

ORDINANCE NO. 2016-_____

AN ORDINANCE TO AMEND §15-3.0418 OF THE UNIFIED
DEVELOPMENT ORDINANCE PLANNED DEVELOPMENT
DISTRICT NO. 13 (WAL-MART/SAM'S WHOLESALE CLUB), SECTION 2., TO ADD
SELF-STORAGE AS AN ALLOWED SPECIAL USE WITHIN THE EXISTING
BUILDING AT 6803, 6805 AND 6807 SOUTH 27TH STREET
(ADAM HIRD, MANAGING PARTNER OF HIGHLAND DEVELOPMENT
VENTURES, LLC, APPLICANT)

WHEREAS, §15-3.0418 of the Unified Development Ordinance provides for and regulates Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), same having been created by Ordinance No. 1989-1071 and later amended by Ordinance Nos. 1994-1313, 1995-1342, 2001-1645, 2002-1705, 2004-1814, 2008-1940, 2010-1995, 2013-2123 and 2016-2213, with such District primarily being located at the 6700 Block of South 27th Street; and

WHEREAS, Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club) currently includes those lands legally described as follows:

Lot 1 of Certified Survey Map No. 6543, recorded on August 7, 1998, Reel 43667, Images 1756 to 1758 inclusive, as Document No. 7578744, as corrected by Affidavit of Correction recorded as Document No. 7724864, part of the Northeast 1/4 and Northwest 1/4 of the Southeast 1/4 of Section 1, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the northeast corner of the Southeast 1/4 of said Section 1; thence South 00°06'34" West along the east line of said Southeast 1/4, 401.22 feet; thence South 87°35'33" West, 84.53 feet to the west right of way line of South 27th Street - State Trunk Highway "241" and the northeast corner of Lot 1 of CSM 6543 and the point of beginning;

Thence South 00°52'38" East along the west right of way line of South 27th Street and the east line of said Lot I of CSM No. 6543, 258.33 feet; thence South 00°06'34" West along said east line of CSM No. 6543, 157.41 feet to the southeast corner of Lot 1 of said CSM No. 6543; the following 8 courses follow the boundary of said Lot 1; thence South 89°59'55" West, 503.59 feet; thence South 87°51'06" West, 755.75 feet; thence South 00°07'09" West, 531.71 feet; thence South 87°31'24" West, 531.35 feet; thence North 01°18'51" West, 661.78 feet; thence North 87°32'56" East, 548.08 feet; thence North 00°06'58" East, 260.22 feet; thence North 87°33'33" East, 1255.32 feet to the aforesaid west right of way line of South 27th Street- State Trunk Highway "241" and the point of beginning.

Containing in all 856,806 square feet (19.6695 acres) of land, more or less.
Tax Key No. 738-9974-006; and

WHEREAS, the property which is the subject of the application for the addition of self-storage as an allowed Special Use within the existing building at 6803, 6805 and 6807 South 27th Street, which is within Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club) is more particularly described as follows:

All that part of Township 5 North, County, Wisconsin, the Northeast 1/4 and Southeast 1/4 of Section 1, Range 21 East, in the City of Franklin, Milwaukee bounded and described as follows: Commencing at the East 1/4 corner of said Section 1; thence South 0°06'34" West along the East line of said Southeast 1/4, 401.22 feet to a point, thence South 87°33'06" West 1340.00 feet to a point; thence South 87°33'06" West 263.35 feet to a point; thence North 0°06'34" East 401.94 feet to a point on the North line of said Southeast 1/4; thence North 0°06'34" East 492.42 feet to a point; thence North 87°34'39" East 1604.77 feet to a point on the East line of said NE 1/4; thence South 0°16'42" West along said East line 492.48 feet to the place of beginning, containing 1,432,320.89 square feet or 32.8816 acres more or less, excepting therefrom the East 80 feet dedicated for public street purposes. Tax Key Nos.: 714-0001-001, 714-0002-001, 714-0003-002, 714-0004-001; AND

Lot 1 of Certified Survey Map No. 6543, recorded on August 7, 1998, Reel 43667, Images 1756 to 1758 inclusive, as Document No. 7578744, as corrected by Affidavit of Correction recorded as Document No. 7724864, part of the Northeast 114 and Northwest 114 of the Southeast 114 of Section 1, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the northeast corner of the Southeast 1/4 of said Section 1; thence South 00°06'34" West along the east line of said Southeast 1/4, 401.22 feet; thence South 87°33'33" West, 84.53 feet to the west right of way line of South 27th Street- State Trunk Highway "241" and the northeast corner of Lot 1 of CSM 6543 and the point of beginning; Thence South 00°52'38" East along the west right of way line of South 27th Street and the east line of said Lot 1 of CSM No. 6543, 258.33 feet; thence South 00°06'34" West along said east line of CSM No. 6543, 157.41 feet to the southeast corner of Lot 1 of said CSM No. 6543; the following 8 courses follow the boundary of said Lot 1; thence South 89°59'55" West, 503.59 feet; thence South 87°51'06" West, 755.75 feet; thence South 00°07'09" West, 531.71 feet; thence South 87°31'24" West, 531.35 feet; thence North 01°18'51" West, 661.78 feet; thence North 87°32'56" East, 548.08 feet; thence North 00°06'58" East, 260.22 feet; thence North 87°33'33" East, 1255.32 feet to the aforesaid west right of way line of South 27th Street-

State Trunk Highway "241" and the point of beginning. Tax Key No. 738-9974-006. Containing in all 856,806 square feet (19.6695 acres) of land, more or less; and

WHEREAS, Adam Hird, managing partner of Highland Development Ventures, LLC, having petitioned for a further amendment to Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), to allow for the addition of self-storage as an allowed Special Use within the existing building at 6803, 6805 and 6807 South 27th Street; and

WHEREAS, the Plan Commission having reviewed the proposed amendment to Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), and having held a public hearing on the proposal on the 19th day of May, 2016, which hearing was continued to and also held on the 9th day of June, 2016, and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council having accepted the recommendation of the Plan Commission and having determined that the proposed amendment to Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0418 Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), Section 2., of the Unified Development Ordinance of the City of Franklin, Wisconsin, specifically, Ordinance No. 1989-1071, as previously amended, is hereby amended to allow for the addition of self-storage as an allowed Special Use within the existing building at 6803, 6805 and 6807 South 27th Street [City staff reviewing the addition of further additional details of the use and conditions thereof].

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

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SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2016, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2016.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2016-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR A SELF-STORAGE
FACILITY USE UPON PROPERTY LOCATED AT 6805-6807 SOUTH 27TH STREET
(ADAM HIRD, MANAGING PARTNER OF HIGHLAND
DEVELOPMENT VENTURES, LLC, APPLICANT)

WHEREAS, Adam Hird, Managing Partner of Highland Development Ventures, LLC having petitioned for the approval of a Special Use in Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), to allow for a self-storage facility use, specifically, conversion of the warehouse space to the west of Hobby Lobby (in the same building) to a drive-through climate controlled self-storage facility, the addition of two outdoor vehicle storage areas, construction of three buildings (building 1: 3 units, 35 feet high; building 2: 150 feet long with (15) 10 by 25 foot deep storage units; building 3: 216 feet long with (18) 12 by 30 foot deep storage units) (3 buildings totaling approximately 10,500 square feet) around the perimeter of the existing pavement area, and landscaping and repaving of the parking spaces and drive aisles [upon approval of a pending application for a Planned Development District Amendment to add self-storage as an allowed Special Use within the existing building at 6803-6807 South 27th Street], upon property located at 6805-6807 South 27th Street, bearing Tax Key No. 738-9974-006, more particularly described as follows:

Lot 1 of Certified Survey Map No. 6543, recorded on August 7, 1998, Reel 43667, Images 1756 to 1758 inclusive, as Document No. 7578744, as corrected by Affidavit of Correction recorded as Document No. 7724864, part of the Northeast 114 and Northwest 114 of the Southeast 114 of Section 1, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the northeast corner of the Southeast 1/4 of said Section 1; thence South 00°06'34" West along the east line of said Southeast 1/4, 401.22 feet; thence South 87°33'33" West, 84.53 feet to the west right of way line of South 27th Street- State Trunk Highway "241" and the northeast corner of Lot 1 of CSM 6543 and the point of beginning; Thence South 00°52'38" East along the west right of way line of South 27th Street and the east line of said Lot 1 of CSM No. 6543, 258.33 feet; thence South 00°06'34" West along said east line of CSM No. 6543, 157.41 feet to the southeast corner of Lot 1 of said CSM No. 6543; the following 8 courses follow the boundary of said Lot 1; thence South 89°59'55" West, 503.59 feet; thence South 87°51'06" West, 755.75 feet; thence South 00°07'09" West, 531.71 feet; thence South 87°31'24" West, 531.35 feet; thence North 01°18'51" West, 661.78 feet; thence North 87°32'56" East, 548.08 feet; thence North 00°06'58" East, 260.22

ADAM HIRD, MANAGING PARTNER OF HIGHLAND DEVELOPMENT VENTURES,
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feet; thence North 87°33'33" East, 1255.32 feet to the aforesaid west right of way line of South 27th Street- State Trunk Highway "241" and the point of beginning. Containing in all 856,806 square feet (19.6695 acres) of land, more or less; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 19th day of May, 2016, and having held a public hearing on the proposal on the 19th day of May, 2016, which hearing was continued to and also held on the 9th day of June, 2016, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Adam Hird, managing partner of Highland Development Ventures, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Adam Hird, managing partner of Highland Development Ventures, LLC, successors and assigns, as a self-storage facility use, which shall be developed in substantial compliance with, and operated and maintained by Adam Hird, managing partner of Highland Development Ventures, LLC, pursuant to those plans City file-stamped June 1, 2016 and annexed hereto and incorporated herein as Exhibit A.
2. Adam Hird, managing partner of Highland Development Ventures, LLC,

ADAM HIRD, MANAGING PARTNER OF HIGHLAND DEVELOPMENT VENTURES,
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- successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Highland Development Ventures, LLC self-storage facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Adam Hird, managing partner of Highland Development Ventures, LLC self-storage facility use for the property located at 6805-6807 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
 4. That the applicant shall remove the outdoor vehicle storage use from its Project Narrative, Site Plan and any other applicable elements of its submittal, for staff review and approval prior to issuance of a Building Permit.
 5. That the applicant shall submit a dimensioned and more detailed Site Plan for staff review and approval prior to issuance of a Building Permit.
 6. That the applicant shall revise the Site Plan to provide a minimum of 17 parking spaces for staff review and approval prior to issuance of a Building Permit.
 7. That the applicant shall revise the Project Narrative, Project Data, Landscape Plan, and any other applicable elements of its submittal, to identify the correct amount, location, and type of parking and access, for staff review and approval prior to issuance of a Building Permit.
 8. That a planting guaranty of 2-years shall be provided by the landscape contractor and that guarantee noted on the Landscape Plan prior to issuance of an Occupancy Permit.
 9. That the applicant shall verify that the existing landscaped trees and shrubs noted on the Landscaping Plan be field verified, and if dead or in poor health, be replaced and noted as such on the Landscape Plan, for staff review and approval prior to issuance of an Occupancy Permit.

10. That the applicant shall revise the architectural elevations of Building A to replace the metal panels with fiber cement panels and stone and/or brick, utilize opaque darkly tinted windows, and replace the overhead storage door on the east elevation with a man door, for staff review and approval prior to issuance of a Building Permit.
11. That the applicant shall revise the architectural elevations of the existing building to replace the faux overhead doors on the south elevation with stone veneer columns or pilasters with brick or stone at their base, for staff review and approval prior to issuance of a Building Permit.
12. That all signage shall be subject to review and approval by the Architectural Review Board and issuance of a Sign Permit from the Inspection Department, prior to installation of any signage.
13. That the applicant shall submit a grading, drainage, erosion control and storm water management plan for review and approval by the Engineering Department prior to issuance of a Building Permit.
14. That the applicant shall address all Fire Department staff comments to the satisfaction of the Fire Chief, prior to issuance of an Occupancy Permit.
15. [other conditions, etc.]

BE IT FURTHER RESOLVED, that in the event Adam Hird, managing partner of Highland Development Ventures, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

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BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2016, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2016.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



2746 South 166th Street
New Berlin, WI 53151
262.786.4640 P
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andersonashton.com

Mr. Nick Fuchs
Principal Planner
Department of City Development
9229 W. Loomis Road
Franklin, WI 53132

June 1, 2016

Re: 6803 S 27th Street – Project Narrative

Dear Mr. Fuchs,

Currently, 6803 S 27th Street is a Hobby Lobby box retail store with a vacant single story 62,640 square foot warehouse in the rear. The warehouse has approximately 4.3 acres dedicated to it, most of which is paved. Highland Development Ventures is proposing to purchase and convert the warehouse at 6803 S 27th Street in Franklin to a Class A Self-Storage facility that is attractive and noticeable, conveying a sense of quality and security while conveying the building's function.

We believe there are many benefits to self-storage at this location. As developed, this building is setup for warehouse distribution, which invites a lot of tractor trailer activity through a retail parking area and noise to the nearby residential areas. Alternatively, the majority of self-storage customers use regular vehicles they own and only about 20% rent box trucks for move-ins and move-outs. Tractor trailer deliveries are rare in self-storage.

Self-storage does not invite a lot of traffic. On average 40% of self-storage tenants visit their rental unit only a few times a year, 30% visit about once a month, 15% visit twice a month, 9% once a week, and 6% visit a few times a week. We intend to have 950 units, so given the percentages above we should average 5-6 vehicles a day, though we expect peaks as high as 12 vehicles per day and in extreme circumstances we could have as many as 20 vehicles a day – which is insignificant compared to the adjacent Hobby Lobby and Walmart.

Hours of operation shall be from 6am to 10pm, 7 days a week with office hours on M-F 9:30am-6:00pm and 9:00am-5:00pm on weekends. Under special circumstances we may give a customer access afterhours, but this will be rare.

The renovation and conversion of the existing warehouse into self-storage will include a fully climate controlled environment with access through a secure 20' x 14' glass door, (1) secure pedestrian entry to the west of the large glass door, a secure rental office door with parking to the east of the large glass door (see elevations provided), and (1) exterior loading dock facing north at the Walmart. All remaining dock doors facing the Walmart will be infilled with metal stud and insulation from the inside, and faux roll-up doors infilling on the exterior. The west side will remain unchanged but will

be shielded by a new 8,800sf building at the west asphalt line, and the south elevation will all but one exterior metal stairway, and install faux overhead doors facing south per the attached elevations.

A mezzanine level will be provided within the existing envelop of the warehouse, and will be serviced by two elevators and the appropriate amount of interior stair for egress. The mezzanine shall have the same amenities as the rest of the building, including climate control and sprinklers. Once inside the building, customer will be able to drive-in, load or unload, and drive out via the same 20 x 14 glass overhead door or 6' wide glass walk-in door. Vehicle storage shall not be permitted inside the warehouse.

The project shall include two exterior buildings, the first being an 8,800 sq. ft. drive-up style building with exterior roll-up doors facing into the site. These doors will be facing east towards the west end of the existing building. The west façade of this building will receive a stone and brick panel treatment (Nichiha) presenting an attractive view to the neighbors to the west. Additional landscaping will be installed to enhance the existing tree lines behind the west asphalt line. This exterior building will not be sprinklered.

Access beyond the drive-in, drive-out door will be through a secure black coated decorative aluminum, sliding gate and fencing system. Similar black coated decorative aluminum fence system will span along the north property line to the 8,800sf building along the west asphalt line. Egress will be through a similar secure black coated aluminum sliding gate and fencing system facing south that runs between the 8,800sf exterior storage building and the existing warehouse building.

All access points into the building and site will be through electronic access controlled key pads and the entire site will be monitored via security cameras and all exterior lights will be attached to motion-sensors. Exterior lighting will be confined to fully shielded LED powered wall sconce fixtures. No exterior pole lights are proposed. A complete photometric plan with fixture cut sheets have been provided.

Exterior vehicle parking has been proposed and located such that it will not be visible by the general public traveling on So. 27th street, nor any neighbors to the west.

Due to the location (behind Hobby Lobby), a tower of metal, glass, and masonry, shall be provided at the storage facility entrance to enhance visibility and convey the quality of the facility. It is our intent to make the tower has high as the code permits. The security gate shall be positioned away from the entrance to allow vehicles room for vehicles to turn around and/or park without going through the gate.

Very truly yours,
Adam Hird
Managing Partner



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Mr. Nick Fuchs
Principal Planner
Department of City Development
9229 W. Loomis Road
Franklin, WI 53132

June 1, 2016

PROJECT DATA

Based on the City of Franklin Staff Report dated May 3, 2016, Anderson Ashton would like to take this opportunity to answer staff comments with the following data.

Per Table 15-3.0203 of the Unified Development Ordinance requiring one parking space per 10 storage units, we would like to request a parking reduction for the following reasons.

On average 40% of self-storage tenants visit their rental unit only a few times a year, 30% visit about once a month, 15% visit twice a month, 9% once a week, and 6% visit a few times a week. Based on 950 units, this facility should average 5-6 vehicles a day, though we expect peaks as high as 12 vehicles per day and in extreme circumstances we could have as many as 20 vehicles a day. Given the hours of operation, this will work out to less than one car per hour. Therefore, given the 9 parking proposed for within the existing warehouse, the (6) including (1) accessible stall provided outside the office next to the large drive-in door, as well as the room with of the isles in-front of the 35 exterior drive-up units, we feel the code suggested (1) parking stall per (10) units is well beyond what any fully functioning self-storage facility has ever required.

Per Table 15-3.0353 Site Furnishings

While this is a noble and understandable requirement to provide site furnishings for the So. 27th Street Design Overlay District, the unique nature of our development makes having site furnishings (which will never be seen by the general public) unnecessary. For example: Self-storage renters when they come, get in and out as fast as possible. There is no value to take a seat at a bench outside and drink a cup of coffee. Regarding bike racks, we do not envision renters arriving to their storage locker via bicycle, and lastly. Self-storage operators as a matter of principle do not offer dumpsters or places to throw trash because every possible piece of junk a renter has will fill those receptacles immediately. Therefore we request to be exempt from this requirement.

Per Table 15-3.0353 Site Amenities

Site amenities for 6803 So. 27th Street have been provided by way of decorative aluminum fencing, key-pad access to the facility, and code required landscaping per the attached plans.

Unit Breakdown

The existing warehouse space will be broken down into two levels, both will be temperature controlled, contain security cameras, intercom, and motion sensor controlled lights. The first level will contain the Welcome Center, toilet room, security nerve center for the development, fire sprinkler room, (2) elevators, elevator equipment rooms HVAC rooms, and 302 storage units broken down as follows:

5' x 5'	Total of 5
10' x 5'	Total of 18
10' x 10'	Total of 96
10' x 15'	Total of 102
10' x 20'	Total of 61
10' x 25'	Total of 10
<u>10' x 30'</u>	<u>Total of 10</u>

Total of 302

The second level will contain (2) elevators, HVAC rooms, and 611 storage units broken down as follows:

5' x 5'	Total of 93
10' x 5'	Total of 212
10' x 7.5'	Total of 180
10' x 10'	Total of 122
<u>10' x 15'</u>	<u>Total of 4</u>

Total of 611

The exterior building will consist to ambient only storage units over two buildings.

The larger building will be 320' long with units being 10' wide. This building is broken down as follows:

10 x 30	Total of 16
<u>10 x 25</u>	<u>Total of 16</u>

Total of 32

The exterior tower building will consist to ambient only storage units. This building is broken down as follows:

<u>10 x 25</u>	<u>Total of 3</u>
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Total of 3

Grand Unit Total = 948 Units

Estimated Project Value

The estimate project value is between \$3.5 & \$4.0 million.

Hours of Operation

Hours of operation shall be from 6am to 10pm, 7 days a week with office hours on M-F 9:30am-6:00pm and 9:00am-5:00pm on weekends. Under special circumstances we may give a customer access afterhours, but this will be rare. Numbers of employees will be no more than (3) at any given shift.

Site Plan

ii Scale and Size

We are basing the below area calculations by creating a property line running north and south through the party wall between Hobby Lobby and Extra Space, to include all land west of this line per an Alta Survey provided by the current property owner.

Green Space = 9.55 acres (71%)

Impervious = 3.89 acres (29%)

Total area = 13.44 acres (100%)

iii Existing and Proposed Topography

We are requesting to present this data to the City Engineering Department for review and approval as a condition until the Special Use and PDD are approved, and prior to issuance of a building permit.

iv Building Heights

The building heights are as follows:

Existing warehouse – Single Story. 24' to the ridge, 22' at the gutter

Proposed – Two Story. 26- to top of tower

Proposed – Single Story. Drive-up building, side facing neighbors. 11' to high-side eave.

