

The Tuckaway Pines Condominium development was originally developed with two storm water retention ponds. A pond is located within Tuckaway Pines Circle and the other pond is adjacent to S. 76th Street, south of Building No. 9.

The amount of impervious surface is being reduced as the proposed buildings are smaller than originally approved. To ensure that the storm water facilities were properly constructed and functioning, staff recommends that the applicant and/or Condominium Association provide the Engineering Department with revised storm water calculations and that the existing storm water ponds be certified and surveyed for approval by the Engineering Department, prior to issuance of a Building Permit.

The applicant has indicated that they would like to add a water feature to the retention pond within the greenspace of Tuckaway Pines Circle. That may or may not be allowed dependent upon the depth of the pond. Staff recommends that the water feature be subject to review and approval by the Engineering Department.

Staff Recommendation

Department of City Development staff recommends approval of the Special Use Amendment, subject to the conditions in the draft resolution.

FOURTH ADDENDUM TO TUCKAWAY PINES CONDOMINIUM PLAT CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



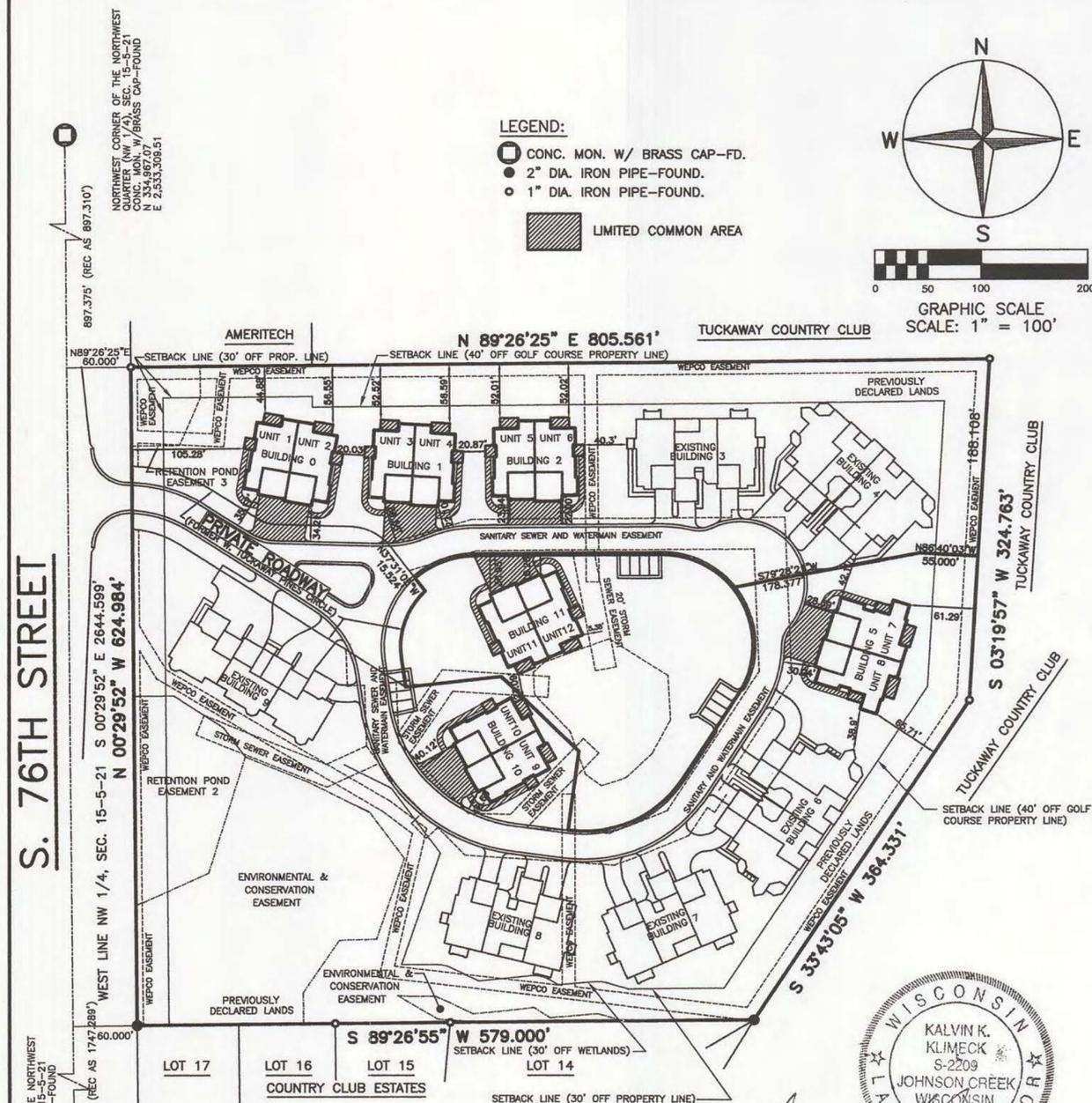
- LEGEND:**
- CONC. MON. W/ BRASS CAP-FOUND.
 - 2" DIA. IRON PIPE-FOUND.
 - 1" DIA. IRON PIPE-FOUND.
 - ▨ LIMITED COMMON AREA

NOTES:

1. THIS FOURTH ADDENDUM TO THE TUCKAWAY PINES CONDOMINIUM CHANGES THE BUILDING FOOTPRINT OF BUILDINGS 0, 1, 2, 5, 10 AND DECLARES THE REMAINDER OF THE EXPANSION LANDS TOGETHER WITH BUILDING 11.

REFERENCE BEARING: Bearings are referenced to the West Line of the NW 1/4 of Section 15-5-21, which has a bearing of S 00°29'52" E (per WI State Plane Coord. System-South Zone-NAD 27).

I, Kalvin K. Klimeck, do hereby certify that I have surveyed the above described property and that this is an accurate representation of the exterior boundary lines and the location of the buildings and improvements upon said property. This condominium plat is a correct representation of the FOURTH ADDENDUM TO TUCKAWAY PINES, CONDOMINIUM and the identification and location of each unit and the common elements can be determined from the plat. The common elements are defined to be all of the condominium property except the individual units described in this plat. The limited common elements are the patios or balconies, stoops and sidewalks, and driveways which are adjacent to the units as indicated on the plat and the driveway aprons in front of the garage assigned to the unit as shown on the plat and other such limited common elements designated as such on the plat. The undersigned surveyor makes no certification as to the accuracy of the diagrammatic floor plans of the condominium building(s) contained in the plat or the approximate dimensions of floor areas thereof.



BUILDING 0	
UNIT 1	7560 WEST TUCKAWAY PINES CIRCLE
UNIT 2	7556 WEST TUCKAWAY PINES CIRCLE

BUILDING 1	
UNIT 3	7554 WEST TUCKAWAY PINES CIRCLE
UNIT 4	7550 WEST TUCKAWAY PINES CIRCLE

BUILDING 2	
UNIT 5	7534 WEST TUCKAWAY PINES CIRCLE
UNIT 6	7530 WEST TUCKAWAY PINES CIRCLE

BUILDING 5	
UNIT 7	7503 WEST TUCKAWAY PINES CIRCLE
UNIT 8	7507 WEST TUCKAWAY PINES CIRCLE

BUILDING 10	
UNIT 9	7543 WEST TUCKAWAY PINES CIRCLE
UNIT 10	7541 WEST TUCKAWAY PINES CIRCLE

BUILDING 11	
UNIT 11	7546 WEST TUCKAWAY PINES CIRCLE
UNIT 12	7542 WEST TUCKAWAY PINES CIRCLE

NOTE: DECKS AND PATIOS MAY BE EXPANDED WITH CONDOMINIUM ASSOCIATION APPROVAL WITHOUT HAVING TO AMEND THE CONDOMINIUM PLAT PER THE CITY OF FRANKLIN COMMENTS.

OWNER: GLANDON HOLDINGS, LLC.

This instrument prepared by KALVIN K. KLIMECK, P.E., R.L.S., of PIONEER ENGINEERING AND SURVEYING, L.L.C. 3902 C.T.H. "B" Johnson Creek, WI 53038 (414) 651-0490 e-mail kalpioneereng@tds.net

NOTES:
 1.) LANDS SUBJECT TO SANITARY SEWER, STORM SEWER, WATERMAIN, AND STORM WATER MANAGEMENT POND EASEMENTS GRANTED TO THE CITY OF FRANKLIN.
 2.) LANDS SUBJECT TO GAS AND ELECTRIC EASEMENTS GRANTED TO WEPKO.
 1.) THERE SHALL BE NO STRUCTURES CONSTRUCTED WITHIN STORM SEWER AND STORMWATER MANAGEMENT EASEMENT AREAS LOCATED WITHIN THE EXTERIOR BOUNDARIES OF THIS PLAT AND MORE PARTICULARLY SHOWN ON CSM AND/OR RECORDED UNDER SEPARATE DOCUMENTS.
 2.) MAINTENANCE OF THE STORM SEWER AND STORM WATER MANAGEMENT PONDS SHALL BE THE RESPONSIBILITY OF TUCKAWAY PINES CONDOMINIUM ASSOCIATION, MILWAUKEE COUNTY AND THE CITY OF FRANKLIN SHALL NOT BE LIABLE FOR ANY FEES OF SPECIAL ASSESSMENT IN THE EVENT MILWAUKEE COUNTY OR THE CITY OF FRANKLIN SHOULD BECOME THE OWNER OF ANY CONDOMINIUM UNITS BY REASON OF DELIQUENCY. THE SAID CONDOMINIUM ASSOCIATION SHALL MAINTAIN SAID STORM WATER AND STORM WATER MANAGEMENT POND EASEMENTS IN AN UNOBSTRUCTED CONDITION SO AS TO MAINTAIN ITS INTENDED PURPOSE. THE SAID CONDOMINIUM ASSOCIATION GRANTS TO THE CITY THE RIGHT (BUT NOT THE RESPONSIBILITY) TO ENTER UPON THIS CONDOMINIUM IN ORDER TO INSPECT, REPAIR OR RESTORE SAID EASEMENT AREAS TO THEIR INTENDED PURPOSE. EXPENSES INCURRED BY THE CITY FOR SAID INSPECTION, REPAIR OR RESTORATION OF SAID EASEMENTS MAY BE PLACED AGAINST THE TAX ROLL FOR UNITS IN THE CONDOMINIUM AND COLLECTED AS A SPECIAL CHARGE BY THE CITY.

