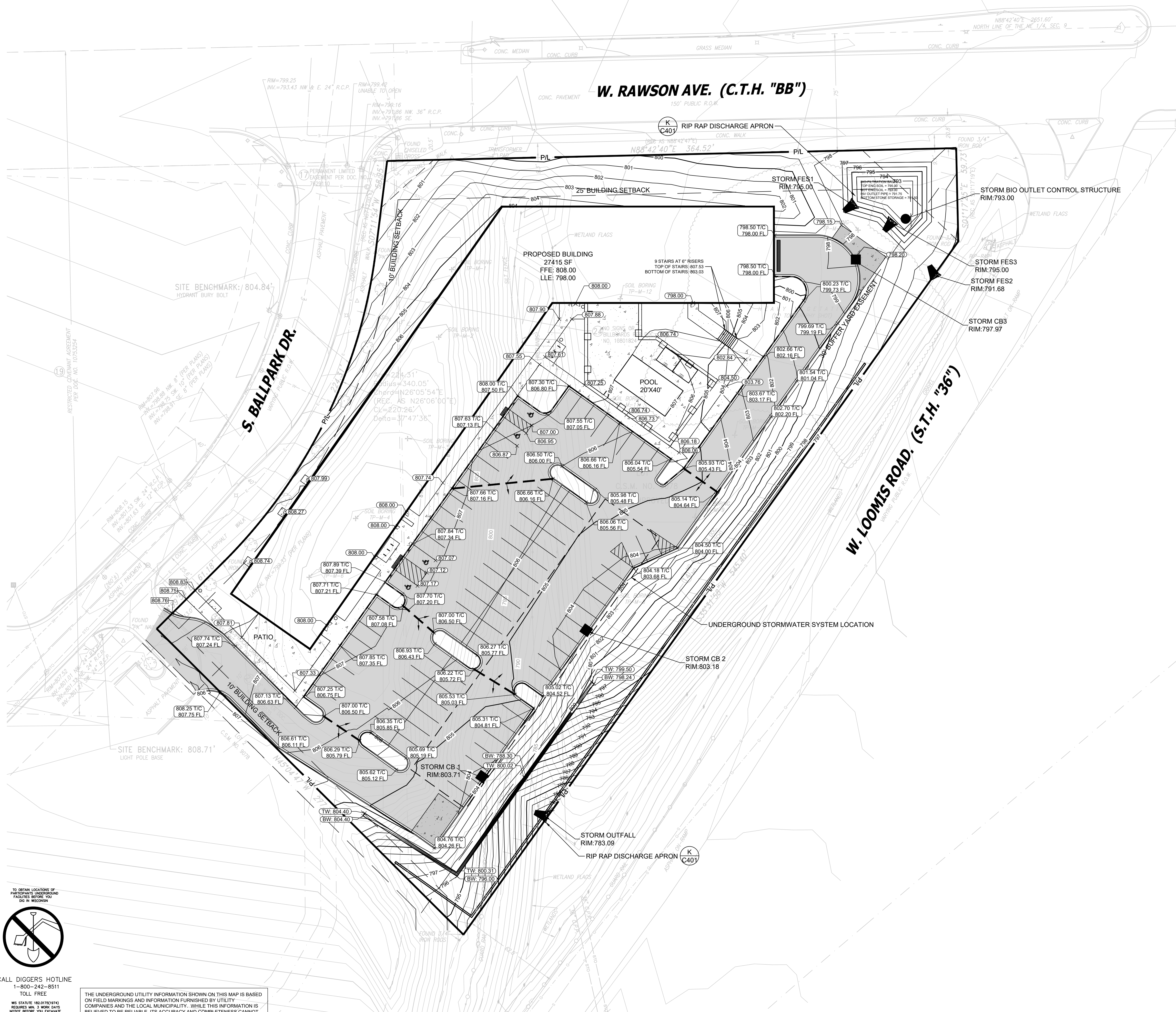
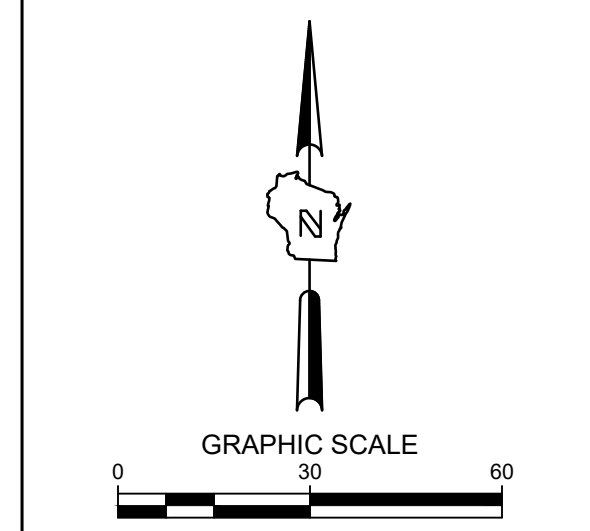
- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	2023.04.07
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C100

TO OBTAIN LOCATIONS OF ADJACENT UNDERGROUND UTILITIES BEFORE YOU DIG IN WisCONSIN

CALL DIGGERS' HOTLINE
 1-800-242-8511
 TOLL FREE

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



LEGEND:

- 5" THICK CONCRETE WALK (C401)
- CONCRETE PAVEMENT (C401)
- HEAVY DUTY ASPHALT SURFACE (C401)
- CURB & GUTTER (ACCEPT) (C401)
- CURB & GUTTER (REJECT) (C401)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED GRADE BREAK
- PROPOSED CURB & GUTTER SPOT GRADE
T/C: TOP OF CURB GRADE
FL: FLOW LINE CURB GRADE
- PROPOSED ASPHALT SPOT GRADE
- EXISTING SURFACE SPOT GRADE (MATCH)
- PROPOSED TOP OF WALL AT FINISHED GRADE (TW: 100.00)
- PROPOSED BOTTOM OF WALL AT FINISHED GRADE (BW: 100.00)

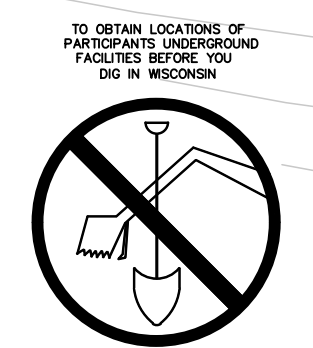
BADAX
 8240 OLD LOOMIS RD
 FRANKLIN, WI
 GRADING PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
CITY RESUBMITAL	04/07/2023
NO. REVISION	DATE

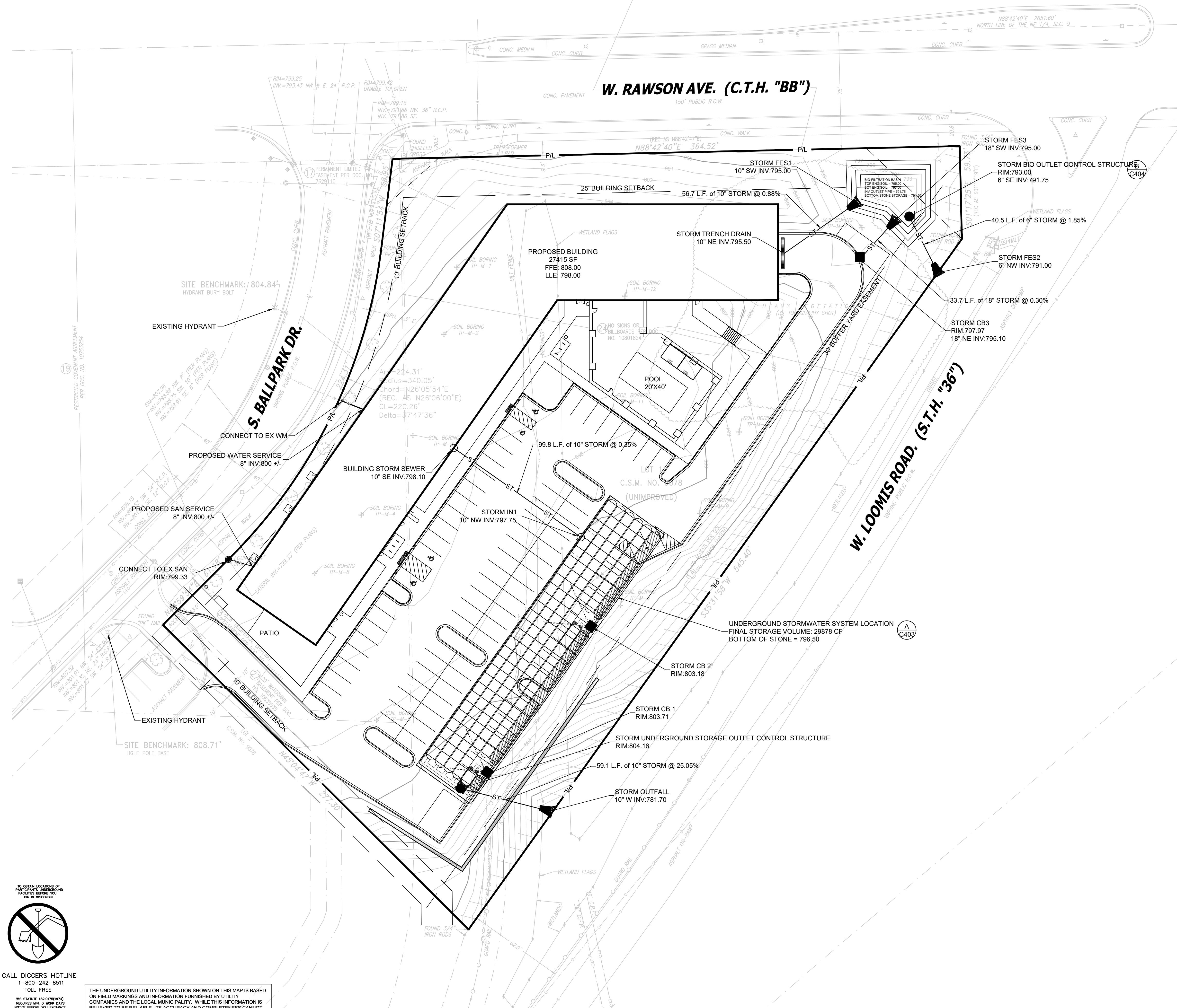
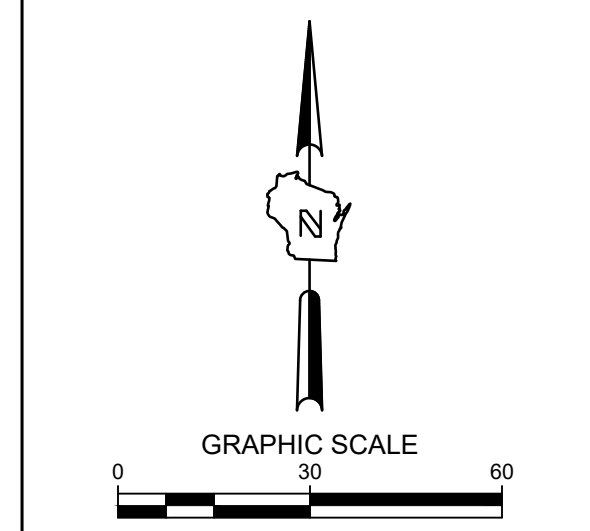
- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	2023.04.07
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C200



CALL DIGGERS' HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.07(197A)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



- LEGEND:**
- W — PROPOSED WATER SERVICE
 - SAN — PROPOSED SANITARY SERVICE
 - ST — PROPOSED STORM SEWER
 - DT — PROPOSED DRAIN TILE (UNDERDRAIN)
 - E — PROPOSED ELECTRICAL SERVICE
 - T — PROPOSED TELEPHONE SERVICE
 - G — PROPOSED GAS SERVICE
 - (A C402) PROPOSED STORM INLET
 - (B C404) PROPOSED OUTLET CONTROL STRUCTURE
 - (B C402) PROPOSED SANITARY MANHOLE
 - ▲ (K C401) PROPOSED FLARED END SECTION

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
 - PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
 - WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
 - PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
 - COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
 - IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
 - WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
 - INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO'S:44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.

BADAX

8240 OLD LOOMIS RD

FRANKLIN, WI

UTILITY PLAN

PRELIMINARY

NOT FOR

CONSTRUCTION

ISSUANCE	DATE
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

SCALE:	1"=30'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	C300

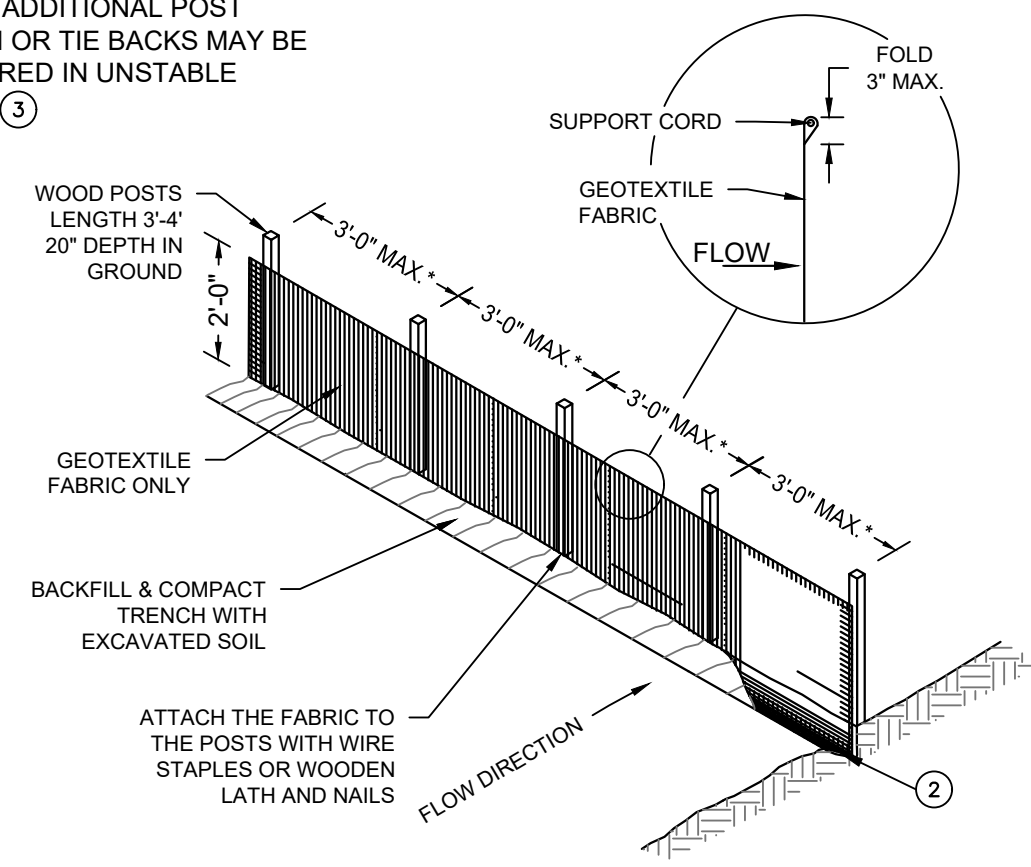
TO OBTAIN LOCATIONS OF FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE STATUTE 182.07(2)(b) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

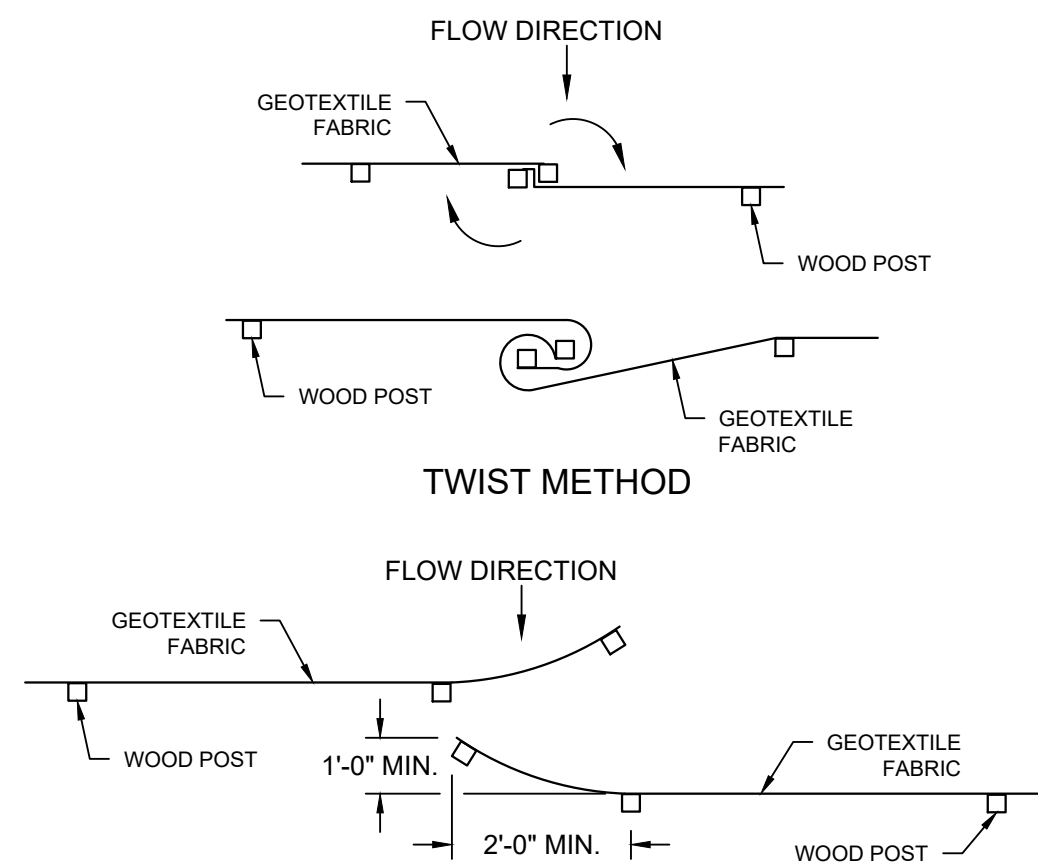
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS (3)



SILT FENCE

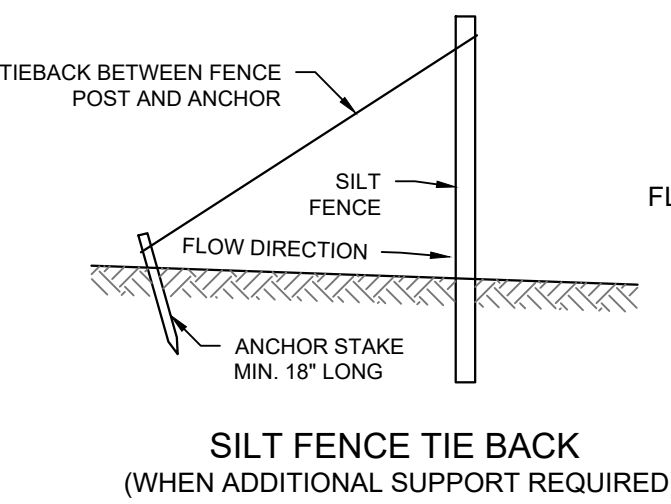
* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.



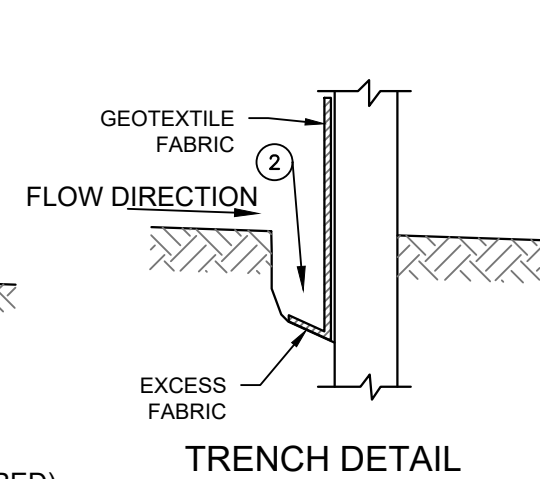
JOINING TWO LENGTHS OF SILT FENCE

GENERAL NOTES

- 1. HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC...
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/32" X 1-1/32" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS...
6. SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

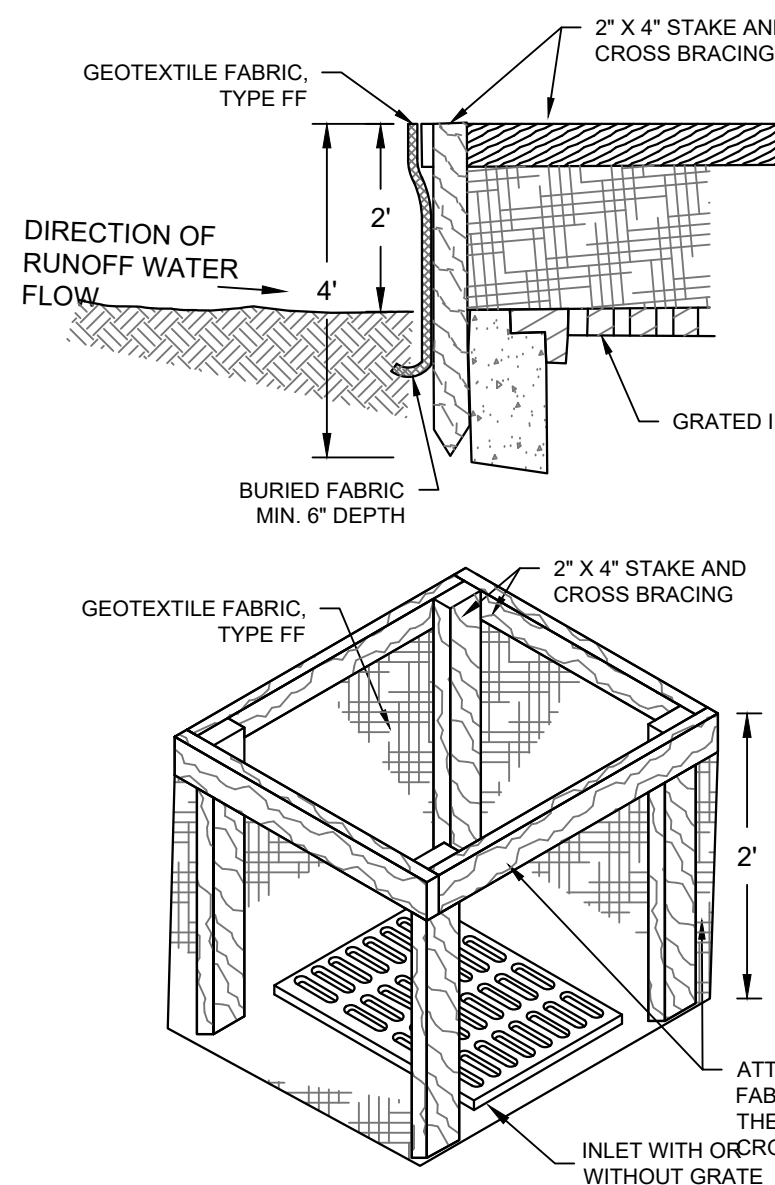


SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



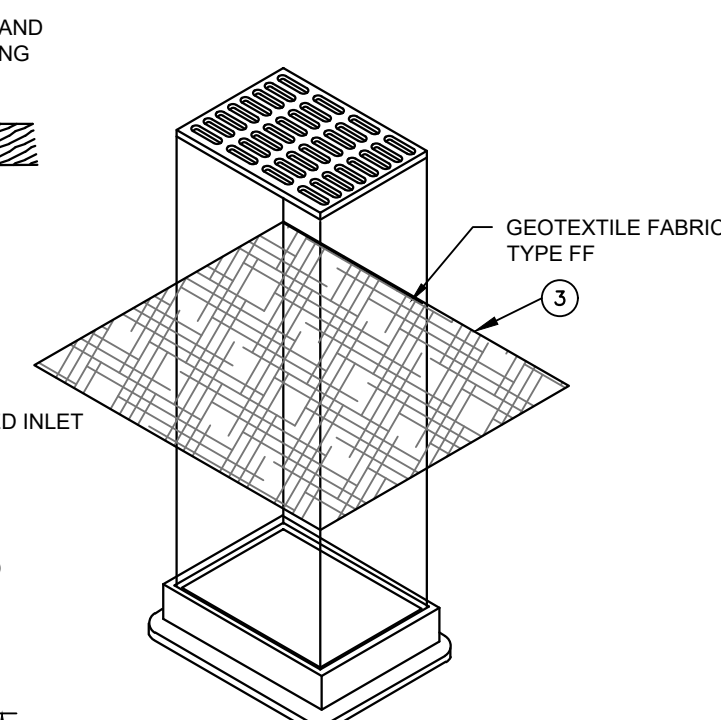
TRENCH DETAIL

SILT FENCE - WDNR TS-1056 SCALE:NTS

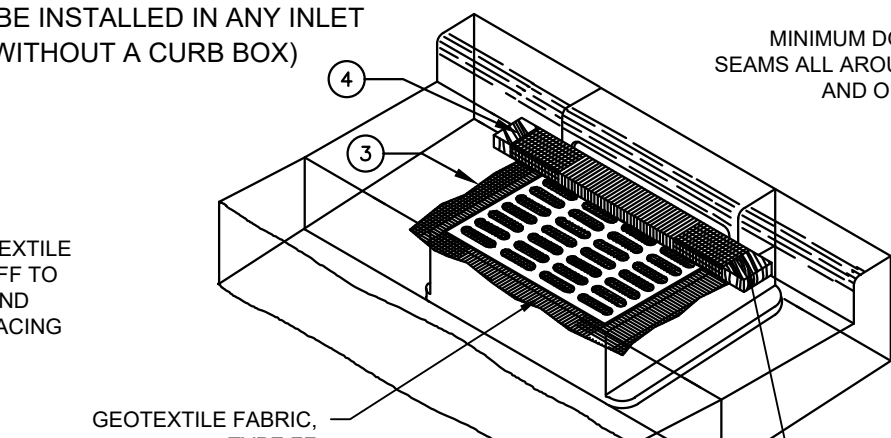


INLET PROTECTION, TYPE A

- GENERAL NOTES:
1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET...
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES...
4. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX) (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

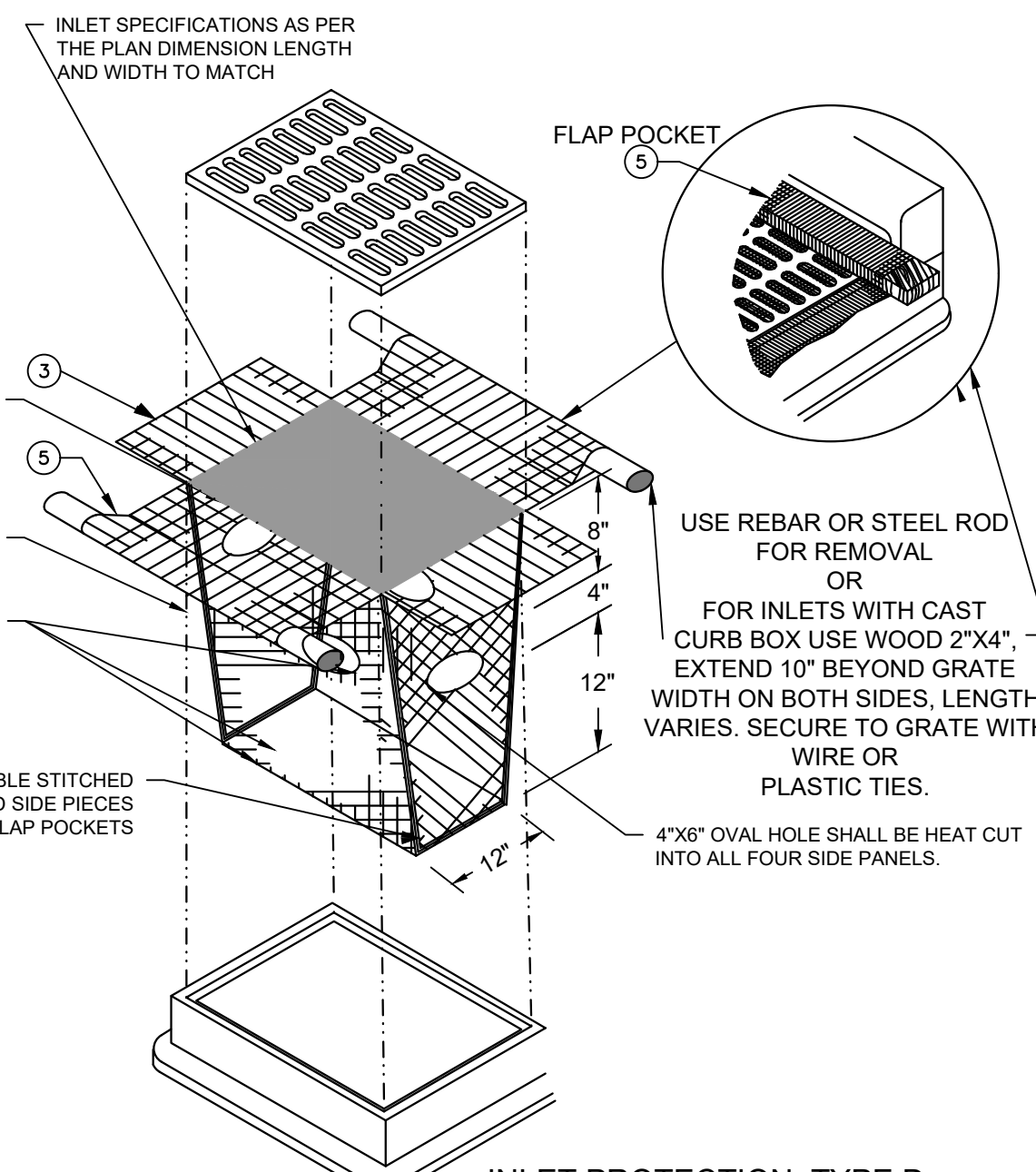


INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACES AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



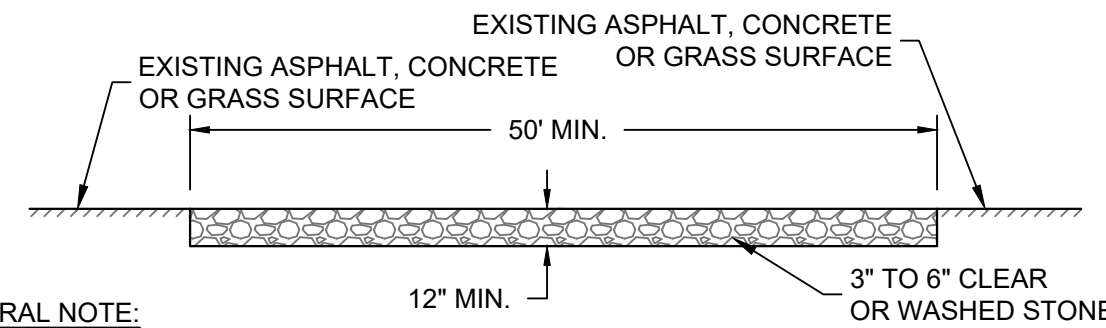
INLET PROTECTION, TYPE D (CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE)

GENERAL NOTE INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060

THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

CONSTRUCTION ENTRANCE - WDNR TS-1057 SCALE:NTS

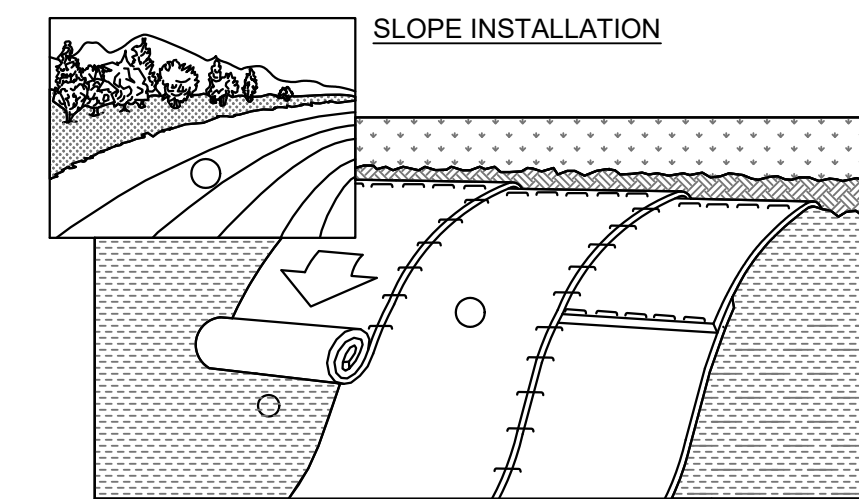
GENERAL NOTE:
1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD



EROSION MATTING - WDNR TS-1052 SCALE:NTS

- NOTES:
1. EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
2. INSTALL PER MANUFACTURERS SPECIFICATIONS.

- 1. ECRMs (EROSION CONTROL REVEGATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
2. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
3. TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
4. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.



CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCING AND INLET PROTECTION.
3. INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
4. STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
5. CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
6. CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
7. INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
8. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
9. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
10. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
11. INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
12. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
13. STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
14. REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
15. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

EROSION CONTROL NOTES:

- 1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
8. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
9. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
10. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY OF FRANKLIN, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
12. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
13. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
14. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
15. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
16. NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
17. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
18. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
19. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
20. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
21. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
22. WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
23. CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
24. PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
25. IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

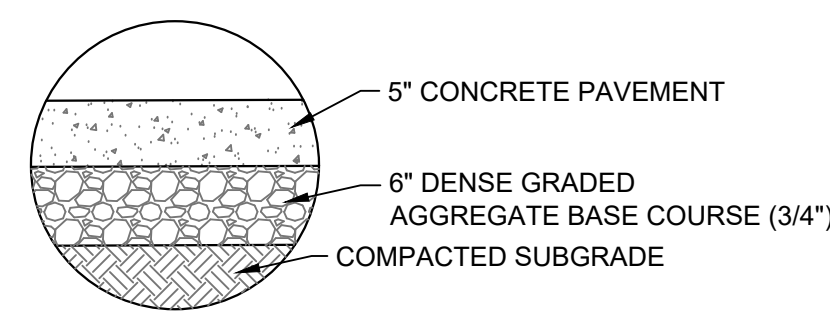
SIGMA GROUP
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

LAND BY LABEL
7044 South Ballpark Drive
Franklin, WI 53132
Phone: 414-285-3470

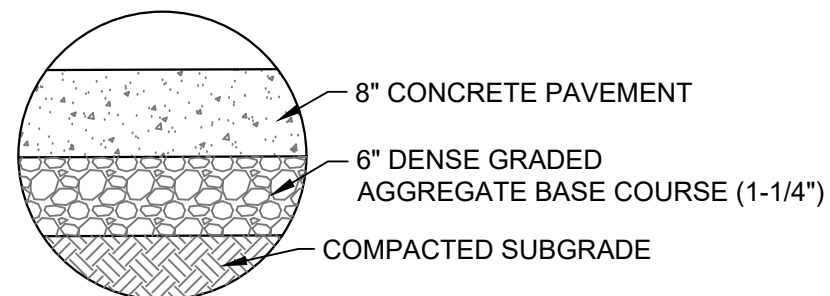
BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
EROSION CONTROL DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

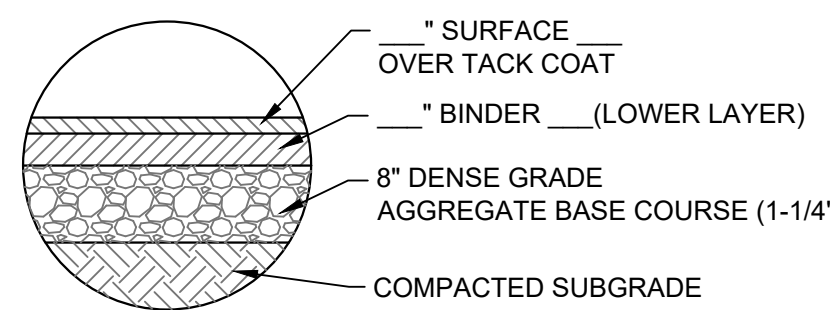
Table with columns for ISSUANCE, CITY RESUBMITAL, NO. REVISION, and DATE. Includes project details like PROJECT NO: 21234, DESIGN DATE: 2023.04.07, and SHEET NO: C400.



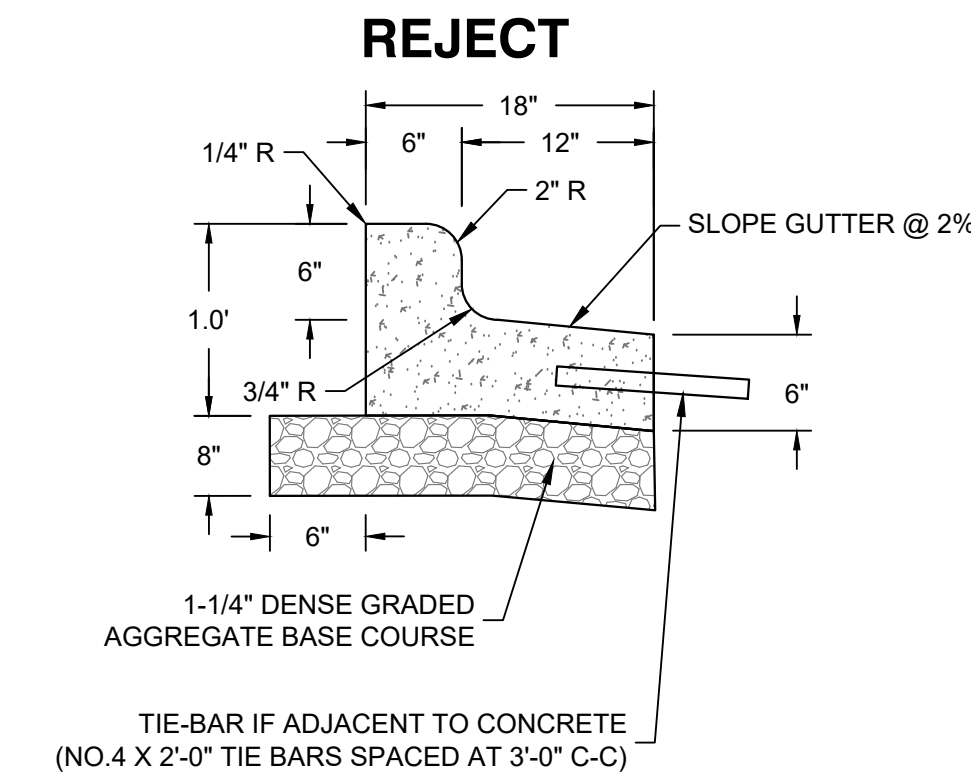
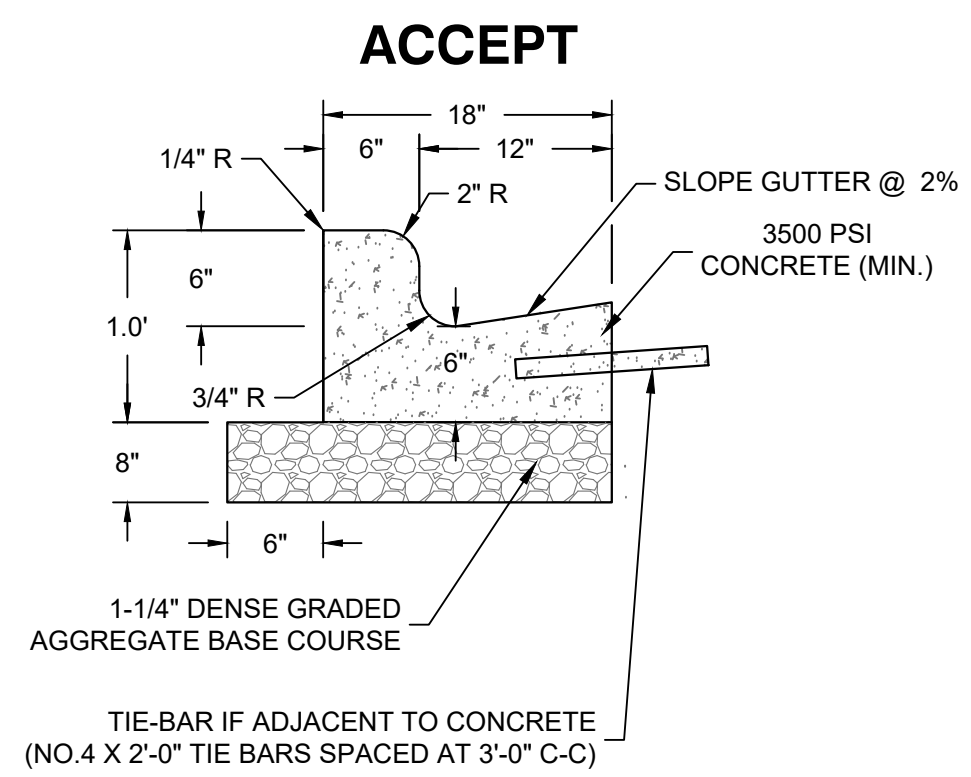
A CONCRETE SIDEWALK SECTION
SCALE:NTS



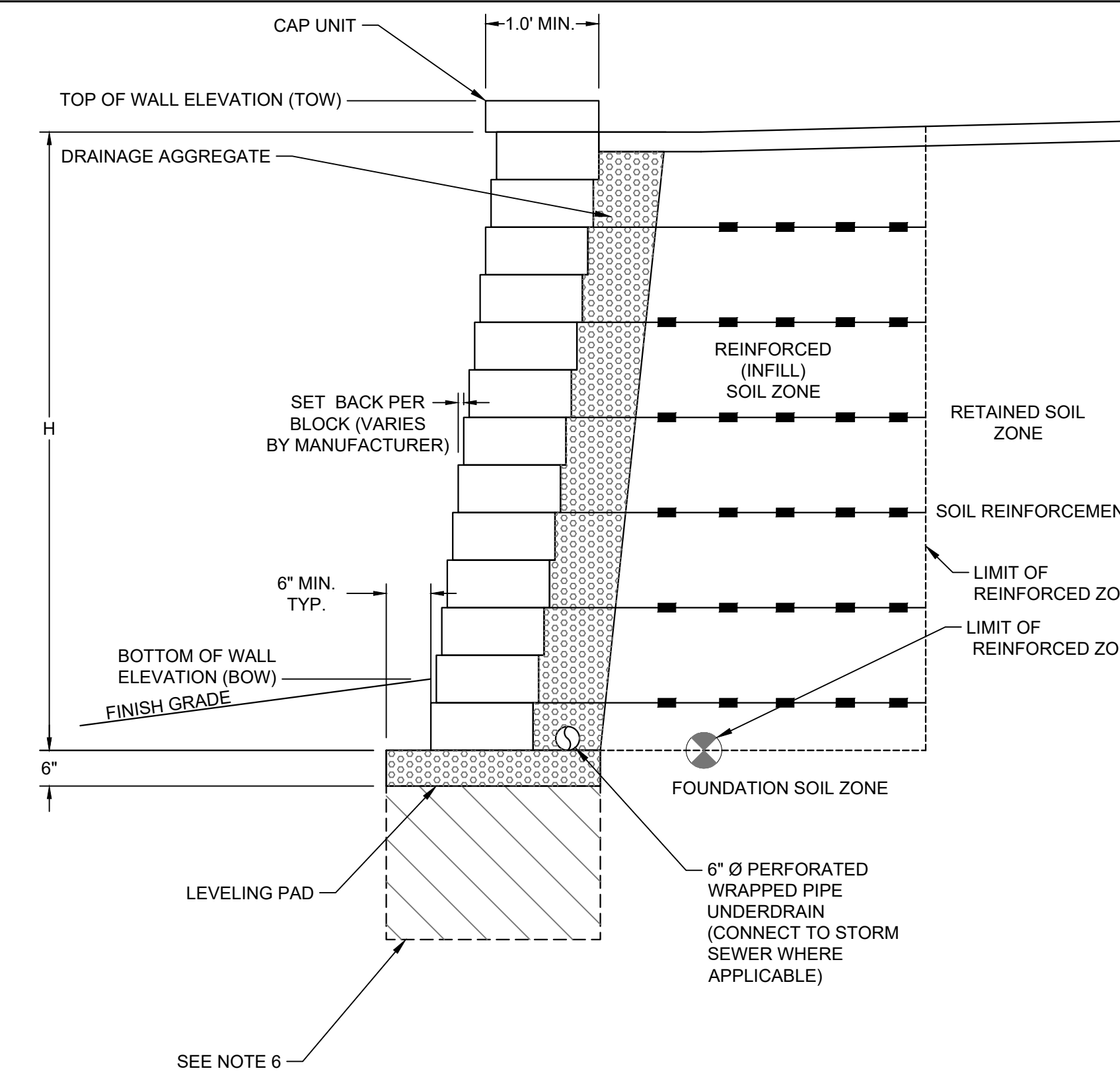
B CONCRETE PAVEMENT SECTION
SCALE:NTS



C ASPHALT PAVEMENT SECTION - HD
SCALE:NTS



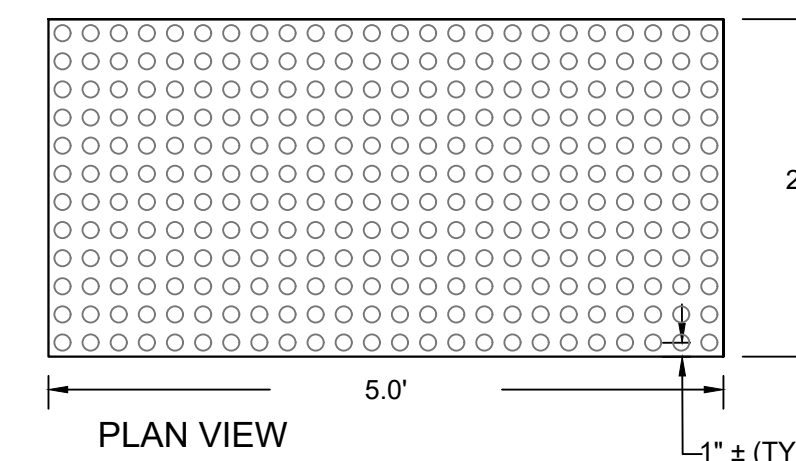
D 18 INCH CONCRETE CURB AND GUTTER
SCALE:NTS



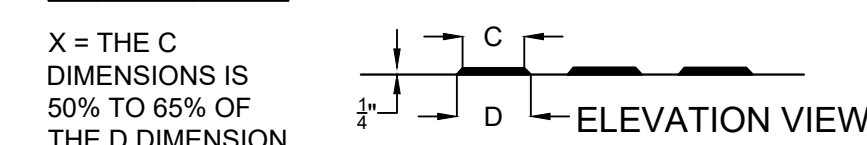
E MODULAR BLOCK MSE WALL
SCALE:NTS

NOTES:

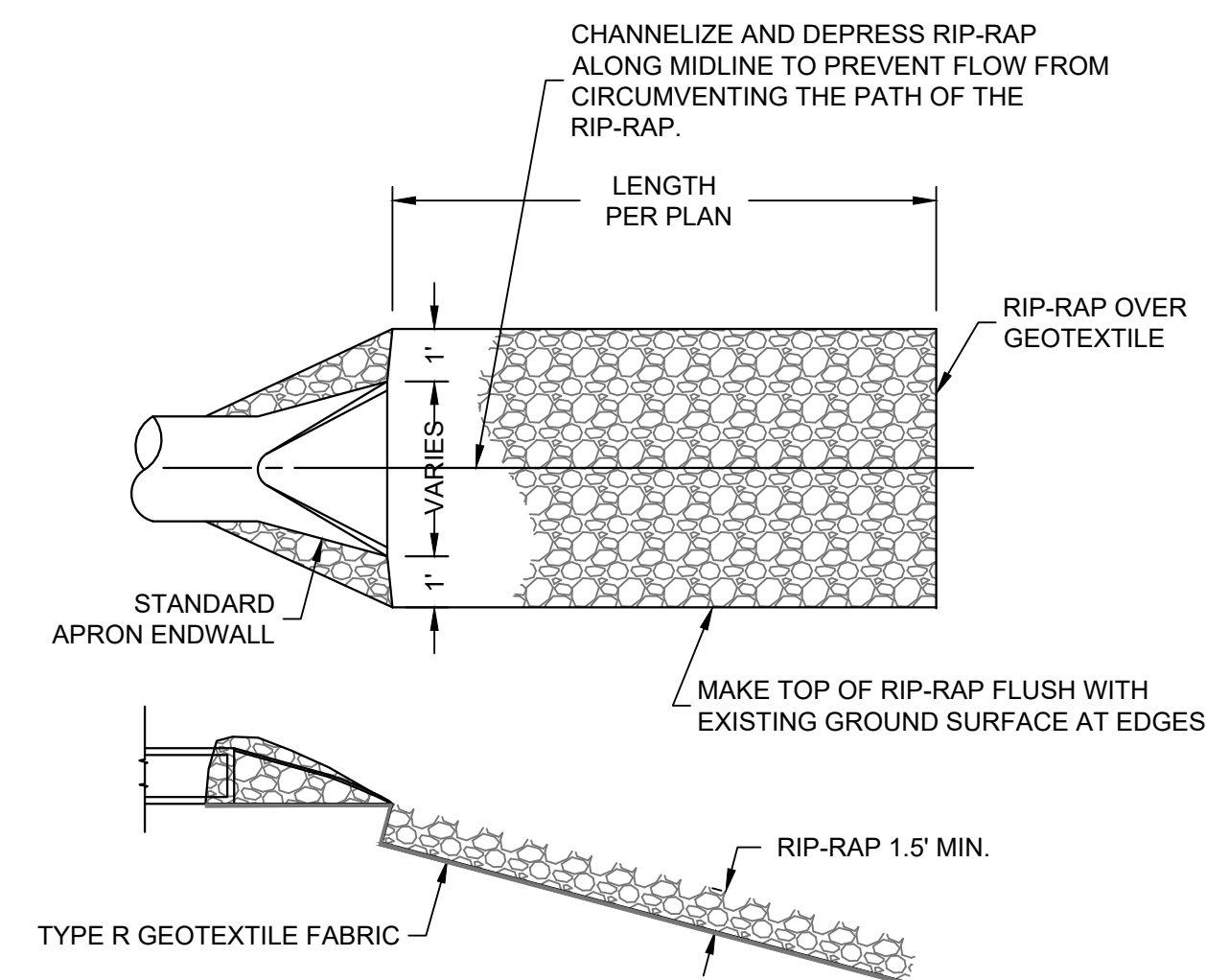
- RETAINING WALL SYSTEM SHALL BE KEYSTONE, ROCKWOOD, OR APPROVED EQUAL.
- TYPICAL SECTION IS FOR CONCEPTUAL DESIGN ONLY. THE CONTRACTOR SHALL PROVIDE COMPLETE DESIGN, PLANS, DETAILS, SPECIFICATIONS, AND STAMPED AND SEALED SHOP DRAWINGS AND STABILITY CALCULATIONS FOR THE RETAINING WALLS TO THE ENGINEER. THE RETAINING WALL MANUFACTURER SHALL PROVIDE TECHNICAL ASSISTANCE TO THE CONTRACTOR DURING CONSTRUCTION. THE COST OF THESE ITEMS SHALL BE INCLUDED.
- STAMPED AND SEALED RETAINING WALL DESIGN, PLANS, DETAILS AND CALCULATIONS SHALL BE PROVIDED TO THE CITY.
- GEOGRID REINFORCEMENT SPACING AND LENGTH PER MANUFACTURER'S ENGINEER RECOMMENDATIONS.
- GEOTECHNICAL ENGINEER MAY REQUIRE THAT ADDITIONAL DRAIN PIPING IS NEEDED DEPENDENT UPON SOILS ENCOUNTERED DURING WALL CONSTRUCTION.
- WALL STRUCTURE TO BE VERIFIED WITH GEOTECHNICAL ENGINEER.
- ANY SPECIAL TREATMENT SOILS BELOW LEVELING PAD WHICH ARE SUBJECT TO FROST HEAVE SHALL BE DESIGNED BY STRUCTURAL ENGINEER OF RECORD.
- PLANS, ELEVATIONS, AND DETAILS SHOWN ON THESE DRAWINGS ARE INTENDED TO INDICATE WALL LOCATIONS, LENGTHS, HEIGHTS, AND DETAILS COMMON TO THE WALL SYSTEM SELECTED. THE CONTRACTOR SHALL VERIFY THAT THE WALL SYSTEM SELECTED WILL CONFORM TO THE REQUIRED ALIGNMENTS AND DETAILS.
- THE RETAINING WALL IS TO BE DESIGNED USING THE ELEVATIONS GIVEN ON THIS SHEET AND GRADING PLAN SHEETS.
- STYLE AND COLOR OF THE MODULAR BLOCK SHALL BE SELECTED BY THE OWNER AND ARCHITECT.
- PROTECTIVE RAILINGS/GUARD RAILS REQUIRED FOR ALL RETAINING WALLS ADJACENT TO PEDESTRIAN PATHS TO BE VERIFIED BY WALL DESIGNER, ARCHITECT, AND LOCAL JURISDICTION.