Will the drive aisles and parking lot be completely repaved? **Yes**

Is a dumpster(s) kept onsite? If so, the dumpster(s) must be shown on the Site Plan within a fully screened enclosure. Please provide details of the enclosure as well (materials, type of gate, height, etc.) **There will not be an dumpster on site. The site managers will roll-out a residential trash and recycling can on garbage days**

Are any vehicles over 8,000 pounds kept overnight onsite? No

Please indicate the height of the chain-link fence on the Site Plan? Staff recommends an aluminum fence to replace the chain-link fence. **The proposed fence will be a 6' high aluminum fence with spear pickets on top. (see attached pictures of the proposed fence and gate's to be used throughout this development).**

Are any moving trucks provided or rented as part of the business operations. **No.** If so, where will these trucks be parked? Also, what is the size of the trucks (length and weight)?

Are any portable storage units or moving trailers being kept onsite? **No**

Please indicate the amount of existing impervious surface and the amount of existing greenspace currently provided onsite and note that no new impervious surface will be added as part of this development. **No new impervious surface area is proposed. Some existing impervious will be given back to green space as a result of this project.**

Green Space = 9.55 acres (71%)

Impervious = 3.89 acres (29%)

Total area = 13.44 acres (100%)

Please provide dimensions of drive aisles.

- a. 32' between tower and Hobby Lobby**
- b. 60' between entry gate and landscaping**
- c. 45' between west building and outside storage**
- d. 40' between narrowest area along the south drive isle.**

Please provide parking space count.

- a. (5) regular and (1) accessible customer parking space.**
- b. (13) outdoor vehicle storage stalls = 5,850sf**
- c. (14) outdoor vehicle storage stalls = 6,300sf**

Please provide snow removal square footages.

- a. 4,000sf split-up amongst three locations per the site plan.**

Are the outdoor vehicle storage areas striped? **No** If so, please show the striping and dimensions of the spaces on the Site Plan. **We are allowing 14' wide by 45' deep per stored item but do not intend to strip the asphalt.**

Please provide material colors for the building exterior:

Tower

We are using the color pallet provided by Extra Space for the tower (see attached).

Wall panels = Silversmith.

Canopy's, coping's, awnings, and trim = Iron Ore

Doors = EXR Wasabi Green

Storefront/window frames = Clear Aluminum

Warehouse Building

We are retaining the existing colors of the Warehouse except were we are performing enhancements to the entry. We will be using the following materials and colors (see attached).

Wall panels = Silversmith

Canopy's = Iron Ore

Faux Doors = EXR Wasabi Green

Storefront and overhead door frames = Clear Aluminum

Exterior Building

We are using the color pallet provided by Extra Space for the new drive-up building on the west property line at the façade containing the doors, and Nichiha fiber-cement panels on the north, south, and west elevations.

Metal post and beams surrounding the doors = Argos

Coping and trim = Iron Ore

Doors = EXR Wasabi Green

Material 2 = Industrial Block –

<http://www.nichiha.com/products/detail-dev/industrialblock> Painted to = Argos

Material 7 = Kurastone –

<http://www.nichiha.com/products/detail-dev/kurastone> = Mountain

Material 8 = Sandstone –

<http://www.nichiha.com/products/detail-dev/sandstone> Painted to = Nebulous White

Roof will be a clear galvalume finish

Roof Penetrations

We are not anticipating any rooftop units for this project. There will be some exterior vents but those will be on the north elevation above the existing overhead doors and below the existing canopy. There will maybe a vent stack penetrating the roof as well since we will be using 95% efficient package heating units inside the warehouse.

Signage

We will not be formally proposing signage at this time. We will be submitting a formal sign program at a future date, but would like Plan Commission comments on a new monument sign concept which we will bring to Thursday's meeting.

Brian Fisher

Business Development Manager

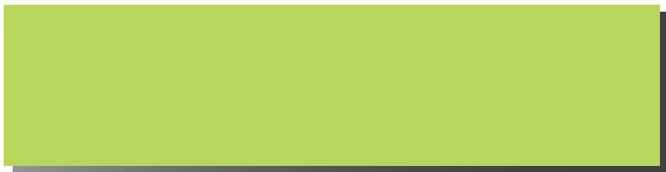
bfisher@andersonashton.com

262.786.4640 p

262.613.4015 c

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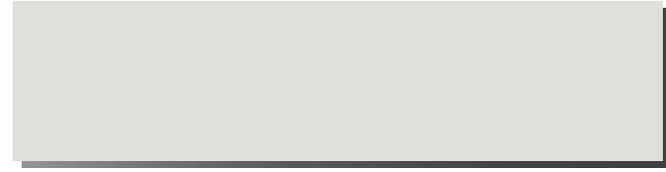
EXR Wasabi Green

- Storage roll-up doors / Customer Loading doors / Faux doors
- Wall color around office to identify "Where"
- Limit use to about 30% of exterior building surface



Electric Lime

- Interior - Accent Wall Panels



Nebulous White

- Primary color. Avoid using on large wall masses



Argos

- Secondary wall color / accent color used to breakup Nebulous White



Cityscape

- 40" +/- Base Color on Single story buildings
- Storage door surround on multi-storage buildings / faux door
- Use sparingly on large wall masses



Iron Ore

- Canopies, awnings, exterior handrails, etc.



Silversmith

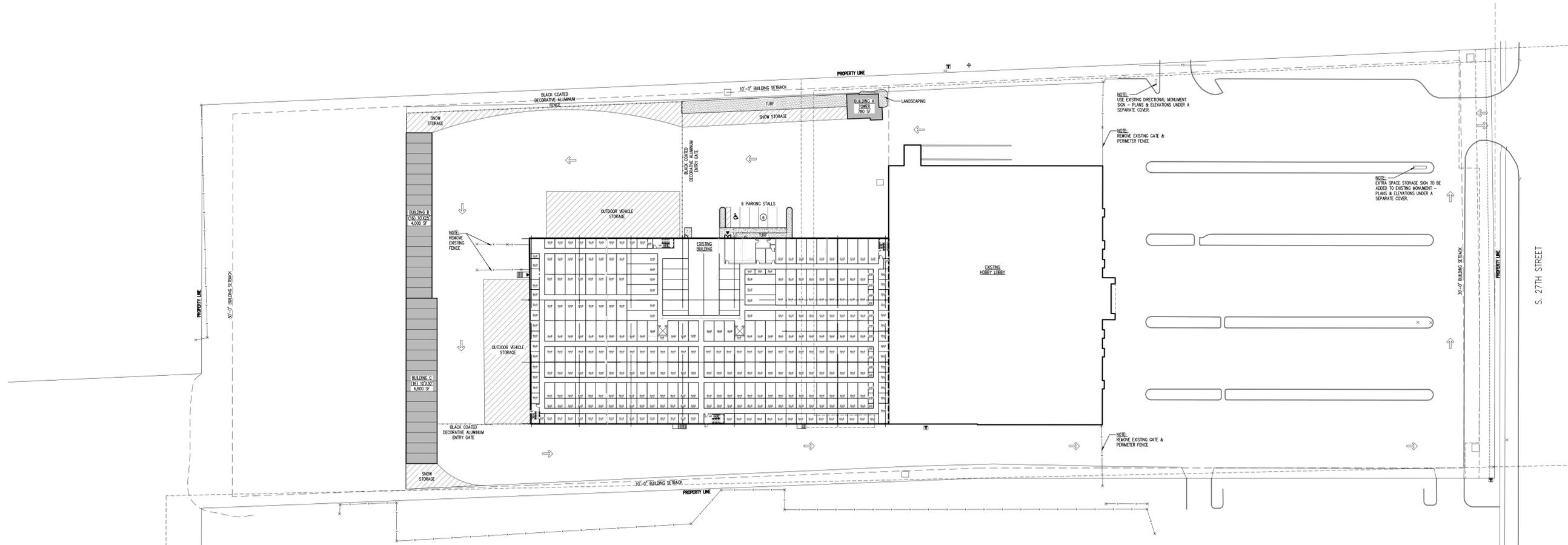
- Corrugated or smooth metal panels
- Sign towers, accent walls



ExtraSpace Storage

2015 branding color palette





ARCHITECTURAL SITE PLAN
 1" = 50'-0"

1
 AS.1



REVISIONS

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 DESIGN / BUILD
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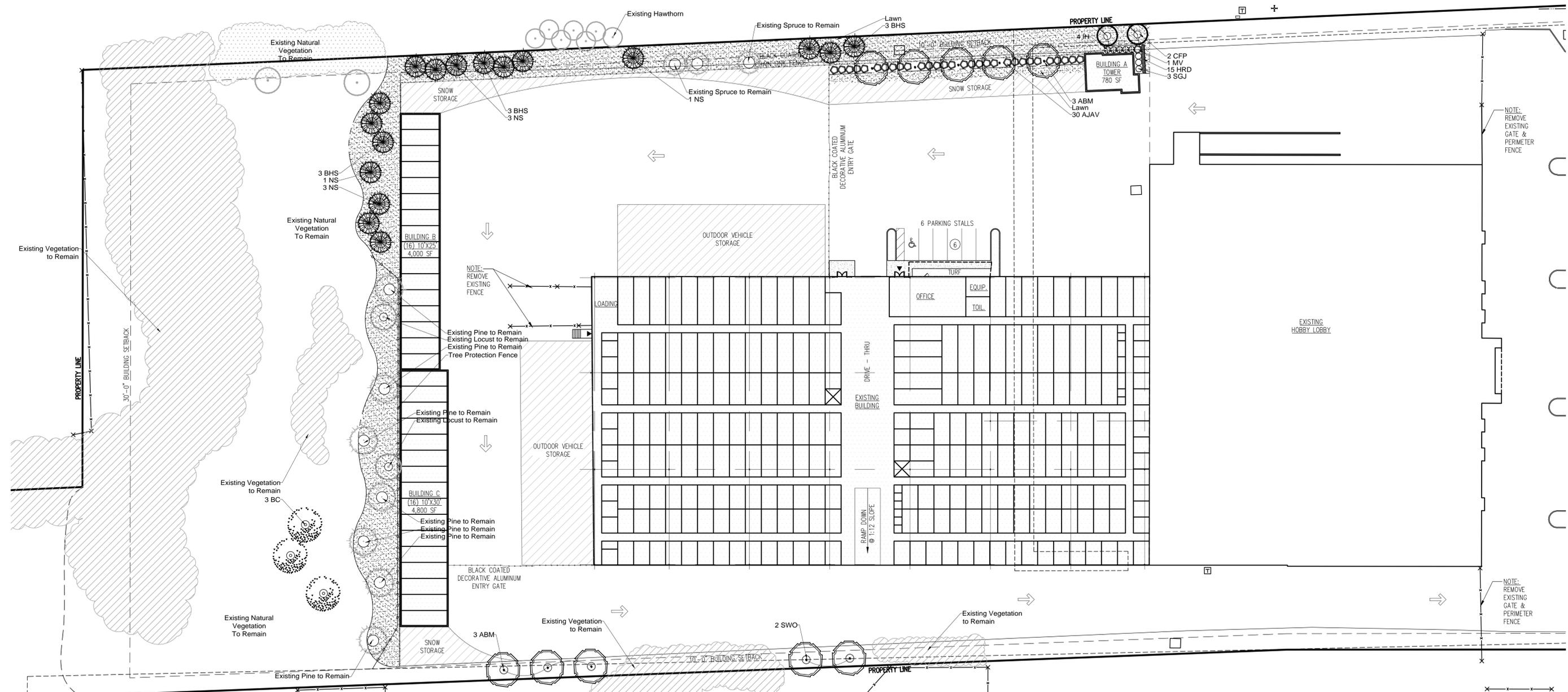
Wisconsin Registered Contractor
 ID #: 1048911 WI Dept of Commerce

PROPOSED NEW PROJECT FOR:
EXTRA SPACE STORAGE
 6803 SOUTH 27TH STREET

DRAFTED BY: S.L.S.
 PROJECT DESIGNER: S.L.S.
 SUBMITTAL DATE: 05/26/2018

JOB NO. 1611
AS.1

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SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 SWO Swamp White Oak
 BC Bald Cypress

ORNAMENTAL TREES (DECIDUOUS)
 CFP Chanticleer Flowering Pear

EVERGREEN TREES
 NS Norway Spruce
 BHS Black Hills Spruce

EVERGREEN SHRUBS
 SGJ Sea Green Juniper

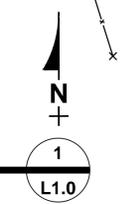
DECIDUOUS SHRUBS
 IH Incrediball Hydrangea
 AJAV Autumn Jazz Arrowwood Viburnum
 MV Mohican Viburnum

HERBACEOUS PERENNIALS
 HRD Happy Returns Daylily

PLANT ABBREVIATION KEY

LANDSCAPE PLAN

1" = 30'-0"



Wisconsin Registered Contractor
 ID #: 1048911 WI Dept of Commerce

PROPOSED NEW PROJECT FOR:
EXTRA SPACE STORAGE
 6803 SOUTH 27TH STREET

FRANKLIN, WI 53132



HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE

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 fx 262.639.9737
 david@wdavidheller.com

DRAFTED BY: WDH
 PROJECT DESIGNER: WDH
 SUBMITTAL DATE: 06/01/2018

JOB NO. 1611

L1.0

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LANDSCAPE GENERAL NOTES:

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soil in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50/50 mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):

 - 3/4 CY Peat Moss or Mushroom Compost
 - 3/4 CY blended/pulverized Topsoil
 - 1/4 CY composted manure

In roto-tilled beds only, also include in above mixture:

 - 2 lbs Starter Fertilizer
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

 - No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES
SCALE: NONE

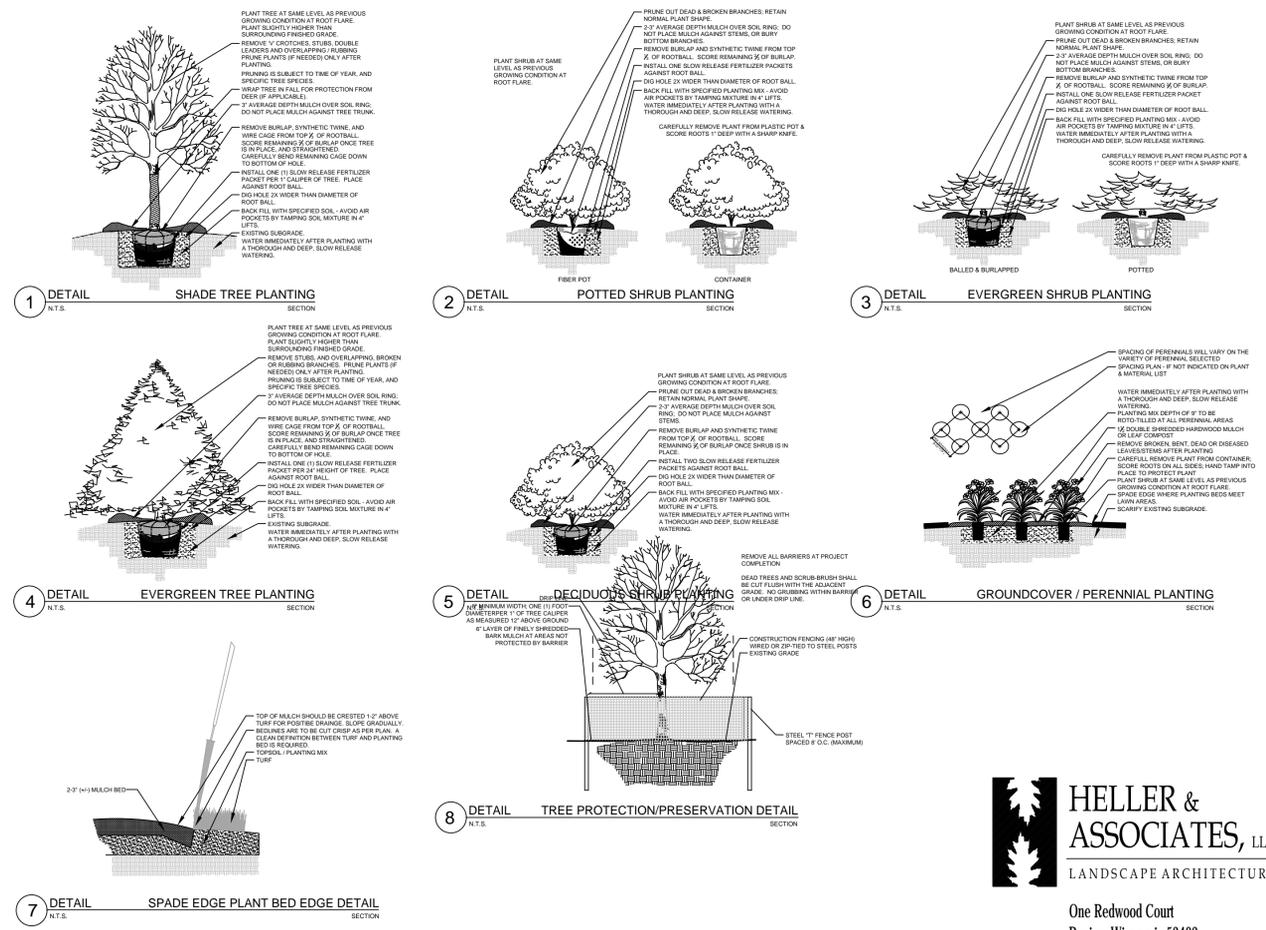
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Construction Preparation						
	270	Tree Protection Fencing				see plan for location and detail sheet for construction
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ABM	6	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SWO	2	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
BC	3	Taxodium distichum	Bald Cypress	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
ORNAMENTAL TREES (DECIDUOUS)						
CFP	2	Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
EVERGREEN TREES						
NIS	8	Picea abies	Norway Spruce	7-8'	B&B	Evenly shaped tree with branching to the ground
BHS	9	Picea densata 'glauca'	Black Hills Spruce	7-8'	B&B	Evenly shaped tree with branching to the ground
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	SHRUB SIZE	ROOT/CONT.	SPECIFICATION / NOTES
EVERGREEN SHRUBS						
SGJ	3	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	SHRUB SIZE	ROOT/CONT.	SPECIFICATION / NOTES
DECIDUOUS SHRUBS						
IH	4	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	24"	Cont.	Full, well rooted plant, evenly shaped
ALAV	30	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	42"	Cont.	Full, well rooted plant, evenly shaped
MV	1	Viburnum lantana 'Mohican'	Mohican Viburnum	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
HERBACEOUS PERENNIALS						
HRD	15	Hemerocallis 'Happy Returns'	Happy Returns Daylilly	#1	Cont.	Full, well rooted plant, evenly shaped
LAWN	1010	Lawn Establishment Area / Grading Area			SY	Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)
Hardscape Materials						
17		Shredded Hardwood Mulch (3" depth)	1,820 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
13.5		Soil Amendments (2" depth)	1,820 SF		CY	
90		Pulverized Topsoil (Lawn Area)	14,500 SF		CY	
13.5		Pulverized Topsoil (2" over bed areas)	1,820 SF		CY	

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions:
Cedar Creek Premium Blue Tag (Ph: 888-313-6807): Seed at rate of 3# per 1000 SF

- 10% Mid Atlantic Kentucky Bluegrass
- 20% Merit Kentucky Bluegrass
- 20% Boreal Red Fescue
- 20% Pennant Fine Perennial Ryegrass
- 10% Atlantic Kentucky Bluegrass
- 10% Dragon Kentucky Bluegrass
- 10% Palmer III Fine Perennial Ryegrass