Franklin

DEC 05 2016

City Development



KALVIN K. KLIMECK - Wis Reg. No. S-2209
 FILE #: C:\0013\CONDOPLAT17
 DATED THIS 1ST DAY OF DECEMBER, 2016

PIONEER ENGINEERING AND SURVEYING, L.L.C.

CONSULTANTS IN SUBDIVISIONS AND COMMERCIAL DEVELOPMENTS
 3902 C.T.H. "B"
 JOHNSON CREEK, WI. 53038
 (414) 651-0490 E-MAIL kalpioneereng@tds.net

FOURTH ADDENDUM TO TUCKAWAY PINES CONDOMINIUM PLAT CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

CURVE TABLE

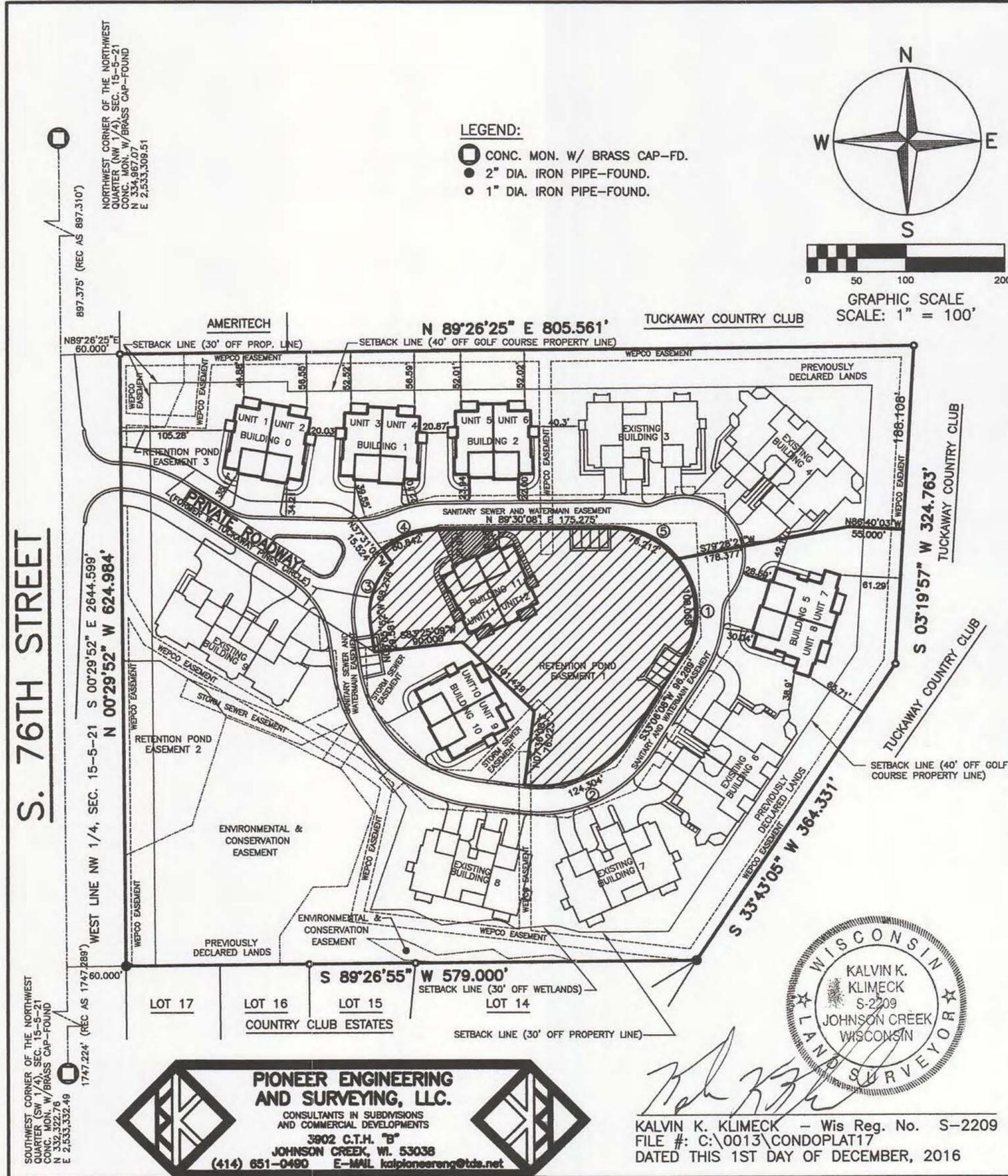
CURVE	RADIUS	ARC LENGTH	CHD LENGTH	CHD BEARING
1	85.420'	108.058'	100.996'	S 03°08'16" E
2	110.420'	124.304'	117.843'	S 65°21'08" W
3	69.920'	68.276'	65.595'	N 19°52'35" E
4	85.420'	60.842'	59.564'	N 69°05'50" E
5	85.420'	76.212'	73.710'	S 64°56'16" E



GRAPHIC SCALE
SCALE: 1" = 100'

LEGEND:

- CONC. MON. W/ BRASS CAP--FD.
- 2" DIA. IRON PIPE--FOUND.
- 1" DIA. IRON PIPE--FOUND.



FOURTH ADDENDUM EXPANSION LANDS DESCRIPTION:
All of Parcel 1 of C.S.M. No. 7110, recorded as Document No 8309116, Milwaukee County Register of Deeds Office, being all that part of the Northwest Quarter (NW 1/4) and the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of Section 15, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin

Together with the vacated right-of-way of Tuckaway Pines Circle as recorded as Document No. 09094307. Milwaukee County Register of Deeds Office;

Exempting therefrom the lands declared in the original Tuckaway Pines Condominium as recorded as Document No. 8618305, Milwaukee County Register of Deeds Office;

Exempting therefrom the lands declared in the First Addendum to Tuckaway Pines Condominium as recorded as Document No. 08905842, Milwaukee County Register of Deeds Office;

Exempting therefrom the lands declared in the Second Addendum to Tuckaway Pines Condominiums as recorded as Document No 09052413, Milwaukee County Register of Deeds;

Exempting therefrom the lands declared in the Third Addendum to Tuckaway Pines Condominium as recorded as Document No 09320992, Milwaukee County register of Deeds;

said lands hereby being more particularly described as follows:
Commencing at the northwest corner of the Northwest Quarter (NW 1/4) of said Section 15; thence South 00°29'52" East along the west line of said Northwest Quarter (NW 1/4) 897.375 feet (recorded as 897.310 feet) to the north line and its extension of said CSM; thence North 89°26'25" East along the north line of said CSM and its extension 865.561 feet to the east line of said CSM; thence South 03°19'57" West along the east line of said CSM 188.108 feet to the south line of lands declared in the First Amendment to the Condominium Declaration of Tuckaway Pines Condominium; thence North 86°40'03" West along the said south line 55.000 feet; thence South 79°28'21" West along the said south line 178.377 feet to the beginning of a curve of radius 85.420, the center of which lies to the west; thence southeasterly along the arc of said curve and along the west line of lands declared in the Third Addendum to Tuckaway Pines Condominium and its extension 108.058 feet, the chord of said arc bearing South 03°08'16" East 100.996 feet; thence South 33°06'08" West along the north line of lands declared in the First Amendment to Condominium Declaration of Tuckaway Pines Condominium 96.289 feet to the beginning of a curve of radius 110.420 feet, the center of which lies to the north; thence southwesterly along the arc of said curve and along the north line of declared lands in the Second Addendum to Tuckaway Pines Condominium 124.304 feet, the chord of which bears South 65°21'08" West 117.843 feet to the easterly line of lands declared in the First Amendment to Condominium Declaration of Tuckaway Pines Condominium; thence North 07°36'08" East along the said easterly line 76.223 feet; thence North 44°55'12" West along the said easterly line 101.429 feet; thence South 83°25'09" West along the said easterly line 90.000 feet to the easterly line of vacated Tuckaway Pines Circle; thence North 08°05'52" West along the east line of said vacated right-of-way 29.581 feet to the beginning of a curve of radius 69.920 feet, the center of which lies to the east; thence northeasterly along the said vacated right-of-way and along the arc of said curve 68.276 feet, the chord of said arc which bears North 19°52'35" East 65.595 feet; thence North 37°31'05" West along the east line of said vacated right-of-way 15.542 feet to the beginning of a curve of radius 85.420 feet, the center of which lies to the south; thence northeasterly along the arc of said curve and along the south line of lands declared in the First Amendment to Condominium Declaration of Tuckaway Pines Condominium 60.842 feet, the chord of which bears North 69°05'50" East 59.564 feet; thence North 89°30'08" East along the south line of said lands declared in the First Amendment 175.275 feet to the beginning of a curve of radius 85.420 feet, the center of which lies to the south; thence southeasterly along the arc of said curve and along the south line of said First Amendment 76.212 feet, the chord of which bears South 64°56'16" East 73.710 feet to the place of beginning.