	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	X	X
D	0.9"	1.4"

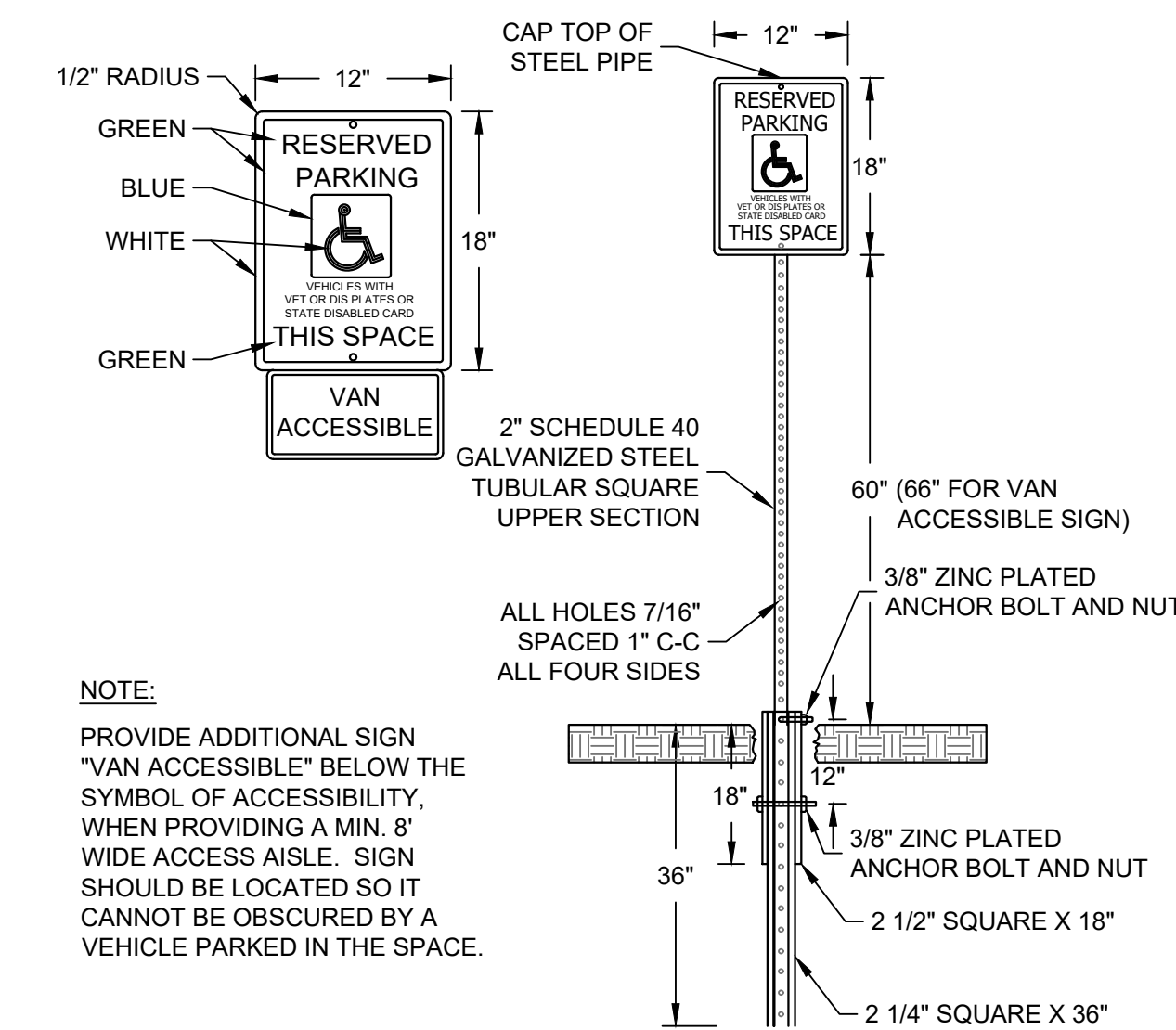


F TRUNCATED DOMES
SCALE:NTS

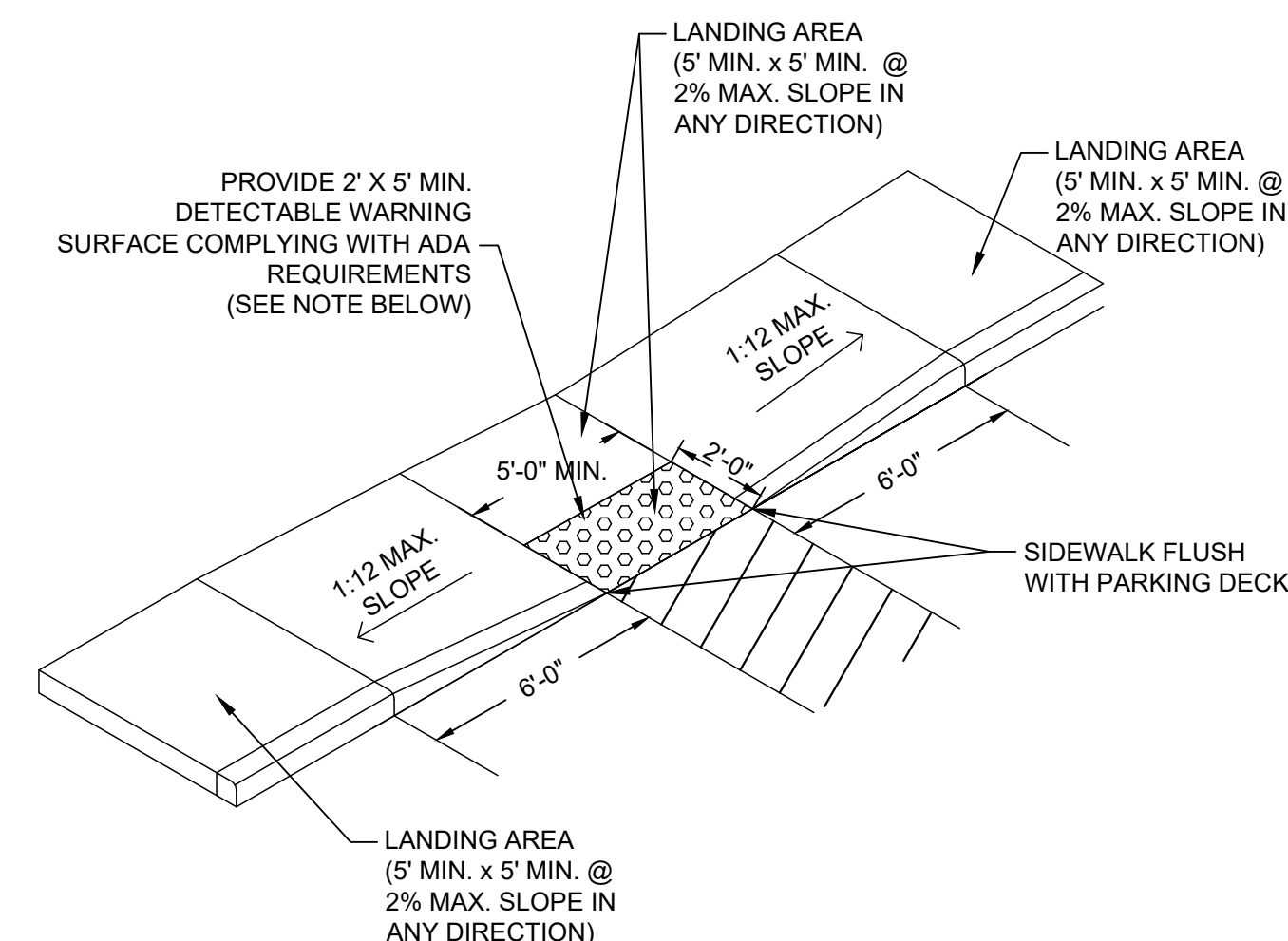


- NOTES:**
- INSTALL RIP-RAP WHERE SHOWN ON PLANS.
 - FOR PERMANENT POOL (WET) DETENTION BASINS: EXTEND RIP-RAP FROM OUTFALL TO AT LEAST 10 FEET BEYOND THE NORMAL WATER LEVEL.
 - RIP-RAP SHALL BE MEDIUM RIP-RAP PER WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - GEOTEXTILE FABRIC SHALL BE TYPE R PER WISDOT STANDARD SPECIFICATIONS PER HIGHWAY AND STRUCTURE CONSTRUCTION.

K RIP-RAP DISCHARGE APRON
SCALE:NTS



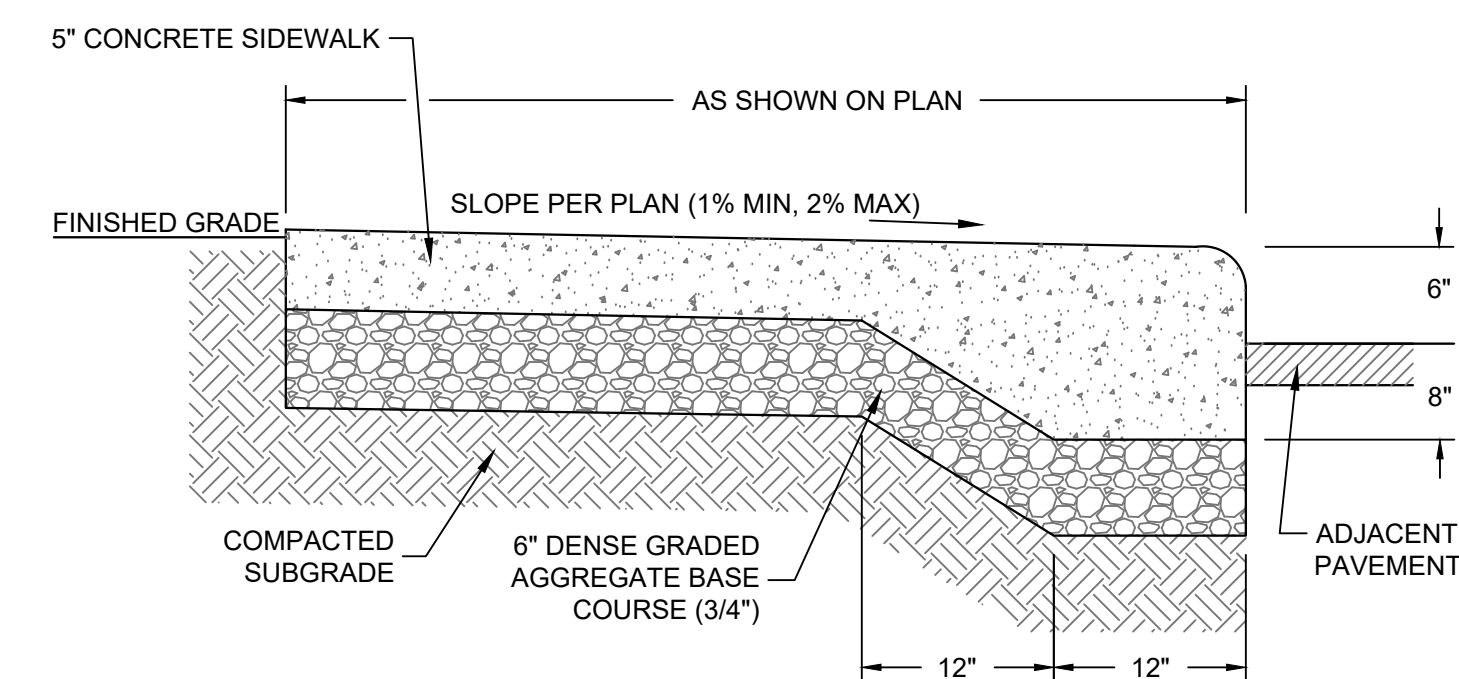
G ADA SIGN AND POST
SCALE:NTS



NOTES:

- CONTRACTOR TO VERIFY ADA RAMP DETAIL WITH CITY AND ADJUST AS NEEDED.
- PROVIDE DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES OF SIZE, SPACING AND CONTRAST REQUIRED BY ADA GUIDELINES.
- DETECTABLE WARNINGS SHALL BE PER CITY STANDARDS.

H ADA RAMP - TYPE 1
SCALE:NTS



J CONCRETE WALK - INTEGRAL CURB
SCALE:NTS

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023
---	---
---	---

NO. REVISION	DATE
---	---
---	---
---	---
---	---

SCALE:	
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---

GENERAL:

- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERE TO.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS.

SITE CLEARING:

- 1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
3. SALVAGE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
4. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.

SITE WATER SERVICE:

- 1. COMPLY WITH STANDARDS OF STATE PLUMBING CODE (SPS CH. 382, 384), LOCAL WATER UTILITY REQUIREMENTS AND STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR FIRE-SUPPRESSION AND WATER SERVICE PIPING INCLUDING MATERIALS, FITTINGS, APPURTENANCES, INSTALLATION, TESTING, SERVICE TAPS, ETC.
2. DO NOT INTERRUPT SERVICE TO FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY OWNERS OF SUCH FACILITIES AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY WATER-DISTRIBUTION SERVICE.
3. WATER SERVICE PIPING MAY BE EITHER DUCTILE IRON WATER PIPE OR PVC WATER PIPE AS ALLOWED BY THE LOCAL WATER UTILITY.

SITE WATER SERVICE CONT.:

- 17. BEDDING AND COVER FOR WATER SERVICE PIPING SHALL BE IN ACCORDANCE WITH SECTION 4.3.3 AND FILE NO. 36 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
18. INSTALL TRACER WIRE FOR NON-METALLIC WATER SERVICES IN ACCORDANCE WITH SPS SECTION 382.40(8)(K).
19. DUCTILE-IRON PIPING, RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 4.4.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
20. PVC PIPING GASKETED JOINTS: USING JOINING MATERIALS ACCORDING TO AWWA C900.

SANITARY SEWERAGE:

- 1. ALL PRIVATE SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
4. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478.

STORM DRAINAGE:

- 1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
4. REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

EARTH MOVING:

- 1. ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT.
2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
3. CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
4. OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS.

SIGMA GROUP logo and contact information: Single Source. Sound Solutions. www.thesigmagroup.com, 1300 West Canal Street, Milwaukee, WI 53233

LAND BY LABEL logo and contact information: 7044 South Ballpark Drive, Franklin, WI 53132, Phone: 414-285-3470

BADAX 8240 OLD LOOMIS RD FRANKLIN, WI SPECIFICATIONS

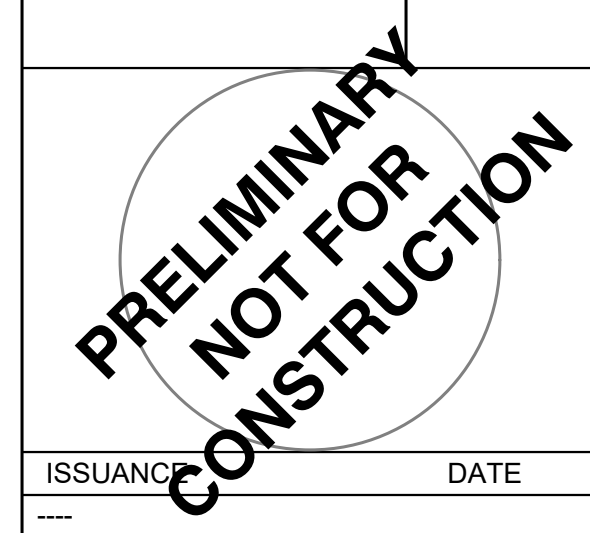


Table with 2 columns: ISSUANCE, DATE. Row 1: CITY RESUBMITAL, 04/07/2023

Table with 2 columns: NO. REVISION, DATE. Multiple empty rows.

Table with 2 columns: SCALE, PROJECT NO., DESIGN DATE, PLOT DATE, DRAWN BY, CHECKED BY, APPROVED BY, SHEET NO.

C500

CONCRETE PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES, JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALLS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

ASPHALTIC PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES, JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION, PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT, BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
5. AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
6. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
7. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
8. HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED.
9. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLodge OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4 INCH FOR BINDER COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE, NO MINUS.
18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS: BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/MILE FOR A CONTINUOUS 4" LINE.
22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SEGMENTAL RETAINING WALL:

- 1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT AND SUPERVISION TO INSTALL A SEGMENTAL RETAINING WALL SYSTEM IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN AND DIMENSIONS SHOWN ON PLANS.
2. MATERIALS SUBMITTALS: THE CONTRACTOR SHALL SUBMIT MANUFACTURERS' CERTIFICATIONS TWO WEEKS PRIOR TO START OF WORK STATING THAT THE SRW UNITS AND GEOSYNTHETIC REINFORCEMENT MEET THE REQUIREMENTS OF THE DESIGN.
3. DESIGN SUBMITTAL: THE CONTRACTOR SHALL SUBMIT TWO SETS OF DETAILED DESIGN CALCULATIONS AND FINAL RETAINING WALL PLANS FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE BEGINNING OF WALL CONSTRUCTION. ALL CALCULATIONS AND DRAWINGS SHALL BE PREPARED AND SEALED BY A PROFESSIONAL CIVIL ENGINEER (P.E.) - (WALL DESIGN ENGINEER) EXPERIENCED IN SRW DESIGN AND LICENSED IN THE STATE WHERE THE WALL IS TO BE BUILT.
4. SEGMENTAL RETAINING WALL (SRW) UNITS SHALL BE MACHINE FORMED, PORTLAND CEMENT CONCRETE BLOCKS SPECIFICALLY DESIGNED FOR RETAINING WALL APPLICATIONS. SRW UNITS SHALL BE VERSA-LOK STANDARD RETAINING WALL UNITS, KEYSTONE RETAINING WALL UNITS, ROCKWOOD RETAINING WALL UNITS OR APPROVED EQUAL.
5. COLOR AND STYLE OF SRW UNITS SHALL BE AS SELECTED BY ARCHITECT AND OWNER FROM MANUFACTURER'S FULL RANGE.
6. SRW UNITS SHALL BE CAPABLE OF BEING ERECTED WITH THE HORIZONTAL GAP BETWEEN ADJACENT UNITS NOT EXCEEDING 1/8 INCH.
7. SRW UNITS SHALL BE SOUND AND FREE OF CRACKS OR OTHER DEFECTS THAT WOULD INTERFERE WITH THE PROPER PLACING OF THE UNIT OR SIGNIFICANTLY IMPAIR THE STRENGTH OR PERMANENCE OF THE STRUCTURE. ANY CRACKS OR CHIPS OBSERVED DURING CONSTRUCTION SHALL FALL WITHIN THE GUIDELINES OUTLINED IN ASTM C 1372.
8. CONCRETE SRW UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM 1372 AND HAVE A MINIMUM NET AVERAGE 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI. COMPRESSIVE STRENGTH TEST SPECIMENS SHALL CONFORM TO THE SAW-CUT COUPON PROVISIONS OF ASTM C140.
9. SRW UNITS' MOLDED DIMENSIONS SHALL NOT DIFFER MORE THAN + 1/8 INCH FROM THAT SPECIFIED, AS MEASURED IN ACCORDANCE WITH ASTM C 140. THIS TOLERANCE DOES NOT APPLY TO ARCHITECTURAL SURFACES, SUCH AS SPLIT FACES.
10. SRW UNITS SHALL BE INTERLOCKED WITH CONNECTION PINS. THE PINS SHALL CONSIST OF GLASS-REINFORCED NYLON MADE FOR THE EXPRESSED USE WITH THE SRW UNITS SUPPLIED.
11. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF HIGH-TENACITY PET GEOGRIDS, HDPE GEOGRIDS, OR GEOTEXTILES MANUFACTURED FOR SOIL REINFORCEMENT APPLICATIONS. THE TYPE, STRENGTH AND PLACEMENT OF THE GEOSYNTHETIC REINFORCEMENT SHALL BE DETERMINED BY PROCEDURES OUTLINED IN THIS SPECIFICATION AND THE NCGA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (3RD EDITION 2009) AND MATERIALS SHALL BE SPECIFIED BY WALL DESIGN ENGINEER IN THEIR FINAL WALL PLANS AND SPECIFICATIONS. THE MANUFACTURER'S/SUPPLIERS OF THE GEOSYNTHETIC REINFORCEMENT SHALL HAVE DEMONSTRATED CONSTRUCTION OF SIMILAR SIZE AND TYPES OF SEGMENTAL RETAINING WALLS ON PREVIOUS PROJECTS.
12. THE TYPE, STRENGTH AND PLACEMENT OF THE REINFORCING GEOSYNTHETIC SHALL BE AS DETERMINED BY THE WALL DESIGN ENGINEER, AS SHOWN ON THE FINAL, P.E.-STAMPED RETAINING WALL PLANS.
13. MATERIAL FOR LEVELING PAD SHALL CONSIST OF COMPACTED SAND, GRAVEL, OR COMBINATION THEREOF (USCS SOIL TYPES GP, GW, SP, & SW) AND SHALL BE A MINIMUM OF 6 INCHES IN DEPTH. LEAN CONCRETE WITH A STRENGTH OF 200-300 PSI AND 3 INCHES THICK MAXIMUM MAY ALSO BE USED AS A LEVELING PAD MATERIAL. THE LEVELING PAD SHOULD EXTEND LATERALLY AT LEAST A DISTANCE OF 6 INCHES FROM THE TOE AND HEEL OF THE LOWERMOST SRW UNIT.
14. DRAINAGE AGGREGATE SHALL BE ANGULAR, CLEAN STONE OR GRANULAR FILL MEETING THE FOLLOWING GRADATION AS DETERMINED IN ACCORDANCE WITH ASTM D422:
SIEVE SIZE PERCENT PASSING
1 INCH 100
3/4 INCH 75-100
NO. 4 0-60
NO. 40 0-50
NO. 200 0-5
15. THE DRAINAGE COLLECTION PIPE SHALL BE A PERFORATED OR SLOTTED PVC, OR CORRUGATED HDPE PIPE. THE DRAINAGE PIPE MAY BE WRAPPED WITH A GEOTEXTILE TO FUNCTION AS A FILTER. DRAINAGE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM F 405 OR ASTM F 758.
16. THE REINFORCED SOIL MATERIAL SHALL BE FREE OF DEBRIS. UNLESS OTHERWISE NOTED ON THE FINAL, P.E.-SEALED, RETAINING WALL PLANS PREPARED BY THE WALL DESIGN ENGINEER, THE REINFORCED MATERIAL SHALL CONSIST OF THE INORGANIC USCS SOIL TYPES GP, GW, SW, SP, SM, MEETING THE FOLLOWING GRADATION, AS DETERMINED IN ACCORDANCE WITH ASTM D422:
SIEVE SIZE PERCENT PASSING
1 INCH 100
NO. 4 20-100
NO. 40 0-60
NO. 200 0-35
17. THE MAXIMUM PARTICLE SIZE OF POORLY-GRADED GRAVELS (GP) (NO FINES) SHOULD NOT EXCEED 3/4 INCH UNLESS EXPRESSLY APPROVED BY THE WALL DESIGN ENGINEER AND THE LONG-TERM DESIGN STRENGTH (LTD)S OF THE GEOSYNTHETIC IS REDUCED TO ACCOUNT FOR ADDITIONAL INSTALLATION DAMAGE FROM PARTICLES LARGER THAN THIS MAXIMUM.
18. THE PLASTICITY OF THE FINE FRACTION SHALL BE LESS THAN 20.
19. THE PH OF THE BACKFILL MATERIAL SHALL BE BETWEEN 3 AND 9 WHEN TESTED IN ACCORDANCE WITH ASTM G 51.
20. DRAINAGE GEOTEXTILE SHALL CONSIST OF GEOSYNTHETIC SPECIFICALLY MANUFACTURED FOR USE AS A PERMEABLE SOIL FILTER THAT RETAINS SOIL WHILE STILL ALLOWING WATER TO PASS THROUGHOUT THE LIFE OF THE STRUCTURE. THE TYPE AND PLACEMENT OF THE GEOTEXTILE FILTER MATERIAL SHALL BE AS REQUIRED BY THE WALL DESIGN ENGINEER IN THEIR FINAL WALL PLANS AND SPECIFICATIONS.
21. THE DESIGN ANALYSIS FOR THE FINAL, P.E.-STAMPED RETAINING WALL PLANS PREPARED BY THE WALL DESIGN ENGINEER SHALL CONSIDER THE EXTERNAL STABILITY AGAINST SLIDING AND OVERTURNING, INTERNAL STABILITY AND FACIAL STABILITY OF THE REINFORCED SOIL MASS, AND SHALL BE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICE AND THESE SPECIFICATIONS. THE INTERNAL AND EXTERNAL STABILITY ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH THE "NCGA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION" USING THE RECOMMENDED MINIMUM FACTORS OF SAFETY IN THIS MANUAL.
22. EXTERNAL STABILITY ANALYSIS FOR BEARING CAPACITY, GLOBAL STABILITY, AND TOTAL AND DIFFERENTIAL SETTLEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE OWNER'S GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL PERFORM BEARING CAPACITY, SETTLEMENT ESTIMATES, AND GLOBAL STABILITY ANALYSIS BASED ON THE FINAL WALL DESIGN PROVIDED BY THE WALL DESIGN ENGINEER AND COORDINATE ANY REQUIRED CHANGES WITH THE WALL DESIGN ENGINEER.
23. THE GEOSYNTHETIC PLACEMENT IN THE WALL DESIGN SHALL HAVE 100% CONTINUOUS COVERAGE PARALLEL TO THE WALL FACE. GAPPING BETWEEN HORIZONTALLY ADJACENT LAYERS OF GEOSYNTHETIC (PARTIAL COVERAGE) WILL NOT BE ALLOWED.
24. CONTRACTOR'S FIELD CONSTRUCTION SUPERVISOR SHALL HAVE DEMONSTRATED EXPERIENCE AND BE QUALIFIED TO DIRECT ALL WORK AT THE SITE.
25. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE PROJECT GRADING PLANS. CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMIZE OVER-EXCAVATION. OVER-EXCAVATION SHALL BE FILLED WITH COMPACTED INFILL MATERIAL, OR AS DIRECTED BY THE WALL DESIGN ENGINEER, AT THE CONTRACTOR'S EXPENSE.
26. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING STRUCTURES AND UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL ENSURE ALL SURROUNDING STRUCTURES ARE PROTECTED FROM THE EFFECTS OF WALL EXCAVATION. EXCAVATION SUPPORT, IF REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR.
27. FOLLOWING THE EXCAVATION, THE FOUNDATION SOIL SHALL BE EXAMINED BY THE OWNER'S ENGINEER TO ASSURE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS THE ASSUMED DESIGN BEARING STRENGTH. SOILS NOT MEETING THE REQUIRED STRENGTH SHALL BE REMOVED AND REPLACED WITH INFILL SOILS, AS DIRECTED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER.
28. FOUNDATION SOIL SHALL BE PROOF-ROLLED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY AND INSPECTED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF LEVELING PAD MATERIALS.
29. LEVELING PAD SHALL BE PLACED AS SHOWN ON THE FINAL, P.E.-SEALED RETAINING WALL PLANS WITH A MINIMUM THICKNESS OF 6 INCHES. THE LEVELING PAD SHOULD EXTEND LATERALLY AT LEAST A DISTANCE OF 6 INCHES FROM THE TOE AND HEEL OF THE LOWERMOST SRW UNIT.
30. GRANULAR LEVELING PAD MATERIAL SHALL BE COMPACTED TO PROVIDE A FIRM, LEVEL BEARING SURFACE ON WHICH TO PLACE THE FIRST COURSE OF UNITS. WELL-GRADED SAND CAN BE USED TO SMOOTH THE TOP 1/4 INCH TO 1/2 INCH OF THE LEVELING PAD. COMPACTION WILL BE WITH MECHANICAL PLATE COMPACTORS TO ACHIEVE 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D 698).
31. ALL SRW UNITS SHALL BE INSTALLED AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE FINAL, P.E.-SEALED WALL PLANS AND DETAILS OR AS DIRECTED BY THE WALL DESIGN ENGINEER. THE SRW UNITS SHALL BE INSTALLED IN GENERAL ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE SPECIFICATIONS AND DRAWINGS SHALL GOVERN IN ANY CONFLICT BETWEEN THE TWO REQUIREMENTS.
32. FIRST COURSE OF SRW UNITS SHALL BE PLACED ON THE LEVELING PAD. THE UNITS SHALL BE LEVELED SIDE-TO-SIDE, FRONT-TO-REAR AND WITH ADJACENT UNITS, AND ALIGNED TO ENSURE INTIMATE CONTACT WITH THE LEVELING PAD. THE FIRST COURSE IS THE MOST IMPORTANT TO ENSURE ACCURATE AND ACCEPTABLE RESULTS. NO GAPS SHALL BE LEFT BETWEEN THE FRONT OF ADJACENT UNITS. ALIGNMENT MAY BE DONE BY MEANS OF A STRING LINE OR OFFSET FROM BASE LINE TO THE BACK OF THE UNITS.
33. ALL EXCESS DEBRIS SHALL BE CLEANED FROM TOP OF UNITS AND THE NEXT COURSE OF UNITS INSTALLED ON TOP OF THE UNITS BELOW.

SEGMENTAL RETAINING WALL CONT.:

- 34. CONNECTION PINS SHALL BE INSERTED THROUGH THE PIN HOLES OF EACH UPPER-COURSE UNIT INTO RECEIVING SLOTS IN LOWER-COURSE UNITS. PINS SHALL BE FULLY SEATED IN THE PIN SLOT BELOW. UNITS SHALL BE PUSHED FORWARD TO REMOVE ANY LOOSENESS IN THE UNIT-TO-UNIT CONNECTION.
35. PRIOR TO PLACEMENT OF NEXT COURSE, THE LEVEL AND ALIGNMENT OF THE UNITS SHALL BE CHECKED AND CORRECTED WHERE NEEDED.
36. LAYOUT OF CURVES AND CORNERS SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL PLAN DETAILS OR IN GENERAL ACCORDANCE WITH SRW MANUFACTURER'S INSTALLATION GUIDELINES. WALLS MEETING AT CORNERS SHALL BE INTERLOCKED BY OVERLAPPING SUCCESSIVE COURSES.
37. PROCEDURES ABOVE SHALL BE REPEATED UNTIL REACHING TOP OF WALL UNITS, JUST BELOW THE HEIGHT OF THE CAP UNITS. GEOSYNTHETIC REINFORCEMENT, DRAINAGE MATERIALS, AND REINFORCED BACKFILL SHALL BE PLACED IN SEQUENCE WITH UNIT INSTALLATION.
38. ALL GEOSYNTHETIC REINFORCEMENT SHALL BE INSTALLED AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE FINAL P.E.-SEALED RETAINING WALL PLAN PROFILES AND DETAILS, OR AS DIRECTED BY THE WALL DESIGN ENGINEER.
39. AT THE ELEVATIONS SHOWN ON THE FINAL PLANS, (AFTER THE UNITS, DRAINAGE MATERIAL AND BACKFILL HAVE BEEN PLACED TO THIS ELEVATION) THE GEOSYNTHETIC REINFORCEMENT SHALL BE LAID HORIZONTALLY ON COMPACTED INFILL AND ON TOP OF THE CONCRETE SRW UNITS, TO WITHIN 1 INCH OF THE FRONT FACE OF THE UNIT BELOW. EMBEDMENT OF THE GEOSYNTHETIC IN THE SRW UNITS SHALL BE CONSISTENT WITH SRW MANUFACTURER'S RECOMMENDATIONS. CORRECT ORIENTATION OF THE GEOSYNTHETIC REINFORCEMENT SHALL BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH THE GEOSYNTHETIC MANUFACTURER'S RECOMMENDATIONS. THE HIGHEST-STRENGTH DIRECTION OF THE GEOSYNTHETIC MUST BE PERPENDICULAR TO THE WALL FACE.
40. GEOSYNTHETIC REINFORCEMENT LAYERS SHALL BE ONE CONTINUOUS PIECE FOR THEIR ENTIRE EMBEDMENT LENGTH. SPLICING OF THE GEOSYNTHETIC IN THE DESIGN-STRENGTH DIRECTION (PERPENDICULAR TO THE WALL FACE) SHALL NOT BE PERMITTED. ALONG THE LENGTH OF THE WALL, HORIZONTALLY ADJACENT SECTIONS OF GEOSYNTHETIC REINFORCEMENT SHALL BE BUTTED IN A MANNER TO ASSURE 100% COVERAGE PARALLEL TO THE WALL FACE.
41. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOSYNTHETIC REINFORCEMENT. A MINIMUM OF 6 INCHES OF BACKFILL IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOSYNTHETIC. TURNING SHOULD BE KEPT TO A MINIMUM. RUBBER-TIRED EQUIPMENT MAY PASS OVER THE GEOSYNTHETIC REINFORCEMENT AT SLOW SPEEDS (LESS THAN 5 MPH).
42. THE GEOSYNTHETIC REINFORCEMENT SHALL BE FREE OF WRINKLES PRIOR TO PLACEMENT OF SOIL FILL. THE NOMINAL TENSION SHALL BE APPLIED TO THE REINFORCEMENT AND SECURED IN PLACE WITH STAPLES, STAKES OR BY HAND TENSIONING UNTIL REINFORCEMENT IS COVERED BY 6 INCHES OF FILL.
43. DRAINAGE AGGREGATE SHALL BE INSTALLED TO THE LINE, GRADES AND SECTIONS SHOWN ON THE FINAL P.E.-SEALED RETAINING WALL PLANS. DRAINAGE AGGREGATE SHALL BE PLACED TO THE MINIMUM THICKNESS SHOWN ON THE CONSTRUCTION PLANS BETWEEN AND BEHIND UNITS (A MINIMUM OF 1 CUBIC FOOT FOR EACH EXPOSED SQUARE FOOT OF WALL FACE UNLESS OTHERWISE NOTED ON THE FINAL WALL PLANS).
44. DRAINAGE COLLECTION PIPES SHALL BE INSTALLED TO MAINTAIN GRAVITY FLOW OF WATER OUTSIDE THE REINFORCED-SOIL ZONE. THE DRAINAGE COLLECTION PIPE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE FINAL CONSTRUCTION DRAWINGS. THE DRAINAGE COLLECTION PIPE SHALL DAYLIGHT INTO A STORM SEWER OR ALONG A SLOPE, AT AN ELEVATION BELOW THE LOWEST POINT OF THE PIPE WITHIN THE AGGREGATE DRAIN. DRAINAGE LATERALS SHALL BE SPACED AT A MAXIMUM 50-FOOT SPACING ALONG THE WALL FACE.
45. THE REINFORCED BACKFILL SHALL BE PLACED AS SHOWN IN THE FINAL WALL PLANS IN THE MAXIMUM COMPACTED LIFT THICKNESS OF 8 INCHES AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D 698) AT A MOISTURE CONTENT WITHIN -1% POINT TO +3% POINTS OF OPTIMUM. THE BACKFILL SHALL BE PLACED AND SPREAD IN SUCH A MANNER AS TO ELIMINATE WRINKLES OR MOVEMENT OF THE GEOSYNTHETIC REINFORCEMENT AND THE SRW UNITS.
46. ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET OF THE BACK OF THE WALL UNITS. COMPACTION WITHIN THE 3 FEET BEHIND THE WALL UNITS SHALL BE ACHIEVED BY AT LEAST THREE PASSES OF A LIGHTWEIGHT MECHANICAL TAMPER, PLATE, OR ROLLER.
47. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LEVEL OF BACKFILL AWAY FROM THE WALL FACING AND REINFORCED BACKFILL TO DIRECT WATER RUNOFF AWAY FROM THE WALL FACE.
48. AT COMPLETION OF WALL CONSTRUCTION, BACKFILL SHALL BE PLACED LEVEL WITH FINAL TOP OF WALL ELEVATION. IF FINAL GRADING, PAVING, LANDSCAPING AND/OR STORM DRAINAGE INSTALLATION ADJACENT TO THE WALL IS NOT PLACED IMMEDIATELY AFTER WALL COMPLETION, TEMPORARY GRADING AND DRAINAGE SHALL BE PROVIDED TO ENSURE WATER RUNOFF IS NOT DIRECTED AT THE WALL NOR ALLOWED TO COLLECT OR POND BEHIND THE WALL UNTIL FINAL CONSTRUCTION ADJACENT TO THE WALL IS COMPLETED.
49. SRW CAPS SHALL BE PROPERLY ALIGNED AND GLUED TO UNDERLYING UNITS WITH VERSA-LOK ADHESIVE. A FLEXIBLE, HIGH-STRENGTH CONCRETE ADHESIVE. RIGID ADHESIVE OR MORTAR ARE NOT ACCEPTABLE.
50. CAPS SHALL OVERHANG THE TOP COURSE OF UNITS BY 3/4 INCH TO 1 INCH. SLIGHT VARIATION IN OVERHANG IS ALLOWED TO CORRECT ALIGNMENT AT THE TOP OF THE WALL.
51. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION BY OTHERS ADJACENT TO THE WALL DOES NOT DISTURB THE WALL OR PLACE TEMPORARY CONSTRUCTION LOADS ON THE WALL THAT EXCEED DESIGN LOADS. INCLUDING LOADS SUCH AS WATER PRESSURE, TEMPORARY GRADES, OR EQUIPMENT LOADING. HEAVY PAVING OR GRADING EQUIPMENT SHALL BE KEPT A MINIMUM OF 3 FEET BEHIND THE BACK OF THE WALL FACE. EQUIPMENT WITH WHEEL LOADS IN EXCESS OF 150 PSF LIVE LOAD SHALL NOT BE OPERATED WITHIN 10 FEET OF THE FACE OF THE RETAINING WALL DURING CONSTRUCTION ADJACENT TO THE WALL. CARE SHOULD BE TAKEN BY THE GENERAL CONTRACTOR TO ENSURE WATER RUNOFF IS DIRECTED AWAY FROM THE WALL STRUCTURE UNTIL FINAL GRADING AND SURFACE DRAINAGE COLLECTION SYSTEMS ARE COMPLETED.
BIOFILTRATION BASIN:
1. BIOFILTRATION BASIN SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH WDNr TECHNICAL STANDARD 1004: BIORETENTION FOR INFILTRATION AND THESE SPECIFICATIONS.
2. ENGINEERED SOIL MIX SHALL CONSIST OF A MIX OF 70 TO 85% SAND AND 15 TO 30% COMPOST BASED ON VOLUME. SAND SHALL MEET THE REQUIREMENTS FOR FINE AGGREGATE SAND SPECIFIED SECTION 501.2.5.3.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION OR MEET ASTM C33 (FINE AGGREGATE CONCRETE SAND).
3. PRIOR TO PLACEMENT IN THE BIOFILTRATION BASIN, THE ENGINEERED SOIL SHALL BE PREMIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.
4. THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.
5. ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER ONE INCH IN DIAMETER. NO OTHER MATERIALS SHALL BE MIXED WITH THESE PLANTING SOIL THAT MAY BE HARMFUL TO PLANT GROWTH OR BE A HINDRANCE TO PLANTING OR MAINTENANCE.
6. ENGINEERED SOIL AND GRAVEL SHALL BE IN ACCORDANCE WITH THE LATEST WDNr TECHNICAL STANDARD 1004.
7. PEA GRAVEL SHALL BE GRADED SUCH THAT MINIMUM PARTICLE SIZE IS LARGE ENOUGH TO PREVENT FALLING THROUGH PERFORATIONS OF THE UNDERDRAIN PIPE.
8. BIOFILTRATION BASIN DRAIN PIPE: 6-INCH SCHEDULE 40 PVC PIPE MEETING PERFORATION REQUIREMENTS OF AASHTO M278 HIGHWAY UNDERDRAIN SPECIFICATIONS WITH 3/8" PERFORATIONS ON 6" CENTERS WITH 4 HOLES PER ROW.
9. BEEHIVE INLET: NEENAH R-256I, OR EQUAL
10. RISER STRUCTURE: 36" DIAMETER PRECAST CATCH BASIN STRUCTURE WITH 24" TOP OPENING TO ACCOMMODATE BEEHIVE INLET. IN GENERAL ACCORDANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
11. GRAVEL STORAGE LAYER (IF INDICATED ON PLANS): COURSE AGGREGATE #2 IN ACCORDANCE WITH SECTION 501.2.5.4.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
12. FILTER FABRIC: GEOTEXTILE FABRIC IN ACCORDANCE WITH SECTION 645.2.2.4 OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
13. EXCAVATE TO GRADES AS INDICATED ON PLANS.
14. CONSTRUCT TEMPORARY DIVERSION SWALES OR PROVIDE OTHER MEANS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS, AND RUNOFF FROM PVIOUS AREAS WHICH HAVE NOT YET BEEN STABILIZED, FROM ENTERING THE BIORETENTION AREA.
15. CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.
16. COMPACTION AND SMEARING OF THE ENGINEERED SOIL AND TOP SOIL BENEATH THE FLOORS, IN THE SOIL PLANTING BED, AND THE SIDE SLOPES OF THE BASIN, AND COMPACTION OF THE ENGINEERED SOILS IN THE BASIN SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIOFILTRATION BASIN SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIOFILTRATION BASIN INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TYPE TIRES, MARSH EQUIPMENT OR WIDE-TRACK LOADERS.
17. IF COMPACTION OCCURS AT THE BASE OF THE BIOFILTRATION BASIN, THE SOIL SHALL BE REFRACTURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
18. STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDING DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE UTILIZED.
19. ANY SEDIMENT ACCUMULATED IN THE BASIN DUE TO CONSTRUCTION ACTIVITIES SHOULD BE REMOVED AND THE ENGINEERED SOIL SHALL BE DEEP TILLED PRIOR TO PLANTING.
20. IMPERVIOUS LINER SHALL BE 45 MIL FIRESTONE EPDM (GSI PRODUCTS), OR 30 MIL PVC (GSI PRODUCTS), OR EQUAL.



BADAX 8240 OLD LOOMIS RD FRANKLIN, WI SPECIFICATIONS

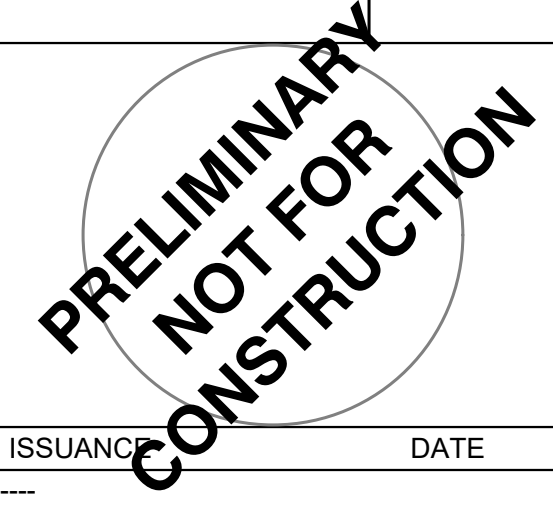
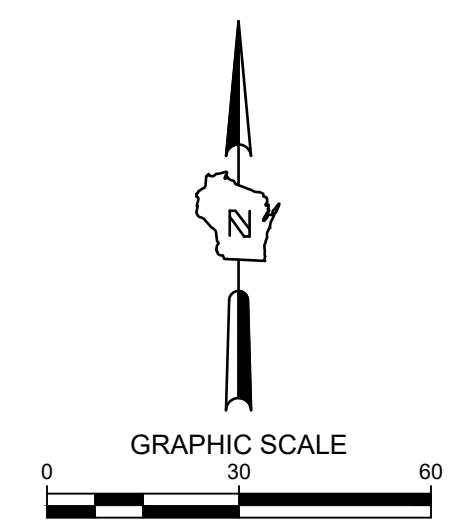
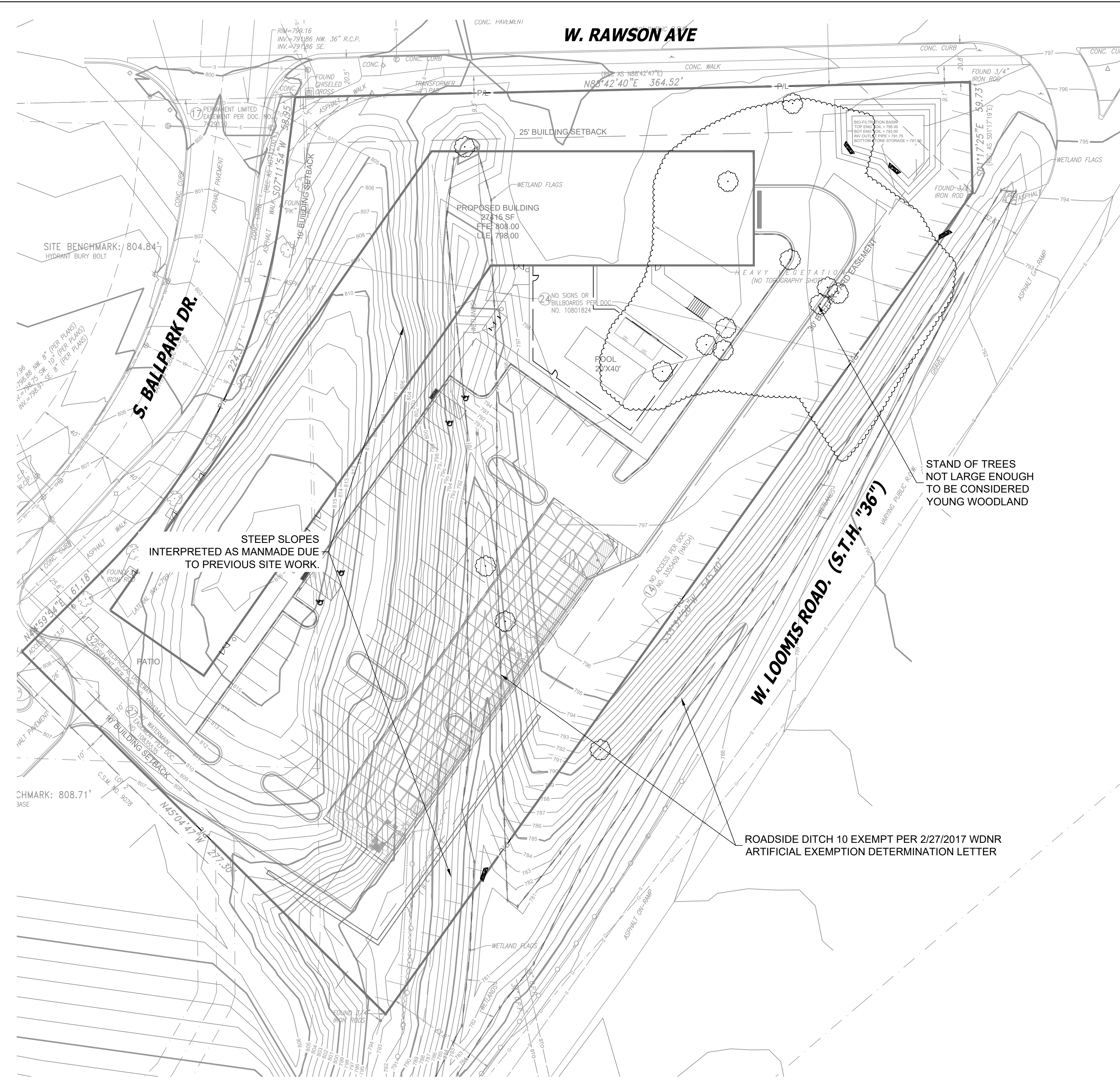


Table with 2 columns: ISSUANCE, DATE. Row 1: CITY RESUBMITAL, 04/07/2023

Table with 2 columns: NO. REVISION, DATE. Multiple empty rows.