PLANT & MATERIAL SCHEDULE
SCALE: NONE



PLANTING & HARDSCAPE DETAILS
SCALE: NONE



Wisconsin Registered Contractor
D #: 1048911 WI Dept of Commerce

PROPOSED NEW PROJECT FOR:
EXTRA SPACE STORAGE
FRANKLIN, WI 53132

6803 SOUTH 27TH STREET

DRAFTED BY: WDH
PROJECT DESIGNER: WDH
SUBMITTAL DATE: 06/01/2018

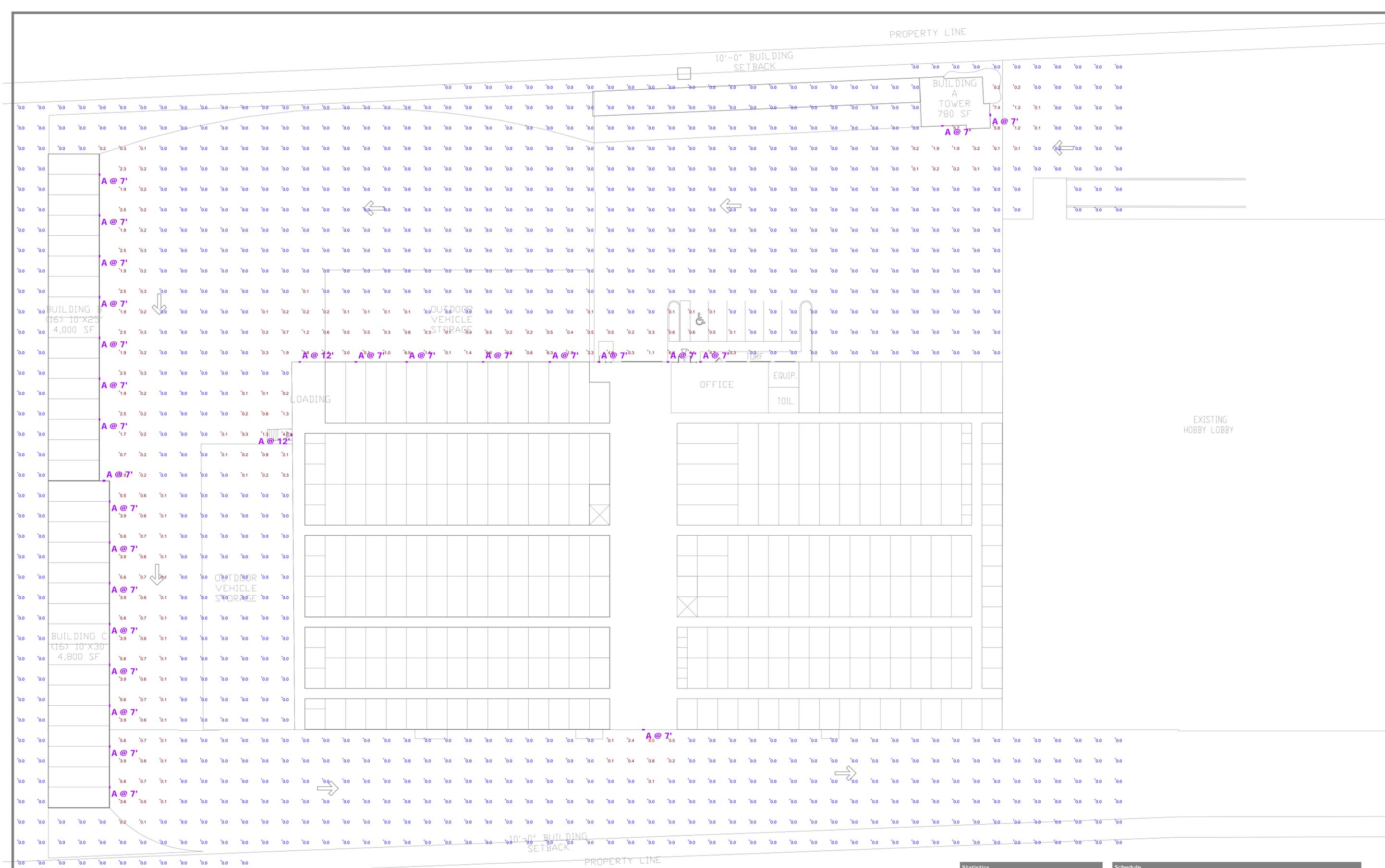
JOB NO. 1611

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LANDSCAPE ARCHITECTURE

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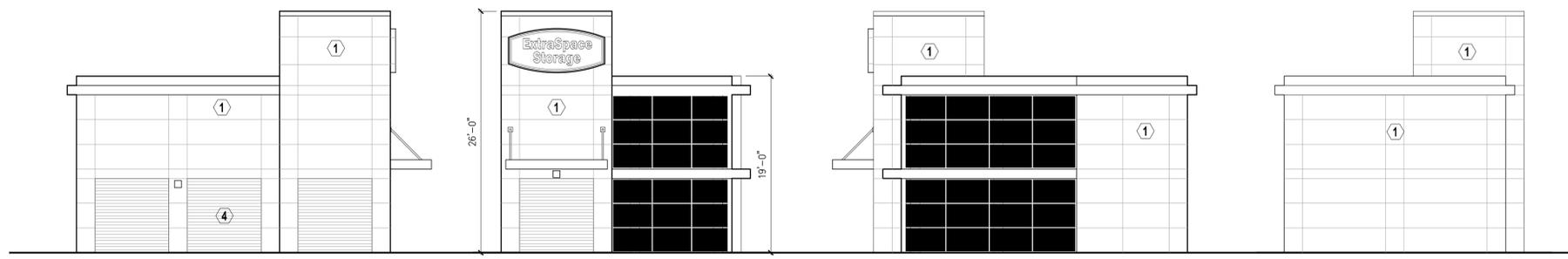
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE ALL	+	0.2 fc	8.5 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	Quantity	Catalog Number	Description	Lumens Per Lamp	Wattage
□	A	28	XTOR2A	LUMARK CROSSTOUR 20W LED WALL PACK WITH CARROW BRONZE HOUSING	1634.2lm	18

Plan View
Scale - 1" = 20'

EXTRA SPACE - S. 27TH ST. - SITE LIGHTING

Designer
JAW
Date
5/27/2016
Scale
VARIES
Drawing No.
Summary

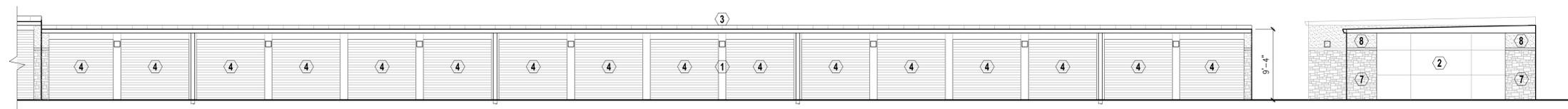


SOUTH ELEVATION 1
1/8" = 1'-0" BUILDING A A2.1

EAST ELEVATION 2
1/8" = 1'-0" BUILDING A A2.1

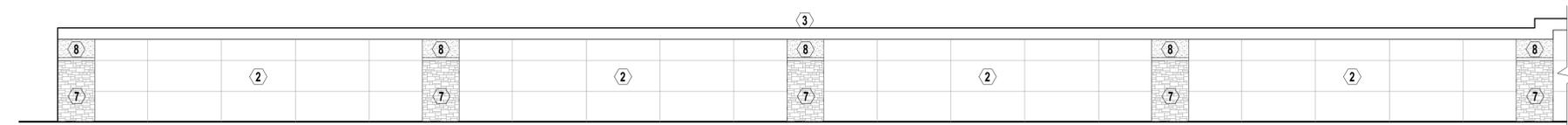
NORTH ELEVATION 3
1/8" = 1'-0" BUILDING A A2.1

WEST ELEVATION 4
1/8" = 1'-0" BUILDING A A2.1

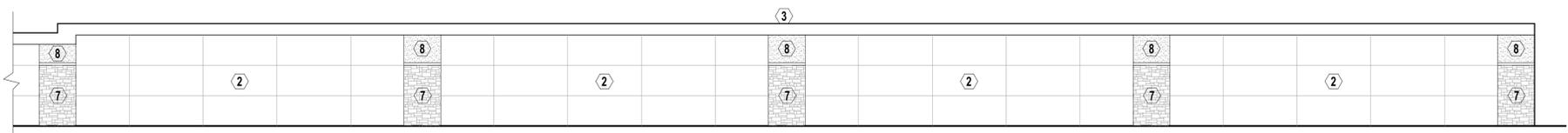


EAST ELEVATION 5
1/8" = 1'-0" BUILDING B A2.1

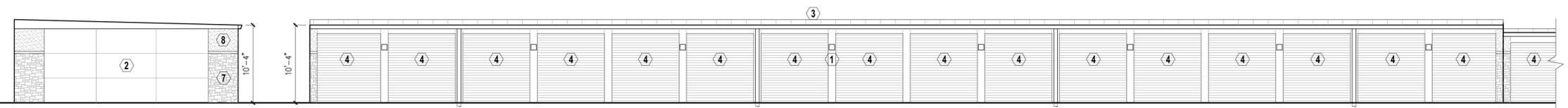
NORTH ELEVATION 6
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WEST ELEVATION 7
1/8" = 1'-0" BUILDING B A2.1



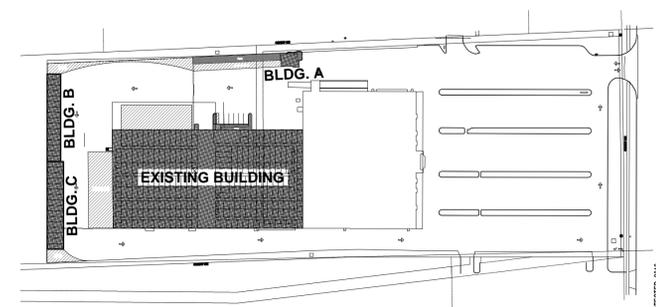
WEST ELEVATION 8
1/8" = 1'-0" BUILDING C A2.1



SOUTH ELEVATION 9
1/8" = 1'-0" BUILDING C A2.1

EAST ELEVATION 10
1/8" = 1'-0" BUILDING C A2.1

- MATERIAL KEY**
- 1 - PRE-FINISHED METAL PANELS
 - 2 - FIBER CEMENT PANELS
 - 3 - METAL ROOF BY STORAGE SYSTEM SUPPLIER
 - 4 - PRE-FINISHED ROLL-UP COILING DOOR BY STORAGE SYSTEM SUPPLIER
 - 5 - ALUMINUM STOREFRONT GLASS
 - 6 - EXISTING BUILDING
 - 7 - ENDURAMAX ENGINEERED STONE VENEER
 - 8 - NICHHA FIBER CEMENT PANEL
 - 9 - FAUX OVERHEAD DOOR
 - 10 - EXISTING OVERHEAD DOOR TO REMAIN
 - 11 - RAISE GRADE IN THIS AREA
 - 12 - PRE-FINISHED METAL CANOPY



KEY PLAN

ANDERSON ASHTON
DESIGN / BUILD
2746 S. 166th Street
New Berlin, WI 53151
262.786.4640
andersonashton.com



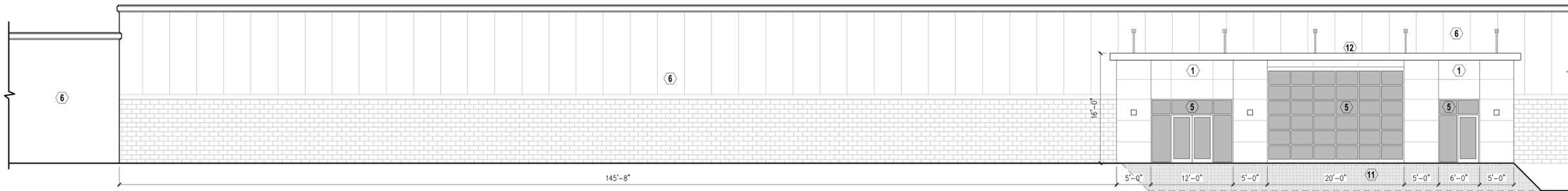
Wisconsin Registered Contractor
ID #: 1048911 WI Dept of Commerce

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EXTRA SPACE STORAGE
6803 SOUTH 27TH STREET
FRANKLIN, WI 53132

DRAFTED BY: SLS
PROJECT DESIGNER: SLS
SUBMITTAL DATE: 05/28/2018

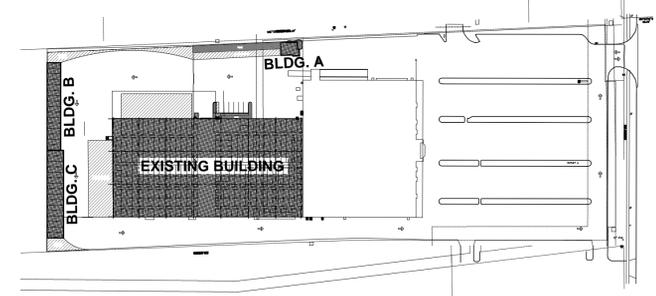
JOB NO. 1611

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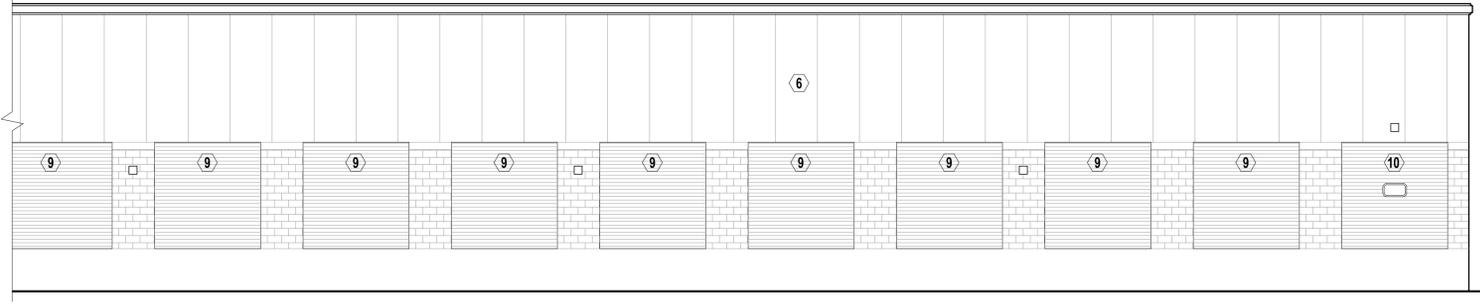


NORTH ELEVATION 1
1/8" = 1'-0" EXISTING BUILDING A2.2

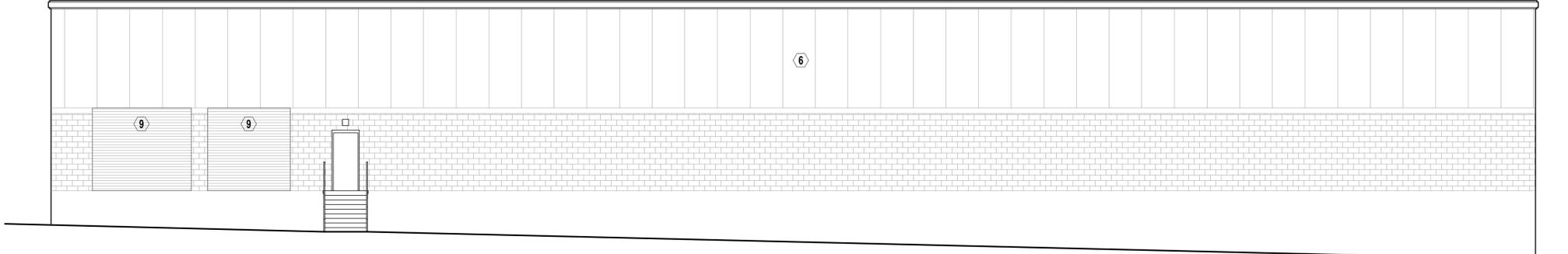
- MATERIAL KEY**
- 1 - PRE-FINISHED METAL PANELS
 - 2 - FIBER CEMENT PANELS
 - 3 - METAL ROOF BY STORAGE SYSTEM SUPPLIER
 - 4 - PRE-FINISHED ROLL-UP COILING DOOR BY STORAGE SYSTEM SUPPLIER
 - 5 - ALUMINUM STOREFRONT GLASS
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 - 11 - RAISE GRADE IN THIS AREA
 - 12 - PRE-FINISHED METAL CANOPY



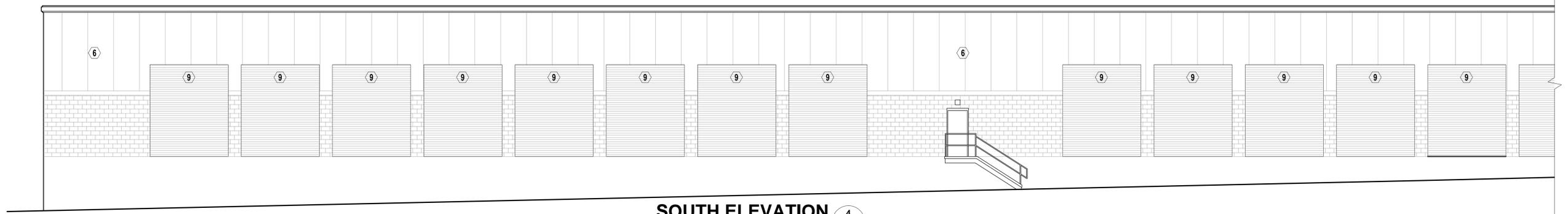
KEY PLAN



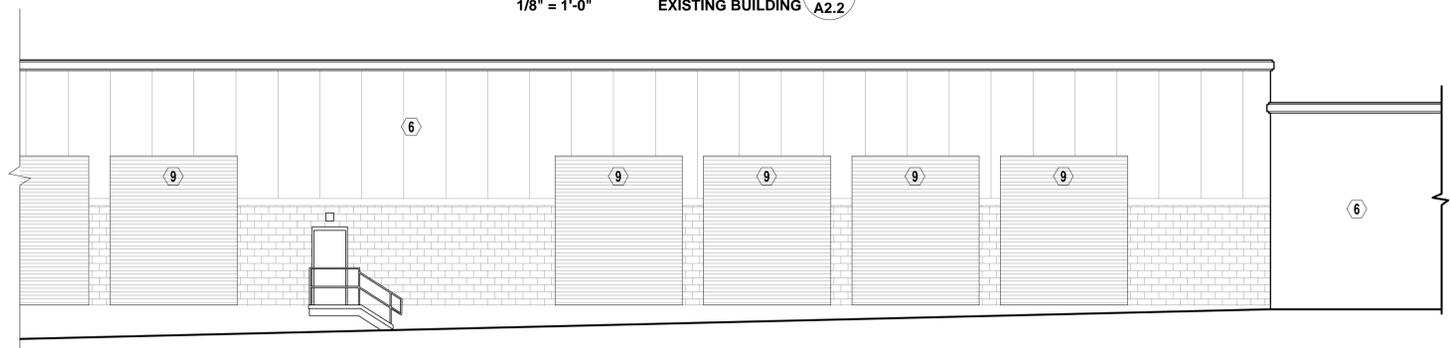
NORTH ELEVATION 2
1/8" = 1'-0" EXISTING BUILDING A2.2



WEST ELEVATION 3
1/8" = 1'-0" EXISTING BUILDING A2.2



SOUTH ELEVATION 4
1/8" = 1'-0" EXISTING BUILDING A2.2



SOUTH ELEVATION 5
1/8" = 1'-0" EXISTING BUILDING A2.2

REVISIONS

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Wisconsin Registered Contractor
ID #: 1048911 WI Dept of Commerce

PROPOSED NEW PROJECT FOR:
EXTRA SPACE STORAGE
6803 SOUTH 27TH STREET
FRANKLIN, WI 53132

DRAFTED BY: SLS
PROJECT DESIGNER: SLS
SUBMITTAL DATE: 05/26/2018

JOB NO. 1611

A2.2

 **CITY OF FRANKLIN** 
REPORT TO THE PLAN COMMISSION

Meeting of June 9, 2016

Unified Development Ordinance Text Amendment

RECOMMENDATION: Department of City Development staff recommends approval of a Unified Development Ordinance Text Amendment to conditionally exempt public streets, sidewalks, and trails from the City’s natural resource protection standards, as set forth in the attached draft Ordinance.

Project Name: Natural Resource Protection Standards Revision to Conditionally Exempt Public Streets, Sidewalks, and Trails

Applicant: City of Franklin

Action Requested: Recommendation by the Plan Commission for approval of an amendment of the Unified Development Ordinance to conditionally exempt public streets, sidewalks, and trails from the City’s natural resource protection standards.

INTRODUCTION:

The City Development and Engineering Departments have requested that the City consider amending the Unified Development Ordinance to exempt public streets, sidewalks, and trails from its natural resource protection standards.

As set forth in the attached Common Council Action Sheet dated May 3, 2016, staff had identified a number of development or development related projects involving public streets, sidewalks, or trails that had been significantly impacted by the City’s natural resource protection standards. Staff had further indicated that the provision of more flexibility within the City’s natural resource protection standards in this regard would facilitate the provision of a safe and efficient transportation system and would improve connectivity for automobiles, pedestrians, and other modes of transportation.

ANALYSIS:

The Common Council discussed this matter at its May 3, 2016 meeting, and moved to “refer a proposal to amend the Unified Development Ordinance to exempt public streets, sidewalks, trails and appurtenances from the City’s natural resource protection standards to the City Attorney for compliance with new State wetland delineation laws.”