INDICATES EXPANSION LAND AREA FOR THE FOURTH ADDENDUM

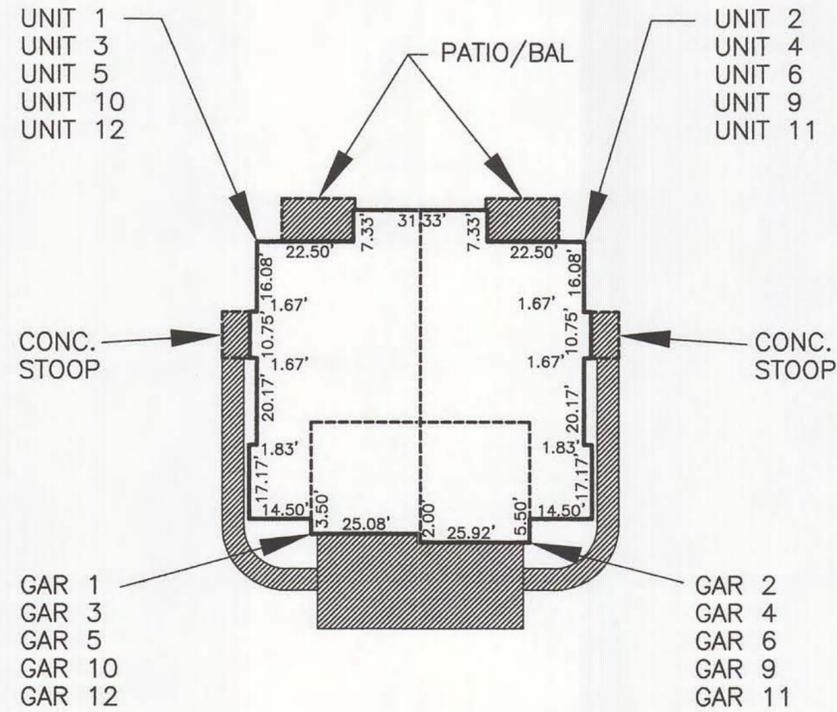


KALVIN K. KLIMECK - Wis Reg. No. S-2209
FILE #: C:\0013\CONDOPLAT17
DATED THIS 1ST DAY OF DECEMBER, 2016

PIONEER ENGINEERING AND SURVEYING, LLC.
CONSULTANTS IN SUBDIVISIONS AND COMMERCIAL DEVELOPMENTS
3902 C.T.H. "B"
JOHNSON CREEK, WI. 53038
(414) 651-0490 E-MAIL: kalpioneereng@tds.net

This instrument prepared by KALVIN K. KLIMECK, P.E., R.L.S., of PIONEER ENGINEERING AND SURVEYING, L.L.C. 3902 C.T.H. "B" Johnson Creek, WI 53038 (414) 651-0490 e-mail kalpioneereng@tds.net

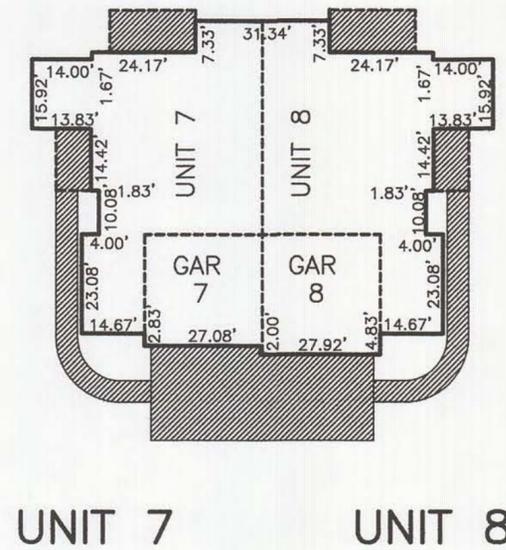
FOURTH ADDENDUM TO
TUCKAWAY PINES CONDOMINIUM PLAT
CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



UNIT 1	UNIT 2
UNIT 3	UNIT 4
UNIT 5	UNIT 6
UNIT 10	UNIT 9
UNIT 12	UNIT 11

BUILDINGS 0, 1, 2,
10, AND 11

LIMITED COMMON AREA



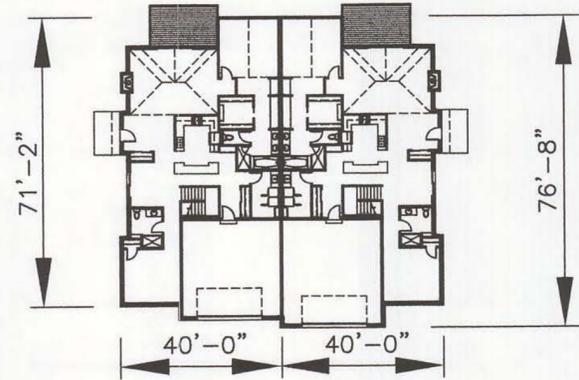
UNIT 7 UNIT 8
BUILDING 5



Calvin K. Klimeck
KALVIN K. KLIMECK — Wis Reg. No. S-2209
FILE #: C:\0013\CONDOPLAT17
DATED THIS 1ST DAY OF DECEMBER, 2016

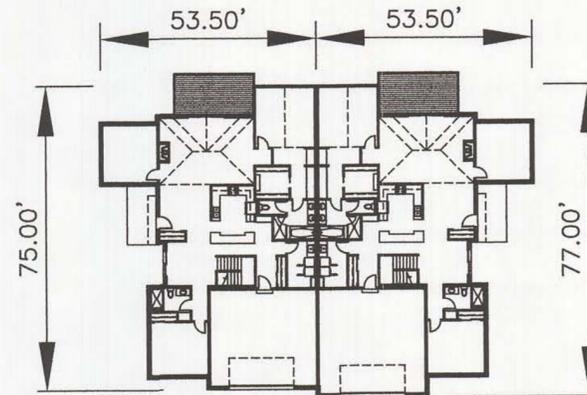
This instrument prepared by KALVIN K. KLIMECK, P.E., R.L.S., of PIONEER ENGINEERING AND SURVEYING, L.L.C.
3902 C.T.H. "B" Johnson Creek, WI 53038 (414) 651-0490 e-mail kalpioneereng@tds.net

FOURTH ADDENDUM TO
TUCKAWAY PINES CONDOMINIUM PLAT
 CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN



UNIT 1	UNIT 2
UNIT 3	UNIT 4
UNIT 5	UNIT 6
UNIT 10	UNIT 9
UNIT 12	UNIT 11
APPROX. 2703 SF	APPROX. 2753 SF

BUILDINGS 0, 1, 2,
10, AND 11



UNIT 7	UNIT 8
APPROX. 3061 SF	APPROX. 3107 SF
BUILDING 5	



Calvin K. Klimeck

KALVIN K. KLIMECK - Wis Reg. No. S-2209
 FILE #: C:\0013\CONDOPLAT17
 DATED THIS 1ST DAY OF DECEMBER, 2016

This instrument prepared by KALVIN K. KLIMECK, P.E., R.L.S., of PIONEER ENGINEERING AND SURVEYING, L.L.C.
 3902 C.T.H. "B" Johnson Creek, WI 53038 (414) 651-0490 e-mail kalpioneereng@tds.net



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of December 22, 2016

Landscape Plan

RECOMMENDATION: Department of City Development staff recommends approval of the Landscape Plan, subject to the conditions in the draft resolution.

Project Name:	Tuckaway Pines Condominiums Landscape Plan
Project Address:	7556, 7558, 7560 West Tuckaway Pines Circle (Building 0), 7550, 7552, 7554 West Tuckaway Pines Circle (Building 1), 7530, 7532, 7534 West Tuckaway Pines Circle (Building 2), 7501, 7503, 7505 West Tuckaway Pines Circle (Building 5), 7543, 7545, 7547 West Tuckaway Pines Circle (Buildings 10) and 7542, 7544, 7546 West Tuckaway Pines Circle (Building 11)
Applicant:	Wayne Foster, Foster Group, Ltd.
Property Owner:	Glandon Holdings LLC
Current Zoning:	R-8 Multiple-Family Residence District
2025 Comprehensive Plan	Residential – Multi-Family
Use of Surrounding Properties:	Recreational and Residential
Applicant Action Requested:	Approval of the Landscape Plan for Tuckaway Pines Condominiums

Project Description/Analysis

Following a Plan Commission recommendation of approval, the Common Council, at their August 2, 2016 meeting, approved Resolution No. 2016-7218, a resolution to amend Resolution Nos. 2001-5145, 2001-5317, 2005-5865 and 2006-6091 imposing conditions and restrictions for the approval of a special use amendment for a 44 unit residential community use located at West Tuckaway Pines Circle to allow for construction of six two-unit buildings (Buildings 0, 1, 2, 5, 10 and 11) within the Tuckaway Pines Condominium development to be located at 7556, 7558, 7560 West Tuckaway Pines Circle (Building 0), 7550, 7552, 7554 West Tuckaway Pines Circle (Building 1), 7530, 7532, 7534 West Tuckaway Pines Circle (Building 2), 7501, 7503, 7505 West Tuckaway Pines Circle (Building 5), 7543, 7545, 7547 West Tuckaway Pines Circle (Building 10) and 7542, 7544, 7546 Tuckaway Pines Circle (Building 11), subject to replacing Condition No. 7.a. with a condition stating, “A quoin feature or soldier coursing to match existing buildings shall be provided upon Building No. 5”.

The approved resolution included a condition stating the applicant shall submit a Landscape Plan for review and approval by the Plan Commission, prior to the issuance of a Building Permit.

The applicant is requesting approval of the attached Landscape Plan. Table 15-5.0302 of the Unified Development Ordinance requires that multi-family developments provide 1.5 Canopy/Shade trees per dwelling unit, one Evergreen and Decorative tree per dwelling unit and three Shrubs per dwelling unit.

The applicant is proposing 12 units, thus 18 Canopy/Shade trees, 12 Evergreens, 18 Decorative trees and 36 Shrubs are required. The applicant is proposing 17 Canopy/Shade trees, 29 Evergreens, 22 Decorative trees and 238 Shrubs. The applicant has also indicated to staff that a revised plan will be submitted to include an additional shade tree to comply with all Unified Development Ordinance standards. Plant quantities noted on the foundation plan should be multiplied by 6 as those are the quantities for each individual building.

Staff Recommendation

Department of City Development staff recommends approval of the Landscape Plan, subject to the conditions in the draft resolution.