Table with 2 columns: SCALE, PROJECT NO, DESIGN DATE, PLOT DATE, DRAWN BY, CHECKED BY, APPROVED BY, SHEET NO. Values: NTS, 21234, ---, 2023.04.07, ---, ---, ---

C501



CITY OF FRANKLIN - NATURAL RESOURCE FEATURES - STANDARDS

	AGRICULTURAL DISTRICT	RESIDENTIAL DISTRICT	NON RESIDENTIAL DISTRICT	ACRES OF LAND IN RESOURCE FEATURE AREA	ACRES OF LAND TO BE IMPACTED BY DEVELOPMENT	ACRES OF LAND TO BE MITIGATED (REQUIRED/PROPOSED)
STEEP SLOPES: 10-19% 20-30% 30%+	0% 65% 90%	60% 75% 85%	40% 70% 80%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
WOODLANDS & FORESTS MATURE YOUNG	70% 50%	70% 50%	70% 50%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
WETLANDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
WETLAND BUFFERS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
SHORELAND WETLANDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
LAKES & PONDS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
STREAMS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
SHORE BUFFER	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
FLOOD-PLAINS/FLOOD-WAYS	100%	100%	100%	0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)
TOTAL RESOURCE PROTECTION LAND = (TOTAL ACRES OF LAND IN EACH RESOURCE TO BE PROTECTED)				0.00 ACRES	0.00 ACRES	(0.00 AC / 0.00 AC)

BADAX
 8240 OLD LOOMIS RD
 FRANKLIN, WI
 NATURAL RESOURCE PROTECTION PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE DATE	
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

NATURAL RESOURCE FEATURE AREAS

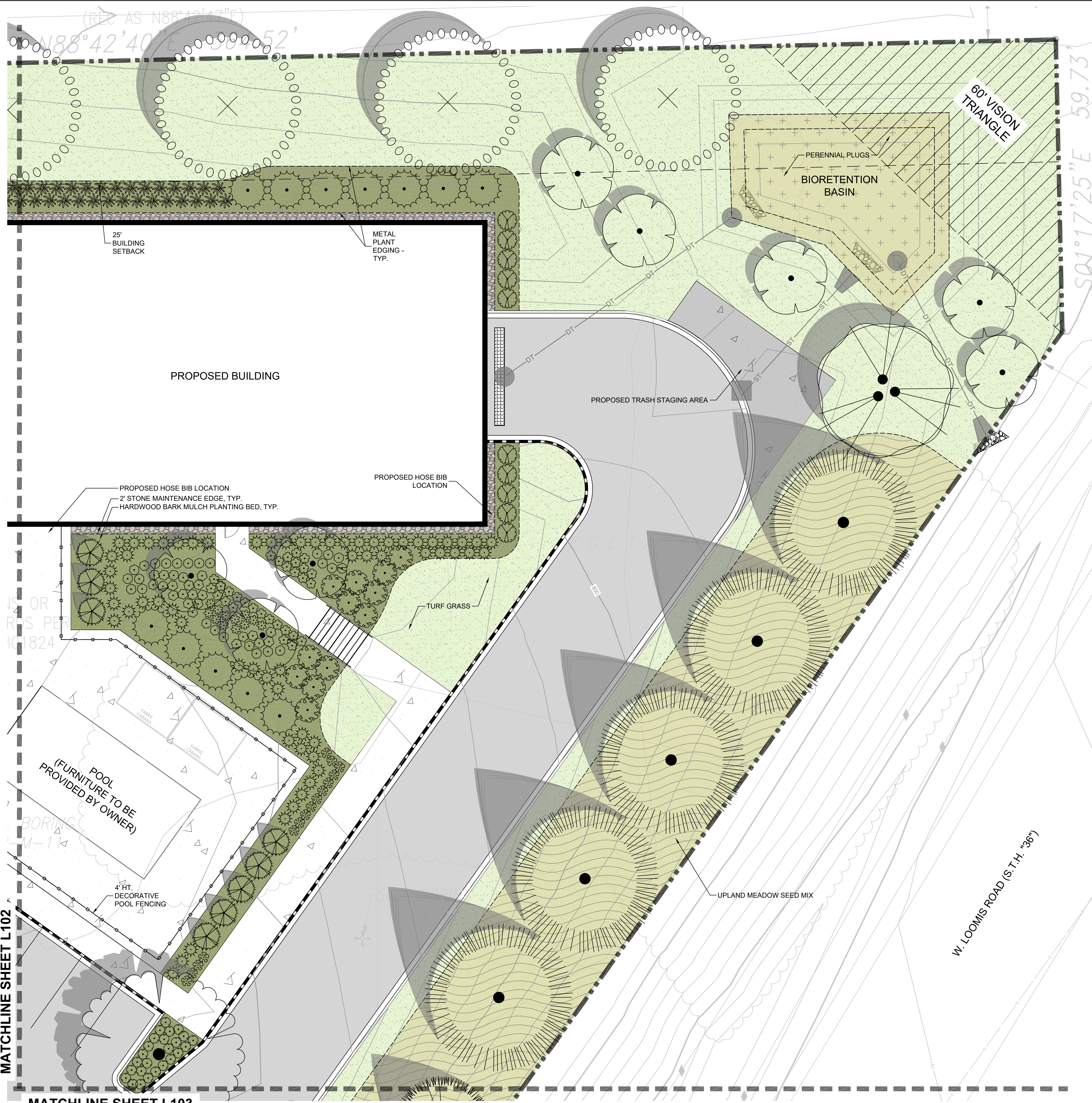
RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER	WETLAND SETBACK	**STEEP SLOPES: 10-19%	**STEEP SLOPES: 20-30%	**STEEP SLOPES: 30%+
TOTAL AREA:	0 AC (0%)	0 AC (0%)	0 AC (0%)	0 AC (0%)	0 AC (0%)	0 AC (0%)	0 AC (0%)	0 AC (0%)
AREA TO BE DISTURBED: (TEMPORARY)	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF
AREA TO BE DISTURBED: (IMPERVIOUS)	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF

TOTAL PROJECT AREA: (3.11 ACRES)

NATURAL RESOURCE MITIGATION AREAS

RESOURCE TYPE:	MATURE WOODLANDS	YOUNG WOODLANDS	WETLANDS	WETLAND BUFFER
AREA DISTURBED	0 SF (0 AC) (0%)	0 SF (0 AC) (0%)	0 SF (0 AC) (0%)	0 SF (0 AC) (0%)
MITIGATION RATIO	1.25 : 1.00	1.25 : 1.00	1.50 : 1.00	1.50 : 1.00
MITIGATION AREA REQUIRED	0 SF	0 SF	0 SF	0 SF
MITIGATION AREA PROVIDED	0 SF	0 SF	0 SF	0 SF

*WETLAND EXEMPT PER 2/27/2017 WDNR ARTIFICIAL EXEMPTION DETERMINATION LETTER
 **STEEP SLOPES ARE PRIMARILY MAN-MADE AND THEREFORE EXCLUDED FROM THE CALCULATIONS



LANDSCAPE LEGEND:

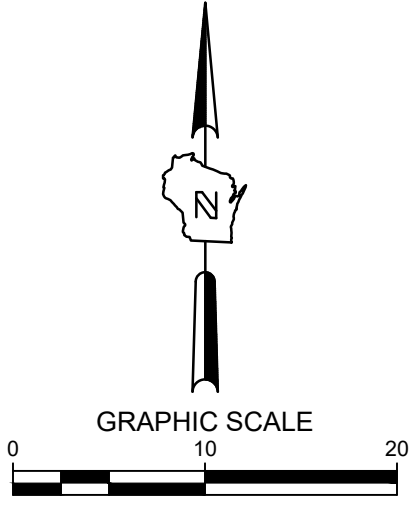
- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- DECORATIVE STONE MULCH
- UPLAND MEADOW SEED MIX
- PERENNIAL PLUGS
- SNOW STORAGE
- PLANT EDGING
- PROPERTY LINE
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE TO BE TRANSPLANTED
- EXISTING TREE TRANSPLANT LOCATION

PLANT KEY

DECIDUOUS TREES	BOTANICAL / COMMON NAME
	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple
	Gleditsia triacanthos inermis / Thornless Honey Locust
	Tilia americana 'Redmond' / Redmond American Linden
	Ulmus x 'Morton' / Accolade™ Elm
EVERGREEN TREES	BOTANICAL / COMMON NAME
	Juniperus chinensis 'Fairview' / Fairview Juniper
	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper
	Picea glauca / White Spruce
	Pinus strobus / White Pine
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	Amelanchier x grandiflora / Apple Serviceberry
	Cercis canadensis / Eastern Redbud
	Malus x 'Purple Prince' / Purple Prince Crabapple
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME
	Diervilla lonicera / Dwarf Bush Honeysuckle
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea
	Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea
	Hydrangea paniculata 'Zwijnenburg' / Zwijnenburg Panicle Hydrangea
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
	Spiraea betulifolia 'Tor' / White Frost™ Birchleaf Spirea
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
	Taxus x media 'Tauntonii' / Tauntoni's Anglo-Japanese Yew
	Thuja occidentalis 'Techny' / Techny Arborvitae
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass
	Panicum virgatum 'Northwind' / Northwind Switch Grass
	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed
PERENNIALS	BOTANICAL / COMMON NAME
	Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed
	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower
	Hemerocallis x 'Happy Returns' / Happy Returns Daylily
	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint
	Rudbeckia fulgida / Coneflower
	Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage
	Sedum x 'Matrona' / Matrona Sedum

SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesignmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

LAND by LABEL
 DEVELOPMENT CO.
 7044 South Ballpark Drive
 Franklin, WI 53132
 Phone: 414-285-3470



BADAX
 8240 OLD LOOMIS RD
 FRANKLIN, WI
 LANDSCAPE ENLARGEMENT

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	2023.04.07
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	L101



LANDSCAPE LEGEND:

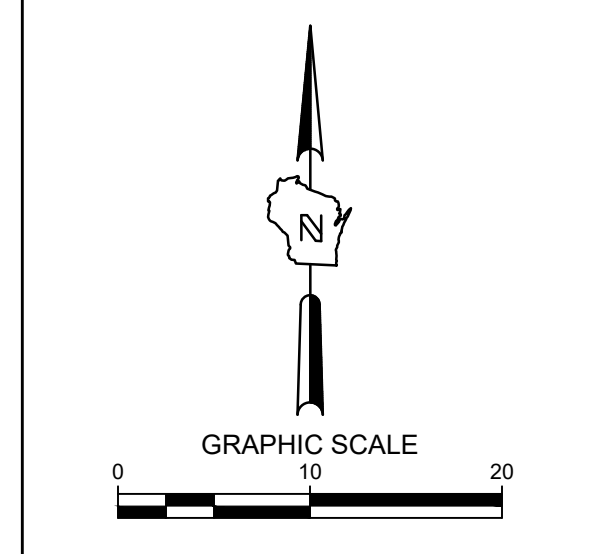
- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- DECORATIVE STONE MULCH
- UPLAND MEADOW SEED MIX
- PERENNIAL PLUGS
- SNOW STORAGE
- PLANT EDGING
- PROPERTY LINE
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE TO BE TRANSPLANTED
- EXISTING TREE TRANSPLANT LOCATION

PLANT KEY

- | DECIDUOUS TREES | BOTANICAL / COMMON NAME |
|--------------------|---|
| | Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple |
| | Gleditsia triacanthos inermis / Thornless Honey Locust |
| | Tilia americana 'Redmond' / Redmond American Linden |
| | Ulmus x 'Morton' / Accolade™ Elm |
| EVERGREEN TREES | BOTANICAL / COMMON NAME |
| | Juniperus chinensis 'Fairview' / Fairview Juniper |
| | Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper |
| | Picea glauca / White Spruce |
| | Pinus strobus / White Pine |
| ORNAMENTAL TREES | BOTANICAL / COMMON NAME |
| | Amelanchier x grandiflora / Apple Serviceberry |
| | Cercis canadensis / Eastern Redbud |
| | Malus x 'Purple Prince' / Purple Prince Crabapple |
| DECIDUOUS SHRUBS | BOTANICAL / COMMON NAME |
| | Diervilla lonicera / Dwarf Bush Honeysuckle |
| | Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea |
| | Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea |
| | Hydrangea paniculata 'Zwijenburg' / Zwijenburg Panicle Hydrangea |
| | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac |
| | Spiraea betulifolia 'Tor' / White Frost™ Birchleaf Spirea |
| EVERGREEN SHRUBS | BOTANICAL / COMMON NAME |
| | Taxus x media 'Tauntonii' / Tauntoni's Anglo-Japanese Yew |
| | Thuja occidentalis 'Techny' / Techny Arborvitae |
| ORNAMENTAL GRASSES | BOTANICAL / COMMON NAME |
| | Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass |
| | Panicum virgatum 'Northwind' / Northwind Switch Grass |
| | Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass |
| | Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed |
| PERENNIALS | BOTANICAL / COMMON NAME |
| | Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed |
| | Echinacea purpurea 'Magnus' / Magnus Purple Coneflower |
| | Hemerocallis x 'Happy Returns' / Happy Returns Daylily |
| | Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint |
| | Rudbeckia fulgida / Coneflower |
| | Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage |
| | Sedum x 'Matrona' / Matrona Sedum |

SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

LAND by LABEL
 DEVELOPMENT CO.
 7044 South Ballpark Drive
 Franklin, WI 53132
 Phone: 414-285-3470



BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
LANDSCAPE ENLARGEMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	L102

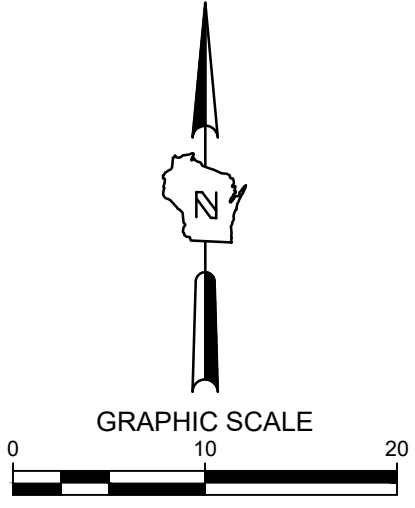


LANDSCAPE LEGEND:

- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- DECORATIVE STONE MULCH
- UPLAND MEADOW SEED MIX
- PERENNIAL PLUGS
- SNOW STORAGE
- PLANT EDGING
- PROPERTY LINE
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE TO BE TRANSPLANTED
- EXISTING TREE TRANSPLANT LOCATION

PLANT KEY

DECIDUOUS TREES	BOTANICAL / COMMON NAME
	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple
	Gleditsia triacanthos inermis / Thornless Honey Locust
	Tilia americana 'Redmond' / Redmond American Linden
	Ulmus x 'Morton' / Accolade™ Elm
EVERGREEN TREES	BOTANICAL / COMMON NAME
	Juniperus chinensis 'Fairview' / Fairview Juniper
	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper
	Picea glauca / White Spruce
	Pinus strobus / White Pine
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	Amelanchier x grandiflora / Apple Serviceberry
	Cercis canadensis / Eastern Redbud
	Malus x 'Purple Prince' / Purple Prince Crabapple
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME
	Diervilla lonicera / Dwarf Bush Honeysuckle
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea
	Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea
	Hydrangea paniculata 'Zwijenburg' / Zwijenburg Panicle Hydrangea
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
	Spiraea betulifolia 'Tor' / White Frost™ Birchleaf Spirea
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
	Taxus x media 'Tauntonii' / Taunton's Anglo-Japanese Yew
	Thuja occidentalis 'Tehny' / Tehny Arborvitae
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass
	Panicum virgatum 'Northwind' / Northwind Switch Grass
	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed
PERENNIALS	BOTANICAL / COMMON NAME
	Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed
	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower
	Hemerocallis x 'Happy Returns' / Happy Returns Daylily
	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint
	Rudbeckia fulgida / Coneflower
	Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage
	Sedum x 'Matrona' / Matrona Sedum



BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
LANDSCAPE ENLARGEMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023

NO. REVISION	DATE

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	L103



LANDSCAPE LEGEND:

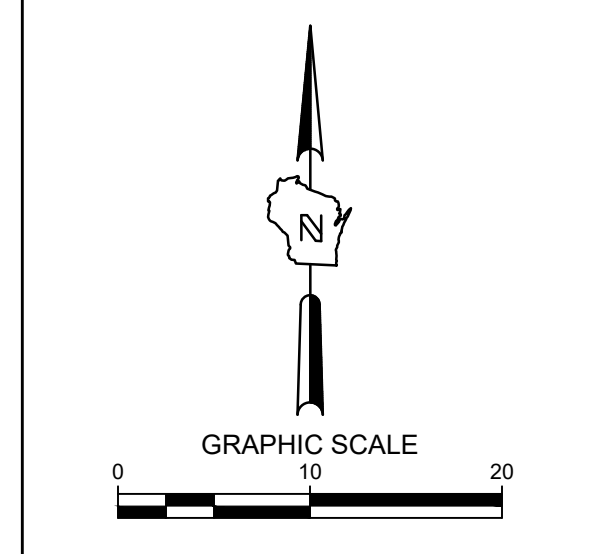
- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- DECORATIVE STONE MULCH
- UPLAND MEADOW SEED MIX
- PERENNIAL PLUGS
- SNOW STORAGE
- PLANT EDGING
- PROPERTY LINE
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE TO BE TRANSPLANTED
- EXISTING TREE TRANSPLANT LOCATION

PLANT KEY

DECIDUOUS TREES		BOTANICAL / COMMON NAME	
	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple		Juniperus chinensis 'Fairview' / Fairview Juniper
	Gleditsia triacanthos inermis / Thornless Honey Locust		Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper
	Tilia americana 'Redmond' / Redmond American Linden		Picea glauca / White Spruce
	Ulmus x 'Morton' / Accolade™ Elm		Pinus strobus / White Pine
EVERGREEN TREES		BOTANICAL / COMMON NAME	
	Juniperus chinensis 'Fairview' / Fairview Juniper		Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper
	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper		Picea glauca / White Spruce
	Picea glauca / White Spruce		Pinus strobus / White Pine
	Pinus strobus / White Pine		Amelanchier x grandiflora / Apple Serviceberry
ORNAMENTAL TREES		BOTANICAL / COMMON NAME	
	Amelanchier x grandiflora / Apple Serviceberry		Cercis canadensis / Eastern Redbud
	Cercis canadensis / Eastern Redbud		Malus x 'Purple Prince' / Purple Prince Crabapple
	Malus x 'Purple Prince' / Purple Prince Crabapple		
DECIDUOUS SHRUBS		BOTANICAL / COMMON NAME	
	Diervilla lonicera / Dwarf Bush Honeysuckle		Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea		Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea
	Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea		Hydrangea paniculata 'Zwijnenburg' / Zwijnenburg Panicle Hydrangea
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac		Spiraea betulifolia 'Tor' / White Frost™ Birchleaf Spirea
	Spiraea betulifolia 'Tor' / White Frost™ Birchleaf Spirea		
EVERGREEN SHRUBS		BOTANICAL / COMMON NAME	
	Taxus x media 'Tauntonii' / Taunton's Anglo-Japanese Yew		Thuja occidentalis 'Techny' / Techny Arborvitae
	Thuja occidentalis 'Techny' / Techny Arborvitae		
ORNAMENTAL GRASSES		BOTANICAL / COMMON NAME	
	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass		Panicum virgatum 'Northwind' / Northwind Switch Grass
	Panicum virgatum 'Northwind' / Northwind Switch Grass		Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass		Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed
	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed		
PERENNIALS		BOTANICAL / COMMON NAME	
	Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed		Echinacea purpurea 'Magnus' / Magnus Purple Coneflower
	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower		Hemerocallis x 'Happy Returns' / Happy Returns Daylily
	Hemerocallis x 'Happy Returns' / Happy Returns Daylily		Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint
	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint		Rudbeckia fulgida / Coneflower
	Rudbeckia fulgida / Coneflower		Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage
	Salvia nemorosa 'East Friesland' / East Friesland Meadow Sage		Sedum x 'Matrona' / Matrona Sedum
	Sedum x 'Matrona' / Matrona Sedum		

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

LAND by LABEL
 DEVELOPMENT CO.
 7044 South Ballpark Drive
 Franklin, WI 53132
 Phone: 414-285-3470



BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
LANDSCAPE ENLARGEMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023
---	---
---	---

NO. REVISION	DATE
---	---
---	---
---	---

SCALE:	1"=10'
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	

L104

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

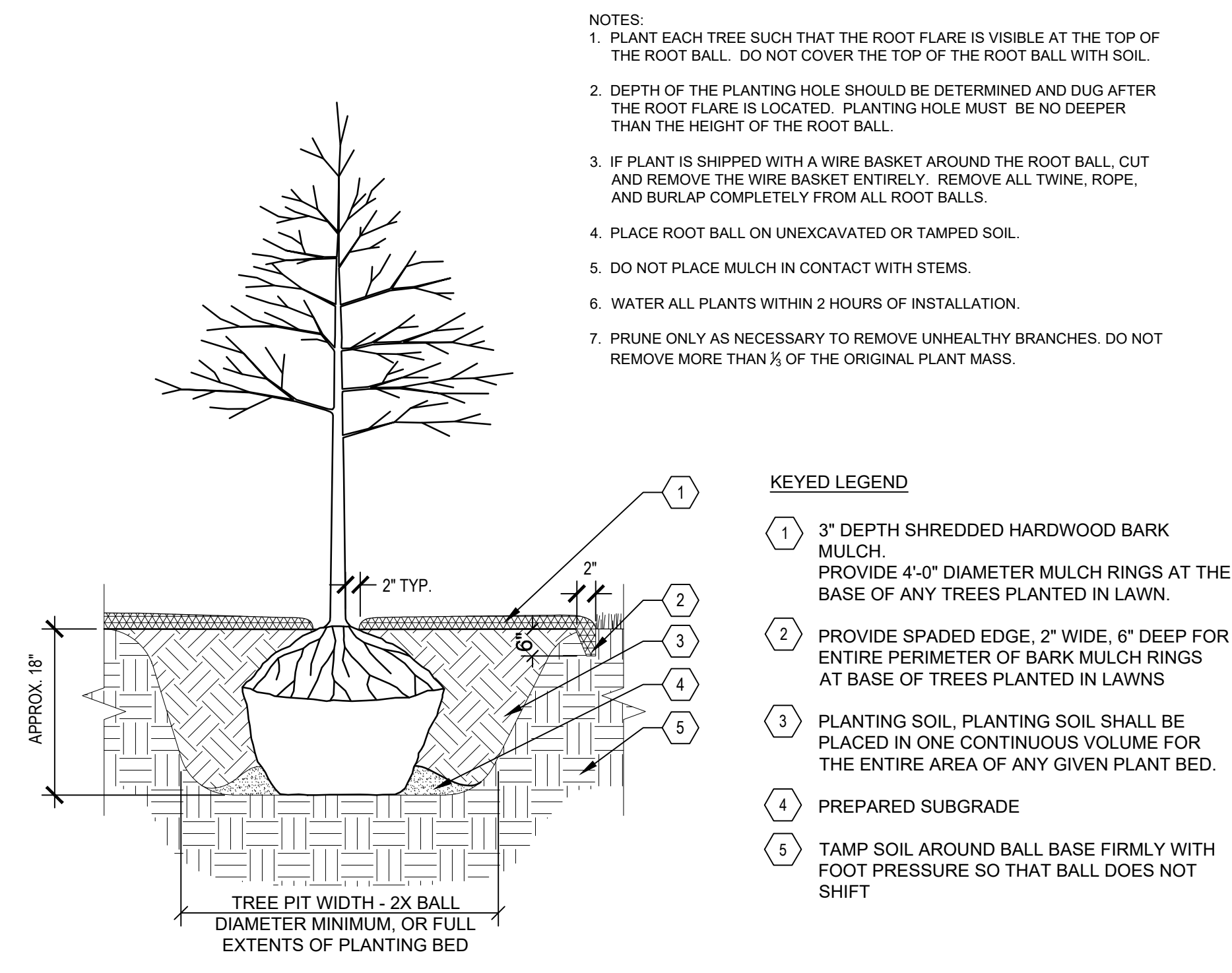
ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023
----	----
----	----

NO. REVISION	DATE
----	----
----	----
----	----

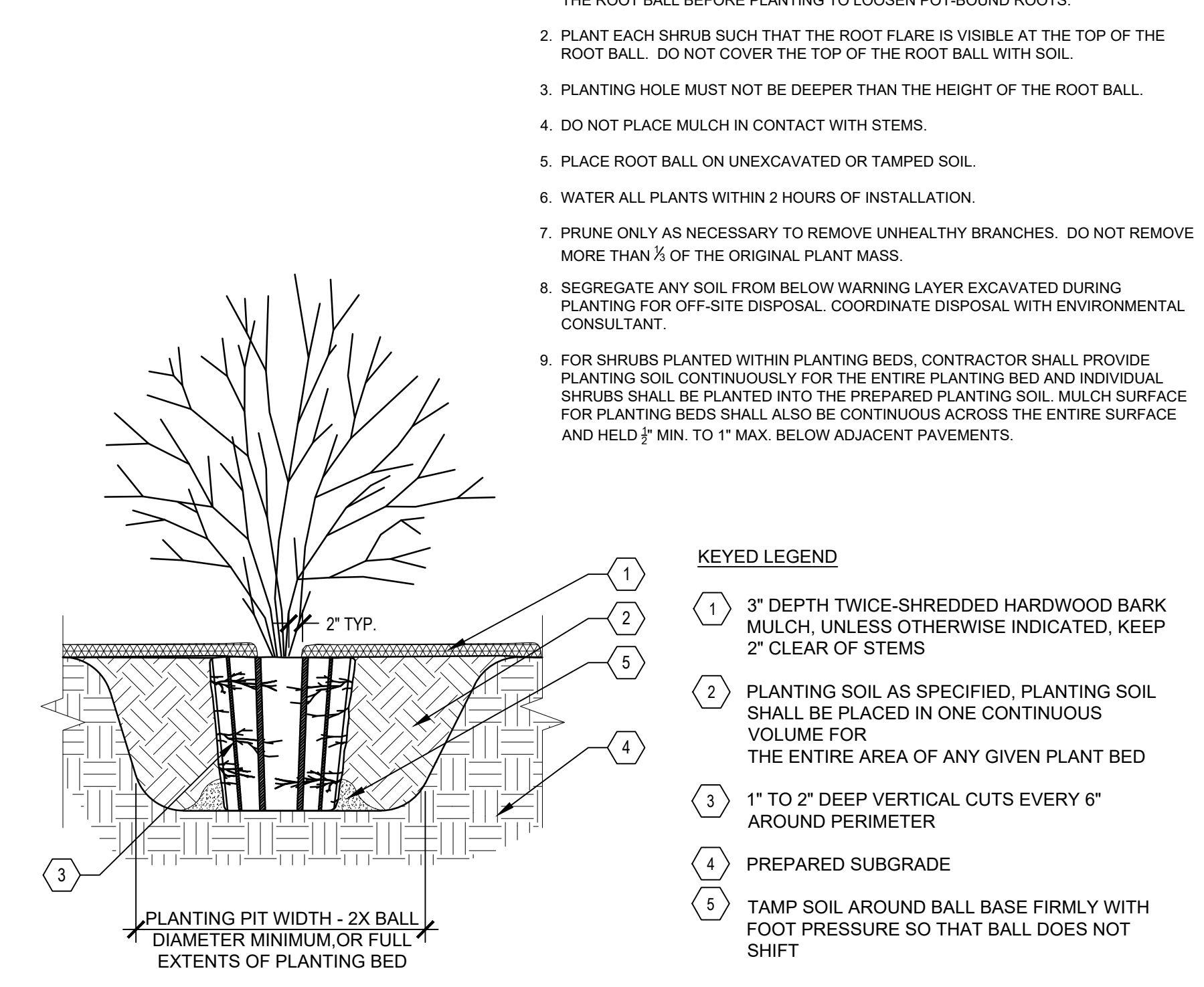
SCALE:	
PROJECT NO:	21234
DESIGN DATE:	----
PLOT DATE:	2023.04.07
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	

L200

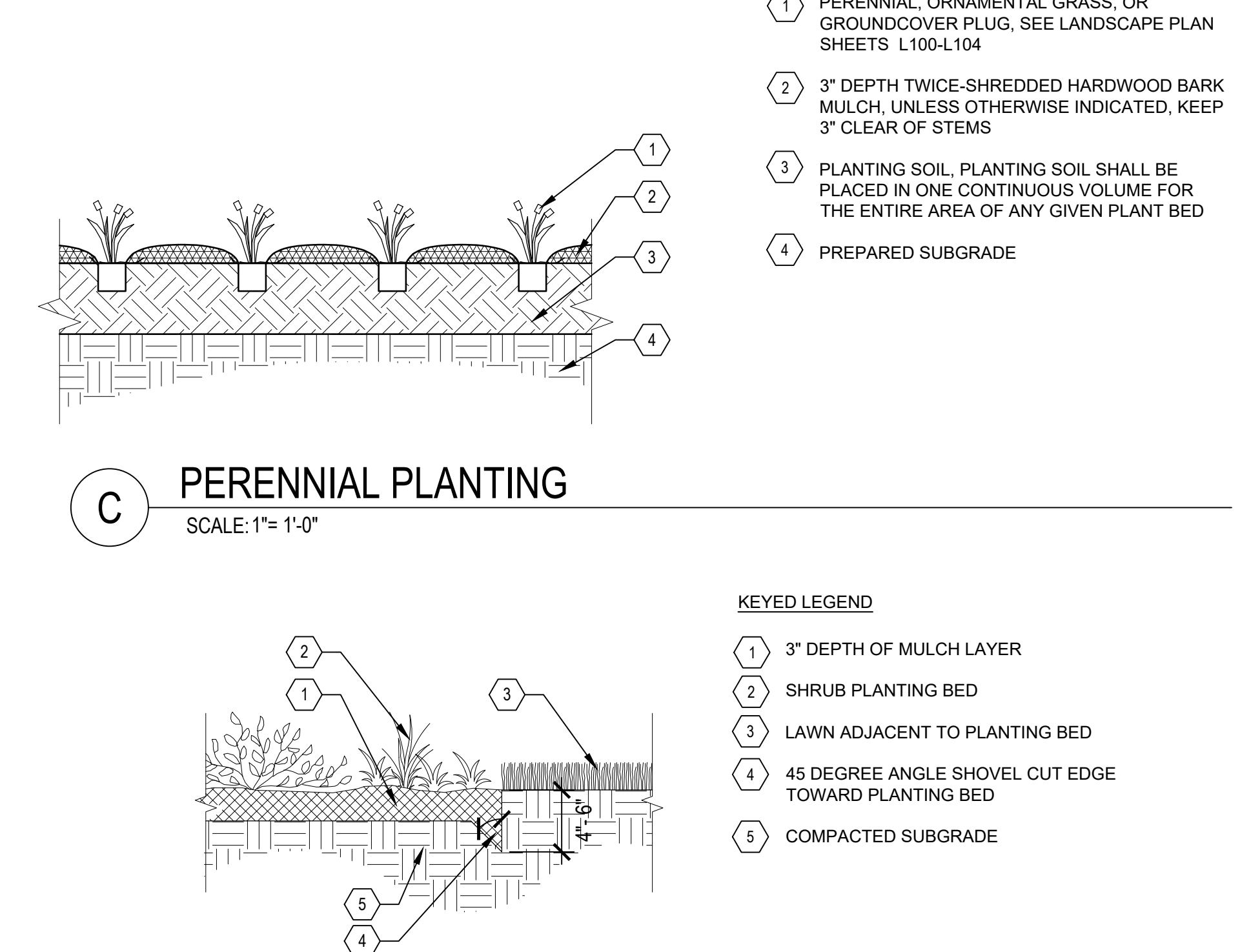
A TREE PLANTING
 SCALE: 1"= 1'-0"



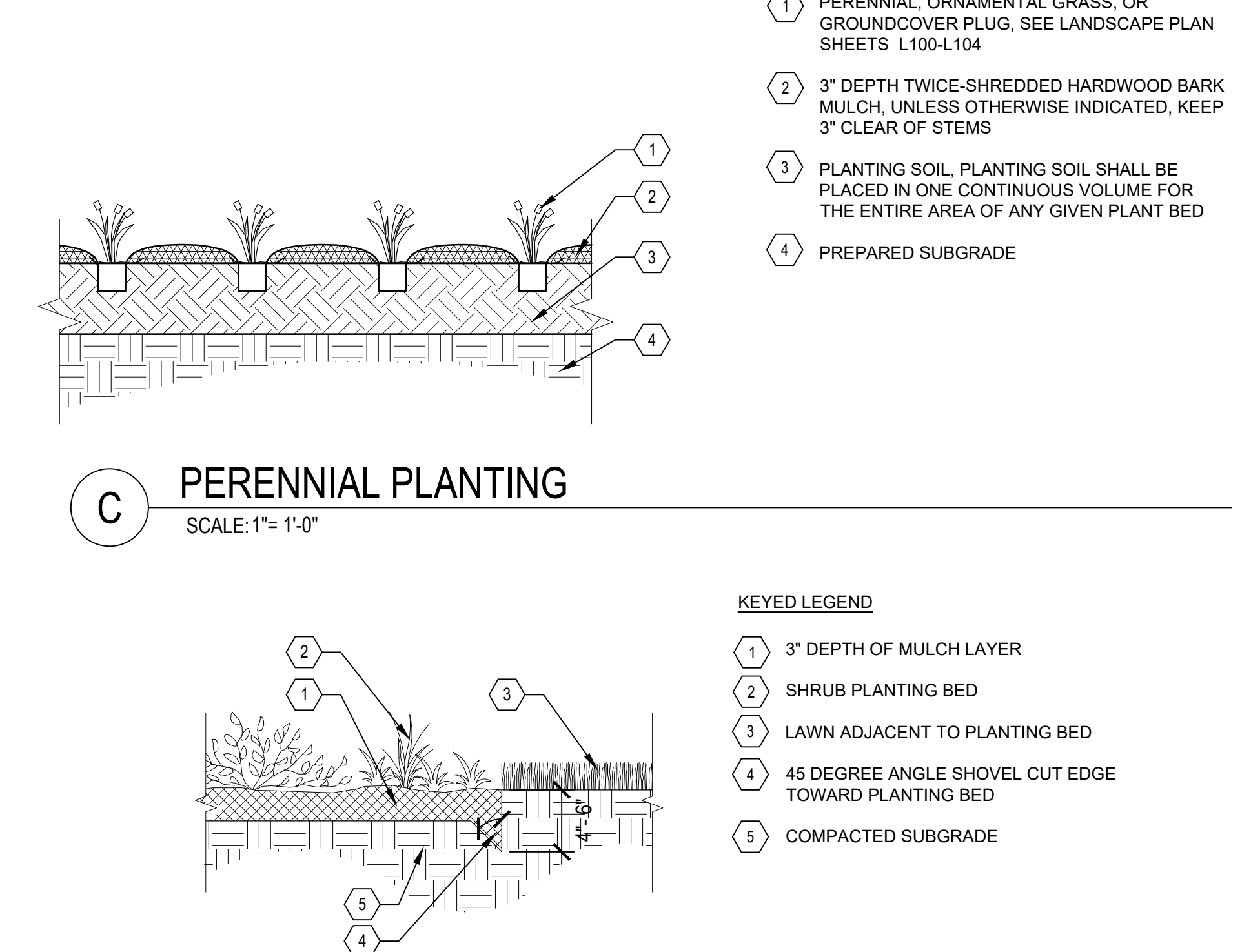
B SHRUB PLANTING
 SCALE: 1"= 1'-0"



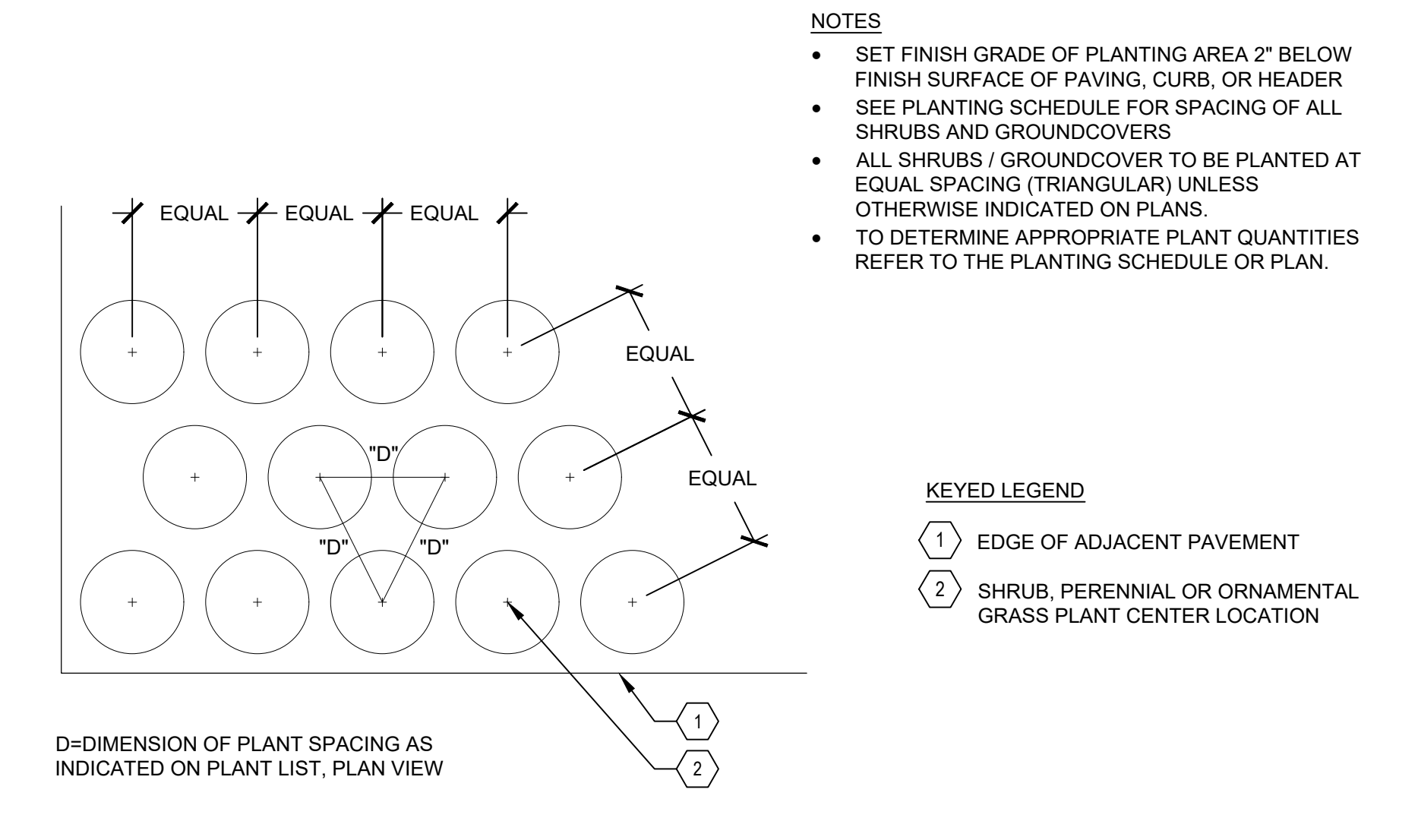
C PERENNIAL PLANTING
 SCALE: 1"= 1'-0"



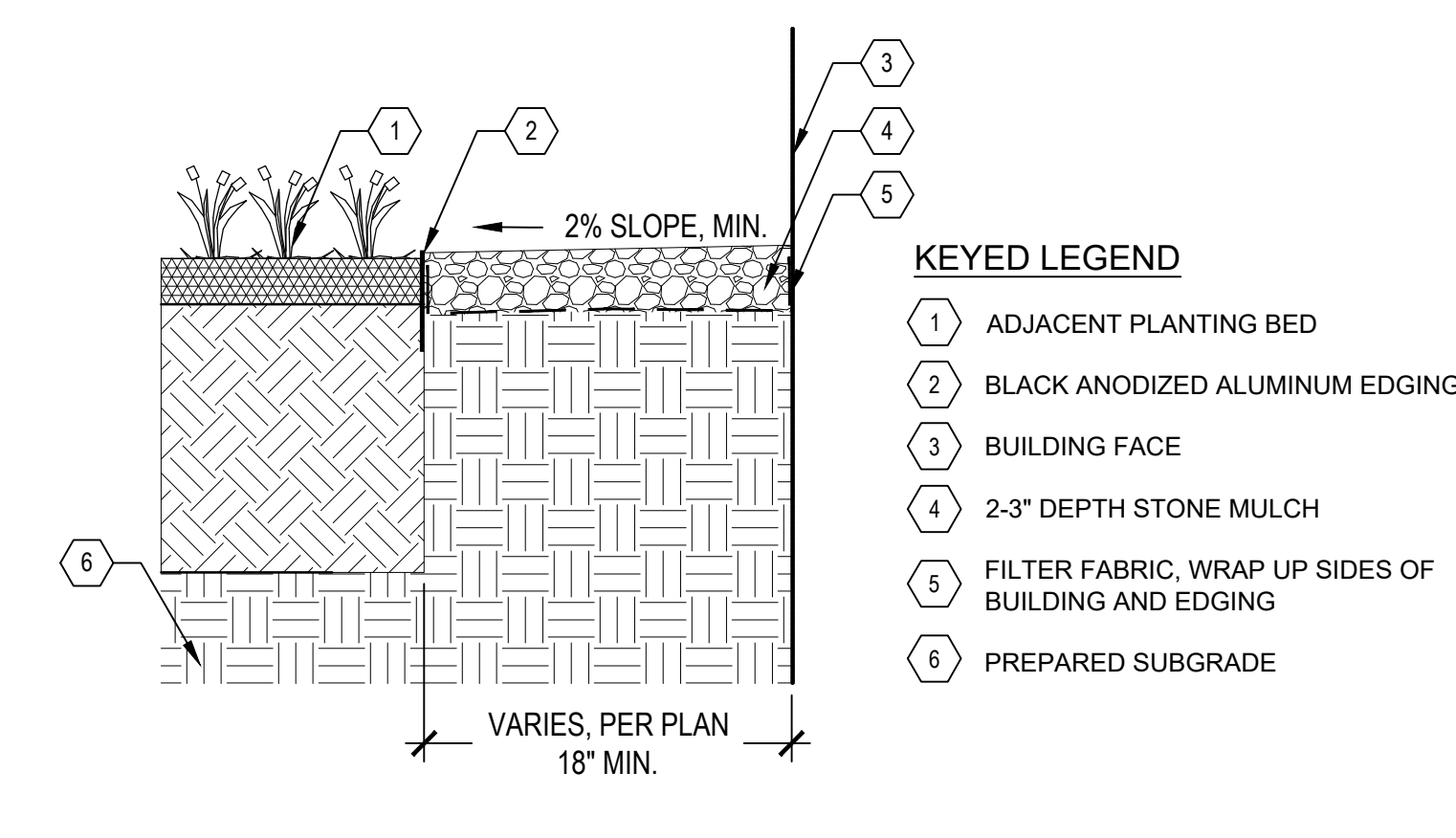
D SHOVEL CUT EDGE
 SCALE: 1"= 1'-0"



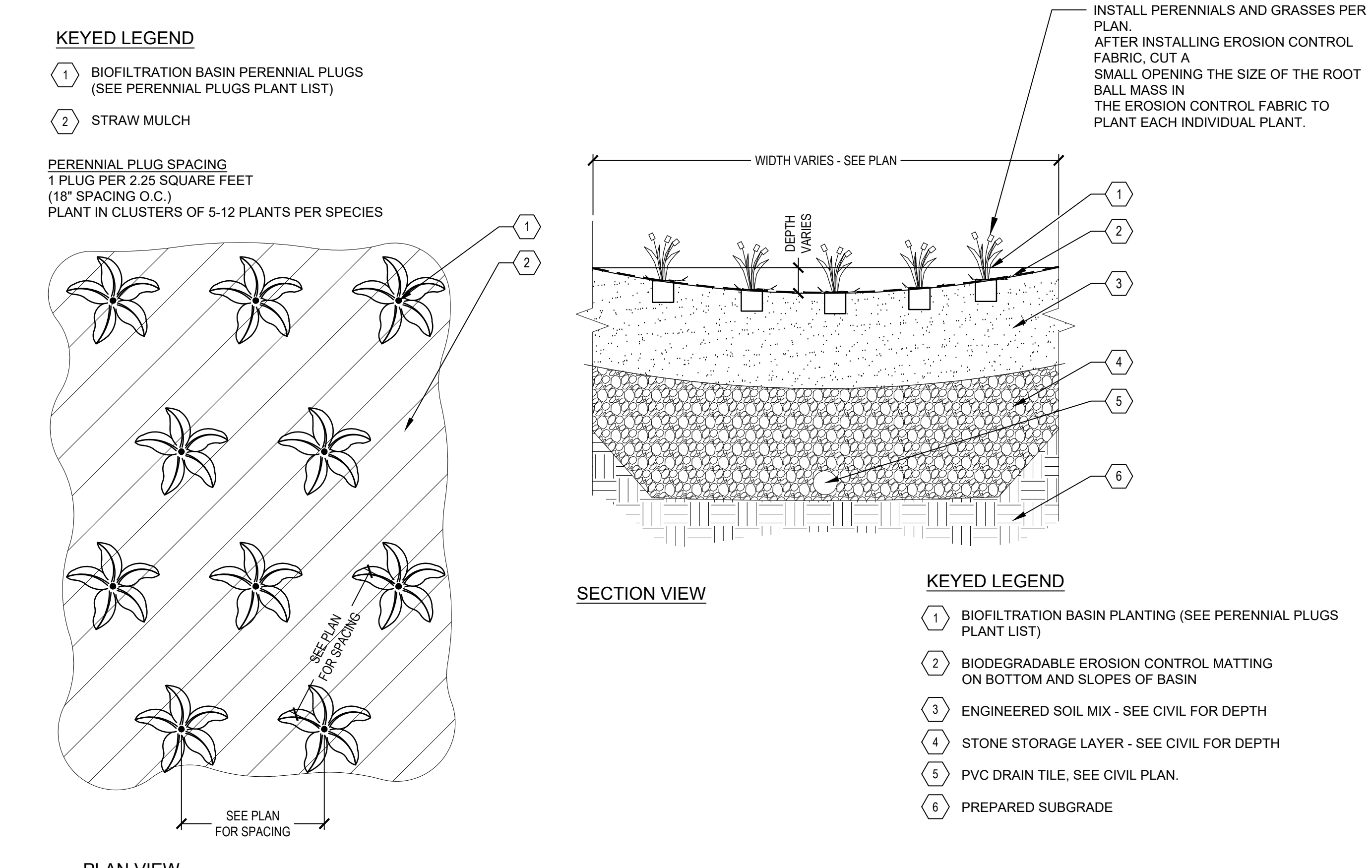
E PLANT SPACING
 SCALE: 1"= 1'-0"



F STONE MAINTENANCE STRIP
 SCALE: 1"= 1'-0"

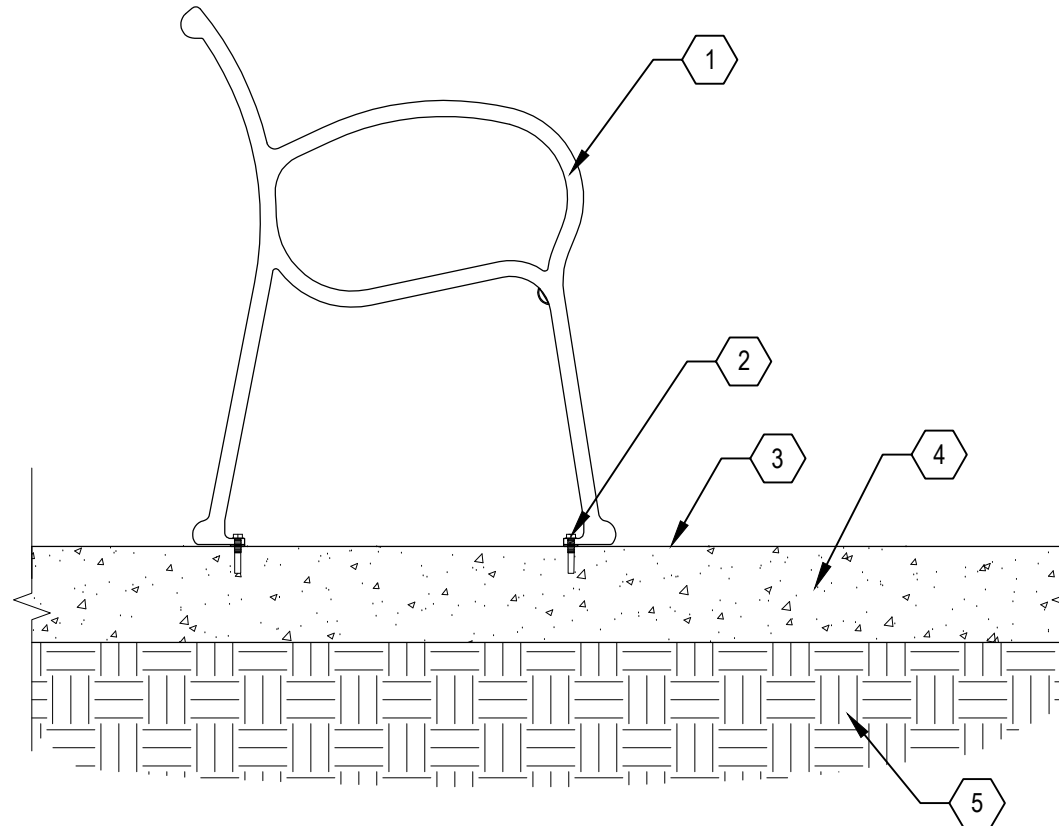


G BIORETENTION BASIN PLANTING
 SCALE: 1"= 1'-0"



NOTES

1. CONTRACTOR TO VERIFY FINAL LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. PAINT ALL HARDWARE TO MATCH BENCH COLOR.
3. BASIS OF DESIGN: 72" BACKED LILY BENCH WITH HORIZONTAL STEEL SLAT SEATING, BY VICTOR STANLEY, GREY, SURFACE MOUNT.
4. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
5. CONTRACTOR TO VERIFY FINAL LOCATION OF BENCHES AND ASSOCIATED CONCRETE PADS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



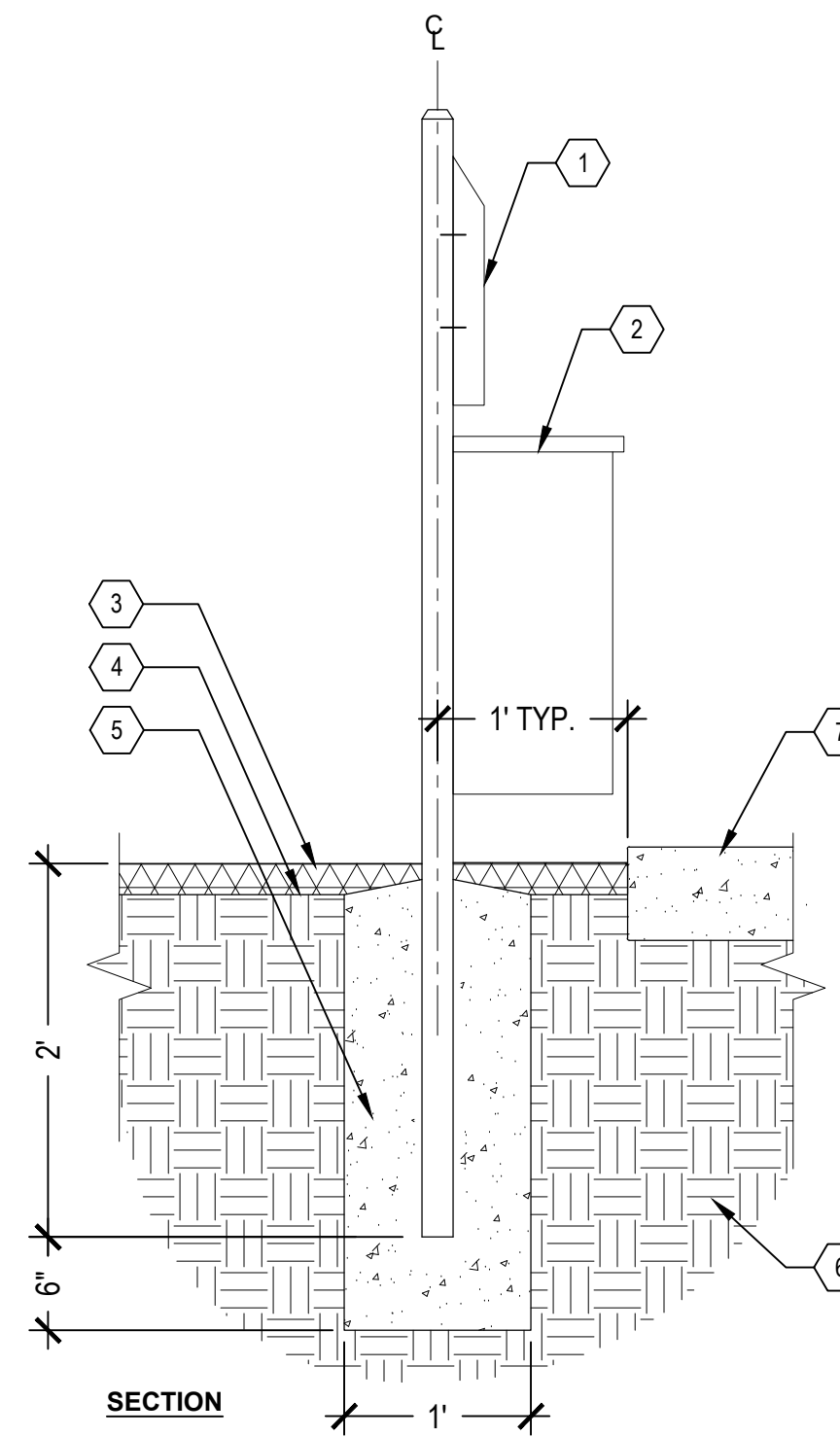
KEYED LEGEND

- 1 LANDSCAPE BENCH
- 2 SURFACE MOUNT INSTALLATION, ANCHORED WITH ITT RAMSET/RED HEAD SRM 38 STAINLESS STEEL DROP-IN ANCHOR, 3/8" x 3" STAINLESS STEEL HEX BOLTS WITH 3/8" STAINLESS STEEL FLAT WASHER AND LOCK WASHER
- 3 FINISH SURFACE
- 4 CONCRETE PAVING, SEE CIVIL
- 5 COMPACTED SUBGRADE, SEE CIVIL

A BENCH
 SCALE: NTS

KEYED LEGEND:

- 1 WASTE BAG DISPENSER
- 2 WASTE RECEPTACLE WITH LID
- 3 BARK MULCH LAYER - REFER TO SPECIFICATIONS
- 4 FINISH GRADE
- 5 CONCRETE FOOTING WITH 1/2" RADIUS SMOOTH EDGE, SLOPE TOP 2% TO DRAIN
- 6 SUBGRADE
- 7 ADJACENT PAVING - REFER TO CONSTRUCTION PLANS FOR SIGN LOCATIONS



NOTES

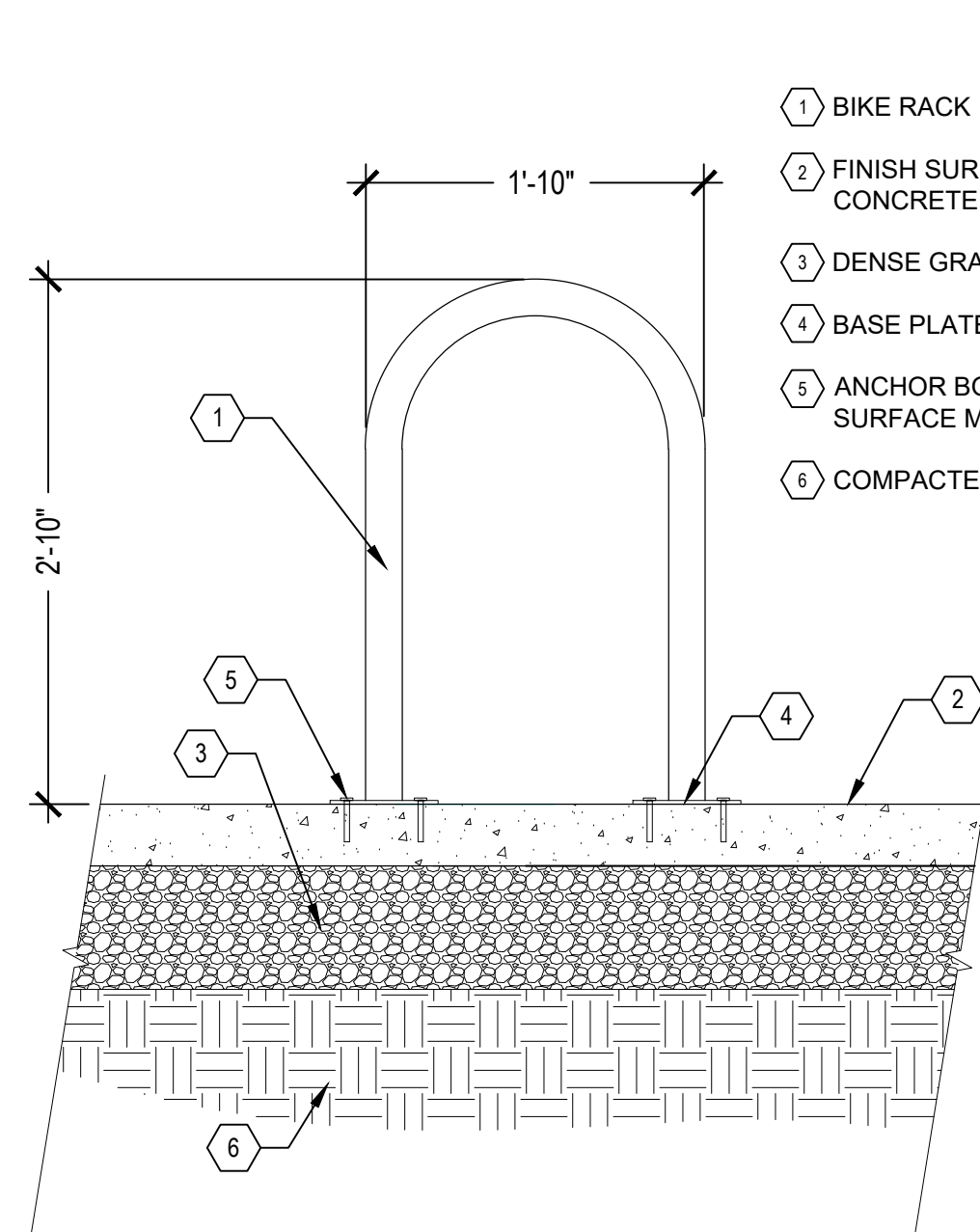
1. POST LOCATIONS TO BE STAKED IN THE FIELD PRIOR TO INSTALLATION. SEE L100-L104 FOR APPROXIMATE LOCATIONS
2. ALL HARDWARE AND FASTENERS TO BE PAINTED TO MATCH POST.