Based upon the Common Council discussion, and upon subsequent discussions with Alderwoman Wilhelm and the Planning Manager, the City Attorney drafted the attached Ordinance. The draft Ordinance proposes to add a footnote to Table 15-4.0100 of the Unified Development Ordinance (UDO) to provide that construction of all public (Federal, State, County, and City-owned) streets, sidewalks, and trails shall conditionally not be subject to the

City's natural resource protection standards following the review and approval of an application for such by the Common Council. The proposed footnote establishes that all public streets, sidewalks, and trails would not constitute "development" as defined within the UDO, would not require a Natural Resource Special Exception, and would require Common Council approval of an application which provides that:

- the project is designed and constructed by or under the direction of the respective governmental agency;
- all other permits and approvals are obtained;
- all remaining areas of natural resource features disturbed by such construction shall be restored as set forth in Section 15-4.0102I of the UDO;
- each project be designed and reviewed pursuant to a practicable alternatives analysis; and
- the City Forester perform onsite inspections of the subject area in regard to the practicable alternatives analysis for woodland and forest impacts.

The proposed footnote also provides that each Common Council decision shall include consideration of whether the proposal is reasonable and necessary in the public interest, and that the provision of a safe and efficient transportation system and connectivity outweighs the public interest in the complete protection of the natural resource features to be impacted. Lastly, it is noted that the Common Council may conditionally approve such applications as may reasonably be necessary.

This information was then provided to the Common Council for review and discussion at its May 17, 2016 meeting. The Council subsequently moved to approve the subject UDO Text Amendment along with a request that staff prepare a set of procedures to guide its consideration of all public street, sidewalk, and trail projects in a fair and equitable manner.

STAFF RECOMMENDATION:

The City Development and Engineering Departments recommend approval of the Unified Development Ordinance Text Amendment to conditionally exempt public streets, sidewalks, and trails from the City's natural resource protection standards as set forth in the attached draft Ordinance.

ORDINANCE NO. 2016-_____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE TEXT TO ADD A FOOTNOTE TO TABLE 15-4.0100 TO PROVIDE THAT ALL PUBLIC (FEDERAL, STATE, COUNTY, AND CITY OWNED) STREETS, SIDEWALKS AND TRAILS CONSTRUCTION SHALL CONDITIONALLY NOT BE SUBJECT TO THE NATURAL RESOURCE FEATURES PROTECTION STANDARDS FOLLOWING THE REVIEW AND APPROVAL OF AN APPLICATION THEREFORE BY THE COMMON COUNCIL (CITY OF FRANKLIN, APPLICANT)

WHEREAS, the Department of City Development and the Engineering Department having review the Unified Development Ordinance regarding the construction of public streets and the needs thereof, in relation to the natural resource features protection standards existing under the Ordinance, and having considered that the Southeastern Wisconsin Regional Planning Commission conditionally allows trails through Environmental Corridors and also allows streets and highways through Environmental Corridors upon more stringent conditions; and

WHEREAS, City staff having determined that the need to facilitate the provision of a safe and efficient transportation system, in recognition of the importance of connectivity for motor vehicle, pedestrian and other modes of transportation, and to provide more flexibility within the Unified Development Ordinance natural resource features protections related thereto to accomplish the more safe and efficient system while also substantially considering and accounting for any natural resource features necessarily impacted by such needs, and having recommended an amendment to the Unified Development Ordinance to provide for a more efficient process in the undertaking of fulfilling such public needs; and

WHEREAS, the Plan Commission having reviewed the proposed amendment, and having held a public hearing on the proposal on the 9th day of June, 2016 and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council upon the recommendations of the Plan Commission and City staff having determined that the proposed amendment is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: TABLE 15-4.0100 NATURAL RESOURCE PROTECTION

STANDARDS of the Unified Development Ordinance of the Municipal Code of the City of Franklin, Wisconsin is hereby amended to add a footnote (f) thereto, which footnote “(f)” shall be inserted as a reference in the Zoning District Type categories Table titles “Agricultural”, “Residential” and “Nonresidential” and which footnote shall read as follows:

(f) Notwithstanding anything to the contrary set forth in this Ordinance, all public (Federal, State, County, and City owned) streets, sidewalks and trails construction shall not constitute “development” subject to the natural resource features protection standards under this Ordinance, and the creation and later existence thereof shall not require the grant of a special exception to the provisions of this Ordinance for natural resource features protection; provided, however, that no public street, sidewalk or trail construction may occur unless an application for same is approved by the Common Council. The Common Council may approve and grant such application provided that: i) such street, sidewalk or trail is designed and constructed by or under the direction of the respective governmental entity; ii) all other required governmental permits and approvals, including, but not limited to those required by the Wisconsin Department of Natural Resources (and subject to the approved wetland determination/delineation application requirements of the WIDNR effective June 1, 2016 as may be applicable) and the U.S. Army Corps of Engineers; iii) all remaining areas of natural resource features disturbed by such construction shall be restored to the restoration standards of §15-4.0102I. of this Ordinance; iv) that such public street, sidewalk and trail shall be designed and reviewed pursuant to a practicable alternatives analysis in a priority manner to first consider alternative locations, second to minimize the amount of disturbance, and third to include mitigation in such instances where impact to particularly important natural resource features, including, but not limited to Southeastern Wisconsin Regional Planning Commission designated Primary Environmental Corridor, Secondary Environmental Corridor and Isolated Natural Resource Area lands, is unavoidable; and v) with regard to woodlands and forests, the City Forester shall perform an on-site inspection of the area(s) proposed to support the street, sidewalk or trail, consider the practicable alternatives analysis under iv) above applicable thereto, and recommend thereupon to the Common Council for its consideration of the subject matter application. A determination by the Common Council upon an application shall be made upon consideration as to whether the application proposal is reasonable and necessary in the

public interest and that the provision of safe and efficient transportation and connectivity public improvements outweighs the public interest in the complete protection of natural resource features under all the circumstances presented. The Common Council may conditionally approve an application as it determines reasonably necessary.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2016, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2016.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

APPROVAL	REQUEST FOR COUNCIL ACTION	MEETING DATE May 17, 2016
REPORTS AND RECOMMENDATIONS	An Ordinance to Amend the Unified Development Ordinance Text to Add a Footnote to Table 15-4.0100 to Provide that All Public (Federal, State, County, and City Owned) Streets, Sidewalks and Trails Construction Shall Conditionally Not Be Subject To the Natural Resource Features Protection Standards Following the Review and Approval of an Application Therefore by the Common Council (City of Franklin, Applicant)	ITEM NUMBER

The subject matter of the above item was before the Common Council at its May 3, 2016 regular meeting. Attached hereto are copies of the action sheet from that meeting and a draft ordinance prepared in part as a result of the discussion at the May 3 meeting, which does not fully exempt streets, sidewalks and trails construction from the natural resource features protections of the Unified Development Ordinance, but does provide a more streamlined process for the consideration of such improvements in relation to natural resource features protection, while retaining final Common Council approval thereof. Also attached hereto are copies of a Department of Natural Resources correspondence (Amendment to the Regional Water Quality Management Plan – City of Franklin) and Southeastern Wisconsin Regional Planning Commission environmentally significant areas resource document (SEWRPC Community Assistance Planning Report No. 176 (Second Edition), Sanitary Sewer Service Area for the City of Franklin, Milwaukee County, Wisconsin, dated June 2011) for the information of the Common Council.

COUNCIL ACTION REQUESTED

A motion to adopt An Ordinance to Amend the Unified Development Ordinance Text to Add a Footnote to Table 15-4.0100 to Provide that All Public (Federal, State, County, and City Owned) Streets, Sidewalks and Trails Construction Shall Conditionally Not Be Subject To the Natural Resource Features Protection Standards Following the Review and Approval of an Application Therefore by the Common Council.

Ryan Creek
Intercept⁷⁰⁷



State of Wisconsin \ DEPARTMENT OF NATURAL RESOURCES

Scott Walker, Governor
Cathy Stepp, Secretary

RECEIVED

JUL 21 2011

City of Franklin
Engineering Department

101 S. Webster St.
Box 7921
Madison, Wisconsin 53707-7921
Telephone 608-266-2621
FAX 608-267-3579
TTY Access via relay - 711

July 20, 2011

DNR File No. SE-0129

Mr. David L. Stroik, Chairman
Southeastern Wisconsin Regional Planning Commission
W239 N1812 Rockwood Drive
P.O. Box 1607
Waukesha, WI 53187-1607

SUBJECT: Amendment to the Regional Water Quality Management Plan -
City of Franklin

Dear Mr. Stroik:

We have completed our review of the subject amendment request submitted to the Department on July 5, 2011. The Department hereby approves the sewer service area amendment request which adds a total of 5,310 acres to the City of Franklin Sanitary Sewer Service Area.

The area to be added includes the south and the southwest portions of the City of Franklin and is immediately adjacent to the current sewer service area. The amendment would bring the entire City of Franklin into the sewer service area. The proposed area includes 1,554 acres of environmentally significant lands, 410 acres of existing urban land, and agricultural and open lands account for the balance of 3,346 acres (see Maps 2 and 3).

The proposed amendment was requested by the City of Franklin on April 5, 2011 and was adopted by SEWRPC per Resolution Number 2011-09 on June 15, 2011.

The approval of this sewer service area amendment does not constitute approval of any other local, state, or federal permit that may be required for sewer construction or associated land development activities.

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to section 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with section NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with section NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing does not extend the 30 day period for filing a petition for judicial review.

Sincerely,



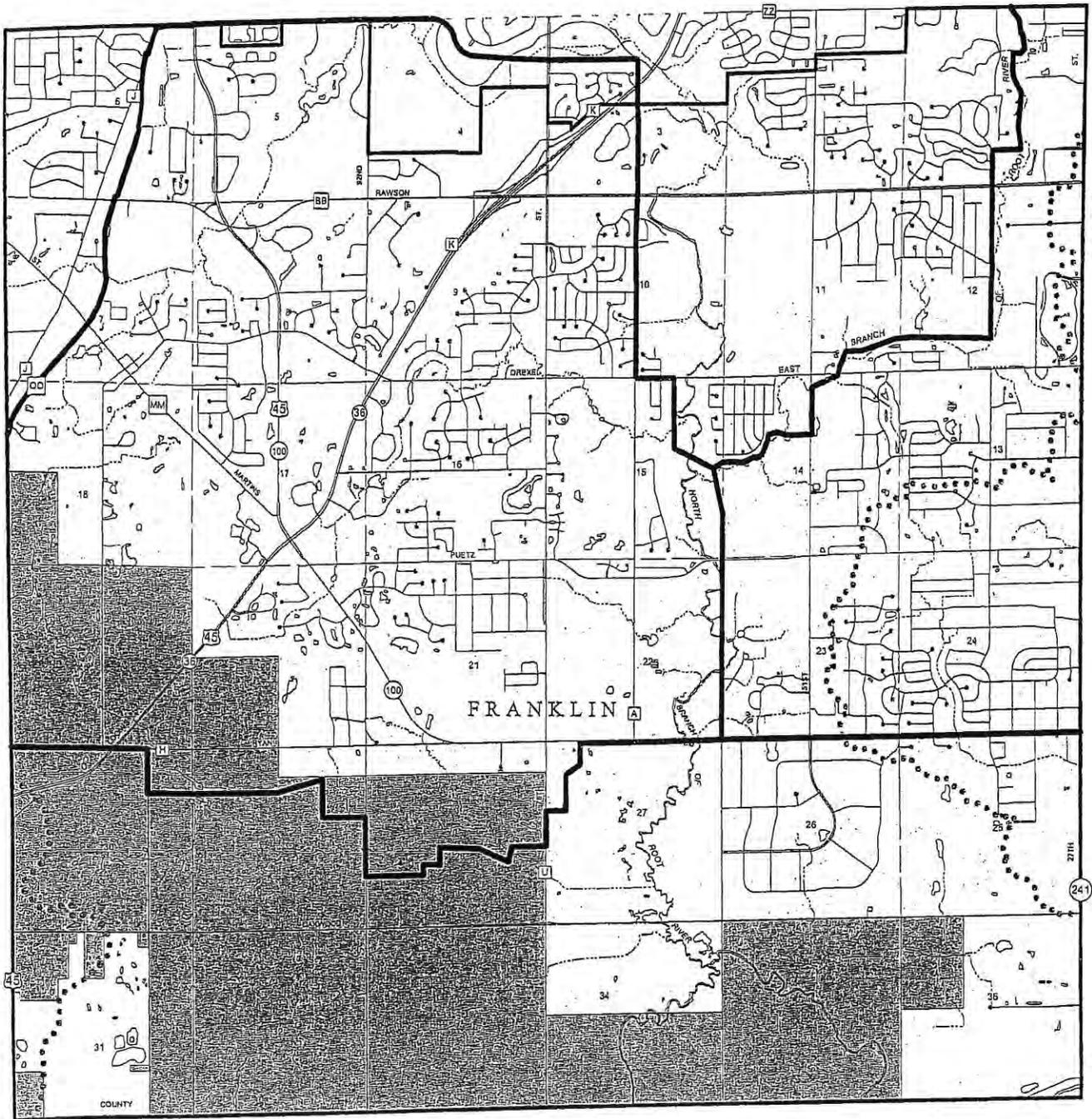
Thomas J. Muga, P.E., Chief
Wastewater Section
Bureau of Watershed Management

cc:

Ms. Sandra L. Wesolowski, Clerk, City of Franklin, 9229 W. Loomis Rd, Franklin, WI 53132
Mr. John M. Bennett, Engineer, City of Franklin, 9229 W. Loomis Rd, Franklin, WI 53132
Mr. Joseph Eberle, Ruckert & Mielke, Inc., W233 N2080 Ridgeview Pkwy, Waukesha, WI 53188-1020
Mr. Kevin Shafer, Executive Director, Milwaukee Metropolitan Sewerage District,
260 W. Seeboth St., Milwaukee, WI 53188-1020
Mr. Michael Luba, Basin Supervisor, WDNR- SER - Sturtevant
Mr. John Hammen, Acting Regional Director – WDNR - SER – Milwaukee
Ms. Fran Keally – DNR - WT/3

Map 2

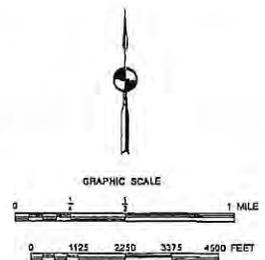
PROPOSED CHANGES TO THE FRANKLIN SANITARY SEWER SERVICE AREA



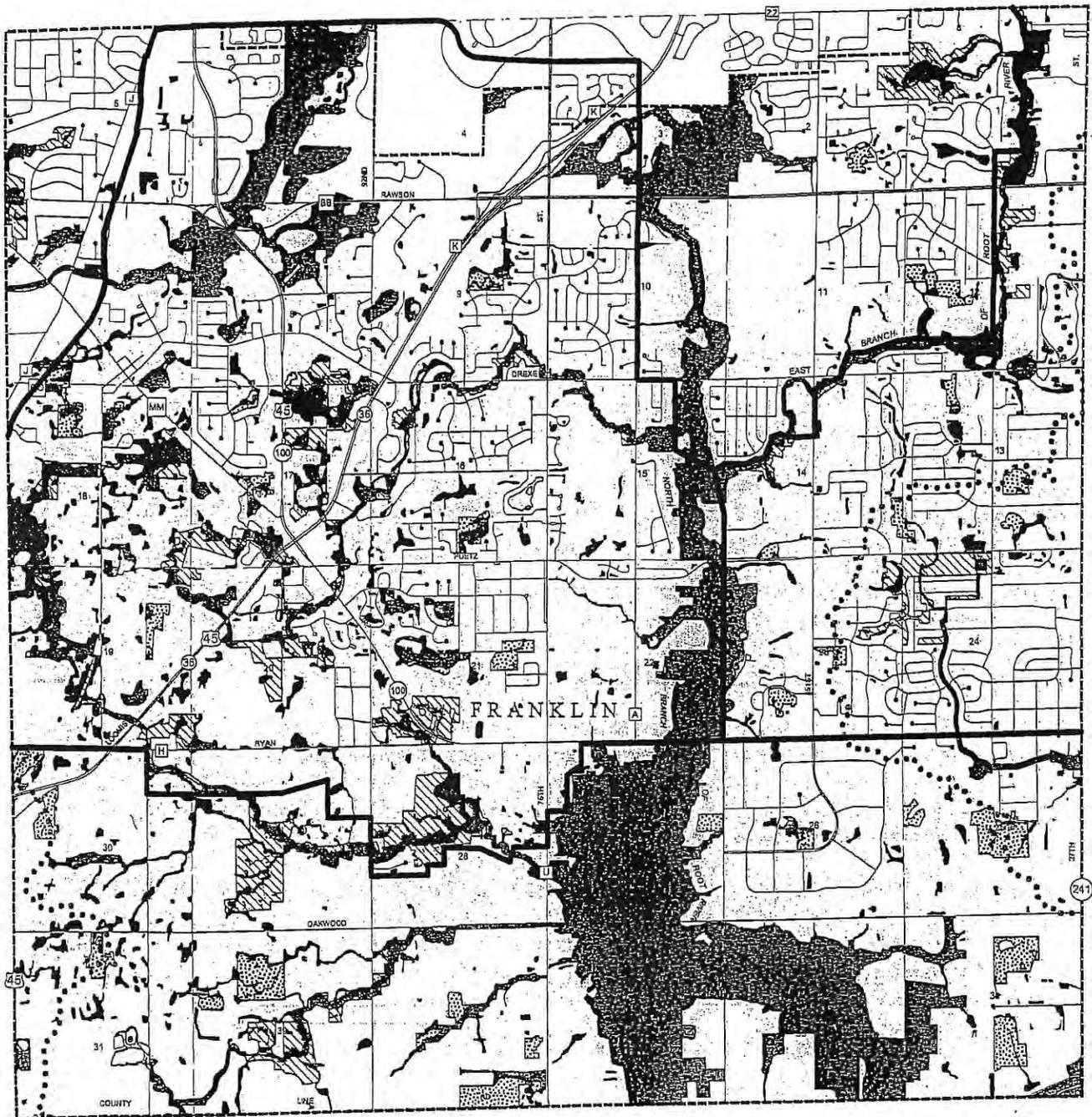
-  FRANKLIN PLANNED SANITARY SEWER SERVICE AREA AS DEFINED IN SEWRPC COMMUNITY ASSISTANCE PLANNING REPORT NO. 176
-  AREAS PROPOSED TO BE ADDED TO THE FRANKLIN SEWER SERVICE AREA

-  EXISTING INTERCEPTOR SEWER
-  PROPOSED RYAN CREEK INTERCEPTOR SEWER
-  EXISTING CITY AND VILLAGE BOUNDARIES: 2010

Source: SEWRPC.



FRANKLIN PLANNED SANITARY SEWER SERVICE AREA

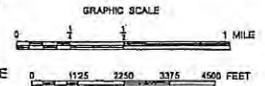


- PRIMARY ENVIRONMENTAL CORRIDOR
- SECONDARY ENVIRONMENTAL CORRIDOR
- ISOLATED NATURAL RESOURCE AREA
- WETLANDS AND SURFACE WATER AREAS LESS THAN FIVE ACRES IN SIZE LOCATED OUTSIDE ENVIRONMENTAL CORRIDORS AND ISOLATED NATURAL RESOURCE AREAS
- FRANKLIN PLANNED SANITARY SEWER SERVICE AREA
- PLANNED SANITARY SEWER SERVICE AREA BOUNDARY

- EXISTING INTERCEPTOR SEWER
- PROPOSED RYAN CREEK INTERCEPTOR SEWER

RESTRICTIONS ON SEWERED DEVELOPMENT

- PRIMARY ENVIRONMENTAL CORRIDORS WITHIN THE PLANNED SANITARY SEWER SERVICE AREA: THE EXTENSION OF SEWERS TO SERVE NEW DEVELOPMENT IS GOVERNED TO LIMIT RECREATIONAL AND INSTITUTIONAL USES AND RURAL-DENSITY RESIDENTIAL DEVELOPMENT IN AREAS OTHER THAN WETLANDS, FLOODLANDS, SHORELANDS, AND STEEP SLOPES.
- PORTIONS OF SECONDARY ENVIRONMENTAL CORRIDORS AND ISOLATED NATURAL RESOURCE AREAS WITHIN THE PLANNED SANITARY SEWER SERVICE AREA WHICH ARE COMPRISED OF WETLANDS, FLOODLANDS, SHORELANDS, AND STEEP SLOPES: THE EXTENSION OF SEWERS TO SERVE NEW DEVELOPMENT IN THESE AREAS IS NOT PERMITTED.



Source: SEWRPC.

The proposed expanded sanitary sewer service area encompasses 2,369 acres of primary environmental corridors (11 percent of the sewer service area); 1,576 acres of secondary environmental corridors (7 percent of the sewer service area); and 697 acres of isolated natural resource areas (3 percent of the sewer service area). The sewer service area also encompasses a total of 541 acres of small wetlands and surface water areas less than five acres in size located outside the environmental corridors and isolated natural resource areas, accounting for 2 percent of the sewer service area.