RESOLUTION NO. 2016-____

A RESOLUTION APPROVING A LANDSCAPE PLAN FOR CONSTRUCTION
OF SIX TWO-UNIT BUILDINGS WITHIN THE TUCKAWAY PINES
CONDOMINIUM DEVELOPMENT

(AT 7556, 7558, 7560 WEST TUCKAWAY PINES CIRCLE (BUILDING 0),
7550, 7552, 7554 WEST TUCKAWAY PINES CIRCLE (BUILDING 1),
7530, 7532, 7534 WEST TUCKAWAY PINES CIRCLE (BUILDING 2),
7501, 7503, 7505 WEST TUCKAWAY PINES CIRCLE (BUILDING 5)
7543, 7545, 7547 WEST TUCKAWAY PINES CIRCLE (BUILDING 10)
AND 7542, 7544, 7546 WEST TUCKAWAY PINES CIRCLE (BUILDING 11))
(WAYNE E. FOSTER, THE FOSTER GROUP, LTD. (GLANDON HOLDINGS LLC,
OWNER), APPLICANT)

WHEREAS, the Common Council having conditionally approved Resolution No. 2016-7218 on July 19, 2016, A Resolution to Amend Resolution Nos. 2001-5145, 2001-5317, 2005-5865 and 2006-6091 Imposing Conditions and Restrictions for the Approval of a Special Use for a 44 Unit Residential Community Use Located at West Tuckaway Pines Circle to Allow for Construction of Six Two-unit Buildings (Buildings 0, 1, 2, 5, 10 and 11) Within the Tuckaway Pines Condominium Development to be Located at 7556, 7558, 7560 West Tuckaway Pines Circle (Building 0), 7550, 7552, 7554 West Tuckaway Pines Circle (Building 1), 7530, 7532, 7534 West Tuckaway Pines Circle (Building 2), 7501, 7503, 7505 West Tuckaway Pines Circle (Building 5), 7543, 7545, 7547 West Tuckaway Pines Circle (Building 10) and 7542, 7544, 7546 West Tuckaway Pines Circle (Building 11), subject in part to the review and approval by the Plan Commission of a detailed Landscape Plan; and

WHEREAS, the Plan Commission having reviewed the proposed Landscape Plan and having found same to be in compliance with the standards required by the Plan Commission.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Landscape Plan for the Tuckaway Pines Condominium six two-unit buildings construction project, dated December 13, 2016, attached hereto and incorporated herein, be and the same is hereby approved, subject to the following conditions:

1. Wayne E. Foster, The Foster Group, Ltd. (Glandon Holdings LLC, owner), successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Wayne E. Foster, The Foster Group, Ltd. (Glandon Holdings LLC, owner), Tuckaway Pines Condominium six two-unit buildings construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance,

WAYNE E. FOSTER, THE FOSTER GROUP, LTD. (GLANDON HOLDINGS LLC,
OWNER) – LANDSCAPE PLAN
RESOLUTION NO. 2016-_____

Page 2

and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon Wayne E. Foster, The Foster Group, Ltd. (Glandon Holdings LLC, owner) and the Tuckaway Pines Condominium six two-unit buildings construction project for the property located at 7556, 7558, 7560 West Tuckaway Pines Circle (Building 0), 7550, 7552, 7554 West Tuckaway Pines Circle (Building 1), 7530, 7532, 7534 West Tuckaway Pines Circle (Building 2), 7501, 7503, 7505 West Tuckaway Pines Circle (Building 5), 7543, 7545, 7547 West Tuckaway Pines Circle (Building 10) and 7542, 7544, 7546 West Tuckaway Pines Circle (Building 11): (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The Tuckaway Pines Condominium six two-unit buildings construction project shall be developed in substantial compliance with the terms and provisions of this Resolution.
4. [other conditions, etc.]

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

December 13, 2016

Tuckaway Pines Condominium

Landscape Plan

This landscape plan was developed to be compatible with the existing Landscaping. There is a great concern with existing owners to complete the Project with Architecture and Landscaping being an extension of what exists and be unified when complete.

The Landscape plan extends the landscaping of existing buildings by design and plant selection. It is compatible with existing foundation plantings and enhances certain areas for the benefit of everyone, existing and future residents; such as in the center area and adjacent to 76th street north of the entrance. The plan also enhances the entrance.

The proposed plan meets what is required by ordinance and exceeds requirements in some areas.

	Foundation	Site	Total	Required
Shade Trees	6	11	17	18
Evergreens	6	23	29	12
Decorative Trees	-	22	22	12
Scrubs	214	22	236	36

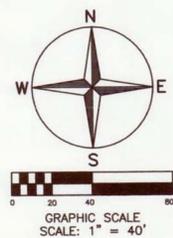
Franklin

DEC 13 2016

City Development

NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4), SEC. 15-5-21 CONC. MON. W/ BRASS CAP-FOUND N 334.967.07 E 2,533,309.51

897.375' (REC AS 897.310')

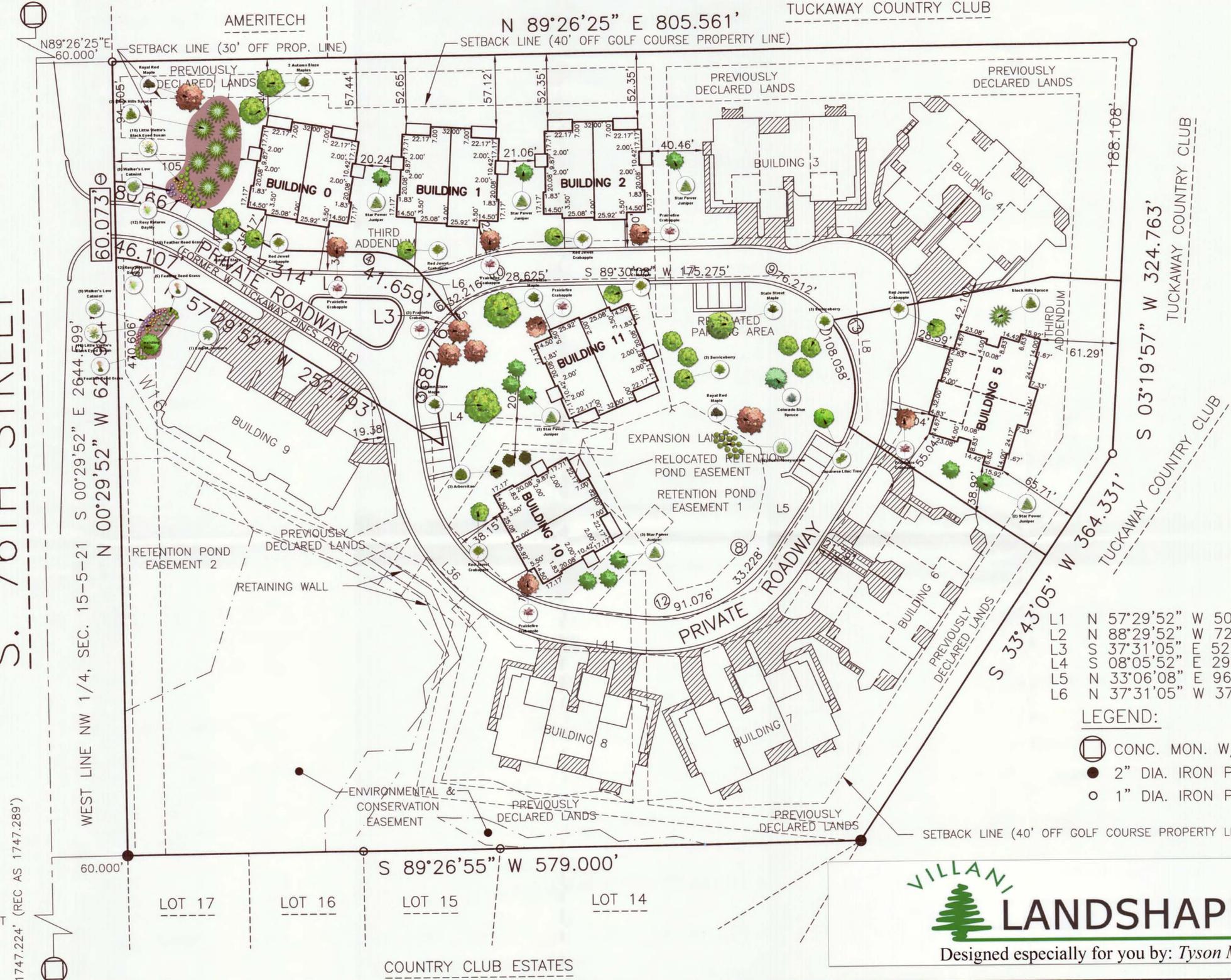


Type	Plant Legend Botanical	Quantity
Canopy / Shade Tree	State Street Maple	1
	Royal Red Maple	2
	Autumn Blaze Maple	5
Evergreens	Black Hills Spruce	8
	Arborvitae	3
	Star Power Juniper	11
	Colorado Spruce	1
	Feather Reed Grass	25
Decorative Trees	Pranefire Crabapple	9
	Japanese Tree Lilac	1
	Servicberry	6
	Red Jewel Crabapple	6
	Star Power Juniper	7
	Bush Honeysuckle	15
Perennials	Viet's Little Suzy	20
	Walkers Low Catmint	16
	Royal Returns Daylily	20
	Feather Reed Grass	25

Landscape Revision 12-13-16

* 3 Shade Trees to be placed through Developer & Condo Association

SOUTHWEST CORNER OF THE NORTHWEST QUARTER (SW 1/4), SEC. 15-5-21 CONC. MON. W/ BRASS CAP-FOUND N 332,322.76 E 2,533,332.49



- L1 N 57°29'52" W 50.663'
- L2 N 88°29'52" W 72.290'
- L3 S 37°31'05" E 52.909'
- L4 S 08°05'52" E 29.581'
- L5 N 33°06'08" E 96.289'
- L6 N 37°31'05" W 37.368'

LEGEND:

- ◻ CONC. MON. W/ BRASS CAP-FD.
- 2" DIA. IRON PIPE-FOUND.
- 1" DIA. IRON PIPE-FOUND.