B DOG WASTE RECEPTACLE
 SCALE: NTS

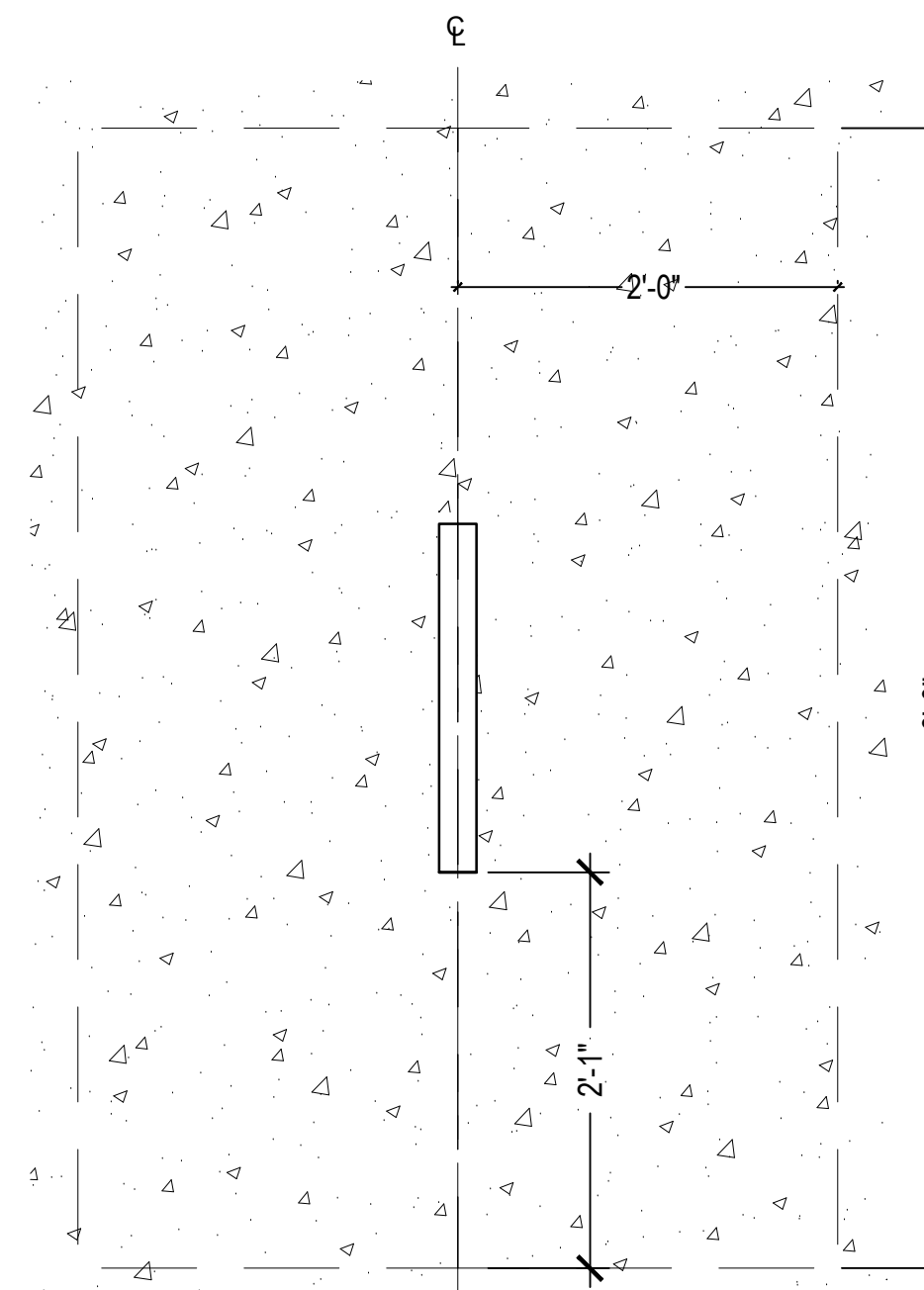
- 1 BIKE RACK
- 2 FINISH SURFACE OF CONCRETE PAVING
- 3 DENSE GRADED BASE
- 4 BASE PLATE
- 5 ANCHOR BOLTS FOR SURFACE MOUNT
- 6 COMPACTED SUBGRADE

NOTE:

1. BASIS OF DESIGN: 1 LOOP WAVE STYLE BIKE RACK AS MANUFACTURED BY ULINE
2. COLOR AND FINISH: GALVANIZED BLACK POWDER COAT
3. MOUNTING: SURFACE MOUNT.
4. INSTALL PRE MANUFACTURER'S RECOMMENDATION.
5. BIKE STALLS SHALL BE A MINIMUM OF 2' BY 6'. PLACEMENT SHALL NOT RESULT IN A BICYCLE OBSTRUCTING A WALKWAY.
6. RACKS SHALL BE SPACED MIN. 3'-0" APART & 3'-0" FROM EDGE OF PAVEMENT



SECTION VIEW - SURFACE MOUNT



PLAN VIEW

B BIKE RACK
 SCALE: NTS

BADAX
 8240 OLD LOOMIS RD
 FRANKLIN, WI
 LANDSCAPE DETAILS

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023
---	---
---	---

NO. REVISION	DATE
---	---
---	---
---	---
---	---

SCALE:	
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	

L201

PLANTING QUALITY ASSURANCE

- PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
- TREES:
 - SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED.
 - WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE, CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER 1/4" DIAMETER THAT ARE NOT COMPLETELY CALLEDUS WILL BE REJECTED.
 - SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.
 - BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.
- PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

PLANTING PROJECT CONDITIONS:

- VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- INTERRUPTION OF EXISTING SERVICES OR UTILITIES: DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED.
 - NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
 - DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
- PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:
 - DECIDUOUS TREES AND SHRUBS - APRIL 1 TO OCTOBER 15.
- WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECAST WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLACED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.
- EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
 - VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.
 - DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

PLANTING DELIVERY, STORAGE, & HANDLING:

- BULK MATERIALS;
 - DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
- HANDLE PLANTING STOCK BY ROOT BALL.
- DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
 - SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
 - WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.

EXCAVATION FOR TREES & SHRUBS

- EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.
 - EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.
 - DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
 - IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.
 - MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.
 - MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS.
 - KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
- SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.
- NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
- NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

TREE & SHRUB PLANTING

- BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
- REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.
- SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
 - USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.
 - CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
 - BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
 - CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

TREE & SHRUB MATERIAL:

- GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 3/8" IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - COLLECTED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.
 - PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS ACCEPTABLE.
- FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

- PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE
- INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 18" DEPTH.
 - DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
 - PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT), THOROUGHLY BLENDED PLANTING SOIL OFF-SITE BEFORE SPREADING.
 - THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.
 - STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%, VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

METAL EDGING

- STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING, FABRICATED IN STANDARD LENGTHS WITH INTERLOCKING SECTIONS WITH LOOPS STAMPED FROM FACE OF SECTIONS TO RECEIVE STAKES.
 - BASIS OF DESIGN: CLEANLINE XL BY PERMALOC OR APPROVED EQUAL.
 - EDGING SIZE: 3/16-INCH-WIDE BY 5 INCHES DEEP
 - STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.
 - FINISH: MILL (NATURAL ALUMINUM)
 - MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: CURV-RITE, INC., PERMALOC CORPORATION, RUSSELL, J.D. COMPANY (THE), SURE-LOC EDGING CORPORATION
- INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED BEFORE INSTALLING STONE MULCH.

STONE MULCH MATERIAL & INSTALLATION:

- SHALL BE HARD, DURABLE, STONE, WASHED FREE OF LOAM, SAND, CLAY, AND OTHER FOREIGN SUBSTANCES, OF THE FOLLOWING TYPE, SIZE RANGE, AND COLOR:
 - MATERIAL: ANGULAR WASHED STONE.
 - SIZE: 3/4"
 - COLOR RANGE: BLEND OF DARK GREY & BLUE TONES
 - BASIS OF DESIGN: 3/4" "BASIN BLUE" AGGREGATE BY COUNTY MATERIALS.
- LIGHTLY COMPACT AREAS TO RECEIVE STONE MULCH
- INSTALL WEED BARRIER FABRIC IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS; COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES OF FABRIC LENGTHS A MINIMUM OF 6-INCHES AND SECURING SEAMS WITH GALVANIZED PINS. WEED BARRIER FABRIC SHALL BE WRAPPED VERTICALLY UP THE OUTSIDE EDGES OF SURROUNDING CONCRETE FLATWORK OR CURB AND SECURED IN PLACE. HOLD FABRIC 2" CLEAR OF TOP OF ADJACENT CURB AND CONCRETE FLATWORK SO IT IS NOT VISIBLE FROM SURFACE.
- PLACE AND FINISH STONE MULCH AS INDICATED IN DRAWINGS, ENSURING A SMOOTH, LEVEL TOP SURFACE FOR ALL STONE MULCH AREAS HELD APPROXIMATELY 1/2" BELOW THE TOP SURFACE OF ADJACENT PAVED AREAS.

BARK MULCH MATERIAL & INSTALLATION

- TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON DETAILED PLANTING PLANS.
 - SIZE RANGE: MAXIMUM 2.5" TO 3"
 - COLOR: NATURAL, UN-DYED
 - PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.
- KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

CLEAN-UP AND PROTECTION

- DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

TURF SEEDING:

- DELIVERY:
 - DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS LABELED AS TO NAME AND ADDRESS OF SUPPLIER; SPECIFIC BLEND OF SEED; AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.
 - PROJECT CONDITIONS:
 - SEED DURING ONE OF THE FOLLOWING PERIODS.
 - SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.
 - FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1.
 - PRODUCTS
 - PROVIDE THE FOLLOWING FOR TURFGRASS SEED BASIS OF DESIGN: REINDEERS DELUXE 50 SEED MIX OR APPROVED EQUAL
 - TURFGRASS SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER' BY THE 'SCOTT'S MIRACLE-GRO COMPANY' OR APPROVED EQUAL.
 - PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET.
 - REMOVE ANY AND ALL UNDESIRABLE VEGETATION THAT HAS GERMINATED IN THE AREAS TO BE SEEDDED OR SODDED. CONTRACTOR SHALL EVALUATE THE USE OF A BROAD SPECTRUM, NON-PERSISTENT GLYPHOPHATE-BASED HERBICIDE BASED ON SITE CONDITIONS.
 - DO NOT APPLY SEED UNTIL FIVE TO SEVEN DAYS AFTER LAST HERBICIDE TREATMENT.
 - FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/4 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE IMMEDIATELY SEEDDED AND STABILIZED WITH EROSION CONTROL MATERIAL.
 - MOISTEN PREPARED AREA BEFORE SEEDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE DRY BEFORE SEEDING OR SODDING. DO NOT CREATE MUDDY SOIL.
 - NO SEEDING SHALL OCCUR ON FROZEN GROUND OR AT TEMPERATURES LOWER THAN 32 DEGREES FARENHEIT OR IN THE FOLLOWING 5 DAYS AFTER PLANNED SEEDING OR SODDING.
 - SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

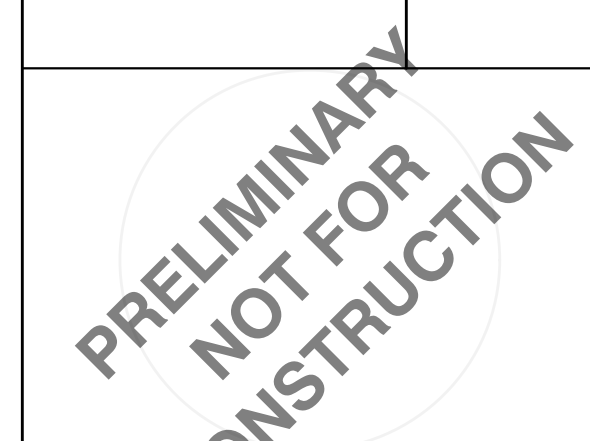
WARRANTY, MAINTENANCE AND ACCEPTANCE PERIOD

- SUBSTANTIAL COMPLETION:
 - ONLY ONE SUBSTANTIAL COMPLETION INSPECTION WITH THE LANDSCAPE ARCHITECT, OWNER, AND CONTRACTOR WILL OCCUR FOR ALL LANDSCAPE INSTALLED UNDER THE CONTRACT.
 - THE INSPECTION WILL OCCUR AFTER SEEDING OPERATIONS ARE COMPLETE, ALLOWING TIME FOR GERMINATION OF THE COVER CROP PLANTED WITH SPRING SEASON SEEDING IN ORDER TO VERIFY COVERAGE. FOLLOWING THIS INSPECTION, RE-TOPSOIL, RESEED, MULCH, AND RE-APPLY EROSION CONTROL BLANKETS AS DIRECTED BY THE LANDSCAPE ARCHITECT. BARE SPOTS GREATER THAN 5 SQUARE FEET SHALL BE RE-SEEDDED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS BY THE LANDSCAPE CONTRACTOR. ALL REPAIRS SHALL BE COMPLETED WITHIN ONE WEEK FOLLOWING THE INSPECTION. ALL RE-SEEDING SHALL OCCUR AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT. AFTER SUBSTANTIAL COMPLETION IS GRANTED, OWNER'S QUALIFIED STAFF WILL PERFORM ROUTINE MAINTENANCE.
 - INITIAL WATERING PERIOD EXTENDING BEFORE OR AFTER SUBSTANTIAL COMPLETION SHALL BE BY LANDSCAPE CONTRACTOR.
- FINAL ACCEPTANCE:
 - PRIOR TO PLANT DORMANCY AND THE EXPIRATION OF THE WARRANTY AND MAINTENANCE PERIOD, THE LANDSCAPE ARCHITECT WILL CONDUCT AN INSPECTION OF ALL PLANTINGS. FINAL ACCEPTANCE WILL BE GRANTED ONE FULL YEAR FOLLOWING INSTALLATION OF THE NATIVE SEED MIX (IN CONJUNCTION WITH THE PLANT MATERIAL WARRANTY INSPECTION) DEPENDENT ON ACHIEVING SPECIFICATION REQUIREMENTS. FINAL ACCEPTANCE SHALL BE DEFINED AS AN EVEN DISTRIBUTION AND GERMINATION OF COVER CROP AND AN INDICATION OF SPECIFIED NATIVE SEEDLINGS ACROSS THE PROJECT SITE. BARE SPOTS GREATER THAN 5 SQUARE FEET SHALL BE RE-SEEDDED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS. ALL RE-SEEDING SHALL OCCUR AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
 - FINAL ACCEPTANCE WILL BE BASED UPON OWNER APPROVAL AND THE WORK HAVING:
 - BEEN WELL MAINTAINED WITH ALL LANDSCAPE PLANTINGS IN A HEALTHY GROWING CONDITION FREE OF DISEASE AND INSECT PROBLEMS.
 - ALL MAINTENANCE ITEMS COMPLETED AND DOCUMENTED BY CONTRACTOR THROUGH MAINTENANCE REPORT FORMS.
 - FINAL ACCEPTANCE AND THE END OF THE WARRANTY PERIOD FOR THE LANDSCAPE WILL OCCUR ONLY AFTER ALL PUNCH LIST ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND THE SITE IS LEFT IN THE CONDITION SPECIFIED UNDER CLEANUP AND PROTECTION.
- WARRANTY AND MAINTENANCE PERIOD:
 - THE END OF THE WARRANTY AND MAINTENANCE PERIOD SHALL BE:
 - OCTOBER 31 - TWO YEARS FOLLOWING A FALL SUBSTANTIAL COMPLETION DATE.
 - JUNE 30 - TWO YEARS FOLLOWING A SPRING SUBSTANTIAL COMPLETION DATE.
 - PRIOR TO AND DURING THE WARRANTY AND MAINTENANCE PERIOD, REPLACE ANY PLANTS THAT ARE DAMAGED, DEAD, OR, IN THE OPINION OF THE LANDSCAPE ARCHITECT, ARE UNHEALTHY, OR HAVE LOST MORE THAN 25% OF THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR IMPROPER MAINTENANCE. REJECTED PLANT MATERIALS SHALL BE REMOVED FROM THE SITE IMMEDIATELY AFTER BEING REJECTED AND LEGALLY DISPOSED OFF-SITE. REPLACEMENT PLANTS SHALL BE INSTALLED WITHIN 2 WEEKS FOLLOWING THE INSPECTION UNLESS OTHERWISE AGREED TO IN WRITING BY THE OWNER.
 - ONLY ONE REPLACEMENT OF ANY PLANT IS REQUIRED AFTER SUBSTANTIAL COMPLETION, EXCEPT FOR LOSSES DUE TO FAILURE TO COMPLY WITH SPECIFIED INSTALLATION AND/OR MAINTENANCE REQUIREMENTS.
 - MAKE REPLACEMENTS IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS, PLANT SPECIES, EQUAL SIZE, AND GENERAL NOTES. FULLY RESTORE AREAS DAMAGED BY REPLACEMENT OPERATIONS TO THEIR ORIGINAL AND SPECIFIED CONDITION.
 - THE CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND LANDSCAPE INSTALLER'S CONTROL WHICH RESULT FROM HAIL STORMS, WINDS OVER 100 MILES PER HOUR, FIRES OR VANDALISM, UNLESS CONTRACTOR HAS NOT COMPLETED SPECIFIED INSTALLATION IN A MANNER THAT COULD HAVE PROTECTED THE LANDSCAPING FROM THESE PHENOMENA.

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

LAND by LABEL
 DEVELOPMENT CO.
 7044 South Ballpark Drive
 Franklin, WI 53132
 Phone: 414-285-3470

BADAX
8240 OLD LOOMIS RD
FRANKLIN, WI
LANDSCAPE SPECIFICATIONS



ISSUANCE	DATE
CITY SUBMITAL	10/31/2022
CITY RESUBMITAL	04/07/2023
---	---
---	---
---	---

NO. REVISION	DATE
---	---
---	---
---	---
---	---
---	---

SCALE:	
PROJECT NO:	21234
DESIGN DATE:	---
PLOT DATE:	2023.04.07
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---

SHEET NO:
L300

WOODLAND EDGE, UPLAND MEADOW, AND WETLAND SEEDING

- 1. PROVIDE THE FOLLOWING SEED TYPES FROM: AGRECOL LLC 10101 N. CASEY ROAD EVANSVILLE, WISCONSIN 53536:
1.1. AGRECOL'S 'UPLAND MEADOW' SEED MIX FOR AREAS SHOWN AS 'UPLAND MEADOW SEED MIX'
1.2. REINDER'S 'DELUXE 50 SEED MIX' FOR AREAS SHOWN AS 'SEEDED TURFGRASS LAWN'
2. REFER TO CIVIL PLANS FOR LOCATIONS AND EXTENTS OF EROSION CONTROL MAT. IN GENERAL, PROVIDE CURLEX NET FREE FOR SEEDED AREAS WITH SLOPES OF 4:1 OR LESS AND CURLEX II EROSION CONTROL MAT IN ALL OTHER SEEDED AREAS.
3. WITHIN 4 WEEKS FOLLOWING THE ISSUANCE OF THE NOTICE TO PROCEED, SUBMIT NAME AND LOCATION OF SEED SUPPLIER(S) AND A COMPLETE LIST OF EACH SEED MIX BY WEIGHT AND PROPORTION THAT IS BEING SUPPLIED BEFORE THE SEED MIX IS ORDERED.
4. ALL SEED MATERIAL SHALL ORIGINATE FROM LOCAL SOURCES TO THE EXTENT POSSIBLE, SPECIFICALLY FROM USDA PLANT HARDINESS ZONE 4 OR LOWER.
5. ALL SEEDING ZONE BOUNDARIES SHALL BE SURVEYED AND STAKED ON THE PROJECT SITE BY THE CONTRACTOR.
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST SEED LIMITS WITHOUT ADJUSTING TOTAL SEEDED AREAS.
7. COORDINATION IS REQUIRED TO ENSURE RAINFALL/GROUNDWATER SEEPAGE DOES NOT RESULT IN SOIL MOISTURE CONDITIONS THAT WILL CAUSE EXCESSIVE RUTTING DURING SEEDING AND MULCHING OPERATIONS.
8. WHERE SEEDING OCCURS IN CLOSE PROXIMITY TO OTHER SITE IMPROVEMENTS OR AREAS TO REMAIN UNDISTURBED SUCH AS EXISTING WETLANDS AND UPLANDS AREAS, CARE SHALL BE TAKEN TO NOT DISTURB THE EXISTING CONDITIONS.
9. FOLLOWING NATIVE SEED MIX INSTALLATION, THE LANDSCAPE ARCHITECT AND CONTRACTOR SHALL CONDUCT A SUBSTANTIAL COMPLETION INSPECTION ON ALL SEEDED AREAS.
10. GENERAL INSTALLATION:
10.1. SEEDING OF NATIVE SEED MIXES SHALL OCCUR IN THE EARLY SPRING:
10.1.1. APRIL 15 THROUGH MAY 31.
10.2. DO NOT SOW SEED DURING ADVERSE WEATHER OR WHEN WIND SPEEDS EXCEED TEN MILES PER HOUR.
10.3. DO NOT SOW SEED IN AREAS WHERE STANDING WATER IS PRESENT.
11. GRADE PREPARATION:
11.1. SUBGRADE AND FINISH GRADE PREPARATION SHALL BE IN ACCORDANCE WITH SITE EARTHWORK REQUIREMENTS.
11.2. PRIOR TO SEEDING, REPAIR ANY RUTS, RILLS, OR GULLIES GREATER THAN 2 INCHES IN DEPTH TO CREATE SMOOTH CONTINUOUS GRADES.
11.3. IF THE PREPARED GRADE IS ERODED OR COMPACTED BY RAINFALL OR OTHER REASONS, REWORK THE TOPSOIL TO THE FULL 4-INCH DEPTH.
11.4. IMMEDIATELY BEFORE SEEDING, SCARIFY, LOOSEN, FLOAT, AND DRAG TOPSOIL AS NECESSARY TO BRING IT TO THE PROPER CONDITION.
11.5. NO FURTHER GRADE PREPARATION IS REQUIRED.
12. IF REQUIRED DUE TO CONSTRUCTION SEQUENCING, SEED THE SITE WITH A TEMPORARY COVER CROP TO HOLD IT FOR SPRING SEEDING AS FOLLOWS:
12.1. IF SEEDING MAY 15 THROUGH SEPTEMBER 1: MIX OF 32 POUNDS PER ACRE OF SEED OATS (AVENA SATIVA) AND 5 POUNDS PER ACRE OF ANNUAL RYE (LOLIUM MULTIFLORUM).
12.2. IF SEEDING SEPTEMBER 1 THROUGH OCTOBER 15: 20 POUNDS PER ACRE WINTER WHEAT (TRITICUM AESTIVUM) OR REGREEN STERILE WHEAT/WHEATGRASS HYBRID (TRITICUM AESTIVUM X ELYTRIGIA ELONGATAFORM).
13. BROADCASTING:
13.1. FOR SPRING SEEDING OF NATIVE SEED, SOW SEED DIRECTLY ONTO BARE GROUND OR GROUND WHERE THE PREVIOUS YEAR'S PLANT STUBBLE HAS BEEN CUT TO 2-INCH HEIGHT.
13.2. INCREASE THE VOLUME OF THE BROADCASTED SEED MIX BY MIXING IT WITH AN APPROVED CARRIER. ACCEPTABLE CARRIER MATERIAL INCLUDES MOISTENED COMPOST, PEAT MOSS, CORN COB BLAST MEDIA, OR COARSE-GRADE VERMICULITE. SAND AND SAWDUST ARE UNACCEPTABLE CARRIER MATERIALS.
13.2.1. USE HALF OF THE TOTAL SEED QUANTITY AND CROSS THE ENTIRE AREA TO BE SEEDDED, EVENLY SPREADING THE SEED. WALK PERPENDICULAR TO THE ORIGINAL SEEDING AND EVENLY BROADCAST THE SECOND HALF OF THE SEED.
13.2.2. LIGHT SEEDS, AWNED SEEDS, OR BEARDED SEEDS TEND TO RISE TO THE TOP OF THE SPREADER, THEREFORE, MIX SEED ACCORDINGLY AS PLANTING COMMENCES.
13.2.3. RAKE OR DRAG THE SEED INTO THE SOIL, BUT NOT MORE THAN 1/4-INCH DEEP. ROLL THE AREA WITH A ROLLER TO FIRM THE SEED INTO THE SOIL. ROLLING IS NOT NECESSARY ON DORMANT SEEDINGS.
14. DRILL SEEDER OR DROP SEEDER/SPREADER:
14.1. FOR SPRING DRILL SEEDING, SOW SEED DIRECTLY ONTO BARE GROUND OR GROUND WHERE THE PREVIOUS YEAR'S PLANT STUBBLE HAS BEEN CUT TO 2-INCH HEIGHT; FOR SPRING DROP SEEDING, CULTIVATE THE GROUND BEFORE INSTALLING SEED MIX.
14.2. CHECK THE EQUIPMENT FREQUENTLY TO ENSURE THE SEED IS DISPERSING EVENLY AND IS NOT CLOGGING.
14.3. IF THE EQUIPMENT IS NOT EQUIPPED WITH A ROLLER, PASS OVER THE SEEDED AREA WITH A ROLLER TO FIRM THE SEED INTO THE SOIL. ROLLING IS NOT NECESSARY WITH DORMANT SEEDING.
14.3.1. DO NOT MIX THE NATIVE SEED WITH ANY CARRIER MATERIAL.
14.3.2. EVENLY DISTRIBUTE THE SEED ACROSS THE ENTIRE SITE TO BE SEEDDED.
14.4. KEEP THE TOPSOIL MOIST (TO A DEPTH OF 3 INCHES) FOR 3-6 WEEKS FOLLOWING SEEDING; AFTERWARD, APPLY ONE INCH OF WATER DURING THE GROWING SEASON IF RAIN HAS NOT OCCURRED FOR MORE THAN ONE WEEK. DO NOT APPLY WATER WITH SUCH A FORCE AS TO DISTURB SEED, SEEDLINGS, AND/OR TOPSOIL, OR THAT WOULD RUN OFF SOIL SURFACE.
15. ALL AREAS OVER WHICH HAULING OPERATIONS HAVE BEEN CONDUCTED SHALL BE KEPT CLEAN ON A DAILY BASIS. PROMPTLY REMOVE ALL MATERIALS SPILLED ON PAVEMENT.
16. UPON COMPLETION OF SEED INSTALLATION, REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL TRASH AND DEBRIS INCLUDING ANY MATERIAL REMOVED DURING GRADE PREPARATION.
17. RESTORE ANY EXISTING AREAS DAMAGED BY OPERATIONS UNDER THE CONTRACT. RESTORATION SHALL INCLUDE FINISH GRADING AND SEEDING AS REQUIRED TO MATCH EXISTING GRADE AND/OR WETLANDS, AND MAINTENANCE OF RESTORED AREAS.
18. ANY DAMAGE BY THE CONTRACTOR TO ESTABLISHED OR NEWLY SEEDDED AREAS NOT WITHIN THE PROJECT SCOPE OF WORK SHALL BE REPAIRED AND RESEDED AT NO COST TO THE OWNER.

Table with columns: Upland Meadow Seed Mix, Mesic to Dry, 87.00 Seeds/Sq. Ft. Botanical Name, Common Name, PLS Ounces/Acre. Includes Wildflower Forbs, Perennial Grasses, Sedges & Rushes, and Totals = 92.25.

VEGETATION MONITORING AND MANAGMENT

NATIVE SEED INSTALLATION:
NATIVE SEED SHALL BE MIXED THOROUGHLY BY VENDOR OR SEED INSTALLATION CONTRACTOR. SEED SHALL BE INSTALLED BY MEANS OF MECHANICAL AND/OR BROADCAST METHODS TO ASSURE EVEN DISTRIBUTION OF SEEDS THROUGHOUT ALL DESIGNATED SEEDING AREAS.

MANAGEMENT AND MONITORING:
THE MANAGEMENT AND MONITORING OF NATIVE PLANTINGS (INCLUDING SEED MIXES, FORBS AND PLUGS) SHOULD BE DIRECTED TOWARD THE GOAL OF CREATING A STABLE, NATIVE PLANT COMMUNITY.

UNDESIRABLE PLANT CONTROL:
OVERALL MANAGEMENT OF VEGETATED AREAS MAY INCLUDE, BUT ARE NOT LIMITED TO: RESEEDING OR REPLANTING DAMAGED OR NON-ACTIVE GROWTH AREAS, IRRIGATION, STRATEGIC MOWING TO REDUCE WEED COVER AND PREVENT WEED SEED SET.

SHORT-TERM VEGETATION MANAGEMENT:
SHORT-TERM VEGETATION MANAGEMENT (2 YEARS AFTER SEEDING/PLUG INSTALLATION) OCCURS WHILE THE LANDSCAPE CONTRACTOR OR SPECIALTY SEEDING/ RESTORATION CONTRACTOR IS RESPONSIBLE TO THE PROJECT OWNER FOR THE GUARANTEE OF ALL PLANTINGS TO BE ALIVE AND IN VIGOROUS GROWING CONDITIONS.

INSPECTIONS SHOULD BE MADE FREQUENTLY DURING THE GROWING SEASON TO PROPERLY DOCUMENT ANY INVASIVE SPECIES, WEEDS, DEHYDRATION, DAMAGE, EROSION, DISEASES, BARE AREAS, AND PESTS. THE NECESSARY REPAIRS, TREATMENTS, SEEDING AND PLANTING SHOULD BE DONE AS WEATHER CONDITIONS ARE APPROPRIATE.

AT THE END OF THE GUARANTEE PERIOD, OWNERSHIP AND MAINTENANCE ACTIVITIES WILL BE TRANSFERRED TO THE PROJECT OWNERSHIP/MANAGEMENT ASSOCIATION.

LONG TERM VEGETATION MANAGEMENT:
LONG-TERM MANAGEMENT (AFTER 2 YEARS) WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER/MANAGEMENT ASSOCIATION. LONG-TERM VEGETATION MANAGEMENT TASKS WILL INCLUDE MOWING, RESEEDING OR REPLANTING DAMAGED AREAS, REMOVAL OF TREE SEEDLINGS, TARGETED HERBICIDE APPLICATION AND MECHANICAL WEED CONTROL.

MOWING FREQUENCIES:
MOWING FREQUENCIES WILL DEPEND ON FIELD CONDITIONS. THE NATIVE SEEDLING/GRASS AREAS SHOULD NEVER BE MOWED SHORTER THAN SIX (6) INCHES. GROWTH OF THE VEGETATION ALONG THE WATER'S EDGE (WHERE APPLICABLE) WILL PROVIDE BANK STABILIZATION.

MOWING SHOULD BE DONE THREE (3) TIMES DURING THE ESTABLISHMENT PERIOD:

Table with columns: ACTIVITY, TIMING, SUGGESTED MOWING HEIGHTS, REASON. Rows include First Mowing, Second Mowing, and Third Mowing.

MOWING TIMES ARE APPROXIMATE; ACTUAL MOWING TIMES SHOULD BE BASED ON THE GROWTH OF NATURAL GRASSES AND UNDESIRABLE WEEDS.

AFTER THE DESIRED VEGETATION HAS BECOME ESTABLISHED THE FIRST AND SECOND MOWINGS (MAY, AUGUST) MAY NOT BE NECESSARY. THE THIRD MOWING (OCTOBER), HOWEVER, SHOULD BE DONE ANNUALLY.

BURNING:
THE NORTH AMERICAN PRAIRIE EVOLVED UNDER THE INFLUENCE OF FIRE. MANY TIMES, THESE FIRES WERE IGNITED BY LIGHTNING FROM STORMS SWEEPING ACROSS THE PLAINS STATES.

PRIOR TO BURNING, CONTACT WITH THE LOCAL MUNICIPALITY / FIRE DEPARTMENT IS REQUIRED. SOME MUNICIPALITIES MAY HAVE RESTRICTIONS ON OPEN BURNING, OR ONLY ALLOW SUCH PRACTICES AT CERTAIN TIMES.

IF ALLOWED BY LOCAL CODE AND ORDINANCES, ONLY BURN WHEN THE DEAD VEGETATION MATTER CAN SUSTAIN FIRE. WET OR DAMP PLANT MATTER IS NOT EFFECTIVE IN A CONTROL BURN SETTING.



LAND by LABEL DEVELOPMENT CO. 7044 South Ballpark Drive Franklin, WI 53132 Phone: 414-285-3470

BADAX 8240 OLD LOOMIS RD FRANKLIN, WI LANDSCAPE SPECIFICATIONS



Table with columns: ISSUANCE, CITY SUBMITAL, CITY RESUBMITAL, DATE. Includes dates 10/31/2022 and 04/07/2023.

Table with columns: NO. REVISION, DATE. Includes revision numbers 1 through 5.

Table with columns: SCALE, PROJECT NO., DESIGN DATE, PLOT DATE, DRAWN BY, CHECKED BY, APPROVED BY.

SHEET NO: L300

BADAX FLATS APARTMENTS

FRANKLIN, WI



LAND *By* LABEL

DEVELOPMENT CO.



PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

CITY SUBMITTAL SET

April 19, 2023

JLA ARCHITECTS & PLANNERS

800 WEST BROADWAY - SUITE 200
MONONA, WISCONSIN 53713
CONTACT: Joe Haider
EMAIL: jhaider@jla-ap.com
MAIN: 608.210.1237



JLA

ARCHITECTS

JLA PROJECT NUMBER: W22-0126

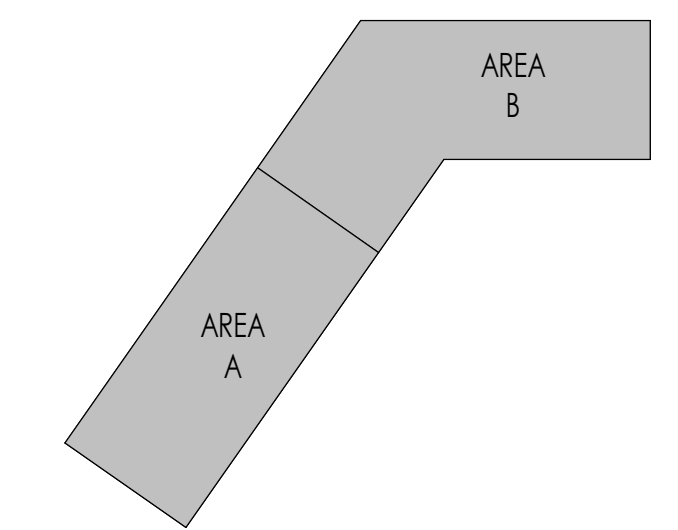


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

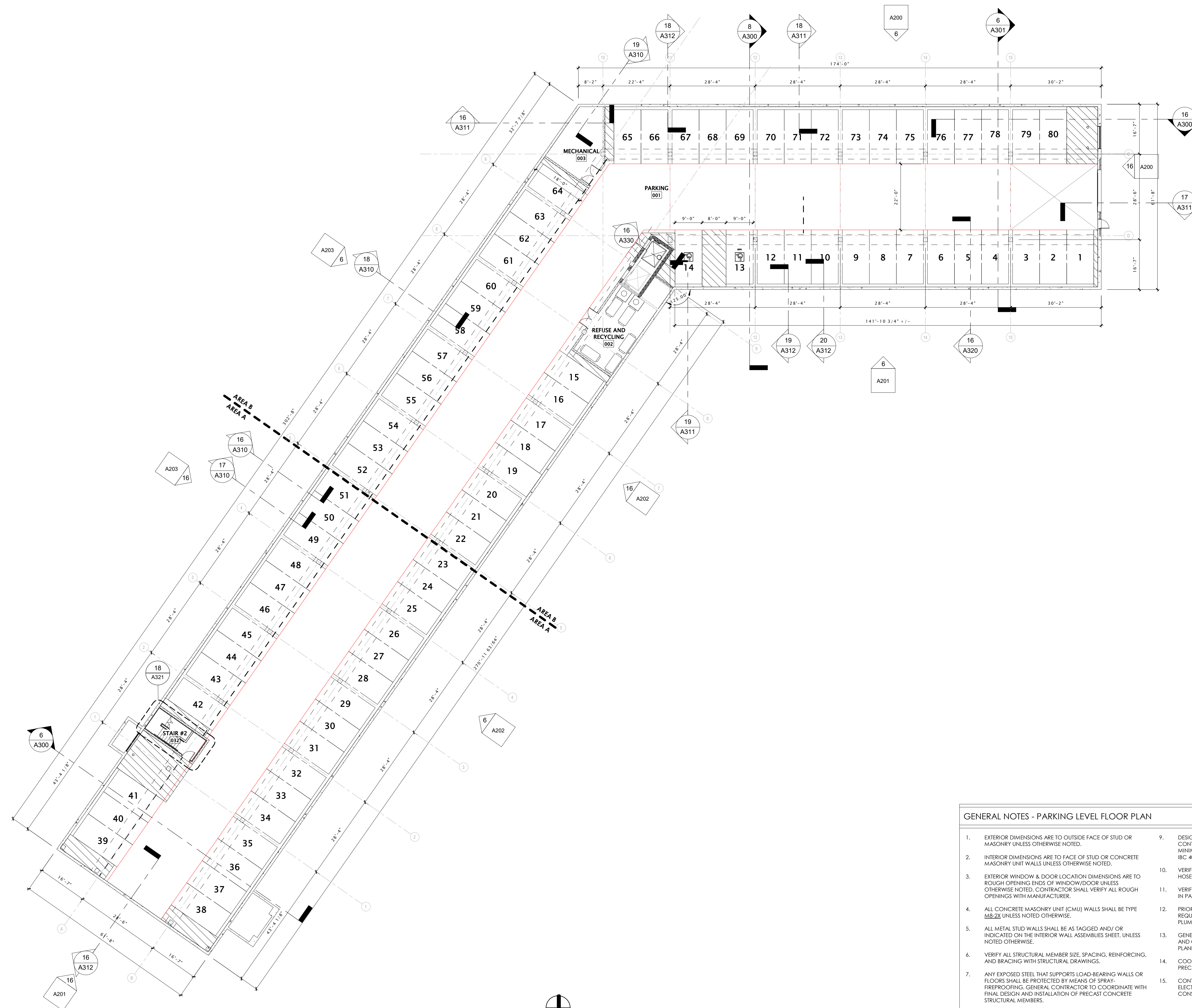
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100



16 LOWER LEVEL PLAN
1/16" = 1'-0"

GENERAL NOTES - PARKING LEVEL FLOOR PLAN	
1. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.	9. DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC 406.
2. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.	10. VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
3. EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.	11. VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
4. ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M8-22 UNLESS NOTED OTHERWISE.	12. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
5. ALL METAL STUD WALLS SHALL BE AS TAGGED AND/ OR INDICATED ON THE INTERIOR WALL ASSEMBLIES SHEET, UNLESS NOTED OTHERWISE.	13. GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
6. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.	14. COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
7. ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.	15. CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.
8. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.	

4/19/2023 9:14:58 AM

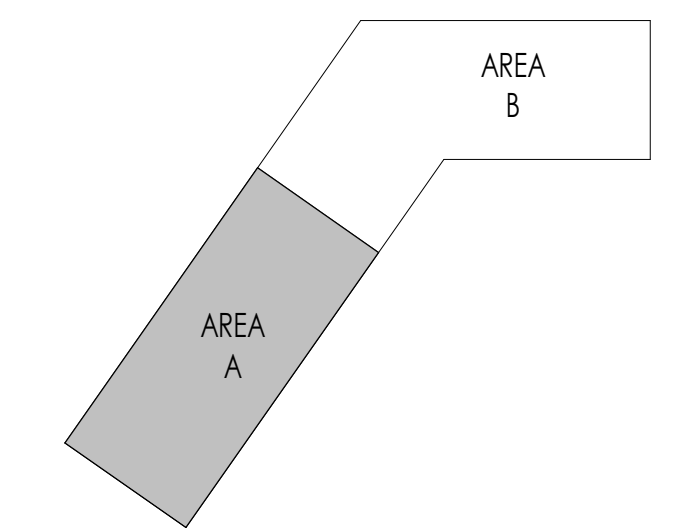


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

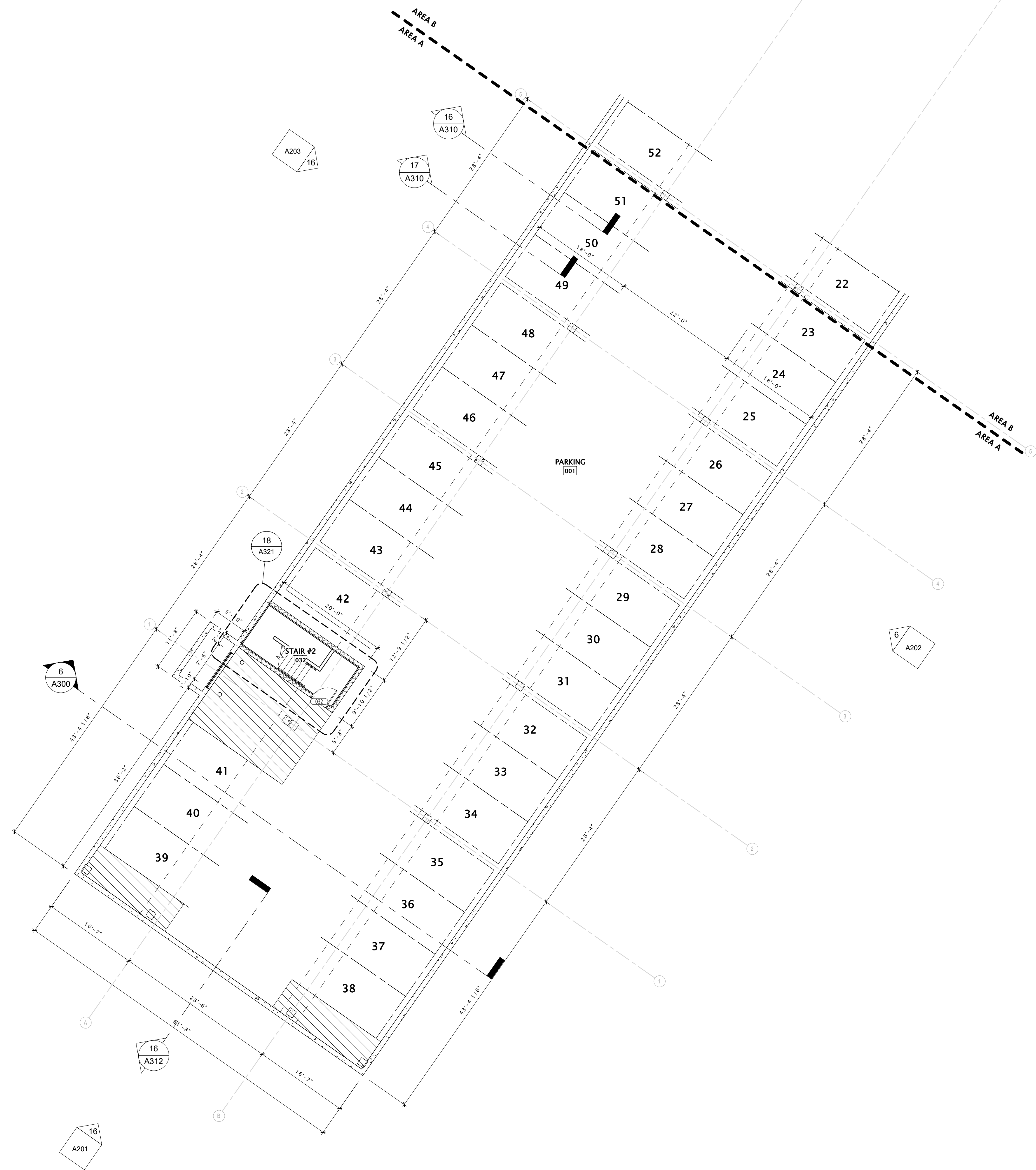
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN - AREA A

SHEET NUMBER

A100A



16 LOWER LEVEL PLAN - AREA A
3/32" = 1'-0"



GENERAL NOTES - PARKING LEVEL FLOOR PLAN

- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
- EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE ~~M8-2X~~ UNLESS NOTED OTHERWISE.
- ALL METAL STUD WALLS SHALL BE AS TAGGED AND/ OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
- DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC 406.
- VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
- VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
- PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
- GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
- COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
- CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.

4/19/2023 9:15:02 AM

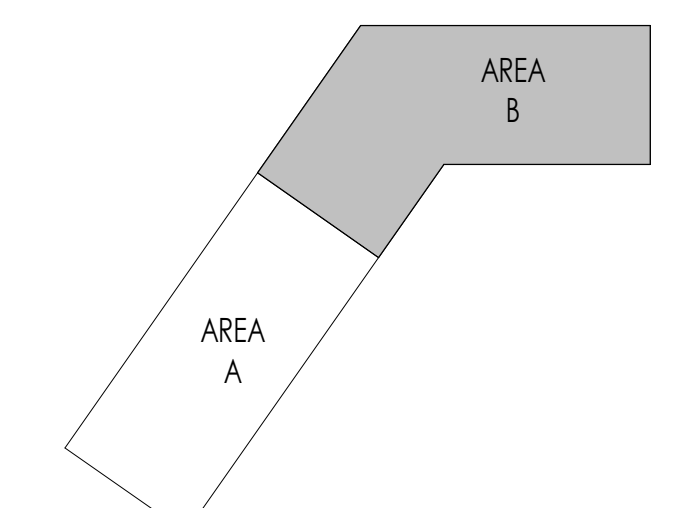


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

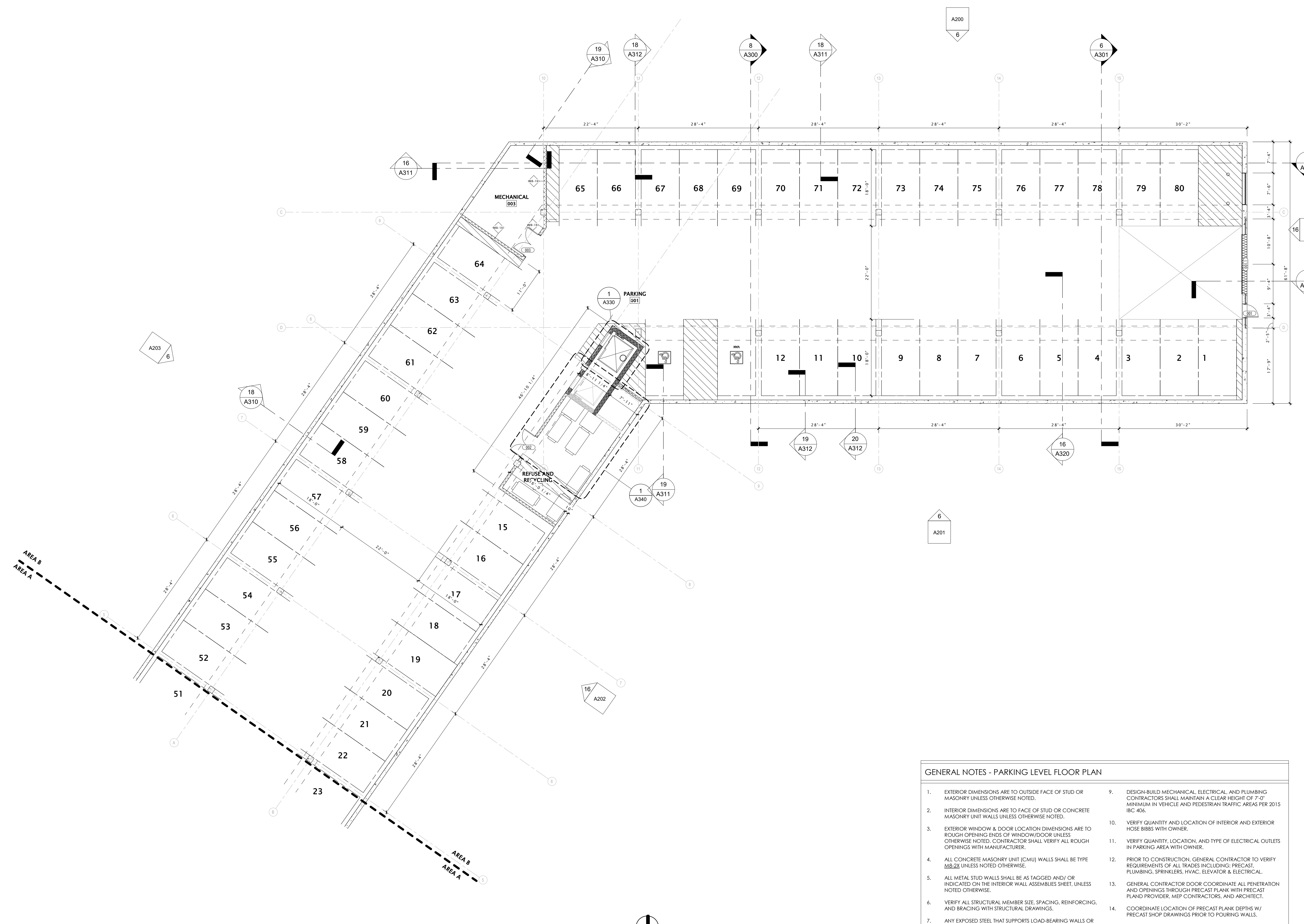
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN - AREA B

SHEET NUMBER

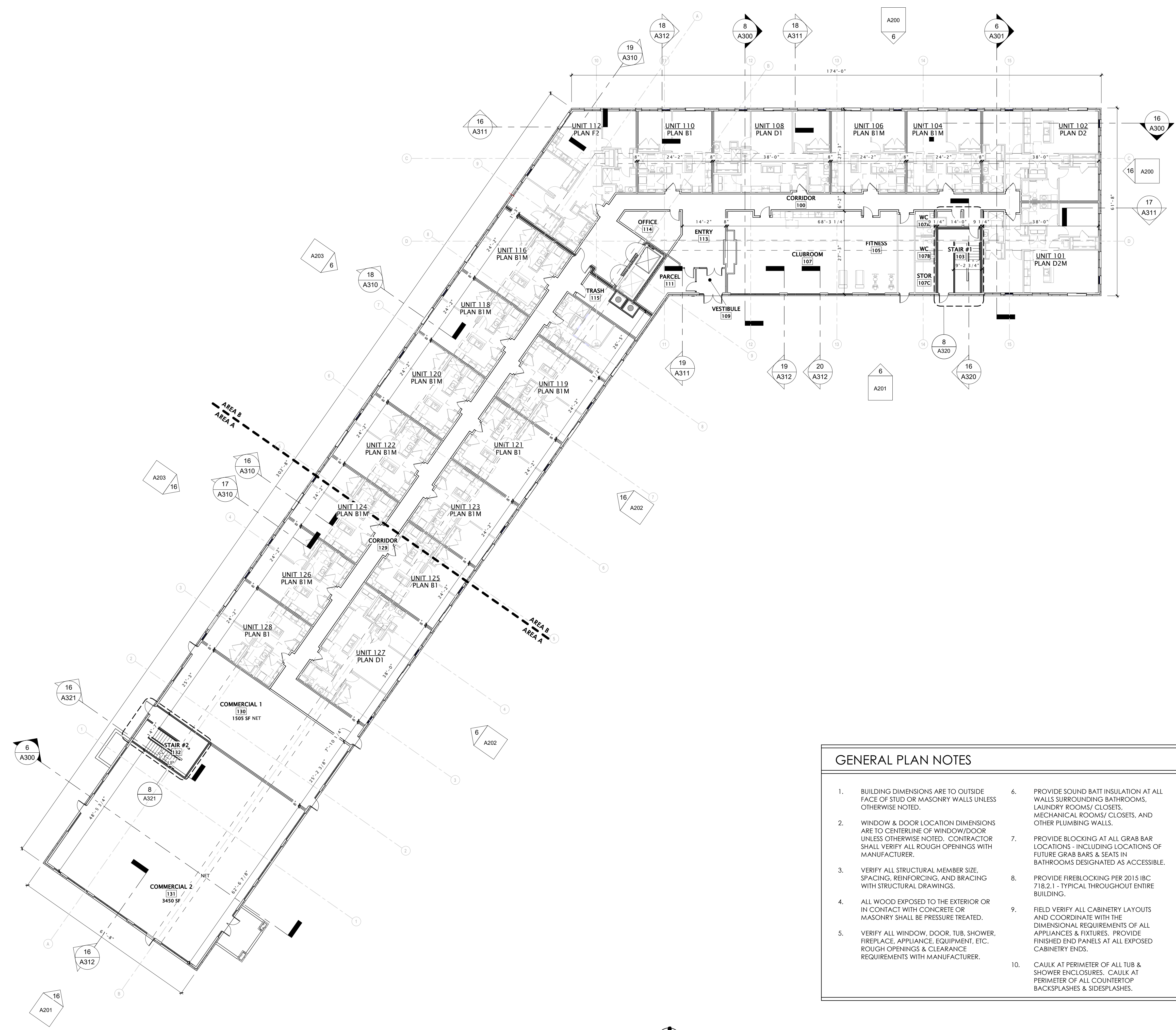
A100B



16 LOWER LEVEL PLAN - AREA B
3/32" = 1'-0"

GENERAL NOTES - PARKING LEVEL FLOOR PLAN

- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
- EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE ~~M8-2X~~ UNLESS NOTED OTHERWISE.
- ALL METAL STUD WALLS SHALL BE AS TAGGED AND/ OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
- DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC 406.
- VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
- VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
- PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
- GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
- COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
- CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.