Included in the environmental corridors and isolated natural resource areas shown on Map 3 are certain floodland areas which do not currently have the resource features to be classified as environmental corridors or isolated natural resource areas, but which may be expected to eventually revert to more natural conditions and become part of the system of environmental corridors and isolated natural resource areas. These areas are shown in a blue color on Map 4; together they encompass a total of 359 acres. As those floodplains revert to more natural conditions, the resource classification of certain small adjacent areas would change, as shown on Map 4.

Restrictions on Sewered Development in Environmentally Significant Areas

The regional land use and water quality management plans recommend the preservation of primary environmental corridors in essentially natural, open use and recommend that County and local units of government consider protecting and preserving secondary environmental corridors and isolated natural resource areas. Consistent with regional plans, policies adhered to by the Wisconsin Department of Natural Resources and Department of Commerce in their regulation of sanitary sewerage systems prohibit or otherwise limit the extension of sanitary sewers to serve development in such areas. The following restrictions apply:

1. The extension of sanitary sewers to serve new development in primary environmental corridors is confined to limited recreational and institutional uses and rural-density residential development (maximum of one dwelling unit per five acres) in areas other than wetlands, floodlands, shorelands, and steep slopes. Primary environmental corridors within the proposed Franklin sewer service area are shown with a green background color on Map 3.⁴
2. The extension of sanitary sewers to serve development in portions of secondary environmental corridors and isolated natural resource areas comprised of wetlands, floodlands, shorelands, or steep slopes is not permitted. The portions of secondary environmental corridors and isolated natural resource areas comprised of wetlands, floodlands, shorelands, or steep slopes within the proposed sewer service area are identified with a brown background color on Map 3.

As previously indicated, the mapping of environmentally significant areas as presented in this report is a representation of conditions based upon the most recent available natural resource base information. It is expected that in many cases, as specific development proposals arise, a field survey will be necessary to more precisely identify the boundaries of environmental corridors and isolated natural resource areas in the vicinity of the proposed development. In such cases, the detailed field delineations serve as the basis for the review of proposed sewer extensions.

⁴Consistent with the year 2035 regional land use plan, in lieu of recreational or rural density residential development, up to 10 percent of the upland corridor area in a parcel may be disturbed in order to accommodate urban residential, commercial, or other urban development under the following conditions: 1) the area to be disturbed is compact rather than scattered in nature; 2) the disturbance area is located on the edge of a corridor or on marginal resources within a corridor; 3) the development does not threaten the integrity of the remaining corridor; 4) the development does not result in significant adverse water quality impacts; and 5) development of the remaining corridor lands is prohibited by conservation easement or deed restriction. Each such proposal must be reviewed on a case-by-case basis.

APPROVAL	REQUEST FOR COUNCIL ACTION	MEETING DATE May 3, 2016
REPORTS AND RECOMMENDATIONS	Direction regarding a proposed amendment to the Unified Development Ordinance to exempt public streets, sidewalks, trails and appurtenances from the City's Natural Resource Protection Standards (City of Franklin, Applicant)	ITEM NUMBER

INTRODUCTION

The Engineering Department and the Planning Department are requesting permission to prepare an amendment to the Unified Development Ordinance (UDO) to exempt public streets, sidewalks, trails and appurtenances (such as associated bridges, clearing and grading for shoulders, terraces, etc.) from the City's Natural Resource Protection Standards.

BACKGROUND

Staff has encountered a number of situations where the extension or expansion of a public street, sidewalk or trail into protected natural resource features was contemplated, which in staff's opinion served a valuable public purpose, but for reasons including the time, effort and uncertainty associated with obtaining a Natural Resource Special Exception, such public road or trail extension/expansion was not pursued, was substantially altered, or was subjected to an additional significant expense of time, effort, and/or money. Examples include:

- Extension of a proposed cul-de-sac and/or trail across wetlands located immediately west of Pleasant View Park/School as part of a proposed residential subdivision.
- Placement of a pedestrian bridge across a wetland and extension of a trail into wetland buffers and setbacks in Ernie Lake Park.
- Construction of a proposed trail through woodlands, wetlands, and shorelands around Koepmier Lake by the Conservancy for Healing and Heritage.
- Construction of a proposed trail through wetland setbacks and buffers at Southbrook Church linking Robinwood Elementary School to St. Martins Road.
- Extension of Evergreen Street through wetlands to Pleasant View Park.
- Construction of the Oak Leaf Trail through wetlands, woodlands, shorelands and floodplain in the Root River Parkway.
- Construction of a proposed sidewalk within/adjacent to wetlands on the south side of College Avenue.
- Expansion of Drexel Avenue through wetlands near 35th Street.
- Construction of a proposed trail/bridge in the River Park subdivision over the East Branch of the Root River

PROPOSAL

Staff's recommended proposal is to exempt all public (Federal, State, County, and City owned) streets, sidewalks and trails from all City of Franklin natural resource protection standards provided that:

- such street, sidewalk or trail is designed and constructed by or under the direction of such public agencies;
- all other required permits and approvals, including WDNR and ACOE, are obtained;
- that all remaining areas of natural resource features disturbed by such construction shall be restored to the restoration standards of Section 15-4.0102I. of the UDO; and
- that such public streets, sidewalks and trails be designed in a manner as to first consider alternative locations, second to minimize the amount of disturbance, and third to include mitigation in those instances where impact to particularly important natural resource features is unavoidable.

Staff would note that the Southeastern Wisconsin Regional Planning Commission (SEWRPC) does allow trails through its Environmental Corridors (including wetlands, shorelands, and floodplains) under similar conditions. And allows streets and highways through its Environmental Corridors subject to these conditions as well as to mitigation and no net loss of flood storage capacity or wetlands.

Should the Common Council have concerns or reservations about staff's initial proposal, staff would strongly recommend that at least the construction, reconstruction, and expansion of public streets, sidewalks and trails within existing right-of-ways and easements be exempted from the City's natural resource protection standards subject to the conditions noted above.

CONCLUSION

To facilitate the provision of a safe and efficient transportation system, in recognition of the importance of connectivity for automobiles, pedestrians, and other modes of transportation, and to provide more flexibility within the City's natural resource protection provisions, staff proposes that the Unified Development Ordinance be amended to exempt public streets, sidewalks, trails, and appurtenances from the City's natural resource protection standards.

COUNCIL ACTION REQUESTED

A motion to direct staff to prepare an ordinance to amend the Unified Development Ordinance to exempt public streets, sidewalks, trails and appurtenances from the City's natural resource protection standards, to schedule a public hearing before the Plan Commission upon the proposed text amendment, to assist the Plan Commission in its deliberations thereon, and to subsequently forward this matter to the Common Council for its consideration and possible action.



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of June 9, 2016

Site Plan Amendment

RECOMMENDATION: Department of City Development staff recommends approval of the Site Plan for an agricultural history museum in Lions Legend Park, subject to the conditions of approval in the attached draft resolution.

Project Name:	Agricultural History Museum Site Plan
Project Address:	8038 South Legend Drive
Property Owner:	City of Franklin
Applicant:	Franklin Historical Society
Agent:	James J. Luckey
Current Zoning:	I-1 Institutional District
2025 Comprehensive Plan:	Institutional
Use of Surrounding Properties:	Library and Fire Station No. 1 to the north; City Hall to the west; Woodfield Terrace single-family residential subdivision to the east; and Forest Hills Village multi-family residential subdivision to the south
Applicant's Action Requested:	Recommendation to the Plan Commission for approval of the Site Plan Amendment Application.

Please note:

- Staff suggestions are only underlined and are not included in the draft resolution.

INTRODUCTION & BACKGROUND:

At its April 22, 2010 meeting, the Plan Commission approved a Site Plan for a proposed Agricultural History Museum (construction of an approximately 900 square foot agricultural building designed to look like a nineteenth century barn) to be located within the Historical Area of Lions Legend Park. However, that building was not constructed, and pursuant to the requirements of the City of Franklin Unified Development Ordinance, the Site Plan approval expired after one year.

Over the following years, representatives of the Franklin Historical Society continued to meet periodically with City staff on revisions to the proposed Agricultural History Museum and other related matters. At its January 21, 2014 meeting, the Common Council moved to "direct staff to

work with the Franklin Historical Society to prepare an Ownership Agreement, an Operating and Maintenance Agreement, and a Capital Projects Agreement for the Barn Project in a form acceptable to the City Attorney and, further, to authorize Engineering prepare, in conjunction with the FHS, bid documents for the Barn Project.”

On November 10, 2015, the applicant once again submitted a Site Plan Amendment application for the development of a proposed agricultural history museum to be located within the Historical Area of Lions Legend Park. However, the size and location of the proposed structure were different than both what had been previously approved by the Plan Commission and what had been previously discussed with staff, and thus, the impact upon adjacent mature oak trees was unknown. In addition, the applicant was requesting financial and/or other types of assistance from the City for this project. Therefore, staff recommended that the applicant first submit a Concept Review for this project for review and comment by the Common Council.

On April 4, 2016, this matter was brought to the Common Council’s regularly scheduled meeting under Reports and Recommendations, where the Council moved to “authorize the Historical Society Barn project in the Capital Improvement Fund to become an Approved Project and to authorize City staff to proceed with the steps for completion of the foundation work, in coordination with the required Planning approvals, which includes authorization for the City Engineer to execute and submit an application for a site plan review.”

On April 6, 2016, the applicant submitted revised plans for the proposed Agricultural History Museum. On May 19, 2016, the Engineering Department completed a revised Site Plan (attached) for the proposed Agricultural History Museum barn based upon field visits of the subject site with representatives of the Historical Society.

PROJECT DESCRIPTION AND ANALYSIS:

Specifically, the applicant is requesting site plan approval for a proposed approximately 1,200 square foot agricultural history museum to be located within the existing Historical Area of Lions Legend Park. The museum will accommodate displays of horse drawn equipment, machinery, and hand tools typical of an early Franklin farm. The museum will be housed within a reconstructed 1880’s barn, donated by the Wendt family. The site plan also includes: a proposed approximately 1,000 square foot crushed limestone demonstration/patio area; a new six foot wide asphalt path; and raising of the existing nearby pump house about 8” to match the proposed grades within this area.

It is proposed that the Franklin Historical Society will operate and maintain the museum, which will be open to the general public similar to the other existing buildings within the Historic Village, and the City of Franklin will own the building. It is also anticipated that the City will undertake site preparation, grading, and digging for the footings and foundation of the proposed barn building.

Pursuant to input provided by the Engineering Department, the barn building has been re-oriented so that the entrance now faces west toward the existing school house. As such, the elevations orientation noted on the attached draft building plans have been revised accordingly.

Site Plan and Architecture:

As shown on the attached site plan map, the proposed agricultural history museum/barn and associated demonstration/patio area are proposed to be located behind (east of) the existing school house, primarily within a small clearing among the existing oak trees. The proposed six foot wide asphalt path (designed to be an accessible handicapped walkway) would be located immediately south of the existing school house and would connect the proposed demonstration/patio area to the existing path by the school house.

Based upon the Engineering Department's review of the site, it is envisioned that the east side of the proposed site will need to be excavated about two to three feet, and the west side filled about one foot, to insure a level surface for the building. As noted on the site plan map, landscape rock will be used as a small retaining wall in two locations to limit the extent of excavation/grade change, and the proposed disturbance limits have been identified as well.

The City Forester and the Public Works Department Superintendent indicate that this development will not significantly impact the existing adjacent oak trees.

The proposed 26' by 45' reconstructed barn will be about 27' in height with an asphalt shingle roof and will incorporate:

- a 4' concrete slab on grade with a foundation wall and footings;
- white pine board & batten siding;
- a 10' wide by 9' high overhead door, a 3' wide by 6'8" high pedestrian door, and four windows on the west (formerly south) elevation;
- three windows on the north and south (formerly the east and west) elevations;
- four windows on the east (formerly north) elevation; and
- exterior lights are located on each elevation.

The applicant has not indicated what color the proposed barn building will be painted. Staff suggests that the applicant provide this information to the Department of City Development for review and approval.

Parking:

No additional parking facilities are proposed for the new building. The City Hall parking lot will provide the closest standard parking stalls to the new museum. Two handicapped accessible stalls are located approximately 100 feet to the northwest of the proposed museum, next to the existing outdoor pavilion.

Landscaping:

No additional landscaping is proposed within Lions Legend Park.

Utility Connections:

The proposed barn building will be serviced with electric power. The applicant is not proposing any other utility connections. Should the State of Wisconsin classify the building as a

commercial structure, restroom facilities may be required, which would create a need for sewer and water utility connections.

Signage:

No signage is proposed at this time. However, any new signage must be reviewed and approved by the Inspection Department and the Architectural Review Board.

Natural Resource Protection Plan (NRPP):

The applicant did not prepare and submit a Natural Resource Protection Plan (NRPP). To address this issue, planning staff utilized the attached NRPP (prepared using previously available information) and the Southeastern Wisconsin Regional Planning Commission (SEWRPC) wetland, woodland, and Environmental Corridor delineations (that were obtained for the agricultural museum proposal in 2010). The NRPP identifies wetlands, areas of steep slopes, and a creek (Legend Creek) adjacent to the subject site, and woodlands within the subject site. However, the SEWRPC woodland delineation, which is more accurate and up-to-date (and which was field verified) indicates that a small clearing exists within the woodlands at the subject site. The Franklin Historical Society has worked with the Engineering Department to locate the barn in an area that will not damage any adjacent Oak trees as a result of the barn reconstruction.

STAFF RECOMMENDATION:

Department of City Development staff recommends approval of the Site Plan amendment for a historical agricultural museum proposed in Lions Legend Park, subject to the conditions of approval in the attached draft resolution.

STATE OF WISCONSIN

CITY OF FRANKLIN
PLAN COMMISSION

MILWAUKEE COUNTY
[Draft 6-2-16]

RESOLUTION NO. 2016-____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY
LOCATED AT 8038 SOUTH LEGEND DRIVE TO ALLOW FOR THE PLACEMENT
AND RECONSTRUCTION OF A HISTORIC 1880'S BARN AND CONSTRUCTION OF
A LIMESTONE DEMONSTRATION PATIO AREA IN LIONS LEGEND PARK
HISTORICAL COMPLEX
(TAX KEY NO. 802-9995-001)
(THE FRANKLIN HISTORICAL SOCIETY, APPLICANT)

WHEREAS, the City of Franklin having applied for an amendment to the Site Plan for the property located at 8038 South Legend Drive, such Site Plan having been previously approved on April 22, 2010, by Resolution No. 2010-005; and

WHEREAS, such proposed amendment proposes placement and reconstruction of a historic 1880's barn donated by the Wendt family and construction of a limestone demonstration patio area in the Lions Legend Park Historical Complex, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the Franklin Historical Society, dated _____, 2016, as submitted by the City of Franklin, as described above, be and the same is hereby approved, subject to the following conditions:

1. The Franklin Historical Society, successors and assigns and any developer of the Franklin Historical Society barn placement and reconstruction project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Franklin Historical Society barn placement and reconstruction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon the Franklin Historical Society and the Franklin Historical Society barn placement and reconstruction project for the property located at 8038 South Legend Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii)

THE FRANKLIN HISTORICAL SOCIETY - SITE PLAN AMENDMENT
RESOLUTION NO. 2016-_____

Page 2

obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

3. The Franklin Historical Society's barn placement and reconstruction project shall be developed in substantial compliance with the plans City file-stamped _____, 2016.
4. [other conditions, etc.]

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Franklin Historical Society's barn placement and reconstruction and construction of a limestone demonstration patio area as depicted upon the plans City file-stamped _____, 2016, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 8038 South Legend Drive, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

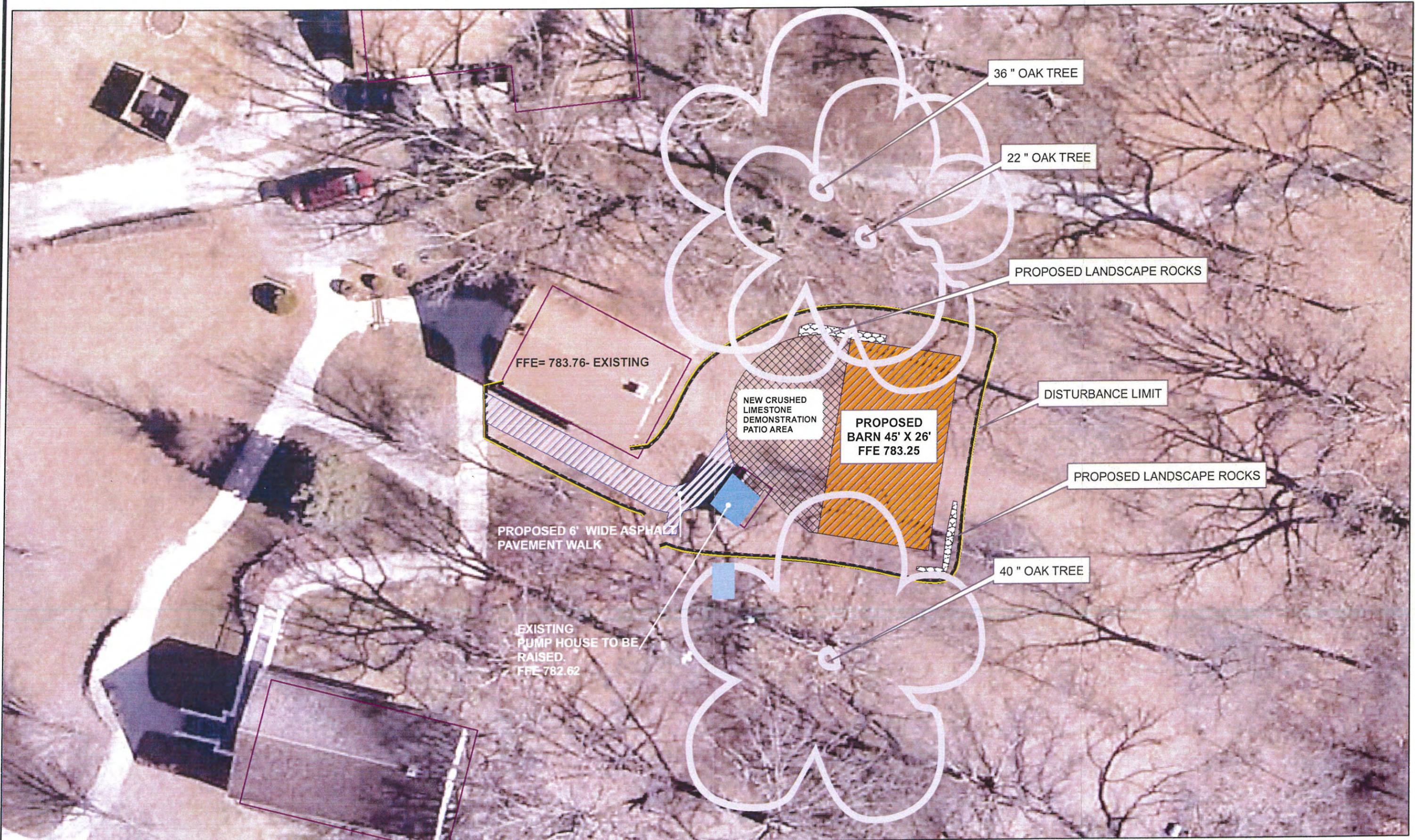
APPROVED:

Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



CITY OF FRANKLIN
 ENGINEERING DEPARTMENT
 PROJECT: TIMBER BARN

FIELD SURVEYED & DRAWN BY: RMA
 DATE: 5/12/2016

Document Path: H:\City_Maps\barn.mxd



Franklin Historical Society
P.O. Box 320012
Franklin, WI 53132

office fax: 414-421-6539

May 13, 2016

Honorable Steve Olson
Mayor City of Franklin
Sandra Wesolowski
Franklin City Clerk

The Franklin Historical Society would request this letter be added to the portion of the Common Council's agenda under "letters" on the Common Council meeting date of Tuesday May 17, 2016, and the contents of the letter to be read to the council and all present and added to minutes of the meeting.

On Monday April 4th of this year the Franklin Common Council instructed city staff to begin working on three agreements between the City of Franklin and the Franklin Historical Society of which the Barn Museum Capital Improvement Fund is deemed most important by the FHS.

Members and supporters of the FHS and I am sure your honor and members of the council would like to hear what progress has been made by staff. I would request that Director of Administration Mark Lubberda and City Engineer Glen Morrow speak briefly to the council and answer any of their questions. On Thursday May 12th Mr, Lubberda did call me with an update.

I did explain to Mr. Lubberda the importance of the project and the need to get the foundation work going soon. A timeline needs to be developed so the entire project can be completed this year. That is critically important.

The FHS greatly appreciates the help of the city. It is our hope that the city appreciates all the hard work of FHS volunteers and the great gift and benefit of the Barn Museum to our city.