Scale: 1" = 40'

VILLANI LANDSHAPERS
Designed especially for you by: *Tyson Mueller*

Franklin
DEC 13 2016
City Development

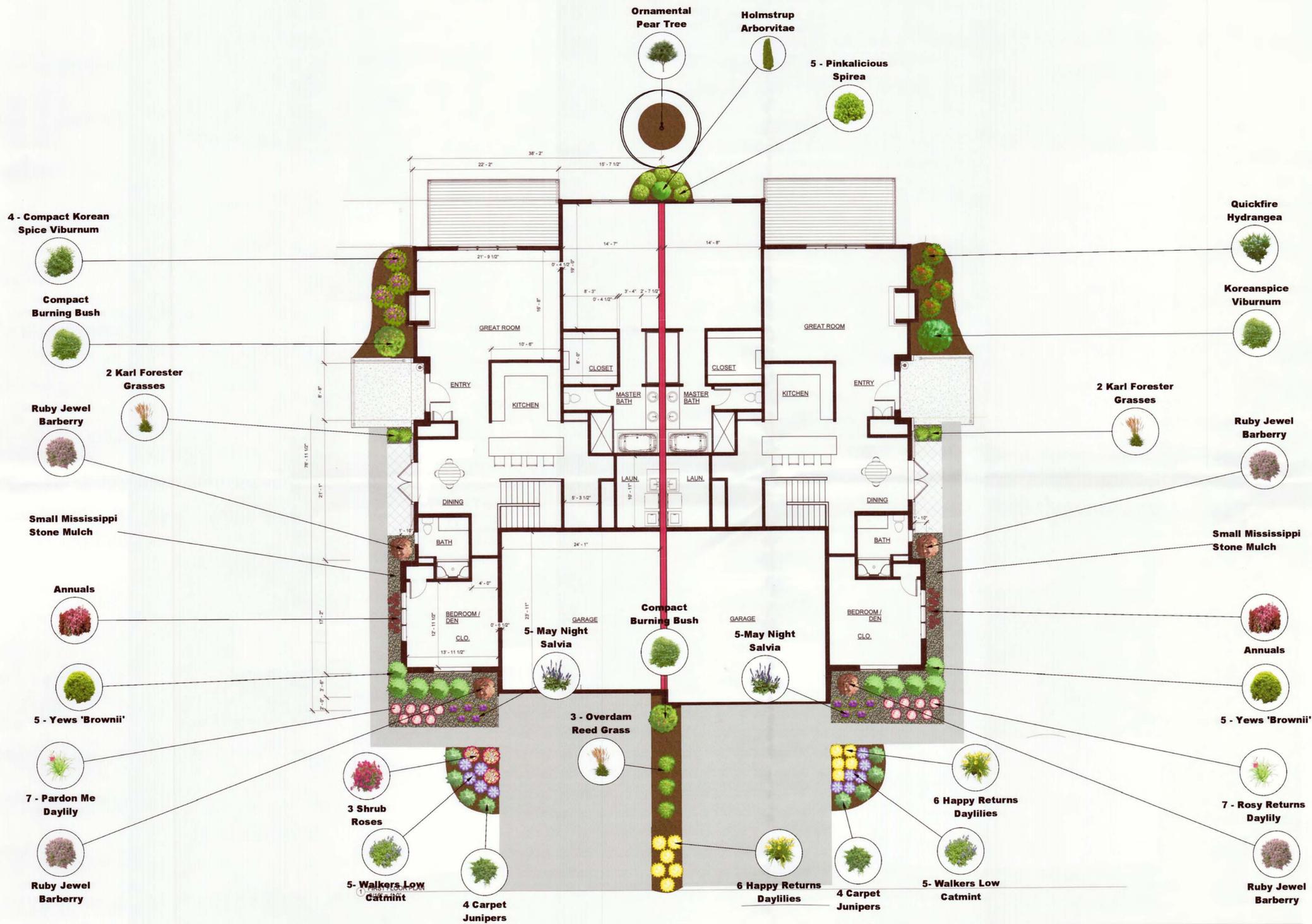
NO.	REVISIONS	BY	DATE	DESIGNED BY:	SCALE:
1	BUILDING 5	KKK	5-13-16	K. K. KLIMECK	1" = 40' HORIZ.
2	SITE PLAN REVISIONS	KKK	6-14-16	DRAWN BY:	
3	SITE PLAN REVISIONS	KKK	6-15-16	K. K. KLIMECK	DATE: NOV. 17, 2015
4	SITE PLAN REVISIONS	KKK	7-19-16	CHECKED BY:	
				K. K. KLIMECK	

PIONEER ENGINEERING AND SURVEYING, LLC.
CONSULTANTS IN SUBDIVISIONS AND COMMERCIAL DEVELOPMENTS
3902 C.T.H. "B"
JOHNSON CREEK, WI. 53038
CELL 414 651-0490 E-MAIL: kalpioneereng@tds.net

**TUCKAWAY PINES
ANTICIPATED REVISIONS BY
WAYNE FOSTER**

MUNIC. PROJ. NO.	PIONEER PROJ. NO.
CITY OF FRANKLIN APPROVED BY:	PIONEER SHT. NO.
CITY OF FRANKLIN DATE:	PIONEER FILE NO.

D:\0013\CONDO16



Timothy E. Seidel
 Architect
 1000 W. Wisconsin Ave.
 Suite 100
 Waukesha, WI 53185-4423
 (262) 548-0400
 tseidel@tseidel.com

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 violation of the Copyright
 Protection Act of 1976.

TUCKAWAY PINES
2 FAMILY

Type	Plant Legend	Quantity
Canopy / Shade Tree	Botanical	1
Cleveland Select Pear	<i>Pyrus calleryana</i>	1
Evergreens		1
Holmstrup Arborvitae	<i>Thuja occidentalis 'Holmstrup'</i>	1
Decorative Trees		0
Shrubs		36
Dwarf Japanese Garden Juniper	<i>Juniperus procumbens 'Nana'</i>	8
Ruby Jewel Japanese Barberry	<i>Berberis thunbergii 'Ruby Jewel'</i>	4
Compact Koreanspice Viburnum	<i>Viburnum carlesii 'Compactum'</i>	4
Koreanspice Viburnum	<i>Viburnum carlesii</i>	1
Quickfire Hydrangea	<i>Hydrangea paniculata 'Quickfire'</i>	4
Shrub Rose	<i>Rosa 'Knock Out'</i>	3
Compact Burning Bush	<i>Euonymus alatus 'Compactus'</i>	2
Brown Yew	<i>Taxus x media 'Brownii'</i>	10
Perennials		39
Happy Returns Daylily	<i>Hemerocallis sp.</i>	11
Feather Reed Grass	<i>Calamagrostis acutiflora</i>	7
May Night Salvia	<i>Salvia 'May Night'</i>	10
Walker's Low Catmint	<i>Nepeta x faassenii 'Walkers Low'</i>	11

Scale: 1' = 8'


VILLANI LANDSHAPERS
 Designed especially for you by: *Tyson Mueller*

Landscape Revision 12-13-16

Franklin
 DEC 13 2016
 City Development



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of December 22, 2017

Temporary Use

RECOMMENDATION: City Development Staff recommends approval of a Temporary Use for Whitnall Youth Baseball, Inc., to operate an indoor physical fitness/practice facility use, for property located at 6542 South Lovers Lane Road, subject to the conditions of approval in the attached resolution.

Project Name:	Whitnall Youth Baseball, Inc. Temporary Use
Project Address:	6542 South Lovers Lane Road
Property Owner:	Hartland Meadows, LLC
Applicant:	Whitnall Youth Baseball, Inc.
Agent:	Michael Phillip Meyer, President
Zoning:	B-3 Community Business District
Use of Surrounding Properties:	Car dealership to the north; multi-family residential to the south and east; and vacant M-1 zoned land, Waterstone Bank and Menards to the west
Comprehensive Plan:	Commercial
Applicant Action Requested:	Approval of the Temporary Use

BACKGROUND/INTRODUCTION:

On January 7, 2016 the Plan Commission approved a Temporary Use for Whitnall Youth Baseball, Inc. to operate an indoor physical fitness/practice facility use for property located at 6542 South Lovers Lane Road via Resolution No. 2016-001.

On November 30, 2016, Michael Phillip Meyer filed another Temporary Use Application with the Department of City Development on behalf of Whitnall Youth Baseball, Inc., requesting approval to once again use approximately 18,384 square feet of vacant tenant space in the Garden Plaza Shopping Center, located at approximately 6542 South Lovers Lane Road, as an indoor physical fitness/baseball practice facility for the Whitnall Youth Baseball program. The applicant is proposing to use this facility between January 9 and April 9, 2017.

An adjacent tenant, Fun Timez, was issued a Zoning Compliance Permit on November 14, 2016 for 6542 South Lovers Lane Road and is in the process of preparing building plans to construct a laser tag facility. The property owner, Hartland Meadows, LLC, has agreed to rent this tenant space to Whitnall Youth Baseball, Inc. (WYB) until Fun Timez has obtained a Building Permit and is ready to start building modifications for their laser tag facility. WYB has stated in their Project Narrative that, "There is a potential that Fun Timez will be ready to move forward before April 9th and we would then discontinue use of the facility at that time."

PROJECT DESCRIPTION/ANALYSIS:

Whitnall Youth Baseball, Inc. is a public youth sports group centered in Hales Corners. The organization includes youth baseball and softball, with boys and girls ranging in age from 4 to 16 and from communities all around southeastern Wisconsin. According to the project narrative, the proposed use will allow youth athletes to condition indoors during winter months and receive additional instruction including but not limited to: speed, strength, agility, conditioning and specific baseball performance drills including throwing, hitting and fielding. Proposed hours of operation are Monday – Friday from 5:00 p.m. to 9:00 p.m. and Saturday & Sunday from 9:00 a.m. to 6:00 p.m.

Two batting cages (with additional netting to protect interior walls) and hitting nets and tees for batting drills will be utilized inside the facility. Furthermore, medicine balls, resistance bands, agility ladders and cones will be used for training. The applicant is not proposing any additional landscaping, lighting or exterior changes to the existing building at this time. The Garden Plaza Shopping Center has ample parking to accommodate the proposed use. Furthermore, the Garden Plaza Shopping Center has two existing recreation and amusement uses (Anytime Fitness and Fun Timez Family Entertainment Center).