SHEET INDEX - ENLARGED UNIT TYPES	
PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASHROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT S2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D2.1 - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

UNIT AREA SCHEDULE - FIRST FLOOR		
UNIT NO.	PLAN TYPE	AREA
101	PLAN D2M	1139 SF
102	PLAN D2	1139 SF
104	PLAN B1M	683 SF
106	PLAN B1M	683 SF
108	PLAN D1	1068 SF
110	PLAN B1	683 SF
112	PLAN F2	1249 SF
116	PLAN B1M	683 SF
117	PLAN A1M	471 SF
118	PLAN B1M	683 SF
119	PLAN B1M	683 SF
120	PLAN B1M	683 SF
121	PLAN B1	683 SF
122	PLAN B1M	683 SF
123	PLAN B1M	683 SF
124	PLAN B1M	683 SF
125	PLAN B1	683 SF
126	PLAN B1M	683 SF
127	PLAN D1	1068 SF
128	PLAN B1	683 SF

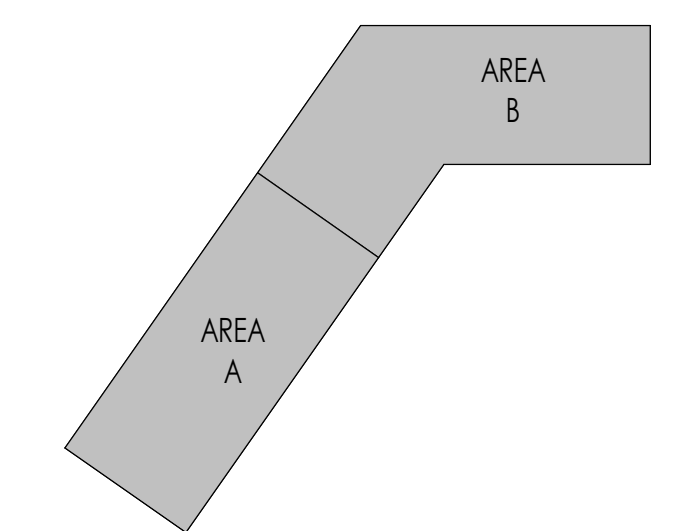


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

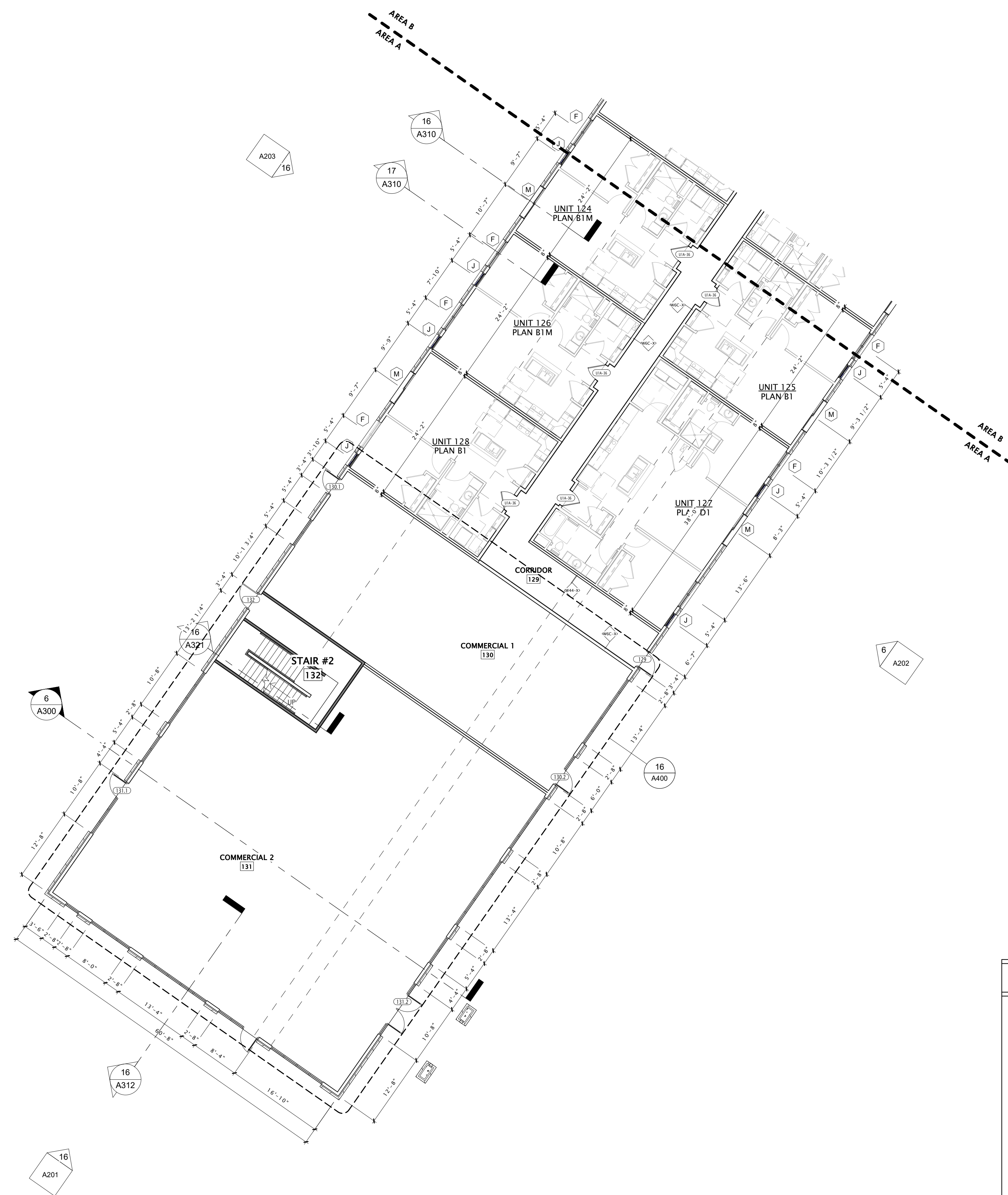
SHEET NUMBER

A101

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

16 FIRST FLOOR PLAN
1/16" = 1'-0"



SHEET INDEX - ENLARGED UNIT TYPES	
PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASH ROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

UNIT AREA SCHEDULE - FIRST FLOOR		
UNIT NO.	PLAN TYPE	AREA
101	PLAN D2M	1139 SF
102	PLAN D2	1139 SF
104	PLAN B1M	683 SF
106	PLAN B1M	683 SF
108	PLAN D1	1068 SF
110	PLAN B1	683 SF
112	PLAN F2	1249 SF
116	PLAN B1M	683 SF
117	PLAN A1M	471 SF
118	PLAN B1M	683 SF
119	PLAN B1M	683 SF
120	PLAN B1M	683 SF
121	PLAN B1	683 SF
122	PLAN B1M	683 SF
123	PLAN B1M	683 SF
124	PLAN B1M	683 SF
125	PLAN B1	683 SF
126	PLAN B1M	683 SF
127	PLAN D1	1068 SF
128	PLAN B1	683 SF

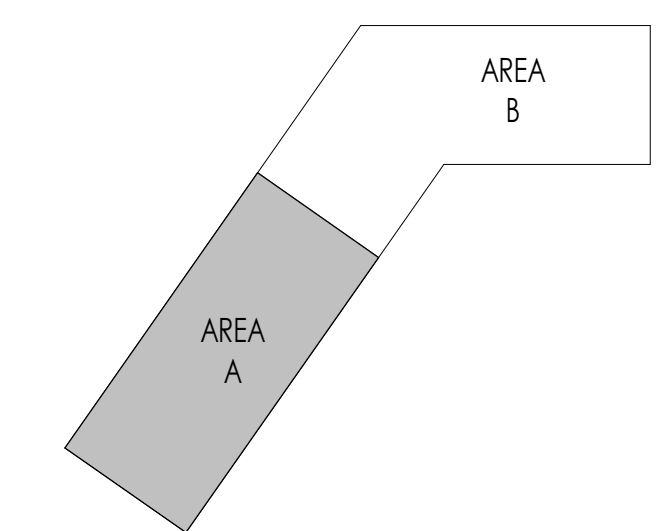


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN - AREA A

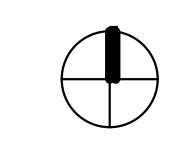
SHEET NUMBER

A101A

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

16 FIRST FLOOR PLAN - AREA A
3/32" = 1'-0"



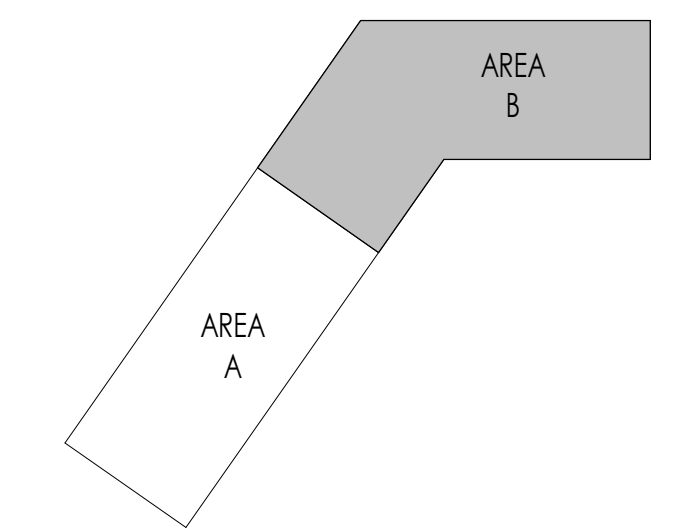


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

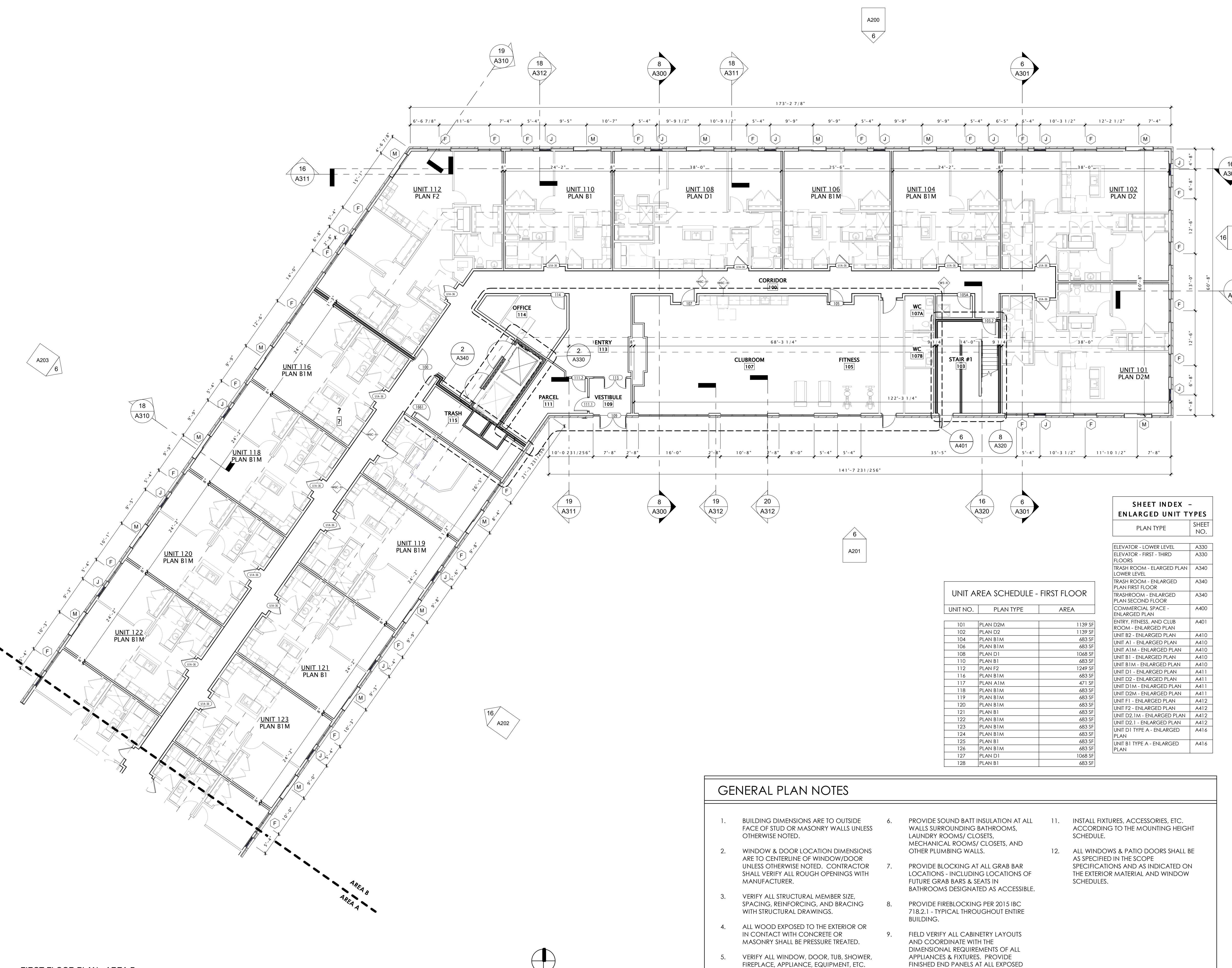
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN - AREA B

SHEET NUMBER

A101B



16 FIRST FLOOR PLAN - AREA B
3/32" = 1'-0"

SHEET INDEX - ENLARGED UNIT TYPES

PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASH ROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D2.1 - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

UNIT AREA SCHEDULE - FIRST FLOOR

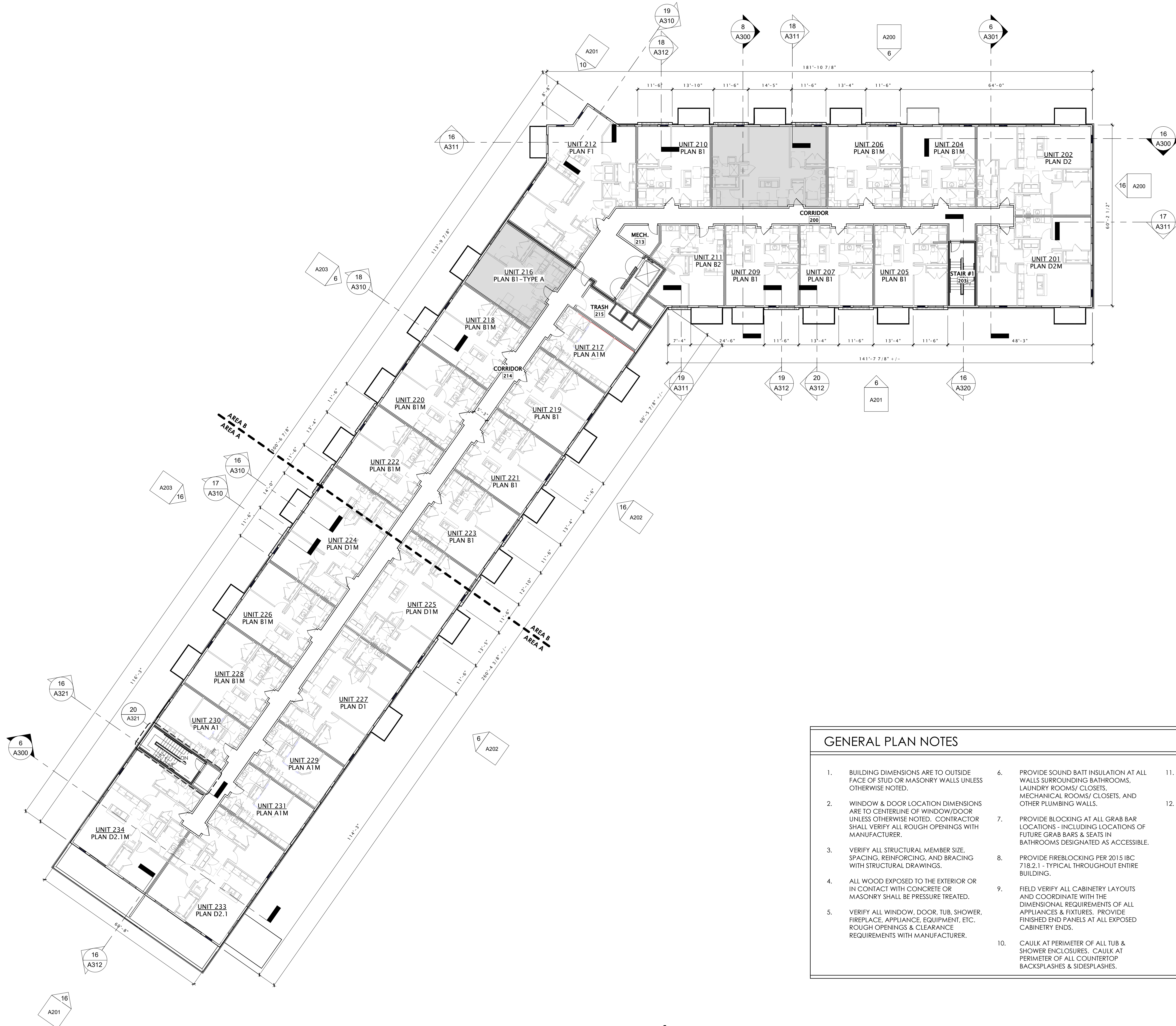
UNIT NO.	PLAN TYPE	AREA
101	PLAN D2M	1139 SF
102	PLAN D2	1139 SF
104	PLAN B1M	683 SF
106	PLAN B1M	683 SF
108	PLAN D1	1068 SF
110	PLAN B1	683 SF
112	PLAN F2	1249 SF
116	PLAN B1M	683 SF
117	PLAN A1M	471 SF
118	PLAN B1M	683 SF
119	PLAN B1M	683 SF
120	PLAN B1M	683 SF
121	PLAN B1	683 SF
122	PLAN B1M	683 SF
123	PLAN B1M	683 SF
124	PLAN B1M	683 SF
125	PLAN B1	683 SF
126	PLAN B1M	683 SF
127	PLAN D1	1068 SF
128	PLAN B1	683 SF

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

SHEET INDEX - ENLARGED UNIT TYPES	
PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASHROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D2.1 - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

UNIT AREA SCHEDULE - SECOND FLOOR		
UNIT NO.	PLAN TYPE	AREA
201	PLAN D2M	1139 SF
202	PLAN D2	1139 SF
204	PLAN B1M	683 SF
205	PLAN B1	683 SF
206	PLAN B1M	683 SF
207	PLAN B1	683 SF
208	PLAN D1-TYPE A	1068 SF
209	PLAN B1	683 SF
210	PLAN B1	683 SF
211	PLAN B2	619 SF
212	PLAN F1	1361 SF
216	PLAN B1A	683 SF
217	PLAN A1M	471 SF
218	PLAN B1M	683 SF
219	PLAN B1	683 SF
220	PLAN B1M	683 SF
221	PLAN B1	683 SF
222	PLAN B1M	683 SF
223	PLAN B1	683 SF
224	PLAN D1M	1068 SF
225	PLAN D1M	1068 SF
226	PLAN B1M	683 SF
227	PLAN D1	1068 SF
228	PLAN B1M	683 SF
229	PLAN A1M	471 SF
230	PLAN A1	471 SF
231	PLAN A1M	471 SF
233	PLAN D2.1	1139 SF
234	PLAN D2.1M	1139 SF
239	PLAN B1M	683 SF



- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

16 SECOND FLOOR PLAN
1/16" = 1'-0"

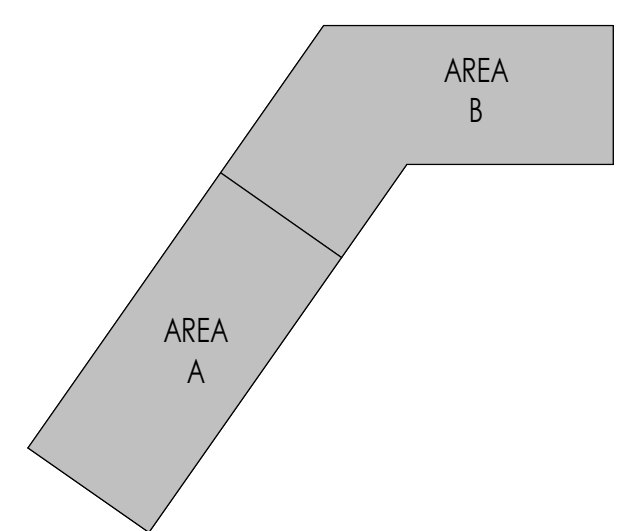


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

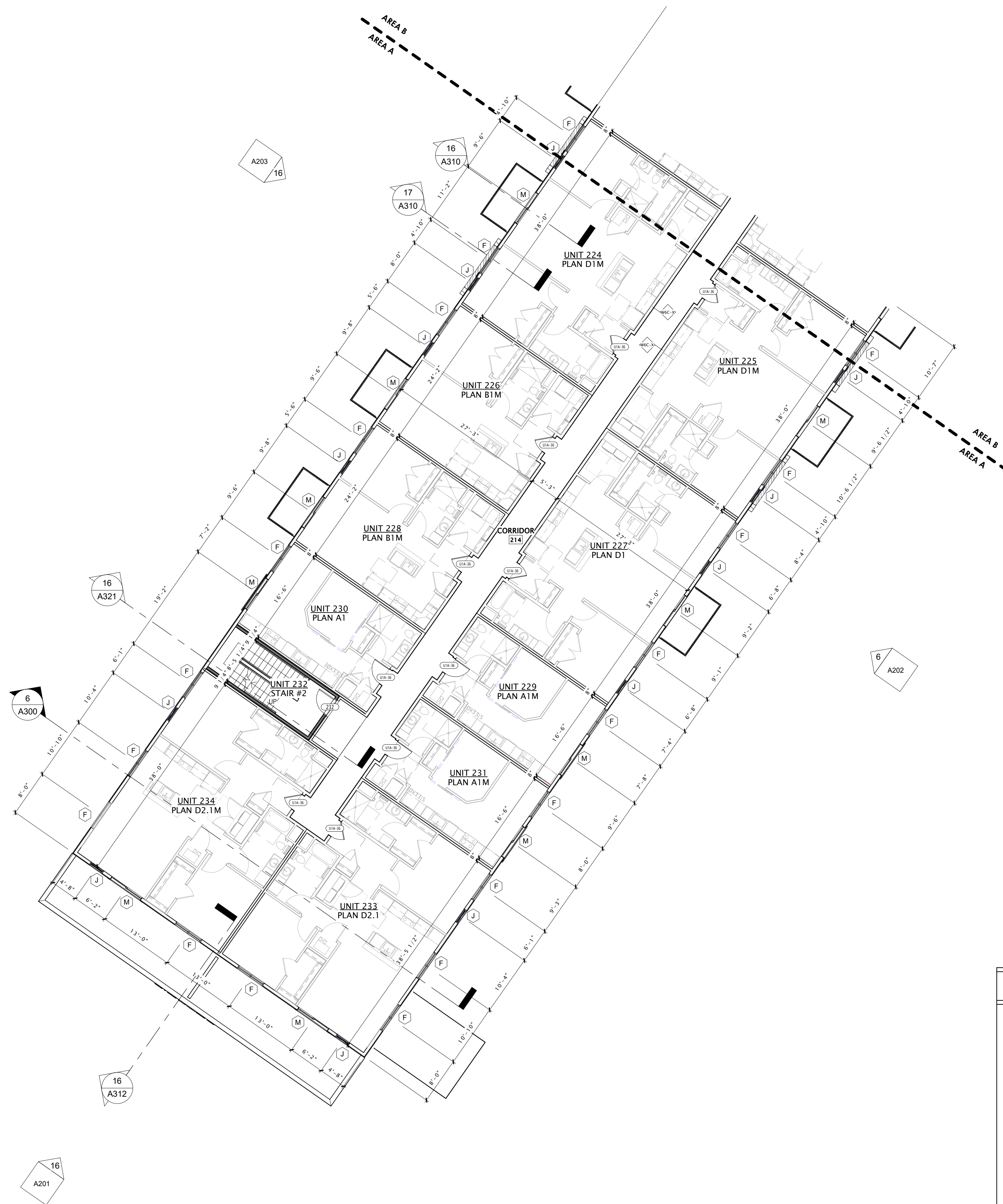
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A102



SHEET INDEX - ENLARGED UNIT TYPES	
PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASHROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D2.1 - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

UNIT AREA SCHEDULE - SECOND FLOOR		
UNIT NO.	PLAN TYPE	AREA
201	PLAN D2M	1139 SF
202	PLAN D2	1139 SF
204	PLAN B1M	683 SF
205	PLAN B1	683 SF
206	PLAN B1M	683 SF
207	PLAN B1	683 SF
208	PLAN D1-TYPE A	1068 SF
209	PLAN B1	683 SF
210	PLAN B1	683 SF
211	PLAN B2	619 SF
212	PLAN F1	1361 SF
216	PLAN B1A	683 SF
217	PLAN A1M	471 SF
218	PLAN B1M	683 SF
219	PLAN B1	683 SF
220	PLAN B1M	683 SF
221	PLAN B1	683 SF
222	PLAN B1M	683 SF
223	PLAN B1	683 SF
224	PLAN D1M	1068 SF
225	PLAN D1M	1068 SF
226	PLAN B1M	683 SF
227	PLAN D1	1068 SF
228	PLAN B1M	683 SF
229	PLAN A1M	471 SF
230	PLAN A1	471 SF
231	PLAN A1M	471 SF
233	PLAN D2.1	1139 SF
234	PLAN D2.1M	1139 SF
239	PLAN B1M	683 SF

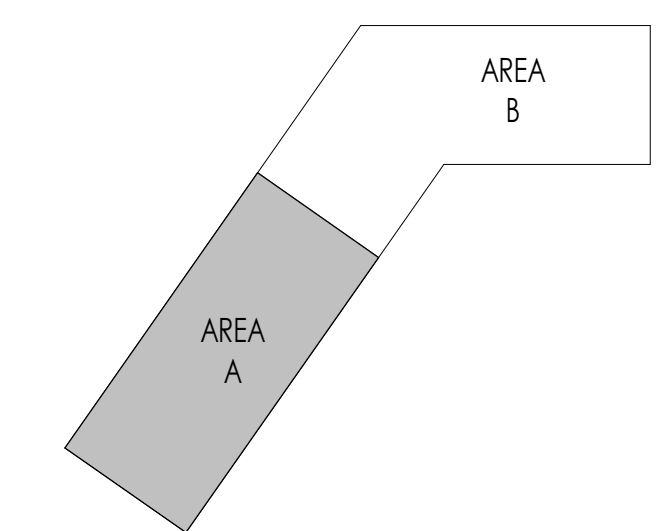


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: April 19, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

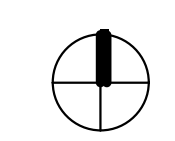
SECOND FLOOR PLAN - AREA A

SHEET NUMBER

A102A

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.



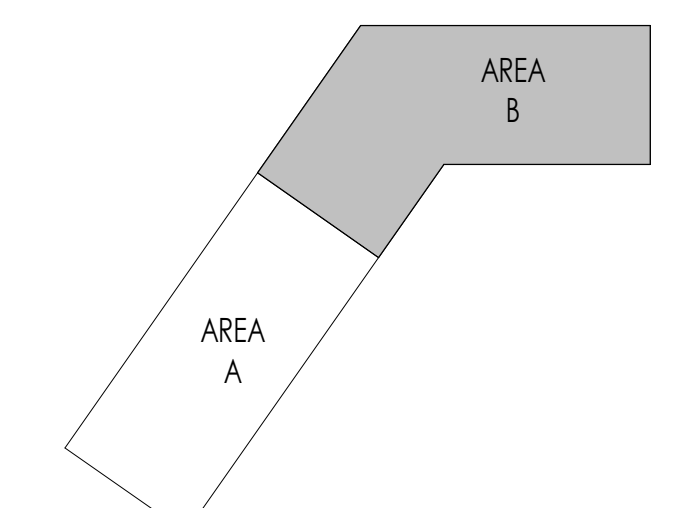


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

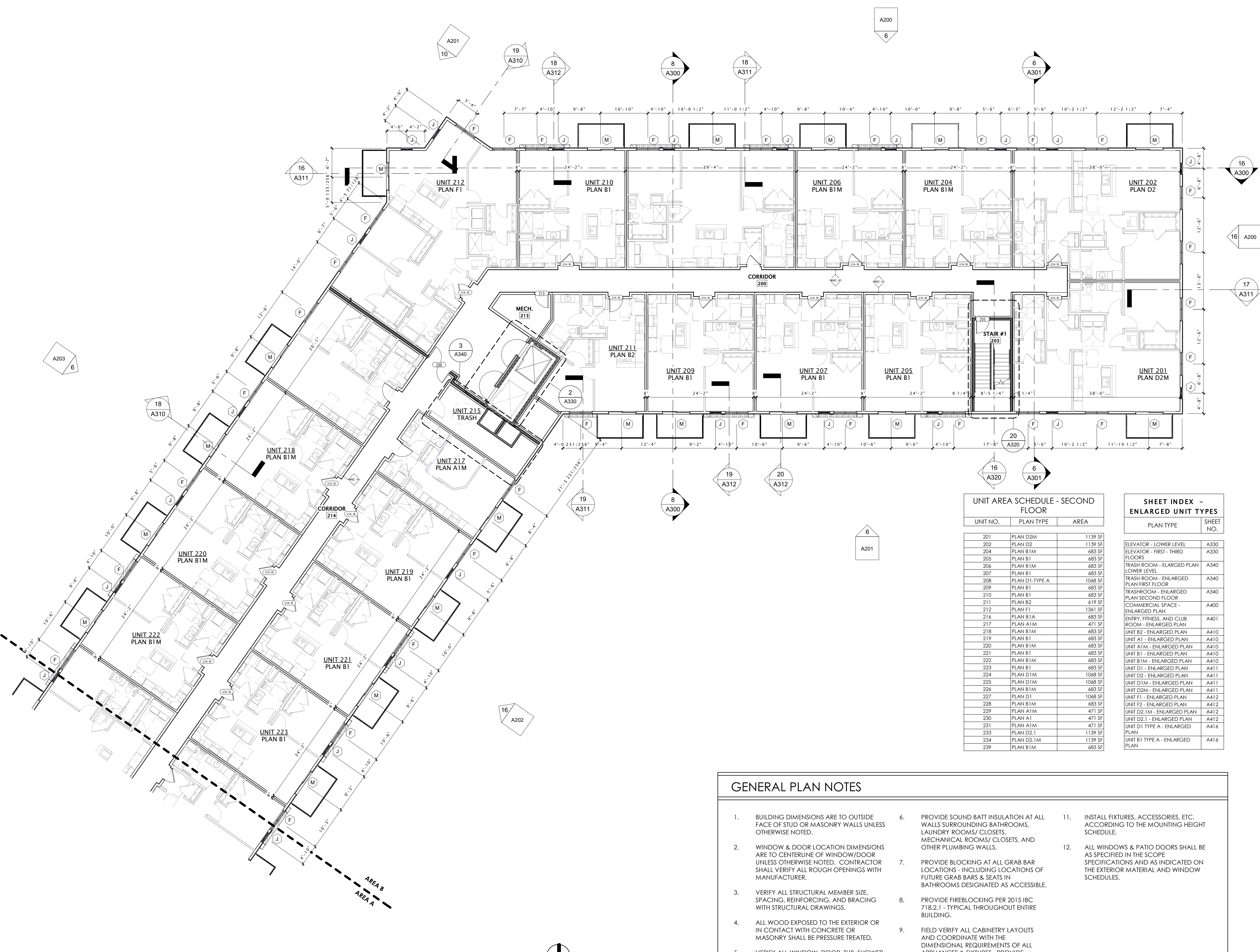
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: April 19, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
SECOND FLOOR PLAN - AREA B

SHEET NUMBER
A102B



16 SECOND FLOOR PLAN - AREA B
3/32" = 1'-0"

UNIT AREA SCHEDULE - SECOND FLOOR

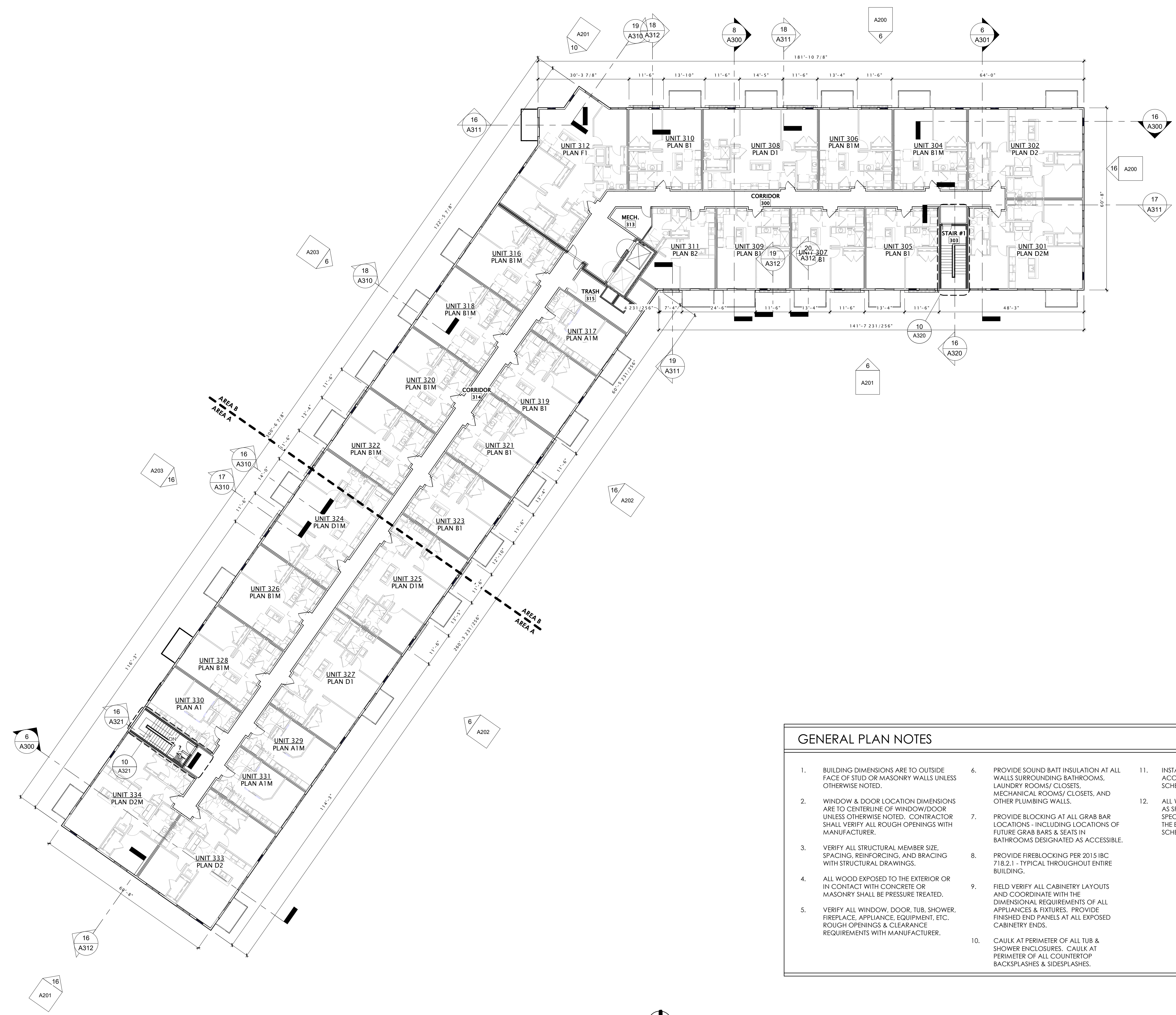
UNIT NO.	PLAN TYPE	AREA
201	PLAN D2M	1139 SF
202	PLAN D2	1139 SF
204	PLAN B1M	683 SF
205	PLAN B1	683 SF
206	PLAN B1M	683 SF
207	PLAN B1	683 SF
208	PLAN D1-TYPE A	1068 SF
209	PLAN B1	683 SF
210	PLAN B1	683 SF
211	PLAN B2	619 SF
212	PLAN B1	1361 SF
216	PLAN B1A	683 SF
217	PLAN A1M	471 SF
218	PLAN B1M	683 SF
219	PLAN B1	683 SF
220	PLAN B1M	683 SF
221	PLAN B1M	683 SF
222	PLAN B1M	683 SF
223	PLAN B1	683 SF
224	PLAN D1M	1068 SF
225	PLAN D1M	1068 SF
226	PLAN B1M	683 SF
227	PLAN D1	1068 SF
228	PLAN B1M	683 SF
229	PLAN A1M	471 SF
230	PLAN A1	471 SF
231	PLAN A1M	471 SF
233	PLAN D2.1	1139 SF
234	PLAN D2.1M	1139 SF
239	PLAN B1M	683 SF

SHEET INDEX - ENLARGED UNIT TYPES

PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASHROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D2.1 - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.



SHEET INDEX - ENLARGED UNIT TYPES	
PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASHROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2 IM - ENLARGED PLAN	A412
UNIT D2 I - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

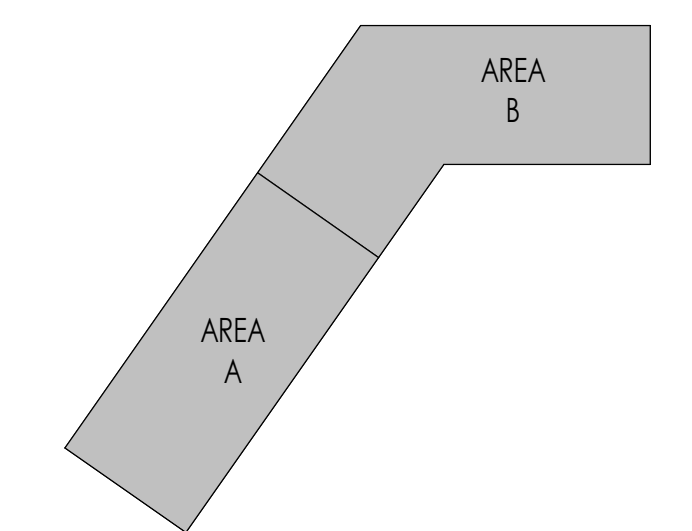
UNIT AREA SCHEDULE - THIRD FLOOR		
UNIT NO.	PLAN TYPE	AREA
301	PLAN D2M	1139 SF
302	PLAN D2	1139 SF
304	PLAN B1M	683 SF
305	PLAN B1	683 SF
307	PLAN B1	683 SF
308	PLAN D1	1068 SF
309	PLAN B1	683 SF
310	PLAN B1	683 SF
311	PLAN B2	619 SF
312	PLAN F1	1361 SF
316	PLAN B1M	683 SF
317	PLAN A1M	471 SF
318	PLAN B1M	683 SF
319	PLAN B1	683 SF
320	PLAN B1M	683 SF
321	PLAN B1	683 SF
322	PLAN B1M	683 SF
323	PLAN B1	683 SF
324	PLAN D1M	1068 SF
325	PLAN D1M	1068 SF
326	PLAN B1M	683 SF
327	PLAN D1	1068 SF
328	PLAN B1M	683 SF
329	PLAN A1M	471 SF
330	PLAN A1	471 SF
331	PLAN A1M	471 SF
332	COMMERCIAL 2	3609 SF
333	PLAN D2	1139 SF
334	PLAN D2M	1139 SF
335	COMMERCIAL 1	1583 SF



JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

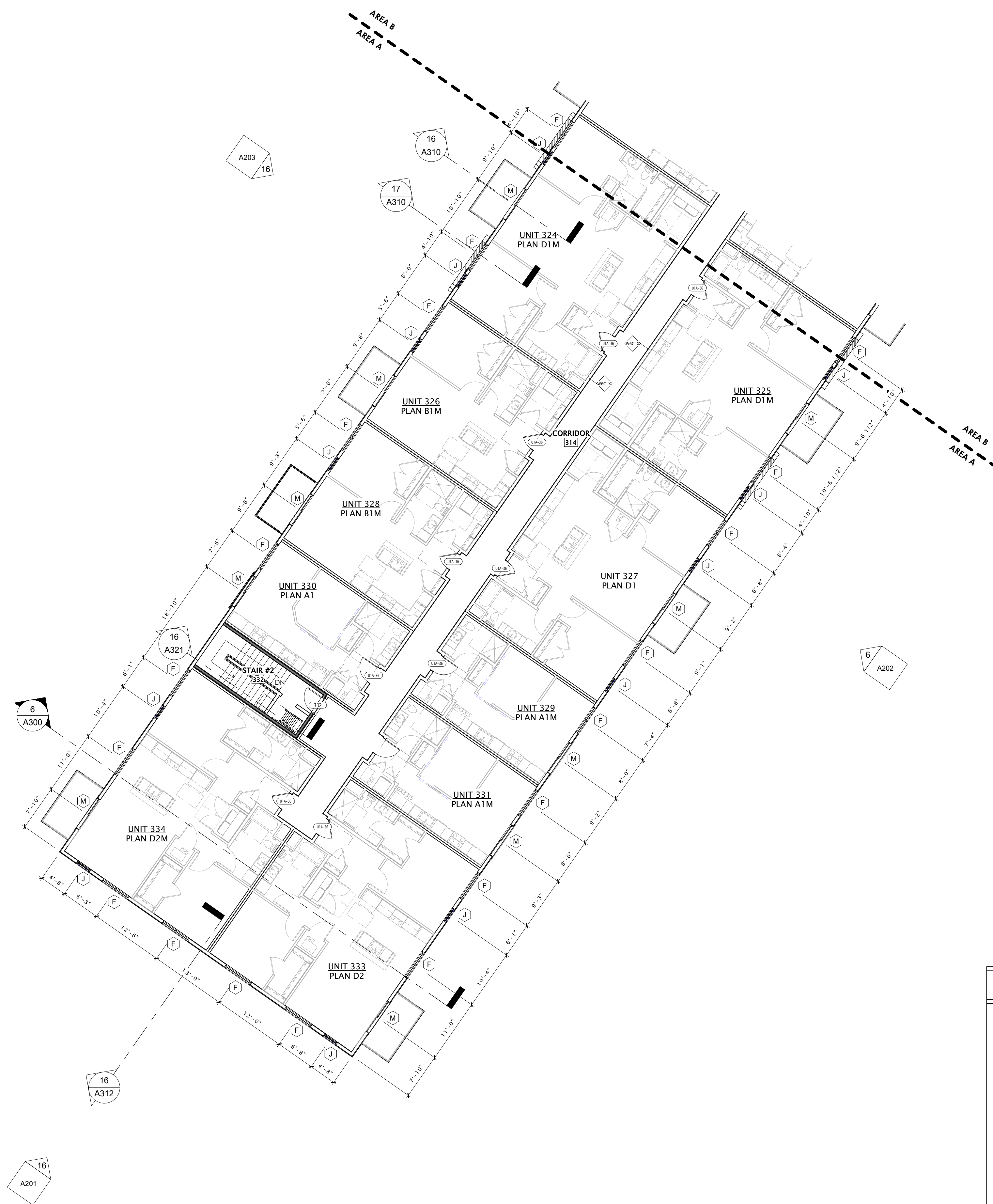
SHEET NUMBER

A103

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

16 THIRD FLOOR PLAN
1/16" = 1'-0"



SHEET INDEX - ENLARGED UNIT TYPES	
PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASH ROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.1M - ENLARGED PLAN	A412
UNIT D1 - ENLARGED PLAN	A416
UNIT D1 TYPE A - ENLARGED PLAN	A416

UNIT AREA SCHEDULE - THIRD FLOOR		
UNIT NO.	PLAN TYPE	AREA
301	PLAN D2M	1139 SF
302	PLAN D2	1139 SF
304	PLAN B1M	683 SF
305	PLAN B1	683 SF
307	PLAN B1	683 SF
308	PLAN D1	1068 SF
309	PLAN B1	683 SF
310	PLAN B1	683 SF
311	PLAN B2	619 SF
312	PLAN F1	1361 SF
316	PLAN B1M	683 SF
317	PLAN A1M	471 SF
318	PLAN B1M	683 SF
319	PLAN B1	683 SF
320	PLAN B1M	683 SF
321	PLAN B1	683 SF
322	PLAN B1M	683 SF
323	PLAN B1	683 SF
324	PLAN D1M	1068 SF
325	PLAN D1M	1068 SF
326	PLAN B1M	683 SF
327	PLAN D1	1068 SF
328	PLAN B1M	683 SF
329	PLAN A1M	471 SF
330	PLAN A1	471 SF
331	PLAN A1M	471 SF
332	COMMERCIAL 2	3609 SF
333	PLAN D2	1139 SF
334	PLAN D2M	1139 SF
335	COMMERCIAL 1	1583 SF

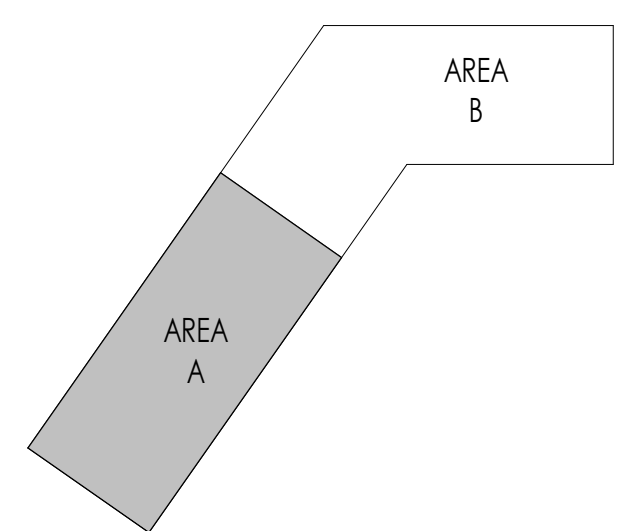


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN - AREA A

SHEET NUMBER

A103A

GENERAL PLAN NOTES		
1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.	6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.	11. INSTALL FIXTURES, ACCESSORIES, ETC., ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.	7. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.	12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.	8. PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.	
4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.	9. FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.	
5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.	10. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.	