James J. Luckey
President FHS

SOUTHEASTERN WISCONSIN REGIONAL PLANNING COMMISSION

W239 N1812 ROCKWOOD DRIVE • PO BOX 1607 • WAUKESHA, WI 53187-1607

TELEPHONE (262) 547-6721
FAX (262) 547-1103

May 19, 2010

Mr. Joel E. Dietl, AICP
Planning Manager
City of Franklin Department of
City Development
9229 W. Loomis Road
Milwaukee, WI 53132

Serving the Counties of:

KENOSHA
MILWAUKEE
OZAUKEE
RACINE
WALWORTH
WASHINGTON
WAUKESHA



Re: SEWRPC No. CA-405-357

Dear Mr. Dietl:

This will respond to your electronic mail message of November 30, 2009, requesting the Commission staff to conduct a field inspection of a portion of the Lions Legend Park property where an agricultural history building is proposed. The project area is located in parts of the Northwest one-quarter of U.S. Public Land Survey Section 16, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

Specifically, you requested a field delineation of the boundaries of any wetlands and woodlands (as defined in Section 15-11.0103 of the Franklin Unified Development Ordinance) in the immediate vicinity of the proposed structure as well as a mapping review of any wetland and woodland areas within 1000 feet of the proposed structure.

Pursuant to your request, the wetland and woodland boundaries in the immediate vicinity of the proposed structure were identified and staked in the field by Dr. Donald M. Reed, Chief Biologist of the Commission staff, on April 27, 2010. Further, the wetland and woodland mapping was reviewed and refined within 1000 feet of the proposed structure. It should be noted that, in this case, the woodland boundary coincides with the Commission's secondary environmental corridor boundary designation. It is the Commission staff's expectation that the wetland and woodland boundaries will be surveyed and identified on forthcoming design plans attendant to the construction of the proposed agricultural history building. A list of plant species identified within the subject wetland and woodland is attached hereto as Exhibit A.

Should you have any questions regarding this information, please do not hesitate to call.

Sincerely,

Kenneth R. Yunker, P.E.
Executive Director

KRY/DMR/CJJ/mlh
#151529 v1 - ca405-357

Enclosures

cc: Mr. Kevin Haley, Milwaukee County
Ms. Jamie Lambert, DNR-Waukesha
Mr. Anthony Jernigan, COE-Waukesha

Franklin

MAY 20 2010

City Development

SVY3668
CA405-357

Franklin

MAY 20 2010

City Development

EXHIBIT A

PRELIMINARY VEGETATION SURVEY
LIONS LEGEND PARK

Date: April 27, 2010

Observers: Donald M. Reed, Ph.D., Chief Biologist
Lawrence A. Leitner, Ph.D., Principal Biologist
Christopher J. Jors, Biologist
Southeastern Wisconsin Regional Planning Commission

Location: City of Franklin in parts of the Northwest one-quarter of U.S. Public
Land Survey Section 16, Township 5 North, Range 21 East,
Milwaukee County, Wisconsin.

Species List: Plant Community Area No. 1

GRAMINEAE

Poa pratensis¹--Kentucky bluegrass
Agropyron repens¹--Quack grass

CYPERACEAE

Carex pensylvanica--Pennsylvania sedge

LILIACEAE

Allium tricoccum--Wild leek
Maianthemum canadense--Canada Mayflower
Polygonatum biflorum--Solomons seal

JUGLANDACEAE

Carya ovata--Shagbark hickory

BETULACEAE

Ostrya virginiana--Ironwood

FAGACEAE

Quercus alba--White oak
Quercus macrocarpa²--Bur oak
Quercus velutina--Black oak
Quercus rubra--Northern red oak

RANUNCULACEAE

Ranunculus fascicularis--Early buttercup

CRUCIFERAE

Barbarea vulgaris¹--Yellow rocket

ROSACEAE

Fragaria virginiana--Wild strawberry
Prunus serotina--Black cherry
Prunus virginiana--Chokecherry
Pyrus sp.--Crab-apple
Crataegus sp.--Hawthorn

FABACEAE

Trifolium repens¹--White clover

RHAMNACEAE

Rhamnus cathartica¹--Common buckthorn

VITACEAE
Vitis riparia--Riverbank grape

TILIACEAE
Tilia americana--Basswood

VIOLACEAE
Viola sororia--Woolly blue violet

UMBELLIFERAE
Daucus carota¹--Queen Anne's lace

PRIMULACEAE
Dodecatheon meadia--Shooting star

LABIATAE
Nepeta cataria¹--Catnip

PLANTAGINACEAE
Plantago lanceolata¹--English plantain

CAPRIFOLIACEAE
Viburnum lentago--Nannyberry
Lonicera X bella¹--Hybrid honeysuckle

COMPOSITAE
Aster sagittifolius--Arrowleaf aster
Antennaria neglecta--Pussy toes
Arctium minus¹--Common burdock
Taraxacum officinale¹--Common dandelion

Total number of plant species: 34

Number of alien, or non-native, plant species: 11 (32 percent)

This approximately 1.8-acre plant community area is part of a larger secondary environmental corridor and consists of mowed lawn and second growth, Southern xeric woodland (former Oak opening). Disturbances to the plant community area include paved trails, mowing, and past clearing of vegetation in the understory and selective cutting of trees. No Federal- or State-designated Special Concern, Threatened, or Endangered species were observed during the field inspection.

¹ Alien or non-native plant species

² Dominant plant species

Plant Community Area No. 2

TYPHACEAE

Typha latifolia¹--Broad-leaved cat-tail

GRAMINEAE

Phalaris arundinacea^{1,2}--Reed canary grass

CYPERACEAE

Carex blanda--Wood sedgeCarex stricta--Tussock sedge

LILIACEAE

Allium canadense--Wild garlic

SALICACEAE

Populus deltoides--Cottonwood

RANUNCULACEAE

Thalictrum dasycarpum--Tall meadow rue

ROSACEAE

Geum aleppicum--Yellow avensPyrus sp.--Crab-appleCrataegus sp.--Hawthorn

ACERACEAE

Acer negundo--Boxelder

RHAMNACEAE

Rhamnus cathartica²--Common buckthornRhamnus frangula²--Glossy buckthorn

VITACEAE

Vitis riparia--Riverbank grape

UMBELLIFERAE

Cicuta maculata--Spotted water-hemlock

CORNACEAE

Cornus anomum--Silky dogwoodCornus stolonifera--Red-osier dogwoodCornus racemosa--Grey dogwood

OLEACEAE

Fraxinus pennsylvanica--Green ash

CAPRIFOLIACEAE

Viburnum opulus²--European highbush-cranberryViburnum lentago¹--Nannyberry

CUCURBITACEAE

Echinocystis lobata--Wild cucumber

COMPOSITAE

Aster lateriflorus--Calico asterAster simplex--Marsh aster

Total number of plant species: 24

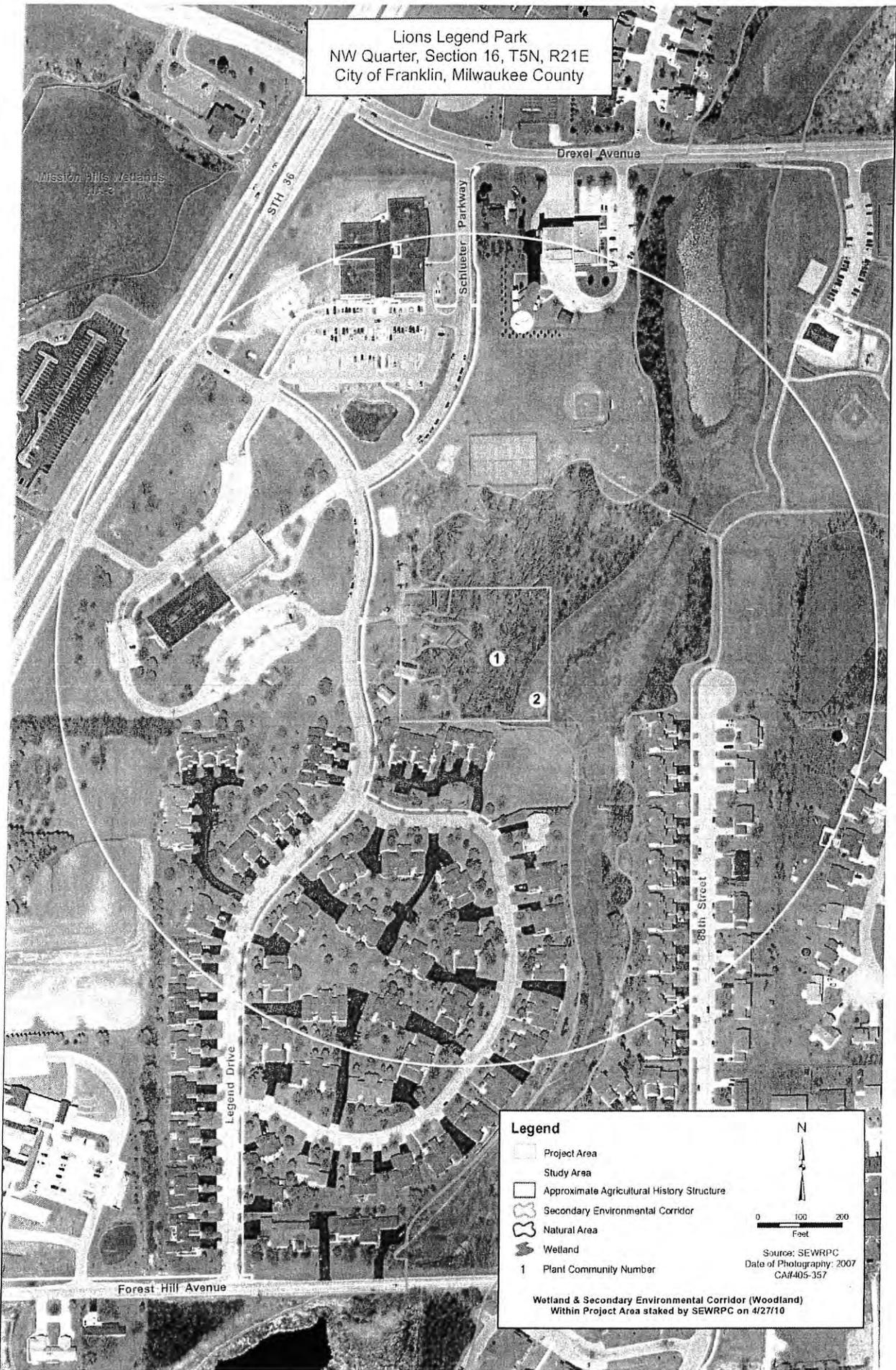
Number of alien, or non-native, plant species: 4 (17 percent)

This approximately 0.2-acre plant community area is part of a larger wetland complex and consists of shallow marsh, fresh (wet) meadow, and shrub-carr. Disturbances to the plant community area include siltation and sedimentation due to stormwater runoff from adjacent lands and water level changes due to past ditching. No Federal- or State-designated Special Concern, Threatened, or Endangered species were observed during the field inspection.

¹ Co-dominant plant species

² Alien or non-native plant species

Lions Legend Park
 NW Quarter, Section 16, T5N, R21E
 City of Franklin, Milwaukee County



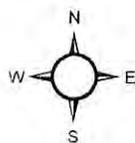
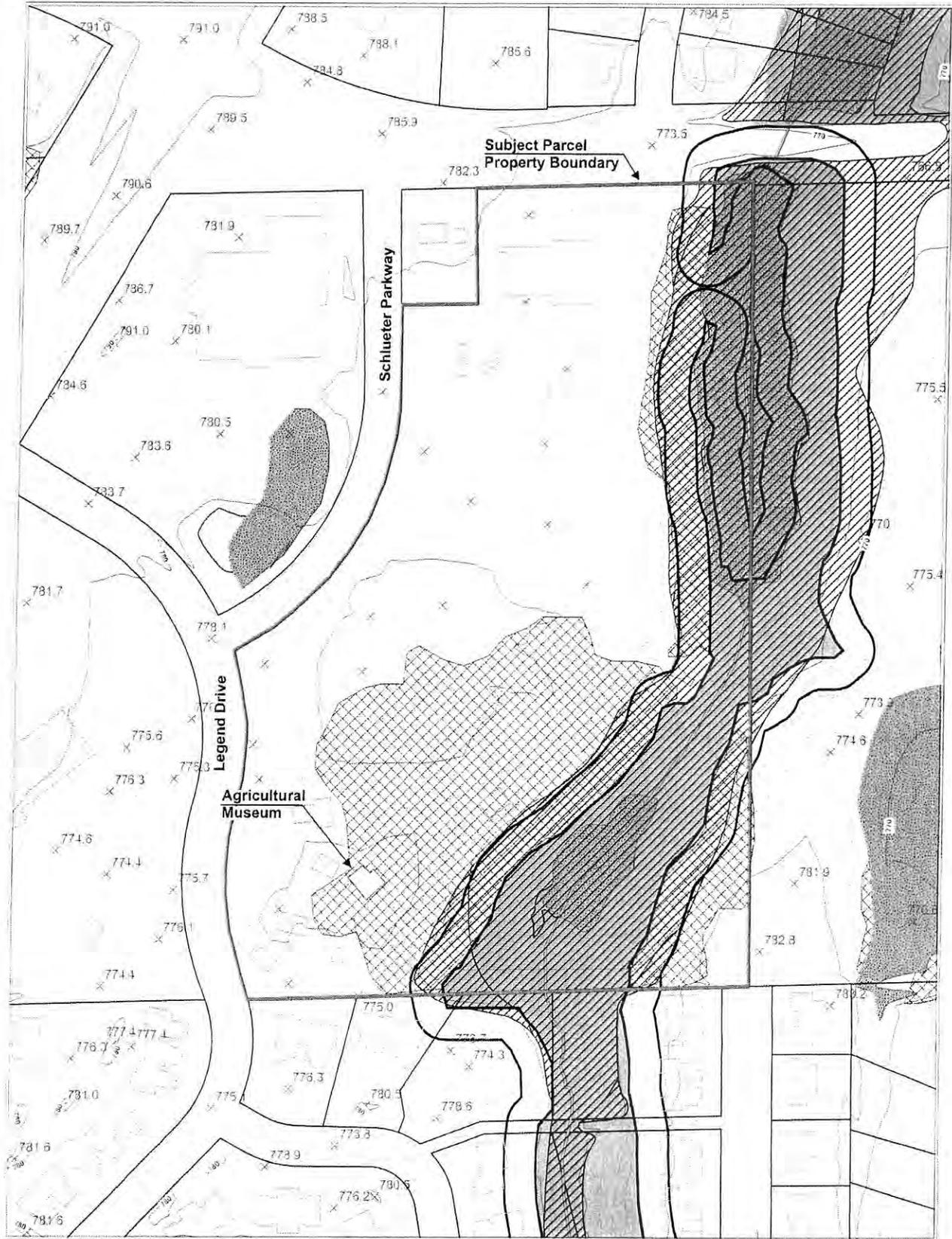
Legend

- Project Area
- Study Area
- Approximate Agricultural History Structure
- Secondary Environmental Corridor
- Natural Area
- Wetland
- 1** Plant Community Number

0 100 200
 Feet
 Source: SEWRPC
 Date of Photography: 2007
 CA#405-357

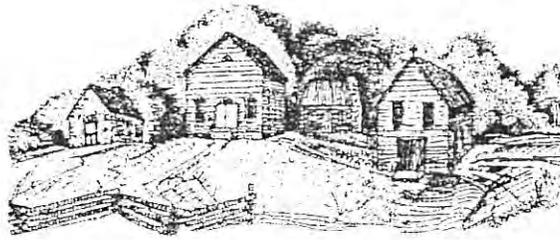
Wetland & Secondary Environmental Corridor (Woodland)
Within Project Area staked by SEWRPC on 4/27/10

Lions Legend Park Preliminary Natural Resource Protection Plan



Legend

-  50' Wetland Setback
-  Spot Elevation
-  10' Contours
-  2' Contours
- Flood Zone**
-  FEMA Zone A (2008)
-  FEMA Zone AE (2008)
-  Lake
-  Water Edge
-  Woodlands
-  Wetlands
-  Water Line
-  Parcel with Address Owner



Franklin Historical Society
P.O. Box 320012
Franklin, WI 53132

phone: 414-421-6539

March 22, 2016

City of Franklin, WI.
Franklin Common Council

The Franklin Historical Society has served the City of Franklin since 1969. Our mission has been to preserve the history of our great city by maintaining living museums in Lions Legend Park and educating the youth of our city's history.

Franklin started as a farming community and still remains active as one. In our historic village we have the St. Peters Chapel, Franklin's Town Hall, the Whelan School and the Sheehan-Godsell Cabin. What we do not have is a Franklin barn to represent the family farming life that is so important to our past. Four years ago the Wendt family offered a donation of a historic 1880's Franklin family barn to the FHS.

This donation was both a great opportunity and challenge for the FHS. By disassembling the barn and reconstructing it in our village we can build a barn museum to display the many artifacts, tools and equipment we have to demonstrate the life style of a Franklin farming family in the 19th and 20th century.

The FHS has graduated over 6,000 students in our grade school program. They are instructed as if they were students in 1908. After the morning class the students tour our other buildings. The barn museum would be an important educational extension of this program. As with our other buildings the barn would be open often to the general public.

The City of Franklin and the Franklin Historical Society have a long history of working together. This has been the case with the barn project. The city has helped transport and then store the disassembled barn. In addition the city has budgeted \$20,000 for the reconstruction. All the help is greatly appreciated by the FHS. We do need some additional help.

Before we make a request for help let us take a look at what the FHS has done so far to build the barn.

From the very start this project was a "leap of faith" for it was well beyond our normal financial means. However, we considered the project essential to our mission to preserve Franklin's history.

Two special committees were created for this project. A barn construction committee's job was to develop plans and find the most economical means to build it. The fundraising committee started a capital account to fund the construction.

The FHS first disassembled the barn doing much of the work ourselves and enlisting local businesses such as Guiffre Crane and Johns Disposal. Doing so saved over \$12,000 of a \$23,000 bid. In 2013 we saved 100 tongue and groove boards from the Oak Creek Mahr barn the day before the

Oak Creek Fire Department did a burn of the barn. The value of the boards was \$10,000.

After finding out the barn received a A-3 Museum construction classification from the State of Wisconsin an architect and a structural engineer had to be hired to design and reengineer the barn. We received a bid of \$30,000 for this. Instead Mark Arndt of Franklin volunteered his professional services as an architect pro-bono. The only cost came as a \$5,000 engineering consulting fee from Robert Lata a State certified engineer who discounted his fee. These detailed plans have been presented to city planning and inspection.

Our fundraising committee has worked tirelessly. There has been five barn dances (a sixth April 17th), a barn raising social, a founding farming families event, numerous letter writing campaigns and calling on local businesses, several raffles, product sales and barn floats during the city's 4th of July parade. Thousands of hours of volunteer work where expenses were held to the bare minimum.

The hard work of the FHS volunteers and the support of the Franklin community has been inspiring!

The help the FHS needs from the city is doing much of the labor for the foundation work by Public Works. This would include site preparation, grading and digging of the footings and overall supervision.

The FHS proposes that the \$20,000 budgeted for the project be used for the foundation work. With the help from public works the estimated cost of the foundation would be only \$19,000 a substantial savings.

Public Works Superintendent Jerry Schaefer estimates that it would take a crew of four approximately 2 weeks to do the project. Mr. Schaefer will tell you that this work would not cause any work planned by city in 2016 not to be completed.

The advantage of having Public Works do this work goes beyond just financial considerations. One of the great challenges of the project was to design and position the barn as not to cause any damage to the 100 year oak trees that surround the site. Public Works for many years has taken great care of these trees. By allowing them to do the foundation the greatest care possible would be taken.

The barn museum will be owned by the City of Franklin as are the other buildings in Lions Legend Park. A conservative estimate of value would be \$175,000.

The FHS understands that the city will take charge of the project. Bids will be put out by the city. The FHS will turn over all funds we currently have to the city. The FHS will continue to do fundraising and help in any way possible.

The FHS has in inventory currently in storage at the city's yard 5 three piece 8 x 8 support beams and the roof trusses from the Wendt barn in good condition. Stored elsewhere are the floor boards along with some miscellaneous materials. In addition over \$5,000 of specially manufactured hardware required by State code for the project has been purchased and

stored.

Currently the barn fund has just over \$52,000. Based on estimates of Mr. Arndt it is the belief that the FHS needs an additional \$38,000 to complete the building once the foundation is done.

It is also the belief of the FHS that significant donations will come in once ground is broken and the foundation is done. Also as proven in the past in kind donations from local businesses for materials and professional services will also greatly reduce costs.

Any short fall the FHS will obtain a loan with the money going to the City of Franklin. I will personally guarantee the loan.

The FHS does understand that there are many demands upon the city, financial and otherwise. Public Works has many projects to do in 2016. I believe the many volunteers of the FHS and the Franklin community as a whole support the barn museum. The museum will last for generations to come, and something the City of Franklin will be proud of. Please help us and let us move forward together.