Section 15-3.0804 of the Unified Development Ordinance (UDO) states “A Temporary Use is an activity that is short-term in nature, will be conducted for only a specified limited period of time, and for a specific use that is not the permanent use of the property, and which use though not already expressly authorized to be an actual use on the property, is incidental to or accessory to and compatible with and will not adversely affect adjoining properties.” This section further states, “The Zoning Administrator and designees of the City Planning Department may refer any application for a Temporary Use Permit to the Plan Commission for review and approval, where the Zoning Administrator or designee of the City Planning Department determines that the application involves an issue of interpretation as to whether the proposed temporary use is incidental or accessory to the existing use of the property, or is a use which is compatible, as required herein, or that there is a question as to whether the proposed temporary use may adversely affect adjoining property due to the nature of, size or area of, noise, debris, lighting, or the like or other resultant from the proposed temporary use. Plan Commission review and approval is required for any proposed temporary use of a type not specifically listed below.”

The subject use is not a listed temporary use within Section 15-3.0804 of the City of Franklin Unified Development Ordinance (UDO). In addition, according to Section 15-3.0804(L) of the UDO, “Each Temporary Use Permit shall specify the date upon which such use may commence and the date upon which such use shall expire; in no event, except as otherwise specifically and expressly set forth in this Section, shall any temporary use exceed 90 days in duration during any calendar year. Therefore, staff has determined that the request requires Plan Commission review and approval.

STAFF RECOMMENDATION:

City Development Staff recommends approval of a Temporary Use for Whitnall Youth Baseball, Inc., to operate an indoor physical fitness/practice facility use, for property located at 6542 South Lovers Lane Road, subject to the conditions of approval in the attached resolution.

RESOLUTION NO. 2016-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A TEMPORARY USE FOR AN INDOOR PHYSICAL
FITNESS/PRACTICE FACILITY USE FOR PROPERTY LOCATED AT
6542 SOUTH LOVERS LANE ROAD
(GARDEN PLAZA SHOPPING CENTER)
(MICHAEL PHILLIP MEYER, PRESIDENT OF WHITNALL
YOUTH BASEBALL, INC., APPLICANT)

WHEREAS, Michael Phillip Meyer, President of Whitnall Youth Baseball, Inc. having petitioned the City of Franklin for the approval of a Temporary Use to allow for a public youth baseball and softball sports group indoor physical fitness/practice facility, for boys and girls ranging in age from 4 to 16, from communities all around southeastern Wisconsin, upon property located at approximately 6542 South Lovers Lane Road (Garden Plaza Shopping Center), for the dates of January 9, 2017 through April 9, 2017, from 5:00 p.m. to 9:00 p.m. Monday through Friday and from 9:00 a.m. to 6:00 p.m. on Saturdays and Sundays; and

WHEREAS, the Plan Commission having found that the proposed Temporary Use, subject to conditions, meets the standards set forth under §15-3.0804 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the petition of Michael Phillip Meyer, President of Whitnall Youth Baseball, Inc. for the approval of a Temporary Use to allow for a public youth baseball and softball sports group indoor physical fitness/practice facility, for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. The approval granted hereunder shall allow for such use from January 9, 2017 through April 9, 2017, from 5:00 p.m. to 9:00 p.m. Monday through Friday and from 9:00 a.m. to 6:00 p.m. on Saturdays and Sundays, and all approvals granted hereunder expiring at 9:00 p.m. on Friday, April 9, 2017.
2. [other conditions, etc.]

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

Passed and adopted at a regular meeting of the Plan Commission of the City of

MICHAEL PHILLIP MEYER, PRESIDENT OF WHITNALL YOUTH
BASEBALL, INC. – TEMPORARY USE
RESOLUTION NO. 2016-_____

Page 2

Franklin this _____ day of _____, 2016.

APPROVED:

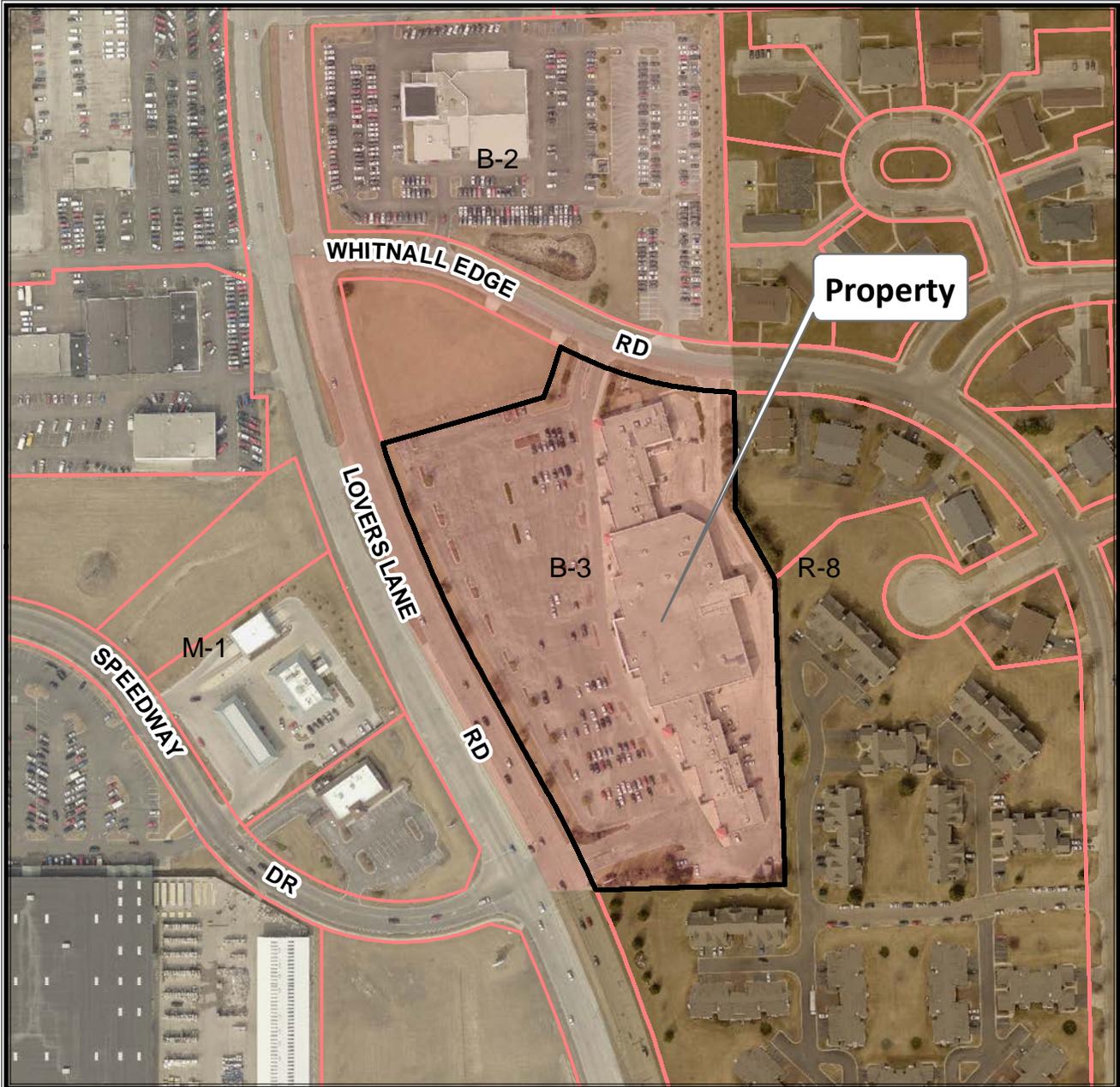
Stephen R. Olson, Chairman

ATTEST:

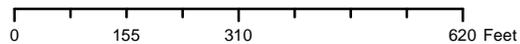
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