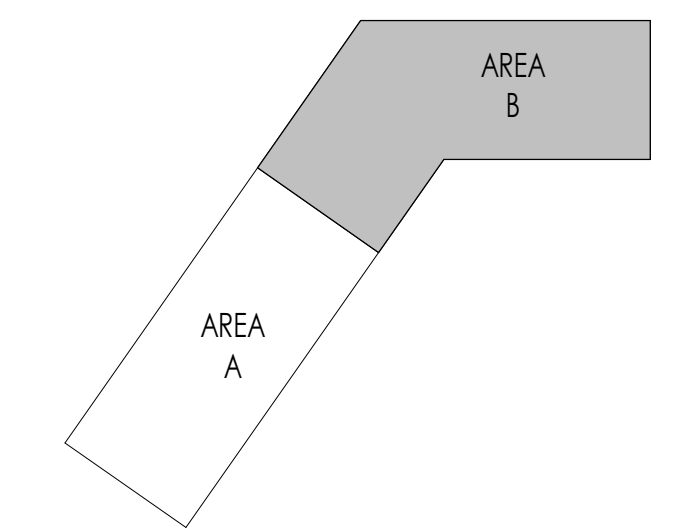


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN - AREA B

SHEET NUMBER

A103B



UNIT AREA SCHEDULE - THIRD FLOOR

UNIT NO.	PLAN TYPE	AREA
301	PLAN D2M	1139 SF
302	PLAN D2	1139 SF
304	PLAN B1M	683 SF
305	PLAN B1	683 SF
307	PLAN B1	683 SF
308	PLAN D1	1068 SF
309	PLAN B1	683 SF
310	PLAN B1	683 SF
311	PLAN B2	619 SF
312	PLAN F1	1361 SF
316	PLAN B1M	683 SF
317	PLAN A1M	471 SF
318	PLAN B1M	683 SF
319	PLAN B1	683 SF
320	PLAN B1M	683 SF
321	PLAN B1	683 SF
322	PLAN B1M	683 SF
323	PLAN B1	683 SF
324	PLAN D1M	1068 SF
325	PLAN D1M	1068 SF
326	PLAN B1M	683 SF
327	PLAN D1	1068 SF
328	PLAN B1M	683 SF
329	PLAN A1M	471 SF
330	PLAN A1	471 SF
331	PLAN A1M	471 SF
332	COMMERCIAL 2	3609 SF
333	PLAN D2	1139 SF
334	PLAN D2M	1139 SF
335	COMMERCIAL 1	1583 SF

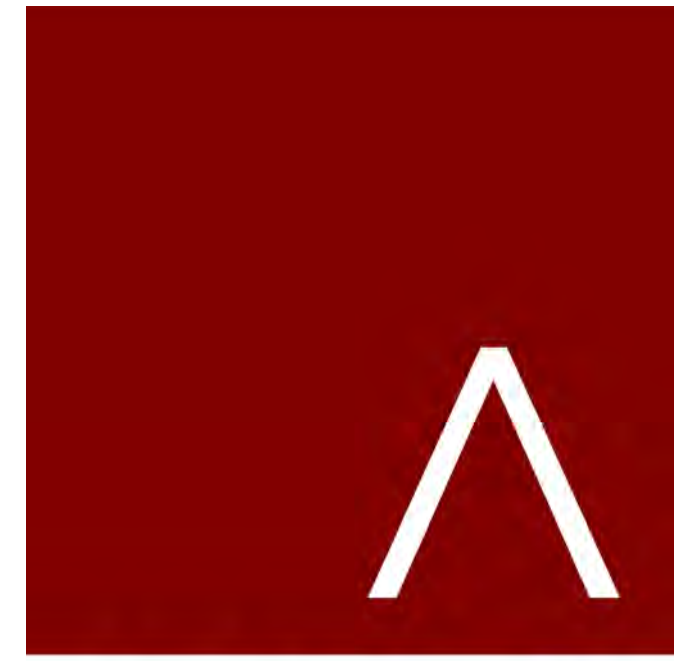
SHEET INDEX - ENLARGED UNIT TYPES

PLAN TYPE	SHEET NO.
ELEVATOR - LOWER LEVEL	A330
ELEVATOR - FIRST - THIRD FLOORS	A330
TRASH ROOM - ENLARGED PLAN LOWER LEVEL	A340
TRASH ROOM - ENLARGED PLAN FIRST FLOOR	A340
TRASHROOM - ENLARGED PLAN SECOND FLOOR	A340
COMMERCIAL SPACE - ENLARGED PLAN	A400
ENTRY, FITNESS, AND CLUB ROOM - ENLARGED PLAN	A401
UNIT B2 - ENLARGED PLAN	A410
UNIT A1 - ENLARGED PLAN	A410
UNIT A1M - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A410
UNIT B1M - ENLARGED PLAN	A410
UNIT D1 - ENLARGED PLAN	A411
UNIT D2 - ENLARGED PLAN	A411
UNIT D1M - ENLARGED PLAN	A411
UNIT D2M - ENLARGED PLAN	A411
UNIT F1 - ENLARGED PLAN	A412
UNIT F2 - ENLARGED PLAN	A412
UNIT D2.IM - ENLARGED PLAN	A412
UNIT D2.1 - ENLARGED PLAN	A412
UNIT D1 TYPE A - ENLARGED PLAN	A416
UNIT B1 TYPE A - ENLARGED PLAN	A416

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

16 THIRD FLOOR PLAN - AREA B
3/32" = 1'-0"

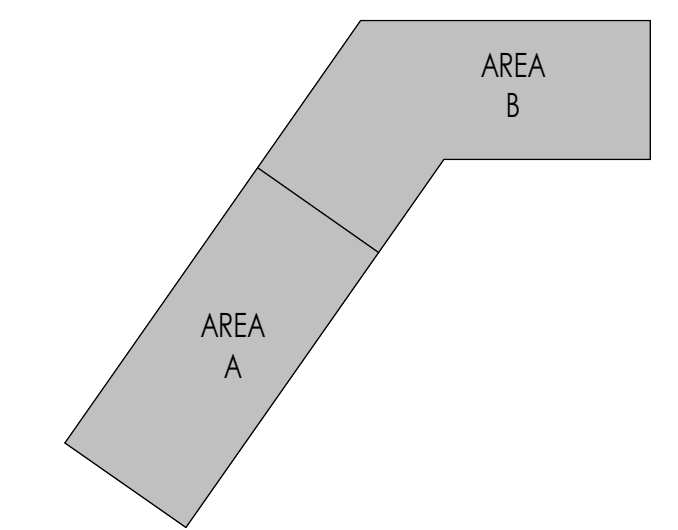


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

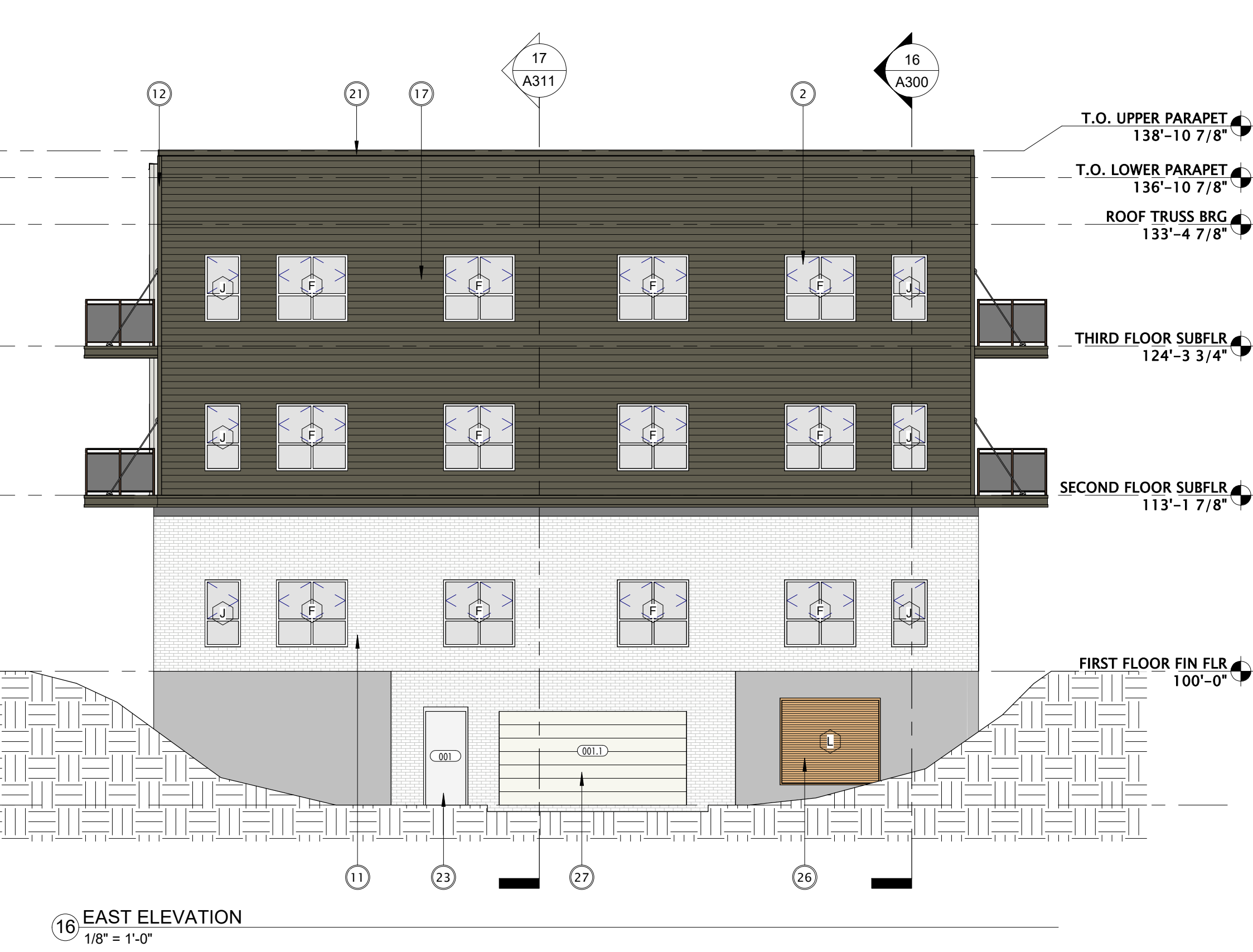
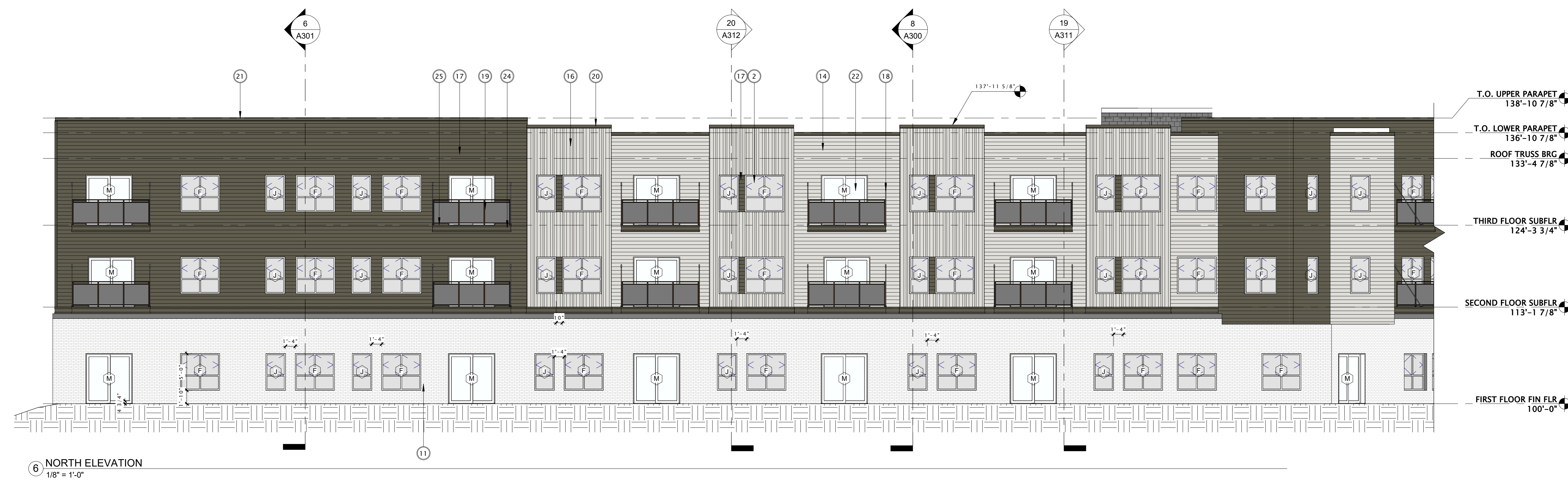
Mark	Description	Date
------	-------------	------

SHEET TITLE

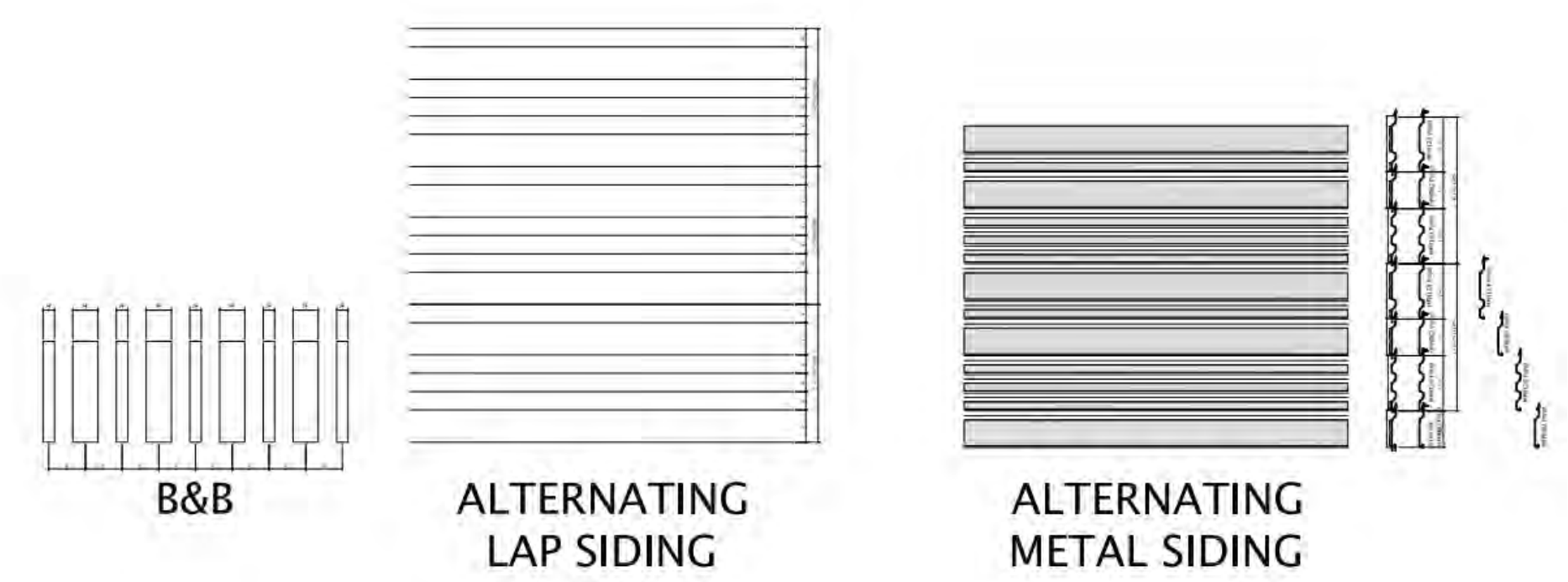
EXTERIOR ELEVATIONS

SHEET NUMBER

A200



EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA	ROLLEX - OR EQUAL	ALUMINUM	SEE PLANS	CLAY	
2	VINYL WINDOWS	PLYGEM	SEE SCHEDULE	SEE WINDOW SCHEDULE	CLAY	
4	STORE FRONT WINDOWS	ROLLEX - OR EQUAL	TBD	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	COMMERCIAL WINDOWS
11	MASONRY - 1 (BRICK)	GENERAL SHALE	ARCHITECTURAL LINEAR BRICK	2 3/8" H X 22 5/8" L X 3 3/4" D	WHITE PEARL	1/3 BOND
12	CORNER TRIM	UP	190 SERIES TRIM	1x4	MATCH ADJACENT SIDING	
14	FIBER CEMENT SIDING	JAMES HARDIE	SMOOTH	8" NOMINAL, 7" EXPOSURE	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
16	FIBER CEMENT PANELS AND B&B	JAMES HARDIE	SMOOTH	2 1/2" AND 5 1/2" B&B WIDTH	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
17	CONCEALED METAL WALL PANEL	ATAS INTERNATIONAL, INC.	RIGID WALL	MFN082, MFN120, MFN124	MEDIUM BRONZE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
18	TENSION ROD	(FABRICATED)	TBD	TBD	TBD	
19	BALCONY RAILING	WILLIAMS, INC.	PRE-MANUFACTURED	SEE PLANS	COLOR TO MATCH VINYL WINDOW COLOR	WIRE MESH PANEL
20	COPING	PAC-CLAD	TAPERED	8" FACE	SANDSTONE	INSTALL WITH MATERIAL #14 & #16
21	COPING	ATAS INTERNATIONAL, INC.	TAPERED	8" FACE	MEDIUM BRONZE	INSTALL WITH MATERIAL #17
22	VINYL PATIO DOORS	PLYGEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
23	STEEL ENTRY DOOR	THERMA-TRU - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAIN TO MATCH MASONRY - 1	
24	BALCONY FASCIA & TRIM	UP	20 FOOT TRIM, 190 SERIES TRIM	5/4x10, 1x3 T & B	MATCH RAILINGS	INSTALL 1x3 TRIM TOP & BOTTOM
25	BALCONY / DECK	TARKO EVERGRAIN	COMPOSITE	1x6	TBD	
26	LOUVER	TBD	SEE DOOR SCHEDULE	SEE DOOR SCHEDULE	PAIN TO MATCH MASONRY - 1	
27	OVERHEAD GARAGE DOOR	CLOPAY, OR SIMILAR	3208 - INSULATED STEEL FULL-VIEW	SEE DOOR SCHEDULE	PAIN TO MATCH MASONRY - 1	



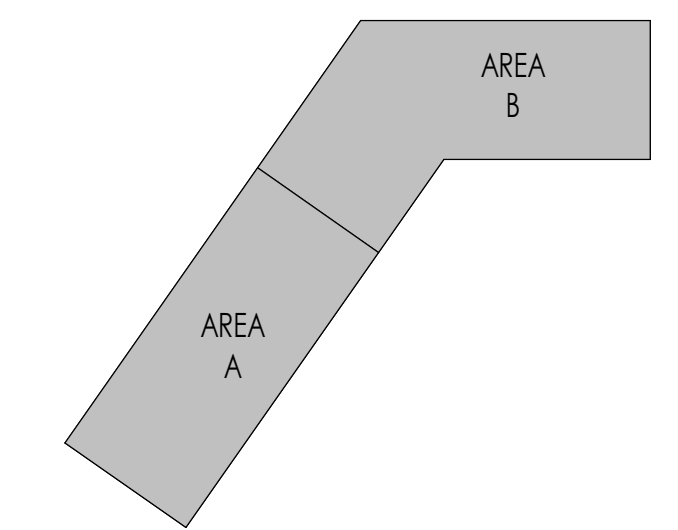


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

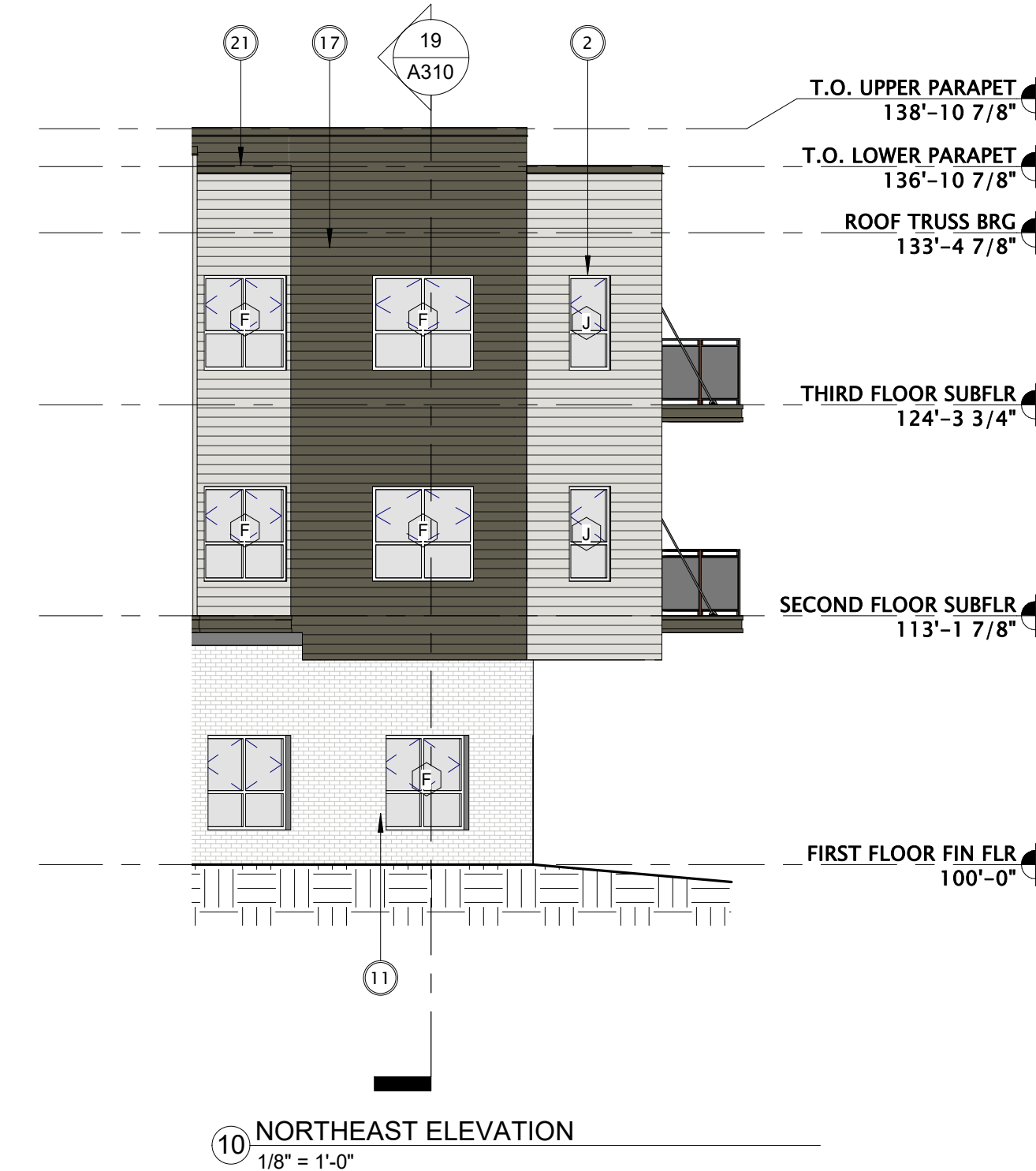
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

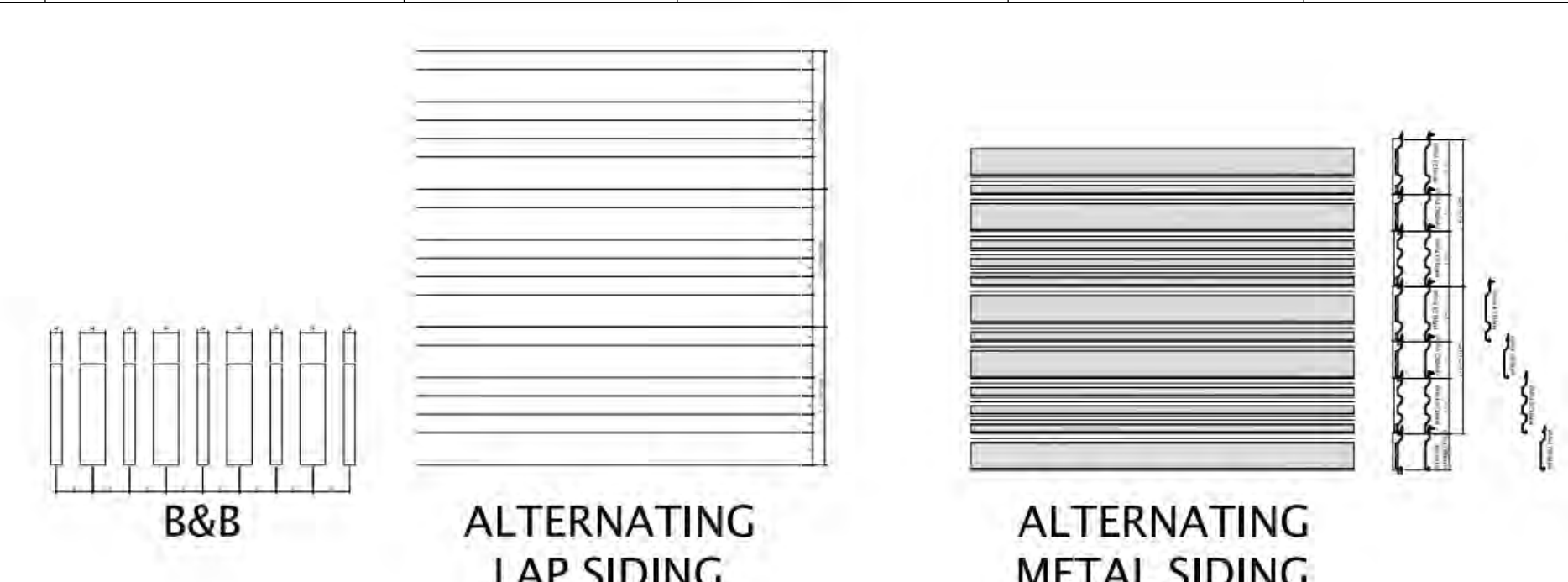
EXTERIOR ELEVATIONS

SHEET NUMBER

A201

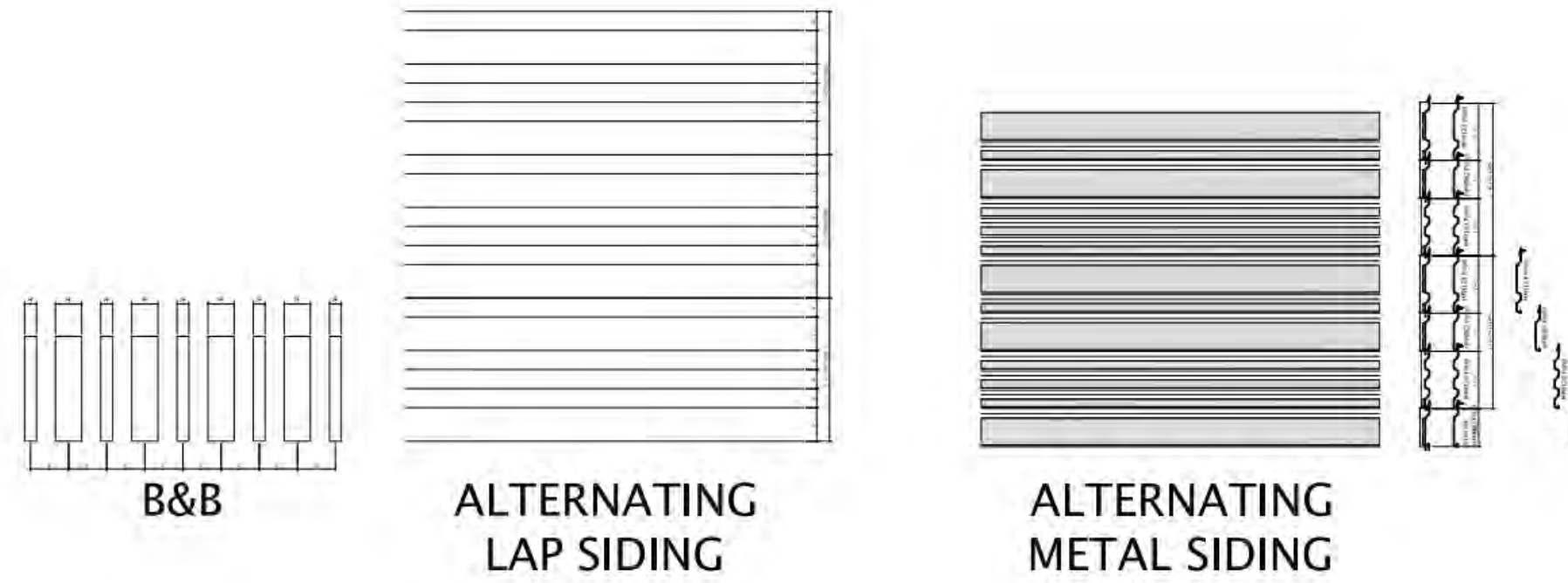


EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA	ROLLEX - OR EQUAL	ALUMINUM	SEE PLANS	CLAY	
2	VINYL WINDOWS	PLYGEM	SEE SCHEDULE	SEE WINDOW SCHEDULE	CLAY	
4	STORE FRONT WINDOWS	ROLLEX - OR EQUAL	TBD	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	COMMERCIAL WINDOWS
11	MASONRY - 1 (BRICK)	GENERAL SHALE	ARCHITECTURAL LINEAR BRICK	2 3/8" H X 22 5/8" L X 3 3/4" D	WHITE PEARL	1/3 BOND
12	CORNER TRIM	LP	190 SERIES TRIM	1x4	MATCH ADJACENT SIDING	
14	FIBER CEMENT SIDING	JAMES HARDIE	SMOOTH	8" NOMINAL, 7" EXPOSURE	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
16	FIBER CEMENT PANELS AND B&B	JAMES HARDIE	SMOOTH	2 1/2" AND 5 1/2" B&B WIDTH	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
17	CONCEALED METAL WALL PANEL	ATAS INTERNATIONAL, INC.	RIGID WALL	MFN082, MFN120, MFN124	MEDIUM BRONZE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
18	TENSION ROD	(FABRICATED)	TBD	TBD	TBD	
19	BALCONY RAILING	WILLIAMS, INC.	PRE-MANUFACTURED	SEE PLANS	COLOR TO MATCH VINYL WINDOW COLOR	WIRE MESH PANEL
20	COPING	PAC-CLAD	TAPERED	8" FACE	SANDSTONE	INSTALL WITH MATERIAL #14 & #16
21	COPING	ATAS INTERNATIONAL, INC.	TAPERED	8" FACE	MEDIUM BRONZE	INSTALL WITH MATERIAL #17
22	VINYL PATIO DOORS	PLYGEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
23	STEEL ENTRY DOOR	THERMA-TRU - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	
24	BALCONY FASCIA & TRIM	LP	20 FOOT TRIM, 190 SERIES TRIM	5/4x10, 1x3 T & B	MATCH RAILINGS	INSTALL 1x3 TRIM TOP & BOTTOM
25	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1x6	TBD	
26	LOUVER	TBD	TBD	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	
27	OVERHEAD GARAGE DOOR	CLOPAY, OR SIMILAR	3208 - INSULATED STEEL FULL-VIEW	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	



4/19/2023 9:16:03 AM

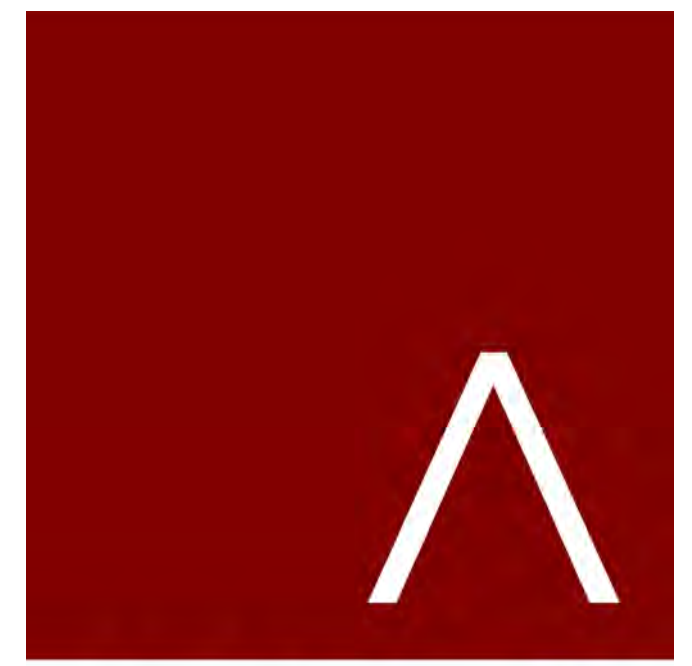
EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA	ROLEX - OR EQUAL	ALUMINUM	SEE PLANS	CLAY	
2	VINYL WINDOWS	PLYGEM	SEE SCHEDULE	SEE WINDOW SCHEDULE	CLAY	
4	STORE FRONT WINDOWS	ROLEX - OR EQUAL	TBD	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	COMMERCIAL WINDOWS
11	MASONRY - 1 (BRICK)	GENERAL SHALE	ARCHITECTURAL LINEAR BRICK	2 3/8" H X 22 5/8" L X 3 3/4" D	WHITE PEARL	1/3 BOND
12	CORNER TRIM	LP	190 SERIES TRIM	1x4	MATCH ADJACENT SIDING	
14	FIBER CEMENT SIDING	JAMES HARDIE	SMOOTH	8" NOMINAL, 7" EXPOSURE	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
16	FIBER CEMENT PANELS AND B&B	JAMES HARDIE	SMOOTH	2 1/2" AND 5 1/2" B&B WIDTH	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
17	CONCEALED METAL WALL PANEL	ATAS INTERNATIONAL, INC.	RIGID WALL	MFN082, MFN120, MFN124	MEDIUM BRONZE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
18	TEKSON ROD	(FABRICATED)	TBD	TBD	TBD	
19	BALCONY RAILING	WILLIAMS, INC.	PRE-MANUFACTURED	SEE PLANS	COLOR TO MATCH VINYL WINDOW COLOR	WIRE MESH PANEL
20	COPING	PAC-CLAD	TAPERED	8" FACE	SANDSTONE	INSTALL WITH MATERIAL #14 & #16
21	COPING	ATAS INTERNATIONAL, INC.	TAPERED	8" FACE	MEDIUM BRONZE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
22	VINYL PATIO DOORS	PLYGEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
23	STEEL ENTRY DOOR	THERMA-TRU - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	
24	BALCONY FASCIA & TRIM	LP	20 FOOT TRIM, 190 SERIES TRIM	5/4x10, 1x3 T & B	MATCH RAILINGS	INSTALL 1x3 TRIM TOP & BOTTOM
25	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1x6	TBD	
26	LOUVER	TBD	TBD	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	
27	OVERHEAD GARAGE DOOR	CLOPAY, OR SIMILAR	3208 - INSULATED STEEL FULL-VIEW	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	



6 SOUTHEAST ELEVATION - A
1/8" = 1'-0"



16 SOUTHEAST ELEVATION - B
1/8" = 1'-0"

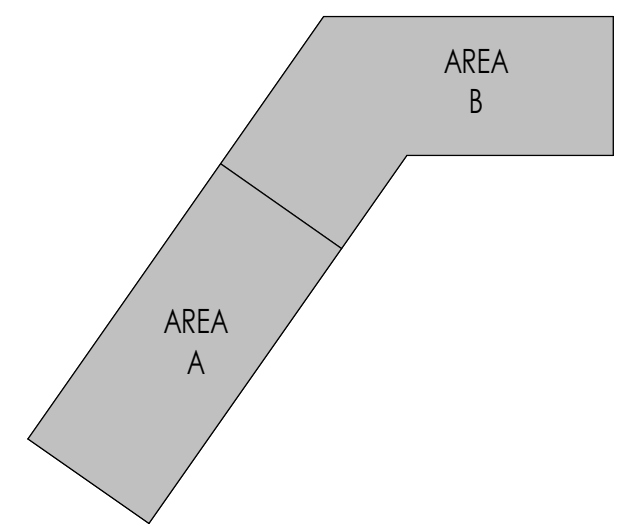


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE		
Mark	Description	Date

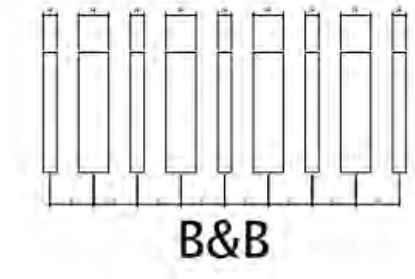
SHEET TITLE

EXTERIOR ELEVATIONS

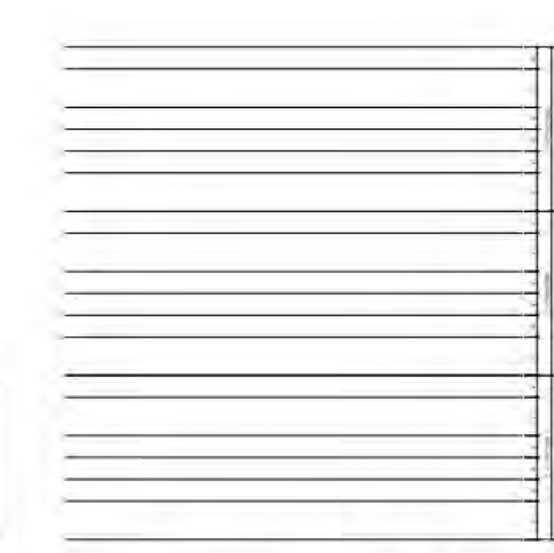
SHEET NUMBER

A202

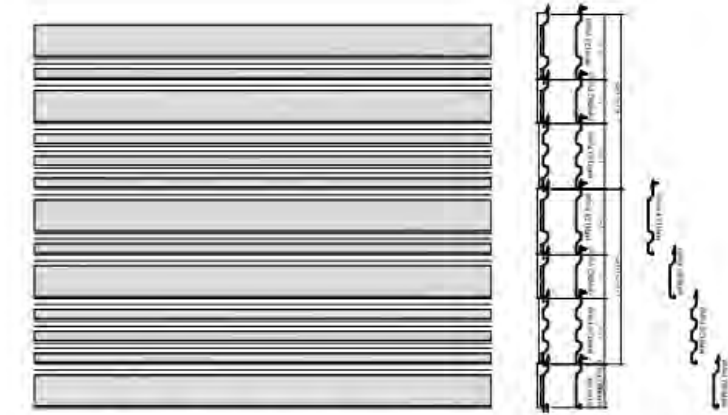
EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA	ROLLEX - OR EQUAL	ALUMINUM	SEE PLANS	CLAY	
2	VINYL WINDOWS	PLYGEM	SEE SCHEDULE	SEE WINDOW SCHEDULE	CLAY	
4	STORE FRONT WINDOWS	ROLLEX - OR EQUAL	TBD	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	COMMERCIAL WINDOWS
11	MASONRY - 1 (BRICK)	GENERAL SHALE	ARCHITECTURAL LINEAR BRICK	2 3/8" H X 22 5/8" L X 3 3/4" D	WHITE PEARL	1/3 BOND
12	CORNER TRIM	LP	190 SERIES TRIM	1x4	MATCH ADJACENT SIDING	
14	FIBER CEMENT SIDING	JAMES HARDIE	SMOOTH	8" NOMINAL, 7" EXPOSURE	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
16	FIBER CEMENT PANELS AND B&B	JAMES HARDIE	SMOOTH	2 1/2" AND 5 1/2" B&B WIDTH	COBBLE STONE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
17	CONCEALED METAL WALL PANEL	ATAS INTERNATIONAL, INC.	RIGID WALL	MFN082, MFN120, MFN124	MEDIUM BRONZE	ALTERNATING PATTERN - REFER TO DETAIL BELOW
18	TENSION ROD (FABRICATED)	TBD	TBD			
19	BALCONY RAILING	WILLIAMS, INC.	PRE-MANUFACTURED	SEE PLANS	COLOR TO MATCH VINYL WINDOW COLOR	WIRE MESH PANEL
20	COPING	PAC-CLAD	TAPERED	8" FACE	SANDSTONE	INSTALL WITH MATERIAL #14 & #16
21	COPING	ATAS INTERNATIONAL, INC.	TAPERED	8" FACE	MEDIUM BRONZE	INSTALL WITH MATERIAL #17
22	VINYL PATIO DOORS	PLYGEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
23	STEEL ENTRY DOOR	THERMA-TRU - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	
24	BALCONY FASCIA & TRIM	LP	20 FOOT TRIM, 190 SERIES TRIM	5/4x10, 1x3 T & B	MATCH RAILINGS	INSTALL 1x3 TRIM TOP & BOTTOM
25	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1x6	TBD	
26	LOUVER	TBD	TBD	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	
27	OVERHEAD GARAGE DOOR	CLOPAY, OR SIMILAR	3208 - INSULATED STEEL FULL-VIEW	SEE DOOR SCHEDULE	PAINT TO MATCH MASONRY - 1	



B&B



ALTERNATING LAP SIDING



ALTERNATING METAL SIDING



6 NORTHWEST ELEVATION - A
1/8" = 1'-0"



16 NORTHWEST ELEVATION - B
1/8" = 1'-0"



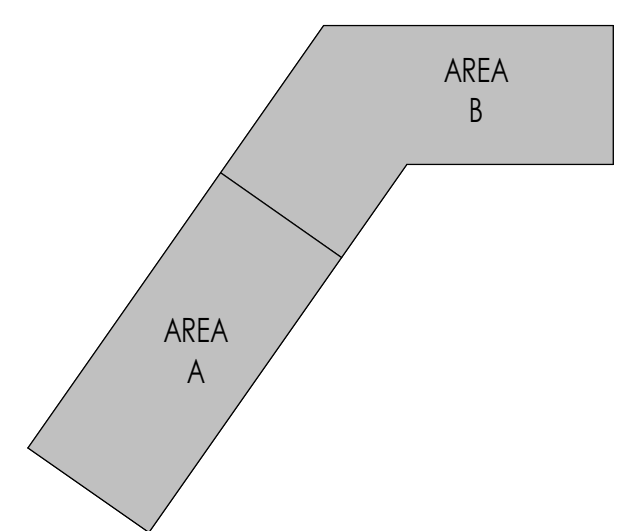
JLA
ARCHITECTS

MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0126

BADAX FLATS APARTMENTS

CITY SUBMITTAL SET



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE April 19, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

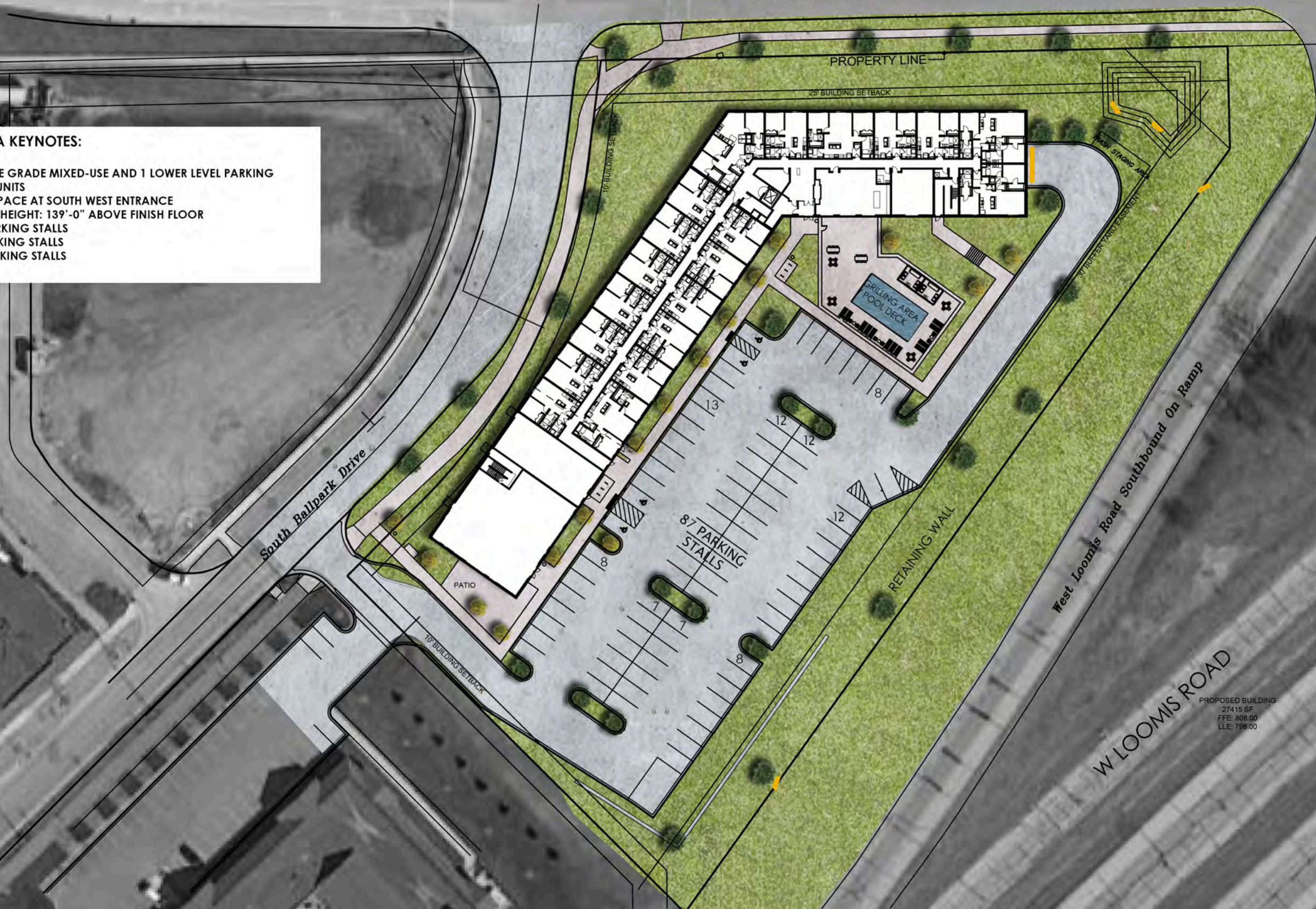
SHEET NUMBER

A203

W RAWSON AVE

BUILDING DATA KEYNOTES:

- 3 STORIES ABOVE GRADE MIXED-USE AND 1 LOWER LEVEL PARKING
- 78 RESIDENTIAL UNITS
- COMMERCIAL SPACE AT SOUTH WEST ENTRANCE
- TOP OF PARAPET HEIGHT: 139'-0" ABOVE FINISH FLOOR
- 80 COVERED PARKING STALLS
- 87 SURFACE PARKING STALLS
- TOTAL 167 PARKING STALLS



PROPOSED BUILDING
 27415 SF
 FFE: 808.00
 LLE: 798.00



JLA
 ARCHITECTS

BADAX FLATS MIXED USE DEVELOPMENT

RENDERED MASTERPLAN

APRIL 19, 2023

1"=60' @ 11x17



LAND
By
LABEL

DEVELOPMENT CO.
 7044 SOUTH BALLPARK DR.
 STE 305, FRANKLIN, WI, 53132

SHEET NOTES

1. THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
2. THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS : USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PD" 37' CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

GENERAL NOTES

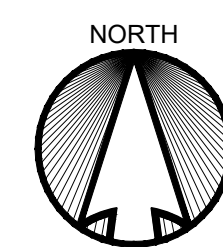
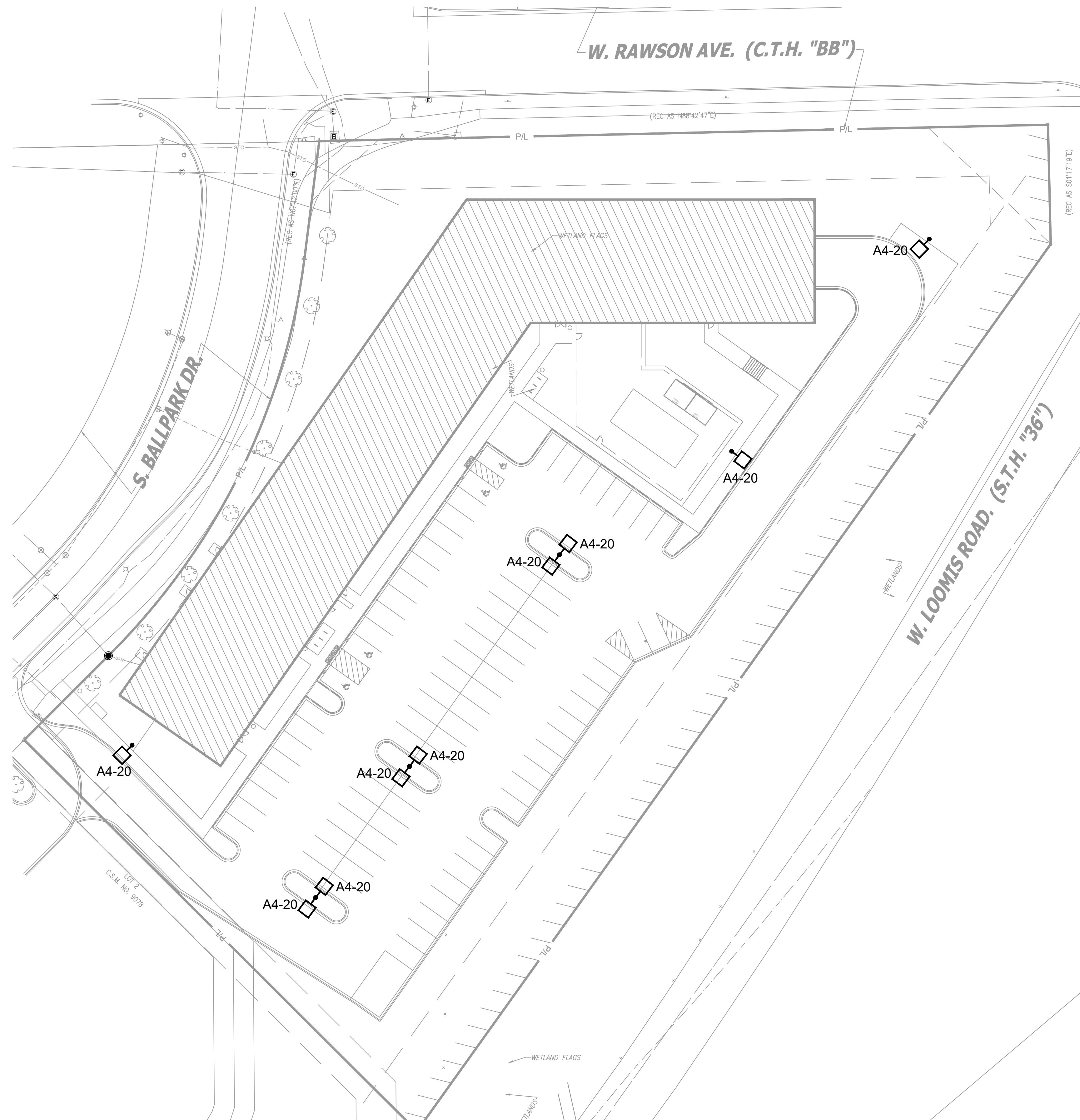
1. INSTALL PRIMARY ELECTRICAL CONDUIT , CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
2. COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN IS COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
3. LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDING OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.

SITE LIGHTING FIXTURE SCHEDULE

DES.	DESCRIPTION	LAMP DATA		VOLT	DEPTH	LIGHTING FIXTURE		SURFACE				RECESS		SEE NOTE	
		NO.	TYPE			MFR.	CAT. NO.	CEILING	WALL	SUSP.	SPECIAL	LAY-IN	CONCEAL		DRYWALL
A4-20	LED AREA POLE-MOUNT FIXTURE TYPE 4 WIDE DISTRIBUTION BLACK, ON 20' POLE	1	120W LED 4000K	--	--	McGRAW-EDISON	GLEON-SA2B-740-U-T4W-BK								1,2,3

LIGHTING FIXTURE NOTES:

1. PROVIDE 2' TALL CONCRETE POLE BASE.
2. PROVIDE PHOTOCELL ON FIXTURE OR BY TIMECLOCK IN BUILDING.
3. PROVIDE WITH 20' SQUARE POLE, BLACK. CATALOG INFORMATION FORTHCOMING. SELECT POLES WILL HAVE 2 FIXTURE HEADS MOUNTED TO IT IN A 180-DEGREE CONFIGURATION.



1
E100S

SITE LIGHTING PLAN

SCALE: 1" = 30'-0"
0 7.5 15 30 60 120

DESIGNED BY: **AMB**
DRAWN BY: **AMB**
CHECKED BY: **TGS**

LEEDY & PETZOLD ASSOCIATES, LLC
CONSULTING ELECTRICAL ENGINEERS/PLANNERS
11046 W. BLUEMOUND ROAD
WAUKESHA, WISCONSIN 53226
PH: (262) 865-1544

PROJECT DESCRIPTION:

PROJECT LOCATION:
BADAX
8240 OLD LOOMIS ROAD
FRANKLIN, MILWAUKEE COUNTY, WI

PROJECT NUMBER: **8665**
DATE: **04/20/2023**

SHEET NUMBER:

E100S

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

SHEET NOTES

- THIS LIGHTING WAS DESIGNED TO MATCH DEVELOPMENT AESTHETIC WHILE BEING COMPLIMENTARY TO NEIGHBORING PROPERTIES.
- THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF FRANKLIN ZONING ORDINANCE, SECTION 15-5.0401 (C) EXTERIOR LIGHTING STANDARDS : USE OF CUT-OFF LUMINAIRES WITH ANGLE LESS THAN 90-DEGREES. THE PROPERTY IS ZONED AS "PDD 37" CATEGORIZING THE ZONING AS "ALL OTHER DISTRICTS" WITHIN THE LIGHTING STANDARDS. THIS LIMITS THE PROPERTY LINE ILLUMINATION LEVEL TO 4fc AND A MAXIMUM LUMINAIRE HEIGHT OF 50'.