Jim Luckey



President FHS

Franklin Historical Society Barn Museum Project



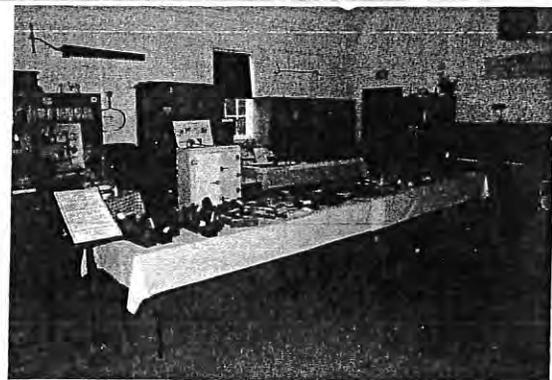
Wendt Family Barn



Disassembly



Barn Dance Fundraiser



Farming Tool Display

2016 Site Plan

Designed By:
JAMA ENTERPRISES
 4451 W. Lumberton Drive
 Franklin, WI, 53132
 Phone: 414-251-1100
 E-Mail: Admin@jama.net

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 THE FRANKLIN HISTORICAL SOCIETY
 AND ARE TO BE USED ONLY FOR THE
 PROJECT AND SITE SPECIFICALLY
 IDENTIFIED WITHOUT THE EXPRESSED WRITTEN
 PERMISSION OF THE SOCIETY

REVISIONS:
 Δ REVISED: 9/27/15
 Δ REVISED: 3/18/16

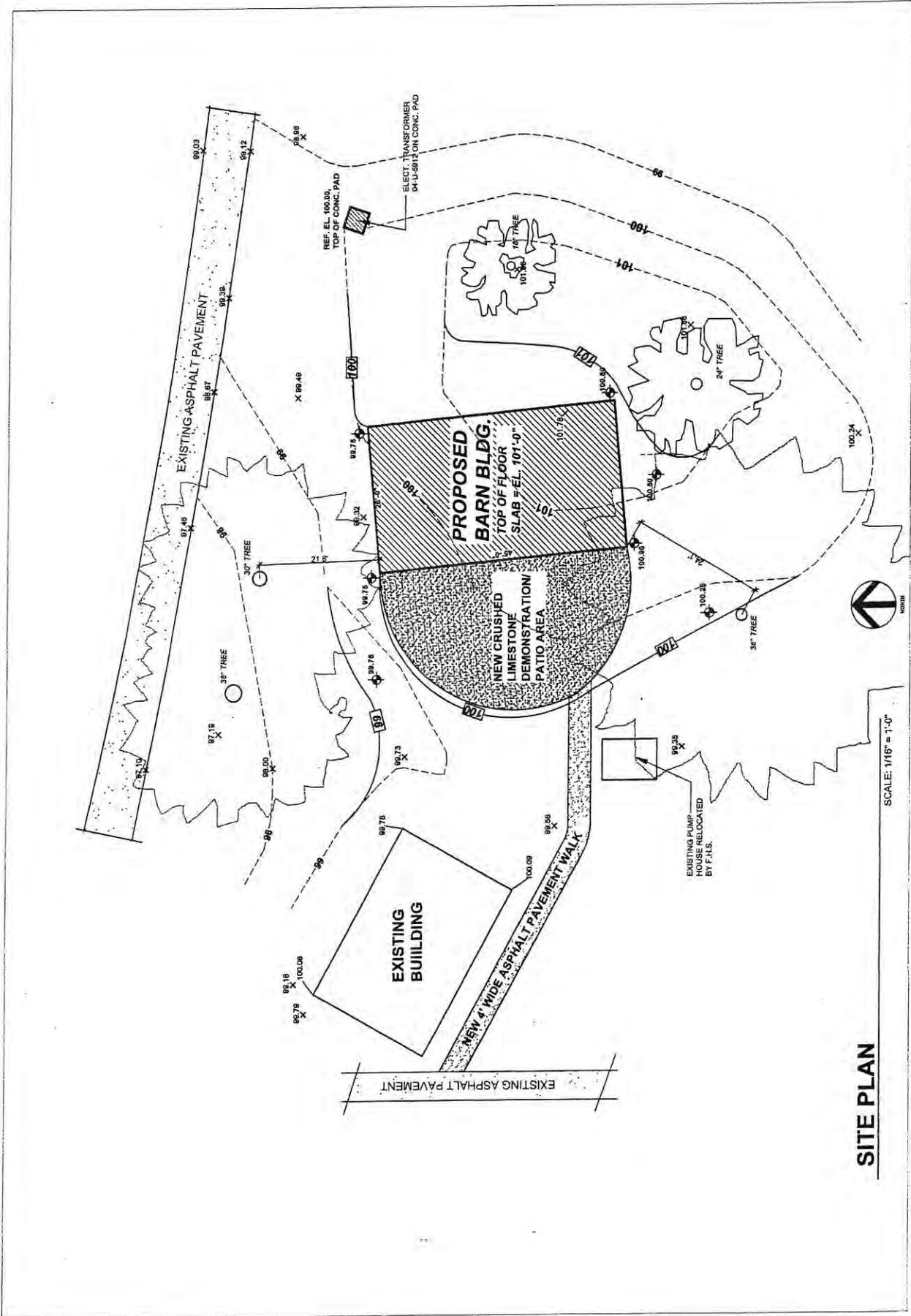
LIONS LEGEND PARK
 Legend Dr. & Schieller Pkwy.
 Franklin, Wisconsin 53132

RECONSTRUCTION OF:
Wendt Family, 1890s Timber Barn
 for the Franklin Historical Society

Sheet Title:
SITE PLAN

Project No. 2016001
 DATE: 07-16-15
 Sheet 2 of 11

SD-100



SITE PLAN

1890s TIMBER BARN RECONSTRUCTION

INSTRUCTIONS TO BIDDERS

1. **BASE BID # 1:** PROVIDE EXCAVATION, BACKFILL STONE (#1 STONE), FOUNDATION BACKFILL, GRADING FOR THE RECONSTRUCTION OF A 45' X 26' BARN; INCLUDING CRUSHED LIMESTONE (1&B) @ DEMONSTRATION/PATIO AREA. OWNER WILL CONSTRUCT STONE RETAINING WALL SHOWN ON SITE PLAN.
2. **BASE BID # 2:** PROVIDE CONCRETE FOOTING, FOUNDATION WALLS AND FLOOR SLAB W/ REINFORCING AS NOTED ON DRAWINGS FOR THE RECONSTRUCTION OF A 45' X 26' BARN.
3. **BASE BID # 3:** PROVIDE CARPENTRY LABOR AND MATERIAL FOR THE CONSTRUCTION OF A 45' X 26' BARN; INCLUDING RECONSTRUCTION OF 1890 VINTAGE TIMBER FRAMING SYSTEM. SUPPLY ALL NEW MATERIALS AS INDICATED ON DRAWINGS, INCLUDING ROOFING. INCLUDE COST OF LIFTING EQUIPMENT AND SCAFFOLDING REQUIRED TO COMPLETE THIS WORK.
4. **BASE BID # 4:** PROVIDE EXTERIOR PAINTING AS FOLLOWS: 2 COATS - SHERWIN-WILLIAMS WOODSCAPES EXTERIOR ACRYLIC SOLID COLOR STAIN, MAX. 3-COLORS (PROD. #6501-14956) OVER 1 COAT - SHERWIN-WILLIAMS EXTERIOR LATEX WOOD PRIMER (PROD. #6501-33284).
5. **BASE BID # 5:** ELECTRICAL CONTRACT WILL BE DESIGN/BUILD. ALL WORK WILL BE PERFORMED IN STRICT CONFORMANCE TO NEC, STATE AND LOCAL CODES. PROVIDE 1-100AMP PANEL @ THE EAST WALL NEAR NORTHEAST CORNER AS SHOWN ON DRAWING E-100. POWER SHALL COME FROM WE ENERGIES TRANSFORMER LOCATED APPROX. 35' NE OF PROPOSED BARN. ALL WIRING SHALL BE RUN IN CONDUIT. CONDUIT, BOXES AND DEVICES SHALL BE CONCEALED TO THE GREATEST EXTENT POSSIBLE AND WITH PRIOR APPROVAL OF THE F.H.S. ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE F.H.S. PRIOR TO INSTALLATION.
6. **BASE BID # 6:** ELECTRICAL CONTRACTOR SHALL SUBMIT A SEPARATE QUOTE TO PROVIDE AN APPROVED DESIGN, ALL LABOR AND MATERIAL FOR A LIGHTNING SUPPRESSION SYSTEM FOR THE BARN RECONSTRUCTION.

BIDDERS NOTE: ALL CONTRACTORS SHALL SUBMIT BID USING THEIR COMPANY FORMAT. INCLUDE ALL LABOR AND MATERIAL FOR RESPECTIVE BID. INDICATE BID NUMBER ON BID. EMAIL BIDS TO "Marnrd-Jama@wi.twcbe.com". ALL CONTRACTORS SHALL BE LICENSED AND INSURED. INDICATE INSURANCE LIMITS FOR 1. COMMERCIAL LIABILITY, 2. PROFESSIONAL LIABILITY, 3. AUTOMOBILE LIABILITY, 4. EXCESS LIABILITY, 5. WORKER'S COMPENSATION/ EMPLOYER'S LIABILITY AND 6. PROPERTY/ EQUIPMENT.

NOTE: A STATE OF WISCONSIN, DWD, WAGE DETERMINATION REQUEST WAS MADE. AS SOON AS RESPONSE IS RECEIVED FROM DWD, ALL BIDDERS WILL BE NOTIFIED VIA EMAIL.

PROJECT INFORMATION

OCCUPANCY:	"A-3" (MUSEUM)
CONSTRUCTION TYPE:	V
SQUARE FOOTAGE:	1,170 SF
BUILDING VOLUME:	25,160 SF
NO. OF FLOOR LEVELS:	1
SPRINKLERED:	NO
MAX. NO. OF OCCUPANTS:	50



LOCATOR PLAN



DRAWING SHEET INDEX

A-001	- TITLE, DRAWING INDEX & NOTES
SD-100	- SITE PLAN
A-101	- FOOTING AND FOUNDATION PLAN
A-102	- FIRST FLOOR PLAN
A-103	- ELEVATIONS
A-104	- BUILDING SECTION AND DETAILS
S-1	- FRAMING PLANS GENERAL NOTES & SPECIFICATIONS
S-2	- FRAMING ELEVATIONS
S-2.1	- STRUCTURAL SECTIONS & DETAILS
S-3	- STRUCTURAL DETAILS
E-101	- ELECTRICAL PLAN

Developed By:
JAMA ENTERPRISES
 401 W. Lincoln St.
 Franklin, WI 53120
 Phone: 414.902.2300
 E-Mail: Marketing@jamaenterprises.com

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LIONS LEGEND PARK
 Legend Dr. & Schlueter Pkwy.
 Franklin, Wisconsin 53122

RECONSTRUCTION OF:
Wendt Family, 1890s Timber Barn
 for the Franklin Historical Society

Sheet Title:
 TITLE SHEET,
 LOCATOR PLAN,
 & SPECIFICATIONS
 Project No. 2018001
 DATE: July 14, 2018
 Sheet 1 of 11
A-001

1890s TIMBER BARN RECONSTRUCTION

Designed By:
JAMA ENTERPRISES
 4431 W. Tumbacook Drive
 Franklin, Wisc. 53132
 Phone: (414) 507-2300
 E-Mail: MArndt-Jama@wi.twcba.com

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INSTRUCTIONS TO BIDDERS

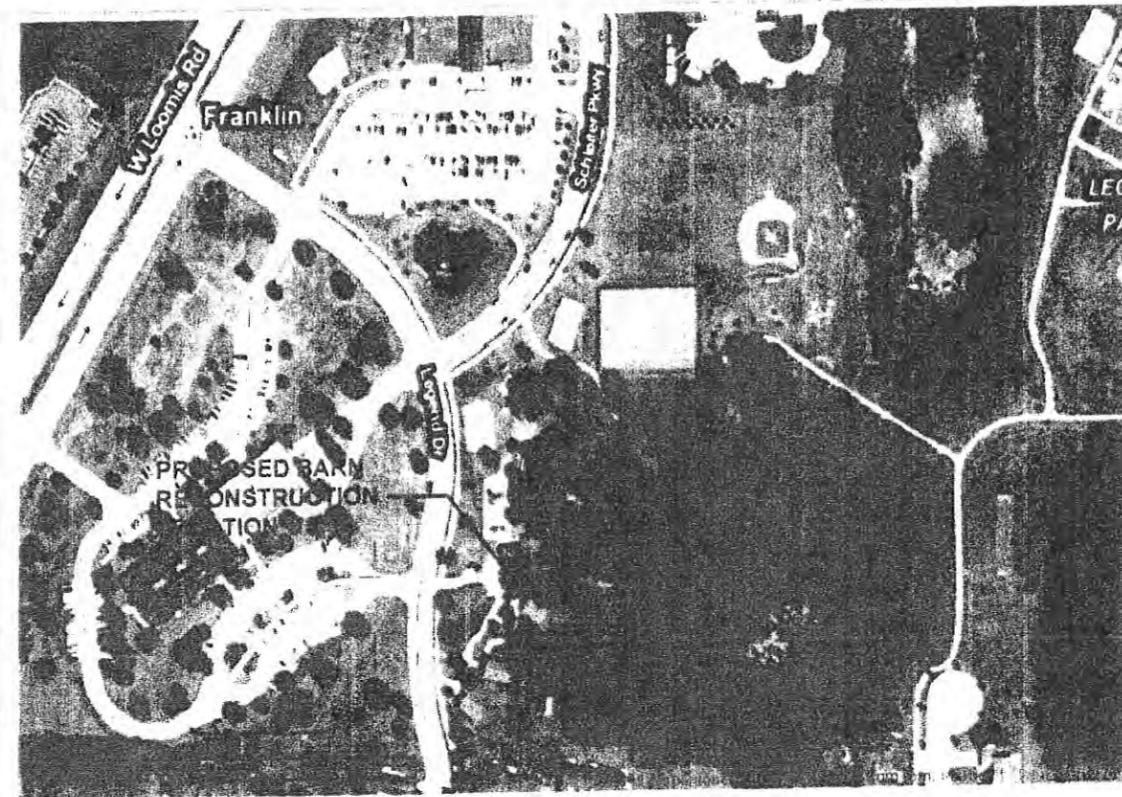
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LOCATOR PLAN

NOT TO SCALE



DRAWING SHEET INDEX

- A-001 - TITLE, DRAWING INDEX & NOTES
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- S-2.1 - STRUCTURAL SECTIONS & DETAILS
- S-3 - STRUCTURAL DETAILS
- E-101 - ELECTRICAL PLAN

RECONSTRUCTION OF:

**Wendt Family, 1890s Timber Barn
for the Franklin Historical Society**

Sheet Title:

TITLE SHEET,
LOCATOR PLAN,
& SPECIFICATIONS

Project No. 2015001
DATE: July 16, 2015

Sheet 1 of 11

A-001

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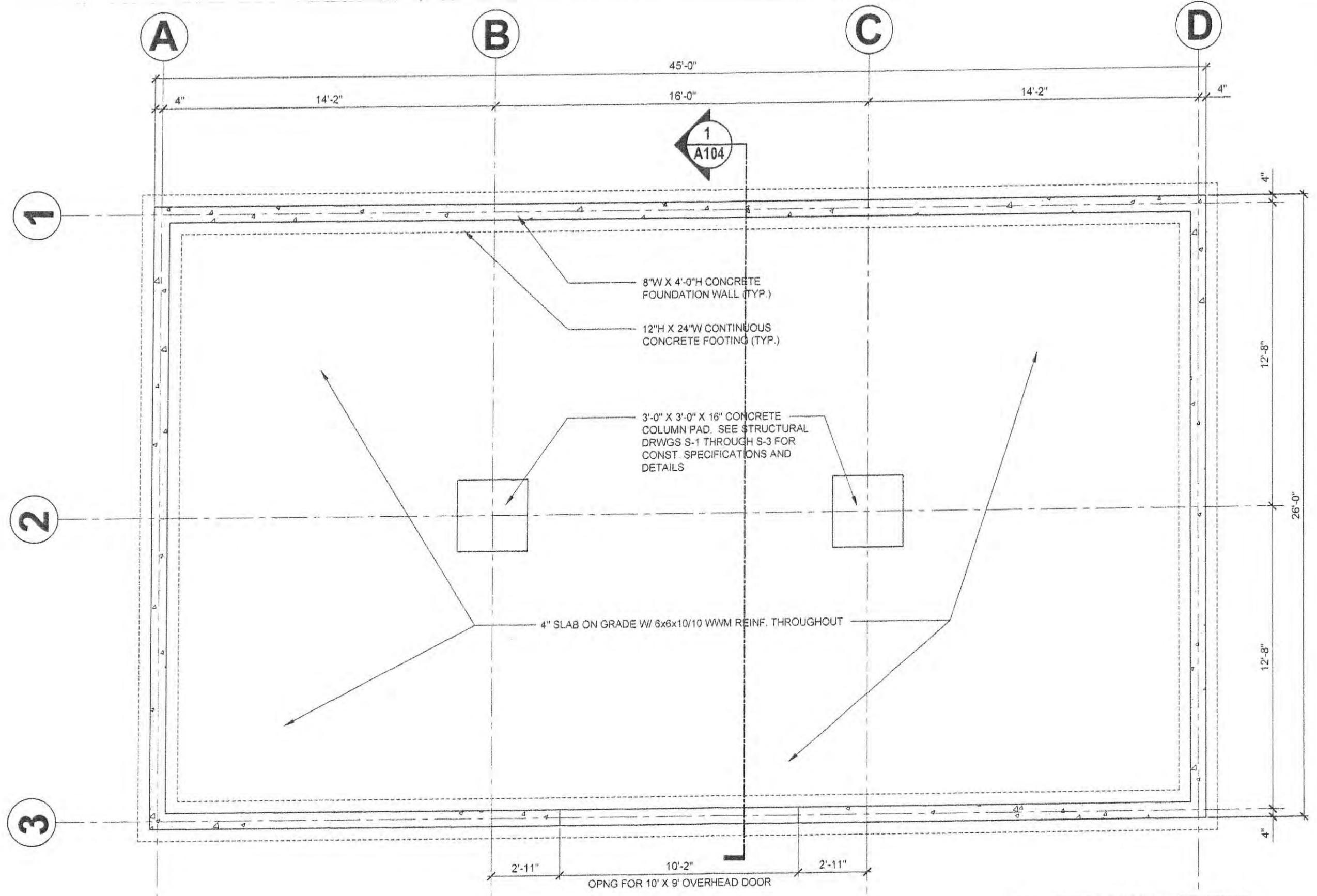
LIONS LEGEND PARK
 Legend Dr. & Schlueter Pkwy.
 Franklin, Wisconsin 53132

RECONSTRUCTION OF:
Wendt Family, 1890s Timber Barn
for the Franklin Historical Society

Sheet Title:
FOOTING AND FOUNDATION PLAN

Project No. 2015001
 DATE: July 16, 2015
 Sheet 3 of 11

A-101



FOOTING AND FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



SEE STRUCTURAL DRWGS S-1 THROUGH S-3 FOR CONSTRUCTION SPECIFICATIONS AND DETAILS

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LIONS LEGEND PARK
 Legend Dr. & Schlueter Pkwy.
 Franklin, Wisconsin 53132