6542 S. Lovers Lane Road
TKN: 705 8997 004

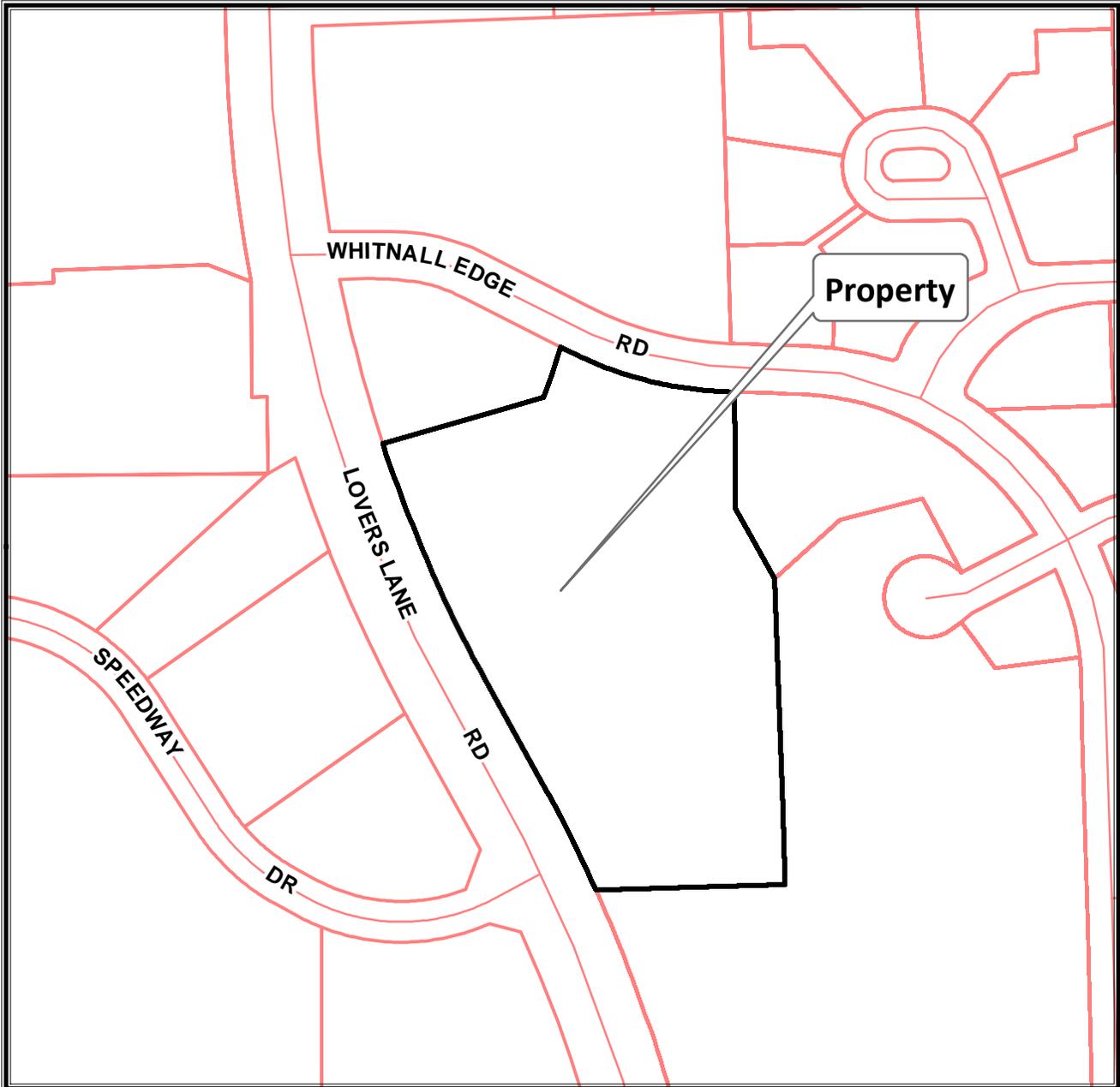


Planning Department
(414) 425-4024

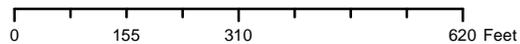


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

6542 S. Lovers Lane Road
TKN: 705 8997 004



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Michael Meyer
Whitnall Youth Baseball, Inc.
PO BOX 213
Hales Corners, WI 53130

November 29th 2016

Whitnall Youth Baseball
2017 Revised Project Narrative
City of Franklin

Who:

Whitnall Youth Baseball, Inc. is a non-profit 501(c)3 organization that has been in existence since 1986. Our organization is a public youth sports group, centered in Hales Corners and includes youth baseball and softball with both boys and girls, ranging in age from 4 to 16 and from communities all around southeastern Wisconsin.

What:

Whitnall Youth Baseball, Inc. is requesting a Temporary Use permit in the City of Franklin for the location at approximately 6542 S Lovers Lane Rd in the Garden Plaza Shopping Center, which is currently owned and operated by Janacek Investments, Inc. The proposed use of the building will require no structural changes to the current 18,384 sq. ft. of the facility, inside or out.

The facility will allow for youth athletes to condition during the winter months and receive additional instruction time. This indoor physical fitness / practice facility will focus on maintaining the whole athlete including but not limited to: speed, strength, agility, conditioning, and specific baseball performance drills. The setup will include two batting cages inside the facility on opposite ends of the facility with additional netting hung to protect the walls and provide a safe training environment.

During our sessions, we typically have 2-4 volunteer coaches or parents, maintain an approx. 5 to 1 relationship, youth to adults. In total at any time, we would have no more than 4-8 coaches in the facility and approximately 30 kids.

When:

The space will be occupied and maintained by the volunteer staff of the Whitnall Youth Baseball, Inc. organization during established regular business hours for the Garden Plaza shopping center. This proposal is to utilize this facility between the following dates: January 9, 2017 thru April 9, 2017. The proposed hours of operation are as follows: Monday thru Friday, from 5pm to 9pm, Saturday and Sunday from 9am to 6pm.

Notes:

One of the other tenants in the facility (Fun Timez) is also applying for a permit to build a laser tag facility in the same space. The owner of the facility, he has agreed to rent the section of the facility to WYB until the Fun Timez has approval to and is ready to start building modifications. There is the potential that Fun Timez will be ready to move forward before April 9th and we would then discontinue use of the facility at that time.

Attachments: Site plans. No changes are necessary based on the proposed use.

Franklin

NOV 30 2016

City Development

PROPOSED TENANT SPACE FOR: GARDEN PLAZA FRANKLIN, WISCONSIN

GENERAL NOTES :

THE FOLLOWING GENERAL AND SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS ENGAGED IN THE EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS. THESE NOTES SUPPLEMENT, AND ARE MADE PART OF, THE CONTRACT DOCUMENTS.

ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH DRAWINGS AND NOTES, STATE OF WISCONSIN BUILDING AND SAFETY CODES, AND GOVERNING LOCAL AND MUNICIPAL CODES. ALL CONTRACTORS SHALL INSURE FAMILIARITY WITH THE ABOVE ITEMS.

PLUMBING, AND ELECTRICAL DESIGNS ARE NOT INCLUDED IN THIS SET.

PLUMBING, AND ELECTRICAL CONTRACTORS SHALL SUBMIT DOCUMENTATION, CALCULATIONS, AND DATA TO THE STATE AND LOCAL AUTHORITIES FOR APPROVAL, PAY ALL FEES AND SECURE ALL PERMITS AND LICENSES APPLICABLE. SUBMIT PLUMBING, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS TO THE ARCHITECT FOR REVIEW. PLUMBING, AND ELECTRICAL DESIGN MUST PROVIDE A COMPLETE WORKING SYSTEM INCLUDING ALL FIXTURES AND EQUIPMENT AS SHOWN ON ARCHITECTURAL PLANS.

ELECTRICAL CONTRACTOR SHALL HAVE LIGHTING DESIGNER SUBMIT A LIGHTING PLAN FOR EMERGENCY EGRESS AND ENERGY CONSERVATION COMPLIANCE TO THE D.O.C. SAFETY AND BUILDINGS.

ALL CONTRACTORS SHALL INSPECT THE JOB SITE AND VERIFY ALL DATA PERTAINING TO THE BUILDING AND THEIR RELATION TO THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTORS SHALL VERIFY DOCUMENTATION AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. CONTRACTORS SHALL CROSS CHECK DIMENSIONS AND ELEVATIONS BETWEEN ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. IF DISCREPANCIES EXIST IN DOCUMENTATION, THE BIDDER SHALL ASSUME THE GREATER QUANTITY, BETTER QUALITY, LARGER CAPACITIES, ETC., AND SHALL INCLUDE SAME IN THE BID PROPOSAL.

EACH CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND MAN-MADE STRUCTURES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES OR MAN-MADE STRUCTURES.

TEMPORARY PROTECTION :

PORTIONS OF THE EXISTING STRUCTURES WHERE EXISTING WORK IS TO BE REMOVED AND WHERE NEW WORK IS TO BE DONE SHALL BE TEMPORARILY PROTECTED. TEMPORARY PROTECTION SHALL BE SUCH THAT THE INTERIOR OF EXISTING STRUCTURES WILL AT ALL TIMES BE PROTECTED FROM DUST AND WEATHER INCONVENIENCE. TEMPORARY OPENINGS IN EXTERIOR WALLS SHALL BE PROTECTED BY TEMPORARY WEATHERPROOF CLOSURES.

CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURES OR THEIR CONTENTS BY REASON OF THE INSUFFICIENCY OF SUCH PROTECTION.

PATCHING :

THE CONTRACTOR RESPONSIBLE FOR SUCH MATERIALS SHALL PATCH ALL SURFACES WITH PERSONS SKILLED IN SUCH WORK. PATCHING SHALL CONSIST OF REBUILDING THE AREA WITH THE SAME MATERIALS AS THE SURROUNDING SURFACES AND SHALL INCLUDE CLOSING OF EXISTING HOLES, OPENINGS, ETC., CAUSED BY THE REMOVAL OR RELOCATION OF EXISTING PIPING, DUCTS, CONDUIT, OR EQUIPMENT.

CONTRACTOR BUILDING A SURFACE PATCHES FOR ALL TRADES PENETRATING THAT SURFACE.

CLEANING :

ALL ADJACENT PROPERTY AND AREAS SHALL BE PROTECTED AND IF DAMAGED SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER.

ALL CONTRACTORS SHALL DAILY CLEAN ALL DEBRIS AND LEAVE THE CONSTRUCTION AREA AND SURROUNDING AREA IN SUCH A CONDITION AS TO ELIMINATE INTERFERENCE AND HAZARD.

CLEAN ANY DRIPS, SPILLS, OR OVER SPRAY.

DEMOLITION :

INCLUDE THE DEMOLITION AND REMOVAL OF EXISTING STRUCTURES AS INDICATED ON THE DRAWINGS AND AS REQUIRED. PROMPTLY REPAIR ALL DAMAGES TO THE EXISTING UTILITIES CAUSED BY THE WORK OR AS DIRECTED BY THE ARCHITECT AND AT NO COST TO THE OWNER.

ALL EQUIPMENT AND MATERIALS AND ALL DEBRIS RESULTING FROM THE DEMOLITION AND REMOVAL WORK SHALL BE COMPLETELY REMOVED FROM THE SITE. SUCH REMOVAL SHALL BE DONE FROM TIME TO TIME AS DEEMED NECESSARY OR AS DIRECTED TO KEEP THE PREMISES IN A NEAT, ORDERLY AND SAFE CONDITION SO AS NOT TO INTERFERE WITH THE PROGRESS OF THE WORK OR THE SAFETY OF WORKERS OR OTHERS.