GENERAL NOTES

- INSTALL PRIMARY ELECTRICAL CONDUIT , CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE. COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
- COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN IS COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
- LIGHTING CONTROL TO BE DETERMINED BY ELECTRICAL CONTRACTOR. CONTROL WILL BE VIA TIMECLOCK AT THE BUILDING OR PHOTOCELLS ON EACH POLE. FIXTURES TO BE CIRCUITED TOGETHER TO BUILDING ELECTRICAL ROOM. FINAL VOLTAGE YET TO BE DETERMINED.

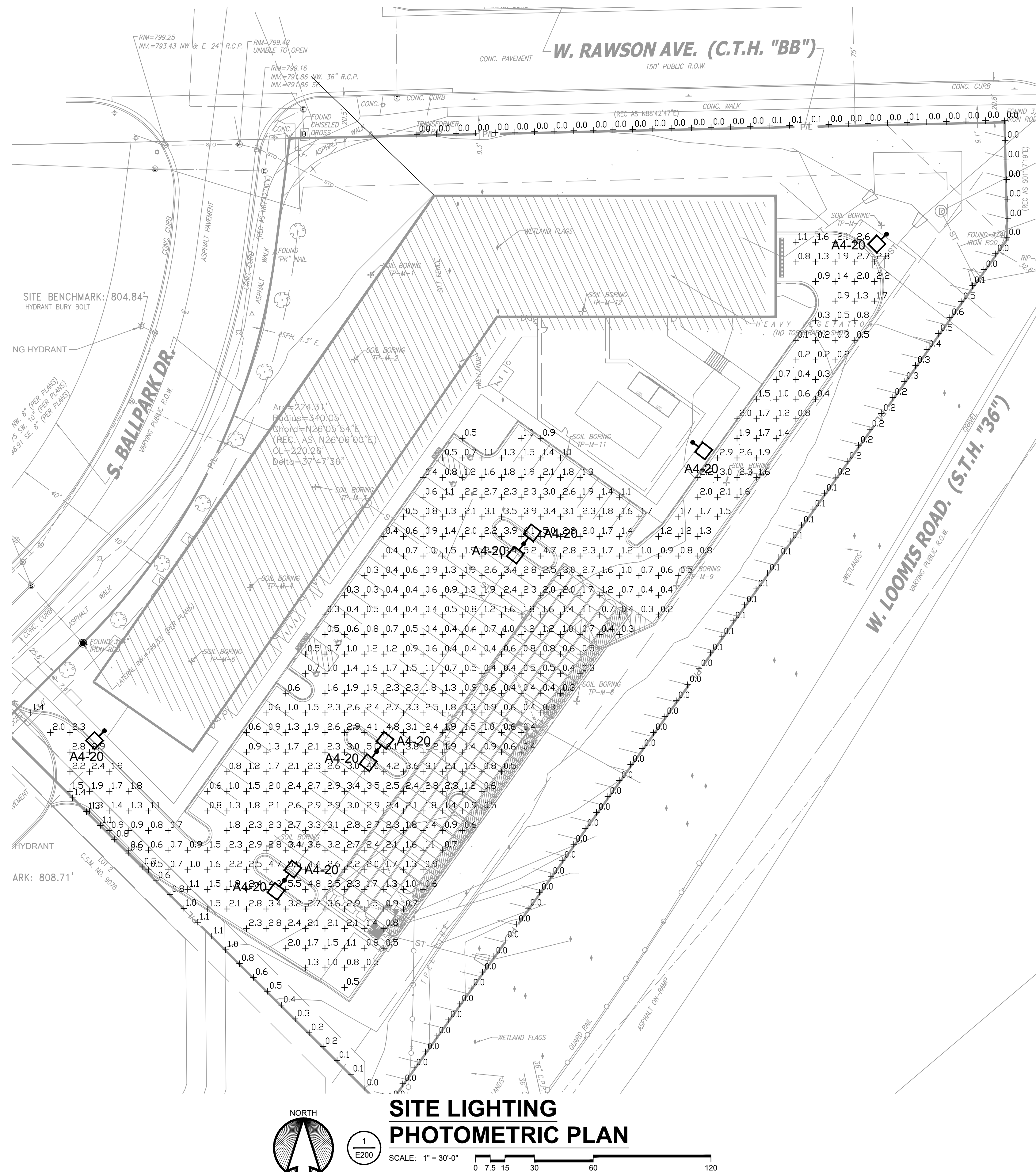
PHOTOMETRIC STATISTICS

DESCRIPTION	SYMBOL	AVG	MIN	MAX
PARKING	+	1.6 fc	0.2 fc	5.8 fc
PROPERTY	+	0.2 fc	0.0 fc	1.4 fc

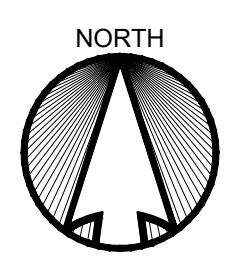
SITE LIGHTING FIXTURE SCHEDULE

DES.	DESCRIPTION	LAMP DATA		VOLT	DEPTH	LIGHTING FIXTURE		SURFACE			RECESS			SEE NOTE	
		NO.	TYPE			MFR.	CAT. NO.	CEILING	WALL	SUSP.	SPECIAL	LAY-IN	CONCEAL		DRYWALL
A4-20	LED AREA POLE-MOUNT FIXTURE TYPE 4 WIDE DISTRIBUTION BLACK, ON 20' POLE	1	120W LED 4000K	--	--	McGRAW-EDISON	GLEON-SA2B-740-U-T4WBK								1,2,3

- LIGHTING FIXTURE NOTES:**
- PROVIDE 2' TALL CONCRETE POLE BASE.
 - PROVIDE PHOTOCELL ON FIXTURE OR BY TIMECLOCK IN BUILDING. TBD BY FINAL SUBMITTAL.
 - PROVIDE WITH 20' SQUARE POLE, BLACK. CATALOG INFORMATION FORTHCOMING. SELECT POLES WILL HAVE 2 FIXTURE HEADS MOUNTED TO IT IN A 180-DEGREE CONFIGURATION.



SITE LIGHTING PHOTOMETRIC PLAN



1
E200

SCALE: 1" = 30'-0" 0 7.5 15 30 60 120

DESIGNED BY: **AMB**
 DRAWN BY: **AMB**
 CHECKED BY: **TCS**

LEEDY & PETZOLD ASSOCIATES, LLC
 CONSULTING ELECTRICAL ENGINEERS/PLANNERS
 11046 W. BLUEMOUND ROAD
 WAUKESHA, WISCONSIN 53226
 PH: (262) 865-1544

PROJECT LOCATION:
BADAX
 8240 OLD LOOMIS ROAD
 FRANKLIN, MILWAUKEE COUNTY, WI

SHEET TITLE:
SITE LIGHTING PHOTOMETRIC PLAN

PROJECT NUMBER:
8665

DATE:
04/20/2023

SHEET NUMBER:

E200

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



REPORT TO THE PLAN COMMISSION

**Meeting of June 22, 2023
Temporary Use**

RECOMMENDATION: City Development staff recommends approval of the Temporary Use Application for Anthony Escamilla – Tony’s Taco Truck to have a food truck located in the parking lot at 3030 W Ryan Road from 06/22/2023 to 06/21/2024.

Project Name:	Escamilla Food Truck Temporary Use
Project Address:	3030 W Ryan Road
Property Owner:	Big & Small LLC
Applicant:	Anthony Escamilla – Tony’s Taco Truck
Zoning:	B-2 General Business District
Use of Surrounding Properties:	B-2 General Business District; R-6 Suburban Single Family to the northwest
Comprehensive Plan:	Commercial
Planner:	Anna Kissel, Planning Intern and Marion Ecks, Associate Planner
Applicant Action Requested:	Approval of a Temporary Use

INTRODUCTION:

On March 7, 2023, the applicant, Anthony Escamilla – Tony’s Taco Truck, filed a Temporary Use Application to locate this food truck “Tony’s Taco Truck” in the parking lot located at 3030 W Ryan Road. The requested time period of the use is from 06/22/2023 to 06/21/2024. This temporary use permit requires Plan Commission approval because the requested period of operation is over 30 calendar days.

The food truck will be in operation from 11:00 AM to 7:00 PM Monday through Sunday. It operates from a base kitchen located off site. The food truck cannot be parked at this location overnight without the additional approval of a Special Use, the ability to demonstrate that food prep is done within an adjoining structure on site; and the ability to demonstrate that dumping of grey and black tanks, if any, can be accommodated on site.

This use was approved previously on 12/09/2021 for the time period of 05/02/2022 to 05/01/2023.

Analysis

City Development staff reviewed this application for compliance with the Unified Development Ordinance (UDO) Section 15-3.0804.B “Temporary Miscellaneous Outdoor Sales.” Staff comments are attached; the applicant has provided responses to these comments in Plan Commission materials. Staff

has no concerns with the proposed location or overall ability of the site to accommodate the food truck use and related parking.

If approved, the temporary use permit will be valid from 06/22/2023 to 06/21/2024. A separate temporary use permit will be required for any operations beyond this time frame.

Staff has concerns that this use, should it be requested for additional year in the future, shall no longer be considered temporary; therefore, staff encourages the applicant to seek a permanent structure to operate their business out of.

The food truck lettering as presented in submitted pictures meets the requirements of the ordinance. Advertising of products/services that are not incidental to the food truck use are prohibited per Municipal Code Section 210-10 "Signs on vehicles". Other signage will require a sign permit.

The Franklin Health Department requires that the applicant obtain a Mobile Retail License and submit it to the City of Franklin Health Department as proof before the applicant begins operating in Franklin. The applicant is aware of the requirement and prepared to provide it before the business opens at this location.

Staff Recommendation

Approval of the request for a Temporary Use for Anthony Escamilla – Tony’s Taco Trucks to have a food truck located in the parking lot at 3030 W Ryan Road from 06/22/2023 to 06/21/2024, subject to the conditions set forth in the attached resolution.

RESOLUTION NO. 2023-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A TEMPORARY USE FOR TONY’S TACO TRUCK/TONY’S FOOD TRUCK OPERATION IN A PARKING LOT LOCATED AT 3030 WEST RYAN ROAD (ANTHONY R. ESCAMILLA, APPLICANT)

WHEREAS, Anthony R. Escamilla having petitioned the City of Franklin for the approval of a Temporary Use to allow for a food truck (Tony’s Taco Truck/Tony’s Food Truck) operation in a paved parking lot located at 3030 West Ryan Road, from June 22, 2023 to May June 21, 2024, with business hours from 11:00 a.m. to 7:00 p.m., Monday through Sunday (applicant has a base kitchen in the City of Milwaukee); and

WHEREAS, the Plan Commission having found that the proposed Temporary Use, subject to conditions, meets the standards set forth under §15-3.0804 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the petition of Anthony R. Escamilla for the approval of a Temporary Use to allow for a food truck operation, for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. The approval granted hereunder shall allow for such use from June 22, 2023 to June 21, 2024, with business hours from 11:00 a.m. to 7:00 p.m., Monday through Sunday, and all approvals granted hereunder expiring at 7:00 p.m. on June 21, 2024.
2. The food truck shall be parked generally as shown on the Site Plan provided, City file-stamped March 7, 2023.
3. Overnight parking is not permitted.
4. A minimum of one (1) trash receptacle must be provided to properly dispose of any waste generated by this use.
5. No display, sales, or parking shall obstruct vehicular traffic. Drive aisles must be maintained at all times to allow safe and efficient vehicular access throughout the parking lot.
6. This Temporary Use approval is contingent on the applicant receiving all applicable licenses/permits through the City of Franklin. This includes, but not limited to, all

ANTHONY R. ESCAMILLA – TEMPORARY USE
RESOLUTION NO. 2023-_____

Page 2

necessary licenses/permits which are required through the Building Inspection Department, Clerks Office, and Health Department.

7. The applicant must obtain a Mobile Retail License and submit it to the City of Franklin Health Department as proof before the business begins operating in Franklin
8. Any signage other than lettering on the truck and trailer shall be subject to issuance of a Sign Permit from the City of Franklin Department of City Development.
9. The lettering on the truck and trailer is limited to advertising incidental to the food truck operation, any other advertising is prohibited per Municipal Code Section 210-10 "Signs on Vehicles".

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2023.

APPROVED:

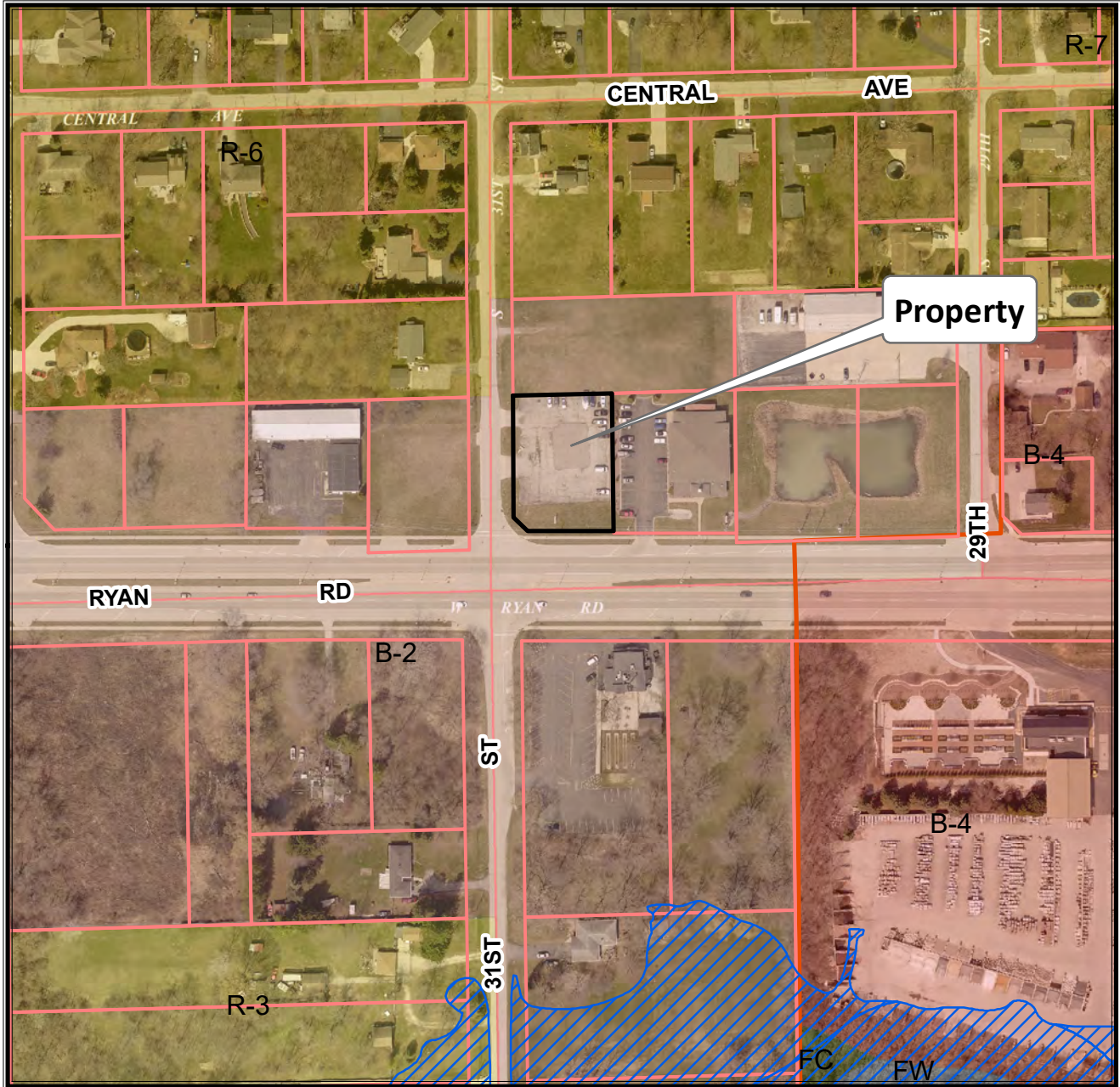
John R. Nelson, Chairman

ATTEST:

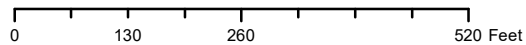
Karen L. Kastenson, City Clerk

AYES _____ NOES _____ ABSENT _____

3030 W. Ryan Road
TKN: 879 9981 001



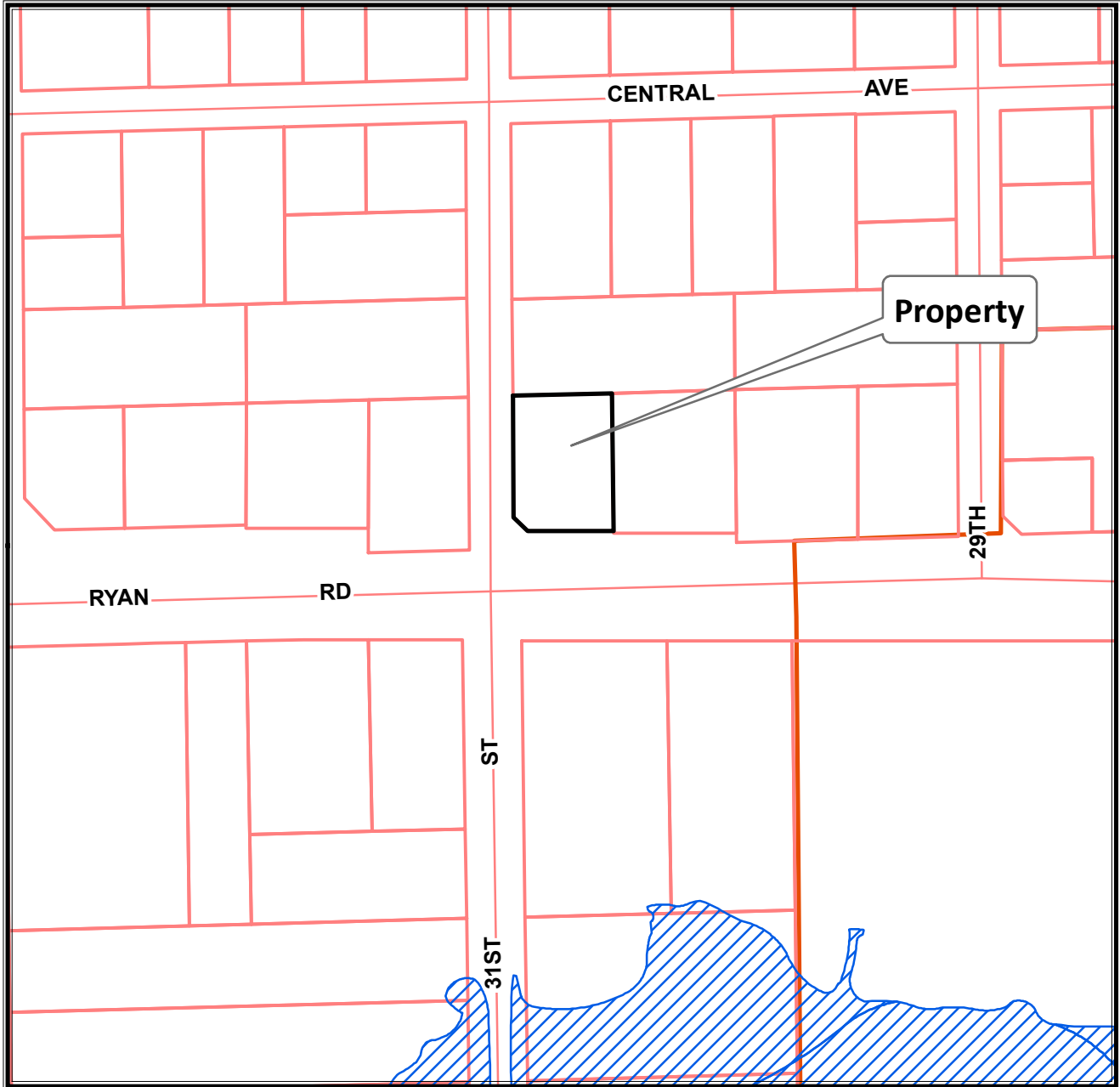
Planning Department
(414) 425-4024



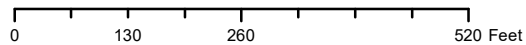
2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

3030 W. Ryan Road
TKN: 879 9981 001



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



City of Franklin

Department of City Development

Date: June 8, 2023

To: Dale Zbieranek – Dale Z’s, LLC

From: Department of City Development Staff

RE: Temporary Use - Zbieranek/Escamilla Food Truck – Staff Comments

Department comments are as follows for the temporary use application for a the Zbieranek/Escamilla Food Truck Temporary Use submitted by Dale Zbieranek – Dale Z’s, LLC, and date stamped by the City of Franklin on March 7, 2023.

Department of City Development Staff Comments

City Development staff reviewed this application for compliance with the Unified Development Ordinance (UDO) § 15-3.0804.B “Temporary Miscellaneous Outdoor Sales”:

1. *Location. No display, sales or parking is permitted in any street right-of-way, except such parking on-street as is regularly permitted. In addition, no display, sales or parking shall obstruct pedestrian or vehicular traffic. All display areas or temporary structures shall comply with the minimum required yard setbacks for the zoning district for the property upon which the temporary miscellaneous outdoor sale occurs.*
 - a. City Development staff has no concerns with the proposed location.
2. *Parking. All parking shall be on-site, except such on-street parking as is regularly permitted. The applicant must demonstrate that there will be adequate parking for the existing uses as well as the proposed temporary miscellaneous outdoor sale.*
 - a. Please note that on-street parking is not allowed, all parking must be within the property.
3. *Trash and Debris. The applicant must demonstrate and provide adequate facilities to dispose of all trash or other waste generated by the temporary miscellaneous outdoor sale.*
 - a. The applicant has indicated that they will provide an adequate number of receptacles for disposal.
4. *Signage. All signage shall be in accordance with the sign regulations set forth in this Ordinance.*
 - a. The applicant has provided photos of the signage on the truck.

- b. Please note that advertising of products that are not incidental to the food truck use are prohibited per Municipal Code § 210-10 “Signs on vehicles”.
 - c. Note that signage is not permitted in the City right of way.
- 5. *Temporary Outdoor Structures. All proposed temporary outdoor structures (tents, canopies) are subject to review and approval of the Fire Inspector and the Building Inspector.*
 - a. The applicant has stated that there will not be any tents or canopies used.
- 6. *Temporary Miscellaneous Outdoor Sales Shall be Limited to 14 Consecutive Days. Owners must obtain a Temporary Use Permit for each temporary miscellaneous outdoor sale before the use is permitted. Each such uses shall not exceed 14 consecutive calendar days. The total days of such temporary uses during a calendar year shall not exceed 30 calendar days.*
 - a. If approved, the temporary use permit will be valid from the date of the Plan Commission approval to the same date in 2024. A separate temporary use permit will be required for any operations beyond this time frame.
- 7. *A Site Plan is Required. A site plan showing location of existing buildings, locations of proposed structures for the sales/events, locations of parking spaces, signage, hours of operation, what merchandise is being sold and any other information pertinent to the review of the sales/events and as may be so required by the Zoning Administrator or designee of the City Planning Department or the Plan Commission, as applicable, shall be submitted as part of the application for a commercial temporary outdoor sale use.*
 - a. No comments.

Health Department Staff Comments

Food truck has current Mobile Food Truck License through 3/5/24. Franklin Health Dept has conducted an inspection 4/12/23 and will need to do a follow-up inspection if this operator returns to Franklin under this Temporary Use or any other events.

3030 WI-100

Franklin, Wisconsin

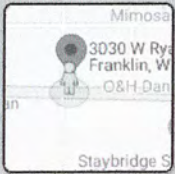
Google

Street View - Jun 2019

Asphalt & Concrete Paved Lot

Enter & Exit Approach

Truck location



(No Subject)

From: Anthony Escamilla (are4gb@yahoo.com)

To: escosports414@yahoo.com

Date: Thursday, March 23, 2023 at 09:33 AM CDT



[Sent from Yahoo Mail for iPhone](#)

Tony's Taco Truck

Executive Summary for Franklin Planning Dept. for Temp. Permit

Opportunity

Location:

3030 W. Ryan Rd. - Zoning B2 – General Business

Please look @ attachments for 2 different views of location

Base Kitchen location 3585 S. Howell Ave. Milwaukee, WI 53207 with permits through City Of Milwaukee

Market:

Franklin Business Park & Franklin Residences

Convenience Summary:

This business is perfect for the location for Franklin. The people that work & live in Franklin, can enjoy authentic Mexican food. The hours would be from 11am-7pm Mon.-Sun. The location is safe for traffic to never be parked/stop on any Franklin Streets, due to the fact of off street parking is available. (see attachments) Garbage receptacles will be available @ all times for customers & dispose from us every day @ our base kitchen.

Why Us?/Expectations

We been in business for over 10 years. Customer Service business over 20 years. Great food, cleanliness, & customer satisfaction for Franklin residences is our drive to do this another 20 years. We also like to be part of the community by joining the South Suburban Chamber of Commerce, to show our commitment to this location.

- * Please see sample copy of signage for the taco Truck
- * Please see copy of list of materials
- * There will NOT be any Tents or Canopies
- * I would like to start this Temp Permit on May 2nd 2023 through May 2nd 2024.

Thanks Again

Dept. of City Development:

Tony's Taco Truck: List of materials

- 1) 2 coolers
- 2) 1 food warmer
- 3) 1 flat top griddle
- 4) 1 generator
- 5) 1 propane tank
- 6) 1 hand wash sink
- 7) 1 stainless table

Franklin Legal Dept.

INFO:

Middle Initial

Escamilla R

Zbieranek none

Food Truck Name:

Tony's Food Truck



Reorganized & Amended Natural Resource Protection Standards

CURRENT SECTIONS of the UDO incorporated into the draft of Article 7

- 15-3.0500 – 3.0502 Calculation of the Area of Natural Resources to Be Protected
- 15-4.0101 Natural Resource Protection Standards
- 15-4.0102 Natural Resource Features Determination
- 15-4.0103 Natural Resource Features Mitigation & Mitigation Calculation Worksheet
- 15-7.0201 Natural Resource Protection Plan Requirements
- 15-7.0506 Natural Resource Protection Plan Required
- 15-9.0100 Applications for a Special Exception to stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback provisions, and for improvements or enhancements to a natural resource feature
- 15-10.0208 Special Exceptions to Stream, Shore Buffer, Navigable Water-Related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature

ADDITIONAL GUIDANCE and STANDARDS:

NEW Stand Alone Shoreland Wetland Ordinance

NEW City of Franklin Natural Resource Mitigation Guidance (including mitigation worksheet)

'RELOCATED' City of Franklin Site Intensity Calculation Worksheet (will be within UDO)

In the draft, items that refer to sections of the UDO are shown in **[bracket highlight]**. Final references will be inserted once the full UDO draft has been reviewed by the City.



Article 7. Natural Resource Protection Standards

15-07.01 Natural Resource Protection Standards Established

A) Establishment

The Natural Resource Protection Standards set forth in this Article, and requirements for preparation and approval of a Natural Resource Protection Plan, are established herein. Guidance documents including but not limited to application forms and checklists are incorporated into this Article 7 by reference.

B) Purpose and Intent

- 1) **Protection of Natural Resource Features.** It is the purpose of this Article to ensure the protection and enhancement of specific **Natural Resource Features**, as defined in this Ordinance, within the City of Franklin as the City develops. This Article further recognizes that landforms, parcel size and shape, and natural resource features vary from site to site and that development regulations must take into account these variations.
- 2) **Natural Resource Protection Plan.** It is the further purpose of this Article to set forth requirements and standards for preparation of a Natural Resource Protection Plan by any applicant for development on a parcel within the City of Franklin containing **Natural Resource Features**, as defined herein.
- 3) **Surface Water Protection Standards.** It is the further purpose of this Article to provide for the protection and improvement of surface waters and wetlands in the City of Franklin. It is the intent of this Article to lead to the protection, establishment and maintenance of natural areas, topography and vegetation along the City's surface waters in order to reduce hazards from flooding, prevent erosion, and maintain the natural functions of surface waters and wetlands. It is the further intent of these standards to limit the extent of land disturbance and creation of new impervious surfaces within or adjacent to surface waters and wetlands, and to minimize, as feasible, the impact of existing culverts, driveways and roads, drainage features, and impervious surfaces thereon.
- 4) **Mitigation.** The City of Franklin recognizes that, under certain circumstances, the orderly development of the City and the provision of essential services may necessitate limited impacts on protected Natural Resource Features as defined in this Ordinance. The intent of this Article is not to provide for or allow mitigation under all circumstances, but rather to set specific standards to be applied only under certain circumstances when the extent of or the nature of the Natural Resource Features on a site, when balanced against the benefit of the proposed development to the



community, considering practicable alternatives available for the development, render strict application of these standards impractical or counter-productive, to allow for mitigation approach, so that the functions and values of Natural Resource Features in the City will be preserved or enhanced.

C) Applicability

Except as specifically provided in this Subsection, all development in the City of Franklin occurring on a parcel or parcels where Natural Resource Features are present shall comply with the standards set forth in this Article.

- 1) **Disturbance of Protected Areas Prohibited.** Except where provided in this Article, any area containing Natural Resource Features required to be protected under this Article (hereinafter a “Protected Area”) shall remain undisturbed and in a natural state except where impact, modification, or mitigation is specifically allowed or approved.
- 2) **Tree and vegetation cutting, clearing, and removal.**
 - (a) The clearing, cutting, or removal of trees or vegetation within a Protected Area as defined in this Article is subject to these natural resource protection standards and to the City’s [TREE STANDARDS REF]. Application for cutting, clearing, or removal of vegetation and trees in an area of protected features shall require authorization under the procedures this Article to ensure that required protection levels are met.
 - (b) Removal of dead, diseased, or invasive species from a woodland or forest. Notwithstanding any provision of this Article, the clearing and removal of dead or diseased trees, and the removal of invasive species listed as “prohibited,” “prohibited/restricted,” or “restricted” by the Wisconsin Department of Natural Resources, pursuant to NR 40, shall be permitted within any woodland or forest area only upon issuance of a Zoning Permit from the City of Franklin.
 - (c) The City Forester may be consulted in the issuance of any such permits.
 - (d) The City Forester may condition or limit the removal of dead or diseased trees and the removal of invasive species in accordance with best practices for forest and invasive species management.
- 3) **Construction of Public Streets, Sidewalks, and Trails.** Impacts to Natural Resource Features from the construction of public streets, sidewalks, or trails shall be permitted subject to the following limitations and conditions:
 - (a) The City Forester has inspected the plan and the site, including review of trees or wooded areas to be cut or disturbed, and has made a positive recommendation



- as to the plan's compatibility with the continued health of forest resources and trees within the City of Franklin.
- (b) Crossings of wetlands, surface waters, and associated buffer areas are designed to minimize the distance and extent of disturbance, with crossings designed as close to a ninety-degree (90°) angle as is practicable for the particular site and segment.
 - (c) The City Engineer has inspected the plan and has made a positive recommendation as to the plan's compatibility with City engineering standards for surface water crossings.
 - (d) Prior to commencement of construction, all other required governmental permits and approvals related to surface waters and wetlands have been issued, including but not limited to those required by the Wisconsin Department of Natural Resources and United States Army Corps of Engineers.
 - (e) Any areas of construction-related disturbance within a Protected Area shall be restored pursuant to Section [RESTORATION] of this Article 7 immediately following construction.
- 4) **Single- and two-family residential development on existing lots exempted.** The provisions of this Article shall not apply to the construction of single-family and two-family residential development located on non-divisible existing lots of record within existing platted Subdivisions (with an approved Final Plat), Certified Survey Maps, and Condominiums existing as of August 1, 1998, or for which a Natural Resource Protection Plan was filed on or before August 1, 1998.
- 5) **Applicability to Floodplain/Floodway Lands.** Floodplains and floodways as defined and regulated in Division 15-8 of this Ordinance shall not constitute a separate category of Natural Resource Features for purposes of determining required mitigation under this Article.
- 6) **Essential Services and Associated Easements Exempted.** The standards in this Article shall not be applicable to essential services and easements associated therewith, as defined in [former § 15-11.0103] of this Ordinance. However, any areas of construction-related disturbance within a Protected Area shall be restored to the restoration standards of [RESTORATION] of this Article immediately following the construction of the essential service(s).
- 7) **Exceptions for Accessory Uses and Site Modifications.**



- (a) The modification of approved buildings, sites, or structures, and the addition of new accessory structures, shall not require review for Natural Resource Protection impacts provided all of the following conditions are met:
 - (i) The total impervious surface area on the parcel is not increased by more than 50% or 2,500 square feet, whichever is smaller.
 - (ii) Any new or modified impervious surface area is located at least one hundred feet (100') at its closest point from the boundary of any Protected Area as defined in the applicable Natural Resource Protection Plan.
- (b) Notwithstanding the provisions of (a), where the Plan Commission or City Engineer (as applicable) determines that the modification or addition is likely to result in impacts to the Protected Area or will be inconsistent with the conditions of the Natural Resource Protection Plan, a new or modified Natural Resource Protection Plan may be required to be prepared. Any such determination may be appealed under the provisions of [Appeals procedure] of this Ordinance.

NOTE: Sections 8 and 9 are legacy requirements that applied to past survey maps, which (presumably) contain the language that would trigger a requirement for an NRPP if the underlying site is modified. **Request City Attorney to consider whether these sections are necessary or could be addressed with a footnote to the UDO.

8) Institutional Properties Divided by Public Street or Utility Extensions.

- (a) A Natural Resource Protection Plan shall not be required with an application for certified survey map approval where a single property zoned I-1 Institutional District is divided as a result of a public work of improvement for street extension purposes, with related public sanitary sewer and water work for which special assessment was made, into two or more parcels through the property fee acquisition by the City for the extension of the public street. The foregoing exclusions from Natural Resource Protection Plan submission requirements for certified survey map applications shall only be available upon the conditions that:
 - (i) in lieu of the Plan submission requirement, the certified survey map application shall be accompanied by the "best available information" as to the existence of any natural resource features, such as existing topographical maps, wetland inventories, and other such inventories as may be available; and
 - (ii) that a Natural Resource Protection Plan must be submitted upon any further development of any portion of the mapped property.
- (b) A Natural Resource Protection Plan shall also not be required with an application for certified survey map approval where lots are being created from a larger



surrounding parcel, with the larger in area in relation to the lots created remnant parcel being vacant, or already having being developed by the existence of a principal structure and not being the subject of current further development application, and with the only natural resources within the map area being upon the remnant parcel and being more than 500 feet away from the lots being created. The foregoing exclusion from Natural Resource Protection Plan submission requirement for certified survey map applications shall only be available upon the conditions that

- (i) in lieu of the Natural Resource Protection Plan submission requirement, the Certified Survey Map application shall show upon its face the existence of any natural resource features, as identified in § 15-4.0102, located on the parcels of the Certified Survey Map based upon the "best available" information;
- (ii) that a Natural Resource Protection Plan must be submitted upon any further development of the "remnant" parcel; and
- (iii) the following note shall be placed upon the face of such Certified Survey Map: "The Natural Resource Features identified herein are not based upon field surveys. In the event of further land division or development of a parcel herein with any such Natural Resource Feature, a complete NRPP with field surveys is required for said parcel" For the purposes of this section, the Zoning Administrator shall not require that the "best available" information be a "first source" of information, as identified in § 15-4.0102A., B., C., D.

9) Lands Adjoining Tax Incremental Districts. A Natural Resource Protection Plan (and related requirements, such as the submission of conservation easements, etc.) shall not be required with an application for certified survey map approval for the purpose of providing additional land to an adjoining tax incremental district mixed-use development including industrial and commercial uses, where lots are being created from a parcel or parcels, upon which there exists an established residential dwelling building use, such established use parcel or parcels not being the subject of current further development application, for such remaining established residential dwelling building use parcel or parcels only, provided with regard to such remaining established residential dwelling building use parcel or parcels that:

- (a) in lieu of the Natural Resource Protection Plan submission requirement, the Certified Survey Map application shall show upon its face the existence of any natural resource features, as identified in § 15-4.0102, located on the parcels of the Certified Survey Map based upon the "best available" information;
- (b) that a Natural Resource Protection Plan must be submitted upon any further development of the "remaining established residential dwelling building use parcel or parcels"; and



(c) the following note shall be placed upon the face of such Certified Survey Map:
"The Natural Resource Features identified herein upon lot[s] [number[s]] are not based upon field surveys. In the event of further land division or development of lot[s] [number[s]] with any such Natural Resource Feature, a complete NRPP with field surveys is required for said parcel."

D) Enforcement.

Any person or entity violating any provision of this Article 7 and any property owner upon whose property there exists or occurs a violation of this Article 7, shall be subject to the penalty and remedy provisions of [penalty and remedy] of this Ordinance. In addition, the provisions of this Article 7 may be enforced by the City by way of all other legal and equitable remedies and the undertaking by the City to cure any violations or complete any plans, work or measures in furtherance thereof, with the costs of such undertaking to be assessed against the property owner and entered upon the tax roll pursuant to the procedures for a special charge under § 66.0627, Wis. Stats. Any violation of this Article 7 is hereby declared to be a public nuisance.

15-07.02 **Natural Resource Features** Determination

A) Protected **Natural Resource Features**. The following natural resources are protected under the provisions of this Article 7.

- 1) **Steep Slopes**. Steep slopes shall be as defined in Division [DEFINITIONS] of this Ordinance.
- 2) **Woodlands**. Woodlands shall be as defined in [DEFINITIONS] of this Ordinance.
- 3) **Surface Waters**. Surface waters shall include lakes, ponds, and streams. Lakes and ponds are to be determined through the use of the definitions of "Lake" and "Pond" as set forth in Division 15-11.0100 of this Ordinance. **Streams** shall be as defined in [DEFINITIONS] of this Ordinance or as determined by a field survey.
- 4) **Surface Water and Wetland Buffers**.
 - (a) Surface water and wetland buffers, as defined in [DEFINITIONS] of this Ordinance, shall be established or maintained as demarcated, vegetated, and minimally disturbed land areas within the area extending horizontally from the ordinary high water mark of lakes and ponds, from the centerline of streams, or from the boundary of wetlands as determined under subsection (5) below, with the following widths: **NOTE: These widths are proposed & open to policy direction**



ZONING DISTRICT	BUFFER WIDTH
Residential Districts: RC-1, R-1, R-2	50 feet
Residential Districts: R-MF, V-R	30 feet
Non-Residential Districts	30 feet
Area of parcel at time of application:	
<1 acre	10 feet
1 acre – 2 acres	20 feet
2 acres – 3 acres	25 feet
More than 3 acres	30 feet

- (b) Land Combination. In an application for land combination or certified survey map, the proposed total area of all parcels to be combined shall determine the required width of the buffer.
 - (c) Notwithstanding subsection (a) above, surface water and wetland buffers shall be applied to the area of land adjacent to any stream segment that is fully and permanently enclosed within a drainage structure, such as a pipe or culvert, as of the Effective Date of this Ordinance.
- 5) **Wetlands and Shoreland Wetlands.** Wetlands and shoreland wetlands as defined in [NEW SHORELAND WETLAND] of the Franklin Municipal Code.
 - 6) **Primary and Secondary Environmental Corridors and Isolated Natural Resource Areas Defined by SEWRPC.** Those areas on the [CITY OF FRANKLIN MAP] of areas designated by the Southeastern Wisconsin Regional Planning Commission (SEWRPC) as Primary Environmental Corridors, Secondary Environmental Corridors, or Isolated Natural Resource Areas shall be Protected Areas for purposes of this Article. The City of Franklin Map, as most recently amended, shall be used to determine the extent of such areas to be protected under the standards of this Article 7.
- B) Measurement of Natural Resource Features and Protected Area.
- 1) The area containing one or more Natural Resource Features shall be delineated and its total area calculated in acres and square feet to establish the area and location of the Protected Area. Any Protected Area containing two or more Natural Resource Features shall indicate which resources are present within the Protected Area
 - 2) All land area within a proposed development, Certified Survey Map, Subdivision Plat, or Condominium consisting of the natural resource features defined in this Ordinance shall be accurately measured using the following sources, scales, and approaches.



- 3) Measurement of Specific Natural Resource Features
- (a) **Steep slopes.** Steep slopes are to be determined through the use of the following sources and/or methods in the order indicated below. If the first source is considered inaccurate or inappropriate, as determined by the Zoning Administrator, the second source shall be used:
- (i) Topographic survey prepared by and certified by a Wisconsin registered land surveyor at a contour interval of not less than two feet.
 - (ii) Large scale one inch equals 100 feet City of Franklin topographic maps.

NOTE: The definition of “woodland” includes but is not limited to “forests” as defined in Wisconsin law. A definition of “woodland” for protection needs to be finalized with the City Forester, staff, and task force.

- (b) **Woodland.** The determination of woodland boundaries shall be based on the sources in the order indicated below. If the first source is considered inaccurate or inappropriate, as determined by the Zoning Administrator, the succeeding source shall be used:
- (i) For all woodland areas within 100 linear feet of an area to be disturbed on a site, and for all trees (other than diseased, dead, or invasive species) greater than eight inches diameter at breast height lying outside a natural resource area, a field survey of trees compiled by a registered land surveyor based on identification by a landscape architect, forester, arborist, ecologist, or botanist.
 - (ii) For all areas planned to be left undisturbed on a site during construction and upon completion, which are more than 100 linear feet from an area of disturbance, the boundary of the woodland or forested area.
 - (iii) One inch equals 400 feet aerial photographs prepared by the Southeastern Wisconsin Regional Planning Commission (SEWRPC) and available from SEWRPC (most recent date only).
- (c) **Lakes, Ponds, and Streams.** The ordinary high water mark of lakes and ponds, and the centerline of streams, shall be determined through the use of the definitions of "Lake," "Pond," and "Stream" as set forth in [DEFINITIONS] of this Ordinance and the sources in the order indicated below. If the first source is considered inaccurate or inappropriate, as determined by the Zoning Administrator, the succeeding source shall be used:
- (i) Topographic survey prepared by and certified by a Wisconsin registered land surveyor at a contour interval of not less than two feet.
 - (ii) Large scale one inch equals 100 feet City of Franklin topographic maps.



- (iii) U.S.G.S. 7.5-minute topographic quadrangle maps.
- (d) Wetlands, Shoreland Wetlands, and Wetland Buffers.** Wetlands shall be delineated in accordance with Chapter NR 103, Wis. Adm. Code; Chapter NR352, Wis. Adm. Code; and the 1987 US Army Corps of Engineers Wetland Delineation Manual.
 - (i) The area of wetlands, shoreland wetlands, and wetland buffers (in square feet and acres) shall be measured and graphically delineated on the "Natural Resource Protection Plan based on a delineation prepared in accordance with the Wisconsin DNR 2019 Wetland Screening and Delineation Procedures (https://dnr.wisconsin.gov/sites/default/files/topic/Wetlands/2019_Wetland_Screening_and_Delineation_Procedures.pdf)
 - (ii) Wetland and wetland buffer delineation shall be prepared by a consultant certified as a Wisconsin DNR Assured Delineator (<https://dnr.wisconsin.gov/topic/Wetlands/assurance.html#s1>). Submittal of a certification consistent with Wisconsin DNR standards shall be required with the submittal.
 - (iii) Duration of delineation.
 - (i) No delineation shall be valid for any purpose required under this Article after the expiration of five years from the date the delineation was performed.
 - (ii) While delineations performed within the five years preceding the submission may be submitted for purposes of this Article, a current re-delineation may be required where there exists extrinsic evidence of or cause to reasonably believe that such original delineation is incorrect or that the wetland boundary has changed substantially, considering the size and quality of the wetland and the circumstances of any proposed development impact upon the wetland, since the original delineation.
 - (iii) Notwithstanding the foregoing, surface water buffers shall not be required to be designated or protected for artificial or degraded wetlands as defined under subsections (D)(1) and (D)(2) below.
- (e) Surface Water Buffers.**
 - (i) Surface water buffers shall be measured at a consistent horizontal distance following the ordinary high water mark of a lake or pond, or the center line of a stream.
- (f) Primary and Secondary Environmental Corridors and Isolated Natural Resource Areas Defined by SEWRPC** shall be based on the most current City of Franklin Map thereof.



C) Relationship to Floodplain and Flood Hazard Area Impacts

- 1) Floodplain, floodway, and flood hazard areas shall not constitute a separate category of natural resources for purpose of this Article.
- 2) Any areas defined as a floodplain, floodway, or flood hazard area pursuant to Article 8 of this Ordinance shall require review and approval under the provisions of Article 8.
- 3) Notwithstanding the foregoing, any impacts to a Natural Resource Feature as defined in this Article shall be subject to the provisions of this Article, regardless of location within a floodplain, floodway, or flood hazard area.

D) Exemptions

- 1) **Exemption of Artificial Wetlands.** The following artificial wetlands are exempt from the wetland provisions of this Article unless the Wisconsin Department of Natural Resources determines, under the provisions set forth under NR 103.06(4) of the Wisconsin Administrative Code, that the artificial wetland has significant functional values or uses under NR 103.03 (1)(e), (f) or (g) of the Wisconsin Administrative Code:
 - (a) Sedimentation and stormwater detention basins and associated conveyance features operated and maintained only for sediment detention and flood storage purposes.
 - (b) Active sewage lagoons, cooling ponds, waste disposal pits, fish rearing ponds and landscape ponds.
 - (c) Actively maintained farm drainage and roadside ditches.
 - (d) Artificial wetlands within active nonmetallic mining operations.
- 2) **Exemption of Degraded Wetlands; Mitigation Required**
 - (a) In the event a wetland delineation prepared pursuant to this Article demonstrates conclusively that wetland resources on the site are degraded, as defined under Subsection (c) below, the degraded wetland areas shall not require protection under the provisions of this Article, unless located within a SEWRPC Primary or Secondary Environmental Corridor or Isolated Natural Area as defined under Subsection (B)(7) above.
 - (i) Where a degraded wetland is located within the boundaries of a SEWRPC Isolated Natural Resource Area, exemption of the degraded wetland shall require a written determination from SEWRPC that loss of the degraded wetland shall not contribute to a loss of protected natural resource functions.
 - (ii) In the absence of such a determination from SEWRPC, the requirements of this Article related to wetlands and wetland buffers shall apply.



- (b) No Special Exception approval, waiver, or demonstration of avoidance shall be required to permit disturbance or land development within a degraded wetland.
- (c) Notwithstanding subsection (b), this provision shall not relieve any applicant of the obligation to secure all applicable state and federal wetland permits as apply to a site or development.
- (d) Any applicant proposing to impact a degraded wetland shall complete on- or off-site mitigation at the ratio specified in Table [MITIGATION] by completing one of the following site improvements in conjunction with the impact:
 - (i) The inclusion of green stormwater management features, as defined in the [STORMWATER ORDINANCE], providing capture of the first one inch of runoff over all new or expanded impervious areas on the site; or
 - (ii) The use of deep-rooted vegetation native to Southeastern Wisconsin in the landscape plan, in an area equal or greater in size to the degraded wetland, with fencing or other barriers to prevent routine mowing or abuse of the plantings; or
 - (iii) Supplemental tree planting in excess of the requirements of [LANDSCAPE 15.XXX] or any mitigation required by Section [mitigation] of this Article, with a projected tree canopy area at maturity equivalent or greater to the total area of the degraded wetland; or
 - (iv) Any combination of (ii) and (iii) above equivalent to [1.5 TIMES] the area of the degraded wetland. **NOTE:** 1.5 times is suggested; needs City direction
- (e) Demonstration of Degraded Condition. An applicant seeking exemption under this Section shall demonstrate through a site-specific analysis prepared by a qualified wetland delineator that:
 - (i) Site conditions exhibit impacts to topography, soils, native vegetation or hydrology that have degraded a wetland and are not likely to be reversible.
 - (ii) The project, including its landscaping plan, does not involve the planned introduction of non-native or invasive wetland plants.
 - (iii) In the opinion of the City Engineer, removal or filling of the degraded wetland will not result in the creation of adverse drainage or flooding impacts on City streets or adjacent properties.
 - (iv) Removal or filling of the wetland will not:
 - (1) involve any activities in navigable waters with prior history as a stream
 - (2) cause significant adverse impacts to a cold water community, as defined in s. NR 102.04 (3)(a).
 - (3) cause significant obstruction of fish passage to existing spawning areas.
 - (4) cause significant adverse impacts to state threatened or endangered resources.
 - (5) cause significant adverse impacts to historical or cultural resources and will comply with s. 44.40, Stats.



- (f) Positive finding required; remedy. In the event an applicant fails to demonstrate to the **satisfaction of the Plan Commission** that the area meets all of the standards for exemption and mitigation under this Section, the wetland shall be regulated as a Natural Resource Feature under (B)(5) above.
- E) **Surface Water and Wetland Buffer Standards.** Within a Wetland and Stream Buffer, as defined in this Article:
- 1) Unless authorized as a Special Exception under **[Section 15-XXX]** of this Ordinance, no new or expanded impervious surface or building area shall be established or expanded within a Wetland and Stream Buffer.
 - 2) The expansion of pre-existing structures within Wetland and Stream Buffers shall be permitted only in accordance with the approval standards for **non-conforming structures in Section 15-XXX** of this Ordinance.
 - 3) No part of any new residential lot shall be established within a Surface Water and Wetland Buffer after the effective date of this Ordinance.
 - 4) Any approvals issued for land disturbance or land development on a site containing a Surface Water and Wetland Buffer, other than for modification of a single-family or two-family dwelling on a non-divisible lot existing as of the effective date of this Ordinance, shall include provisions to demarcate, with sturdy plantings, fencing, or a combination thereof, a boundary line along the edge of the Surface Water and Wetland Buffer on the site. Guidance from the City of Franklin Natural Resource Mitigation Guide shall be used to determine the sufficiency of proposed measures.
 - 5) All lands within a Surface Water and Wetland Buffer shall be left in an undisturbed, naturally vegetated condition. Supplemental planting and landscaping shall be permitted but may not include turf, sod, or other lawn grass; nor any invasive plant species on the Wisconsin Chapter 40 NR Invasive Species List.
 - 6) The clearing of trees that are not dead, diseased, or invasive, and the clearing of any other vegetation other than invasive species on the Wisconsin Chapter 40 NR Invasive Species List, is permitted only upon application to and **approval of the Zoning Administrator under Section 15-XXX.**
 - 7) All Surface Water and Wetland Buffers established in conjunction with approvals under this Article shall be protected through a deed restriction and a conservation easement.

15-07.03 Natural Resources Protection and Mitigation Plans

- A) Natural Resource Protection Plan Required



If any Natural Resource Feature as defined and described in [15-07.02] of this Article is present on the property for which a Site Plan review, Certified Survey Map (except as otherwise provided for by the exclusions as identified in § 15-3.0501C.), Subdivision Plat, or Condominium is requested, a Natural Resource Protection Plan drawn to the same scale as the Site Plan, Certified Survey Map, Preliminary Plat, or Condominium submission shall be prepared in accordance with the measurement methods and sources outlined in Subsection (B) below. The Natural Resource Protection Plan shall show the following:

- 1) Sheet 1 – Existing Conditions
 - (a) Proposed Name. The proposed name of the development, project, Certified Survey Map, Subdivision Plat, or Condominium.
 - (b) Location. The location of the proposed development, project, Certified Survey Map, Subdivision Plat, or Condominium.
 - (c) Contact Information. The names, addresses, telephone numbers, and email addresses of the Owners, Subdividers, Lessee and/or Developer.
 - (d) Date. Date of the "Natural Resource Plan" submittal and all applicable revision dates.
 - (e) Scale, North Arrow, and Contours, at a maximum two-foot contour interval.
 - (f) Site Boundary. The boundary line of the site with dimensions and bearings, indicated by a solid line.
 - (g) Site Acreage. The total area of the site.
 - (h) Lot Lines, Right-of-Way Lines, and Easements. The location of all proposed lot lines, right-of-way lines, and easements.
 - (i) Existing Features. The location, ownership, widths, and names (if available) of all existing and previously platted streets, rights-of-way, parks, and other public or open spaces located within or adjacent to the subject property.
 - (j) Easements and Neighboring Property Boundaries. The location and dimensions of all permanent easements on the subject property boundary lines and adjacent to the site.
 - (k) Tree species and locations. The plan shall indicate the location and species of all trees (other than invasive plant species on the Wisconsin Chapter 40 NR Invasive Species List) greater than eight inches (8") diameter at breast height that are located outside a Protected Area as defined in this Article.
 - (l) Degraded or artificial wetlands. The location and area of all degraded or artificial wetlands, as defined under Section (X) above.
 - (m) Existing Natural Resource Features. The location, extent, and area in square feet and acres of all existing Natural Resource Features, as defined and described in Section 15-6.02(A), shall be indicated, including the following:
 - (i) Areas of steep slopes, indicating the location of slopes of 10% to 19%, 20% to 30%, and greater than 30%.