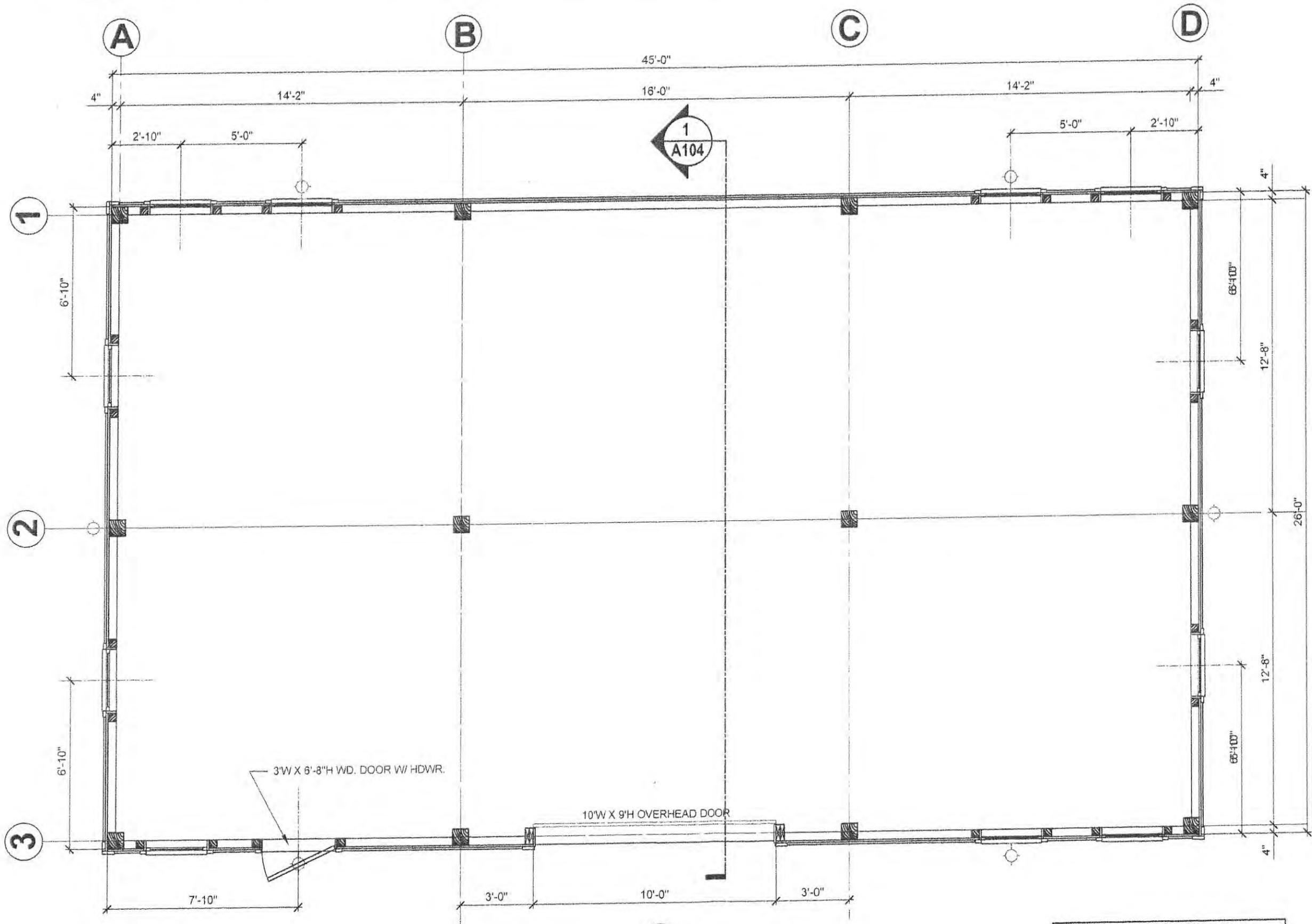
RECONSTRUCTION OF:
Wendt Family, 1890s Timber Barn
for the Franklin Historical Society

RECONSTRUCTION OF:

Sheet Title:
FIRST FLOOR PLAN

Project No. 2015001
 DATE: July 16, 2015
 Sheet 4 of 11

A-102



FIRST FLOOR PLAN

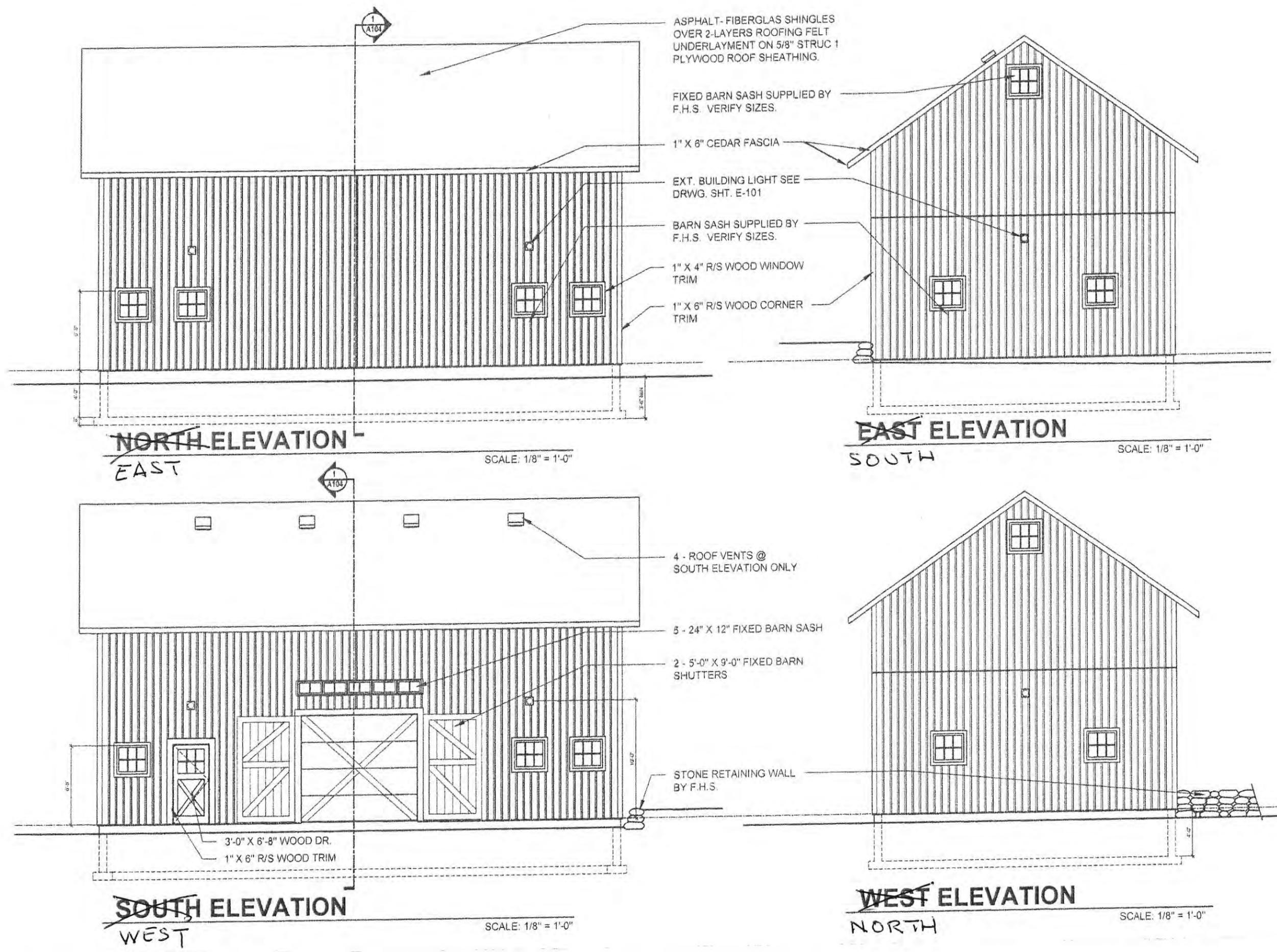
SCALE: 1/4" = 1'-0"



SEE STRUCTURAL DRWGS S-1 THROUGH S-3 FOR CONSTRUCTION SPECIFICATIONS AND DETAILS

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 Franklin, Wisconsin 53132



RECONSTRUCTION OF:

**Wendt Family, 1890s Timber Barn
 for the Franklin Historical Society**

Sheet Title:
ELEVATIONS

Project No. 2015001
 DATE: July 18, 2015

Sheet 5 of 11

ELECTRICAL GENERAL NOTE

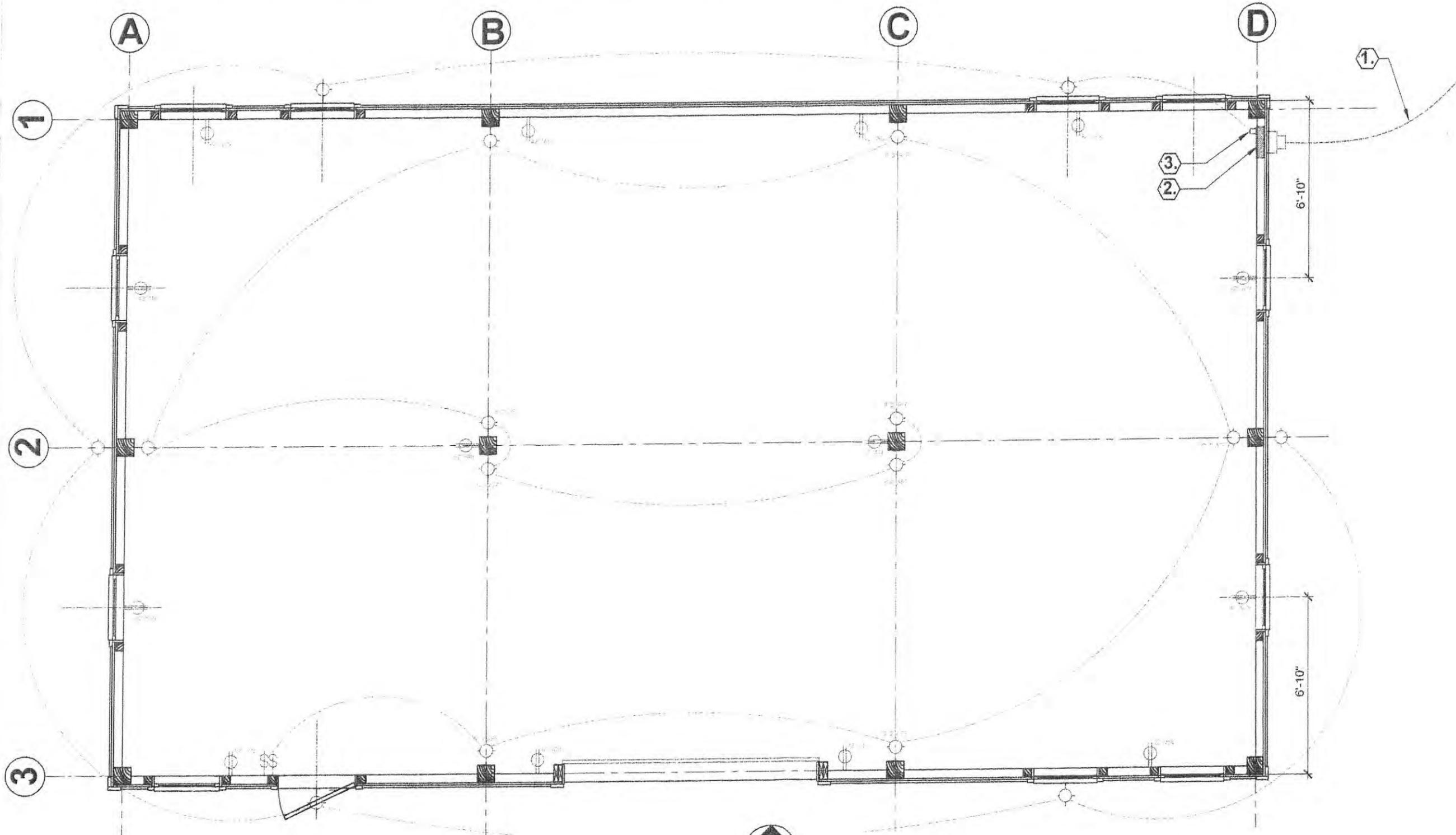
ELECTRICAL CONTRACT WILL BE DESIGN/BUILD. ALL WORK WILL BE PERFORMED IN STRICT CONFORMANCE TO NEC, STATE AND LOCAL CODES. PROVIDE APPROPRIATE NEMA RATED SYSTEM FOR AN UNHEATED BUILDING. PROVIDE 1-100AMP PANEL @ THE EAST WALL NEAR SOUTHEAST CORNER. LIGHTING FIXTURES SHALL BE APPROPRIATE FOR AN HISTORIC BARN TYPE BUILDING. LOCATION OF ALL DEVICES, CONDUIT AND LIGHTING FIXTURES SHALL BE APPROVED IN ADVANCE OF WORK BY A F.H.S. REPRESENTATIVE.

ELECTRICAL CONSTRUCTION NOTES

1. NEW 100 AMP ELECT. SERVICE FROM EXIST. WE-ENERGIES TRANSFORMER NO. 04-U-5912, LOCATED APPROX. 35' NE OF BLDG. CORNER.
2. NEW 100 AMP LOAD CENTER.
3. NEW TIMER, WIRED TO ALL EXTERIOR BLDG. LIGHTS.

Designed By:
JAMA ENTERPRISES
 4431 W. Tumblercreek Drive
 Franklin, Wis. 53132
 Phone: (414) 507-2300
 E-Mail: JArndt-Jama@wiawebo.com

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ELECTRICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



LIONS LEGEND PARK
 Legend Dr. & Schlueter Pkwy.
 Franklin, Wisconsin 53132

RECONSTRUCTION OF:

Wendt Family, 1890s Timber Barn
 for the Franklin Historical Society

Sheet Title:
 FIRST FLOOR PLAN

Project No. 2015001
 DATE: July 16, 2015

Sheet 11 of 11

E-101



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of June 9, 2016

Temporary Use

RECOMMENDATION: City Development staff recommends approval of the Temporary Use for the Garden Plaza farmer's market.

Project Name:	Garden Plaza Farmer's Market Temporary Use
Project Address:	0 S. Whitnall Edge Road (Taxkey No. 705-8997-003) and 6516-6572 South Lovers Lane Road
Property Owner:	Hartland Meadows, LLC
Applicant:	Michelle Pendergast
Zoning:	B-3 Community Business District
Use of Surrounding Properties:	Car dealership to the north; multi-family residential to the south and east; and vacant M-1 zoned land, Waterstone Bank and Menards to the west
2025 Comprehensive Plan:	Commercial
Action Requested:	Approval of the Temporary Use

BACKGROUND AND PROJECT DESCRIPTION

Please note:

- Staff recommendations are *underlined, in italics* and are included in the draft resolution.

On May 3, 2016, Ms. Michelle Pendergast submitted an application for a Temporary Use to host a farmer's market upon the vacant land to the north of the Garden Plaza shopping center parking lot. The applicant is proposing to host the farmer's market every Sunday from 10:00 a.m. to 2:00 p.m. starting on June 12, 2016 through October 23, 2016. There will be a total of 20 farmer's market events. Parking will be provided within the Garden Plaza shopping center located at 6516-6572 S. Lovers Lane Road. As recommended by staff, the item was tabled at the May 19, 2016 Plan Commission meeting.

The applicant intends to have vendors providing fruits, vegetables, flowers and handmade items. The event may also include a food truck vendor, which would be parked at the northwest corner of the parking lot.

Restrooms are available within businesses located at the shopping center, including the applicant's business Tesoro Salon & Spa as well as The Laundry Shop and Gus' Mexican Cantina. The farmer's market will be set up and taken down each Sunday. The applicant and individual vendors will provide trash receptacles throughout the market area.

As the farmer's markets hosted every Sunday will exceed six times per year, a Temporary Use, subject to Plan Commission review and approval is required. Please note a Temporary Use Application and Permit will be required each year.

If approved, staff is recommending the following conditions:

1. The approval granted hereunder shall allow for such use on Sundays, from June 12, 2016 through October 23, 2016, from 10:00 a.m. to 2:00 p.m., and all approvals granted hereunder expiring at 2:00 p.m. on October 23, 2016.
2. All parking for these events shall be limited to the northern half of the Garden Plaza parking lot. Parking on streets and grass/open space areas is not allowed. Access into and out of the Garden Plaza shopping center shall not be obstructed at any time. Safe pedestrian access shall be maintained at all times.
3. Trash receptacles shall be provided as necessary to collect all garbage and to prevent any littering generated by these events.
4. All other permits and approvals shall be obtained and complied with, including but not limited to signage, fire department requirements, Clerk's Office requirements and health department requirements.
5. All event clean-up shall be completed by 7:00 p.m. the same day as the event.

STAFF RECOMMENDATION

City Development staff recommends approval of the Temporary Use for the Garden Plaza farmer's market.

RESOLUTION NO. 2016-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A TEMPORARY USE FOR A WEEKLY FARMER'S
MARKET UPON VACANT PROPERTY LOCATED TO THE NORTH OF THE
GARDEN PLAZA SHOPPING CENTER PARKING LOT LOCATED AT 6516-6572
SOUTH LOVERS LANE ROAD
(MICHELLE PENDERGAST, OWNER OF TESORO SALON & SPA, APPLICANT)

WHEREAS, Michelle Pendergast, owner of Tesoro Salon & Spa having petitioned the City of Franklin for the approval of a Temporary Use to allow for a weekly farmer's market with vendors providing fruits, vegetables, flowers, handmade items and a food truck (parked at the northwest corner of the parking lot), upon vacant property located at approximately South Whitnall Edge Road and 6516-6572 South Lovers Lane Road (north of the Garden Plaza shopping center parking lot) on Sundays from June 12, 2016 through October 23, 2016, from 10:00 a.m. to 2:00 p.m.; and

WHEREAS, the Plan Commission having found that the proposed Temporary Use, subject to conditions, meets the standards set forth under §15-3.0804 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the petition of Michelle Pendergast, owner of Tesoro Salon & Spa for the approval of a Temporary Use to allow for a weekly farmer's market, for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. The approval granted hereunder shall allow for such use on Sundays, from June 12, 2016 through October 23, 2016, from 10:00 a.m. to 2:00 p.m., and all approvals granted hereunder expiring at 2:00 p.m. on October 23, 2016.
2. All parking for these events shall be limited to the northern half of the Garden Plaza parking lot. Parking on streets and grass/open space areas is not allowed. Access into and out of the Garden Plaza shopping center shall not be obstructed at any time. Safe pedestrian access shall be maintained at all times.
3. Trash receptacles shall be provided as necessary to collect all garbage and to prevent any littering generated by these events.
4. All other permits and approvals shall be obtained and complied with, including but

MICHELLE PENDERGAST, OWNER OF TESORO SALON & SPA – TEMPORARY
USE

RESOLUTION NO. 2016-____

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not limited to signage, fire department requirements, Clerk's Office requirements and health department requirements.

5. All event clean-up shall be completed by 7:00 p.m. the same day as the event.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2016.

APPROVED:

Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

May 12, 2016

Farmers Market replies to Staff comments:

1. Request start date of June 5, 2016 through October 23, 2016
2. I will be onsite most Sundays, on the days I am not able to be there I will have one of my staff attending to the market
3. I would like to start small to address any concerns that should arise. I don't want to be overwhelmed nor do I want to make this overly complicated. I would like to have at least 10 vendors to start, but as the season and harvests start to come in I'm sure this could grow to around 15-20 farmers/vendors. I will limit it to no more than 20 for the first year. Because this hasn't been done in Franklin before, I want to make this as easy as possible for everyone involved.
4. The tent spaces are 10'x10'. I do not have a more detailed site plan due to the fact I haven't secured a permit yet and do not have all the vendors established until I do. It's a work in progress! However, the vendors will be in 2 aisles on the grassy knoll indicated on the site map. Each vendor will provide their own trash receptacle at their tent.
5. I hadn't considered a 'name'. I was just providing a service to the Franklin community and was calling it the Franklin Farmers Market. If that is an issue, I can call it the Farmers Market at Garden Plaza. But I think because Franklin is one of the few communities who don't have a farmers market yet, calling it the Franklin Farmers Market would definitely be great for our community!
6. Not sure what you're asking for ...
7. We would only be using about a third of the grassy area. It is at least 50 feet from Whitnall Edge Drive and at least 80-100 feet from Lovers Lane. I'm estimating we'll be using at MAXIMUM 2500 square feet if we have 20 vendors.
8. I am not hosting a festival....just a farmers market. There will be no stage (unless a vendor wants to sing while selling lettuce ☺) and there will be no beer tent or liquor. As stated in my original request, bathrooms are not typically at farmers markets, however, we have access to Gus' Mexican Cantina, The Laundry Shop and Tesoro Salon and Spa's bathrooms. The market will only be open for 4 hours.
9. Because I am hosting the market and I own a business in the plaza, I will provide my address. Tesoro Salon and Spa 6524 South Lovers Lane, Franklin, WI 53132
10. I am currently collaborating with Bill and Angela at the Health Department to ensure all of the state's health and safety guidelines are being followed.
11. I am also working with them to make sure that vendors licenses are adequate.

Fire Department Staff comments:

1. There will be no vendors cooking or assembling food at the market at this time, so there is no need for these concerns. I will make sure no smoking signs are posted on each tent, however.
2. No electricity will be needed during the market, therefore, extension cords will not be an issue.
3. There are 2 concrete approaches to the market that are not obstructed and 2 driveway entrances that will also, not be obstructed. There is ample parking in the parking lot, fire lanes and normal access will not be changed or diverted.

I hope this has answered and addressed any concerns you may have regarding this endeavor. I'm really just listening to what my neighbors and community are asking for and trying to help in any way that I can. I'm also an artist and attend farmers markets and art fairs regularly; this will be a nice addition to our community. Plus, who doesn't love a farmers market!

Michelle Pendergast

262-994-5695 (cell) 414-235-3974(bus)

Tesoro Salon and Spa