FINISHES :

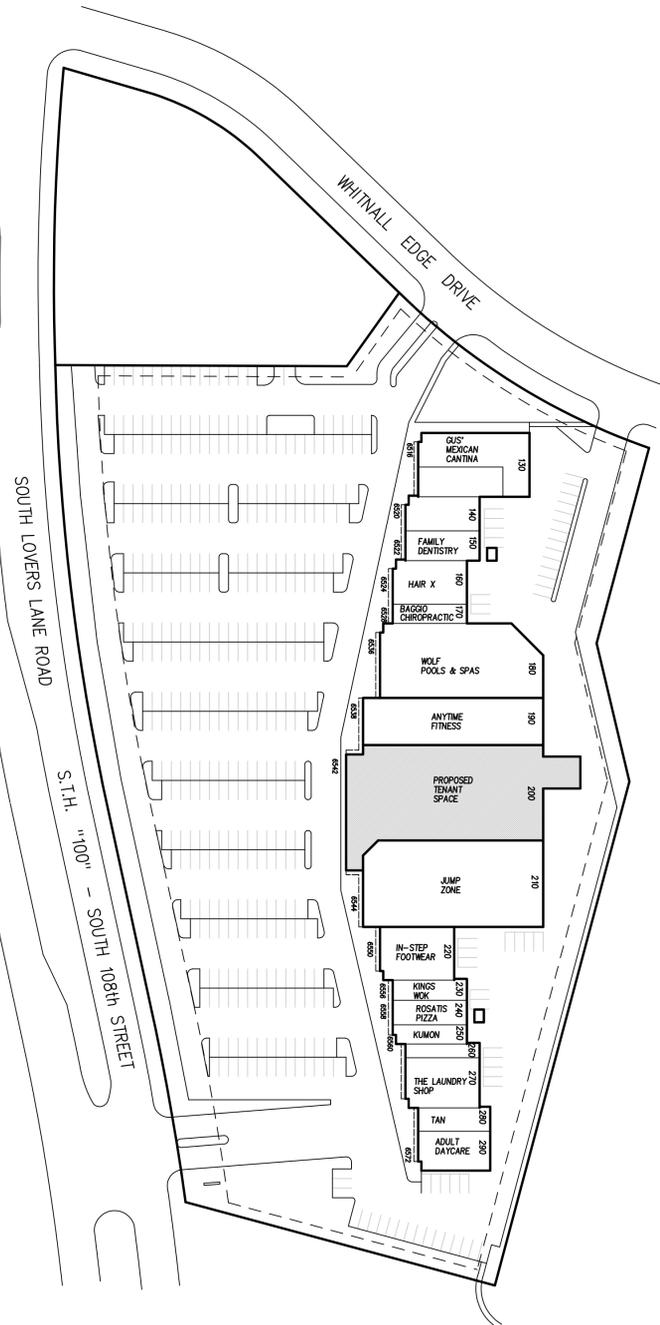
ALL NEW OR DISTURBED SURFACES SHALL BE PAINTED.

SPECIALTIES :

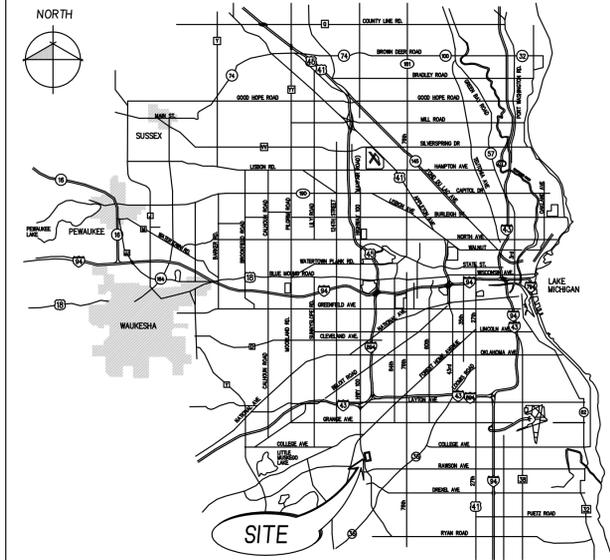
PROVIDE FIRE EXTINGUISHERS THROUGHOUT AS PER SECTION 906 OF THE INTERNATIONAL FIRE CODE.

SITE PLAN

NORTH



VICINITY MAP - MILWAUKEE



SHEET INDEX :

- COVER SHEET, INDEX, SPECS, DATA, VICINITY MAP, SITE PLAN
- 1ST FLOOR PLAN, MEZZANINE PLAN

SITE & BUILDING DATA:

TOTAL SHOPPING CENTER AREA: 79,791 S.F.

TENANT SPACE: 19,603 S.F.

NFPA 13 SPRINKLER SYSTEM - YES

TYPE OF CONSTRUCTION - III B EXTERIOR WALLS - NONCOMBUSTIBLE

OCCUPANCY CLASSIFICATION: REVIEWED FOR ASSEMBLY GROUP A3

ALSO GOOD FOR BUSINESS GROUP B OR MERCANTILE GROUP M

OCCUPANT LOAD: POSTED LIMIT AS 450 PERSON MAX. (LIMITED BY TOILETS)

EGRESS WIDTH: 450 X .15 = 76.5 INCHES (ACTUAL = 240 INCHES)

EGRESS DISTANCE: (ASSEMBLY) 250'

MIXED OCCUPANCIES:

STRIP MALL - SEPARATED USES

INDIVIDUAL TENANT SPACES - NON-SEPARATED USES

TOILET REQUIREMENTS - BASED ON 450 PERSON MAX.

SERVICE SINK - PROVIDED

DRINKING WATER - EWC PROVIDED

MEN: 2 WC + 2 URINALS

WOMEN: 4 WC

FIRE EXTINGUISHERS - 75' MAX. DISTANCE

LOW HAZARD - (1) 2A PER 3000 S.F.

proposed tenant space for:

GARDEN PLAZA
6542 S. 108th STREET
FRANKLIN, WISCONSIN

DRAWN
JEH
DATE
10-1-13
JOB NO.
13043
SHEET

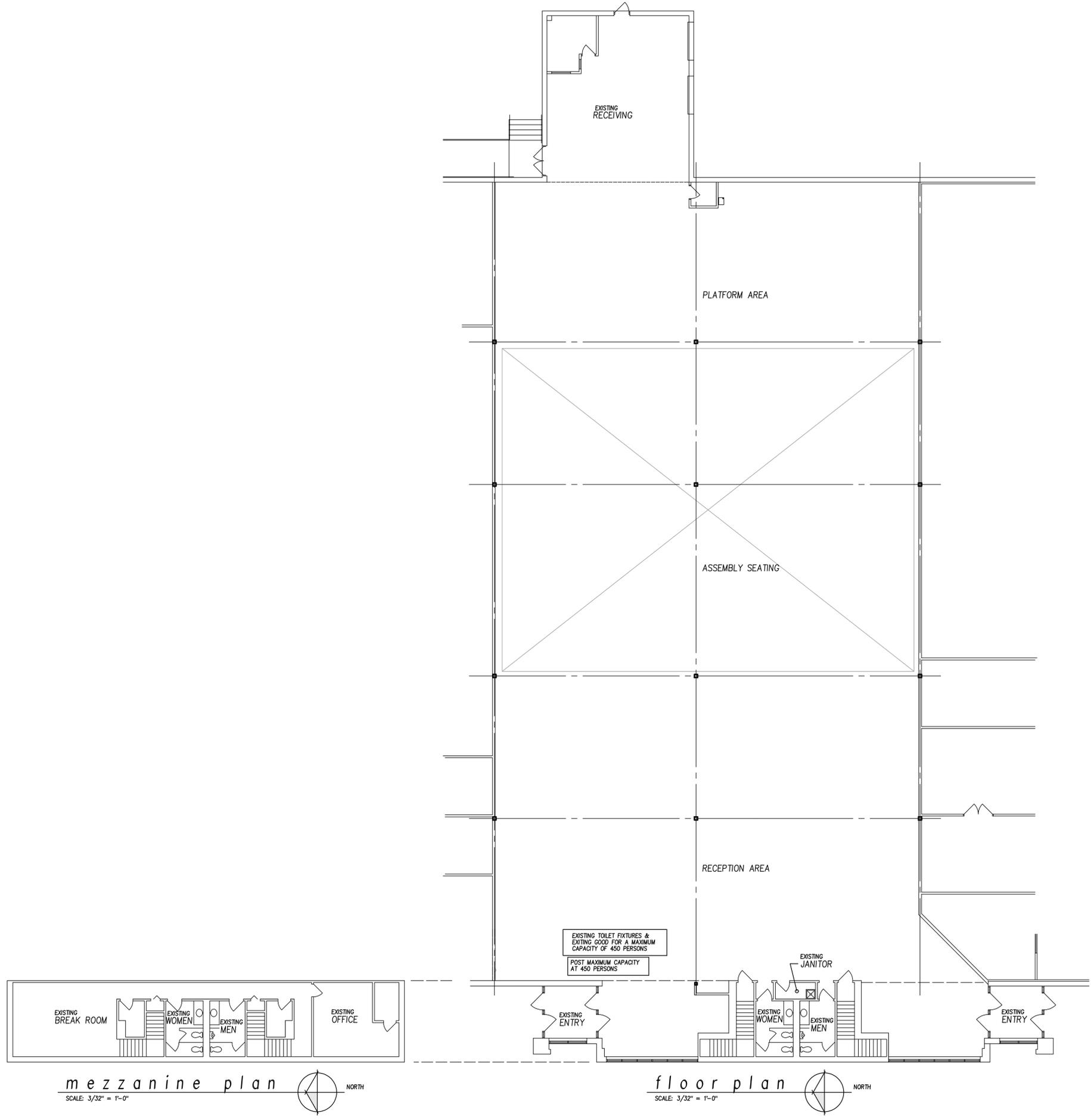
1

ARCHITECTS/PLANNERS, S.C.

1545 South 84th Street
West Allis, Wisconsin 53214
(414) 258-9995

JANACEK INVESTMENT, INC.

TIMOTHY H. TIMMERMAN
1593 S. MOORLAND RD.
NEW BERLIN, WISCONSIN
262-821-5750



mezzanine plan
SCALE: 3/32" = 1'-0" NORTH

floor plan
SCALE: 3/32" = 1'-0" NORTH



ARCHITECTS/PLANNERS, S.C.
1545 South 84th Street
West Allis, Wisconsin 53214
(414) 258-9995

REVISIONS

proposed tenant space for:
GARDEN PLAZA
6542 S. LOVER'S LANE RD.
FRANKLIN, WISCONSIN

DRAWN
JEH
DATE
10-1-13
JOB NO.
13043
SHEET



ANYTIME FITNESS

Food Time!

Join Today!
Call us at 307-233-1111

SAVING MONEY
CASH BACK
FREE DELIVERY
FREE PICKUP