- (ii) The boundaries of all existing woodland or forest areas
 - (iii) The Ordinary High Watermark of all lakes and ponds
 - (iv) The top of bank and centerline of all streams
 - (v) The location and approximate width of any portion of a stream that is fully enclosed within a culvert or pipe
 - (vi) The extent of floodplain, floodway, and flood hazard areas.
 - (vii) The boundary of all delineated wetlands or shoreland wetlands
 - (viii) The boundary of all SEWRPC Primary and Secondary Environmental Corridors and Isolated Natural Resource Areas
 - (ix) For all areas not within the boundaries of a Natural Resource Area, the types and extents of existing land cover and vegetation.
 - (x) Shading or other means of indicating where natural resource boundaries overlap or coincide.
- 2) Sheet 2 – Proposed Construction Disturbance
- (a) The perimeter of the area of all Natural Resource Features as enumerated in Subsection (1)(l, k, and m) above.
 - (b) Scale, North Arrow, and Contours, at a maximum two-foot contour interval.
 - (c) The location of all trees to be preserved and removed (other than diseased, dead, or invasive trees, in accordance with 15.0601(C)(3)) located outside of natural resource protection areas.
 - (d) The proposed limits of construction disturbance, including but not limited to all areas for stockpiling, equipment storage, temporary or permanent stormwater management features, cutting, and grading, clearly indicating where any such disturbance will take place within a natural resource area, with the area of the disturbance indicated in square feet.
 - (e) Clear indication of all areas of proposed disturbance. A table shall be included on the sheet indicating the area of disturbance of each Natural Resource Feature, and the area and extent of any overlapping Natural Resource Features to be affected.
 - (f) Indication of any disturbance proposed to support Essential Services, as defined in this Ordinance, or public roads, paths, and trails, as described in 15.0601(C)(4).
 - (g) Indication of all areas where post-construction mitigation is proposed.
- 3) Sheet 3 – Proposed Final Conditions
- (a) The proposed location and area of all buildings and site improvements, including all building footprints, impervious surfaces, utilities, easements, and rights-of-way
 - (b) Scale, North Arrow, and Contours, at a maximum two-foot contour interval.
 - (c) The boundaries of all proposed residential lots, where applicable



- (d) The proposed boundaries of all Protected Areas, indicating the type of Natural Resource Feature or Features within each area.
 - (e) The location and horizontal width of all proposed surface water buffers
 - (f) The type and location of landscaping, fencing, or other means of permanent demarcation of surface water buffers in accordance with the standards in [REF] below.
 - (g) Proposed stormwater management features, including all vegetated stormwater management measures, ponds, and swales or other conveyances.
 - (h) The landscaping plan, including the location of all trees to be planted or preserved and the types of vegetative cover proposed outside natural resource protection areas.
- 4) Sheet 4 – Mitigation Plan (where applicable). A mitigation plan for all Natural Resource Features proposed to be affected and mitigated, utilizing the City of Franklin Natural Resource Mitigation Guide, including the following:
- (a) Locations and dimensions of the site(s) where mitigation will be implemented.
 - (b) Where applicable, a signed attestation from the owner(s) of any other sites where mitigation is proposed to be implemented, indicating the owner’s concurrence with the proposed plan and willingness to accept a permanent deed restriction and conservation easement for the area where mitigation will occur
 - (c) Planting plans, soil specifications, and depths and dimensions of planting areas
 - (d) Other information as required to determine conformance with the standards of this Article.
- 5) Supporting Information
- (a) Memoranda, surveys, illustrations, or studies regarding woodlands, surface waters, and wetlands
 - (b) Where applicable, a wetland delineation report, including as applicable documentation of degraded wetlands.
 - (c) Tables and worksheets demonstrating the extent of natural resource areas present on site, extent of natural resource areas to be impacted and mitigated during construction, the final extent of mitigation required, and how conformance with the required mitigation ratios is achieved.
 - (d) Sample documents indicating the form of easements, covenants, or other legal mechanism proposed for the protection of natural resources.
 - (e) Other information as needed to demonstrate compliance with the standards in this Article.
- B) Calculation of Impact and Required Mitigation



- 1) Table 15-XX shall be used to determine the required mitigation area for each Natural Resource Feature approved to be mitigated.
- 2) Areas where Natural Resource Features coincide shall be clearly noted, measured, and indicated in Table 15-XX.
- 3) All areas of proposed temporary (i.e., construction-phase) disturbance and permanent (i.e., post-construction) disturbance of each Natural Resource Feature shall be measured and clearly indicated in Table 15-XX.
- 4) The acreage of each natural resource feature shall be multiplied by its respective natural resource protection standard to determine the amount of mitigation required, if any.
- 5) Overlapping areas.
 - (a) Where the boundary of a Protected Area includes more than one Natural Resource Feature, the highest mitigation factor of all of the resources found within the area shall be utilized to determine the required area of mitigation.
 - (b) Notwithstanding (a) above, if a Protected Area contains a Surface Water and Wetland Buffer that is not proposed to be disturbed in construction or post-construction phases, the next highest mitigation factor may be utilized.



TABLE 15-X: City of Franklin Natural Resources Mitigation Ratios – policy direction!

	A	B	C	D	E	F = (D + (.5*E))*A
	Mitigation Factor	Total Area on Site (SF)	Proposed Area of Construction Disturbance (SF)	Permanent Impact Area (SF)	Proposed Area of Post-Construction Mitigation (SF)	Mitigation Required (SF)
SEWRPC Primary Environmental Corridor	1.0	10,000	2,000	500	1,500	[(500)+(1,500*.5)] * 1.0 =1,250 x 1 = 1,250 SF
SEWRPC Secondary Environmental Corridor	.75	2,000	1,000	750	250	[(750) + (250 * .5)] * .75 = 875 SF
SEWRPC Isolated Natural Resource	1.0					
Steep Slopes, 10-19%	.25					
Steep Slopes, 20-30%	.75					
Steep Slopes, >30%	1.0					
*Surface Water Buffers	1.25					
Woodland	.75					
Degraded Wetland	1.5					
*Wetland	1.5					
**OVERLAPPING AREAS	Use highest Mitigation Factor of all resources present within the area					
*Lakes and Ponds	1.0					
Total Mitigation Required						

*Direct impacts to Surface Water and Wetland Buffers, Wetlands, Lakes, and Ponds allowed only with special exception under Section **X**.

**Where Natural Resource Features other than delineated wetlands and surface waters overlap, use the highest mitigation factor of the resources found within the protection area.

***If Surface Water and Wetland Buffers are present but undisturbed during construction and post-construction phases, mitigation is not required and the highest mitigation factor of an impacted/affected resource shall apply.



15-07.04 Standards for Natural Resource Feature Mitigation

- A) **Mitigation Guidance Incorporated by Reference.** The City of Franklin Natural Resource Mitigation Guide, as amended, shall guide the design and review of any proposed mitigation.
- B) **Surety Required.** The Plan Commission or Common Council may require a Letter of Credit or another surety, as approved by the City Attorney, to ensure the completion and establishment of Natural Resource Feature mitigation and any conditions imposed pursuant to this Article 7.
- C) For all mitigated Natural Resource Features, deed restrictions, conservation easements, and landowner agreements permanently conserving the land shall be required in a form acceptable to the City Attorney.
- D) All conserved or mitigated areas, whether on or off site, shall be demarcated with a combination of fencing, planting, and signs to prevent mowing, snow storage, or other abuse of the area.
- E) **Off Site Mitigation**
- 1) Off-site mitigation may be permitted by the Plan Commission provided:
 - (a) The Plan Commission determines that off-site mitigation is a desirable alternative to mitigation on-site and will achieve greater overall benefit to the City of Franklin and the Natural Resource Features to be mitigated.
 - (b) All off-site mitigation shall occur within the City of Franklin.
 - 2) All off-site mitigation shall require the recording of deed restrictions and conservation easements for the area of the property on which mitigation occurs, in a form acceptable to the City Attorney.
- F) **Mitigation of Specific Natural Resources.** In its review and approval of a Natural Resource Protection Plan and any mitigation measures, the Plan Commission shall be guided by the following:
- 1) **Steep slopes.** Impacts to steep slopes shall be mitigated with any combination of:
 - (a) Supplemental on- or off-site tree planting in excess of the requirements of [15-xx LANDSCAPE] and subsections (2) and (3) below.
 - (b) Enhancement or establishment of Surface Water or Wetland buffers in accordance with subsection (8) below.



- (c) Mitigation of wetlands or shoreland wetlands in accordance with subsections (5) and (7) below.

2) Woodland.

- (a) Mitigation plans for woodlands shall follow the City of Franklin Natural Resource Mitigation Guidelines.
- (b) Species of trees and plants used in the mitigation of woodland and forests shall be subject to review by the City Forester to ensure that species selected for mitigation are likely to be successful within the area of the City where proposed, and represent an equal or greater value in promoting the health and integrity of the City's forest resources relative to the resources impacted by the project.
- (c) Surety or other financial instrument sufficient to replace the required plantings shall be retained by the City for a period of two (2) years after planting to ensure establishment and plant growth.
 - (i) The surety may be released after 2 years provided the City Forester has inspected the site and determined that plant establishment has occurred.
 - (ii) If the City Forester has determined that remedial planting is required, the surety shall be extended for another 2 years after the date of remedial planting.
- (d) No tree cutting or removal, subsequent to the adoption of this Ordinance, shall reduce the woodland/forest natural resource features protection requirements of this Ordinance, other than removal of invasive plant species on the Wisconsin Chapter 40 NR Invasive Species List.

3) Trees outside natural resource areas

- (a) Existing trees with a caliper of 8 inches or greater diameter at breast height (other than removal of invasive plant species on the Wisconsin Chapter 40 NR Invasive Species List) that are removed shall be replaced one-for-one on the site, in addition to any woodland area mitigation required.
- (b) In the event the City Forester determines that replanting is not advisable on the site, the applicant shall pay the City a fee in lieu per tree based on the City's established fee schedule at the time a [WHAT KIND OF] permit is obtained.
- (c) Cutting of or damage to trees planted as mitigation shall constitute a violation of this Article and shall be subject to enforcement under [SECTION].

NOTE: Need policy direction on when and at what step fees should be paid

4) SEWRPC Primary and Secondary Resource Corridors and Isolated Natural Areas

- (a) Mitigation of impacts to SEWRPC Primary and Secondary Resource Corridors and Isolated Natural Areas shall be based on the nature of the Natural Resource



Features in the affected area, as documented in the Natural Resource Protection Plan. Mitigation may include, but not be limited to:

- (i) Tree planting in accordance with the standards in (XX) above
 - (ii) Stream and Wetland Buffer restoration or establishment along surface waters or wetlands with inadequate or no buffering, in accordance with Subsection
 - (iii) Restoration of eroded or impacted stream channels
 - (iv) Wetland restoration or enhancement, where consistent with Wisconsin DNR standards.
- (b) The land upon which the mitigation is to take place shall be protected with a deed restriction and a conservation easement.
- (c) Off-site mitigation
- (i) At the discretion of the Plan Commission, applicants may provide for the permanent protection of an equivalent area of any combination of SEWRPC Primary or Secondary Resource Corridor, or Isolated Natural Area, within the City of Franklin, so long as the total area conserved is of sufficient size to meet the required mitigation area pursuant to this Article.

5) Shoreland Wetlands.

- (a) Impacts to shoreland wetlands shall be governed by approvals issued pursuant to [new section of municipal code] and shall be contingent upon receipt by the City of permits from the Wisconsin Department of Natural Resources and United States Army Corps of Engineers, as applicable
- (b) Mitigation shall occur at the ratio for wetlands in Table 15-07.X in strict accordance with [DNR GUIDANCE]
- (c) All conserved shoreland wetlands and any associated mitigation shall be protected with a deed restriction and a conservation easement.

6) Lakes and Ponds.

- (a) Direct impacts to Lakes and Ponds may be mitigated at the ratio in Table 15-07.X only if the impact and mitigation is part of an approved stormwater management plan that meets, at a minimum, all of the following criteria:
 - (i) The time of concentration of stormwater flows remains unchanged or is lengthened.
 - (ii) Stormwater storage capacity is maintained or increased.
 - (iii) No flooding or adverse drainage conditions on adjoining properties will be created.
- (b) Approvals shall be contingent upon receipt by the City of permits from the Wisconsin Department of Natural Resources and United States Army Corps of Engineers, as applicable.



7) **Wetlands.**

- (a) Impacts to wetlands, other than degraded or artificial wetlands as defined in this Article, shall be approved for mitigation at the ratio in **Table 15-07.X**.
- (b) Permits shall be contingent upon receipt by the City of permits from the Wisconsin Department of Natural Resources and United States Army Corps of Engineers, as applicable.
- (c) Wetland restoration shall follow the principles set forth in **[DNR guidance]**.

8) **Surface Water or Wetland Buffers.**

- (a) The Plan Commission may approve construction-phase (i.e., temporary) or post-construction (i.e., permanent) impacts within an existing or proposed Surface Water or Wetland Buffer only upon finding that:
 - (i) The authorized reduction in the width or area of the buffer is the minimum necessary to allow the proposed use to function efficiently on the project site
 - (ii) The reduced buffer, and its associated planting plan, will be sufficient to protect the associated surface water or wetland so as to prevent loss of function or flooding.
 - (iii) Sufficient planting, fencing, or other demarcation will be provided during construction to protect the buffer from activities and damage such as mowing, storage, parking, or snow storage
- (b) Impacts within Surface Water or Wetland Buffers shall include without limitation the following:
 - (i) Construction-phase disturbance, including clearing, grubbing, and disturbance of the surface grade.
 - (ii) The construction of new or expanded structures or impervious surface area
 - (iii) Clearing or mowing, or the establishment of actively maintained vegetation such as turfgrass, planted islands, or landscaped strips.
 - (iv) Permanent or temporary stormwater ponds.
- (c) If a new Surface Water or Wetland Buffer is established at a width less than required in this Article, the difference in surface area between the required and proposed Wetland or Surface Water Buffer shall be mitigated at the required ratio in **Table 15-07.X**.
- (d) **Specific Standards for Surface Water and Wetland Buffer Mitigation.** Where mitigation is approved, in addition to the standards in the City of Franklin Mitigation Guidance, the following specific standards shall be met:
 - (i) The perimeter of any existing Surface Water or Wetland Buffer impacted by an approved development, and the perimeter of all new or restored buffers provided as mitigation, shall be established or re-established with plantings, fencing, or a combination thereof.



- (ii) The Plan Commission may approve the restoration or establishment of a new surface water or wetland buffer on an existing developed site within the City of Franklin as mitigation for impacts on a Natural Resource Feature under this Article. The Plan Commission may deviate from the strict numeric requirements of the mitigation ratio where the following conditions apply:
 - (1) The proposed buffer has a minimum width of five feet (5') at its narrowest point and a minimum total area of one hundred fifty square feet (150 SF).
 - (2) In the opinion of the City Engineer, the proposed buffer would provide a material benefit to water quality, flooding, and storm water management.
 - (3) The combination of impervious surface area removed (if any), the amount of impervious surface area draining to the new or restored buffer, the degree of planting provided, and the width and size of the buffer represent, in the opinion of the City Engineer, sufficient benefit to water quality, flood prevention, and stormwater management to offset the development impact.

15-07.05 ADMINISTRATION; SPECIAL EXCEPTION

A) Natural Resource Protection Plan Review Procedures

- 1) Staff shall make a recommendation to the Plan Commission as to the completeness of a Natural Resource Protection Plan and the sufficiency of proposed mitigation.
- 2) The Natural Resource Protection Plan and mitigation plan, if applicable, shall be incorporated into the findings of fact and decision for the project and shall be binding on all future approvals, subject to any amendments approved under the provisions of this Article.
- 3) Technical Review.
 - (a) Where the Plan Commission determines that there is a material dispute as to the nature, location, extent, or quality of one or more natural resources present, or on the viability or approach to mitigation proposed, the Plan Commission may contract for review of the Natural Resource Protection Plan by a qualified professional. [note: under the City's current provisions for a special exception applicants are charged for these costs; see 15-07.05(B)(2)(e)(3) below]
 - (b) The objective of any such review shall be to establish a factual basis for determining whether a Natural Resource Protection Plan and any proposed mitigation meets the objective standards and ratios in this Article and the City of Franklin Mitigation Guidance.



- (c) Where applicable the written report from any such review and the Plan Commission's findings shall be transmitted to the Common Council for use in its review.

B) Special Exception

- 1) A Special Exception to the provisions of this Article shall be required for:
 - (a) Any construction or permanent impacts to shoreland wetlands, wetlands, lakes, ponds, or streams;
 - (b) Any permanent impacts to any surface water or wetland buffers;
 - (c) Any reduction in the required mitigation ratios in Table [15-XX REF]; and
 - (d) Any modification of the financial surety requirements in Section [X-X].
- 2) Common Council Review. Upon recommendation by the Plan Commission, the Common Council may grant a Special Exception to the provisions of this Article in accordance with the procedures in this Section.
 - (a) Burden of Proof. The applicant shall have the burden of proof to present evidence sufficient to support the findings required under sub. 2 below.
 - (b) A minimum of one (1) Class II Public Hearing shall be required. The Class II Public Hearing may be conducted by the Plan Commission, with a recommendation made to the Common Council. The Common Council may, at its discretion, warn an additional Class II Public Hearing prior to its action on the Special Exception.
 - (c) Criteria for Approval. A Special Exception to the stream, shore buffer, navigable water-related, wetland, wetland buffer and wetland setback regulations of this Ordinance and for improvements or enhancements to a natural resource feature may be granted only upon a finding by the Plan Commission and concurrence by the Common Council:
 - (i) That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection (i) does not apply to an application to improve or enhance a natural resource feature); and
 - (ii) Compliance with the strict provisions of this Article will:
 - (1) be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives; or,
 - (2) unreasonably and negatively impact upon the applicant's use of the property and that there are no reasonable practicable alternatives; and



- (3) the Special Exception, including any conditions imposed under this Section will:
 - a. Be consistent with the existing character of the neighborhood; and
 - b. Not effectively undermine the ability to apply or enforce the requirement with respect to other properties; and
 - c. Be in harmony with the general purpose and intent of the provisions of this Article; and
 - d. Preserve or enhance the quality of the natural resource affected.

- (d) In making its recommendation, the Plan Commission shall consider factors such as:
 - (1) The impact on physical characteristics of the property, including but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks;
 - (2) Any exceptional, extraordinary, or unusual circumstance or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district;
 - (3) The proposed degree of noncompliance with the requirement of this Article to be allowed by the Special Exception;
 - (4) The project's proximity to and character of surrounding property;
 - (5) Purpose of the zoning district of the area in which property is located and neighboring area; and
 - (6) Any potential for negative effects upon adjoining property from the Special Exception if authorized.

- (e) Conditions of Special Exception. Any Special Exception granted under the authority of this Section shall be conditioned upon the applicant first obtaining all other necessary approval(s) from all other applicable governmental agencies and shall also set forth conditions that the Plan Commission deems necessary, including, but not limited to, conditions that:
 - (1) Prescribe the duration of the Special Exception (i.e., permanent, a specified length of time; or a time period during which the property is owned or occupied by a particular person);
 - (2) Require additional mitigation beyond measured proposed in the Natural Resource Protection Plan and Mitigation Plan, provided such measures are related to and roughly proportional with the degree of impact authorized;
 - (3) Require payment or reimbursement by the applicant to the City of any costs, expenses, professional fees (including the fees of a person recognized with knowledge and experience in natural systems) or legal fees reasonably incurred by the City in reviewing or processing the application for Special



Birchline Planning LLC
Great Waters + Great Communities

*City of Franklin, WI UDO Update
D R A F T Natural Resource Standards
Draft as of June 16, 2023*

Exception. The Common Council may also require the posting of a bond or letter of credit to cover the costs of such expenses and fees. An applicant may obtain the review of the amounts imposed under this Subsection pursuant to Division [WHERE IZ THIS] of this Ordinance.

draft

A. Base Site Area

The base site area shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in § 15-3.0501 of this Ordinance.

Table 15-3.0502

Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development

	Number	Unit	Total
<i>STEP 1: Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.</i>		Acres	
<i>STEP 2: Subtract land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.</i>		Acres	
<i>STEP 3: Subtract land which, as a part of a previously approved development or land division, was reserved for open space</i>		acres	
<i>STEP 4A: For a proposed residential use, subtract the land proposed for nonresidential uses</i>		Acres	
<i>STEP 4B: for a proposed nonresidential use, subtract the land proposed for residential uses</i>		Acres	
<i>STEP 5: Equals "Base Site Area"</i>			



Birchline Planning LLC
Great Waters + Great Communities

*City of Franklin, WI UDO Update
D R A F T Natural Resource Worksheets
Prepared June 16, 2023*

Calculation of Natural Resource Mitigation

Base Area = 100% for all resources

Mitigation ratios = variable by resource type

Areas affected during construction and mitigated = adds .5 of area to total required

Areas permanently impacted and not mitigated = multiplied by full mitigation ratio

Trees outside a woodland, corridor, or stream buffer = in-kind or fee-in-lieu



Resource Impact and Mitigation Table

	A	B	C	D	E	F = (D + (.5*E))*A
	Mitigation Factor	Total Area on Site (SF)	Proposed Area of Construction Disturbance (SF)	Permanent Impact Area (SF)	Proposed Area of Post-Construction Mitigation (SF)	Mitigation Required (SF)
SEWRPC Primary Environmental Corridor	1.0	10,000	2,000	500	1,500	[(500)+ (1,500*.5)] * 1.0 =1,250 x 1 = 1,250 SF
SEWRPC Secondary Environmental Corridor	.75	2,000	1,000	750	250	[(750) + (250 * .5)] * .75 = 875 SF
SEWRPC Isolated Natural Resource	1.0					
Steep Slopes, 10-19%	.25					
Steep Slopes, 20-30%	.75					
Steep Slopes, >30%	1.0					
*Surface Water Buffers	1.25					
Woodland	.75					
Degraded Wetland	1.5					
*Wetland	1.5					
*Lakes and Ponds	1.0					
Total Mitigation Required						

*Direct impacts to Surface Water and Wetland Buffers, Wetlands, Lakes, and Ponds allowed only with special exception

**Where the boundaries of natural resource protection areas other than delineated wetlands and surface waters overlap, use the highest mitigation factor of the resources found within the protection area. If Surface Water and Wetland Buffers are present but undisturbed, use the next highest mitigation factor. For example:

- Permanent impact to 2,000 SF of woodland within a SEWRPC Primary Natural Resource Corridor, no post-construction mitigation = 2,000 x 1.0 = 2,000 SF



Birchline Planning LLC
Great Waters + Great Communities

*City of Franklin, WI UDO Update
D R A F T Natural Resource Worksheets
Prepared June 16, 2023*

- Permanent impact to 1,000 SF of a SEWRPC Secondary Natural Resource Corridor containing a stream buffer; buffer not impacted; no post-construction mitigation = $1,000 \times .75 = 750$ SF
- Permanent impact to 1,000 SF of a SEWRPC Primary Natural Resource Corridor containing wetland and surface water and wetland buffer: $1,000 \times 1.5 = 1,500$ SF

Shoreland-Wetland Zoning Ordinance

1. Statutory Authorization, Findings of Fact, Statement of Purpose and Title.
 - a. Statutory Authorization. This ordinance is adopted pursuant to the authorization in secs. 61.35 and 61.351 for villages; or, secs. 62.23 and 62.231 for cities; and, secs. 87.30 and 144.26 of the Wisconsin Statutes.
 - b. Findings of Fact and Purpose. Uncontrolled use of the shoreland-wetlands and pollution of the navigable waters of the municipality would adversely affect the public health, safety, convenience and general welfare and impair the tax base. The Legislature of Wisconsin has delegated responsibility to all municipalities to:
 - i. Promote the public health, safety, convenience and general welfare;
 - ii. Maintain the storm and flood water storage capacity of wetlands;
 - iii. Prevent and control water pollution by preserving wetlands which filter or store sediments, nutrients, heavy metals or organic compounds that would otherwise drain into navigable waters;
 - iv. Protect fish, their spawning grounds, other aquatic life and wildlife by preserving wetlands and other aquatic habitat;
 - v. Prohibit certain uses detrimental to the shoreland-wetland area; and,
 - vi. Preserve shore cover and natural beauty by restricting the removal of natural shoreland cover and controlling shoreland-wetland excavation, filling and other earth moving activities.
 - c. General Provisions and Zoning Maps.
 - i. Compliance. The use of wetlands and the alteration of wetlands within the shoreland area of the municipality shall be in full compliance with the terms of this ordinance and other applicable local, state or federal regulations. (However, see section (4) of this ordinance for the standards applicable to nonconforming uses.) All permitted development shall require the issuance of a zoning permit, unless otherwise expressly excluded by a provision of this ordinance.
 - ii. Municipalities and State Agencies Regulated. Unless specifically exempted by law, all cities, villages, towns and counties are required to comply with this ordinance and obtain all necessary permits. State agencies are required to comply if sec. 13.48(13) of the Wisconsin Statutes applies. The construction, reconstruction, maintenance and repair of state highways and bridges by the Wisconsin Department of Transportation are exempt when sec. 30.12(4)(a) of the Wisconsin Statutes applies.

- d. Abrogation and Greater Restrictions.
 - i. This ordinance supersedes all the provisions of any municipal zoning ordinance enacted under secs. 61.35, 62.23 or 87.30 of the Wisconsin Statutes, which relate to floodplains and shoreland-wetlands, except that where another municipal zoning ordinance is more restrictive than this ordinance, that ordinance shall continue in full force and effect to the extent of the greater restrictions, but not otherwise.
 - ii. This ordinance is not intended to repeal, abrogate or impair any existing deed restrictions, covenants or easements. However, where this ordinance imposes greater restrictions, the provisions of this ordinance shall prevail.
 - e. Interpretation. In their interpretation and application, the provisions of this ordinance shall be held to be minimum requirements and shall be liberally construed in favor of the municipality and shall not be deemed a limitation or repeal of any other powers granted by the Wisconsin Statutes. Where a provision of this ordinance is required by a standard in Chapter NR 117, Wis. Adm. Code, and where the ordinance provision is unclear, the provision shall be interpreted in light of the Chapter NR 117 standards in effect on the date of the adoption of this ordinance or in effect on the date of the most recent text amendment to this ordinance.
 - f. Severability. Should any portion of this ordinance be declared invalid or unconstitutional by a court of competent jurisdiction, the remainder of this ordinance shall not be affected.
2. Shoreland-Wetland Zoning District.
- a. Shoreland-Wetland Zoning Maps. The following maps are hereby adopted and made part of this ordinance and are on file in the office of the City Clerk:
 - i. Wisconsin Wetlands Inventory Maps stamped "REVISED" on March 9, 1989.
 - ii. Federal Emergency Management Agency "Flood Boundary and Floodway Map," April 15, 1981.
 - iii. Southeastern Wisconsin Regional Planning Commission "Floodplain Delineation Map," January, 1995.
 - iv. United States Geological Survey quadrangle map.
 - b. District Boundaries.

- i. The shoreland-wetland zoning district includes all wetlands in the municipality which are five (5) acres or more and are shown on the final Wetland Inventory Map that has been adopted and made a part of this ordinance and which are:
 - ii. Within one thousand (1,000) feet of the ordinary high-water mark of navigable lakes, ponds or flowages. Lakes, ponds or flowages in the municipality shall be presumed to be navigable if they are shown on the United States Geological Survey quadrangle maps or other zoning base maps which have been incorporated by reference and made a part of this ordinance.
 - iii. Within three hundred (300) feet of the ordinary high-water mark of navigable rivers or streams, or to the landward side of the floodplain, whichever distance is greater. Rivers and streams shall be presumed to be navigable if they are designated as either continuous or intermittent waterways on the United States Geological Survey quadrangle maps or other zoning base maps which have been incorporated by reference and made a part of this ordinance. Floodplain zoning maps adopted in section (3)(a)l. shall be used to determine the extent of floodplain areas.
- c. Determinations of navigability and ordinary high-water mark location shall initially be made by the Zoning Administrator. When questions arise, the Zoning Administrator shall contact the appropriate District office of the Department for a final determination of navigability or ordinary high-water mark.
- d. When an apparent discrepancy exists between the shoreland-wetland district boundary shown on the official zoning maps and actual field conditions at the time the maps were adopted, the Zoning Administrator shall contact the appropriate District office of the Department to determine if the shoreland-wetland district boundary, as mapped, is in error. If Department staff concur with the Zoning Administrator that a particular area was incorrectly mapped as a wetland, the Zoning Administrator shall have the authority to immediately grant or deny a zoning permit, in accordance with the regulations applicable to the correct zoning district. In order to correct wetland mapping errors or acknowledge exempted wetlands designated in sections (3)(c) and (3)(d), the Zoning Administrator shall be responsible for initiating a map amendment within a reasonable period.
- e. Filled Wetlands. Wetlands which are filled prior to October 27, 1988, the date on which the municipality received final wetland inventory maps, in a manner which

affects their wetland characteristics to the extent that the area can no longer be defined as wetland, are not subject to this ordinance.

- f. Wetlands Landward of a Bulkhead Line. Wetlands located between the original ordinary high-water mark and a bulkhead line established prior to May 7, 1982, under sec. 30.11 of the Wisconsin Statutes, are not subject to this ordinance.
3. Permitted Uses. The following uses are permitted subject to the provisions of Chapters 30 and 31 of the Wisconsin Statutes, and the provisions of other local, state and federal law, if applicable.
 - a. Activities and uses which do not require the issuance of a zoning permit, provided that no wetland alteration occurs:
 - i. Hiking, fishing, swimming and boating;
 - ii. The harvesting of wild crops, such as marsh hay, ferns, moss, wild rice, berries, tree fruits and tree seeds, in a manner that is not injurious to the natural reproduction of such crops;
 - iii. The practice of silviculture, including the planting, thinning and harvesting of timber.
 - b. Uses which do not require the issuance of a zoning permit and which may involve wetland alterations only to the extent specifically provided below:
 - i. The practice of silviculture, including limited temporary water level stabilization measures which are necessary to alleviate abnormally wet or dry conditions that would have an adverse impact on the conduct of silvicultural activities if not corrected;
 - ii. The maintenance and repair of existing drainage systems to restore pre-existing levels of drainage, including the minimum amount of filling necessary to dispose of dredged spoil, provided that the filling is otherwise permissible and that dredged spoil is placed on existing spoil banks where possible;
 - iii. The construction and maintenance of piers, docks, walkways, observation decks and trail bridges built on pilings, including limited excavating and filling necessary for such construction or maintenance;
 - iv. The installation and maintenance of sealed tiles for the purpose of draining lands outside the shoreland-wetland zoning district, provided that such installation or maintenance is done in a manner designed to minimize adverse impacts upon the natural functions of the shoreland-wetland listed in Section (6)(a)3. of this ordinance;
 - v. The maintenance, repair, replacement and reconstruction of existing highways and bridges, including limited excavating and filling necessary for such maintenance, repair, replacement or reconstruction.

- c. Uses which are allowed upon the issuance of a building permit and which may include wetland alterations only to the extent specifically provided below:
 - i. The construction and maintenance of roads, which are necessary for the continuity of the municipal street system, the provision of essential utility and emergency services or to provide access to uses permitted under Section (3)(c) of this ordinance provided that:
 - 1. The road cannot, as a practical matter, be located outside the wetland;
 - 2. The road is designed and constructed to minimize adverse impacts upon the natural functions of the wetland listed in Section (6)(a)3. of this ordinance;
 - 3. The road is designed and constructed with the minimum cross-sectional area practical to serve the intended use;
 - 4. Road construction activities are carried out in the immediate area of the roadbed only; and,
 - 5. Any wetland alteration must be necessary for the construction or maintenance of the road.
 - ii. The construction and maintenance of nonresidential buildings provided that:
 - 1. The building is used solely in conjunction with a use permitted in the shoreland-wetland district or for the raising of waterfowl, minnows or other wetland or aquatic animals;
 - 2. The building cannot, as a practical matter, be located outside the wetland;
 - 3. The building does not exceed five hundred (500) square feet in floor area; and,
 - 4. Only limited filling and excavating necessary to provide structural support for the building is allowed.
 - iii. The establishment and development of public and private parks and recreation areas, outdoor education areas, historic, natural and scientific areas, game refuges and closed areas, fish and wildlife habitat improvement projects, game bird and animal farms, wildlife preserves and public boat launching ramps, provided that:
 - 1. Any private development allowed under this paragraph shall be used exclusively for the permitted purpose;
 - 2. Only limited filling and excavating necessary for the development of public boat launching ramps, swimming beaches or the construction of park shelters or similar structures is allowed;

3. The construction and maintenance of roads necessary for the uses permitted under this paragraph are allowed only where such construction and maintenance meets the criteria in Section (3)(c)3.a. of this ordinance; and,
 4. Wetland alterations in game refuges and closed areas, fish and wildlife habitat improvement projects, game bird and animal farms and wildlife preserves shall be for the purpose of improving wildlife habitat or to otherwise enhance wetland values.
- iv. The construction and maintenance of electric and telephone transmission lines, water and gas distribution lines and sewage collection lines and related facilities and the construction and maintenance of railroad lines provided that:
 1. The utility transmission and distribution facilities and railroad lines cannot, as a practical matter, be located outside the wetland;
 2. Only limited filling or excavating necessary for such construction or maintenance is allowed; and,
 3. Such construction or maintenance is done in a manner designed to minimize adverse impacts upon the natural functions of the wetland listed in Section (6)(a)3. of this ordinance.
4. Prohibited Uses.
 - a. Any use not listed in Section (3)(c) of this ordinance is prohibited, unless the wetland or a portion of the wetland has been rezoned by amendment of this ordinance in accordance with Section (6) of this ordinance.
 - b. The use of a boathouse for human habitation and the construction or placement of a boathouse or fixed houseboat below the ordinary high-water mark of any navigable waters are prohibited.
5. Nonconforming Structures and Uses.
 - a. The lawful use of a building, structure or property which existed at the time this ordinance, or an applicable amendment to this ordinance, took effect and which is not in conformity with the provisions of the ordinance, including the routine maintenance of such a building or structure, may be continued, subject to the following conditions:
 - i. The shoreland-wetland provisions of this ordinance authorized by sec. 62.231 of the Wisconsin Statutes, shall not limit the repair, reconstruction, renovation, remodeling or expansion of a nonconforming structure in existence on the effective date of the shoreland-wetland provisions, or of

any environmental control facility in existence on May 7, 1982, related to such a structure. All other modifications to nonconforming structures are subject to sec. 62.23(7)(h) of the Wisconsin Statutes, which limits total lifetime structural repairs and alterations to fifty percent (50%) of current fair market value.

ii. If a nonconforming use or the use of a nonconforming structure is discontinued for twelve (12) consecutive months, any future use of the building, structure or property shall conform to this ordinance.

- b. Any legal nonconforming use of property which does not involve the use of a structure and which existed at the time of the adoption or subsequent amendment of this ordinance adopted under secs. 61.351 or 62.231 of the Wisconsin Statutes, may be continued although use does not conform with the provisions of the ordinance. However, such nonconforming use may not be extended.
- c. The maintenance and repair of nonconforming boathouses which are located below the ordinary high-water mark of any navigable waters shall comply with the requirements of sec. 30.121 of the Wisconsin Statutes.
- d. Uses which are nuisances under common law shall not be permitted to continue as nonconforming uses.

6. Administrative Provisions.

- a. Zoning Administrator. The Code Enforcement Director is appointed Administrator for the purpose of administering and enforcing this ordinance and shall have the following duties and powers:
 - i. Advise applicants as to the provisions of this ordinance and assist them in preparing permit applications and appeal forms.
 - ii. Issue permits and certificates of compliance and inspect properties for compliance with this ordinance.
 - iii. Keep records of all permits issued, inspections made, work approved and other official actions.
 - iv. Have access to any structure or premises at all reasonable hours for the purpose of performing these duties.
 - v. Submit copies of decisions on variances, conditional use permits, appeals for a map or text interpretation, and map or text amendments within ten (10) days after they are granted or denied, to the appropriate district office of the Department.

- vi. Investigate and report violations of this ordinance to the appropriate municipal planning agency and the district attorney, corporation counsel or municipal attorney.

- b. Zoning Permits. Unless another section of this ordinance specifically exempts certain types of development from this requirement, a zoning permit shall be obtained from the Zoning Administrator before any new development, as defined in Section (8)(b)6. of this ordinance, or any change in the use of an existing building or structure is initiated.

- c. Application. An application for a zoning permit shall be made to the Zoning Administrator upon forms furnished by the municipality and shall include, for the purpose of proper enforcement of these regulations, the following information:
 - i. General Information.
 - ii. Name, address and telephone number of applicant, property owner and contractor, where applicable.
 - iii. Legal description of the property and a general description of the proposed use or development.
 - iv. Whether or not a private water supply or sewage system is to be installed.
 - v. Site Development Plan. The site development plan shall be submitted as a part of the permit application and shall contain the following information drawn to scale:
 - 1. Dimensions and area of the lot;
 - 2. Location of any structures with distances measured from the lot lines and center line of all abutting streets or highways;
 - 3. Description of any existing or proposed on-site sewage systems or private water supply systems;
 - 4. Location of the ordinary high-water mark of any abutting navigable waterways;
 - 5. Boundaries of all wetland;
 - 6. Existing and proposed topographic and drainage features and vegetative cover;
 - 7. Location of floodplain and floodway limits on the property as determined from floodplain zoning maps;
 - 8. Location of existing or future access roads; and,
 - 9. Specifications and dimensions for areas of proposed wetland alteration.

- d. Expiration. All permits issued under the authority of this ordinance shall expire six (6) months from the date of issuance.

e. Certificates of Compliance.

- i. Except where no zoning permit or conditional use permit is required, no land shall be occupied or used; and, no building which is hereafter constructed, altered, added to, modified, rebuilt or replaced shall be occupied, until a certificate of compliance is issued by the Zoning Administrator subject to the following provisions:
 1. The certificate of compliance shall show that the building or premises, or part thereof, and the proposed use thereof, conform to the provisions of this ordinance.
 2. Application for such certificate shall be concurrent with the application for a zoning or conditional use permit.
 3. The certificate of compliance shall be issued within ten (10) days after notification of the completion of the work specified in the zoning or conditional use permit, providing the building or premises and proposed use thereof conform with all the provisions of this ordinance.
- ii. The Zoning Administrator may issue a temporary certificate of compliance for a building, premises or part thereof, pursuant to rules and regulations established by the municipal governing body.
- iii. Upon written request from the owner, the zoning administrator shall issue a certificate of compliance for any building or premises existing at the time of ordinance adoption, certifying, after inspection, the extent and type of use made of the building or premises and whether or not such use conforms to the provisions of this ordinance.

7. Amending Shoreland-Wetland Zoning Regulations.

- a. The Common Council of the City of Franklin may alter, supplement or change the district boundaries and the regulations contained in this ordinance, in accordance with the requirement of sec. 62.23(7)(d)2. of the Wisconsin Statutes, NR 117, Wis. Adm. Code, and the following:
 - i. A copy of each proposed text or map amendment shall be submitted to the appropriate district office of the Department within five (5) days of the submission of the proposed amendment to the municipal planning agency;
 - ii. All proposed text and map amendments to the shoreland-wetland zoning regulations shall be referred to the municipal planning agency, and a public hearing shall be held after Class II notice, as required by sec. 62.23(7)(d)2. of the Wisconsin Statutes. The appropriate District office of the

Department shall be provided with written notice of the public hearing at least ten (10) days prior to such hearing.

- b. In order to insure that this ordinance will remain consistent with the shoreland protection objectives of sec. 144.26 of the Wisconsin Statutes, the Common Council of the City of Franklin may not rezone a wetland in a shoreland-wetland zoning district, or any portion thereof, where the proposed rezoning may result in a significant adverse impact upon any of the following wetland functions:
 - i. Storm and flood water storage capacity;
 - ii. Maintenance of dry season stream flow or the discharge of groundwater to a wetland, the recharge of groundwater from a wetland to another area or the flow of groundwater through a wetland;
 - iii. Filtering or storage of sediments, nutrients, heavy metals or organic compounds that would otherwise drain into navigable waters;
 - iv. Shoreline protection against erosion;
 - v. Fish spawning, breeding, nursery or feeding grounds;
 - vi. Wildlife habitat; or,
 - vii. Areas of special recreational, scenic or scientific interest, including scarce wetland types and habitat of endangered species.
- c. Where the District office of the Department determines that a proposed rezoning may have a significant adverse impact upon any of the criteria listed in Section (6)(a)3. of this ordinance, the Department shall so notify the City of Franklin of its determination either prior to or during the public hearing held on the proposed amendment. The appropriate District office of the Department shall be provided with:
 - i. A copy of the recommendation and report, if any, of the municipal planning agency on a proposed text or map amendment, within ten (10) days after the submission of those recommendations to the municipal governing body.
 - ii. Written notice of the action on the proposed text or map amendment within ten (10) days after the action is taken.
- d. If the Department notifies the City of Franklin planning department in writing that a proposed amendment may have a significant adverse impact upon any of the criteria listed in Section (6)(a)3. of this ordinance, that proposed amendment, if approved by the municipal governing body, shall not become effective until more than thirty (30) days have elapsed since written notice of the municipal approval was mailed to the Department, as required by Section (6)(a)5.b. of this ordinance. If, within the thirty (30) day period, the Department notifies the municipality that the Department intends to adopt a superseding shoreland-wetland zoning ordinance for the municipality, as provided by secs. 62.231(6) and 61.351(6) of the Wisconsin Statutes, the proposed amendment shall not become effective until

the ordinance adoption procedure under secs. 62.231(6) or 61.351(6) of the Wisconsin Statutes, is completed or otherwise terminated.

8. Enforcement and Penalties.

- a. Any development, building or structure or accessory building or structure constructed, altered, added to, modified, rebuilt or replaced or any use or accessory use established after the effective date of this ordinance in violation of the provisions of this ordinance, by any person, firm, association, corporation (including building contractors or their agents) shall be deemed a violation. The Zoning Administrator shall refer violations to the City of Franklin City Attorney who shall prosecute such violations.
- b. Any person, firm, association or corporation who violates or refuses to comply with any of the provisions of this ordinance shall be subject to a forfeiture of not less than ten dollars (\$10) nor more than five hundred dollars (\$500) per offense, together with the taxable costs of such action. Each day of continued violation shall constitute a separate offense. Every violation of this ordinance is a public nuisance and the creation thereof may be enjoined and the maintenance thereof may be abated by action at suit of the municipality, the state or any citizen thereof, pursuant to sec. 87.30(2) of the Wisconsin Statutes.

9. Definitions.

- a. For the purpose of administering and enforcing this ordinance, the terms or words used herein shall be interpreted as follows: Words used in the present tense include the future; words in the singular number include the plural number; words in the plural number include the singular number. The word "shall" is mandatory, not permissive. All distances, unless otherwise specified, shall be measured horizontally.
- b. The following terms used in this ordinance mean:
 - i. "Accessory structure or use" means a detached subordinate structure or a use which is clearly incidental to, and customarily found in connection with, the principal structure or use to which it is related and which is located on the same lot as that of the principal structure or use.
 - ii. "Boathouse," as defined in sec. 30.121(1) of the Wisconsin Statutes, means a permanent structure used for the storage of watercraft and associated materials and includes all structures which are totally enclosed, have roofs or walls or any combination of structural parts.
 - iii. "Class II public notice" means publication of a public hearing notice under Chapter 985 of the Wisconsin Statutes, in a newspaper of circulation in the

affected area. Publication is required on two (2) consecutive weeks, the last at least seven (7) days prior to the hearing.

- iv. "Conditional use" means a use which is permitted by this ordinance, provided that certain conditions specified in the ordinance are met and that a permit is granted by the Board of Appeals or, where appropriate, the planning agency designated by the City of Franklin Common Council.
- v. "Department" means the Wisconsin Department of Natural Resources.
- vi. "Development" means any man-made change to improved or unimproved real estate, including, but not limited to, the construction of buildings, structures or accessory structures; the construction of additions or substantial alterations to buildings, structures or accessory structures; the placement of buildings or structures; ditching, lagooning, dredging, filling, grading, paving, excavation or drilling operations; and, the deposition or extraction of earthen materials.
- vii. "Drainage system" means one or more artificial ditches, tile drains or similar devices which collect surface runoff or groundwater and convey it to a point of discharge.
- viii. "Environmental control facility" means any facility, temporary or permanent, which is reasonably expected to abate, reduce or aid in the prevention, measurement, control or monitoring of noise, air or water pollutants, solid waste and thermal pollution, radiation or other pollutants, including facilities installed principally to supplement or to replace existing property or equipment not meeting or allegedly not meeting acceptable pollution control standards or which are to be supplements or replaced by other pollution control facilities.
- ix. "Fixed houseboat," as defined in sec. 30.121(1) of the Wisconsin Statutes, means a structure not actually used for navigation which extends beyond the ordinary high-water mark of a navigable waterway and is retained in place either by cables to the shoreline or by anchors or spudpoles attached to the bed of the waterway.
- x. "Navigable waters" means Lake Superior, Lake Michigan, all natural inland lakes within Wisconsin, and all streams, ponds, sloughs, flowages and other waters within the territorial limits of this state, including the Wisconsin portion of boundary waters, which are navigable under the laws of this state. Under sec. 144.26(2)(d) of the Wisconsin Statutes, notwithstanding any other provision of law or administrative rule promulgated thereunder, shoreland ordinances required under secs. 61.351 or 62.221 of the Wisconsin Statutes, and Chapter NY 117, Wis. Adm. Code, do not apply to lands adjacent to farm drainage ditches if;
 - 1. Such lands are not adjacent to a natural navigable stream or river;
 - 2. Those parts of such drainage ditches adjacent to such lands were not navigable streams before ditching; or,

3. Such lands are maintained in nonstructural agricultural use.

"Wisconsin's Supreme Court has declared navigable bodies of water that have a bed differentiated from adjacent uplands and levels or flow sufficient to support navigation by a recreational craft of the shallowest draft on an annually recurring basis [Muench v. Public Service Commission, 261 Wis. 492 (1952); and, DeGaynor and Co., Inc., v. Department of Natural Resources, 70 Wis. 2d 936 (1975)]. For example, a stream which is navigable by skiff or canoe during normal spring high water is navigable, in fact, under the laws of this state though it may be dry during other seasons."

- x. "Ordinary high-water mark" means the point on the bank or shore up to which the presence and action of surface water is so continuous as to leave a distinctive mark, such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation or other easily recognized characteristic.
- xi. "Planning agency" means the municipal plan commission of the City of Franklin.
- xii. "Shorelands" means lands within the following distances from the ordinary high-water mark of navigable waters; one thousand (1,000) feet from a lake, pond or flowage; and, three hundred (300) feet from a river or stream or to the landward side of the floodplain, whichever distance is greater.
- xiii. "Shoreland-wetland district" means the zoning district, created in this shoreland-wetland zoning ordinance, comprised of shorelands that are designated as wetlands on the wetlands inventory maps which have been adopted and made a part of this ordinance.
- xiv. "Unnecessary hardship" means that circumstance where special conditions, which were not self-created, affect a particular property and make strict conformity with restrictions governing area, setbacks, frontage height or density unnecessarily burdensome or unreasonable in light of the purpose of this ordinance.
- xv. "Variance" means an authorization granted by the Board of Appeals to construct or alter a building or structure in a manner that deviates from the dimensional standards of this ordinance.
- xvi. "Wetlands" means those areas where water is at, near or above the land surface long enough to support aquatic or hydrophytic vegetation and which have soils indicative of wet conditions.
- xvii. "Wetland alteration" means any filling, flooding, draining, dredging, ditching, tiling, excavating, temporary water level stabilization measures or dike and dam construction in a wetland area.

City of Franklin

Department of City Development

Date: June 22, 2023
To: City of Franklin Planning Commission
From: Department of City Development – Planning Manager, Laurie Miller
RE: Consideration of new Planning Commission Agenda Format

City Development Staff have begun the process of reviewing and improving various methods of communications and forms that originate from the department. This includes items such as, but not limited to: applications, agendas, public hearing notices, staff reports and additional content found in meeting packets. The goal of this extensive project was to create concise and attractive documents that promote better customer service for our residents and improved communication with our Commissioners and elected officials. In addition, staff would like to make these changes to reduce unnecessary cost to tax payers and applicants as well as reduce the strain on staff's limited resources.

The attached draft agenda is an example of the format staff would like Plan Commission to consider for approval. The header of the document was changed to showcase the City's logo and provide the meeting location. Unnecessary and/or repetitive language in the body of the agenda have been removed. Descriptions have been reduced to provide the reader with information on the applicant's name, project, project location, and what the applicant is seeking approval for (special use, site plan approval, rezone, etc.). By removing excessive detail from the agenda, it encourages the reader to review the staff report for critical information, thus exposing them to staff analysis and recommendations for the agenda item to help the reader better form their opinions. Information on where to view the meeting and obtain information on the agenda items are provided on the bottom of the page, below the line, in one place. Staff altered the notice of a potential quorum to include all governmental bodies instead of only referencing Common Council. The standard language indicating the City's ability to accommodate the needs of disabled individuals remains.

The proposed changes resulted in a reduction of required pages for this agenda, from three pages to one page, and reduction in time staff spends creating the agenda. Staff believes this agenda is professional in its appearance and easy to scan for information. Given that the agenda and meeting packet are released at the same time, staff believes that residents will continue to have the same access to the information that was removed from existing agenda format by reading the staff report.

Thank you for considering this change.

Sincerely,



Laurie Miller
Planning Manager



FRANKLIN CITY HALL CHAMBERS
9229 W. LOOMIS ROAD
FRANKLIN, WISCONSIN

PLAN COMMISSION MEETING AGENDA
Thursday, June 22, 2023 at 7:00 P.M.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of May 18, 2023.

C. **Public Hearing Business Matters**

(Action may be taken on all matters following the respective Public Hearing thereon)

1. **Zim-mar Properties, LLC for BADAX FLATS.** The applicant is seeking approval for a special use, site plan, and setback waiver to allow for a mixed-use building located near the southeast corner of West Rawson Avenue and South Ballpark Drive.
2. **Rawson-Loomis, LLC for VITALOGY.** The applicant is seeking approval for a Comprehensive Master Plan Amendment and creation of a Planned Development District to allow for a mixed-use development located at 8301 West Old Loomis Road.
3. **Land by Label, LLC for POTHs GENERAL.** The applicant is seeking approval for a Comprehensive Master Plan Amendment and creation of a Planned Development District to allow for a mixed-use development located near 7154 South 76th Street.

D. **Business Matters**

1. **Escamilla Food Truck Operation.** The applicant is seeking approval for a one-year Temporary Use to allow for a food truck (Tony's Taco Truck/Tony's Food Truck) operation at 3030 West Ryan Road.
2. **Unified Development Ordinance (UDO) Rewrite Task Force.** Session with project consultant Houseal Lavigne Associates and Birchline Planning, LLC regarding Article 7: Natural Resource Standards.
3. **Consideration of new format for Planning Commission Agenda.** Proposal from Planning Department staff to update the Planning Commission Agenda format.

E. **Adjournment**

The YouTube channel "City of Franklin WI" will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting. <https://www.youtube.com/c/CityofFranklinWIGov>. Any question regarding items on this agenda may be directed to the Department of City Development's office at 414-425-4024, Monday through Friday, 8:30 AM – 5:00 PM.

Notice is given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.